

COLORADO DEPARTMENT OF TRANSPORTATION
STATE HIGHWAY ACCESS PERMIT

CDOT Permit No.
218058
 State Highway No / Mp / Side
 024A / 291.990 / Right

| | | | |
|------------------------|---------------------------------|---|--------------------------------------|
| Permit Fee \$300.00 | Date of Transmittal 02/28/19 | Region / Section / Patrol / Name 2 / 04 / 37 Troy Morrison Brad Bauer | Local Jurisdiction El Paso County |
|------------------------|---------------------------------|---|--------------------------------------|

RECEIVED
 MAR 13 2019
 CDOT Region 2
 Permits Dept.

The Permittee(s):

The Applicant(s):

Ute Pass Rental, Inc.
 8775 W. Highway 24
 Cascade, Colorado 80809
 (719) 687-6371

Ute Pass Rental, Inc.
 8775 W. Highway 24
 Cascade, Colorado 80809
 (719) 687-6371

is hereby granted permission to have an access to the state highway at the location noted below. The access shall be constructed, maintained and used in accordance with this permit, including the State Highway Access Code and any attachments, terms, conditions and exhibits. This permit may be revoked by the Issuing Authority if at any time the permitted access and its use violate any parts of this permit. The issuing authority, the Department and their duly appointed agents and employees shall be held harmless against any action for personal injury or property damage sustained by reason of the exercise of the permit.

Location: 94 feet west of mile marker 292
 750 feet east of Wellington Rd.

| Access to Provide Service to: | (Land Use Code) | (Size) | (Units) |
|-------------------------------|---|--------|---------|
| | 810 - Retail-General Merchandise | 1 | Each |
| | 148 - Mini/Self Storage | 10,390 | SAFT |

PAID
 \$300.00
 ck# 356 3/13/19

Additional Information:

See additional terms and conditions

MUNICIPALITY OR COUNTY APPROVAL

Required only when the appropriate local authority retains issuing authority.

| | | | |
|-----------|------------|------|-------|
| Signature | Print Name | Date | Title |
|-----------|------------|------|-------|

Upon the signing of this permit the permittee agrees to the terms and conditions and referenced attachments contained herein. All construction shall be completed in an expeditious and safe manner and shall be finished within 45 days from Initiation. The permitted access shall be completed in accordance with the terms and conditions of the permit prior to being used.

The permittee shall notify Jeremiah Johnson with the Colorado Department of Transportation, at (719) 250-4973 at least 48 hours prior to commencing construction within the State Highway right-of-way.

The person signing as the permittee must be the owner or legal representative of the property served by the permitted access and have full authority to accept the permit and its terms and conditions.

| | | |
|---|-----------------------------|----------------|
| Permittee Signature: | Print Name Shaine Kratko | Date 3-8-19 |
| Co-Permittee Signature: (if applicable) | Print Name | Date |

This permit is not valid until signed by a duly authorized representative of the Department.

COLORADO DEPARTMENT OF TRANSPORTATION

| | | | |
|---------------|-------------------------------|------------------------------|----------------------------|
| Signature | Print Name Arthur Gonzales | Title Access Permits Mgr. | Date (of issue) 3-14-19 |
|---------------|-------------------------------|------------------------------|----------------------------|

Copy Distribution: Required: 1 Region, 2 Applicant, 3 Staff Access Section, 4 Central Files. Make copies as necessary for: Local Authority, MTCE Patrol, Inspector, Traffic Engineer. Previous editions are obsolete and may not be used. Page 1 of 3 CDOT Form #101 5/07

**State Highway Access Permit
Form 101, Page 2**

The following paragraphs are excerpts of the State Highway Access Code. These are provided for your convenience but do not alleviate compliance with all sections of the Access Code. A copy of the State Highway Access Code is available from your local issuing authority (local government) or the Colorado Department of Transportation (Department). When this permit was issued, the issuing authority made its decision based in part on information submitted by the applicant, on the access category which is assigned to the highway, what alternative access to other public roads and streets is available, and safety and design standards. Changes in use or design not approved by the permit or the issuing authority may cause the revocation or suspension of the permit.

APPEALS

1. Should the permittee or applicant object to the denial of a permit application by the Department or object to any of the terms or conditions of a permit placed there by the Department, the applicant and permittee (appellant) have a right to appeal the decision to the [Transportation] Commission [of Colorado]. To appeal a decision, submit a request for administrative hearing to the Transportation Commission of Colorado within 60 days of transmittal of notice of denial or transmittal of the permit for signature. Submit the request to the Transportation Commission of Colorado, 4201 East Arkansas Avenue, Denver, Colorado 80222-3400. The request shall include reasons for the appeal and may include changes, revisions, or conditions that would be acceptable to the permittee or applicant.

2. Any appeal by the applicant or permittee of action by a local issuing authority shall be filed with the local authority and be consistent with the appeal procedures of the local authority.

3. In submitting the request for administrative hearing, the appellant has the option of including within the appeal a request for a review by the Department's internal administrative review committee pursuant to [Code] subsection 2.10. When such committee review is requested, processing of the appeal for formal administrative hearing, 2.9(5) and (6), shall be suspended until the appellant notifies the Commission to proceed with the administrative hearing, or the appellant submits a request to the Commission or the administrative law judge to withdraw the appeal. The two administrative processes, the internal administrative review committee, and the administrative hearing, may not run concurrently.

4. Regardless of any communications, meetings, administrative reviews or negotiations with the Department or the internal administrative review Committee regarding revisions or objections to the permit or a denial, if the permittee or applicant wishes to appeal the Department's decision to the Commission for a hearing, the appeal must be brought to the Commission within 60 days of transmittal of notice of denial or transmittal of the permit.

PERMIT EXPIRATION

1. A permit shall be considered expired if the access is not under construction within one year of the permit issue date or before the expiration of any authorized extension. When the permittee is unable to commence construction within one year after the permit issue date, the permittee may request a one year extension from the issuing authority. No more than two one-year extensions may be granted under any circumstances. If the access is not under construction within three years from date of issue the permit will be considered expired. Any request for an extension must be in writing and submitted to the issuing authority before the permit expires. The request should state the reasons why the extension is necessary, when construction is anticipated, and include a copy of page 1 (face of permit) of the access permit. Extension approvals shall be in writing. The local issuing authority shall obtain the concurrence of the Department prior to the approval of an extension, and shall notify the Department of all denied extensions within ten days. Any person wishing to reestablish an access permit that has expired may begin again with the application procedures. An approved Notice to Proceed, automatically renews the access permit for the period of the Notice to Proceed.

CONSTRUCTION

1. Construction may not begin until a Notice to Proceed is approved. (Code subsection 2.4)

2. The construction of the access and its appurtenances as required by the terms and conditions of the permit shall be completed at the expense of the permittee except as provided in subsection 2.14. All materials used in the construction of the access within the highway right-of-way or on permanent easements, become public property. Any materials removed from the highway right-of-way will be disposed of only as directed by the Department. All fencing, guard rail, traffic control devices and other equipment and materials removed in the course of access construction shall be given to the Department unless otherwise instructed by the permit or the Department inspector.

3. The permittee shall notify the individual or the office specified on the permit or Notice to Proceed at least two working days prior to any construction within state highway right-of-way. Construction of the access shall not proceed until both the access permit and the Notice to Proceed are issued. The access shall be completed in an expeditious and safe manner and shall be finished within 45 days from initiation of construction within the highway right-of-way. A construction time extension not to exceed 30 working days may be requested from the individual or office specified on the permit.

4. The issuing authority and the Department may inspect the access during construction and upon completion of the access to ensure that all terms and conditions of the permit are met. Inspectors are authorized to enforce the conditions of the permit during construction and to halt any activities within state right-of-way that do not comply with the provisions of the permit, that conflict with concurrent highway construction or maintenance work, that endanger highway property, natural or cultural resources protected by law, or the health and safety of workers or the public.

5. Prior to using the access, the permittee is required to complete the construction according to the terms and conditions of the permit. Failure by the permittee to abide by all permit terms and conditions shall be sufficient cause for the Department or issuing authority to initiate action to suspend or revoke the permit and close the access. If in the determination of the Department or issuing authority the failure to comply with or complete the construction requirements of the permit create a highway safety hazard, such shall be sufficient cause for the summary suspension of the permit. If the permittee wishes to use the access prior to completion, arrangements must be approved by the issuing authority and Department and included in the permit. The Department or issuing authority may order a halt to any unauthorized use of the access pursuant to statutory and regulatory powers. Reconstruction or improvement of the access may be required when the permittee has failed to meet required specifications of design or materials. If any construction element fails within two years due to improper construction or material specifications, the permittee shall be responsible for all repairs. Failure to make such repairs may result in suspension of the permit and closure of the access.

6. The permittee shall provide construction traffic control devices at all times during access construction, in conformance with the M.U.T.C.D. as required by section 42-4-104, C.R.S., as amended.

7. A utility permit shall be obtained for any utility work within highway right-of-way. Where necessary to remove, relocate, or repair a traffic control device or public or private utilities for the construction of a permitted access, the relocation, removal or repair shall be accomplished by the permittee without cost to the Department or issuing authority, and at the direction of the Department or utility company. Any damage to the state highway or other public right-of-way beyond that which is allowed in the permit shall be repaired immediately. The permittee is responsible for the repair of any utility damaged in the course of access construction, reconstruction or repair.

8. In the event it becomes necessary to remove any right-of-way fence, the posts on either side of the access shall be securely braced with an approved end post before the fence is cut to prevent any slacking of the remaining fence. All posts and wire removed are Department property and shall be turned over to a representative of the Department.

9. The permittee shall ensure that a copy of the permit is available for review at the construction site at all times. The permit may require the contractor to notify the individual or office specified on the permit at any specified phases in construction to allow the field inspector to inspect various aspects of construction such as concrete forms, subbase, base course compaction, and materials specifications. Minor changes and additions may be ordered by the Department or local authority field inspector to meet unanticipated site conditions.

10. Each access shall be constructed in a manner that shall not cause water to enter onto the roadway or shoulder, and shall not interfere with the existing drainage system on the right-of-way or any adopted municipal system and drainage plan.

11. By accepting the permit, permittee agrees to save, indemnify, and hold harmless to the extent allowed by law, the issuing authority, the Department, its officers, and employees from suits, actions, claims of any type or character brought because of injuries or damage sustained by any person resulting from the permittee's use of the access permit during the construction of the access.

CHANGES IN ACCESS USE AND PERMIT VIOLATIONS

1. It is the responsibility of the property owner and permittee to ensure that the use of the access to the property is not in violation of the Code, permit terms and conditions or the Act. The terms and conditions of any permit are binding upon all assigns, successors-in-interest, heirs and occupants. If any significant changes are made or will be made in the use of the property which will affect access operation, traffic volume and or vehicle type, the permittee or property owner shall contact the local issuing authority or the Department to determine if a new access permit and modifications to the access are required.

2. When an access is constructed or used in violation of the Code, section 43-2-147(5)(c), C.R.S., of the Act applies. The Department or issuing authority may summarily suspend an access permit and immediately order closure of the access when its continued use presents an immediate threat to public health, welfare or safety. Summary suspension shall comply with article 4 of title 24, C.R.S.

MAINTENANCE

1. The permittee, his or her heirs, successors-in-interest, assigns, and occupants of the property serviced by the access shall be responsible for meeting the terms and conditions of the permit, the repair and maintenance of the access beyond the edge of the roadway including any cattle guard and gate, and the removal or clearance of snow or ice upon the access even though deposited on the access in the course of Department snow removal operations. Within unincorporated areas the Department will keep access culverts clean as part of maintenance of the highway drainage system. However, the permittee is responsible for the repair and replacement of any access-related culverts within the right-of-way. Within incorporated areas, drainage responsibilities for municipalities are determined by statute and local ordinance. The Department will maintain the roadway including auxiliary lanes and shoulders, except in those cases where the access installation has failed due to improper access construction and/or failure to follow permit requirements and specifications in which case the permittee shall be responsible for such repair. Any significant repairs such as culvert replacement, resurfacing, or changes in design or specifications, requires authorization from the Department.

94 feet west of mile marker 292, 750 feet east of Wellington Rd. Route: 024, Mile Post: 291.99 Side: Right

For Permittee: Ute Pass Rental, Inc. to construct and improve the existing access location.

General

1. A NOTICE TO PROCEED TO CONSTRUCTION, CDOT Form 1265, is required before beginning the construction of the access or any activity in the highway right-of-way.
2. The Permittee/Applicant shall provide the Department with the following submittals, documents, plans and other items for review prior to the issuance of a NOTICE TO PROCEED to construction:
Engineered Plans:
 - a. A written request for a NOTICE TO PROCEED including the access permit number listed above.
 - b. The Permittee, **shall submit for approval of FINAL construction plans, pavement striping and signing plans to the Department.** Final Construction plans must include, but not limited to, utility locations, present and proposed right-of-way lines, present and proposed traffic control devices, previous and proposed access points.
 - c. Upon approval and prior to issuing a NOTICE TO PROCEED, the final construction plans, roadside improvement plans, drainage mitigation plan and access plans shall be provided and shall be stamped and sealed by a Colorado registered professional engineer. The final plans will be incorporated into this Access Permit.
 - d. The Permittee shall furnish the Department with a minimum of two sets of final design plans.

Cost Estimating Info:

- a. A Final cost estimate for the improvements of the highway prior to final acceptance after construction will be submitted to the Department Access Inspector.

Insurance

3. A certificate of insurance naming the Colorado Department of Transportation (CDOT) as an additional insured is required to be submitted before work begins.
4. The Permittee or the contractor shall be required to provide comprehensive general liability and property damage insurance naming the Department and the issuing authority (if applicable) as an additional insured party, in the amounts of not less than \$600,000 per occurrence and automobile liability insurance of \$600,000 combined single limit bodily injury and property damage for each accident, during the period of access construction. By accepting the permit, the Permittee agrees to save, indemnify, and hold harmless to the extent allowed by law, the issuing authority, the Department, its officers, and employees from suits, actions, claims of any type or character brought because of injuries or damage sustained by any person resulting from the Permittee's use of the access permit during the construction of the access.

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- Access
5. ADA RAMPS - Construction is not required.
 6. The access CDOT ROW is located on the Right-side of State Highway 024, a distance of 94-feet west of milepost 292 on a widened shoulder for access to the roadway.
 7. This section of highway is a Category E-X highway.
 8. This Access Permit is issued to allow improvements to be made to an existing access to State Highway 024 roadway and shoulder ROW. The access will serve 3 Assessed Properties (Ute Pass Rental Inc., Henry M. Kevin, Lone Duck Inc.). If in the future any change in use of these properties or consolidation of parcels occurs, access improvements will be reviewed and may require improvements to be made. The improvements designed and installed of this permit shall consist of:

Parcel Access Improvements within the 50' shoulder access:

- a. **Access for parcel 8315300029** shall have a relocated, delineated, single point of access per the supplemental exhibit drawings submitted on December 17, 2018. This access will need to be represented in the stamped final drawings. This access will be for ingress/egress to and from the Ute Pass Mini Storage into the 50-foot wide shoulder area. The width of this access will be 32-feet at the ROW.
 - b. **Access for parcel 8315300025** current business Ute Pass Trading Post shall have a delineated, single point of access not consolidated with neighboring parcels. The access for this parcel shall be as represented in the supplemental exhibits submitted on December 17, 2018 and shall be represented in the final stamped drawings. Additional access points along this parcel line will be closed and not allowed.
 - c. **Access for Parcel 8315300024** for parcel owner Kevin Henry shall have delineated, single point of access not consolidated with neighboring parcels. No new construction to this access or parcel.
 - d. **Access for Parcel 8315300024** for parcel owner Kevin Henry shall have delineated, single point of access not consolidated with neighboring parcels. No new construction to this access or parcel.
- Access improvements to the roadway access (known as "Main Access"):**
- e. All parcels shall have access to the roadway (SH24) for ingress/egressing vehicles known to be the "Main Access". This access shall be properly delineated for ingress/egress traffic movements with pavement marking or median separation for up to 20-feet in from the curb and gutter to include proper signage. The "Main Access" shall be 42-feet in width at the curb line.
 - f. One additional egress point will be granted for truck egress/exit only and signed for truck exit only and right out only with no left out traffic movements. Curb shall be placed to half the height of

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- standard curb at this location (Approximately 2.5-inches in height).
- g. Two new R1-1 "Stop" signs will be required for egress traffic movements to SH24.
 - h. The further most West and the East existing curb cuts shall be closed with new curb and gutter from the "main access".
 - i. Additional "No Parking" striping to be done per "ROW, Access, Parking Circulation Plan Fig 1". Between businesses for Ute Pass Rentals.
 - j. Do not enter delineation in the form of a barricade shall be placed to deter traffic from egressing to the east of the 50-foot shoulder access.
9. A pre-construction meeting shall to be held 5 days prior to any Access construction and construction within the state highway right-of-way. The permittee shall notify Jeremiah Johnson, Access Construction Coordinator with TSH Consulting on behalf of CDOT at (719) 250-4973 prior to commencing any construction within the State Highway right-of-way.
 10. Under no circumstances shall the construction of a private driveway by a private interest interfere with the completion of a public highway construction project. The private interest shall coordinate work the CDOT resident engineer named below.
 11. The Permittee is responsible for wind and air borne erosion control measures during the construction phase. The project landfall must be shaped and armored in such a way that no head-cutting will occur. No construction traffic is allowed to enter the highway along pioneered pathways or through the ditches.
 12. The ditches may not be used for any construction purposes unless allowed under appropriate legal permits; any construction traffic accessing SH 24 under permits shall have appropriate flagging or traffic control.
 13. Equipment and vehicles cannot be parked in the clear zone; this includes when occupied by construction personnel; the clear zone shall be kept clear of vehicles, equipment and stockpile to prevent accidents.
 14. The Permittee shall refer to all additional standard requirements attached to this permit. This includes CDOT Form 101b, enclosed additional terms, conditions, exhibits, and noted attachments.
 15. The following criteria were used to establish this Access Permit:
 - a. The Application for Access Permit (CDOT Form 137) dated 11/18/18 and accepted by the regional office on 12/17/18 and all attachments.
 - b. State Highway Access Code, Volume 2, CCR-601-1; Effective date

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August 31, 1998.

- c. The State Highway Access Category Assignment Schedule, as revised.
 - d. Vicinity Map.
 - e. Attached Details Exhibit A, "Seeding Requirements".
 - f. Environmental Clearances Information Summary.
 - g. The Colorado Department of Transportation (CDOT) M&S Standard Plans "Approach Roads", M-203-1.
 - h. The Colorado Department of Transportation (CDOT) M&S Standard Plans "Curb, Gutter and Sidewalk", M-609-1.
 - i. The Colorado Department of Transportation (CDOT) M&S Standard Plans "Survey Monuments", M-629-1.
 - j. Design Plans Standard Special Provisions.
 - k. Certification for Work Zone Traffic Control Devices. Compliance with NCHRP 350 Crash-worthiness.
 - l. Approved Traffic Report, signed and sealed by Jeff Hodsdon, PE #31684, dated 02/02/18.
 - m. Reviewed Drainage Report by John Schwab, PE #29891, dated 02/15/18.
16. The Permittee is required to comply with the Americans with Disabilities Act Accessibility Guidelines (ADAAG) that have been adopted by the U.S. Architectural and Transportation Barriers Compliance Board (Access Board), and incorporated by the U.S. Attorney General as a federal standard. The new Standards Plans and can be found on the Design and Construction Project Support web page at:
<https://www.codot.gov/business/designsupport/standard-plans>.
 17. All costs associated with the installation of this access are the responsibility of the Permittee. This includes the design, construction, utility relocation, testing of materials and inspection.
 18. This Access Permit is issued in accordance with the 1998 State Highway Access Code (2CCR 601-1), and is based in part upon the information submitted by the Permittee. This Access Permit is only for the use and purpose stated in the Application and on the Permit. Any changes, based upon existing and/or anticipated future conditions in traffic volumes, drainage, types of traffic, or other operational aspects may render this permit void, requiring a new Application for Access Permit to be submitted for review by the Department and/or Issuing Authority.
 19. If necessary, minor changes, corrections and/or additions to the Permit may be ordered by the Department Inspector, other Department representative, or the local authority, to meet unanticipated site conditions. Changes may not be in violation of the State Highway Access Code. All major changes to the permit must be approved in writing by the Department prior to commencement of any work on or within the State Highway right-of-way.

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20. All work is to conform to the plans referenced by this permit on file with the Colorado Department of Transportation or as modified by this Permit or a valid Notice to Proceed. If discrepancies arise, this permit and the valid Notice to Proceed shall take precedence over the plans. The Department plan review is only for the general conformance with the Department's design and code requirements. The Department is not responsible for the accuracy and adequacy of the design, dimensions, elevations or any other elements, which shall be confirmed and correlated at the work site. The Department through the approval of this document assumes no responsibility for the completeness and/or accuracy of the plans.
21. The Department standards, specifications, and regulations shall override the design plans incorporated in this permit should an oversight, omission, or conflict occur. The Department assumes no liability or responsibility whatsoever for the accuracy, completeness or correctness of the Permittee's design plans. Any design plan errors are the sole responsibility of the Permittee and/or the engineer.
22. The access shall be completed in an expeditious and safe manner and shall be finished within **45 days** from initiation of construction within State Highway right-of-way.
23. **Backing maneuvers within and into the State Highway right-of-way are strictly prohibited. All vehicles shall enter and exit the highway right-of-way in a forward movement. Backing into the right-of-way shall be considered a violation of the Terms and Conditions of the Access Permit and may result in the revocation of the Permit by the Department and/or Issuing Authority.**
24. The "Main Access" will allow **full movement**. However, left turn movements in and out of this access may be prohibited at some future date. Additional egress access will be allowed for truck right out only.
25. A Fully Executed Complete Copy of this Permit and a valid Notice to Proceed to Construction must be on the job site with the contractor at all times during the construction. Failure to comply with this or any other construction requirement may result in the immediate suspension of the work by order of the Department Inspector or the Issuing Authority.
26. Any additional permits and clearances required by other Federal, State, Local Government Agencies or Ditch Companies is the responsibility of the Permittee and/or Applicant.
27. The Permittee is responsible for obtaining any necessary additional federal, state and/or local government agency permits or clearances required for construction of the access. Approval of this access permit

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does not constitute verification of this action by the Permittee.

28. **Five working days prior to beginning construction**, the Permittee/Contractor must contact Mr. Brad Bauer, Senior Maintenance Supervisor, to coordinate the construction with any scheduled maintenance activity. Mr. Bauer can be contacted in Colorado Springs at (719) 227-3205. Failure to comply with this requirement may result in the revocation of this permit.
29. The Annual Daily Traffic (ADT) volumes to Ute Pass Rental, Inc. access shall not exceed **21 trips**. If in the future, the traffic volumes increase by greater than 20% of the permitted number, the permittee (property owner) is required to apply for a new Access Permit and may be required to construct highway improvements.
30. If the vehicular volumes exceed the stated Peak Hour volumes, as determined by the Department, the appropriate warranted highway improvements shall be designed and installed within the earliest construction season unless specifically allowed otherwise, in writing by the Department. The highway improvements shall be designed and constructed by the Permittee at no cost to the Department. Failure by the Permittee to provide such warranted improvements may result in the revoking of the Access Permit and closure of the access approach.
31. Reconstruction or improvements to the access may be required when the Permittee has failed to meet the required design and/or materials specifications. If any construction element fails within **two years** from Access Inspection Acceptance date due to improper construction or material specifications, the Permittee shall be responsible for all repairs. Failure to make such repairs may result in the revoking of the permit and closure of the access.
32. All access permit requirements shall be met prior to the herein-authorized use of this access.
33. Signing and striping are the responsibilities of the Permittee. All signs shall be manufactured in accordance with the Manual on Uniform Traffic Control Devices (M.U.T.C.D.). The sheeting for the signs shall be highway intensity sheeting (ASTM Type IV retro reflective sheeting). The Department shall approve the striping.
34. All construction materials, techniques and processes shall be in conformance with the specification on the permit and shall be consistent with Department Standard Specifications for Road and Bridge Construction as set forth in the latest "Standard Specifications for Road and Bridge Construction" manual.
35. Additional CDOT permits are required for work involving water, sanitary

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sewer, gas, electrical, telephone and landscaping within the right-of-way.

36. Any damage to existing highway facilities shall be repaired immediately at no cost to the Department and prior to continuing other work. Any mud or other material tracked or otherwise deposited on the roadway shall be removed daily or as ordered by the Department inspector.
37. The Department Inspector or the Issuing Authority may suspend any work due to non-compliance with the provisions of this permit, adverse weather or traffic conditions, concurrent highway construction or maintenance in conflict with permit work or any condition deemed unsafe for workers or the general public. The work may be resumed upon notice from the Department Inspector or Issuing Authority.
38. The Permittee shall maintain adequate, unobstructed sight distance in both directions from the access. When determining the distance between accesses, the point of tangent shall be used where a radius is present, or the beginning of the curb cut. The minimum sight distance that shall be maintained along the highway for the access shall be 450-feet. The minimum sight distance that shall be maintained for the vehicle entering the highway shall be 550-feet.
39. Any landscaping or potentially obstructing objects such as but not limited to advertising signs, structures, trees, and bushes, shall be designed, placed, and maintained at a height not to interfere with the sight distance needed by any vehicle using the access. Planting of tree(s), which will be over 4 inches in caliper at maturity, will not be allowed within 30 feet of the edge of the traveled way. All other objects shall not exceed a total height of thirty inches from the top of final grade. The Department will require any object or landscaping that becomes unsightly or is considered to be a traffic hazard to be removed by the Permittee at no cost to the Department.
40. Fill slopes and cut slopes shall be constructed to current Department minimum standards. Fill slopes and cut slopes shall be constructed to the slope of the existing highway near the access. All side slopes shall have a slope of 6:1 for 12 feet. [Z-distance]The minimum side slope template shall provide a 4:1 slope for six feet, and then not steeper than 3:1 unless physical restricted.
41. Soil preparation including topsoil, seeding and mulching is required with the highway right-of-way on all disturbed areas not surfaced and those areas beyond the highway that may erode and send debris into the highway right-of-way. The Department or local municipality shall provide minimum seed mixes, types and rates of seeding and preparation. (See attached Exhibit)
- Traffic 42. Installation of any traffic control device necessary for the safe and proper

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operation and control of the access shall be required by the permit at the cost of the Permittee. All traffic control devices within the highway or other public right-of-way or access that serve the general public shall conform to the M.U.T.C.D. Prior to removing any existing highway signs within the limits of the construction activities, the Permittee must contact Mr. Darrell Archuleta with the Department. Mr. Archuleta can be contacted at (719) 250-9006.

43. Traffic control and work hours on state highways, interstates and freeways will be allowed as determined by the CDOT Inspector for this permit and area only.

44. The Permittee shall coordinate all traffic control operations with any special events in the area. The Permittee shall not schedule operations that interfere with traffic from 2 hours before until 2 hours after any such event.

Traffic Control

45. If any traffic control devices are evident within 50 feet of the construction area, the Permittee/Contractor must contact Mr. Jimmy Biren, Asst. Traffic Operations Engineer, in Pueblo. Mr. Biren can be contacted in Pueblo at (719) 546-5404.

46. Whenever there is work within the highway right of way, the Permittee shall develop and implement a traffic control plan.

- a. This plan shall utilize traffic control devices as necessary to ensure the safe and expeditious movement of traffic around and through the work site as well as ensure the safety of the work force.
- b. A certified Traffic Control Supervisor or a Professional Traffic Engineer shall prepare the traffic control plan. The plan shall be in conformance with the latest Manual on Uniform Traffic Control Devices (MUTCD) and other applicable standards.
- c. The plan must be submitted and approved by the State Access Inspector listed below five working days prior to beginning construction within the highway right of way.
- d. The approved traffic control plan will be attached to the Permit and the NOTICE TO PROCEED TO CONSTRUCTION and must be available on site throughout the duration of the construction.
- e. All work that requires traffic control shall be supervised by a registered professional traffic engineer or by a certified traffic control supervisor.
- f. The contractor in accordance with the Department Standards shall certify flagging personnel, when required.

47. Two-way traffic shall be maintained throughout the work area at all times.

Utilities

48. The Permittee shall call 811 for all locates prior to any digging or

94 feet west of mile marker 292, 750 feet east of Wellington Rd. Route: 024, Mile Post:

291.99 Side: Right

For Permittee: Ute Pass Rental, Inc. to construct and improve the existing access location.

underground work. For CDOT owned underground facilities, contact CDOT Region 2 Traffic 719-546-5418.

- a. The Permittee is responsible for any utilities and/or traffic control devices disrupted by the construction of this access and all expense incurred for repair. There are existing utilities on the highway right-of-way by permit. Any work necessary to protect existing permitted utilities, such as encasements, bulwarks, etc. will be the responsibility of the Permittee. The Permittee is hereby advised that other utilities may exist within the proposed permit area.
- b. Permittee shall implement any and all measures to protect any existing utilities from damage.
- c. Non-Destructive Air-vacuum Excavation (potholing) to expose the utilities being surveyed to determine their exact depth and location maybe necessary before any work commences. The vacuum excavation technique is used not only to expose utilities but also for other uses that are benefited by the non-invasive/non-destructive, environmentally friendly technology such as dewatering or drill fluid/saw cutting fluid removal.
- d. A core hole saw cut is the recommended method of entry through pavement for potholing.
- e. Flowfill is required for backfill of the core hole under the pavement or on the roadway.
- f. The Contractor shall utilize a spotter to assist in the visual inspection of all excavation work as it progresses near existing CDOT Intelligent Transportation Systems fiber optic lines, conduits, pull boxes and manholes to ensure that no damage occurs to existing underground fiber lines or utilities.
- g. When the spotter has visual sight of the underground utility, the spotter shall notify the equipment operator of the proximity to the utility and begin to guide the excavation work to ensure no damage occurs.

Miscellaneous 49. **WORKER SAFETY AND HEALTH** All workers within the State Highway right of way shall comply with their employer's safety and health policies/procedures, and all applicable U.S. Occupational Safety and Health Administration (OSHA) regulations including, but not limited to the applicable sections of 29 CFR Part 1910 - Occupational Safety and Health Standards and 29 CFR Part 1926 - Safety and Health Regulations for Construction. At a minimum, all workers in the State Highway right of way, except when in their vehicles, shall wear the following personal protective equipment:

- a. Head protection that complies with the ANSI Z89.1-1997 standard;
- b. At all construction sites or whenever there is danger of injury to feet, protective footwear that complies with the ANSI Z41-1999 standard will be worn;
- c. High visibility apparel as specified in the Traffic Control provisions

94 feet west of mile marker 292, 750 feet east of Wellington Rd. Route: 024, Mile Post:

291.99 Side: Right

For Permittee: Ute Pass Rental, Inc. to construct and improve the existing access location.

of this permit (at a minimum, ANSI/ISEA 107-1999, Class 3).

Where any of the above-referenced ANSI standards have been revised, the most recent version of the standard shall apply.

- 50. CDOT retains the right to perform any necessary maintenance work in this area.
- 51. This Permit hereby replaces all previous access permit(s) for this parcel, which now become null and void.

Access C & G 52. Attached is CDOT Standard Plan M-609-1, entitled "Curbs and Gutters".

53. Curb and Gutter:

- a. All existing curb and gutter that is removed during the construction of the access shall be replaced with Standard Type 2 Curb in conformance with Section IIB of CDOT Standard M-609-1 or match the existing curb and gutter.
- b. Any new curb and gutter that is constructed shall be Standard Type 2 in conformance with Section IIB of CDOT Standard M-609-1 or the match existing curb and gutter.
- c. The new curb and gutter shall be installed to ensure proper drainage.
- d. All existing curb cuts and/or driveways that are removed shall be replaced with Standard Type 2 curb in conformance with Section IIB of CDOT Standard M-609-1 or match existing curb and gutter.
- e. The access that is to be closed shall be replaced with new Standard Type 2 curb and gutter in conformance with Section IIB of CDOT Standard M-609-1.

54. The areas behind the curb and sidewalk shall have a down slope away from the roadway of at least one-percent.

55. The access width, for an access without curbs, shall be measured exclusive of the radii or flares. The width of any non-traversal median is not counted as part of the access width. Only the travel portion is measured.

56. The surface width of the "Main Access" or roadway access shall be 42-feet, the access width for Ute Pass Mini-Storage shall be 32-feet at the ROW line.

Access Drg 56. All discharges to the CDOT highway drainage system must comply with the applicable provisions of the Colorado Water Quality Control Act and the Colorado Discharge Permit Regulations, and are subject to inspection by the CDOT and CDPHE. CDOT recommends this development devise and implement a permanent plan for periodic removal and disposal of sediment from detention facilities and for maintenance of development detention facilities. Attached is the CDOT Environmental Clearances

94 feet west of mile marker 292, 750 feet east of Wellington Rd. Route: 024, Mile Post:

291.99 Side: Right

For Permittee: Ute Pass Rental, Inc. to construct and improve the existing access location.

Information Summary listing some of the more commonly encountered environmental permits/clearances that may apply to activities and contacts for questions regarding these permits/clearances.

58. Each access shall be constructed in a manner that shall not cause water to enter onto the roadway or shoulder, and shall not interfere with the existing drainage system in the right-of-way or any adopted municipal system and drainage plan.
59. The highway drainage system is for the protection of the state highway right-of-way, structures, and appurtenances. It is not designed nor intended to serve the drainage requirement of abutting or other properties beyond undeveloped historical flow. Drainage to the state highway right-of-way shall not exceed the undeveloped historical rate of flow.
60. Drainage shall be according to the updated Drainage Mitigation report required by the NTP and attached to this permit.
61. All drainage appurtenances required for detention and release shall be located and fully maintainable by Ute Pass Rental, Inc.
62. The access shall be surfaced upon completion of earthwork construction and prior to being used. The access shall be surfaced from the highway roadway to the right-of-way line.

Access
Surfacing

- a. This "Main Access" shall have a hard surface pavement for a minimum distance of 20 feet from the traveled way (SH24). The first 20 feet of the access shall be surfaced with 6 inches of compacted Hot Mix Asphalt Type SX(75) PG58-28 and 12 inches of Aggregate Base Course (Class 6). The remainder of the access within the highway right-of-way shall be surfaced with 12 inches of Aggregate Base Course (Class 6).
- b. If hard surfacing (concrete or bituminous pavement) abuts existing pavement, the existing pavement shall be saw cut and removed a minimum of one (1) foot back from the existing edge of pavement.
- c. If patching is required due to saw cutting, 6 inches of Hot Mix Asphalt Type SX(75) PG58-28 shall be used. The material will be placed in 3 lifts.
- d. Compaction and placement of Hot Mix Asphalt shall be in accordance to section 401 of the Department's Standard Specifications.
- e. Placement of base course materials shall be in accordance with section 304 of the Department's Standard Specifications. Compaction of the Aggregate Base Course shall comply with section 304 of the Department's Standard Specifications.
- f. Compaction of sub-grade, embankments and backfills shall be in accordance to section 203 of the Department's Standard

PERMIT # 218058

February 28, 2019

94 feet west of mile marker 292, 750 feet east of Wellington Rd. Route: 024, Mile Post:

291.99 Side: Right

For Permittee: Ute Pass Rental, Inc. to construct and improve the existing access location.

Specifications. If frost, water or moisture is present in the sub-grade, no surfacing materials shall be placed until all frost, water or moisture is gone or removed.

Access
Survey

63. Physical separation and delineation along a property frontage such as curb and gutter or fencing, may be required when necessary to ensure that access will be limited to permitted locations.
 - a. Survey markers or monuments must be preserved in their original positions. Notify CDOT Land Survey, at (719) 546-5746 immediately upon damage to or discovery of any such markers or monuments at the work site.
 - b. Any survey markers or monuments disturbed during the execution of this permit shall be repaired and/or replaced immediately to the satisfaction of the CDOT Land Surveyor at the expense of the Permittee. All survey procedures and minimum tolerances shall be in conformance with the Department Survey Manual and the "Manual of Instruction for the Survey of Public Lands of the United States" 1972 and section 38-53-101 et seq, C.R.S.
 - c. Monuments shall conform to Department Standard M-629-1.

COLORADO DEPARTMENT OF TRANSPORTATION STATE HIGHWAY ACCESS PERMIT APPLICATION

Issuing authority application acceptance date:

RECEIVED

NOV 13 2018

CDOT Region 2
Permits Dept.

Instructions:

- Contact the Colorado Department of Transportation (CDOT) or your local government to determine your issuing authority.
- Contact the issuing authority to determine what plans and other documents are required to be submitted with your application.
- Complete this form (some questions may not apply to you) and attach all necessary documents and Submit it to the issuing authority.
- Submit an application for each access affected.
- If you have any questions contact the issuing authority.
- For additional information see CDOT's Access Management website at <http://www.dot.state.co.us/AccessPermits/index.htm>

Please print or type

| | | | |
|---|---|--|---|
| 1) Property owner (Permittee) Ute Pass Rental, Inc. | | 2) Applicant or Agent for permittee (if different from property owner) Ute Pass Rental, Inc. | |
| Street address 8775 W. Highway 24 | | Mailing address 8775 W. Highway 24 | |
| City, state & zip Cascade, CO 80809-1335 | Phone # 719-687-6371 | City, state & zip Cascade, CO 80809-1335 | Phone # (required) 719-687-6371 |
| E-mail address | | E-mail address if available | |
| 3) Address of property to be served by permit (required) 8775 W. Highway 24, Cascade, CO 80809-1335 (County Parcel No. 8315300029) | | | |
| 4) Legal description of property: If within jurisdictional limits of Municipality, city and/or County, which one? county subdivision block lot section township range El Paso See attached | | | |
| 5) What State Highway are you requesting access from? 24A | | 6) What side of the highway? <input type="checkbox"/> N <input checked="" type="checkbox"/> S <input type="checkbox"/> E <input type="checkbox"/> W | |
| 7) How many feet is the proposed access from the nearest mile post? 94 feet <input type="checkbox"/> N <input type="checkbox"/> S <input type="checkbox"/> E <input checked="" type="checkbox"/> W from: 292 | | How many feet is the proposed access from the nearest cross street? 750 feet <input type="checkbox"/> N <input type="checkbox"/> S <input checked="" type="checkbox"/> E <input type="checkbox"/> W from: Wellington Rd | |
| 8) What is the approximate date you intend to begin construction? 10/1/2018 | | | |
| 9) Check here if you are requesting a: <input type="checkbox"/> new access <input type="checkbox"/> temporary access (duration anticipated:) <input type="checkbox"/> improvement to existing access <input checked="" type="checkbox"/> change in access use <input type="checkbox"/> removal of access <input checked="" type="checkbox"/> relocation of an existing access (provide detail) | | | |
| 10) Provide existing property use Retail Store | | | |
| 11) Do you have knowledge of any State Highway access permits serving this property, or adjacent properties in which you have a property interest? <input checked="" type="checkbox"/> no <input type="checkbox"/> yes, if yes - what are the permit number(s) and provide copies: and/or, permit date: | | | |
| 12) Does the property owner own or have any interests in any adjacent property? <input type="checkbox"/> no <input checked="" type="checkbox"/> yes, if yes - please describe: Adjacent Property to the west. Parcel No. 8315300025 | | | |
| 13) Are there other existing or dedicated public streets, roads, highways or access easements bordering or within the property? <input checked="" type="checkbox"/> no <input type="checkbox"/> yes, if yes - list them on your plans and indicate the proposed and existing access points. | | | |
| 14) If you are requesting agricultural field access - how many acres will the access serve? N/A | | | |
| 15) If you are requesting commercial or industrial access please indicate the types and number of businesses and provide the floor area square footage of each. | | | |
| business/land use | square footage | business | square footage |
| Mini warehouse storage | 9,825 | | |
| Mini Whse. Business Office | 565 | | |
| 16) If you are requesting residential development access, what is the type (single family, apartment, townhouse) and number of units? | | | |
| type | number of units | type | number of units |
| n/a | | | |
| 17) Provide the following vehicle count estimates for vehicles that will use the access. Leaving the property then returning is two counts. | | | |
| Indicate if your counts are <input checked="" type="checkbox"/> peak hour volumes or <input type="checkbox"/> average daily volumes. | # of passenger cars and light trucks at peak hour volumes | # of multi unit trucks at peak hour volumes | |
| | 2 | 0 | |
| # of single unit vehicles in excess of 30 ft. | # of farm vehicles (field equipment) | Total count of all vehicles | |
| 0 | 0 | 2 | |

18) Check with the issuing authority to determine which of the following documents are required to complete the review of your application.

- a) Property map indicating other access, bordering roads and streets.
- b) Highway and driveway plan profile.
- c) Drainage plan showing impact to the highway right-of-way.
- d) Map and letters detailing utility locations before and after development in and along the right-of-way.
- e) Subdivision, zoning, or development plan.
- f) Proposed access design.
- g) Parcel and ownership maps including easements.
- h) Traffic studies.
- i) Proof of ownership.

1- It is the applicant's responsibility to contact appropriate agencies and obtain all environmental clearances that apply to their activities. Such clearances may include Corps of Engineers 404 Permits or Colorado Discharge Permit System permits, or ecological, archeological, historical or cultural resource clearances. The CDOT Environmental Clearances Information Summary presents contact information for agencies administering certain clearances, information about prohibited discharges, and may be obtained from Regional CDOT Utility/Special Use Permit offices or accessed via the CDOT Planning/Construction-Environmental-Guidance webpage <http://www.dot.state.co.us/environmental/Forms.asp>.

2- All workers within the State Highway right of way shall comply with their employer's safety and health policies/procedures, and all applicable U.S. Occupational Safety and Health Administration (OSHA) regulations - including, but not limited to the applicable sections of 29 CFR Part 1910 - Occupational Safety and Health Standards and 29 CFR Part 1926 - Safety and Health Regulations for Construction.

Personal protective equipment (e.g. head protection, footwear, high visibility apparel, safety glasses, hearing protection, respirators, gloves, etc.) shall be worn as appropriate for the work being performed, and as specified in regulation. At a minimum, all workers in the State Highway right of way, except when in their vehicles, shall wear the following personal protective equipment: High visibility apparel as specified in the Traffic Control provisions of the documentation accompanying the Notice to Proceed related to this permit (at a minimum, ANSI/ISEA 107-1999, class 2); head protection that complies with the ANSI Z89.1-1997 standard; and at all construction sites or whenever there is danger of injury to feet, workers shall comply with OSHA's PPE requirements for foot protection per 29 CFR 1910.136, 1926.95, and 1926.96. If required, such footwear shall meet the requirements of ANSI Z41-1999.

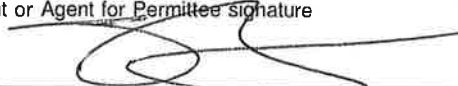
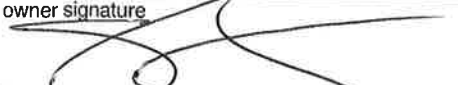
Where any of the above-referenced ANSI standards have been revised, the most recent version of the standard shall apply.

3- The Permittee is responsible for complying with the Revised Guidelines that have been adopted by the Access Board under the American Disabilities Act (ADA). These guidelines define traversable slope requirements and prescribe the use of a defined pattern of truncated domes as detectable warnings at street crossings. The new Standards Plans and can be found on the Design and Construction Project Support web page at: <http://www.dot.state.co.us/DesignSupport/>, then click on *Design Bulletins*.

If an access permit is issued to you, it will state the terms and conditions for its use. Any changes in the use of the permitted access not consistent with the terms and conditions listed on the permit may be considered a violation of the permit.

The applicant declares under penalty of perjury in the second degree, and any other applicable state or federal laws, that all information provided on this form and submitted attachments are to the best of their knowledge true and complete.

I understand receipt of an access permit does not constitute permission to start access construction work.

| | | |
|--|-----------------------------|-----------------|
| Applicant or Agent for Permittee signature  | Print name Shaine Kratke | Date 11-8-18 |
| If the applicant is not the owner of the property, we require this application also to be signed by the property owner or their legally authorized representative (or other acceptable written evidence). This signature shall constitute agreement with this application by all owners-of-interest unless stated in writing. If a permit is issued, the property owner, in most cases, will be listed as the permittee. | | |
| Property owner signature  | Print name Shaine Kratke | Date 11-8-18 |

RECEIVED

By CDOT Region 2 Permits at 2:55 pm, Jul 09, 2018



HAMMERS CONSTRUCTION, INC.

1411 Woolsey Heights I Colorado Springs, Colorado 80915-5400
(719) 570-1599 I FAX (719) 570-7008 I www.hammersconstruction.com

I **SPECIALIZING IN DESIGN / BUILD** I

Steve Hammers, President
shammers@hammersconstruction.com

Letter of Intent

Plot Plan

Owner Information

Ute Pass Rental, INC
8775 W. Highway 24
Cascade, CO 80906
Project Name: Ute Pass Storage Facility

Owner Representatives

Hammers Construction, Inc.
Yury Dyachenko – Project Manager
Lisa Peterson – Design (Applicant)
1411 Woolsey Heights
Colorado Springs, CO 80915
(719) 570-1599

Site:

Legal: Tract in ne4sw4 Sec 15-13-68 as fols, beg at poi of intsec of swly r/w ln of us hwy 24 and s ln of ne4sw4, th alg sd r/w ln n 44<48' w 179.00 ft, th alg arc of cur to r having a rad of 5780.00 ft whose chord bears n 43<10' w330.40 ft, th leaving sd r/w ln s 50<17' w 351.60 ft m/l to nely r/w ln of midland terminal rw co, th alg sd rr r/w ln s 45<27' e 197.80 ft m/l to s ln of ne4sw4, th e alg sd s ln 481.60 ft m/l to pob, ex tr des in bk 3023-977

Address: 8775 W. Highway 24
Cascade, CO 80906

Lot Size: 1.79 acres
Zoned – CC R-T
Parcel number: 83153-00-029

Request and Justification

Request approval for the new construction of 6 buildings (totaling 9,825 sf) used for mini-storage built on the property. We will add necessary parking, drive aisles and landscaping per El Paso County requirements. No free-standing signs are being proposed at this time.

Existing and proposed facilities, structures and roads.

The lot will be entered from West Highway 24. The lot currently has a 565sf office building on site. 6 buildings, totaling 9,825 sf are being proposed on the property indicated above.

EL PASO COUNTY COLORADO

- Help
- Map Search
- Database Search
- Zoom to Region
- Measure Tool
- Print
- Aerial | Road

Schedule: 8315300029

Owner:
UTE PASS RENTAL INC

Location:
8775 HIGHWAY 24 W

More Info



DRAWING INDEX
 1 OF 5 - SITE PLAN & DETAILS
 2 OF 5 - DETAILS
 3 OF 5 - LANDSCAPE DETAILS
 4 OF 5 - ELECTRICAL
 5 OF 5 - BUILDING ELEVATIONS



PROJECT INFORMATION
 OWNER: UTE PASS STORAGE FACILITY
 PROJECT: UTE PASS STORAGE FACILITY
 PROJECT ADDRESS: 875 N HIGHWAY 24, CASASCADE, CO 80804
 PROJECT PHONE: 303-751-1000
 PROJECT FAX: 303-751-2000
 PROJECT EMAIL: info@hammersconstruction.com

LEGAL DESCRIPTION
 PARCEL NUMBER: 00-00-0028
 LOT: 17840 9F (178 ACRES)
 SECTION: 34
 TOWNSHIP: 35N
 RANGE: 103S
 COUNTY: EL PASO COUNTY, COLORADO

BUILDING INFORMATION
 BUILDING AREA (GROSS): 800,000 SF
 BUILDING OCCUPANCY: STORAGE
 BUILDING TYPE: STORAGE
 AREA SEPARATION WALLS: NONE

ZONING INFORMATION
 ZONING CODE: S-1
 STRUCTURAL COVERAGE OF LOT: 100%
 MAXIMUM BUILDING HEIGHT: 25'-0"
 MINIMUM YARD SETBACK: 25'-0"

REQUIRED PARKING SPACES
 MINIMUM REQUIRED SPACES (AS PER CITY OF DENVER): 1000 SPACES
 (1) EMPLOYED
 (1) VISITOR
 (1) PUBLIC
 (1) TOTAL PARKING SPACES REQUIRED: 1000 SPACES
 STANDARD SPACES PROVIDED: 1000 SPACES

CONSTRUCTION SCHEDULE
 CONSTRUCTION: FALL 2018
 LANDSCAPING: FALL 2018

CONTACT INFORMATION
 ARCHITECT: Hammers Construction Inc.
 PHONE NUMBER: 303-751-1000
 PROJECT ADDRESS: 875 N HIGHWAY 24, CASASCADE, CO 80804
 PROJECT FAX: 303-751-2000
 PROJECT EMAIL: info@hammersconstruction.com

SITE LEGEND

100' FLOOD PLAIN BOUNDARY LINE
 100' GRADE LINE
 100' PROPERTY LINE
 100' BUILDING SETBACK
 100' LANDSCAPE SETBACK
 100' ELECTRICAL BOUNDARY
 100' ACCESS EASEMENT
 100' DRIVEWAY FRONT EDGE
 100' DRIVEWAY SIDE EDGE
 100' DRIVEWAY REAR EDGE
 100' DRIVEWAY END EDGE
 100' DRIVEWAY CORNER LINE
 100' DRIVEWAY CENTER LINE
 100' DRIVEWAY SIDE LINE
 100' DRIVEWAY END LINE
 100' DRIVEWAY CORNER LOCATIONS
 100' DRIVEWAY CONTROL JOINTS @ 3'-0" O.C.

100' DRIVEWAY CENTER LINE
 100' DRIVEWAY SIDE LINE
 100' DRIVEWAY END LINE
 100' DRIVEWAY CORNER LOCATIONS
 100' DRIVEWAY CONTROL JOINTS @ 3'-0" O.C.

100' DRIVEWAY CENTER LINE
 100' DRIVEWAY SIDE LINE
 100' DRIVEWAY END LINE
 100' DRIVEWAY CORNER LOCATIONS
 100' DRIVEWAY CONTROL JOINTS @ 3'-0" O.C.

BUILDING TABULATION

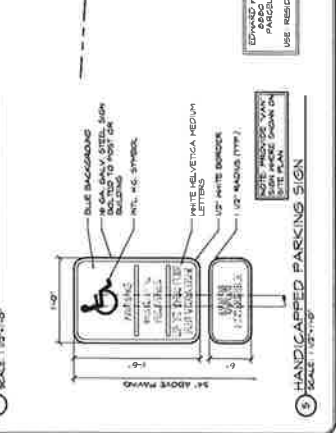
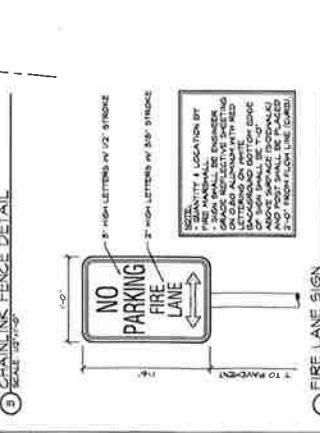
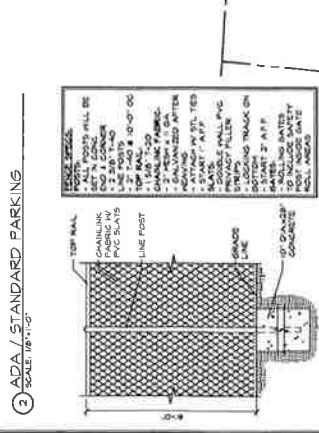
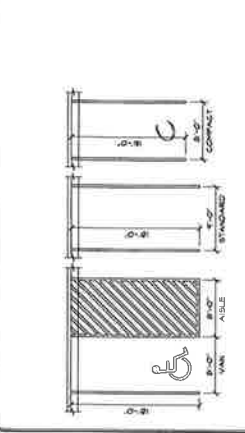
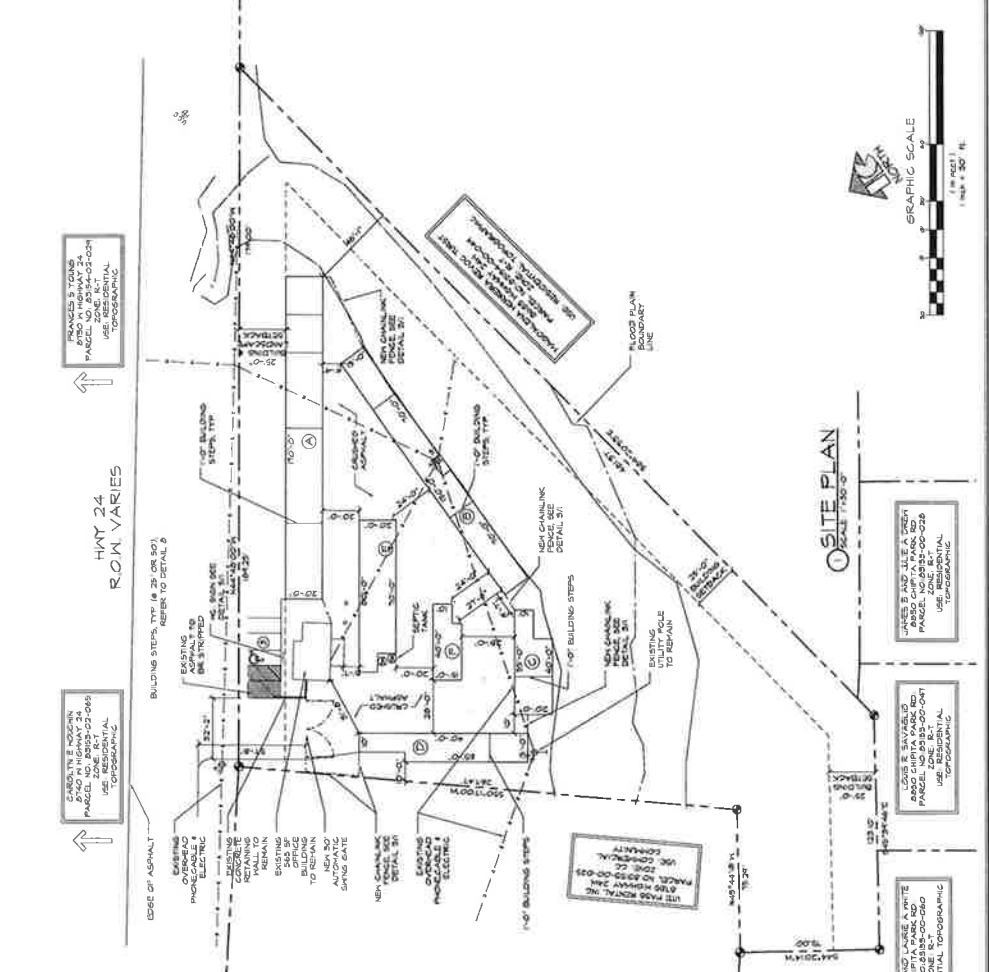
| BLDG | 5'-0" | 10'-0" | 15'-0" | 20'-0" | 25'-0" | 30'-0" | 35'-0" | 40'-0" | 45'-0" | 50'-0" | 55'-0" | 60'-0" | 65'-0" | 70'-0" | 75'-0" | 80'-0" | 85'-0" | 90'-0" | 95'-0" | 100'-0" | TOTAL SF |
|---------------------------|-------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|---------|-------------------------------|
| A | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | 5400 SF |
| B | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | 2200 SF |
| C | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | 1320 SF |
| D | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | 1000 SF |
| E | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | 550 SF |
| F | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | 8425 SF |
| TOTAL # OF BAY DOORS = 61 | | | | | | | | | | | | | | | | | | | | | TOTAL # OF 5'-9"x7' DOORS = 6 |

GENERAL NOTES

1. THE DESIGN PROFESSIONAL RESPONSIBLE FOR THIS PLAN HAS REVIEWED THE PLAN FOR CONFORMANCE WITH THE CITY OF DENVER'S ACCESSIBILITY STANDARDS AND SPECIFICATIONS AND THE APPLICABLE ADA DESIGN STANDARDS AND SPECIFICATIONS AS APPROVED BY THE CITY OF DENVER. THE CITY OF DENVER'S STANDARDS AND SPECIFICATIONS ARE THE BASIS FOR THE DESIGN OF THIS PLAN. THE CITY OF DENVER'S STANDARDS AND SPECIFICATIONS ARE THE BASIS FOR THE DESIGN OF THIS PLAN. THE CITY OF DENVER'S STANDARDS AND SPECIFICATIONS ARE THE BASIS FOR THE DESIGN OF THIS PLAN.

LEGAL DESCRIPTION

PARCEL 17840 9F (178 ACRES)
 SECTION 34
 TOWNSHIP 35N
 RANGE 103S
 COUNTY EL PASO COUNTY, COLORADO



GRAPHIC SCALE
 1" = 50'

NOTES

1. SEE DETAIL 100-01 FOR CHAIN LINK FENCE AND POST DETAIL.

2. SEE DETAIL 100-02 FOR ADA STANDARD PARKING SPACE DETAIL.

3. SEE DETAIL 100-03 FOR CHAIN LINK FENCE DETAIL.

4. SEE DETAIL 100-04 FOR FIRE LANE SIGN DETAIL.

5. SEE DETAIL 100-05 FOR HANDICAPPED PARKING SIGN DETAIL.

Ute Pass Trading
Ute Pass Rental
8785 W US HWY 24
Cascade, CO 80809
719-687-6371

356
82-7000/3070

3-13-19

Date

Pay to the Order of CDOT \$ 300.00

three hundred and 00/100 Dollars

Security Features Details on Back

ENT
PO Box 15819
Colorado Springs, CO 80985-5819

ACCESS
For Permit # 718058



#103912

RECEIVED

MAR 13 2019

CDOT Region 2
Permits Dept.

EXHIBIT "A"

Seeding Requirements - Mountain

Soil preparation, seeding, and mulching will be required within the right-of way limits on all disturbed areas not surfaced. The following types and rates shall be used:

| COMMON NAME | BOTANICAL NAME | LBS. PLS/ACRE |
|------------------------------|------------------------|------------------------|
| Western Wheat grass V.Rosana | Pascopyrum Smithii | 6 |
| Slender Wheat grass V.Primar | Agropyron Trachycaulum | 3 |
| Blue Grama Grass V.Lovington | Bouteloua Gracilis | 2 |
| Sandberg Bluegrass | Poa Sandbergi | 1 |
| Sheep Fescue | Festuca Ovina | 3 |
| Alsike Clover | Trifolium Hybrioum | 1 |
| | TOTAL | 16 lbs pls/acre |

| COMMERCIAL FERTILIZER | ANALYSIS(%) | LBS. NUTRIENT/ACRE |
|-----------------------|-------------|--------------------|
| Nitrogen | 18 | 27 |
| Phosphorus | 46 | 69 |

SEEDING APPLICATION: Drilled to a depth of .25" to .50" into soil where possible. Broadcast and raked to cover on steeper than 2:1 slopes where access is limited or unsafe for equipment.

MULCHING REQUIREMENT AND APPLICATION: 1.5 tons per acre native hay mechanically crimped into soil.

COLORADO DEPARTMENT OF TRANSPORTATION Environmental Clearances Information Summary

PURPOSE - This summary is intended to inform entities external to CDOT that may be entering the state highway right-of-way to perform work related to their own facilities (such as Utility, Special Use or Access Permittees), about some of the more commonly encountered environmental permits/clearances that may apply to their activities. This listing is not all-inclusive - additional environmental or cultural resource permits/clearances may be required in certain instances. Appropriate local, state and federal agencies should be contacted for additional information if there is any uncertainty about what permits/clearances are required for a specific activity. **IMPORTANT – Please Review The Following Information Carefully – Failure to Comply With Regulatory Requirements May Result In Suspension or Revocation of Your CDOT Permit, Or Enforcement Actions By Other Agencies.**

CLEARANCE CONTACTS - As indicated in the permit/clearance descriptions listed below, the following individuals or agencies may be contacted for additional information:

- Colorado Department of Public Health and Environment (CDPHE): General Information – (303) 692-2035
Water Quality Control Division (WQCD): (303) 692-3500
Environmental Permitting Website <https://www.colorado.gov/pacific/cdphe/all-permits>
- CDOT Water Quality Program Manager: (303) 757-9343 <https://www.codot.gov/programs/environmental/water-quality>
- CDOT Asbestos Project Manager: Phil Kangas, (303) 512-5519
- Colorado Office of Archaeology and Historic Preservation: (303) 866-5216
- U.S. Army Corps of Engineers, District Regulatory Offices:
Omaha District (NE CO), Denver Office (303) 979-4120
<http://www.nwo.usace.army.mil/Missions/RegulatoryProgram/Colorado.aspx>
Sacramento Dist. (Western CO), Grand Junction Office (970) 243-1199
<http://www.spk.usace.army.mil/Missions/Regulatory.aspx>
Albuquerque District (SE CO), Pueblo Office (719)-543-9459
<http://www.spa.usace.army.mil/Missions/RegulatoryProgramandPermits.aspx>
- CDOT Utilities, Special Use and Access Permitting: (303) 757-9654 <https://www.codot.gov/business/permits>

Wildlife Resources - Disturbance of wildlife shall be avoided to the maximum extent practicable. Entry into areas of known or suspected threatened or endangered species habitat will require special authorization from the CDOT permitting office. If any threatened or endangered species are encountered during the progress of the permitted work, work in the subject area shall be halted and the CDOT Regional Permitting Office and Region Planning and Environmental Manager shall be contacted immediately. Authorization must be provided by CDOT prior to the continuation of work. Information about threatened or endangered species may be obtained from the CDOT website, <http://www.codot.gov/programs/environmental/wildlife/guidelines>, or the Colorado Parks and Wildlife (CPW) website, <http://www.cpw.state.co.us/learn/Pages/SOC-ThreatenedEndangeredList.aspx>. Additional guidance may be provided by the appropriate Region Planning and Environmental Manager (RPEM).

Cultural Resources - The applicant must request a file search of the permit area through the Colorado Office of Archaeology and Historic Preservation (OAHP), Denver, to ascertain if historic or archaeological resources have previously been identified (<http://www.historycolorado.org/oaHP/file-search>). Inventory of the permit area by a qualified cultural resources specialist may be necessary, per the recommendation of CDOT. If archaeological sites/artifacts or historic resources are known to exist prior to the initiation of the permitted work or are encountered as the project progresses, all work in the subject area shall be halted and the CDOT Regional Permitting Office and Region Planning and Environmental Manager shall be contacted immediately. Authorization must be provided by CDOT prior to the continuation of work. Additional guidance may be provided by the Regional Permitting Office and RPEM. **Contact Information:** Contact the OAHP for file searches at (303) 866-5216.

Paleontological Resources - The applicant must request a fossil locality file search through the University of Colorado Museum, Boulder (<https://cumuseum.colorado.edu/research/paleontology/vertebrates/policies>), and the Denver Museum of Nature and Science (<http://www.dmns.org/science/collections/earth-science-collections/>) to ascertain if paleontological resources have been previously identified in or near the permit area. Inventory of the permit area by a qualified paleontologist may be necessary, per the recommendation of CDOT. If fossils are encountered during the permitted work, all work in the subject area shall be halted and the CDOT Regional Permitting Office and Region Planning and Environmental Manager shall be contacted immediately. Authorization must be provided by CDOT prior to the continuation of work. Additional guidance may be provided by the Regional Permitting Office in the Permit Special Provisions. **Contact Information:** See the museum websites listed above for Paleontological Collections Manager contact information. Contact the CDOT Paleontologist for further information at nicole.peavey@state.co.us or (303) 757-9632. The CDOT Paleontologist will not conduct a comprehensive file search independently of the museums.

Hazardous Materials, Solid Waste - The Solid Wastes Disposal Sites and Facilities Act C.R.S. 30-20-100, et al, and Regulations Pertaining to Solid Waste Disposal Sites and Facilities (6 CCR 1007-2), prohibit solid waste disposal without an approved Certificate of Designation (a landfill permit). The Colorado Hazardous Waste Act C.R.S. 25-15-301 et al, and the Colorado Hazardous Waste Regulations (6 CCR 1007-3) prohibit the transfer, storage or disposal (TSD) of hazardous waste except at permitted TSD sites. There are no permitted landfills or TSD sites within the State Highway Right of Way. Therefore, all solid or hazardous wastes that might be generated by the activities of entities entering the State Highway Right of Way must be removed from the ROW and disposed of at a permitted facility or designated collection point (e.g., for solid waste, a utility or construction company's own dumpster). If pre-existing solid waste or hazardous materials contamination (including oil or petroleum contaminated soil, asbestos, chemicals, mine tailings, etc.) is encountered during the performance of work, the permittee shall halt work in the affected area and immediately contact the CDOT Regional Permitting Office for direction as to how to proceed. **Contact Information:** Theresa Santangelo-Dreiling, CDOT Hazardous Materials Management Supervisor: (303) 512-5524.

Asbestos Containing Materials, Asbestos Contaminated Soil - All work on asbestos containing materials (ACM) must comply with the applicable requirements of the CDPHE Air Pollution Control Division's (APCD) Regulation 8. Disposal of ACM, and work done in asbestos-contaminated soil, must comply with the CDPHE Hazardous Materials and Waste Management Division's (HMWMD) Solid

Waste Regulations. The application for any CDOT permit must specifically identify any ACM involved in the work for which authorization is being requested. Additional guidance or requirements may be specified in the permit special provisions. **Contact Info:** CDPHE APCD and HMWMD Regulations can be accessed via the CDPHE Environmental Permitting Website listed above. Additional information **concerning clearance on CDOT projects** is available from the CDOT Asbestos Project Manager (303) 512-5519, or Theresa Santangelo-Dreiling, Hazardous Materials Management Supervisor: (303) 512-5524.

Transportation of Hazardous Materials - No person may offer or accept a hazardous material for transportation in commerce unless that person is registered in conformance with the United States Department of Transportation regulations at 49 CFR, Part 171. The hazardous material must be properly classed, described, packaged, marked, labeled, and in condition for shipment as required or authorized by applicable requirements, or an exemption, approval or registration has been issued. Vehicles requiring a placard, must obtain authorization and a State HAZMAT Permit from the Colorado Public Utilities Commission. **Contact Information:** For authorization and more info call the Federal Motor Safety Carrier Administration, US DOT for inter- and intra-state HAZMAT Registration (303) 969-6748. Colorado Public Utilities Commission: (303) 894-2868.

Discharge of Dredged or Fill Material – 404 Permits Administered By the U.S. Army Corps of Engineers, and Section 401 Water Quality Certifications Issued by the CDPHE WQCD - Corps of Engineers 404 permits are required for the discharge of dredged or fill materials into waters of the United States, including wetlands. There are various types of 404 permits, including nationwide permits, which are issued for activities with relatively minor impacts. For example, there is a nationwide permit for utility line activities (nwp #12). Depending upon the specific circumstances, it is possible that either a "general" or "Individual" 404 permit would be required. If an individual 404 permit is required, section 401 water quality certification from the CDPHE WQCD is also required. Contact the appropriate Corps District Regulatory Office for information about what type of 404 permit may be required (contact information above). Contact the CDPHE Water Quality Control Division at (303) 692-3500.

Working on or in any stream or its bank - In order to protect and preserve the state's fish and wildlife resources from actions that may obstruct, diminish, destroy, change, modify, or vary a natural existing stream or its banks or tributaries, it may be necessary to obtain a Senate Bill 40 certification from the Colorado Department of Natural Resources. A stream is defined as 1) represented by a solid blue line on USGS 7.5' quadrangle maps; and/or 2) intermittent streams providing live water beneficial to fish and wildlife; and/or 3) segments of streams supporting 25% or more cover within 100 yards upstream or downstream of the project; and/or 4) segments of streams having wetlands present within 200 yards upstream or downstream of the project measured by valley length. The CPW application, as per guidelines agreed upon by CDOT and CPW, can be accessed at <https://www.codot.gov/programs/environmental/wildlife/guidelines>.

Stormwater Construction Permit (SCP) and Stormwater Discharge From Industrial Facilities - Discharges of stormwater runoff from construction sites disturbing one acre or more - or certain types of industrial facilities, such as concrete batch plants - require a CDPS Stormwater Permit. **Contact Information:** Contact the CDPHE Water Quality Control Division at (303) 692-3500. Website: <https://www.colorado.gov/pacific/cdphe/wq-construction-general-permits> and <https://colorado.gov/pacific/cdphe/wq-commerce-and-industry-permits>.

Construction Dewatering (Discharge or Infiltration) and Remediation Activities - Discharges of water encountered during excavation or work in wet areas may require a Construction Dewatering or Remediation Activities Discharge Permit. **Contact Information:** For Construction Dewatering and Remediation Activities Discharge Permits, contact the CDPHE WQCD at (303) 692-3500. For Applications and Instructions (CDPHE website): <https://www.colorado.gov/pacific/cdphe/wq-construction-general-permits>.

Municipal Separate Storm Sewer System (MS4) Discharge Permit - Discharges from the storm sewer systems of larger municipalities, and from the CDOT highway drainage system that lies within those municipalities, are subject to MS4 Permits issued by the CDPHE WQCD. For facilities that lie within the boundaries of a municipality that is subject to an MS4 permit, the owner of such facility should contact the municipality regarding stormwater related clearances that may have been established under that municipality's MS4 permit. All discharges to the CDOT highway drainage system or within the Right of Way (ROW) must comply with the applicable provisions of the Colorado Water Quality Control Act, the Water Quality Control Commission (WQCC) Regulations (<https://www.colorado.gov/pacific/cdphe/wqcc-regulations-and-policies-and-water-quality-statutes>) and the CDOT MS4 Permit # COS-000005 (<https://www.codot.gov/programs/environmental/water-quality/documents>). Discharges are subject to inspection by CDOT and CDPHE. Contact the CDPHE Water Quality Control Division at (303) 692-3500 for a listing of municipalities required to obtain MS4 Permits, or go to <https://www.colorado.gov/pacific/cdphe/wq-municipal-ms4-permits>. For CDOT-related MS4 regulations, go to: <https://www.codot.gov/programs/environmental/water-quality/stormwater-programs.html>.

General Prohibition – Discharges - All discharges are subject to the provisions of the Colorado Water Quality Control Act and the Colorado Discharge Permit Regulations. Prohibited discharges include, but are not limited to, substances such as wash water, paint, automotive fluids, solvents, oils or soaps and sediment. **Contact Information:** Contact the CDPHE Water Quality Control Division at (303) 692-3500.

General Authorization - Allowable Non-Stormwater Discharges - Unless otherwise identified by CDOT or the WQCD as significant sources of pollutants to the waters of the State, the following discharges to stormwater systems are allowed without a Colorado Discharge Permit System permit: landscape irrigation, diverted stream flows, uncontaminated ground water infiltration to separate storm sewers, discharges from potable water sources, foundation drains, air conditioning condensation, irrigation water, uncontaminated springs, footing drains, water line flushing, flows from riparian habitats and wetlands, and flow from firefighting activities. Allowable non-stormwater discharges can be found under Illicit Discharge PDD at: <https://www.codot.gov/programs/environmental/water-quality/stormwater-programs.html>. **Contact Information:** The CDPHE Water Quality Control Division (telephone #'s listed above).

Erosion and Sediment Control Practices - For activities requiring a Stormwater Construction Permit, erosion control requirements will be specified in that permit. In situations where a stormwater permit is not required, all reasonable measures should be taken to minimize erosion and sedimentation according to CDOT Standard Specifications 107.25, 208, 213 and 216 (<https://www.codot.gov/business/designsupport/2011-construction-specifications/2011-Specs/2011-specs-book>). All disturbances require a stabilization plan, native seeding or landscape design plan according to applicable CDOT Standard Specifications 212-217 and 623. The CDOT Erosion Control and Stormwater Quality Guide (available from the Bid Plans Office at (303) 757-9313) should be used to design erosion controls and restore disturbed vegetation.

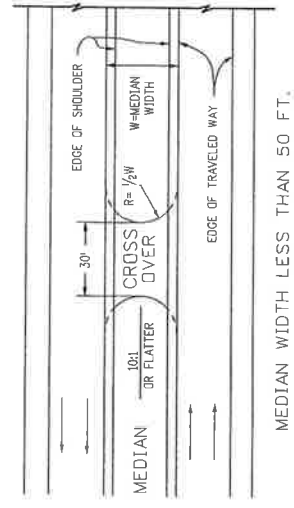
Disposal of Drilling Fluids - Drilling fluids used in operations such as Horizontal Directional Drilling may be classified as "discharges" or "solid wastes," and in general, should be pumped or vacuumed from the construction area, removed from the State Highway Right of Way, and disposed of at permitted facilities that specifically accept such wastes. Disposal of drilling fluids into storm drains, storm sewers, roadside ditches or any other type of man-made or natural waterway is prohibited by Water Quality Control and/or Solid Waste regulations. Small quantities of drilling fluid solids (less than 1 cubic yard of solids) may be left on-site after either being separated from fluids or after infiltration of the water, provided: 1) the drilling fluid consists of only water and bentonite clay, or, if required for proper drilling properties, small quantities of polymer additives that are approved for use in drinking water well drilling; 2) the solids are fully contained in a pit, and are not likely to pose a nuisance to future work in the area, 3) the solids are covered and the area restored as required by CDOT permit requirements (Utility, Special Use, or Access Permits, etc.). **Contact Information:** Contact CDPHE (telephone #'s listed above).

Noxious Weeds and Invasive Species Management Plan – Noxious Weeds and Invasive Species guidance can be found by contacting the Colorado Department of Agriculture (<https://www.colorado.gov/pacific/agconservation/noxiousweeds>) and the Colorado Division of Parks and Wildlife (<http://cpw.state.co.us/aboutus/Pages/RS-NoxiousWeeds.aspx>). In either case, management plans involving the control of noxious weeds associated with the permitted activity and cleaning of equipment will be required.

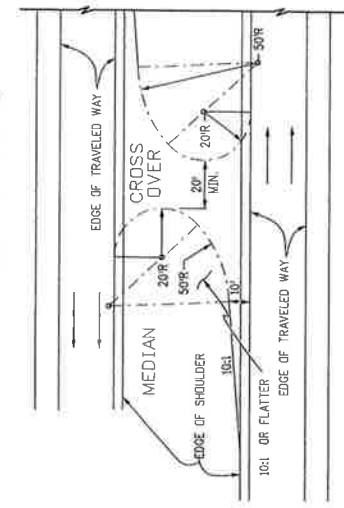
Concrete Washout - Waste generated from concrete activities shall NOT be allowed to flow into the drainage ways, inlets, receiving waters, or in the CDOT ROW. Concrete waste shall be placed in a temporary concrete washout facility and must be located a minimum of 50 feet from state waters, drainageways, and inlets. Concrete washout shall only be performed as specified by the CDOT Environmental Program and shall be in accordance to CDOT specifications and guidelines. **Contact Information:** Contact CDPHE or find additional information on the CDOT website: <https://www.codot.gov/business/designsupport/2011-construction-specifications/2011-Specs> and refer to the specifications and their revisions for sections 101, 107 and 208.

Spill Reporting - Spills shall be contained and cleaned up as soon as possible. Spills shall NOT be washed down into the storm drain or buried. All spills shall be reported to the CDOT Illicit Discharge Hotline at (303) 512-4446 (4H20), as well as the Regional Permitting Office and Regional Maintenance Supervisor. Spills on highways, into waterways, any spill in the highway right-of-way exceeding 25 gallons, or that may otherwise present an immediate danger to the public shall be reported by calling 911, and shall also be reported to the CDPHE at 1-877-518-5608. More information can be found at <https://www.colorado.gov/pacific/cdphe/emergency-reporting-line>.

About This Form - Questions or comments about this Information Summary may be directed to Alex Karami, Program Administrator, CDOT Access Management Unit, at (303) 757-9841, alex.karami@state.co.us.



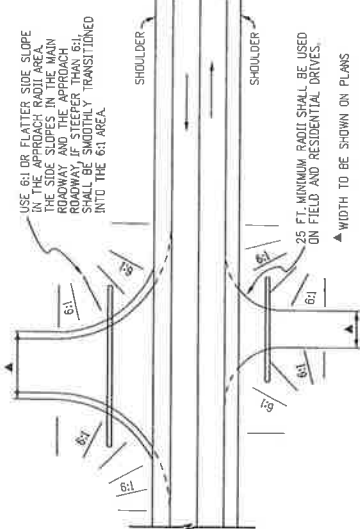
MEDIAN WIDTH LESS THAN 50 FT.



MEDIAN WIDTH GREATER THAN 50 FT.
 TYPICAL PLANS FOR
 EMERGENCY MEDIAN CROSS OVER
 LOCATION OF RADIUS POINTS MAY BE ADJUSTED FOR BEST FIT

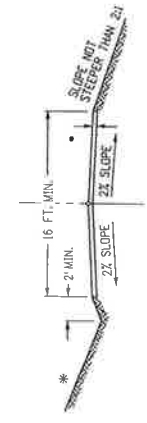


TYPICAL SECTION FOR MEDIAN CROSS OVER
 ANY REQUIRED PIPE OR INLET FOR MEDIAN DRAINAGE SHALL HAVE A TRAVERSABLE DESIGN AS SPECIFIED ON THE PLANS



TYPICAL PLANS FOR
 SIDE APPROACH ROAD

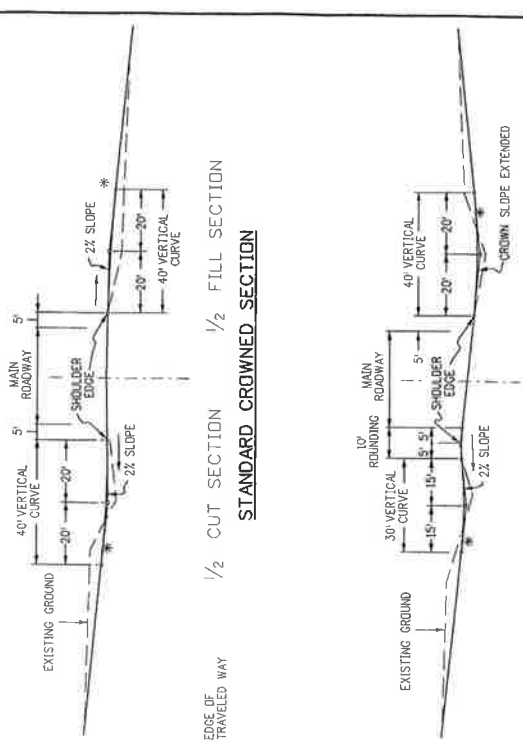
NOTE: SIDE DRAINS SHALL BE LOCATED BEYOND THE CLEAR ZONE OR WHEN WITHIN THE CLEAR ZONE, THE DRAIN SHALL BE LOCATED TO THE OUTSIDE OF THE ROADWAY TO A 6:1 SLOPE. FIFTY FT. RADI SHALL BE USED ON INTERSECTING ROAD EXCEPT FOR FIELD AND RESIDENTIAL DRIVES OR UNLESS OTHERWISE SPECIFIED ON PLANS. RADI MAY BE VARIED TO SUIT FIELD CONDITIONS.



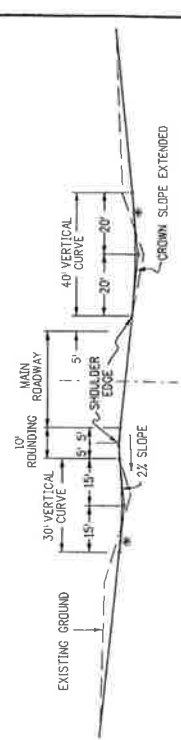
1/2 CUT SECTION 1/2 FILL SECTION

TYPICAL SECTION FOR APPROACH (ACCESS) ROAD

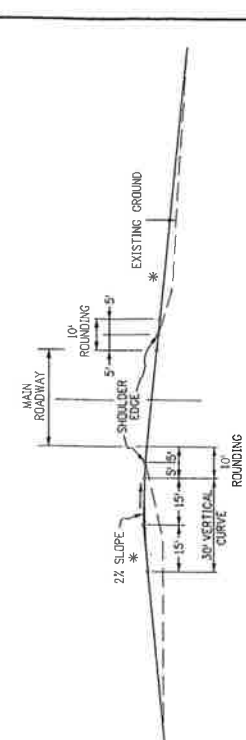
NOTE: ROAD APPROACHES WHICH REQUIRE HMA (ASPHALT) PAVEMENT SHALL BE PLACED AT THE FOLLOWING DISTANCES BACK FROM THE ROADWAY EDGE OF PAVEMENT:
 1. RESIDENTIAL OR AGRICULTURAL FIELD ENTRANCES - PAVE 4 FEET BACK.
 2. THREE OR MORE RESIDENCES OR COMMERCIAL PROPERTY - PAVE 20 FEET BACK OR TO ROW LINE, WHICHEVER IS LESS.
 3. PUBLIC STREET - PAVE 50 FEET BACK OR TO ROW LINE, WHICHEVER IS LESS.
 4. IF EXISTING ACCESS IS PAVED, THEN FEATHER NEW ASPHALT OVERLAY A MINIMUM OF 2 FEET BACK OR AS DIRECTED BY THE ENGINEER.



1/2 CUT SECTION 1/2 FILL SECTION
 STANDARD CROWNED SECTION



SUPERELEVATED CUT SECTION



SUPERELEVATED FILL SECTION

VERTICAL ALIGNMENT SIDE APPROACH ROADS
 INTERSECTING MAIN ROADWAY

* ANSICUT SLOPE NOT STEEPER THAN 6:1 BEYOND THE VERTICAL CURVE. THE UP SLOPE MUST BE STEEPER THAN THE EXISTING APPROACH SLOPE. HOWEVER, APPROACH ROAD SLOPE SHOULD NOT BE STEEPER THAN EXISTING SLOPE.

| Computer File Information | | Sheet Revisions | |
|--|---------------------|-----------------|------------------------------|
| Creation Date: 07/06/12 | Initials: DD | Date: 07/06/13 | Comments |
| Last Modification Date: 07/06/13 | Initials: LTA | (C-X) | Added notes to Approach Road |
| Full Path: www.colorado.ctd.com/business/designsupport | (C-X) | (C-X) | Typ. Sec. detail. |
| Drawing File Name: 203010101.dgn | (C-X) | (C-X) | |
| CAD Ver.: MicroStation V8 | Scale: Met to Scale | (C-X) | |

Colorado Department of Transportation
 4201 East Arkansas Avenue
 D001 HO, 4th floor
 Denver, CO 80202
 Phone: 303-757-8001 FAX: 303-757-9868

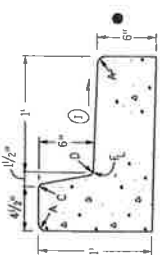
Division of Project Support
 DLM/LTA

APPROACH ROADS

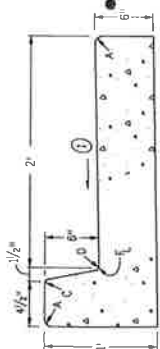
STANDARD PLAN NO.
 M-203-1

Sheet No. 1 of 1

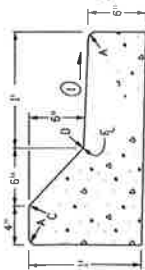
Issued By: Project Development Branch July 4, 2012



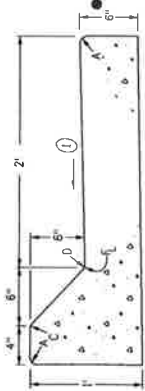
**CURB AND GUTTER TYPE 2
(SECTION IB)**
(6 IN. BARRIER - 1 FT. GUTTER)



**CURB AND GUTTER TYPE 2
(SECTION IIB)**
(6 IN. BARRIER - 2 FT. GUTTER)



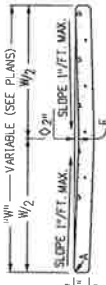
**CURB AND GUTTER TYPE 2
(SECTION IM)**
(6 IN. MOUNTABLE - 1 FT. GUTTER)



**CURB AND GUTTER TYPE 2
(SECTION IIM)**
(6 IN. MOUNTABLE - 2 FT. GUTTER)



**CURB AND GUTTER TYPE 2
(SECTION MS)**
(4 IN. MOUNTABLE WITH SIDEWALK)



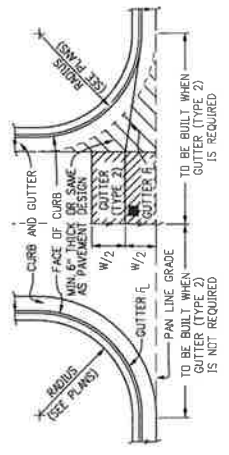
GUTTER TYPE 2

- GENERAL NOTES**
- ON ROADWAY CURVES WITH A RADIUS OF 1,900 FT. OR LESS, CURBS AND GUTTERS ARE TO BE PLACED ON THE ARC OF THE CURVE, UNLESS OTHERWISE NOTED ON THE PLANS. A MAXIMUM CHORD LENGTH OF 10 FT. MAY BE USED WHEN THE CURVE RADIUS IS GREATER THAN 1,900 FT.
 - CONCRETE SHALL BE CLASS B.
 - PROFILE GRADE OF CURBS AND GUTTERS SHALL BE LOCATED AT THE FLOW LINE.
 - CURB TYPE 4 (KEY-WAY) MAY BE USED IN LIEU OF CURB AND GUTTER TYPE 2 (SECTIONS IB AND IIM) UNLESS OTHERWISE SPECIFIED ON THE PLANS.
 - GUTTER CROSS SLOPES MAY BE ADJUSTED TO FACILITATE DRAINAGE FOR PROFILE GRADES AS SHOWN ON THE PLANS.
 - THICKNESS OF CURB AND GUTTER SECTION SHALL MATCH CONCRETE PAVEMENT THICKNESS IF SHOWN ON THE PLANS. CURB AND GUTTER SHALL BE CLASS P CONCRETE IF PLACED MONOLITHICALLY WITH CONCRETE PAVEMENT.
 - INCREASE SIDEWALK THICKNESS TO 6 IN. AT LOCATIONS SHOWN ON THE PLANS.
 - MINIMUM SIDEWALK WIDTH IS 4 FT.

- EXPANSION JOINTS SHALL BE INSTALLED WHEN ABUTTING EXISTING CONCRETE OR PAVEMENT. EXPANSION JOINTS SHALL BE 1/2 IN. THICK AND SHALL EXTEND THE FULL DEPTH OF CONTACT SURFACE.
- GUTTER CROSS SLOPES SHALL BE 1/2 IN./FT. WHEN DRAINING AWAY FROM CURB AND 1 IN./FT. WHEN DRAINING TOWARD CURB (WITH EXCEPTION TO IMMEDIATELY ADJACENT TO CURB RAMPS - SEE STANDARD PLAN M-609-1 FOR SLOPE REQUIREMENTS).
- WHEN TIE BARS ARE REQUIRED, THE GUTTER THICKNESS SHALL BE INCREASED TO THE PAVEMENT THICKNESS (T). BARS SHALL BE EPOXY-COATED #4 CONFORMING TO AASHTO M 284 AND SPACED AT 3 FT. INTERVALS. THEY SHALL BE INSERTED 1/2 AND 1/2 LENGTH INTO THE GUTTER.

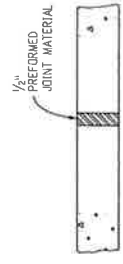
LEGEND FOR RADIUS

| | |
|---|----------------|
| A | = 1/2" TO 1/4" |
| B | = 1/4" |
| C | = 1/2" |
| D | = 1/2" TO 2" |



- THIS AREA SHALL BE POURED MONOLITHICALLY WITH CURB AND GUTTER AND PAID FOR AS "CONCRETE PAVEMENT".
- FLOW LINE LOCATION WILL BE ESTABLISHED BY 1/2 SHOWN ON PLANS.

CONSTRUCTION OF CONCRETE GUTTERS AT INTERSECTION



- NOTES:**
- EXPANSION JOINTS SHALL BE PLACED IN THE SIDEWALK AT INTERVALS OF NOT MORE THAN 500 FT.
 - EXPANSION JOINTS MAY BE SEALED WHEN SPECIFIED ON THE PLANS.

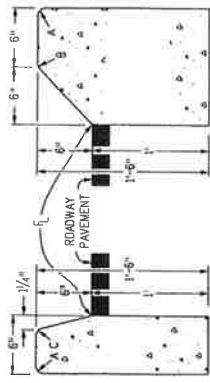
SIDEWALK EXPANSION JOINT



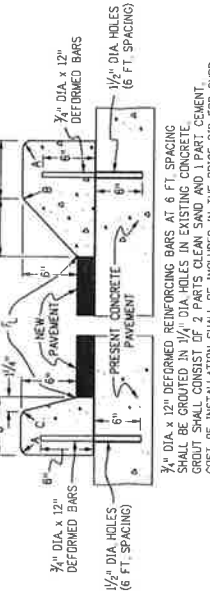
- NOTES:**
- A TIEDED JOINT IS REQUIRED WHETHER THE CURB AND SIDEWALK ARE POURED SEPARATELY OR MONOLITHICALLY.

CONCRETE SIDEWALK

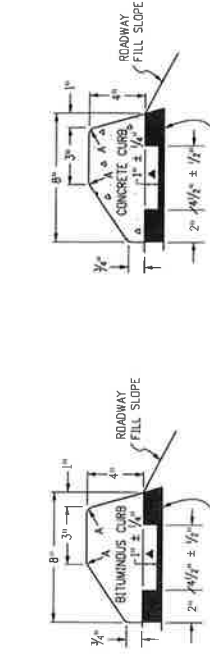
| | | | | | | | | | |
|--|---------------------|------------------------|---|--|--|-------------------------------------|--|---|--|
| Computer File Information | | Sheet Revisions | | Colorado Department of Transportation | | CURB, GUTTERS, AND SIDEWALKS | | STANDARD PLAN NO. | |
| Creation Date: 07/04/12 | Initiator: DLM | Date: 07/24/12 | Comments | 4201 East Arkansas Avenue | | M-609-1 | | M-609-1 | |
| Last Modification Date: 05/16/14 | Initiator: LTA | Date: 05/16/14 | Changed Tie Bar Spacing from 30" to 36" | Denver, CO 80202 | | | | | |
| Full Path: www.coloradodot.info/business/designsupport | | Date: 05/16/14 | Revised Gutter Cross Slope Note to include M/Trop | Phone: (303) 757-8093 | | | | | |
| Drawing File Name: 60901010A.dgn | | Date: 05/16/14 | | Fax: (303) 757-8820 | | | | | |
| CAD Ver.: MicroStation V8 | Scale: Not to Scale | Unit: English | | Project Development Branch | | DLM/LTA | | Issued By: Project Development Branch on July 4, 2012 | |
| | | | | | | | | Sheet No. 1 of 4 | |



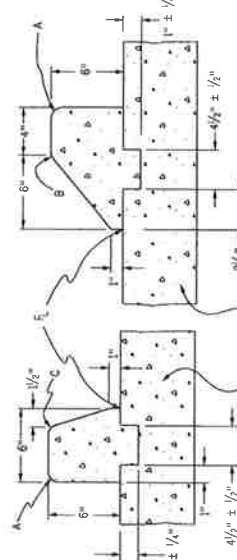
CURB TYPE 2 (SECTION B) 6 IN. BARRIER (SECTION M)
6 IN. MOUNTABLE



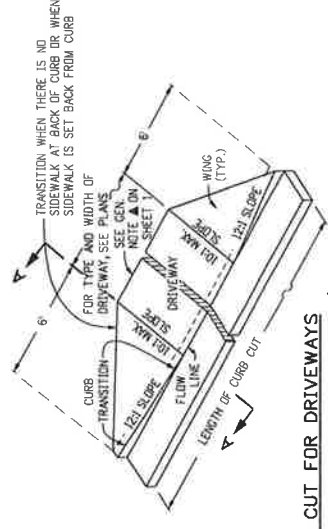
CURB TYPE 4 (SECTION B) 6 IN. BARRIER (SECTION M)
6 IN. MOUNTABLE



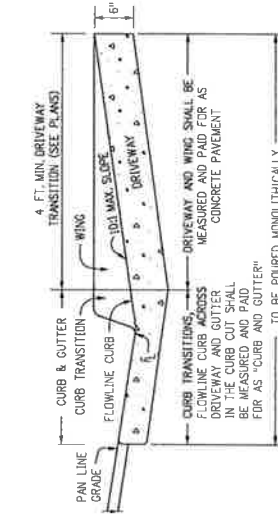
CURB TYPE 6 (SECTION M) 4 IN. MOUNTABLE



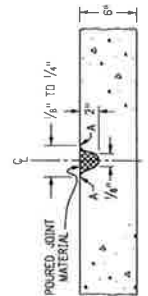
CURB TYPE 4 (SECTION M) 6 IN. MOUNTABLE



CURB CUT FOR DRIVEWAYS (WITHOUT ATTACHED SIDEWALK)



CURB TYPE 4 (KEY-WAY) (SECTION M)



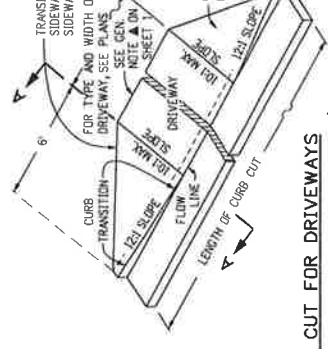
TRANSVERSE CONTRACTION JOINT FOR CONCRETE PAVEMENT (DRIVEWAYS)

NOTE: BITUMINOUS OR CONCRETE * UNLESS OTHERWISE SPECIFIED ON THE PLANS.
* KEY-WAY MAY BE OMITTED WHEN PLACED UNDER GUARDRAIL

LEGEND FOR RADII

| |
|------------------|
| A = 1/8" TO 1/4" |
| B = 1" |
| C = 1/2" |
| D = 1/2" TO 2" |

* CONCRETE CLASS B SHALL CONTAIN 1.5 POUNDS PER CUBIC YARD OF APPROVED POLYPROPYLENE FIBERS AND MAY HAVE A NOMINAL AGGREGATE SIZE OF 3/8" IN.

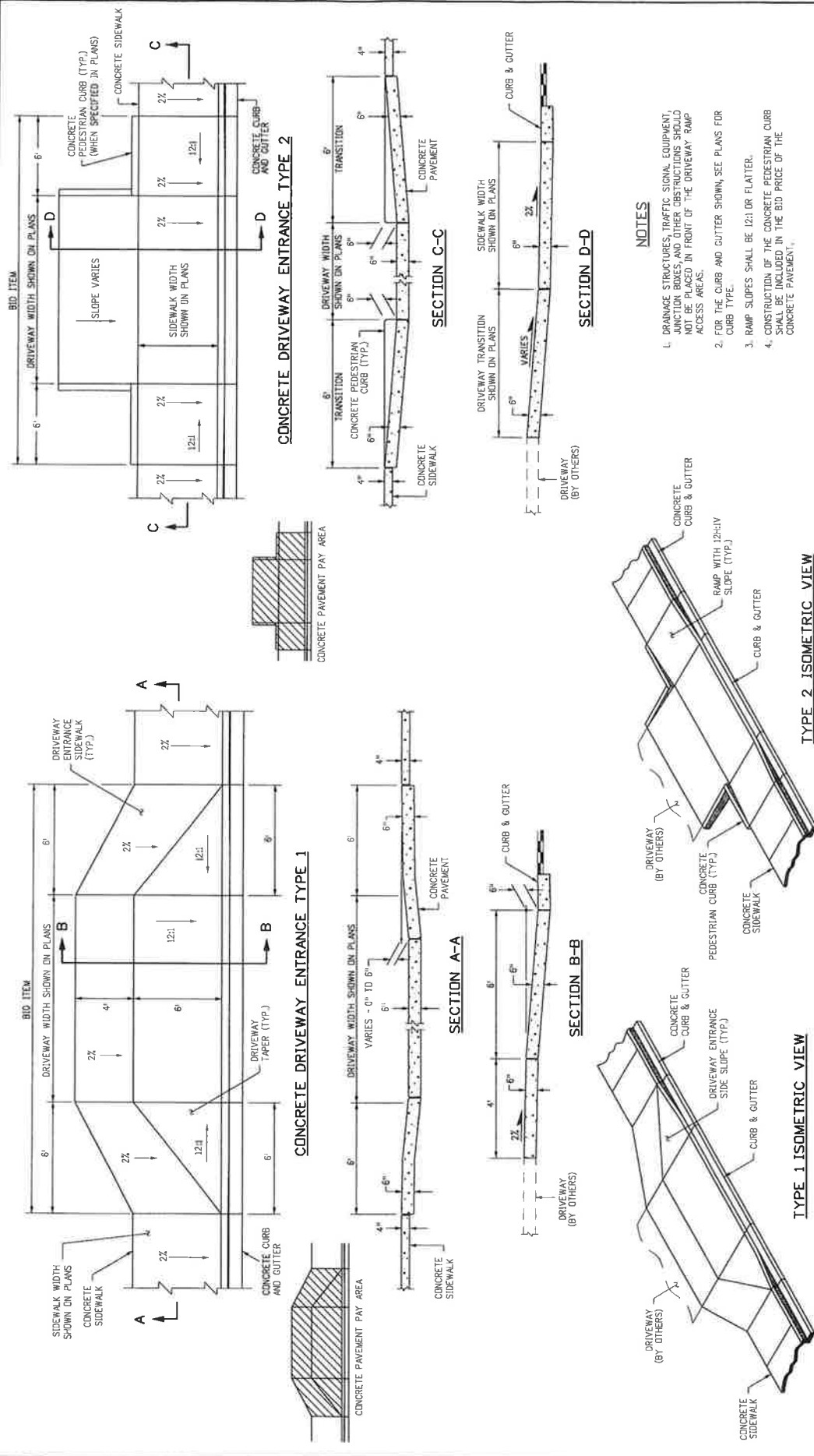



CONCRETE PAVEMENT (DRIVEWAYS) SECTION A-A

| | | | | |
|--|----------------------------------|-----------------|-------|----------|
| Creation Date: 07/04/12 | Initials: DD | Sheet Revisions | Date: | Comments |
| Last Modification Date: 07/04/12 | Initials: LTA | (E-X) | | |
| Full Path: www.coloradodot.info/business/designsupport | Drawing File Name: 609010204.dgn | (E-X) | | |
| CAD Ver.: MicroStation V8 | Scale: Not to Scale | Units: English | (E-X) | |

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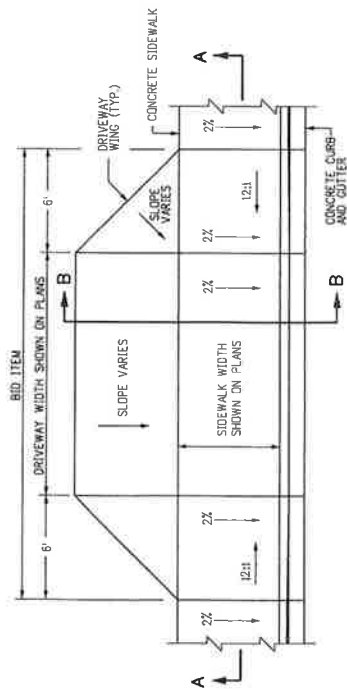
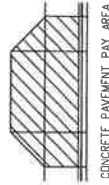
Project Development Branch DD/LTA
Standard Plan No. M-609-1
Sheet No. 2 of 4
Issued By: Project Development Branch on July 4, 2012



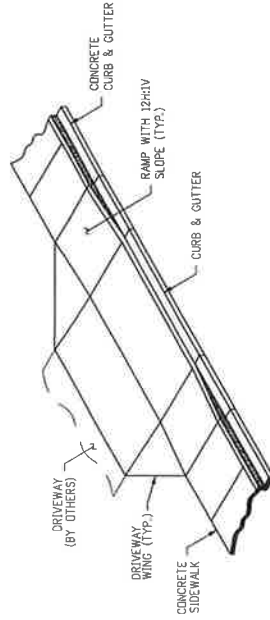
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| Computer File Information | | Sheet Revisions | | Colorado Department of Transportation | | CURB, GUTTERS, AND SIDEWALKS | | STANDARD PLAN NO. | |
| Creation Date: 07/04/12 | Initials: DD | Date: | Comments: |  4201 East Arkansas Avenue Denver, Colorado 80222 Phone: (303) 763-9003 Fax: (303) 757-9820 | | M-609-1 | | Sheet No. 3 of 4 | |
| Last Modification Date: 07/04/12 | Initials: LTA | | | | | | | | |
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NOTES

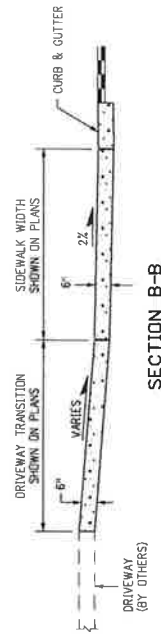
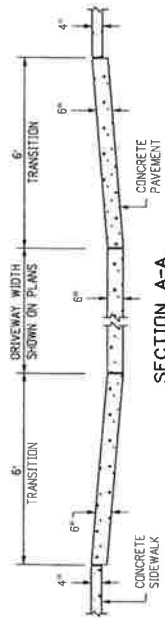
1. DRAINAGE STRUCTURES, TRAFFIC SIGNAL EQUIPMENT, AND OTHER OBSTRUCTIONS SHOULD NOT BE PLACED IN FRONT OF THE DRIVEWAY RAMP ACCESS AREAS.
2. FOR THE CURB AND GUTTER SHOWN, SEE PLANS FOR CURB TYPE.
3. RAMP SLOPES SHALL BE 12:1 OR FLATTER.



CONCRETE DRIVEWAY ENTRANCE TYPE 3



TYPE 3 ISOMETRIC VIEW



Computer File Information

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 Drawing File Name: 809010404.dgn
 CAD Ver.: MicroStation V8 Scale: Not to Scale Units: English

Sheet Revisions

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| (R-X) | |
| (R-X) | |
| (R-X) | |

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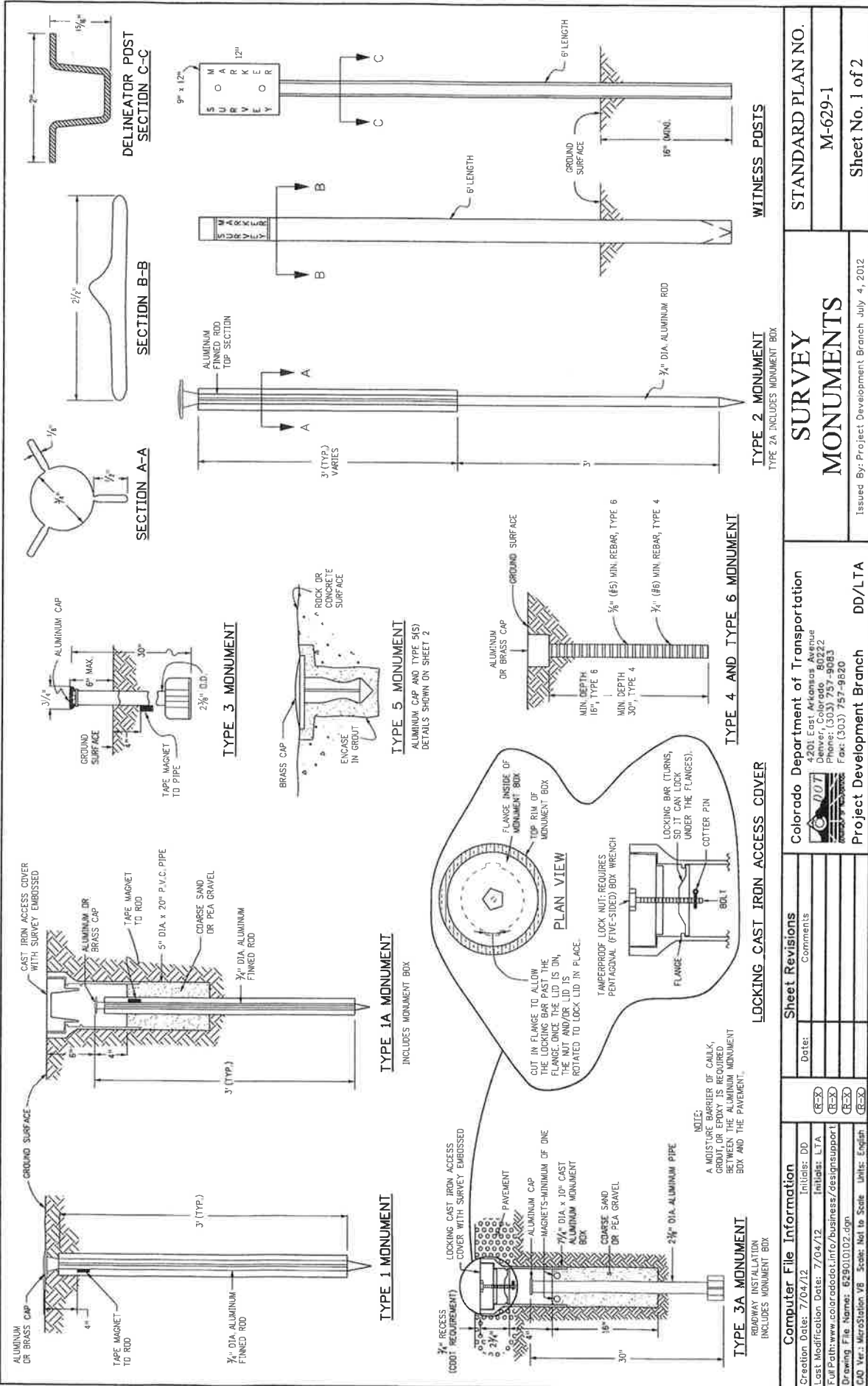
STANDARD PLAN NO.

M-609-1

**CURB, GUTTERS,
AND SIDEWALKS**

Sheet No. 4 of 4

Issued By: Project Development Branch on July 4, 2012



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| Computer File Information | | Sheet Revisions | |
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| Last Modification Date: 7/04/12 | Initials: LTA | <input type="checkbox"/> (C-X) | |
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| CAD Ver: MicroStation V8 | Scale: Not to Scale | Units: English | |
| Colorado Department of Transportation | | Project Development Branch | |
| 4201 East Arkansas Avenue Denver, Colorado 80222 Phone: (303) 757-9083 Fax: (303) 757-9820 | | DD/LTA | |
| STANDARD PLAN NO. M-629-1 | | Sheet No. 1 of 2 | |

ALL MONUMENTATION MATERIALS WILL BE FURNISHED BY CDOT
 THE MINIMUM TYPE AND SIZE STANDARDS AS DETERMINED BY THE COLORADO STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS SHALL BE USED UNLESS OTHERWISE STATED FROM THE STANDARDS. THE CDOT SURVEY COORDINATOR SHALL APPROVE ALL EXCEPTIONS FOR STAMPING MONUMENTS DIFFERING FROM THE STANDARDS.

TYPE 1 AND TYPE 1A ALUMINUM FINNED ROD MONUMENTS
 THIS MONUMENT SHALL BE USED FOR ROW OR REFERENCE MONUMENTS OR MAY BE USED FOR AN ALIQUOT CORNER MONUMENT. WHEN USED AS AN ALIQUOT CORNER MONUMENT, INSTALLATION AND RECORD FILING REQUIREMENTS SHALL BE AS STATED FOR TYPE 3 AND TYPE 3A MONUMENTS.
 MONUMENTS SHALL BE INSTALLED BY ATTACHING THE PROPER SIZE TIP TO ONE END OF A SECTION OF FINNED ROD, AND A 3/4" LONG X 3/4" IN DIA STAINLESS STEEL ADAPTER TO THE OTHER END. THE DRIVER IS THEN PLACED OVER THE STAINLESS STEEL ADAPTER AND THE MONUMENT IS DRIVEN INTO THE GROUND. MONUMENTS SHALL USE A MINIMUM 1/4" SECTION OF FINNED ROD. WHEN SUBSURFACE ROCK OR CONCRETE IS ENCOUNTERED, LESS THAN 1/4" OF FINNED ROD SHALL BE SHORTESTED TO ACCOMMODATE THE CONDITIONS.
 WHEN UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED, ADDITIONAL SECTIONS OF ROD SHALL BE ADDED TO ACHIEVE STABILITY. HORIZONTAL AND VERTICAL STABILITY ARE REQUIRED.
 TYPE 1A MONUMENT INCLUDES MONUMENT BOX, A LOCKING CAST IRON ACCESS COVER SHALL BE INSTALLED WHEN THE MONUMENT IS LOCATED IN THE ROADWAY PAVEMENT.

TYPE 2 AND TYPE 2A ALUMINUM FINNED ROD MONUMENTS
 THIS MONUMENT SHALL BE USED FOR HORIZONTAL AND VERTICAL CONTROL MONUMENTS WHEN UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED. ADDITIONAL SECTIONS OF ROD SHALL BE ADDED TO ACHIEVE STABILITY. HORIZONTAL AND VERTICAL STABILITY ARE REQUIRED IN MOST SOIL CONDITIONS. THE TYPE 2 MONUMENT IS EMBEDDED 6 FT INTO THE GROUND.
 THE MONUMENT SHALL BE INSTALLED BY FIRST ATTACHING THE PROPER SIZE TIP TO A 3 FT LONG X 3/4" IN DIA ROD, THEN DRIVING THE ROD AT LEAST 30 IN INTO THE GROUND. ADDITIONAL 3 FT LONG X 3/4" IN DIA FINNED ROD SECTIONS SHALL BE ADDED AND DRIVEN FLUSH WITH THE GROUND UNTIL THE MONUMENT IS IN A STABLE POSITION. THE FINNED ROD SECTIONS SHALL BE USING PLIERS TO ACCOMMODATE INSTALLING THE CAP. THE CAP IS FIRMLY SEATED ONTO THE LAST FINNED SECTION OF ROD USING A DEER BLOW SLEDGE HAMMER.
 THE MONUMENT INCLUDES MONUMENT BOX, A LOCKING CAST IRON ACCESS COVER SHALL BE INSTALLED WHEN THE MONUMENT IS LOCATED IN THE ROADWAY PAVEMENT.

TYPE 3 AND TYPE 3A ALUMINUM PIPE MONUMENTS
 THIS MONUMENT SHALL BE USED FOR AN ALIQUOT CORNER MONUMENT. THE INSTALLATION OF THIS MONUMENT AND RECORD FILING SHALL BE DONE IN ACCORDANCE WITH THE STATE BOARD RULES. ALSO REFER TO THE CDOT SURVEY MANUAL AND THE BUREAU OF LAND MANAGEMENT REQUIREMENTS FOR MONUMENT INSTALLATION. THE LAND SURVEYOR'S LICENSE NUMBER AND THE YEAR SHALL BE STAMPED ON THE CAP.
 TYPE 3A MONUMENT INCLUDES MONUMENT BOX, A LOCKING CAST IRON ACCESS COVER SHALL BE INSTALLED WHEN THE MONUMENT IS LOCATED IN THE ROADWAY PAVEMENT.

TYPE 4 ALUMINUM MONUMENT
 THIS MONUMENT MAY BE INSTALLED IN LIEU OF REPLACING THE ENTIRE MONUMENT WHEN REBAR IS IN PLACE AT AN ALIQUOT CORNER LOCATION REFER TO THE STATE BOARD RULES. A MINIMUM 2 IN DIA CAP SHALL BE USED ON 3/4" IN (#6) REBAR.

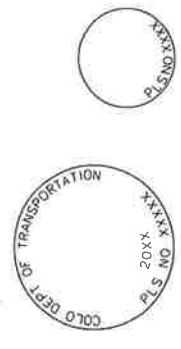
TYPE 5 BRASS/ALUMINUM CAP MONUMENT
 THIS MONUMENT MAY BE INSTALLED IN LIEU OF ALL OTHER CDOT MONUMENTS, WHEN THE POSITION IS LOCATED IN CONCRETE OR STABLE ROCK FORMATION.

TYPE 5(S) COPPER ALLOY CAP MONUMENT - SMALL
 THIS MONUMENT MAY BE INSTALLED IN LIEU OF A TYPE 5 MONUMENT, WHEN THE POSITION IS LOCATED IN A CONCRETE SIDEWALK, CURB OR GUTTER, OR WHEN SETTING A TYPE 5 WOULD COMPROMISE THE INTEGRITY OF THE RECEIVING STRUCTURE.

STAMPING REQUIREMENTS:
 ● "RP", WHEN THE APPLICATION IS A REFERENCE POINT.
 ● "ROW", POINT NUMBER, "LS", AND REGISTRATION NUMBER.
 ● WHEN THE APPLICATION IS A ROW POINT.
 ● "CP" AND A UNIQUE IDENTIFIER PROVIDED BY THE REGION SURVEY COORDINATOR, WHEN THE APPLICATION IS A CONTROL POINT.
 ● "PE", POINT NUMBER, "LS", AND REGISTRATION NUMBER.
 ● WHEN THE APPLICATION IS A PERMANENT EASEMENT POINT.
 ● "PP", AND POINT NUMBER, WHEN THE APPLICATION IS A PROJECT POINT.

TYPE 6 ALUMINUM MONUMENT
 THIS MONUMENT SHALL BE USED FOR PERMANENT EASEMENTS, PROJECT BENCH MARKS, PROJECT POINTS, AND REFERENCES.
 AN ALUMINUM CAP WITH A MINIMUM DIAMETER OF 1 1/2 IN., SHALL BE USED ON 3/4" IN (#5) MINIMUM REBAR.

*** WITNESS POSTS**
 THE WITNESS POST WILL BE SUPPLIED BY CDOT AND INSTALLATION SHALL BE INCLUDED IN THE WORK. IT SHALL BE DRIVEN WITHIN 1 FT OF THE MONUMENT WHEN POSSIBLE. A DELINEATOR POST WITH A 9 IN X 12 IN METAL SIGN PANEL MAY BE USED IN LIEU OF THE PLASTIC POST. THIS POST SHALL CONFORM TO STANDARD PLAN S-602-1. A REQUIRED WITNESS POST MAY BE OMITTED WITH THE APPROVAL OF THE ENGINEER IF THE WITNESS POST LOCATION IS WITHIN A TRAVELED WAY, DRIVEWAY, OR ACCESS OPENING.



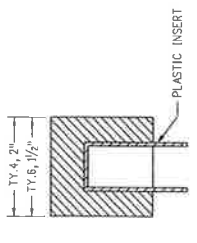
REFERENCE MONUMENT CAP

ROW MONUMENT CAP

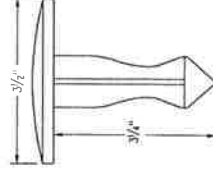
CONTROL MONUMENT CAP

ALIQUOT CORNER MONUMENT CAP

ALUMINUM CAP

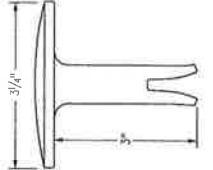


ALUMINUM CAP WITH PLASTIC INSERT



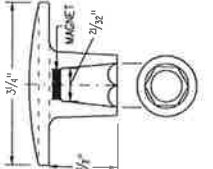
BRASS CAP

TYPE 5 FOR PLACING IN EXISTING CONCRETE OR ROCK

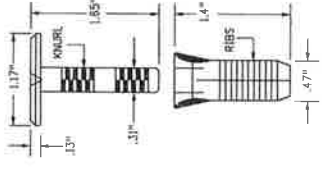


ALUMINUM CAP

TYPE 5 FOR PLACING IN EXISTING CONCRETE OR ROCK



ALUMINUM CAP USED WITH ALUMINUM ROD



COPPER ALLOY CAP

TYPE 5(S) FOR PLACING IN EXISTING SIDEWALK, CURB, OR GUTTER

MONUMENT APPLICATION

| CAP TYPE | MONUMENT TYPE | | | | | |
|--------------------------|---------------|----|---|----|------|----|
| | 1 | 1A | 2 | 2A | 3 | 3A |
| REFERENCE | X | X | X | X | 5(S) | 6 |
| ROW | X | X | X | X | X | X |
| CONTROL | X | X | X | X | X | X |
| ALIQUOT CORNER | X | X | X | X | X | X |
| PERMANENT EASEMENT | | | | | X | X |
| PROJECT POINTS | | | | | X | X |
| WITNESS POST* (REQUIRED) | X | X | X | X | X | X |

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SURVEY MONUMENTS

STANDARD PLAN NO. M-629-1
 Sheet No. 2 of 2