

To:
Kylie Bagley
El Paso Planning & Community Development
2880 International Circle
Colorado Springs, CO 80910
(719) 520-6323

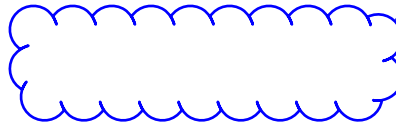
April 4, 2022

STORAGE AREA PROJECT DESCRIPTION

- Owner Name:
Thomas P McCann II
(303) 638-2544
tmccann@eps-na.com

Please add PCD File
PPR-22-016

- Address of the project:
6275 Lake Shore Court
Colorado Springs, CO 80915



- Legal description:
LOT 1, BLOCK 1, SEALY SUBDIVISION FILING NO.2
- Tax Schedule Number: 5406204034
- Current Zoning: I-2 Limited Industrial
- The proposed storage area will be a gravel covered outdoor area intended for personal use by the property owner for personal storage, complying with all applicable requirements of the Land Development Code.
- The personal storage area, as proposed, will have 2.15 acres.
- The currently vacant portion of the lot will be lightly graded to smooth out the surface and create a gradual slope. In order to achieve a flatter storage area, dirt will be brought in and compacted to bring the grade up to match the existing parking lot grade in order to be able to make an entrance from the top of the cul-de-sac.
- Another entrance will be added that connects to the street.
- A slope of 3 to 1 will be maintained around the perimeter against the golf courses.
- Geotextile mesh or porous rock will be installed around the perimeter of the gravel area to stabilize the gravel and prevent erosion at the edges.
- The entire storage area will be encircled by a solid 6-foot fence that has gates at each entrance.

- One personal storage area is proposed. The proposed area encircled by the fence will be the storage area.
- This new gravel area will be used for the owner's personal storage. The owner will store their own personal belongings on the storage area that will not be opened to the public.
- No utilities are to be disturbed during the construction process.
- No traffic will be disturbed during the construction process, as the normal flow of traffic will not be impeded or altered in any way during the construction process.
- This is not an RV storage area. This is proposed to be a personal self-storage area to be used exclusively by the owner of the property. The entire area enclosed by the fence is ONE storage area. One storage area is proposed. The owner will use the storage area to store his personal belongings. Yes, this is an outdoor storage area in the I-2 limited industrial zone district.

Respectfully,

Milosh LLC

9235 W Euclid Ave
 Littleton, CO 80123
 Phone: 720-325-6876
 Email: mj@milosheng.com

Please add a section on traffic and state the expected traffic to and from the site. State that no TIS is required if it meets all conditions listed in ECM Appdx B.1.2.d.

No TIS Required. No TIS is required if all of the criteria below are satisfied:

- Vehicular Traffic: (1) Daily vehicle trip-end generation is less than 100 or the peak hour trip generation is less than 10; (2) there are no additional proposed minor or major roadway intersections on major collectors, arterials, or State Highways; (3) the increase in the number of vehicular trips does not exceed the existing trip generation by more than 10 peak hour trips or 100 daily trip ends; (4) the change in the type of traffic to be generated (i.e., the addition of truck traffic) does not adversely affect the traffic currently planned for and accommodated within, and adjacent to, the property; (5) acceptable LOS on the adjacent public roadways, accesses, and intersections will be maintained; (6) no roadway or intersection in the immediate vicinity has a history of safety or accident problems; and (7) there is no change of land use with access to a State Highway.

Under traffic paragraph state that a commercial driveway access permit will be submitted per zoning requirement.

Please add that you are requesting a waiver from the required Landscaping in the Land Development Code and what you are proposing in lieu of the required landscaping