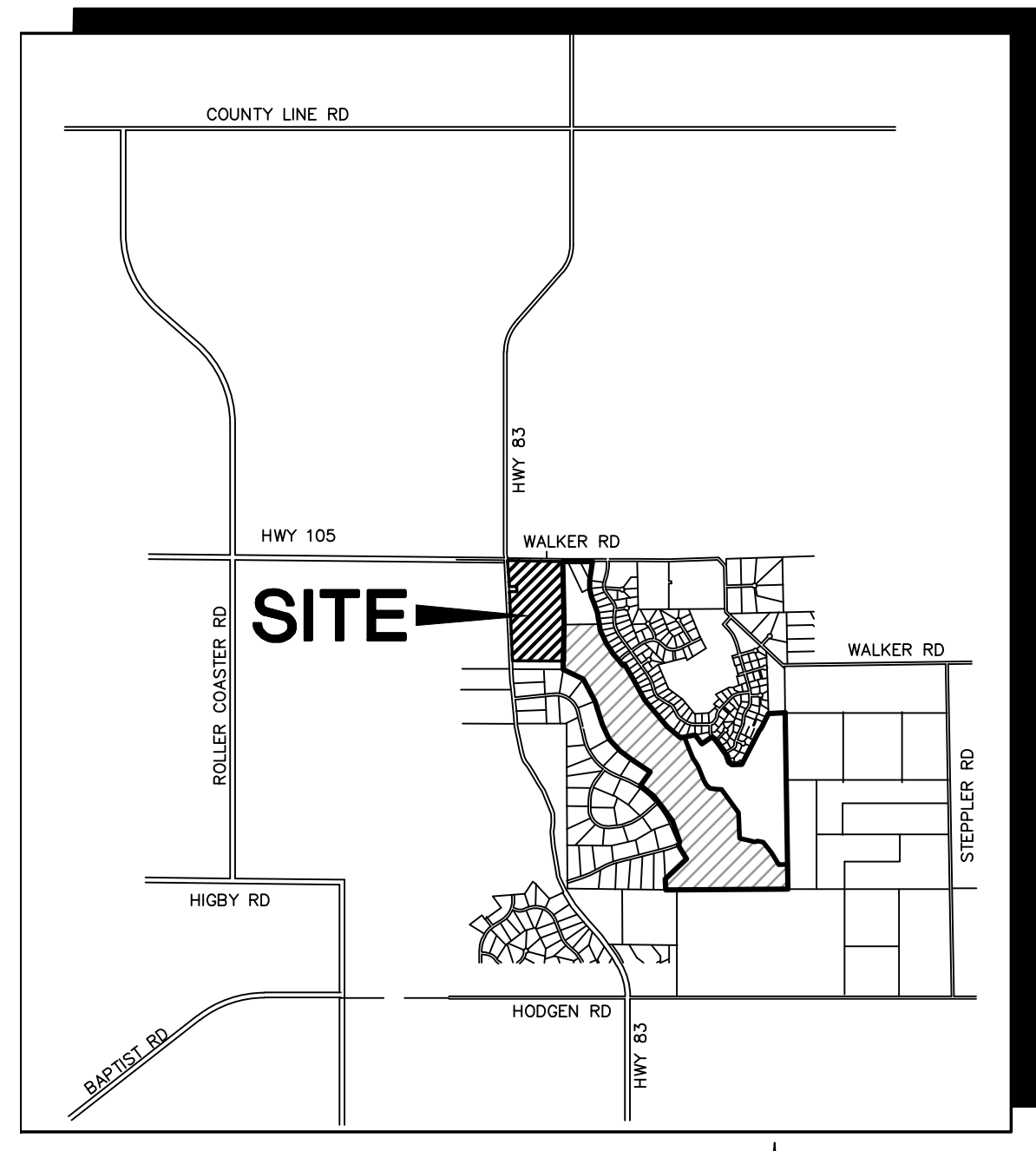


MONUMENT ACADEMY MIDDLE/HIGH SCHOOL

DEVELOPMENT PLAN



VICINITY MAP
NOT TO SCALE

- LEGEND**
- PROPERTY LINE
 - - - EASEMENT
 - 6520 PROPOSED CONTOUR
 - 6520 EXISTING CONTOUR
 - X 99.0 PROPOSED SPOT ELEVATION (FLOWLINE)
 - X 99.0 EXIST. SPOT ELEVATION
 - (P) NUMBER OF PARKING SPACES

KEYED NOTES:

- 1 TRASH DUMPSTERS
- 2 STRIPED CROSSWALK
- 3 SNOW STORAGE AREA
- 4 ASPHALT PAVEMENT
- 5 CONCRETE PAVEMENT
- 6 4" METAL ORNAMENTAL FENCE (AMERISTAR OR EQUAL)

PARCEL #61000-00-481
KANG, DONG WON
30.0 AC.

PARCEL #61000-00-192
STALEY TRUST
20.78 AC.

PARCEL #61100-01-011
THOMAS, ANNETTE
5.3 AC.

PARCEL #61000-00-513
PAULSON, KAREN
39.85 AC.

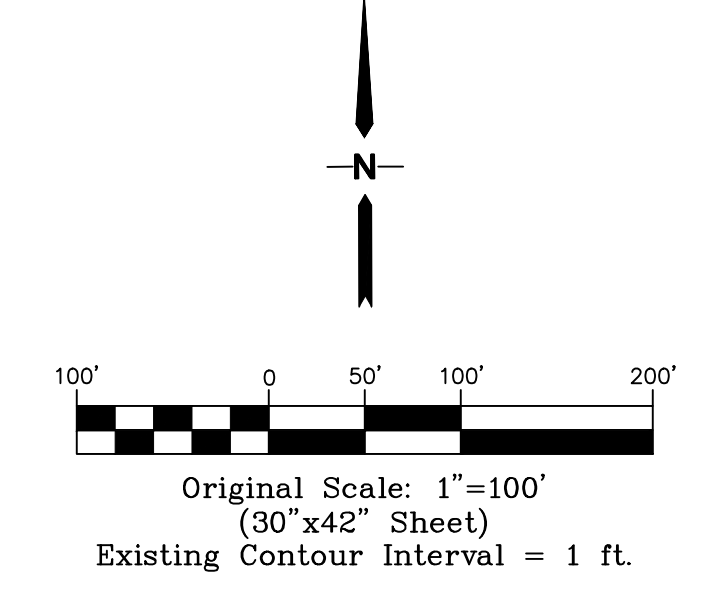
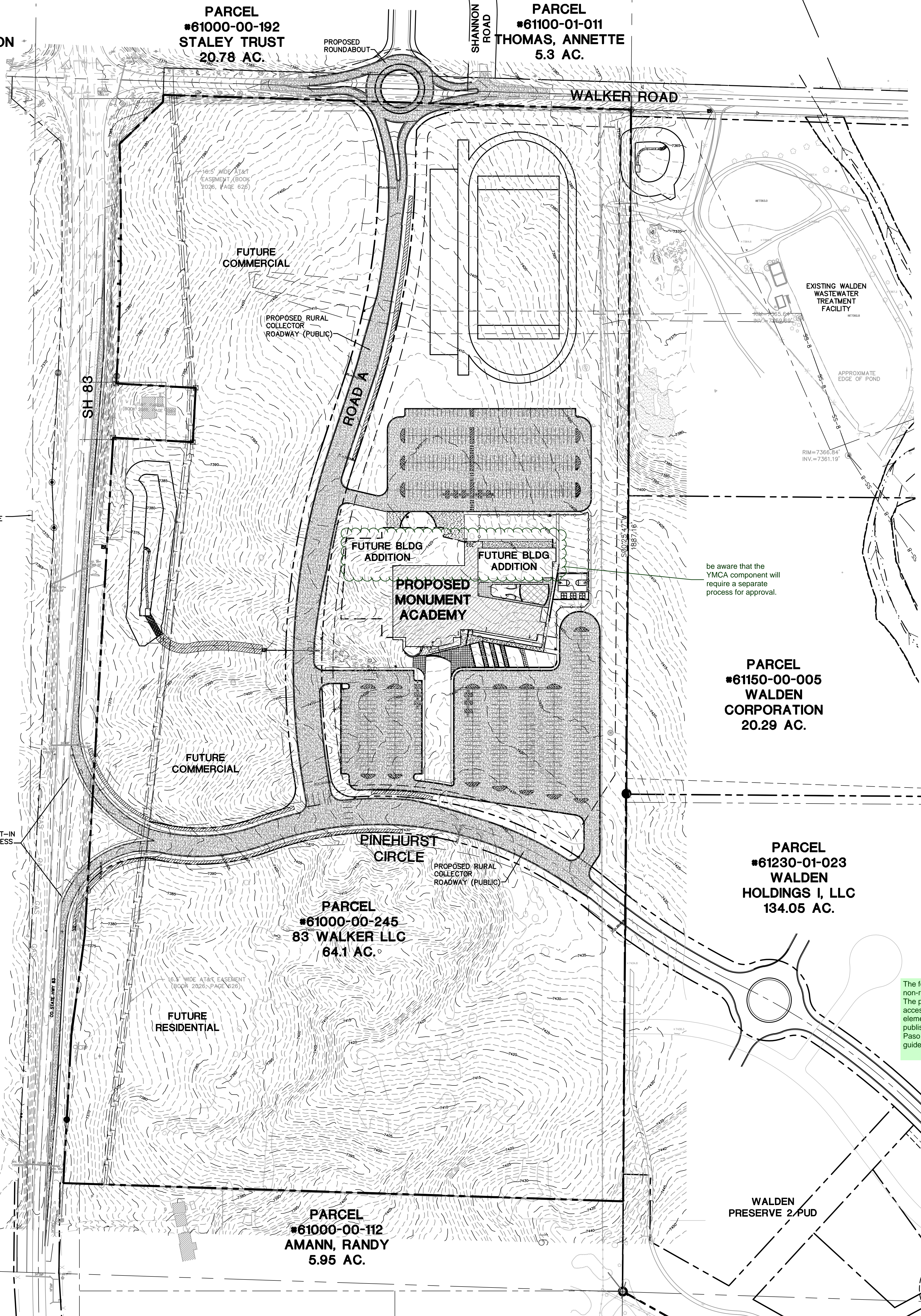
PARCEL #61000-00-489
RAEL, STEVE
40.2 AC.

PARCEL #61000-00-245
83 WALKER LLC
64.1 AC.

PARCEL #61000-00-112
AMANN, RANDY
5.95 AC.

PARCEL #61150-00-005
WALDEN CORPORATION
20.29 AC.

PARCEL #61230-01-023
WALDEN HOLDINGS I, LLC
134.05 AC.



SITE DATA:

OWNER:	MONUMENT ACADEMY 1150 VILLAGE RIDGE PT MONUMENT, CO 80132
LEGAL DESCRIPTION:	E 1/2 OF NW 1/4 OF SEC. 15, T11S, R66W OF 6TH P.M.
SITE ADDRESS:	XX
PARCEL NUMBER:	61000-00-245
SITE ACREAGE:	64.1 ACRES
LAND USE:	EDUCATION - MS/HS
SITE ZONING:	RR5
SCHEDULE FOR CONSTRUCTION:	2019 - 2020
DRAINAGE BASIN:	WEST CHERRY CREEK
MAXIMUM LOT COVERAGE:	25%
PROPOSED BUILDING COVERAGE:	1.57%
BUILDING SETBACKS:	25' F, S, & R
MAX. BUILDING HEIGHT:	30'

The site development plan as submitted has planned for future development of the remainder of the parcel and has included setbacks from future planned roadways. Please be aware that this action does not create those lot lines, nor will this action result in the County accepting the roadways.

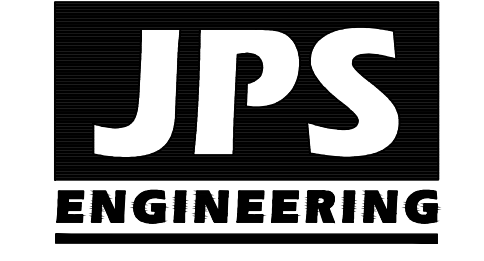
Please amend the drawing to clarify that what is planned is for the future anticipated condition but not what is being requested with this action.

GENERAL NOTES:

- SITE DOES NOT LIE WITHIN THE FEMA 100-YEAR FLOODPLAIN.
- SITE LIGHTING SHALL BE DOWNCAST LIGHTS WITH FULL CUT-OFF SHIELDS.
- SIGNAGE WILL REQUIRE APPROVAL OF A SEPARATE SIGN PERMIT.
- EL PASO COUNTY PLANNING WILL REQUIRE A FINAL SITE INSPECTION PRIOR TO BUILDING PERMIT CERTIFICATE OF OCCUPANCY.

The following note should be added to all site development plans or non-residential site plans, as applicable, prior to PCD approval:
The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws.

Please also show ADA route



19 E. Willamette Ave.
Colorado Springs, CO 80903
PH: 719-477-9429
FAX: 719-471-0766
www.jpsegr.com

OWNERSHIP OF INSTRUMENTS OF SERVICE:
ALL REPORTS, PLANS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, NOTES AND OTHER DOCUMENTS AND INSTRUMENTS PREPARED BY DESIGN PROFESSIONAL AS INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF THE DESIGN PROFESSIONAL. THE DESIGN PROFESSIONAL SHALL RETAIN ALL COMMON LAW STATUTORY AND OTHER RESERVED RIGHTS INCLUDING THE COPYRIGHT THEREON.

CRP ARCHITECTS AIA
100 E. St. Vrain, Suite 300
Colorado Springs, Colorado 80903

SITE DEVELOPMENT PLAN

SCALE : 1"=100'

NORTH	DATE:	12/20/18
	DRAWN BY:	BJJ
	CHECKED BY:	JPS
	REVISED:	2/08/2019

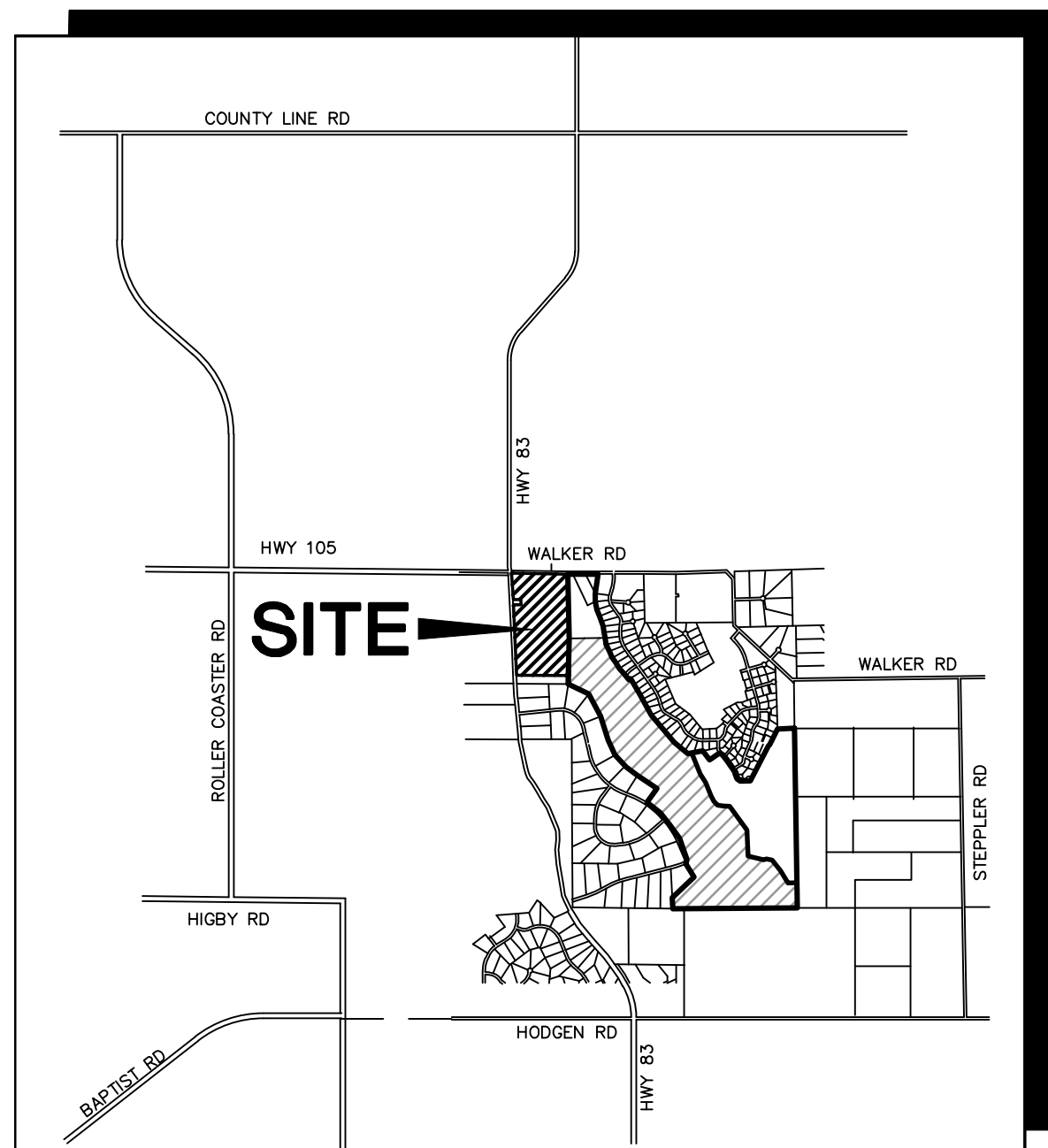
NO.	REVISION	BY	DATE
1	SDP SUBMITTAL	JPS	2/08/19

PCD PROJECT NO. PPR-19-XX

C1.1

MONUMENT ACADEMY MIDDLE/HIGH SCHOOL

DEVELOPMENT PLAN



VICINITY MAP
NOT TO SCALE

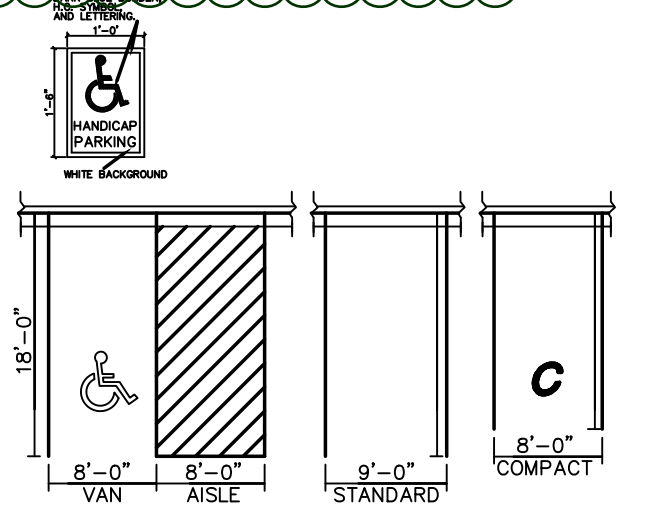
LEGEND

---	PROPERTY LINE
---	EASEMENT
---	PROPOSED CONTOUR
---	EXISTING CONTOUR
x 99.0	PROPOSED SPOT ELEVATION (FLOWLINE)
x 99.0	EXIST. SPOT ELEVATION
29	NUMBER OF PARKING SPACES

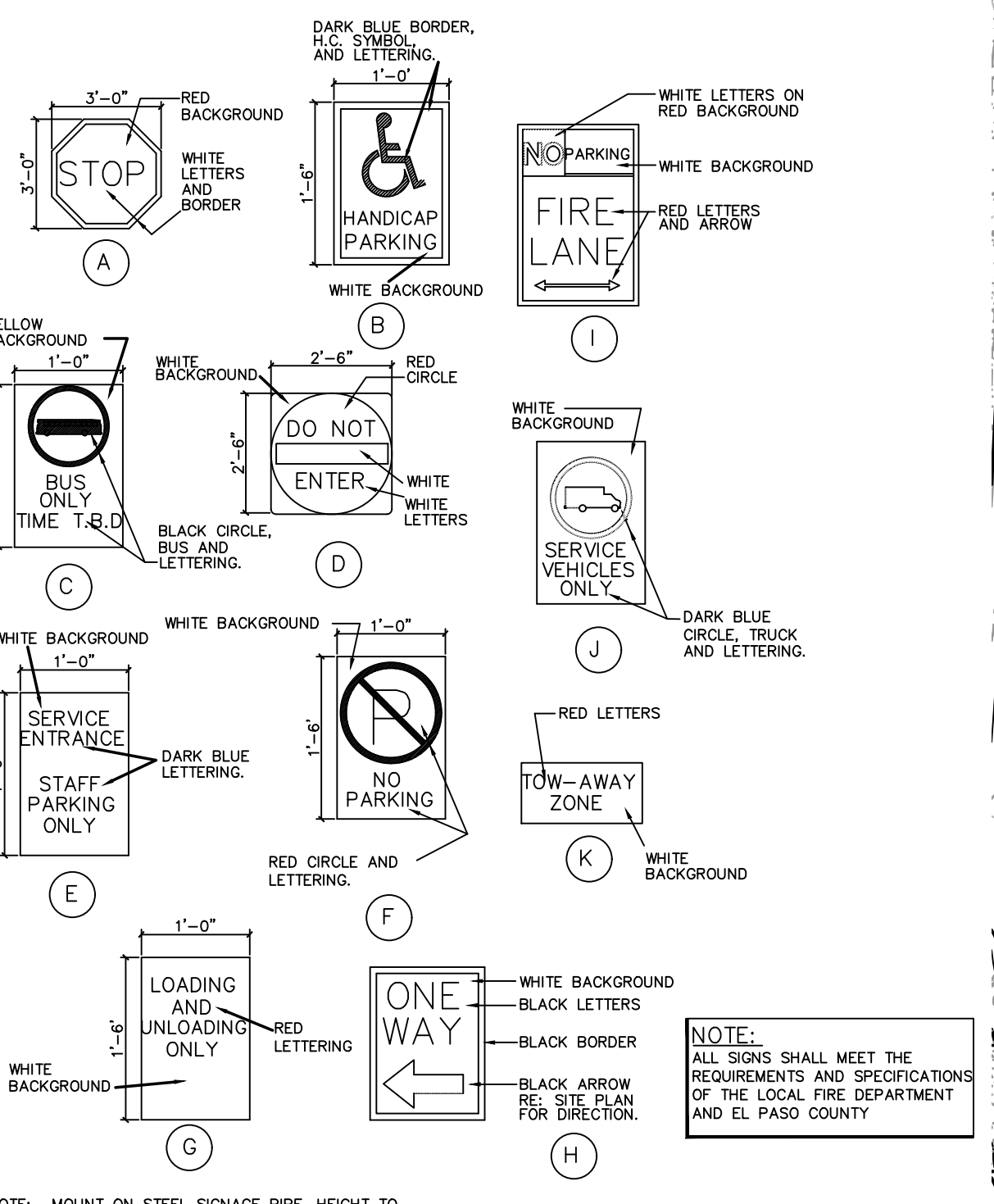
KEYED NOTES:

- TRASH DUMPSTERS
- STRIPED CROSSWALK
- SNOW STORAGE AREA
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- 4' METAL ORNAMENTAL FENCE (AMERISTAR OR EQUAL)

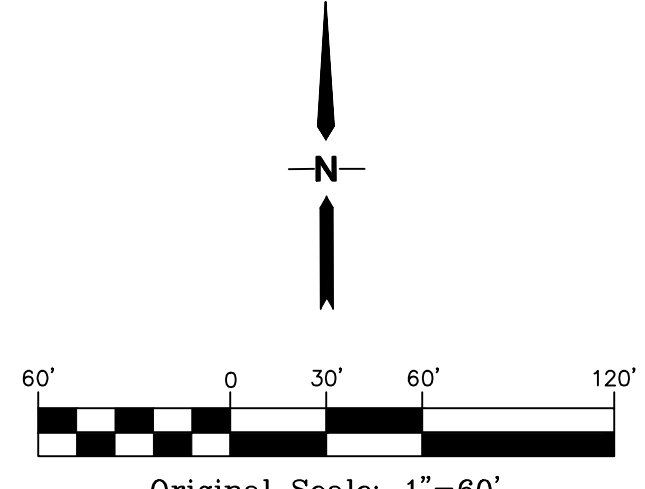
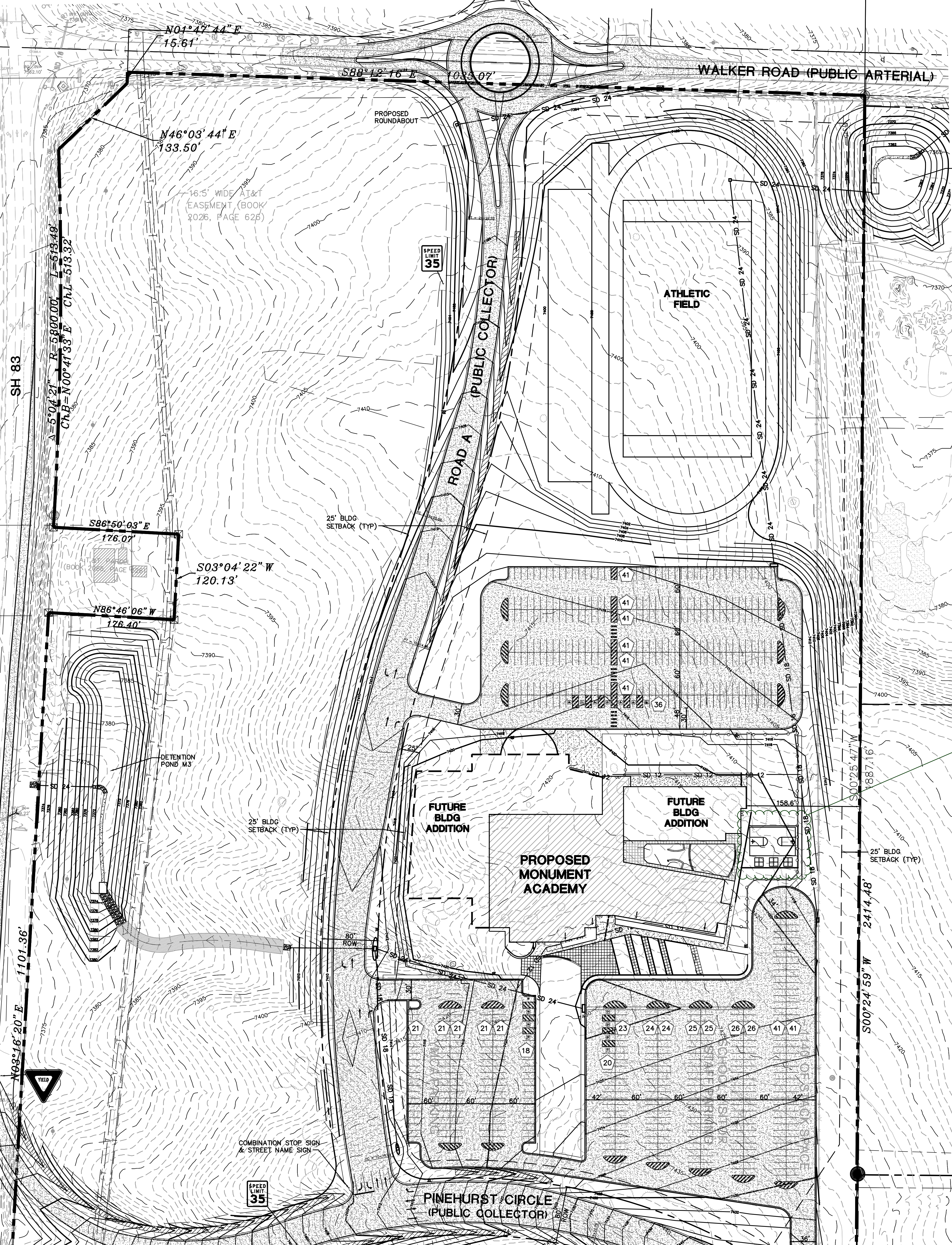
these do not seem to be included.



ADA/STANDARD PARKING DETAIL
SCALE: NTS



SIGN DETAILS
SCALE: NTS



Original Scale: 1"=60'
(30'x42" Sheet)
Existing Contour Interval = 1 ft.
Proposed Contour Interval = 2 ft.

SITE DATA:

OWNER:	MONUMENT ACADEMY 1150 VILLAGE RIDGE PT MONUMENT, CO 80132
LEGAL DESCRIPTION:	E 1/2 OF NW 1/4 OF SEC. 15, T11S, R66W OF 6TH P.M.
SITE ADDRESS:	XX
PARCEL NUMBER:	61000-00-245
SITE ACREAGE:	64.1 ACRES
LAND USE:	EDUCATION - HS
SITE ZONING:	RR5
SCHEDULE FOR CONSTRUCTION:	2019 - 2020
DRAINAGE BASIN:	WEST CHERRY CREEK
MAXIMUM LOT COVERAGE:	25%
PROPOSED BUILDING COVERAGE:	1.57%
BUILDING SETBACKS:	25' F, S, & R
MAX. BUILDING HEIGHT:	30'

the elevation drawing shows a 32' building. The maximum height is 30' in this zoning district. If there is a change in grade we can calculate midpoint but will need the details added to the elevation drawing.

PARKING DATA:

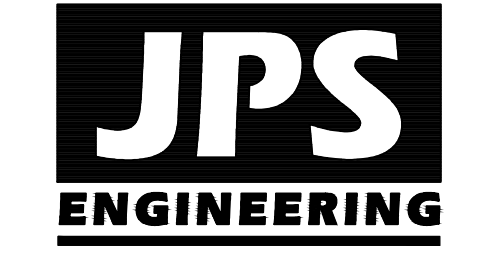
PARKING RATIOS:	
TOTAL NUMBER OF MIDDLE SCHOOL CLASSROOMS	21
SPACES REQUIRED (2 SPACES/CLASSROOM)	42
TOTAL NUMBER OF HIGH SCHOOL STUDENTS	472
SPACES REQUIRED (1 SPACE/4 STUDENTS)	118
HEALTH CLUB & POOL AREA	28,100 SF
SPACES REQUIRED (1 SPACE/150 SF)	188
TOTAL SPACES REQUIRED:	348
TOTAL SPACES PROVIDED:	660
HANDICAP SPACES:	
REQUIRED:	13
PROVIDED:	15
VAN ACCESSIBLE:	15

the YMCA component will require separate approval. Please indicate that this is future and that you understand another process is required.

GENERAL NOTES:

- SITE DOES NOT LIE WITHIN THE FEMA 100-YEAR FLOODPLAIN.
- SITE LIGHTING SHALL BE DOWNCAST LIGHTS WITH FULL CUT-OFF SHIELDS.
- SIGNAGE WILL REQUIRE APPROVAL OF A SEPARATE SIGN PERMIT.
- EL PASO COUNTY PLANNING WILL REQUIRE A FINAL SITE INSPECTION PRIOR TO BUILDING PERMIT CERTIFICATE OF OCCUPANCY.

No trash area or detail has been provided.
Please add key for surface types.



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CRP ARCHITECTS AIA
100 E. St. Vrain, Suite 300
Colorado Springs, Colorado 80903

ENLARGED SCHOOL SITE DEVELOPMENT PLAN

SCALE: 1"=60'

NORTH	DATE:	1/22/19
	DRAWN BY:	BJJ
	CHECKED BY:	JPS
	REVISED:	2/08/2019

NO.	REVISION	BY	DATE
1	SDP SUBMITTAL	JPS	2/08/19

PCD PROJECT NO. PPR-19-XX

C1.2