



# WASTEWATER REPORT —FOURSQUARE AT STERLING RANCH PUD AND PRELIMINARY PLAN



**PREPARED BY**

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**PREPARED FOR**

Falcon Area Water and Wastewater Authority

**OCTOBER 2022**

Project Number W0242.22001



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## 1.0 INTRODUCTION

This wastewater report is for the Foursquare at Sterling Ranch PUD and Preliminary Plan. The service entity is the Falcon Area Water and Wastewater Authority. The proposed development is in the Sterling Ranch Metro District #2 which is a part of the FAWWA service area. The service areas and location of tie-in point are shown in Appendix A.

### 1.1 OVERALL DEVELOPMENT DESCRIPTION

Sterling Ranch Development consists of approximately 1,444 acres located east of Vollmer Rd and north of Woodmen Rd, Section 33, Township 12 South, Range 65 West of the 6<sup>th</sup> P.M. Districts 1, 2 and 3 are considered Special Districts and are under the jurisdiction of the Special District Act.

1,119 acres is designated for 5,225 residential units. 56.36 acres is designated for commercial use. 270 acres is designated for open space, greenways, trails, parks, and school sites.

Additional service areas include the Retreat, and Jaynes Sketch Plan.

## 2.0 WASTEWATER REPORT

### 2.1 PROJECTED WASTEWATER LOADS

Wastewater unit user loading projections are based on similar District historical use developed in the Falcon area. Average daily- maximum monthly wastewater loads are expected to be roughly 172 gallons per day per single family residence.

Table 1. Calculation of Wastewater Loads

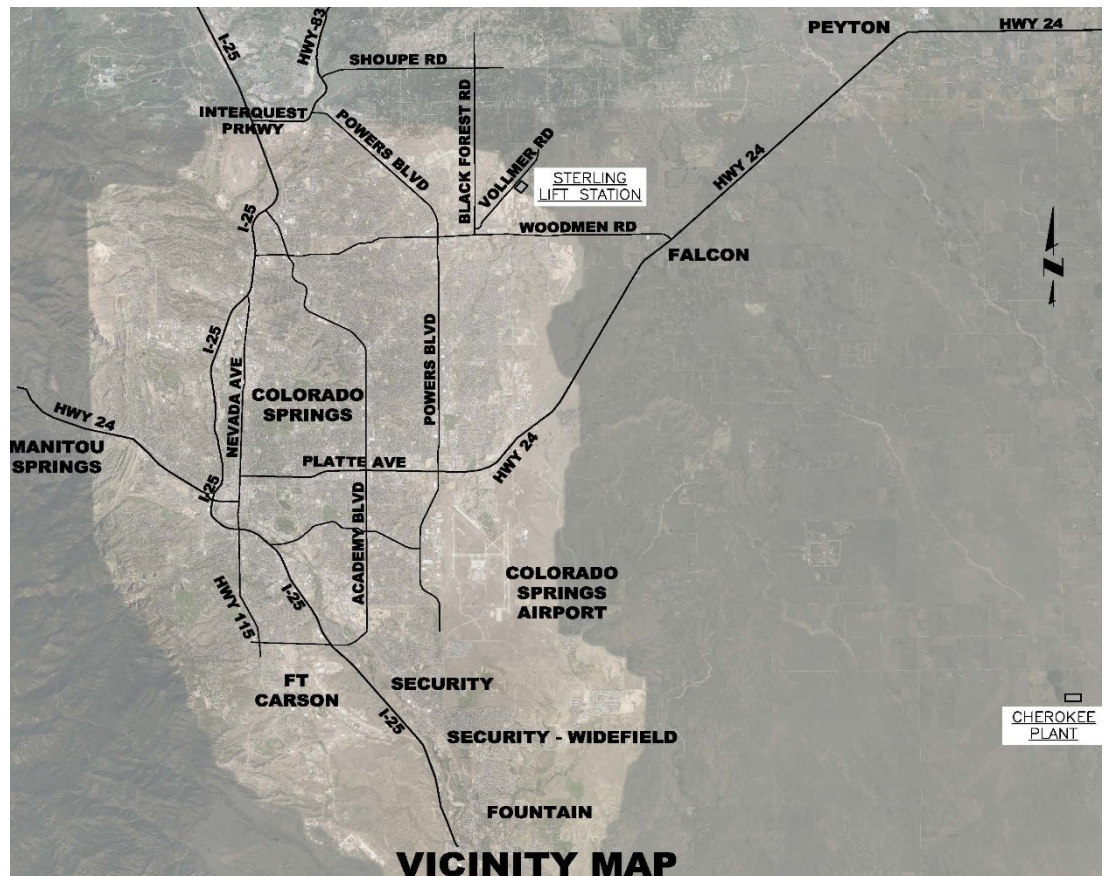
Use	Units	Single Family Equivalent	Average Daily Max-Month Flows	Estimated Population	
	#	#	GPD	#	
Residential Units					
Single family	158	158	27,176	411	
Commercial Units					
Total			27,176		

## 2.2 WASTEWATER TREATMENT PLANT

Interim Wastewater Treatment Services will be provided by Colorado Springs Utilities. A copy of the Interim Service Agreement was attached in prior Water and Wastewater Reports and therefor is not included here. An agreement relating to completion of the wastewater outfall and the associated EGF has been extended.

MSMD owns 2.2 million gallons per day of wastewater capacity in the Cherokee Wastewater Treatment Facility. The plant operator, Cherokee Metropolitan District (CMD) has already approved the systems associated with transport and treatment. MSMD and CMD are in compliance with their current COC issued by the Colorado Department of Public Health and Environment. The location of the 4.6 MGD Cherokee Wastewater Treatment Plant is shown below:

*Figure 1. Location of Cherokee Wastewater Treatment Plant*



## 2.3 ADEQUACY OF WASTEWATER TREATMENT CAPACITY

The Falcon Area Water and Wastewater Authority/Sterling Ranch Metropolitan District has a perpetual contract with the Meridian Service Metropolitan District (MSMD) for the provision of wastewater treatment. The contract allows for the purchase of up to 5849 SFEs of wastewater capacity from





MSMD which is equivalent to 1.006 Million Gallons/Day (MGD). Wastewater projections are based on similar District historical use developed in the Falcon area. Average daily-maximum monthly wastewater loads of 172 gallons per day per single family residence are iterated in the Wastewater Contract.

The loading projected from Foursquare at Sterling Ranch PUD and Preliminary Plan represents roughly 2.70% of the contractual capacity available to the Falcon Area Water and Wastewater Authority. FAWWA therefore has more than adequate wastewater treatment capacity to provide service to serve the Subdivision.

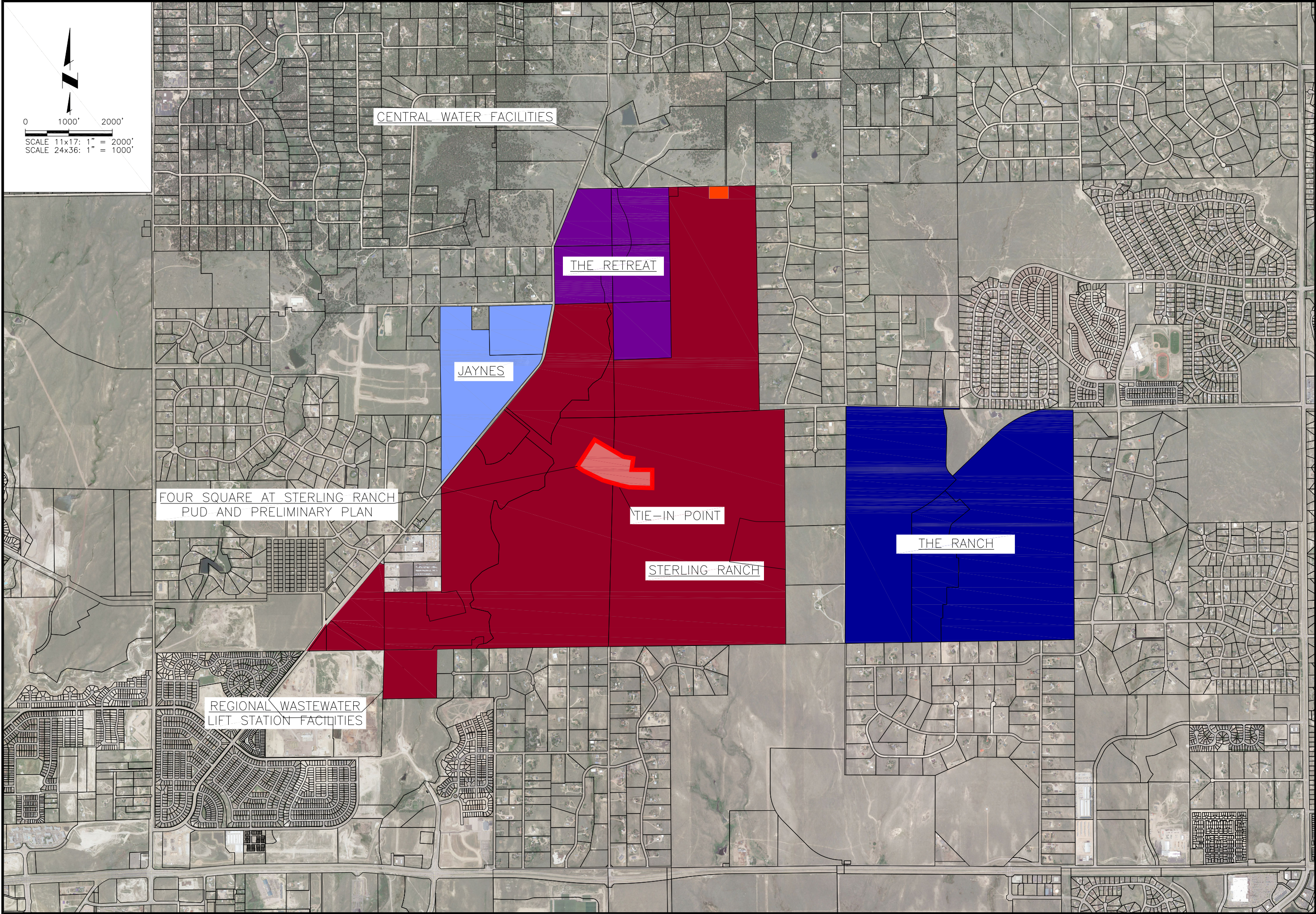
Including Villages, Foursquare, Homestead North Filing 3, and Sterling Ranch East Phase One in addition to Sterling subdivisions submitted before October 20, of 2022, the current committed capacity is for 2176 SFE which is 37.237 % of FAWWA contractual treatment capacity.

## 2.4 COLLECTION, PUMPING, AND PIPING

All lands to be developed within the Sterling Ranch and the Retreat areas will gravity feed to the southern portion of the Sterling site. This will be the main collection point for most of the entire future development as well. Sterling is completing construction of the Lift Station and Force Main to serve the area. The force main is constructed across the lower portion of The Ranch. From this point wastewater is intercepted by Meridian Service Metropolitan District and delivered to Cherokee through the Meridian system.



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a Division of

**RESPEC**

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DISCLAIMER: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO JDS-HYDRO, A DIVISION OF RESPEC. JDS-HYDRO ASSUMES NO LIABILITY FOR UNAUTHORIZED CHANGES AND/OR REVISIONS MADE TO PLANS.

APPENDIX A

FALCON AREA WATER AND WASTEWATER AUTHORITY

SERVICE AREA

REVISIONS		
NO.	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		
7		

EXHIBIT

Project No.: 161.04  
Date: 10/11/22  
Design: JPM  
Drawn: JLB  
Check: JPM

PLAN

SHEET 1 OF 1



PURPOSE AND INTENT:

THE FOURSQUARE AT STERLING RANCH PUD IS A PROPOSED 158 LOT DETACHED SINGLE-FAMILY COMMUNITY COMPRISED OF FOUR LOT SINGLE FAMILY DETACHED RESIDENTIAL CLUSTERS WITH THREE OF THE LOTS SHARING A COMMON PRIVATE DRIVE AISLE.

GENERAL PROVISIONS SECTION

- A. AUTHORITY. THIS PUD IS AUTHORIZED BY CHAPTER 4 OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, ADOPTED PURSUANT TO THE COLORADO PLANNED UNIT DEVELOPMENT ACT OF 1972, AS AMENDED.
- B. APPLICABILITY. THE PROVISIONS OF THIS PUD SHALL RUN WITH THE LAND. THE LANDOWNERS, THEIR SUCCESSORS, HEIRS, OR ASSIGNS SHALL BE BOUND BY THIS DEVELOPMENT PLAN, AS AMENDED AND APPROVED BY THE PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT DIRECTOR OR BOARD OF COUNTY COMMISSIONERS.
- C. ADOPTION. THE ADOPTION OF THIS DEVELOPMENT PLAN SHALL EVIDENCE THE FINDINGS AND DECISIONS OF THE EL PASO COUNTY BOARD OF COUNTY COMMISSIONERS THAT THIS DEVELOPMENT PLAN FOR FOURSQUARE AT STERLING RANCH IS IN GENERAL CONFORMITY WITH THE EL PASO COUNTRY MASTER PLAN, EL PASO COUNTY POLICY PLAN AND APPLICABLE SMALL AREA PLAN. IS AUTHORIZED UNDER THE PROVISION OF THE EL PASO COUNTY LAND DEVELOPMENT CODE; AND THAT THE EL PASO COUNTY LAND DEVELOPMENT CODE AND THIS DEVELOPMENT PLAN COMPLIES WITH THE COLORADO PLANNED UNIT DEVELOPMENT ACT OF 1972, AS AMENDED.
- D. RELATIONSHIP TO COUNTY REGULATIONS. THE PROVISIONS OF THIS DEVELOPMENT PLAN SHALL PREVAIL AND GOVERN THE DEVELOPMENT OF FOURSQUARE AT STERLING RANCH, PROVIDED HOWEVER, THAT WHERE THE PROVISIONS OF THIS DEVELOPMENT PLAN DO NOT ADDRESS A PARTICULAR SUBJECT, THE RELEVANT PROVISIONS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE IN EFFECT AT THE TIME OF THE PUD PLAN APPROVAL (OR OWNER ACKNOWLEDGE THE PUD CHANGES WITH THE CODE), OR ANY OTHER APPLICABLE RESOLUTIONS OR REGULATIONS OF THE PASO COUNTY, SHALL BE APPLICABLE.
- E. ENFORCEMENT. TO FURTHER THE MUTUAL INTEREST OF THE RESIDENTS, OCCUPANTS, AND OWNERS OF THE PUD AND OF THE PUBLIC IN THE PRESERVATION OF THE INTEGRITY OF THIS DEVELOPMENT PLAN, THE PROVISIONS OF THIS PLAN RELATING TO THE USE OF LAND AND THE LOCATION OF COMMON OPEN SPACE SHALL RUN IN FAVOR OF EL PASO COUNTRY AND SHALL BE ENFORCEABLE AT LAW OR IN EQUITY BY THE COUNTRY WITHOUT LIMITATIONS ON ANY POWER OR REGULATION OTHERWISE GRANTED BY LAW.
- F. CONFLICT. WHERE THERE IS MORE THAN ONE PROVISION WITHIN THE DEVELOPMENT PLAN THAT COVERS THE SAME SUBJECT MATTER, THE PROVISION WHICH IS MOST RESTRICTIVE OR IMPOSES HIGHER STANDARDS OR REQUIREMENTS SHALL GOVERN.
- G. MAXIMUM LEVEL OF DEVELOPMENT. THE TOTAL OF DWELLINGS IS THE MAXIMUM DEVELOPMENT REQUESTED FOR PLATTING OR CONSTRUCTION (PLUS ANY APPROVED DENSITY TRANSFERS). THE ACTUAL NUMBER OF DWELLINGS OR LEVEL OF DEVELOPMENT MAY BE LESS DUE TO SUBDIVISION OF SITE DEVELOPMENT PLAN REQUIREMENTS, LAND CARRYING CAPACITY, OR OTHER REQUIREMENTS OF THE BOARD OF COUNTY COMMISSIONERS.
- H. PROJECT TRACKING. AT THE TIME OF ANY FINAL PLAT APPLICATION, THE APPLICANT SHALL PROVIDE A SUMMARY OF THE DEVELOPMENT TO DATE, TO PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT, IN ORDER TO ASSURE MAXIMUM DEVELOPMENT LIMITS ARE NOT EXCEEDED.
- I. OVERALL PROJECT STANDARDS. THE STANDARD ZONING REQUIREMENTS OF EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED, INCLUDING OFF-STREET PARKING, LANDSCAPING, SITE DEVELOPMENT, ACCESSORY AND TEMPORARY USES, AND USE BY SPECIAL REVIEW AND VARIANCE PROCESSES SHALL APPLY TO THIS PUD, EXCEPT AS MODIFIED HEREIN.
- FOURSQUARE AT STERLING RANCH DEVELOPMENT GUIDELINES:**
- A. PERMITTED USES AND STRUCTURES:
- | USE   | NOTES   |
|---|---|
| <b>PRINCIPAL USES</b>   |   |
| DWELLINGS – SINGLE FAMILY DETACHED  | 5' SIDEYARD SETBACKS  |
| OPEN SPACE, PARKS AND TRAILS  |   |
| RECREATION AMENITIES  | SUCH AS TRAILS, WALKS, PARKS  |
| FAMILY CARE HOME, CHILD CARE CENTER, OR GROUP HOME  | THESE USES ARE CONTROLLED BY STATE LAW AND RULES AND REGULATIONS, AND ARE EITHER ALLOWED OR SPECIAL USES DEPENDING ON THE SPECIFIC FACILITY TYPE AND NUMBER OF RESIDENTS / ENROLLMENTS. |
| DISTRICT UTILITIES, DETENTION PONDS   | TO INCLUDE DETENTION FACILITIES AND ASSOCIATED ACCESS ROADS AND UTILITY LINES.  |
| <b>ACCESSORY USES</b>   |   |
| ANIMAL KEEPING  | UP TO 4 PETS (DOGS, CATS OR OTHER DOMESTICATED ANIMALS). THE KEEPING OF BEES, HENS, CHICKENS, OR PIGEONS IS NOT ALLOWED.  |
| RESIDENTIAL HOME OCCUPATION   |   |
| SOLAR ENERGY SYSTEMS  | FOR PERSONAL USE ONLY   |
| DECK (ATTACHED OR DETACHED, COVERED OR UNCOVERED)   |   |
| FENCE, WALL OR HEDGE  |   |
| ANTENNAS, RADIO FACILITIES, AND SATELLITE DISHES  |   |
| MAILBOXES   |   |
| <b>TEMPORARY USES</b>   |   |
| MODEL HOME / SUBDIVISION SALES OFFICE   |   |
| CONSTRUCTION EQUIPMENT STORAGE AND FIELD OFFICE   | ONLY WHEN ASSOCIATED WITH A PERMITTED USE   |
| YARD OR GARAGE SALES  |   |
| <b>SPECIAL USES</b>   |   |
| FAMILY CARE HOME, CHILD CARE CENTER, OR GROUP HOME  | THESE USES ARE CONTROLLED BY STATE LAW AND RULES AND REGULATIONS, AND ARE EITHER ALLOWED OR SPECIAL USES DEPENDING ON THE SPECIFIC FACILITY TYPE AND NUMBER OF RESIDENTS / ENROLLMENTS. |
| CMRS FACILITY – STEALTH   |   |
| NOTES:  |   |
| 1. ALL PERMITTED PRINCIPAL AND ACCESSORY STRUCTURES ARE SUBJECT TO THE DEVELOPMENT STANDARDS AT FOURSQUARE AT STERLING RANCH PRELIMINARY PLAN AND PUD DEVELOPMENT PLAN.   |   |
| 2. PERMITTED ACCESSORY USES ARE SUBJECT TO THE USE-SPECIFIC DEVELOPMENT STANDARD SET OUT IN CHAPTER 5.1.7 OF THE EL PASO COUNTY LAND DEVELOPMENT CODE (AS AMENDED).   |   |
| 3. PERMITTED TEMPORARY USES ARE SUBJECT TO THE STANDARD FOR REVIEW AND APPROVAL SET OUT IN CHAPTER 5.2.1 OF THE EL PASO COUNTY LAND DEVELOPMENT CODE (AS AMENDED).  |   |
| 4. PERMITTED SPECIAL USES ARE SUBJECT TO THE STANDARD FOR REVIEW AND APPROVAL SET OUT IN CHAPTER 5.2.2 OF THE EL PASO COUNTY LAND DEVELOPMENT CODE (AS AMENDED).  |   |
| B. DEVELOPMENT STANDARD FOR RESIDENTIAL LOTS. (SEE LOT TYPICAL ON SHEET 2):   |   |
| 1. MAXIMUM LOT COVERAGE: 60 PERCENT.  |   |
| 2. MINIMUM LOT SIZE: 3272 SF.   |   |
| 3. MAXIMUM BUILDING HEIGHT: THIRTY (35) FEET.   |   |
| 4. MINIMUM LOT DEPTH: 55.00 FEET.   |   |
| 5. OFF STREET PARKING: 2 CAR GARAGE AND 2 CAR DRIVEWAY PER LOT  |   |
| 6. SETBACK REQUIREMENTS (MEASURED FROM PROPERTY LINE):  |   |
| a. FRONT BUILDING: 15 FEET MIN. (FRONT DOOR SIDE ALONG PUBLIC STREETS, 5 FEET ON REAR LOTS (SEE TYPICAL DETAIL SHEET 2)).   |   |
| b. ATTACHED GARAGE: TWENTY (20) FEET FROM BACK OF SIDEWALK OR BACK OF CURB OR EDGE OF SHARED DRIVEWAY TO FRONT-LOADED GARAGE (SEE TYPICAL DETAIL SHEET 2).  |   |
| c. SIDE YARD: 5 FEET (SEE TYPICAL LOT DETAIL).  |   |
| d. CORNER LOT: STANDARD SIDE YARD SETBACK APPLIES ADJACENT TO A TRACT OR SHARED PRIVATE DRIVE AISLE.  |   |
| e. REAR YARD: 5 FEET MIN.   |   |
| NOTE: WHERE A CONFLICT ARISES BETWEEN THESE DEVELOPMENT STANDARDS AND WHAT IS DEPICTED ON THE PLAN, THE PLAN GOVERNS.   |   |
| C. PROJECTIONS INTO SETBACKS ARE COVERED BY THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED. ALL PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTAINING PROPER STORM WATER DRAINAGE IN AND THROUGH THEIR PROPERTY. PUBLIC DRAINAGE EASEMENTS AS SPECIFICALLY NOTED ON THE PLAT SHALL BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS UNLESS OTHERWISE INDICATED. HOMEOWNERS ARE RESPONSIBLE TO ENSURE PROPER DRAINAGE AROUND STRUCTURES, INCLUDING ELEVATIONS OF FOUNDATIONS AND WINDOW WELLS IN SIDE LOT DRAINAGE EASEMENT AND SWALES. HOMEOWNERS SHALL NOT CHANGE THE GRADE OF THE LOT OR DRAINAGE SWALES, WITHIN SAID EASEMENT AS CONSTRUCTED BY THE BUILDER, IN A MANNER THAT WOULD CAUSE ADVERSE DRAINAGE IMPACTS TO PROPERTIES, STRUCTURES, FENCES, MATERIALS OR LANDSCAPING THAT COULD IMPEDE THE FLOW OF RUNOFF SHALL NOT BE PLACED IN DRAINAGE EASEMENTS. |   |
| D. PROJECTION INTO SETBACKS   |   |
| A. AWNINGS, CHIMNEYS AND FLUES, SILLS BELTS COURSES, CORNICES, EAVES AND OTHER SIMILAR ARCHITECTURAL FEATURES MAY PROJECT NOT MORE THAN 2 FEET INTO REQUIRED FRONT, SIDE, OR REAR YARD SETBACKS.  |   |
| B. CANTILEVERED BAY WINDOWS, NO GREATER THAN 12 FEET IN WIDTH, MAY PROJECT NOT MORE THAN 3 FEET INTO A REQUIRED FRONT OR REAR YARD SETBACK. THE WINDOW SHALL INCLUDED NO SUPPORTS THAT EXTEND INTO THE REQUIRED FRONT OR REAR YARD SETBACK.   |   |
| E. LOT NOTES:   |   |
| 1. THE PUD DEVELOPMENT/PRELIMINARY PLAN AND THE PLAT ESTABLISH THE LOT SIZES FOR EACH LOT.  |   |
| 2. FOLLOWING INITIAL SUBDIVISION, NO VACATIONS AND REPLATS WILL BE ALLOWED IF THESE WOULD RESULT IN THE ADDITION OF LOTS IN A MANNER NOT FULLY CONSISTENT WITH THE PUD DEVELOPMENT/PRELIMINARY PLAN.  |   |
| 3. MINOR ADJUSTMENTS TO LOT LINES, PRIVATE SHARED DRIVEWAYS AND TRACTS AREAS CAN BE MADE WITH THE FINAL PLATS WITHOUT REQUIRING AN AMENDMENT TO THIS PUD DEVELOPMENT/PRELIMINARY PLAN.  |   |

# FOURSQUARE AT STERLING RANCH

COUNTY OF EL PASO, STATE OF COLORADO SECT. 34, TOWNSHIP 12S, RANGE 65 WEST

## PUD DEVELOPMENT PLAN AND PRELIMINARY PLAN

(CONTINUED):

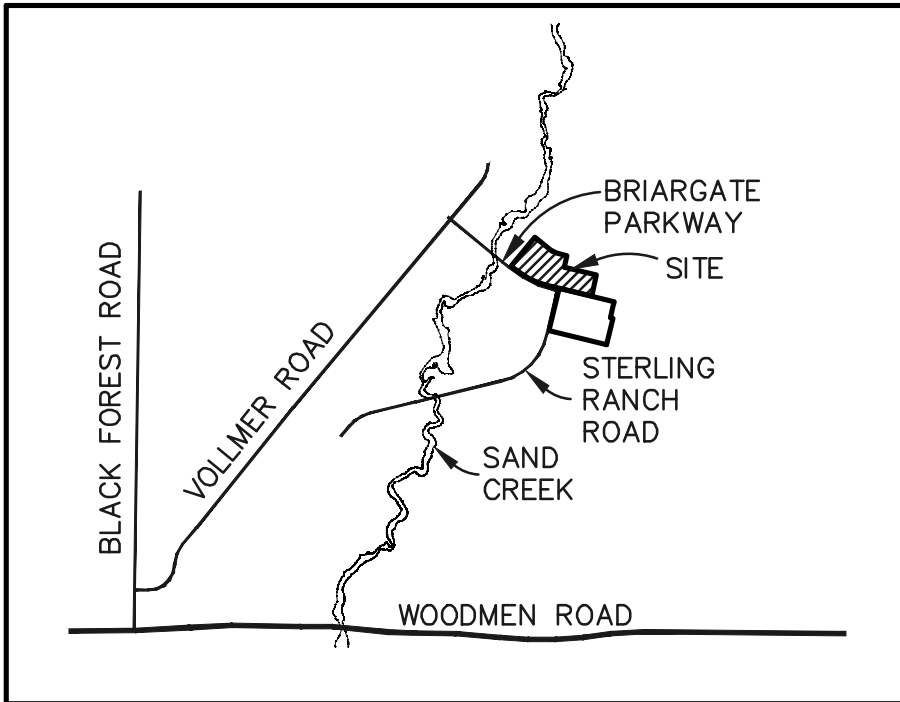
- F. STREETS: STREETS IDENTIFIED AS PUBLIC WITHIN FOURSQUARE AT STERLING RANCH PROVIDE GENERAL VEHICULAR CIRCULATION THROUGHOUT THE DEVELOPMENT. STREETS SHALL BE PUBLICLY OWNED AND MAINTAINED. CONSTRUCTION WILL BE TO EL PASO COUNTY STANDARDS EXCEPT WHERE PUD MODIFICATIONS AND DEVIATIONS ARE APPROVED BY THE COUNTY. ALL STREETS SHALL BE PAVED WITH CURB AND GUTTER. PUBLIC STREETS TO BE MAINTAINED BY EL PASO COUNTY. SHARED PRIVATE DRIVEWAYS TO BE MAINTAINED BY STERLING RANCH METROPOLITAN DISTRICT.
- G. ARCHITECTURAL CONTROL COMMITTEE REVIEW/COVENANTS: COVENANTS FOR FOURSQUARE AT STERLING RANCH WILL BE CREATED BY SEPARATE DOCUMENTS AND RECORDED PRIOR TO FINAL PLAT. THE COVENANTS ESTABLISH RULES AND REGULATIONS FOR THE PROPERTY WITHIN THE SUBDIVISIONS AND ESTABLISH THE GOVERNANCE MECHANISM OF THE SUBDIVISION, INCLUDING THE CREATION OF THE ARCHITECTURAL CONTROL COMMITTEE.
- H. ACCESS LIMITATION: THERE SHALL BE NO DIRECT VEHICULAR LOT ACCESS TO BRIARGATE PARKWAY AND STERLING RANCH ROAD.
- I. SHARED PRIVATE DRIVEWAYS: THE PRIVATE SHARED DRIVEWAYS AS SHOWN WILL BE MAINTAINED BY THE STERLING RANCH METROPOLITAN DISTRICT. THE PRIVATE SHARED DRIVEWAYS AS SHOWN WILL NOT BE MAINTAINED BY EL PASO COUNTY. A MAXIMUM OF 3 LOTS ALLOWED TO UTILIZE EACH PRIVATE SHARED DRIVEWAY.

GENERAL NOTES:

- ALL PUBLIC STREETS SHALL BE CONSTRUCTED TO EL PASO COUNTY STANDARD, DEDICATED TO EL PASO COUNTY, AND UPON ACCEPTANCE BY EL PASO COUNTY, SHALL BE MAINTAINED BY EL PASO COUNTY.
- ALL PRIVATE SHARED DRIVEWAYS SHALL BE OWNED AND MAINTAINED BY THE STERLING RANCH METROPOLITAN DISTRICT.
- PUBLIC UTILITY/DRAINAGE EASEMENTS SHALL BE PROVIDED ON ALL LOTS AS FOLLOWS:
  - FRONT: FIVE (5) FEET W/ TEN (10) FEET MVEA EASEMENT
  - SIDE: FIVE (5) FEET
  - REAR: FIVE (5) FEET
  - STREETS: TEN (10) FEET
- ALL OPEN SPACE/TRAIL/LANDSCAPE TRACTS SHALL BE LIMITED TO NON-MOTORIZED USE ONLY.
- DEVELOPMENT OF THE PROPERTY SHALL BE IN ACCORDANCE WITH THE APPROVED PUD DEVELOPMENT PLAN AND SHALL BE LIMITED TO A TOTAL OF ONE HUNDRED FIFTY EIGHT (158) SINGLE FAMILY LOTS.
- THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR SHALL HAVE THE ABILITY TO GRANT AN ADMINISTRATIVE VARIANCE OF UP TO 20% OF DIMENSIONAL STANDARD LISTED ON THIS PUD DEVELOPMENT PLAN ON A CASE BY CASE BASIS.
- FLOODPLAIN STATEMENT: NO PORTION OF THE SITE IS WITHIN A FEMA FLOODPLAIN PER MAP NO. 08041C05336 DATED DECEMBER 7, 2018.
- ALL TRACTS WILL BE OWNED AND (WHERE REQUIRED) MAINTAINED BY STERLING RANCH METROPOLITAN DISTRICT.
- SIGHT DISTANCE TRIANGLE EASEMENTS ARE IDENTIFIED ON THESE PLANS.
- SOIL AND GEOLOGY CONDITIONS:

GEOLOGIC HAZARD NOTE:  
THE OVERALL SITE HAS BEEN FOUND TO BE IMPACTED BY GEOLOGIC HAZARDS. MITIGATION MEASURES AND A MAP OF THE HAZARD AREA CAN BE FOUND IN THE REPORT "SOIL, GEOLOGY, AND GEOLOGIC HAZARD STUDY FOR FOURSQUARE AT STERLING RANCH EAST PRELIMINARY PLAN NO. 2-PARCEL NO.19, EL PASO COUNTY, COLORADO" BY ENTECH ENGINEERING, INC. DATED SEPT. 15, 2022 IN FILE PUD SP-22-227 AVAILABLE AT THE EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT:  
- POTENTIALLY UNSTABLE SLOPE AREAS - THE ENTIRE SITE WILL BE REGRADED AND SLOPES WILL BE PROPERLY BENCHMARKED TO NOT CREATE ANY UNSTABLE SLOPE CONDITIONS.  
- RADON - AS THESE SINGLE FAMILY DETACHED HOMES WILL NOT BE CONSTRUCTED WITH BASEMENTS, INCREASED VENTILATION IS NOT REQUIRED.
- HOMEOWNER IS RESPONSIBLE FOR DRIVEWAY / ASPHALT / SIDEWALK REPLACEMENT IF SANITARY SEWER AND WATER SERVICES ARE REPAIRED.
- NOTICE OF POTENTIAL AIRCRAFT OVERFLIGHT AND NOISE IMPACT ASSOCIATED WITH AIRPORT: THIS SERVES AS NOTICE OF POTENTIAL AIRCRAFT OVERFLIGHT AND NOISE IMPACTS ON THIS PROPERTY DUE TO ITS CLOSE PROXIMITY TO AN AIRPORT, WHICH IS BEING DISCLOSED TO ALL PROSPECTIVE PURCHASERS CONSIDERING THE USE OF THIS PROPERTY FOR RESIDENTIAL AND OTHER PURPOSES. THIS PROPERTY IS SUBJECT TO THE OVERFLIGHT AND ASSOCIATED NOISE OF ARRIVING AND DEPARTING AIRCRAFT DURING THE COURSE OF NORMAL AIRPORT OPERATIONS.
- IF USE OF EQUIPMENT (PERMANENT OR TEMPORARY) WILL EXCEED 100 FEET ABOVE GROUND LEVEL IN HEIGHT AT THIS SITE, THE APPLICANT IS TO FILE AN AIRSPACE EVALUATION CASE WITH THE FEDERAL AVIATION ADMINISTRATION (FAA) AND PROVIDE THE RESULTS TO THE AIRPORT BEFORE THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- SNOW STORAGE SHALL BE ACCOMMODATED ONSITE IN AVAILABLE TRACTS AND AT DEAD ENDS OF THE PRIVATE DRIVE AISLES, NOT IN THE PUBLIC RIGHT-OF-WAY.
- ADA COMPLIANCE: APPROVAL OF THE PLAN AND ASSOCIATED CONSTRUCTION DOCUMENTS BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. IT IS THE RESPONSIBILITY OF THE DEVELOPER / HOME BUILDER TO ENSURE ADA ACCESSIBILITY DURING CONSTRUCTION OF THE PUBLIC AND PRIVATE SIDEWALKS. THE SUBDIVIDER/DEVELOPER HAS FAMILIARIZED ITSELF WITH CURRENT AMERICANS WITH DISABILITIES ACT (ADA) LAWS AND ACCESSIBILITY STANDARDS AND HAS LAID OUT THE PLAT AND ASSOCIATED GRADING AND CONSTRUCTION PLANS TO THAT ALL SITE ELEMENTS MEET THE APPLICABLE ADA DESIGN STANDARDS AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAT AND ASSOCIATED CONSTRUCTION DOCUMENTS BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. IT IS THE RESPONSIBILITY OF THE DEVELOPER / HOME BUILDER TO ENSURE ADA ACCESSIBILITY DURING CONSTRUCTION OF THE PRIVATE STREETS.
- STERLING RANCH METROPOLITAN DISTRICT TO MAINTAIN SITE RETAINING WALLS.
- NO LANDSCAPING SHALL OBSTRUCT SIGHT DISTANCE TRIANGLES OR PEDESTRIAN FACILITIES PER ENGINEERING CRITERIA MANUAL REFERENCE 2.3.6.G.2 & 2.5.3.H RESPECTIVELY. THE MINIMUM HORIZONTAL CLEARANCE FOR SIDEWALKS AROUND UTILITY STRUCTURES, FURNITURE AND OTHER ENCROACHMENTS SHALL BE 4 FEET OR GREATER TO PROVIDE SAFE CONDITIONS FOR PEDESTRIAN AND BICYCLISTS PER THE ENGINEERING CRITERIA MANUAL.
- SPECIAL DISTRICT DISCLOSURE:

A TITLE 32 SPECIAL DISTRICT ANNUAL REPORT AND DISCLOSURE FORM SATISFACTORY TO THE PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT SHALL BE RECORDED WITH EACH PLAT.  
STERLING RANCH METROPOLITAN DISTRICT NOTE:  
NOTICE: THIS PROPERTY WILL BE INCLUDED WITHIN A SPECIAL TAXING DISTRICT, STERLING RANCH METROPOLITAN DISTRICT, CREATED FOR THE PURPOSE OF CONSTRUCTING AND MAINTAINING CERTAIN DRAINAGE, UTILITY, ROADWAY AND PARK AND RECREATION IMPROVEMENTS. SPECIAL TAXING DISTRICTS ARE SUBJECT TO A GENERAL OBLIGATION INDEBTEDNESS THAT IS PAID BY REVENUES PRODUCED FROM ANNUAL TAX LEVIES ON THE TAXABLE PROPERTY WITHIN SUCH DISTRICTS. THE BUYER SHOULD FAMILIARIZE HIMSELF / HERSELF WITH THIS POTENTIALITY AND RAMIFICATIONS THEREOF.
- THE SUBDIVIDER(S) AGREES ON BEHALF OF HIM/HERSELF AND ANY DEVELOPER OR BUILDER SUCCESSORS AND ASSIGNEES THAT SUBDIVIDER AND/OR SAID SUCCESSORS AND ASSIGNS SHALL BE REQUIRED TO PAY TRAFFIC IMPACT FEES IN ACCORDANCE WITH THE EL PASO COUNTY ROAD IMPACT FEE PROGRAM RESOLUTION (RESOLUTION NO. 19-471), OR ANY AMENDMENTS THERETO, AT OR PRIOR TO THE TIME OF BUILDING PERMIT SUBMITTALS. THE FEE OBLIGATION, IF NOT PAID AT FINAL PLAT RECORDING, SHALL BE DOCUMENTED ON ALL SALES DOCUMENTS AND ON PLAT NOTES TO ENSURE THAT A TITLE SEARCH WOULD FIND THE FEE OBLIGATION BEFORE SALE OF THE PROPERTY.
- SHARED ACCESS EASEMENT PROVIDING ACCESS TO THREE LOTS TO REMAIN CLEAR OF ANY OBSTRUCTIONS OR PARKED VEHICLES.



VICINITY MAP  
N.T.S.

PUD MODIFICATION TABLE (AS ALLOWED BY LDC SECTION 4.2.6.(F)(2)(g))

1	LDC/ECM SECTION	CATEGORY	STANDARD	MODIFICATION	JUSTIFICATION
1	8.4.4.C PUBLIC ROADS REQ.	LOT AREA AND DIMENSIONS	LOTS TO HAVE A MINIMUM OF 30 FEET OF FRONTAGE ON AND ACCESS FROM A PUBLIC ROAD	LOTS UTILIZING PRIVATE SHARED DRIVEWAYS WILL NOT HAVE DIRECT FRONTAGE ON OR ACROSS FROM A PUBLIC ROAD	THE PROPOSED UNIQUE LOT CONFIG. AND COMMUNITY DESIGN REFLECT THE NEED FOR SHARED PRIVATE DRIVEWAYS THAT DIRECTLY CONNECT TO PUBLIC STREETS, WITH ONLY 3 INDIVIDUAL LOTS ACCESSING EACH PRIVATE SHARED DRIVEWAY.

LEGAL DESCRIPTION:

LEGAL DESCRIPTION: STERLING RANCH EAST PRELIMINARY PLAN NO. 2 PRELIMINARY PLAN

A PARCEL OF LAND BEING A PORTION OF SECTIONS 33 AND 34, TOWNSHIP 12 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

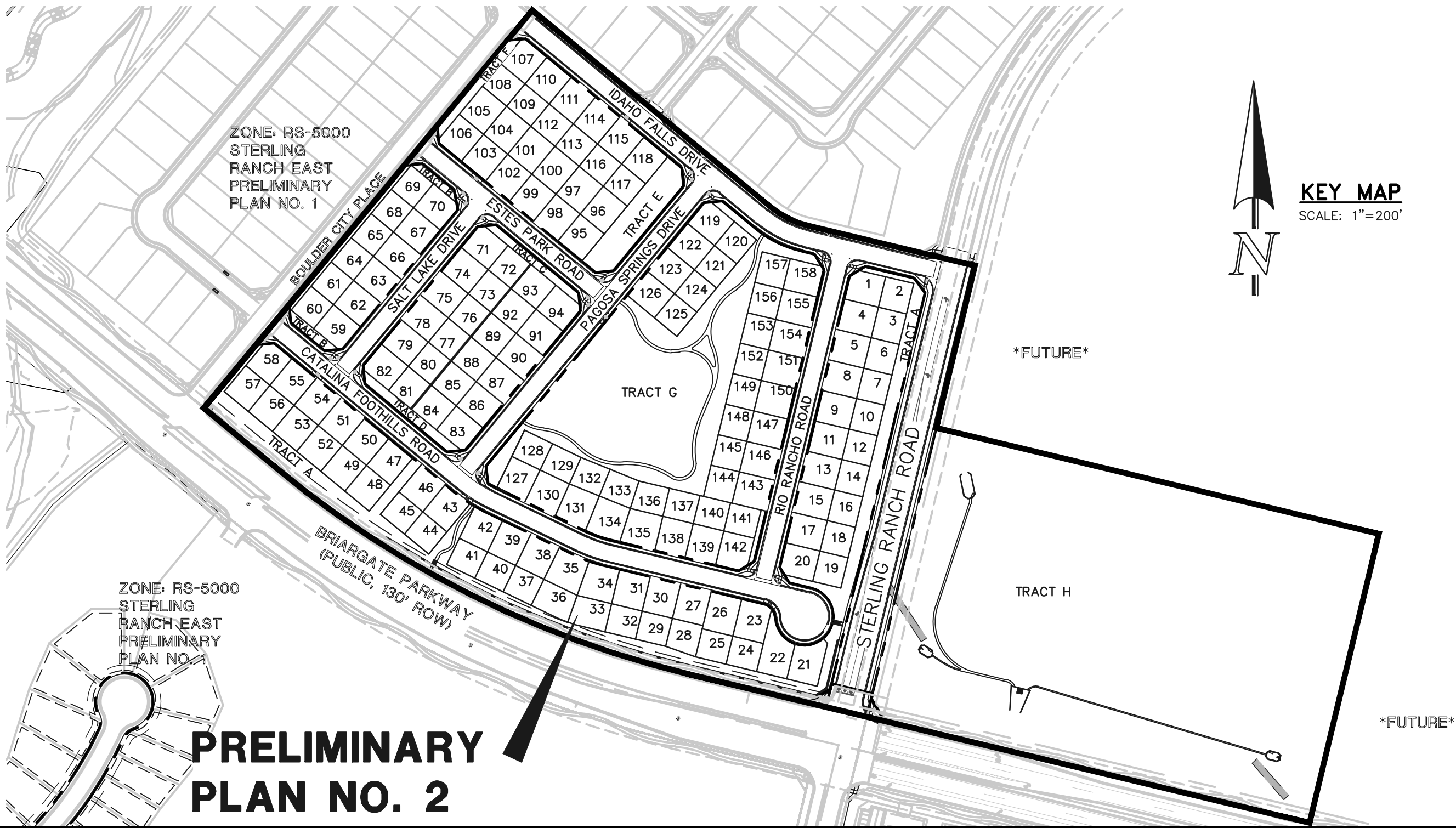
BASIS OF BEARINGS: THE SOUTH LINE OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, BEING MONUMENTED AT THE WEST END WHICH IS THE CENTER-EAST ONE-SIXTEENTH CORNER OF SAID SECTION 28, BY A 3-1/4" ALUMINUM SURVEYORS CAP STAMPED "ESI PLS 10376, 2006" AND AT THE EAST END, WHICH IS A 30' WITNESS CORNER TO THE EAST OF THE EAST QUARTER CORNER OF SAID SECTION 28, BY A 3-1/4" ALUMINUM SURVEYORS CAP STAMPED "ESI 10376, 2006", IS ASSUMED TO BEAR N89°08'28"E, A DISTANCE OF 1356.68 FEET.

COMMENCING AT THE CENTER-EAST ONE-SIXTEENTH CORNER OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN EL PASO COUNTY, COLORADO, SAID POINT BEING THE SOUTHWESTERLY CORNER OF RETREAT AT TIMBERIDGE, FILING NO. 1 RECORDED UNDER RECEPTION NO. 220714653 RECORDS OF EL PASO COUNTY, COLORADO;

THENCE S19°38'14"E, A DISTANCE OF 3075.46 FEET TO THE POINT OF BEGINNING;

THENCE S50°26'12"E, A DISTANCE OF 587.17 FEET TO A POINT OF CURVE;  
THENCE ON THE ARC OF A CURVE TO THE LEFT HAVING A DELTA OF 26°05'19", A RADIUS OF 175.00 FEET AND A DISTANCE OF 79.68 FEET TO A POINT OF TANGENT;  
THENCE S76°31'31"E, A DISTANCE OF 326.10 FEET;  
THENCE S13°28'29"W, A DISTANCE OF 316.54 FEET;  
THENCE S76°31'31"E, A DISTANCE OF 864.69 FEET;  
THENCE S13°28'29"W, A DISTANCE OF 564.46 FEET;  
THENCE N76°31'31"W, A DISTANCE OF 1212.28 FEET TO A POINT OF CURVE;  
THENCE ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 26°05'19", A RADIUS OF 1935.00 FEET AND A DISTANCE OF 881.07 FEET TO A POINT OF TANGENT;  
THENCE N50°26'12"W, A DISTANCE OF 181.33 FEET;  
THENCE N39°33'48"E, A DISTANCE OF 980.00 FEET TO THE POINT OF BEGINNING.

CONTAINING A CALCULATED AREA OF 36.762 ACRES



## PRELIMINARY PLAN NO. 2

DEVELOPMENT DATA:

EXISTING ZONING:	RR-5
TAX SCHEDULE NO.:	5200000552, 5200000553, 5233000016
TOTAL AREA:	36.762 ACRES
NUMBER OF LOTS:	158
TOTAL LOT AREA:	13.50 ACRES (37%)
AVERAGE LOT SIZE:	3,722 SF
MINIMUM LOT SIZE:	3,272 SF
MINIMUM LOT WIDTH:	55'
MINIMUM LOT DEPTH:	59.5'
GROSS DENSITY:	4.03 DU/AC
NET DENSITY (W/O PUBLIC ROW):	5.16 DU/AC
ROW (PUBLIC)	6.65 ACRES (18%)
TOTAL OPEN SPACE:	16.59 ACRES (45%) (SEE TRACT TABLE SHEET 2)
MAXIMUM LOT COVERAGE:	60%

CLASSIC SRJ LAND, LLC  
NAME OF LANDOWNER

LANDOWNER'S SIGNATURE

STATE OF COLORADO )  
COUNTY OF EL PASO ) ss  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, A.D. BY \_\_\_\_\_, AS \_\_\_\_\_ OF ELITE PROPERTIES OF AMERICA, INC., A COLORADO CORPORATION.  
WITNESS MY HAND AND OFFICIAL SEAL.  
MY COMMISSION EXPIRES: \_\_\_\_\_ NOTARY PUBLIC

OWNER CERTIFICATION:

I / WE, CAPSTONE TITLE, A (ONE OF THE FOLLOWING: QUALIFIED TITLE INSURANCE COMPANY, TITLE COMPANY, TITLE ATTORNEY, OR ATTORNEY AT LAW) DULY QUALIFIED, INSURED, OR LICENSED BY THE STATE OF COLORADO, DO HEREBY CERTIFY THAT I / WE HAVE EXAMINED THE TITLE OF ALL LANDS DEPICTED AND DESCRIBED HEREON AND THAT TITLE TO SUCH LAND IS OWNER IN FEE SIMPLE BY \_\_\_\_\_ AT THE TIME OF THIS APPLICATION.

SIGNATURE  
STATE OF COLORADO )  
COUNTY OF EL PASO ) ss  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, A.D. BY \_\_\_\_\_, AS \_\_\_\_\_ OF ELITE PROPERTIES OF AMERICA, INC., A COLORADO CORPORATION.  
WITNESS MY HAND AND OFFICIAL SEAL.  
MY COMMISSION EXPIRES: \_\_\_\_\_ NOTARY PUBLIC

COUNTY CERTIFICATION:

THIS REZONING REQUEST TO PUD HAS BEEN REVIEWED AND FOUND TO BE COMPLETE AND IN THE ACCORDANCE WITH THE \_\_\_\_\_ (BOARD RESOLUTION OR MOTION #) (DATE) APPROVING THE PUD AND ALL APPLICABLE EL PASO COUNTY REGULATIONS.

DIRECTOR, PLANNING & COMMUNITY DEVELOPMENT DATE

BOARD OF COUNTY COMMISSIONER DATE

CLERK AND RECORDER CERTIFICATION:

STATE OF COLORADO )  
COUNTY OF EL PASO ) ss  
I HEREBY CERTIFY THAT THIS PLAN WAS FILED FOR RECORD IN MY OFFICE AT \_\_\_\_\_ O'CLOCK \_\_\_\_M. THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, A.D., AND IS DULY RECORDED AT RECEPTION NO. \_\_\_\_\_ OF THE RECORDS OF EL PASO COUNTY, COLORADO.

BY: \_\_\_\_\_  
EL PASO COUNTY CLERK AND RECORDER

SHEET INDEX

COVER SHEET	SHEET 1	OF 19
PUD & PRELIMINARY PLAN	SHEETS 2-6	OF 19
PRELIMINARY GRADING & UTILITIES PLAN	SHEETS 7-11	OF 19
LANDSCAPE TITLE SHEET	SHEET 12	OF 19
LANDSCAPE PLAN - OVERALL	SHEET 13	OF 19
LANDSCAPE PLAN	SHEETS 14-18	OF 19
PLANTING DETAILS AND NOTES	SHEET 19	OF 19

EL PASO COUNTY FILE NUMBER: PUD SP-22-227

**FOURSQUARE AT STERLING RANCH**  
PUD DEVELOPMENT PLAN & PRELIMINARY PLAN  
TITLE SHEET

DESIGNED BY	EAS	SCALE	DATE	03/08/2022
DRAWN BY	EAS	(H) 1"= 200'	SHEET 1	OF 19
CHECKED BY		(V) 1"= N/A	JOB NO.	1183.20

619 N. Cascade Avenue, Suite 200  
Colorado Springs, Colorado 80903

(719)785-0790  
(719)785-0799 (Fax)



FOURSQUARE AT STERLING RANCH  
COUNTY OF EL PASO, STATE OF COLORADO SECT. 34, TOWNSHIP 12S, RANGE 65 WEST  
PUD DEVELOPMENT PLAN AND PRELIMINARY PLAN

PENDING  
STERLING RANCH EAST  
FILING NO. 3  
SINGLE FAMILY  
ZONE: RS-5000

CORVALLIS DRIVE  
(PUBLIC LOCAL, 50' ROW)

TYPICAL ACCESS EASEMENT

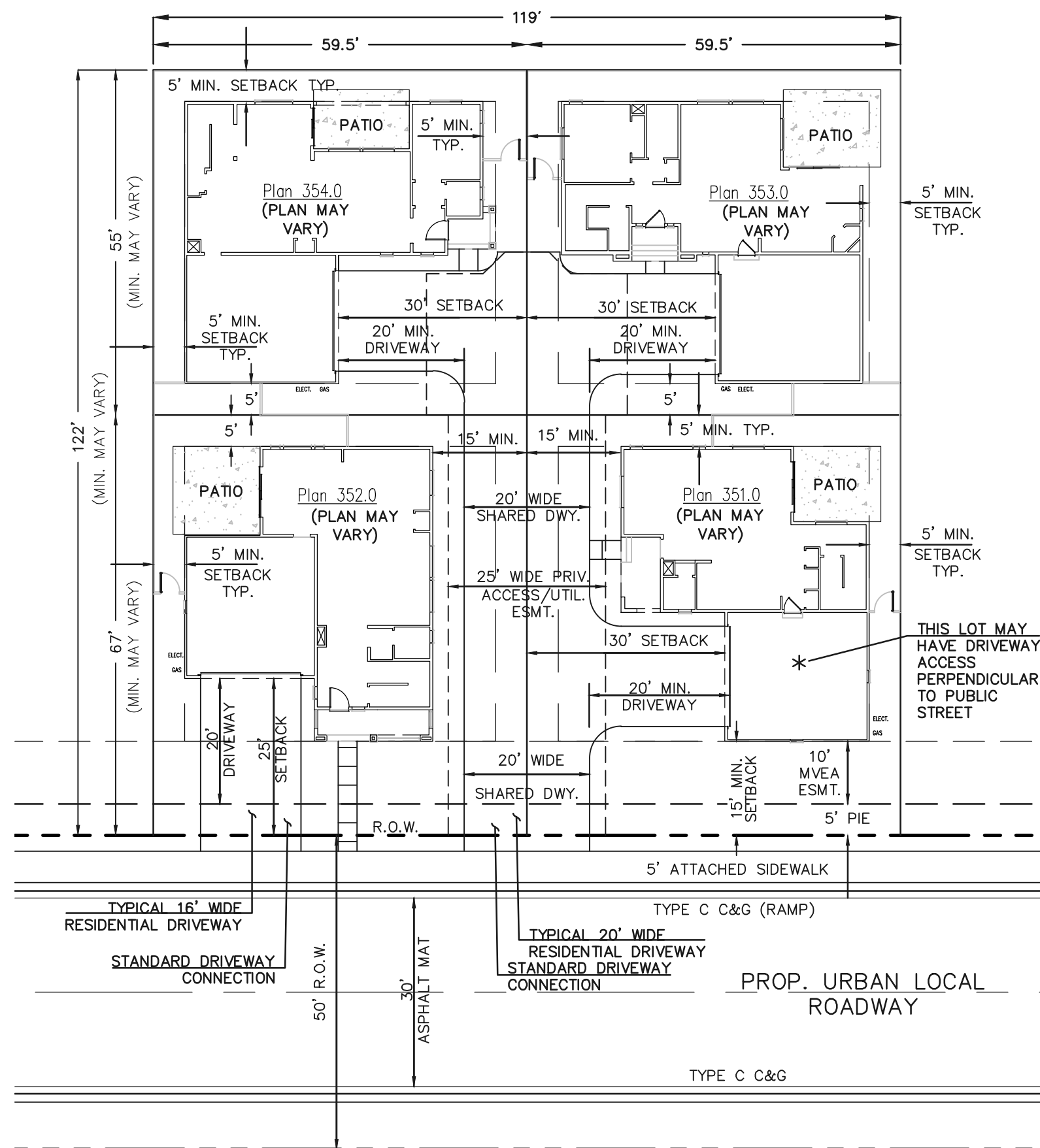
SCALE: 1" = 20'

STERLING RANCH EAST PRELIMINARY PLAN NO. 2 SUMMARY TABLE:

PARCELS	SQUARE FEET	PERCENTAGE	OWNER	MAINTENANCE
TRACT A, B, C, D, E, F, G (SEE TABLE BELOW)	223,989	14.03% *	STERLING RANCH METROPOLITAN DISTRICT	STERLING RANCH METROPOLITAN DISTRICT
TRACT H (STORMWATER FSD)	487,493	30.53%	STERLING RANCH METROPOLITAN DISTRICT	STERLING RANCH METROPOLITAN DISTRICT
LOTS (158 TOTAL)	592,810	37.13%	INDIVIDUAL LOT OWNERS	
PUBLIC R.O.W.	292,242	18.31%	COUNTY	COUNTY
TOTAL	1,596,534	100%		

\*TRACTS B, C, D, E, AND G ARE ALL 100% USEABLE OPEN SPACE. SEE ADDED TABLE BELOW.

TRACT TABLE									
TRACT	SIZE (SF)	LANDSCAPE/ PARK OPEN SPACE/ TRAIL	POCKET PARK	MAILBOXES	SIGNAGE/ PUBLIC IMPROVEMENTS	DRAINAGE/ DETENTION	PUBLIC UTILITIES	ELECTRIC EASEMENT	FENCE/ WALLS
A	78,604	X			X		X	X	SRMD
B	6,891	X			X		X	X	SRMD
C	3,506	X		X	X		X	X	SRMD
D	4,220	X		X	X		X	X	SRMD
E	14,366	X	X	X	X		X	X	SRMD
F	4,334	X			X		X	X	SRMD
G	111,886	X	X		X		X	X	SRMD
H	487,493	X	X		X	X	X	X	SRMD
TOTAL	711,482								



NOTES:

TYPICAL DETAIL SHOWN IS FOR SETBACK AND ACCESS PURPOSES ONLY. SPECIFIC HOUSE PLAN AND DRIVEWAY ACCESS CONFIGURATIONS MAY VARY.

LOT LINE DIMENSIONS MAY VARY (SEE SITE PLAN)  
NO TRASH OR DELIVERY TRUCKS TO USE SHARED DRIVEWAY. REAR LOT TRASH CANS TO BE TAKEN TO CURB

TYPICAL LOT DETAIL

SCALE: 1" = 20'

LEGEND

BOUNDARY LINE	---
PROPERTY LINE	---
EASEMENT SETBACK LINE	---
LINE OF SIGHT	---
NO PARKING SIGNED OR STRIPED CURB	---
EXISTING WATER LINE	W W
EXISTING SANITARY SEWER	S S
EXISTING STORM LINE	---

30 15 0 30 60

SCALE: 1" = 30'

ADDITIONAL SERVICE PROVIDERS  
GENERAL NOTES FROM TITLE SHEET

- A. WATER PROVIDER  
B. WASTEWATER PROVIDER  
C. ELECTRIC PROVIDER  
D. GAS PROVIDER  
E. FIRE PROTECTION DISTRICT  
F. EMERGENCY SERVICES (AMBULANCE)  
G. EMERGENCY SERVICES (POLICE)
- STERLING RANCH METROPOLITAN DISTRICT  
MOUNT VIEW ELECTRIC ASSOCIATION  
COLORADO SPRINGS UTILITIES  
BLACK FOREST FIRE PROTECTION  
EL PASO COUNTY  
EL PASO COUNTY SHERIFF



STERLING RANCH EAST  
PRELIMINARY PLAN NO. 2  
PUD DEVELOPMENT PLAN &  
PRELIMINARY PLAN

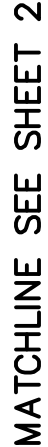
DESIGNED BY	EAS	SCALE	DATE	03/08/2022
DRAWN BY	EAS	(H) 1" = 30'	SHEET	2 OF 19
CHECKED BY	(V) 1" = N/A	JOB NO.	1183.20	



## FOURSQUARE AT STERLING RANCH

COUNTY OF EL PASO, STATE OF COLORADO SECT. 34, TOWNSHIP 12S, RANGE 65 WEST

## PUD DEVELOPMENT PLAN AND PRELIMINARY PLAN



MATCHLINE SEE SHEET 5



SCALE: 1" = 30'

**LEGEND**

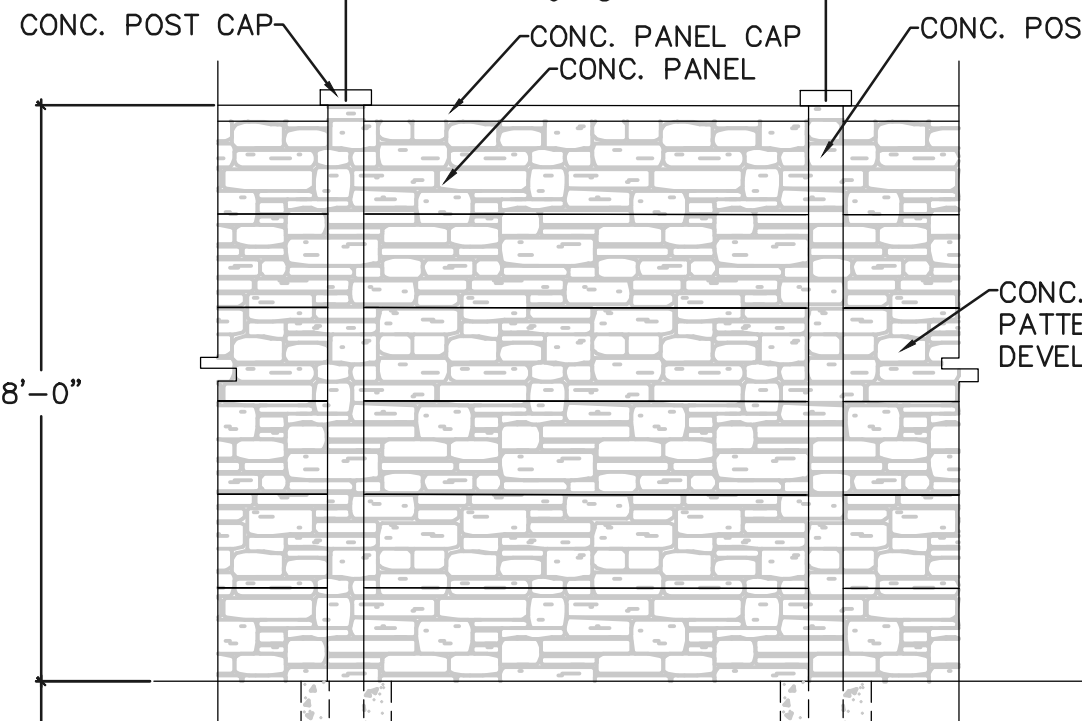
[illegible]

SCALE: 1" = 20'



488,118 SF

11.21 AC



SCALE: N.T.S.



STERLING RANCH EAST  
PRELIMINARY PLAN NO. 2  
PUD DEVELOPMENT PLAN &  
PRELIMINARY PLAN

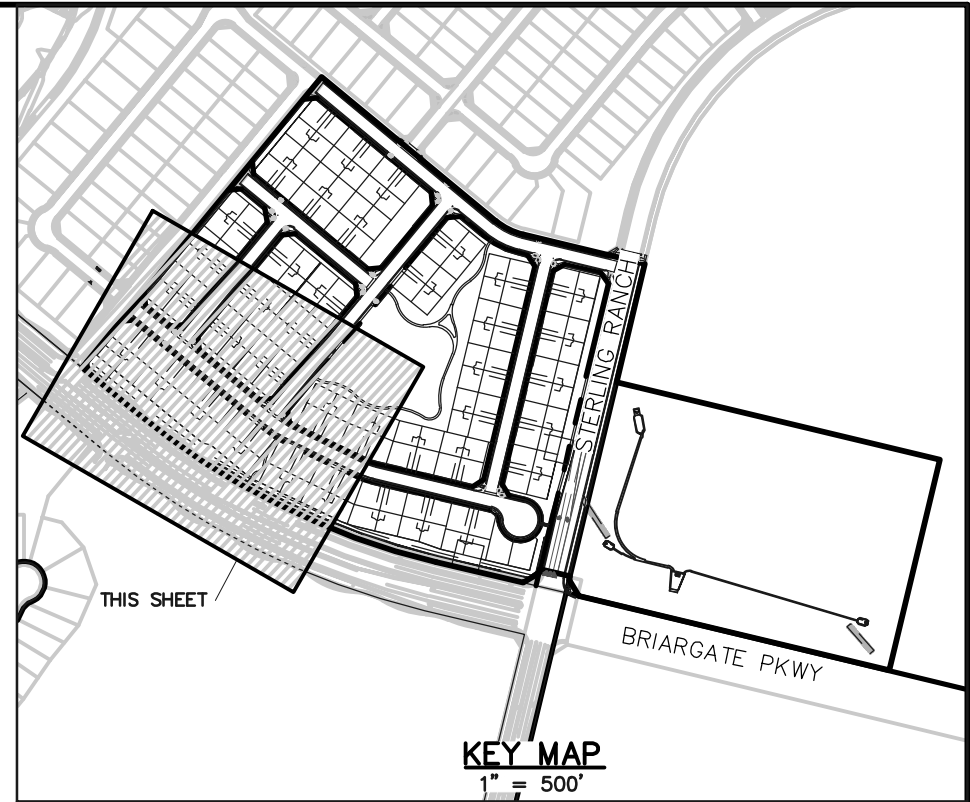
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DRAWN BY	EAS	(H) 1"= 30'	SHEET	3 OF 19
CHECKED BY		(V) 1"= N/A	JOB NO.	1183.20

619 N. Cascade Avenue, Suite 200 (719)785-0790  
Colorado Springs, Colorado 80903 (719)785-0799 (Fax)

**CLASSIC<sup>SM</sup>**  
**CONSULTING**

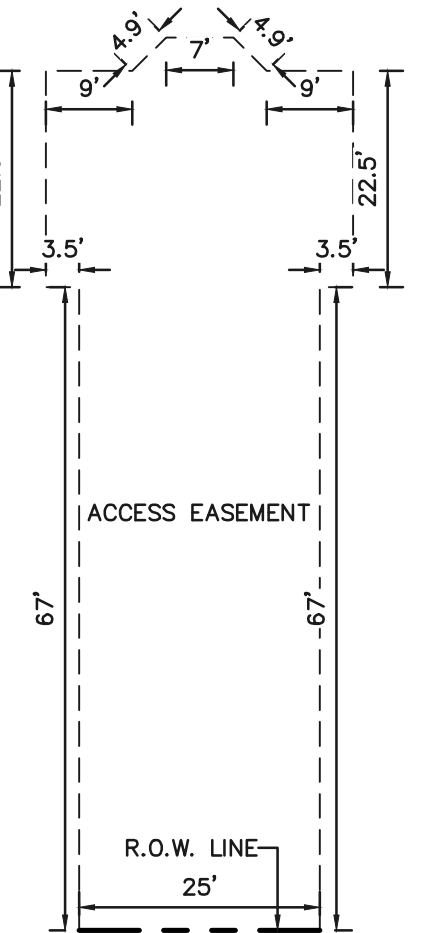


FOURSQUARE AT STERLING RANCH  
COUNTY OF EL PASO, STATE OF COLORADO SECT. 34, TOWNSHIP 12S, RANGE 65 WEST  
PUD DEVELOPMENT PLAN AND PRELIMINARY PLAN

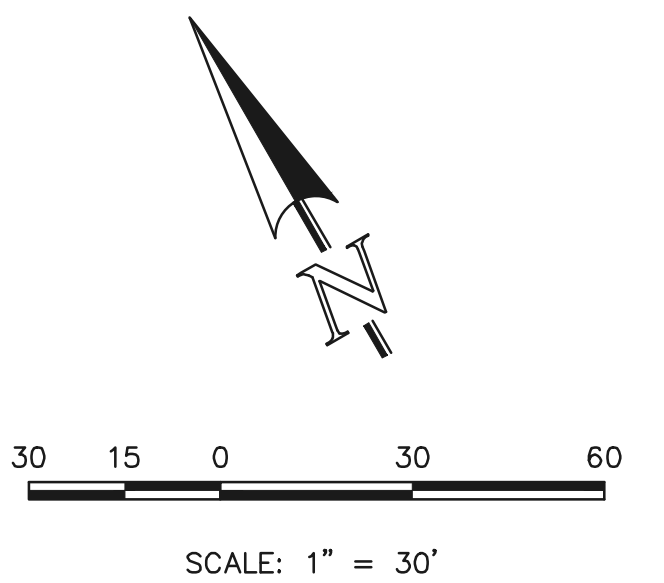


LEGEND

- BOUNDARY LINE
- PROPERTY LINE
- EASEMENT SETBACK LINE
- LINE OF SIGHT
- NO PARKING SIGNED OR STRIPED CURB
- EXISTING WATER LINE
- EXISTING SANITARY SEWER
- EXISTING STORM LINE



TYPICAL ACCESS EASEMENT  
SCALE: 1" = 20'



CLASSIC  
CONSULTING

STERLING RANCH EAST  
PRELIMINARY PLAN NO. 2  
PUD DEVELOPMENT PLAN &  
PRELIMINARY PLAN

DESIGNED BY	EAS	SCALE	DATE	03/08/2022
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CHECKED BY		(V) 1"= N/A	JOB NO.	1183.20

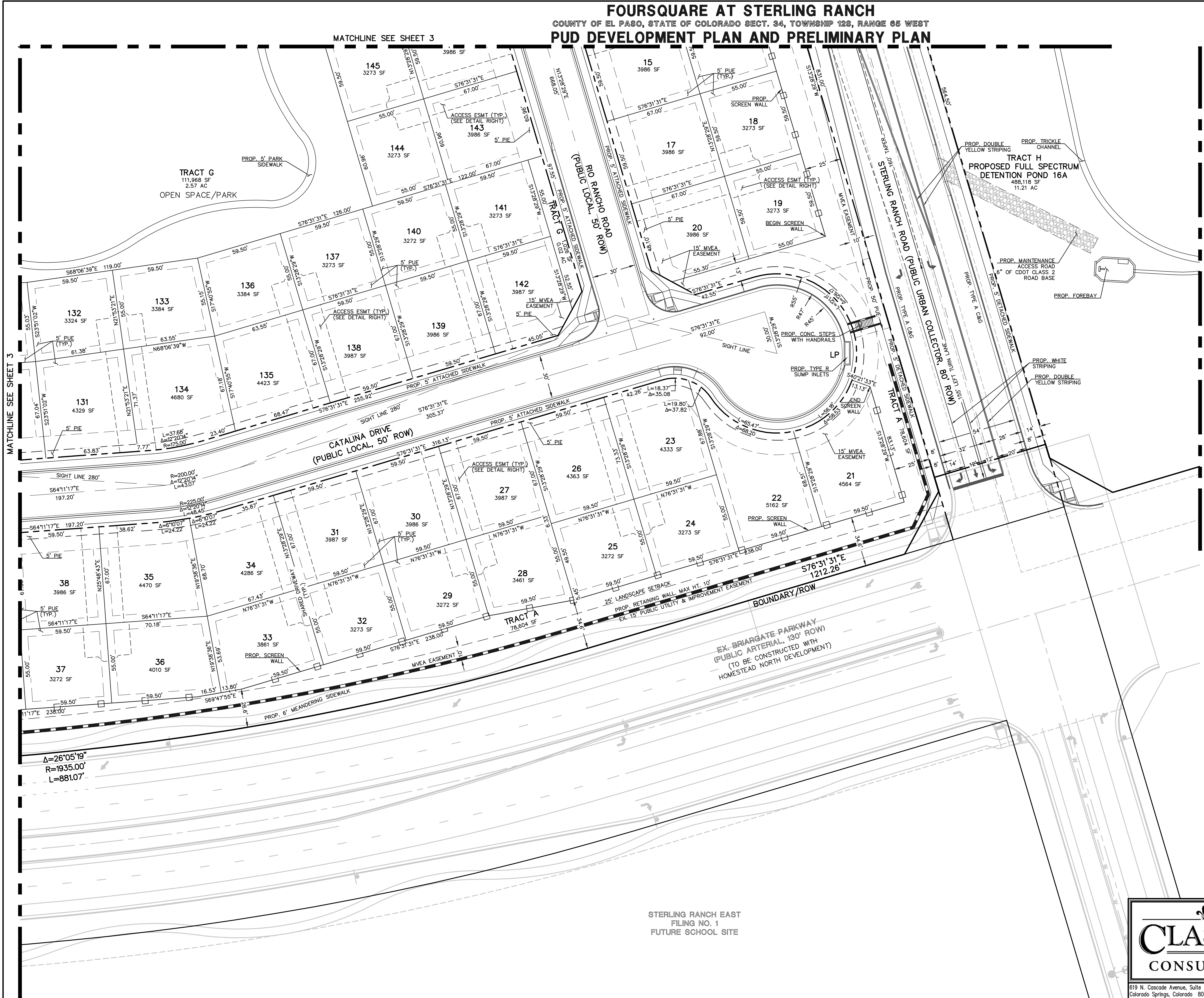
619 N. Cascade Avenue, Suite 200  
Colorado Springs, Colorado 80903  
(719) 785-0790  
(719) 785-0799 (Fax)

STERLING RANCH EAST  
FILING NO. 1  
FUTURE SCHOOL SITE



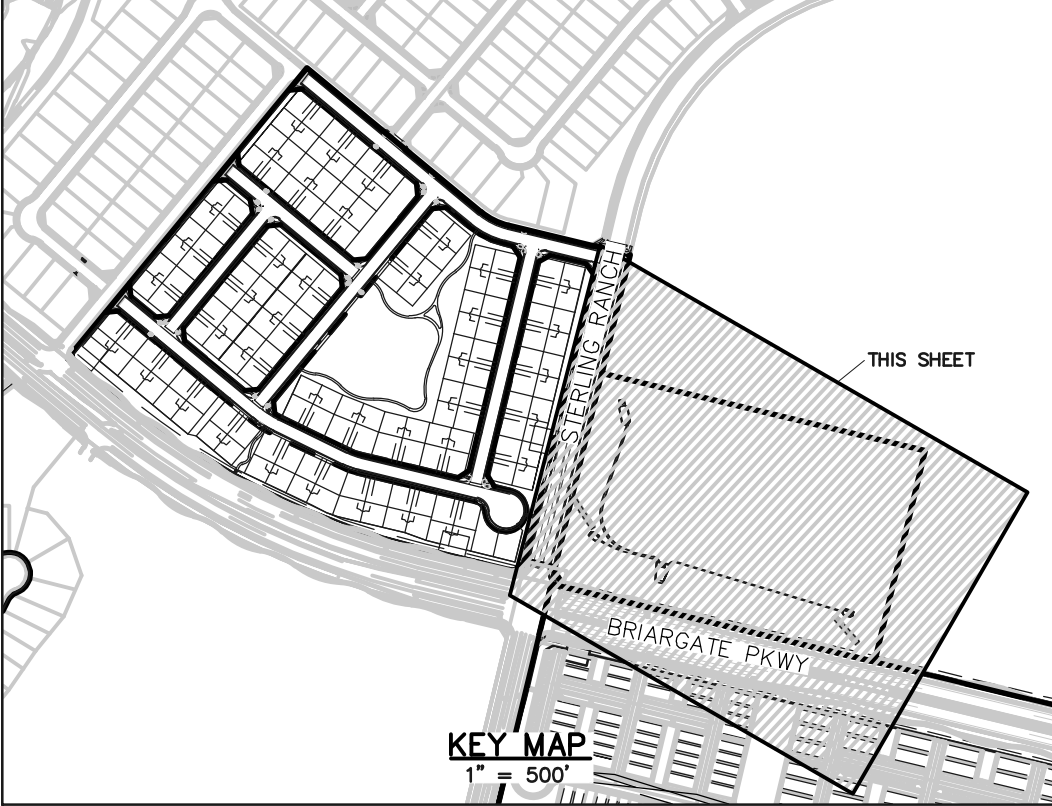


FOURSQUARE AT STERLING RANCH  
COUNTY OF EL PASO, STATE OF COLORADO SECT. 34, TOWNSHIP 12S, RANGE 6S WEST  
PUD DEVELOPMENT PLAN AND PRELIMINARY PLAN





FOURSQUARE AT STERLING RANCH  
COUNTY OF EL PASO, STATE OF COLORADO SECT. 34, TOWNSHIP 12S, RANGE 65 WEST  
PUD DEVELOPMENT PLAN AND PRELIMINARY PLAN



**LEGEND**

BOUNDARY LINE	---
PROPERTY LINE	---
EASEMENT SETBACK LINE	---
LINE OF SIGHT	---
NO PARKING SIGNED OR STRIPED CURB	---
EXISTING WATER LINE	W W W
EXISTING SANITARY SEWER	S S S
EXISTING STORM LINE	---

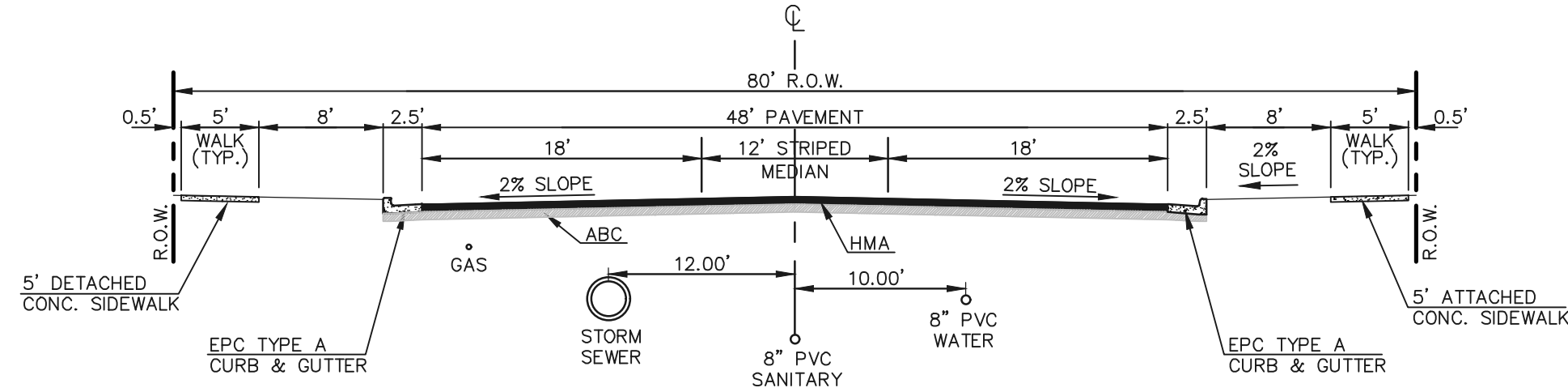
UNPLATTED  
FUTURE DEVELOPMENT

UNPLATTED  
FUTURE DEVELOPMENT

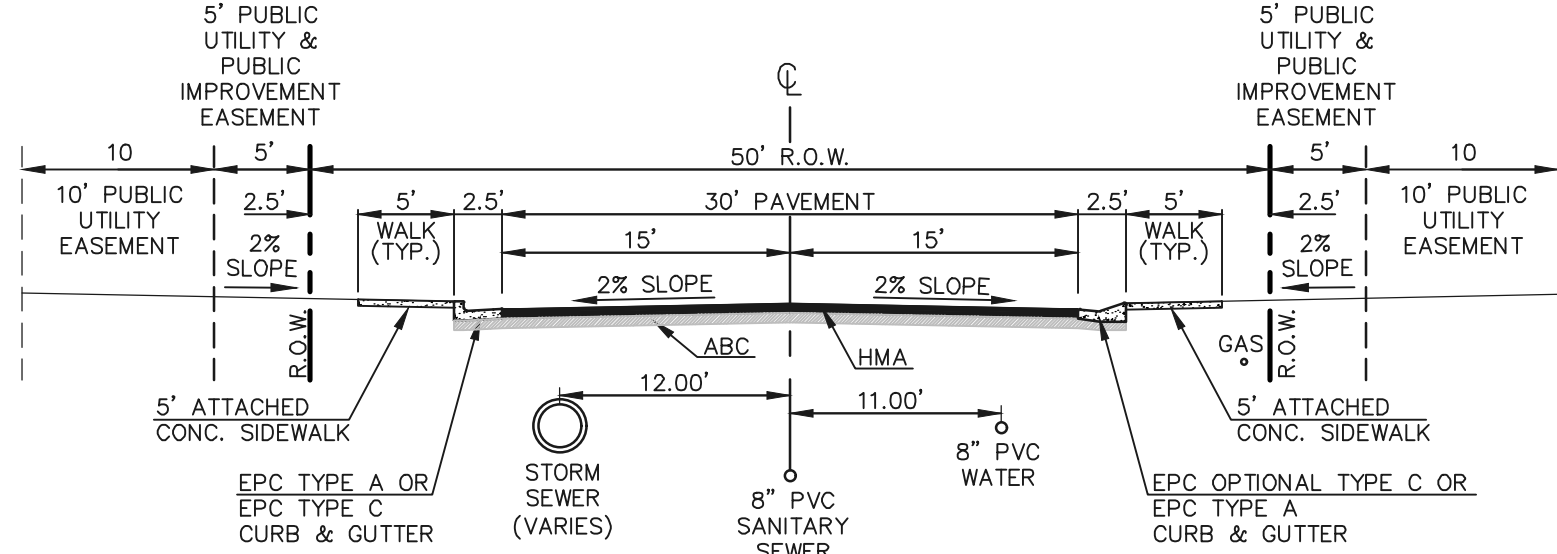
TRACT H  
PROPOSED FULL SPECTRUM  
DETENTION POND 16A  
487,493 SF  
11.19 AC

MATCHLINE SEE SHEET 3

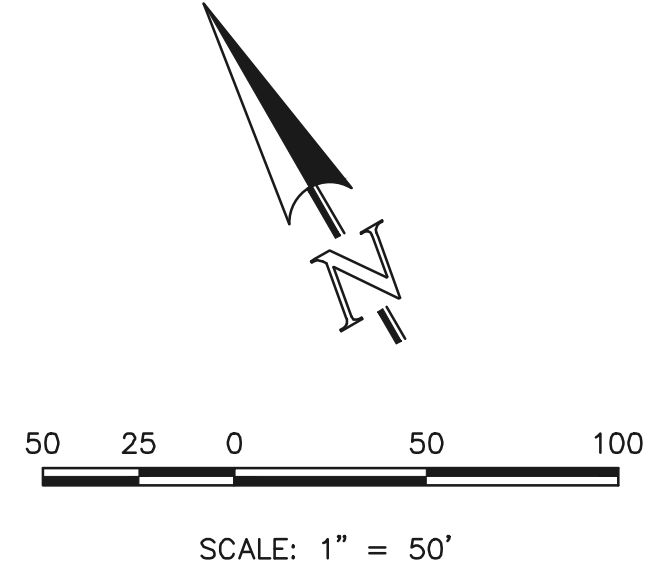
MATCHLINE SEE SHEET 5



80' R.O.W. TYPICAL STREET/UTILITY SECTION  
URBAN NON-RESIDENTIAL COLLECTOR  
N.T.S.



50' R.O.W. TYPICAL STREET/UTILITY SECTION  
URBAN LOCAL ROADWAY  
N.T.S.



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Colorado Springs, Colorado 80903

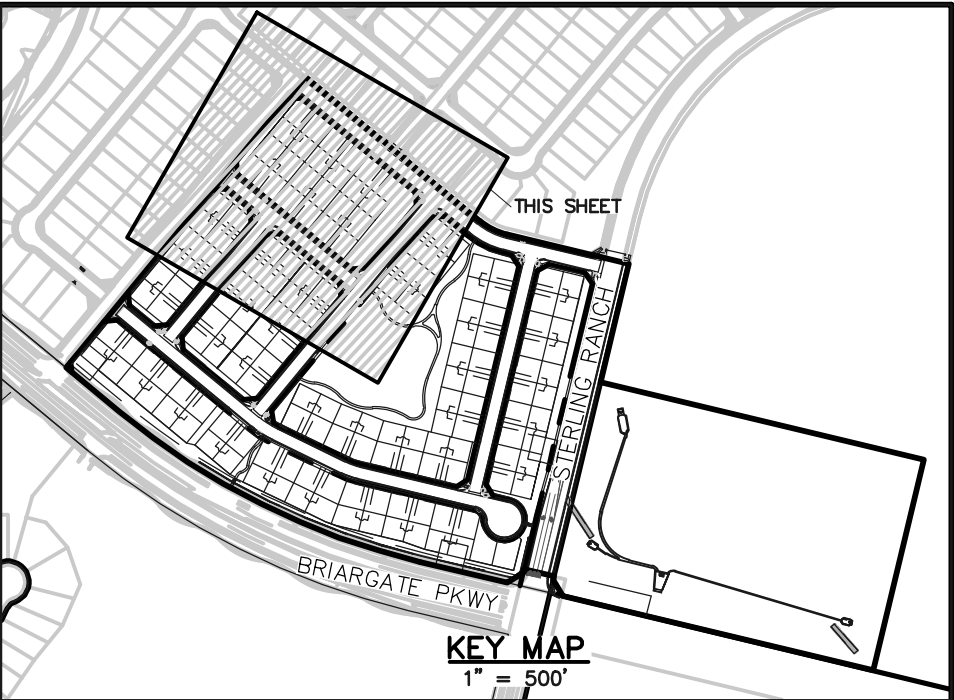
(719) 785-0790  
(719) 785-0799 (Fax)

STERLING RANCH EAST PRELIMINARY PLAN NO. 2 PUD DEVELOPMENT PLAN & PRELIMINARY PLAN				
DESIGNED BY	EAS	SCALE	DATE	03/08/2022
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CHECKED BY		(V) 1"= N/A	JOB NO.	1183.20

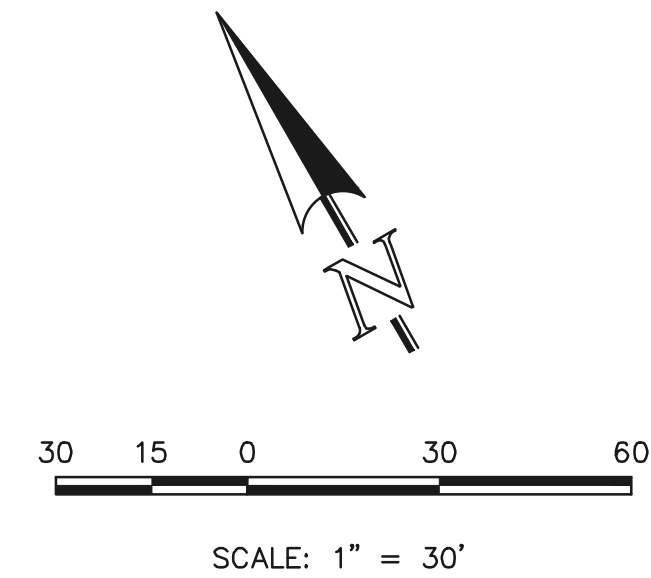




**FOUR SQUARE AT STERLING RANCH**  
COUNTY OF EL PASO, STATE OF COLORADO SECT. 34, TOWNSHIP 12S, RANGE 65 WEST  
**PUD DEVELOPMENT PLAN AND PRELIMINARY PLAN**



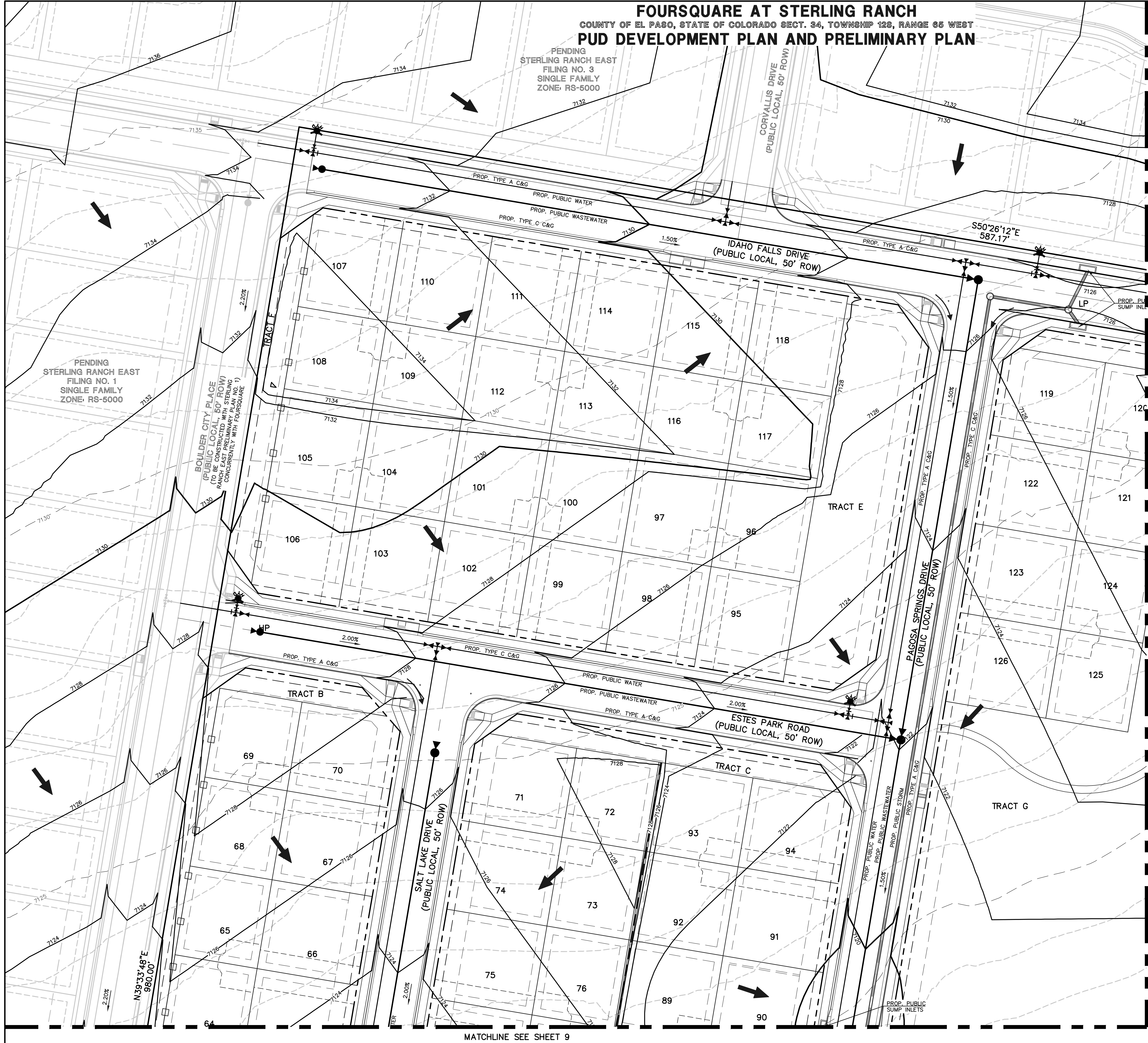
- LEGEND**
- 6770 EXISTING CONTOUR
  - 6770 PROPOSED CONTOUR
  - BOUNDARY/FILING LINE
  - EXISTING FLOW DIRECTION
  - PROPOSED FLOW DIRECTION
  - PROPOSED INLET
  - PROPOSED STORM PIPE
  - EXISTING STORM PIPE
  - HP PROPOSED HIGH POINT
  - LP PROPOSED LOW POINT



STERLING RANCH EAST  
PRELIMINARY PLAN NO. 2  
PRELIMINARY GRADING & UTILITIES PLAN

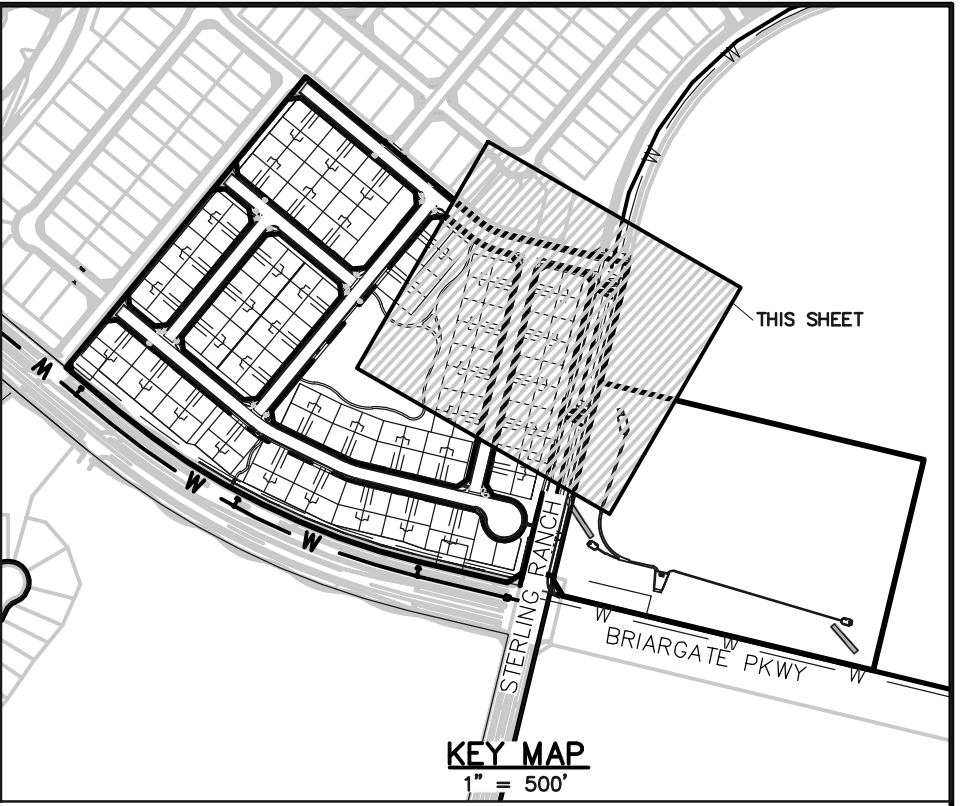
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CHECKED BY		(V) 1"= N/A	JOB NO.	1183.20

619 N. Cascade Avenue, Suite 200  
Colorado Springs, Colorado 80903  
(719) 785-0790  
(719) 785-0799 (Fax)

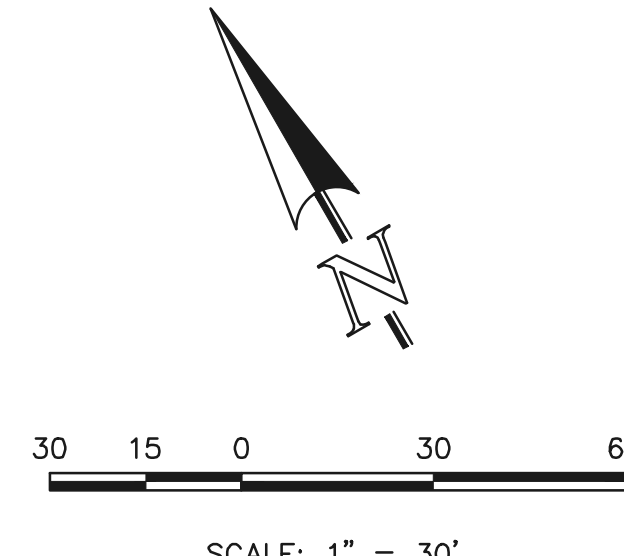
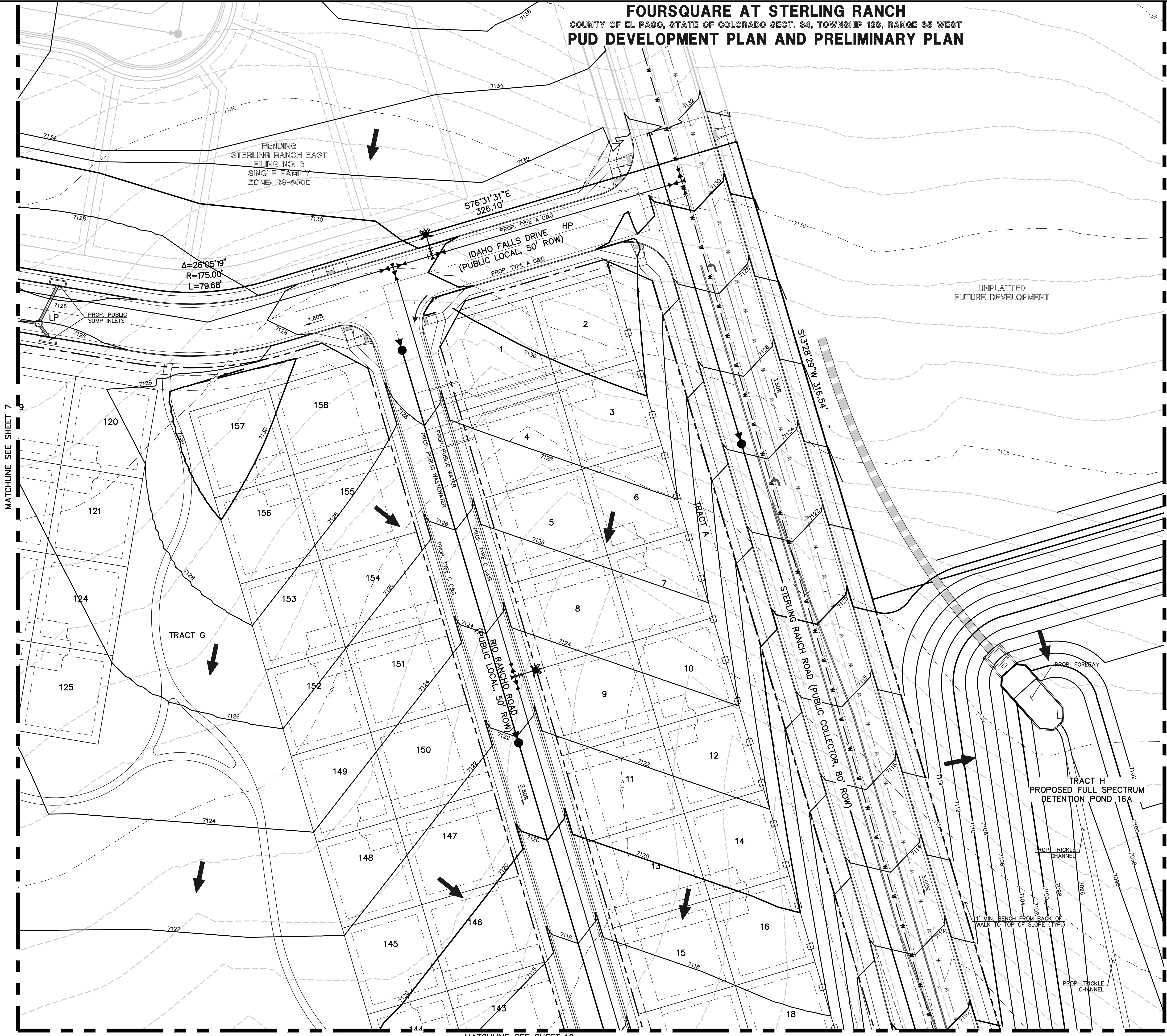




FOURSQUARE AT STERLING RANCH  
COUNTY OF EL PASO, STATE OF COLORADO SECT. 34, TOWNSHIP 12S, RANGE 65 WEST  
PUD DEVELOPMENT PLAN AND PRELIMINARY PLAN



- LEGEND**
- EXISTING CONTOUR
  - PROPOSED CONTOUR
  - BOUNDARY/FILING LINE
  - EXISTING FLOW DIRECTION
  - PROPOSED FLOW DIRECTION
  - PROPOSED INLET
  - PROPOSED STORM PIPE
  - EXISTING STORM PIPE
  - HP PROPOSED HIGH POINT
  - LP PROPOSED LOW POINT

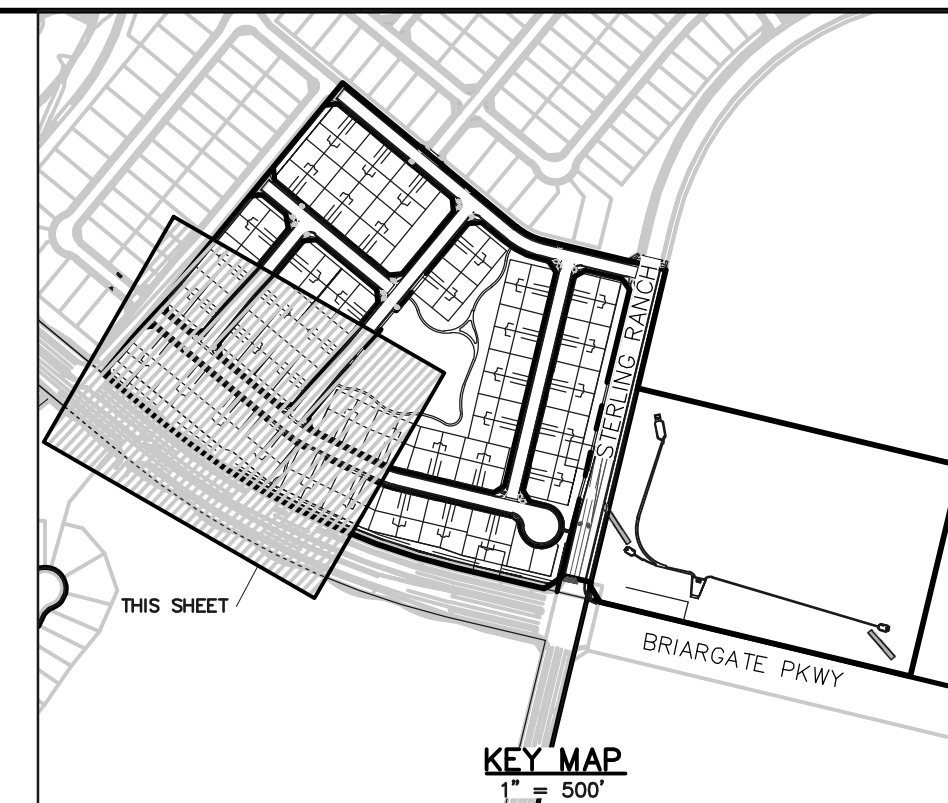
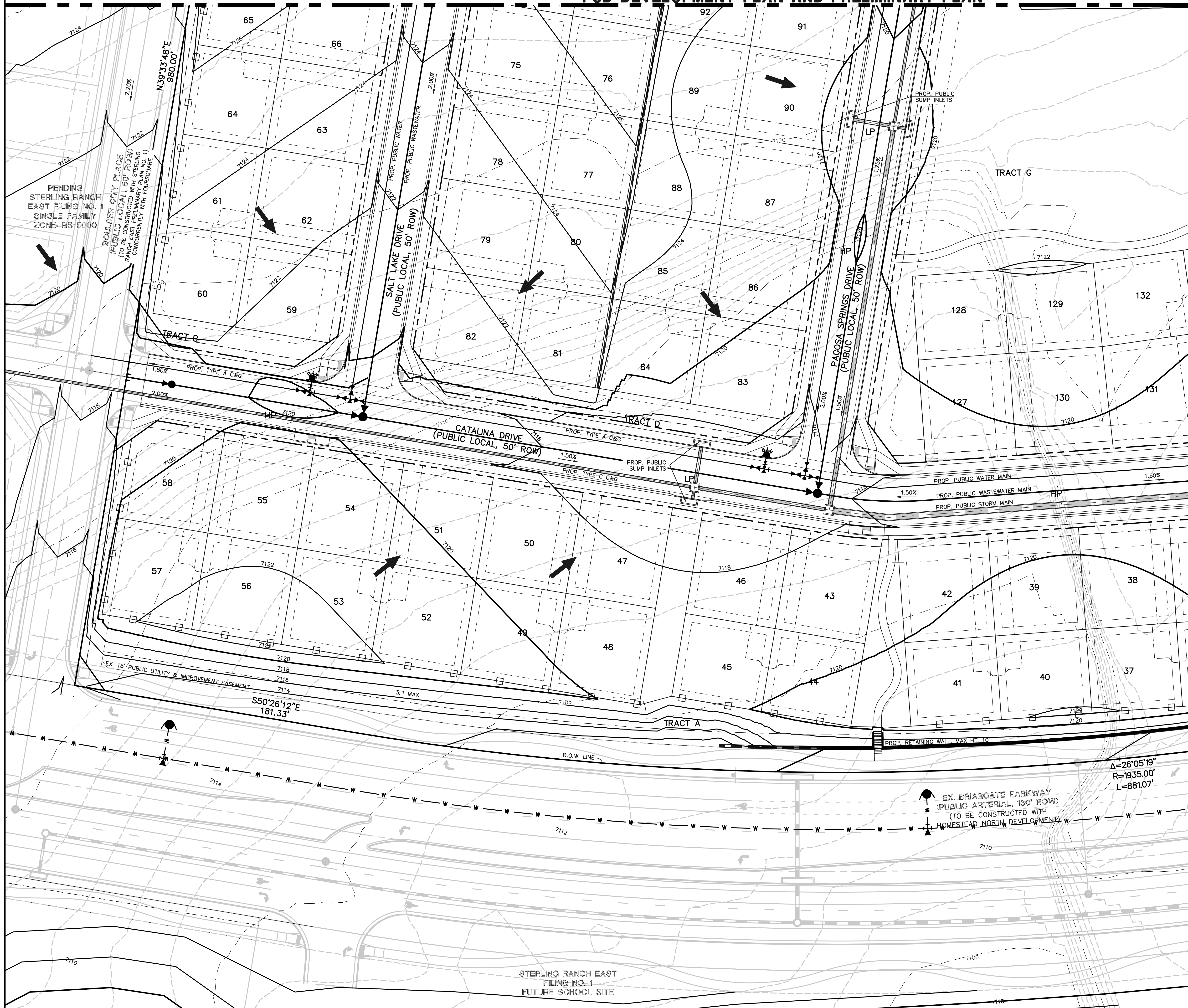


<b>CLASSIC CONSULTING</b> 619 N. Cascade Avenue, Suite 200 Colorado Springs, Colorado 80903 (719) 785-0790 (719) 785-0799 (Fax)		STERLING RANCH EAST PRELIMINARY PLAN NO. 2 PRELIMINARY GRADING & UTILITIES PLAN		<b>CLASSIC CONSULTING</b>
		DESIGNED BY DRAWN BY CHECKED BY	EAS EAS (V)	



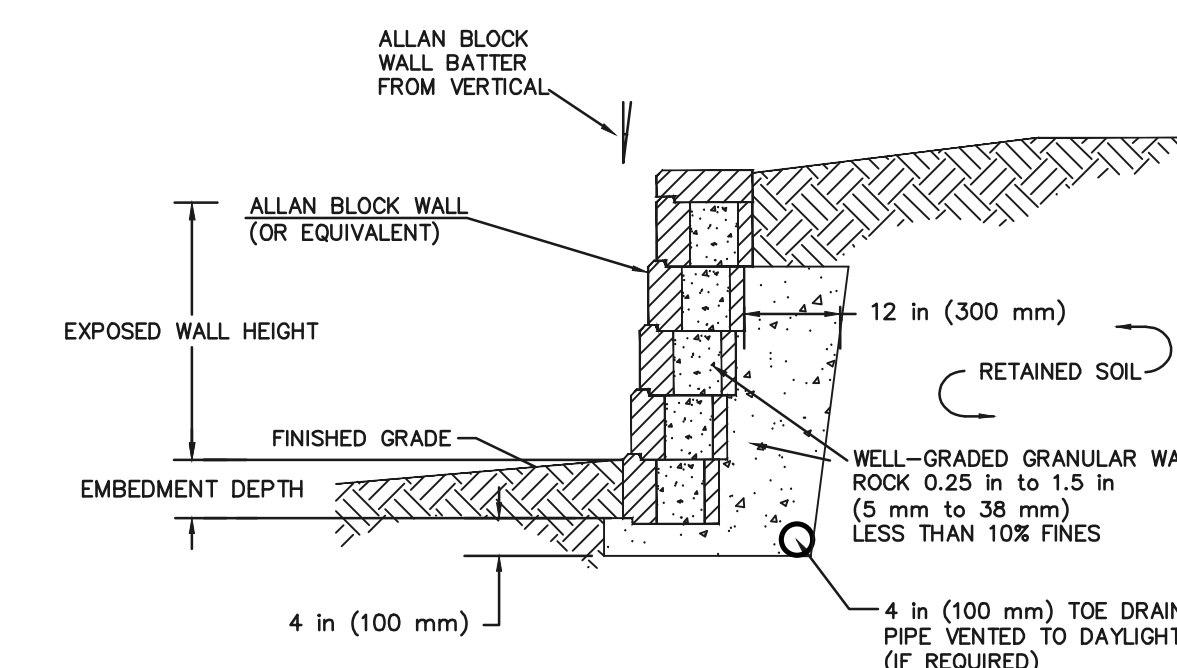
FOURSQUARE AT STERLING RANCH  
COUNTY OF EL PASO, STATE OF COLORADO SECT. 34, TOWNSHIP 12S, RANGE 65 WEST  
PUD DEVELOPMENT PLAN AND PRELIMINARY PLAN

MATCHLINE SEE SHEET 7



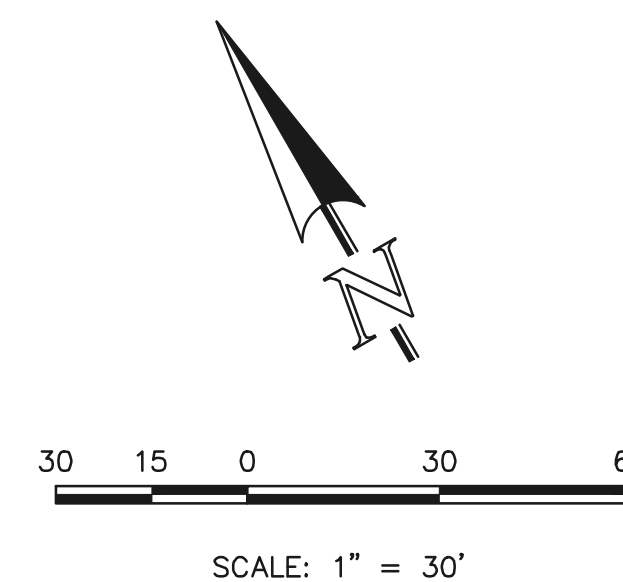
LEGEND

- 6770 EXISTING CONTOUR
- 6770 PROPOSED CONTOUR
- BOUNDARY/FILING LINE
- EXISTING FLOW DIRECTION
- PROPOSED FLOW DIRECTION
- PROPOSED INLET
- PROPOSED STORM PIPE
- EXISTING STORM PIPE
- HP PROPOSED HIGH POINT
- LP PROPOSED LOW POINT



TYPICAL RETAINING WALL DETAIL (STRUCTURAL DESIGN BY OTHERS)

NOT TO SCALE



STERLING RANCH EAST  
PRELIMINARY PLAN NO. 2  
PRELIMINARY GRADING & UTILITIES PLAN

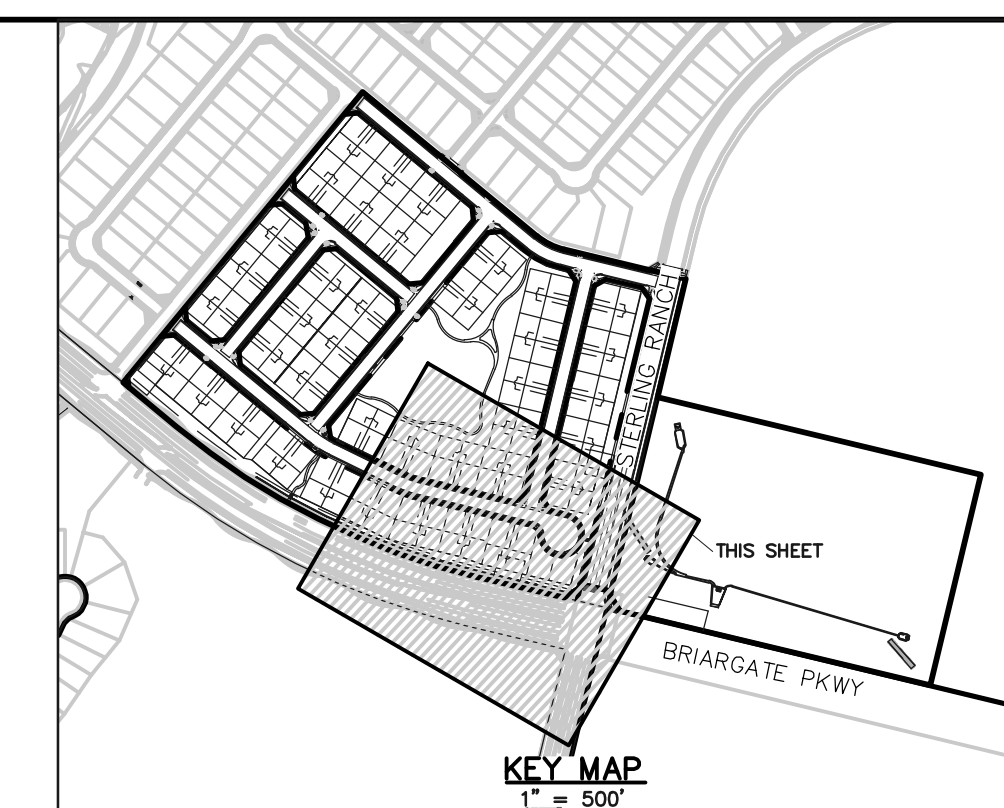
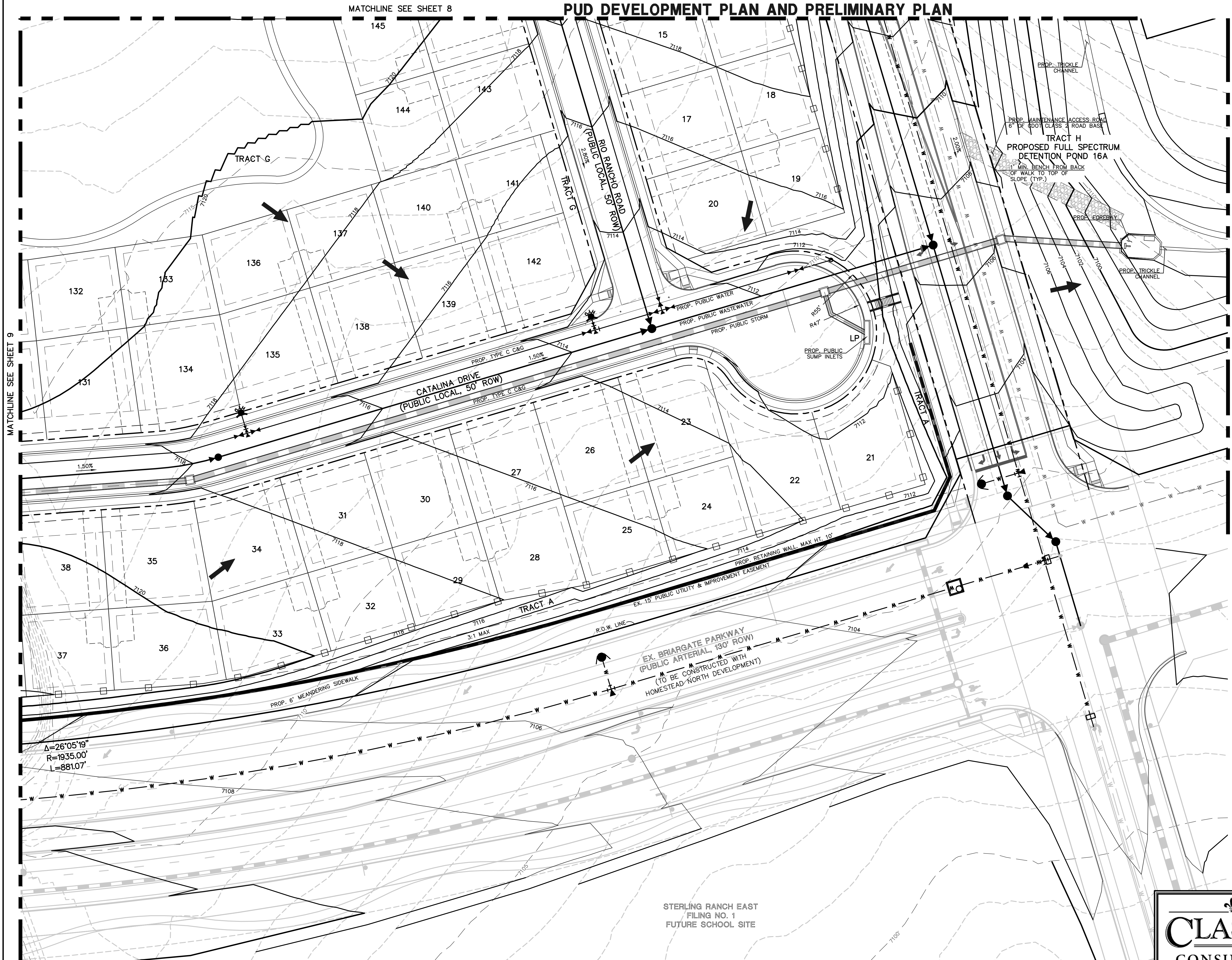
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DRAWN BY	EAS	(H) 1"= 30'	SHEET	9 OF 19
CHECKED BY	(V) 1"= N/A	JOB NO.	1183.20	

619 N. Cascade Avenue, Suite 200 (719) 785-0790  
Colorado Springs, Colorado 80903 (719) 785-0799 (Fax)

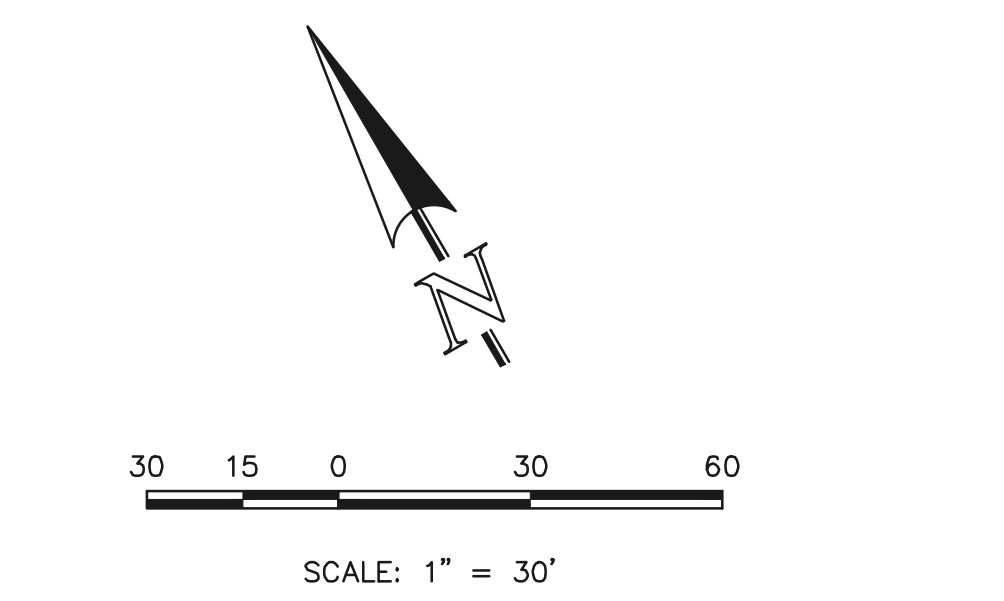




FOURSQUARE AT STERLING RANCH  
COUNTY OF EL PASO, STATE OF COLORADO SECT. 34, TOWNSHIP 12S, RANGE 6S WEST  
PUD DEVELOPMENT PLAN AND PRELIMINARY PLAN



- LEGEND**
- EXISTING CONTOUR
  - PROPOSED CONTOUR
  - BOUNDARY/FILING LINE
  - EXISTING FLOW DIRECTION
  - PROPOSED FLOW DIRECTION
  - PROPOSED INLET
  - PROPOSED STORM PIPE
  - EXISTING STORM PIPE
  - PROPOSED HIGH POINT
  - PROPOSED LOW POINT



STERLING RANCH EAST  
FILING NO. 1  
FUTURE SCHOOL SITE

CLASSIC CONSULTING

STERLING RANCH EAST  
PRELIMINARY PLAN NO. 2  
PRELIMINARY GRADING & UTILITIES PLAN

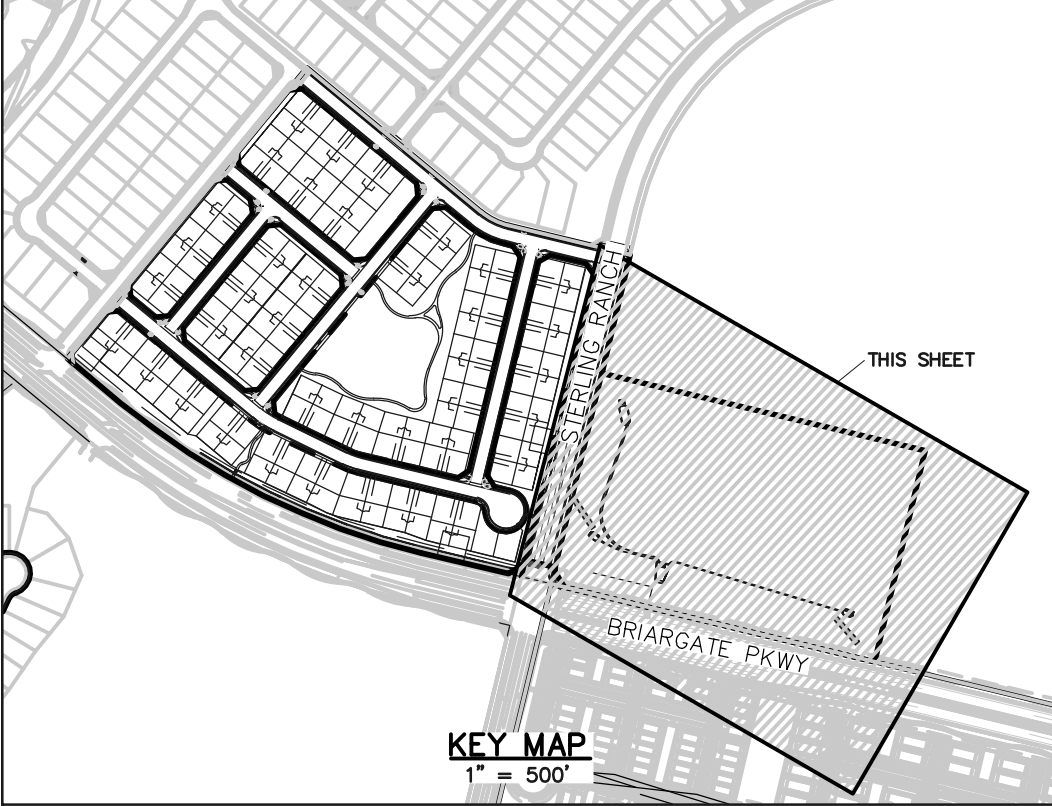
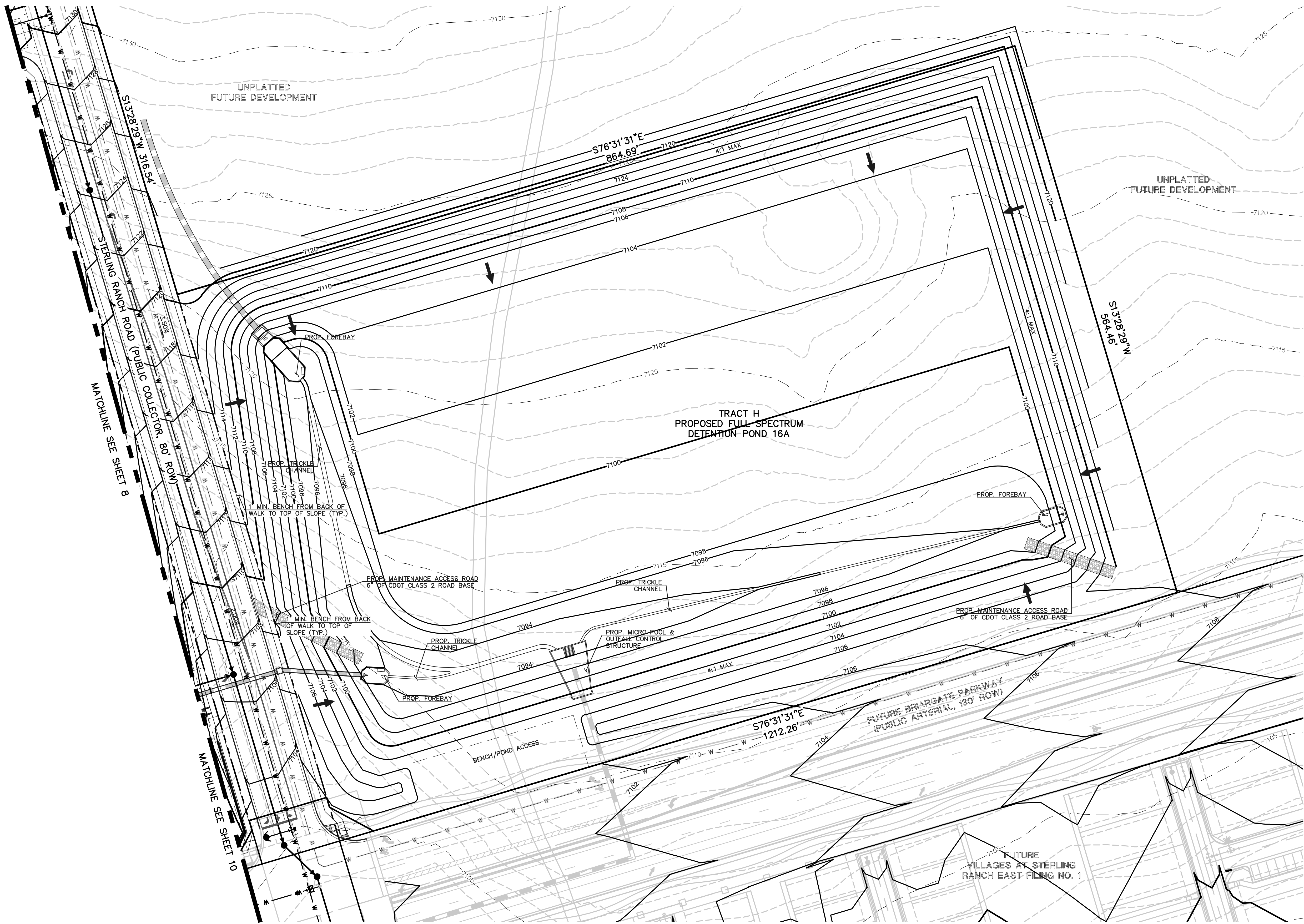
DESIGNED BY	EAS	SCALE	DATE	03/08/2022
DRAWN BY	EAS	(H) 1" = 30'	SHEET	10 OF 19
CHECKED BY		(V) 1" = N/A	JOB NO.	1183.20

619 N. Cascade Avenue, Suite 200  
Colorado Springs, Colorado 80903

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(719) 785-0799 (Fax)



FOURSQUARE AT STERLING RANCH  
COUNTY OF EL PASO, STATE OF COLORADO SECT. 34, TOWNSHIP 12S, RANGE 65 WEST  
PUD DEVELOPMENT PLAN AND PRELIMINARY PLAN



- LEGEND**
- 6770 ——— EXISTING CONTOUR
  - 6770 ——— PROPOSED CONTOUR
  - BOUNDARY/FILING LINE
  - EXISTING FLOW DIRECTION
  - PROPOSED FLOW DIRECTION
  - PROPOSED INLET
  - PROPOSED STORM PIPE
  - EXISTING STORM PIPE
  - HP PROPOSED HIGH POINT
  - LP PROPOSED LOW POINT

STERLING RANCH EAST  
PRELIMINARY PLAN NO. 2  
PRELIMINARY GRADING & UTILITIES PLAN

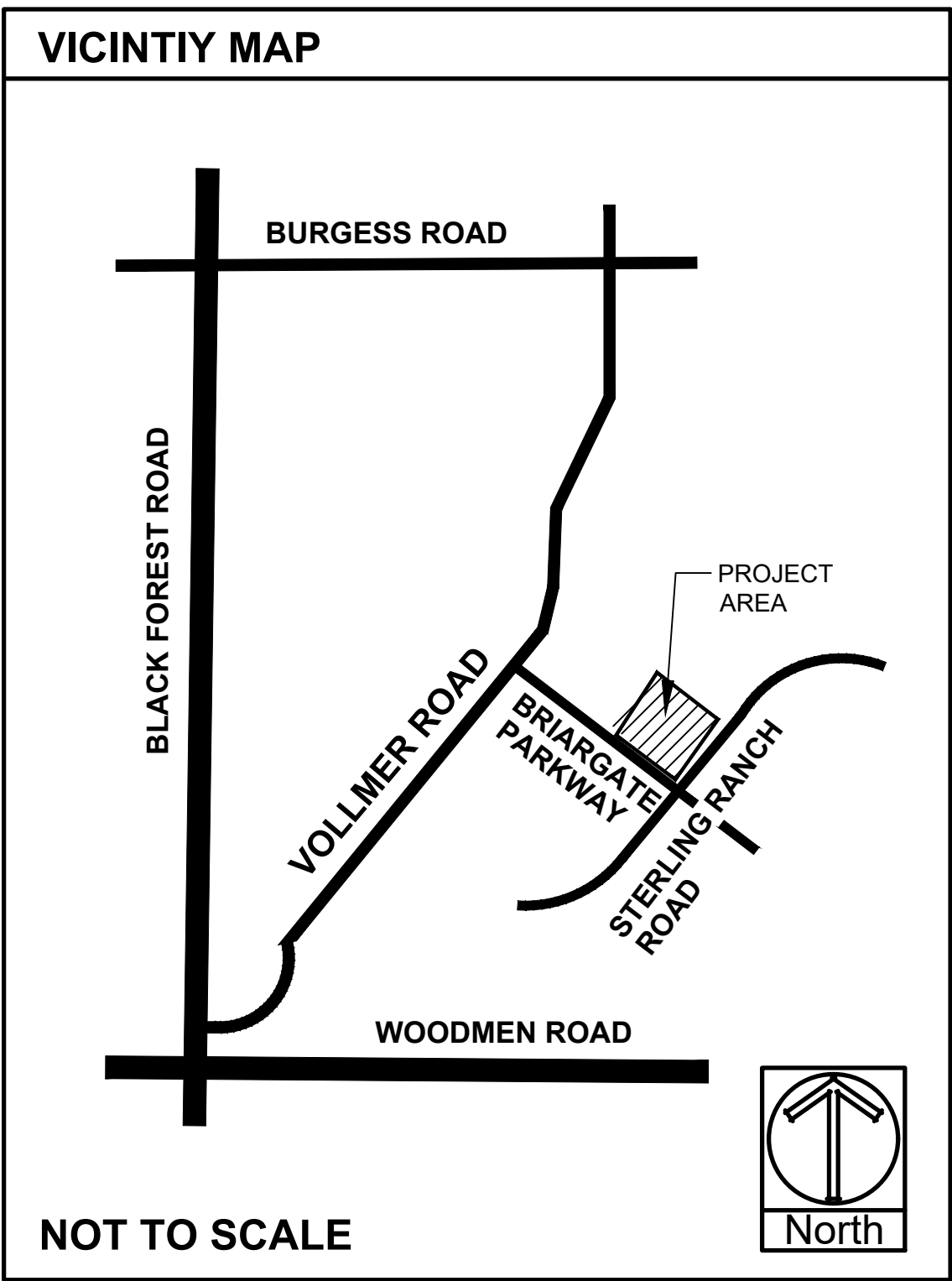
DESIGNED BY	EAS	SCALE	DATE	03/08/2022
DRAWN BY	EAS	(H) 1"= 30'	SHEET	11 OF 19
CHECKED BY		(V) 1"= N/A	JOB NO.	1183.20

619 N. Cascade Avenue, Suite 200  
Colorado Springs, Colorado 80903

(719) 785-0790  
(719) 785-0799 (Fax)

CLASSIC CONSULTING





PROJECT SITE DATA
ZONING: PUD (SINGLE FAMILY HOMES)
PROPERTY AREA: 1,601,390 SF (36.76 ACRES)
PARKING SPOTS: 0
TOTAL LANDSCAPE AREA: 212,825 (HOME SITE AREA) 210,435 (POND AREA)

LANDSCAPE REQUIREMENTS					
LANDSCAPE SETBACKS (LS)					
Street Name / Boundary	Street Classification	Width (ft.) Req. / Prov.	Linear Footage	Tree Req. / Ft.	Tree Req. /Prov.
Briargate Parkway	Minor Arterial	20'/20'	1,330'	1/25	54 / 49
Sterling Ranch Raod	Minor Arterial	20'/20'	806'	1/25	33 / 30
West Road	Non Arterial	10'/10'	830'	1/30	28 / 22
North Road	Non Arterial	10'/10'	836'	1/30	28 / 22
Shrub Substitutions Req. / Prov.	Ornamental grass Req. / Prov.	Setback Abbr.	Percent Ground Plane Cov. Req./Pro		
50/50	0/0	LS	75%/75%		
30/30	0/0	LS	75%/75%		
60/60	0/0	LS	75%/75%		
60/60	0/0	LS	75%/75%		
Motor Vehicle (MV)					
Number of Parking Spots	Shade Trees (1/15 Spaces) Req. / Prov.	Vehicle Lot Frontage	Linear Footage	2/3 Length Frontage	
NA	NA	NA	NA	NA	
Min. 3' High Screening Plants Req. / Prov.		Length Screen Wall / Berm Prov.	Abbr.	Abrev. on Plane	% Ground Plane Cov. Req. /Prov.
NA		NA		MV	75%/75%
Internal Landscaping (IL)					
Net Site Area (SF) (Less Public R.O.W.)		Internal Area (SF) Req. / Prov.	Internal Trees (1/500 SF) Req. / Prov.		
957,685 SF (Pond area not included)		81,000 / 130,942	162 / 129		
(Internal landscape area is based off of 162 lots x 500 SF each lot =81,000 SF required for small lot PUD)					
Shrub Substitutions Req. / Prov.	Ornamental grass Req. / Prov.	Setback Abbr.	Percent Ground Plane Cov. Req./Prov.		
330 / 330+	0/0	IL	75%/75%		

PLANTING LEGEND			
Notes Key: X=Xeric plant, R=Rabbit Resistant, DE=Deer Resistant, F=Firewise plant Z=Zone, K=Altitude, Water Use Inch / year, D=Dry (13-20"), A=Adaptable (18-28") S=Steady (23-38"), W=Wet (36"+) SIG=Signature plant (City of Colorado Springs)			
ABBR.	QTY.	BOTANICAL NAME	COMMON NAME SIZE NOTES
DECIDUOUS TREES			
AAM	34	Acer ginnala 'Flame'	Maple, Amur 1-1/2" R,DE,F,Z=3, 8.5K,A,SIG
ABM	9	Acer x freemanii 'Autumn Blaze'	Maple, Autumn Blaze 1-1/2" Z=4, 6.5K,S,SIG
ANM	50	Acer platanoides	Maple, Norway 1-1/2" Z=4, 6.5K,S,SIG
CH	26	Crataegus crus-galli 'Inermis'	Hawthorn, Cockspur (Thornless) 1-1/2" R,DE,F,Z=4,8.5K,A,D,SIG
MSS	32	Malus 'Spring Snow'	Crabapple Spring Snow 1-1/2" F,Z=4, 8.5K,S,SIG
TAR	33	Tilia americana 'Redmond'	Linden, Redmond 1-1/2" Z=3, 6K,S,SIG
TGL	18	Tilia cordata 'Greenspire'	Linden, Greenspire 1-1/2" Z=4, 6K,S,SIG
EVERGREEN TREES			
PIB	6	Picea pungens 'Bakeri'	Spruce, Bakeri 6' R,DE,Z=2, 8K,S,SIG
PIE	5	Pinus edulis	Pine, Pinyon 6' X,R,DE,Z=3, 7.5K,D,SIG
PIP	5	Picea pungens	Spruce, Colorado Blue 6' R,DE,Z=3, 10K,S,SIG
PON	34	Pinus ponderosa	Pine, Ponderosa 6' R,DE,Z=3, 9.5K,D,SIG
DECIDUOUS SHRUBS			
ABR	68	Aronia arbutifolia 'Brilliantissima'	Chokeberry, Brilliant Red 5 Gal R,DE,Z=5, 7.5K,S,SIG
ASB	27	Amelanchier alnifolia 'Saskatoon'	Serviceberry, Saskatoon 5 Gal DE,F,Z=3, 10K,A,D,SIG
BRG	28	Berberis thunbergii 'Rose Glow'	Barberry, Rosy Glow 5 Gal R,DE,Z=4, 7K,A,SIG
COP	31	Contoneaster acutifolia	Contoneaster, peking 5 Gal R,DE,Z=4, 10K,S,SIG
EBB	33	Euonymus alatus	Burning Bush 5 Gal R,DE,F,Z=3, 7.5K,S,SIG
POA	44	Potentilla fruticosa 'Abbotswood'	Potentilla, Abbotswood 5 Gal R,DE,F,Z=2, 10K,S,SIG
POG	156	Potentilla fruticosa 'Gold finger'	Potentilla, Gold finger 5 Gal R,DE,F,Z=2, 10K,S,SIG
RPL	35	Rhus aromatica 'Gro-low'	Sumac, Gro-Low 5 Gal DE,Z=3, 8.5K,A,D,SIG
SPL	32	Spiraea x bumalda 'Froebel'	Spirea, Froebel 5 Gal R,DE, 7.5K,A,S,SIG
SYR	46	Syringa x josiflexa 'Royalty'	Lilac, Royalty 5 Gal R,DE,Z=4,9K,A,SIG
VOS	22	Viburnum opulus 'Roseum'	Viburnum Snowball 5 Gal R,DE, 7.5K,A,SIG
EVERGREEN SHRUBS			
JB	122	Juniperus Sabina	Juniper, Buffalo 5 Gal R,DE,Z=3,8.5K,A,SIG
JUA	84	Juniperus chinensis 'Armstrong'	Juniper, Armstrong 5 Gal R,DE,Z=3, 7.5K,A,D,SIG
PGS	38	Picea pungens 'Glaucia Globosa'	Spruce, Globe Blue 5 Gal Z=2, 10K,S,SIG

GROUNDCOVER LEGEND		
SYMBOL	DESCRIPTION	QUANTITY
	STEEL EDGING	2,572 LF
	1-1/2" CIMARRON GRANITE ROCK 3" IN DEPTH WITH WEED FABRIC	80,318 SF
	2-4" BLUE GREY COBBLE 3" IN DEPTH WITH WEED FABRIC	19,752 SF
	3" CLEAR CREEK ROCK 3" IN DEPTH WITH WEED FABRIC	24,389 SF
	4-8" AND 2-4" MIX OF BLUE GREY COBBLE 3" IN DEPTH WITH WEED FABRIC	7,275 SF
	CASCADE MULCH 3" IN DEPTH WITH NO WEED FABRIC (QUANTITY AT RIGHT NOT SHOWN FOR MULCH RINGS AT PLANTS LOCATED IN ROCK OR NATIVE SEED)	TBD
	DECORATIVE BOULDER	69 TOTAL
	KENTUCKY BLUEGRASS SOD	38,647 SF
	IRRIGATED NATIVE SEED EL PASO COUNTY ALL PURPOSE LOW GROW MIX (PROVIDE EROSION CONTROL BLANKETS ON SLOPES 3:1 OR STEEPER SEE NOTES)	64,133 SF
	IRRIGATED NATIVE SEED EL PASO COUNTY ALL PURPOSE MIX AT DET. POND (PROVIDE EROSION CONTROL BLANKETS ON SLOPES 3:1 OR STEEPER SEE NOTES)	210,414 SF
	BERM	2,799 SF

DATE	REVISION DESCRIPTION
9/19/2022	City comment revisions
10/3/2022	Added shrub cultivars, base revised (lot locations)

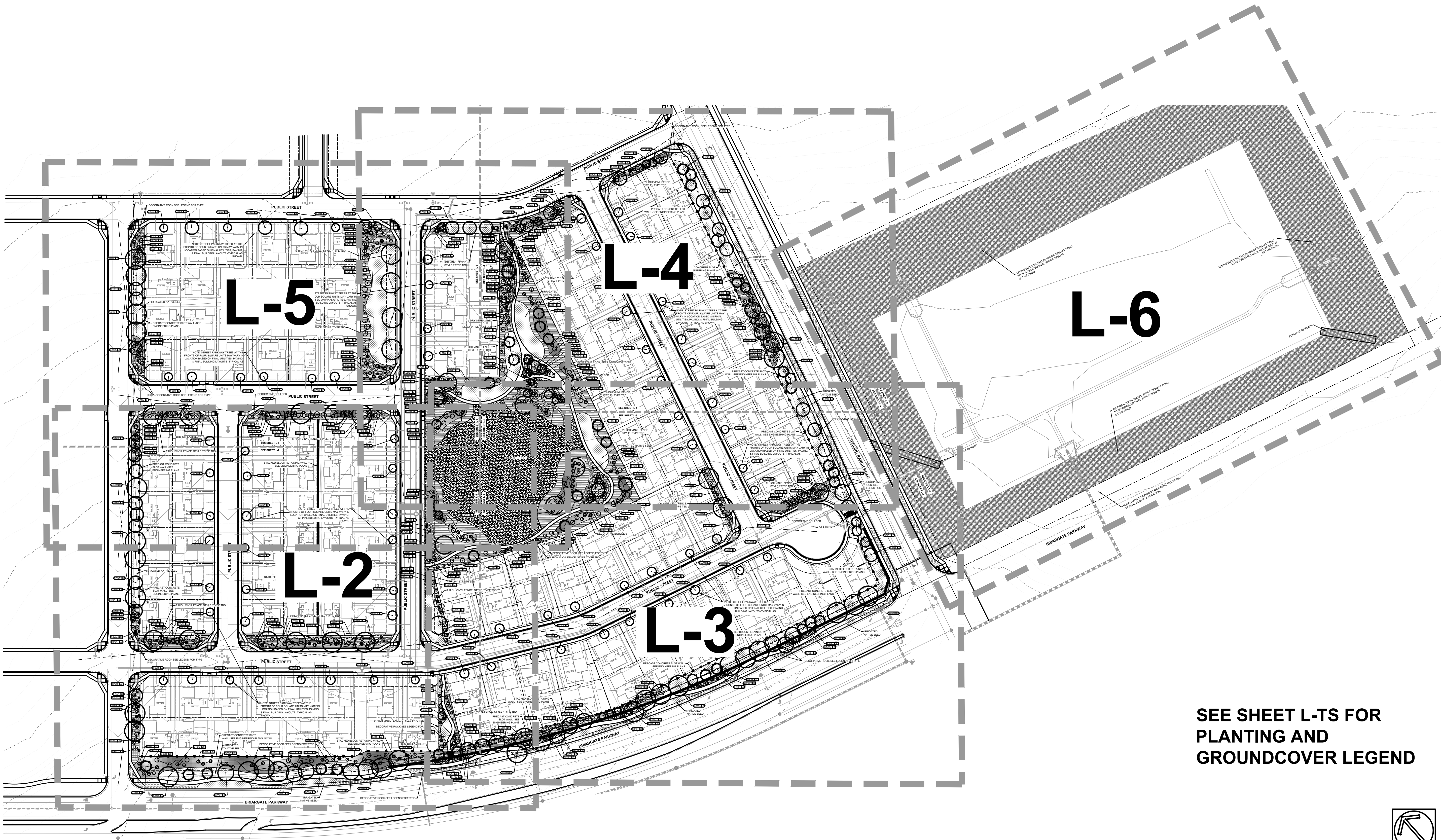
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FOURSQUARE AT STERLING RANCH  
BRIARGATE PARKWAY & STERLING RANCH ROAD  
COLORADO SPRINGS, CO





**CALLOUT KEY**

- PLANT ABBREVIATION
- SITE CATEGORY ABBREVIATION
- TREE CALLOUT
- SHRUB & ORN. GRASS CALLOUT
- PERENNIAL CALLOUT
- PLANT QUANTITY

**PLANT SYMBOL KEY**

- DECIDUOUS TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
- PERENNIALS

**UTILITY NOTE**

CALL 1-800-822-1987 FOR UTILITY LOCATIONS TO VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. KEEP TREES 10' FROM GAS MAINS & 15' FROM SEWER AND WATER MAIN LINES. KEEP TREES 9' MINIMUM DISTANCE FROM ANY OTHER UTILITIES. RESOLVE ANY TREE / UTILITY CONFLICTS SHOWN ON PLANS IN THE FIELD. CONTACT LANDSCAPE ARCHITECT FOR RECOMMENDATIONS IF NEEDED.

PROVIDE CLEARANCE OF ALL PLANT MATERIALS AT ELECTRIC VALVES AND TRANSFORMERS (REFER TO COLORADO SPRINGS UTILITIES CONSTRUCTION STANDARDS DRAWING 18-302 FOR SPECIFIC CLEARANCE REQUIREMENTS).

KEEP ALL SHRUBS 7' CLEAR OF ALL FIRE HYDRANTS AT MATURE SIZE.

**SITE CONDITIONS NOTE**

THE LANDSCAPE IS SUBJECT TO CHANGE BASED ON SITE GRADING, DRAINAGE, CONFIGURATION, AND SIZE. ANY ADJUSTMENTS WILL BE MADE DURING LANDSCAPE CONSTRUCTION. PLANT MATERIAL SYMBOLS ARE SHOWN AT MATURE WIDTH.

**PLANT AND TREE WARRANTY NOTE**

ALL STOCK IS WARRANTED TO BE TRUE TO NAME. IF ANY STOCK PROVES TO BE OTHERWISE, SELLER WILL NOT BE LIABLE FOR ANY AMOUNT GREATER THAN ORIGINAL PURCHASE PRICE. THIS WARRANTY IS MADE EXPRESSLY IN LIEU OF ANY AND ALL OTHER WARRANTIES, EXPRESSED OR IMPLICIT, FOR ANY PARTICULAR PURPOSE EXCEPT EXPRESSLY PROVIDED FOR LIABILITY OF SELLER IS LIMITED TO REPLACEMENT OF ANY GOODS WHICH DO NOT CONFORM TO WARRANTIES.

WINTER WATERING IS TO BE DONE AFTER MOISTURE CHECKS HAVE BEEN COMPLETED OF ALL PLANTS AND TREES. WARRANTY DOES NOT COVER PLANTS AND TREES DUE TO LACK OF WATER.

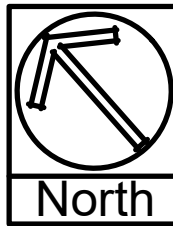
WARRANTY IS GOOD FOR ONE GROWING SEASON (APPROXIMATELY 60 MONTHS). PLANTS PURCHASED AFTER JULY 1ST ARE WARRANTED UNTIL MAY 1ST. PLANTS PURCHASED JANUARY 1ST THROUGH JULY 2ND ARE WARRANTED UNTIL NOVEMBER 30TH. SOME PLANTS CARRY NO WARRANTY. (TYPE INCLUDED) SUCH AS ANNUALS, PERENNIALS, ROSES, AND SPOTLIGHT. AND A FEW OTHER VARIETIES. INSTALLATION IS NOT COVERED UNDER WARRANTY.

ALL NON-IRRIGATED SEED CARRIES NO WARRANTY.

**LANDSCAPE IRRIGATION NOTE**

LANDSCAPE TO BE IRRIGATED WITH A PROGRAMMABLE IRRIGATION CONTROLLER. TREES, SHRUBS, ORNAMENTAL GRASSES, AND PERENNIALS TO BE DRIP IRRIGATED WHEN LOCATED IN MULCH AREAS. TURF OR IRRIGATED SEED AREAS TO BE SPRAY IRRIGATED WITH POST-UP SPRAY OR ROTOR HEADS.

**SEE SHEET L-TS FOR  
PLANTING AND  
GROUND COVER LEGEND**



SCALE 1"=80'-0"



**ALL AMERICAN**  
LANDSCAPE ARCHITECTURE & IRRIGATION DESIGN  
RESIDENTIAL & COMMERCIAL LANDSCAPE INSTALLATION  
1925 AEROPOLAZA DRIVE  
COLORADO SPRINGS, CO 80916  
719-637-4313

DATE	REVISION DESCRIPTION
9/18/2022	City comment revisions
10/3/2022	Added shrub callouts, base revised (dit locations)

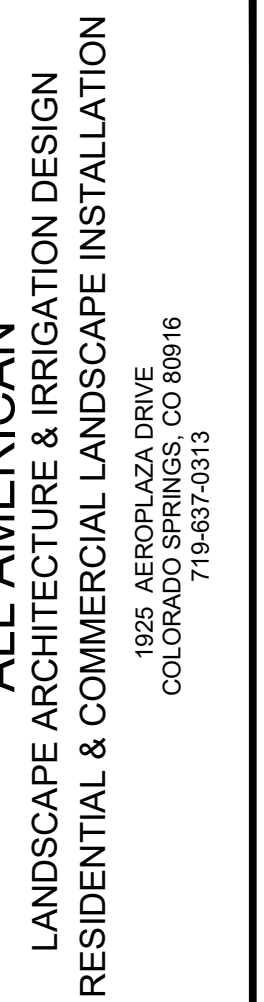
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**FOURSQUARE AT STERLING RANCH**  
BRIARGATE PARKWAY & STERLING RANCH ROAD  
COLORADO SPRINGS, CO

JOB NUMBER	2673-0122
DATE	5/31/2022
DRAWN BY	MB
DRAWING DESCRIPTION	OVERALL PRELIMINARY LANDSCAPE PLAN
SHEET #	L-1
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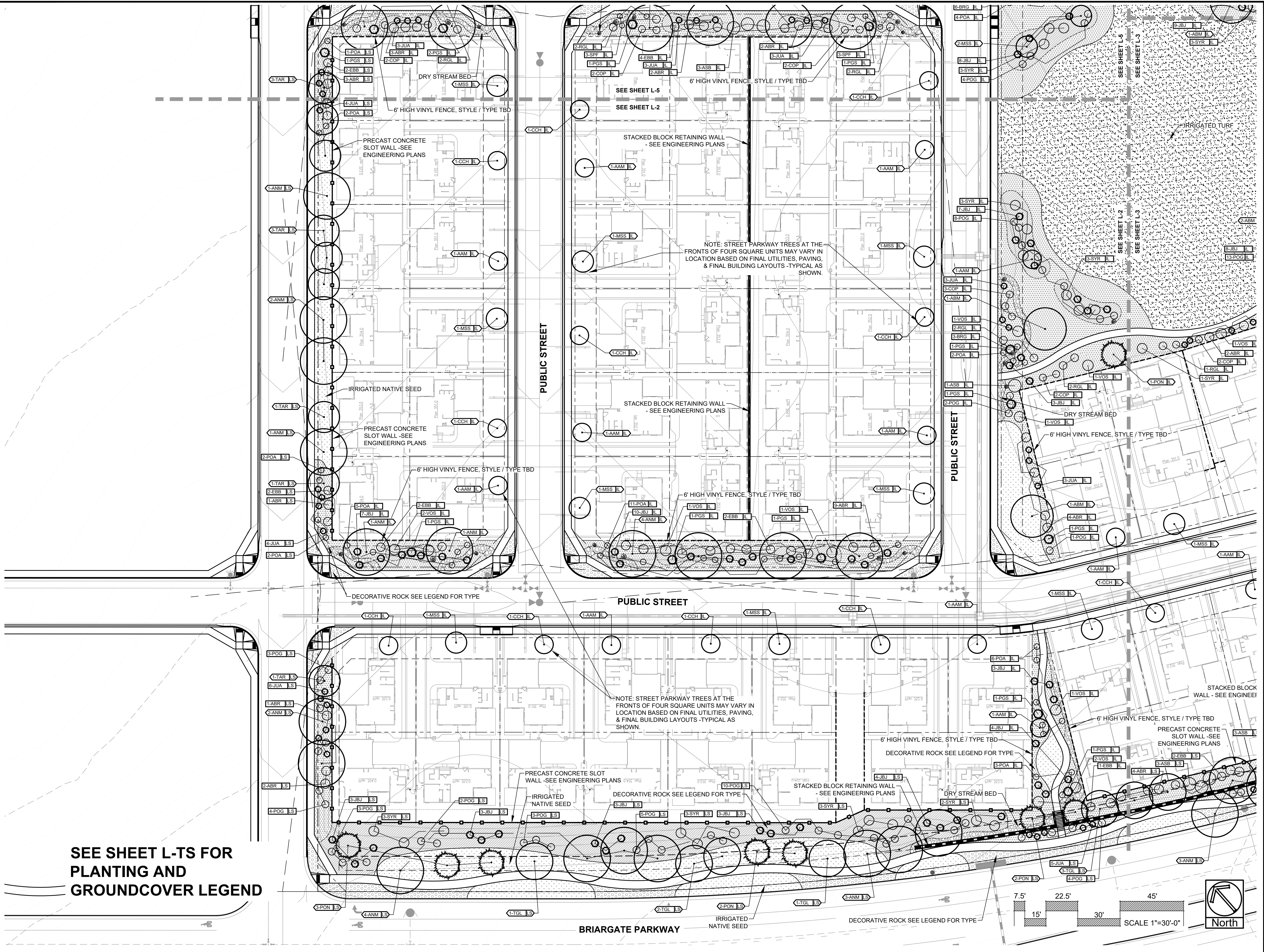




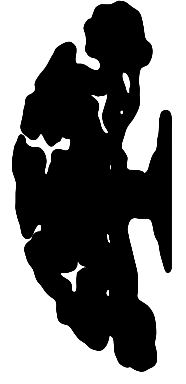
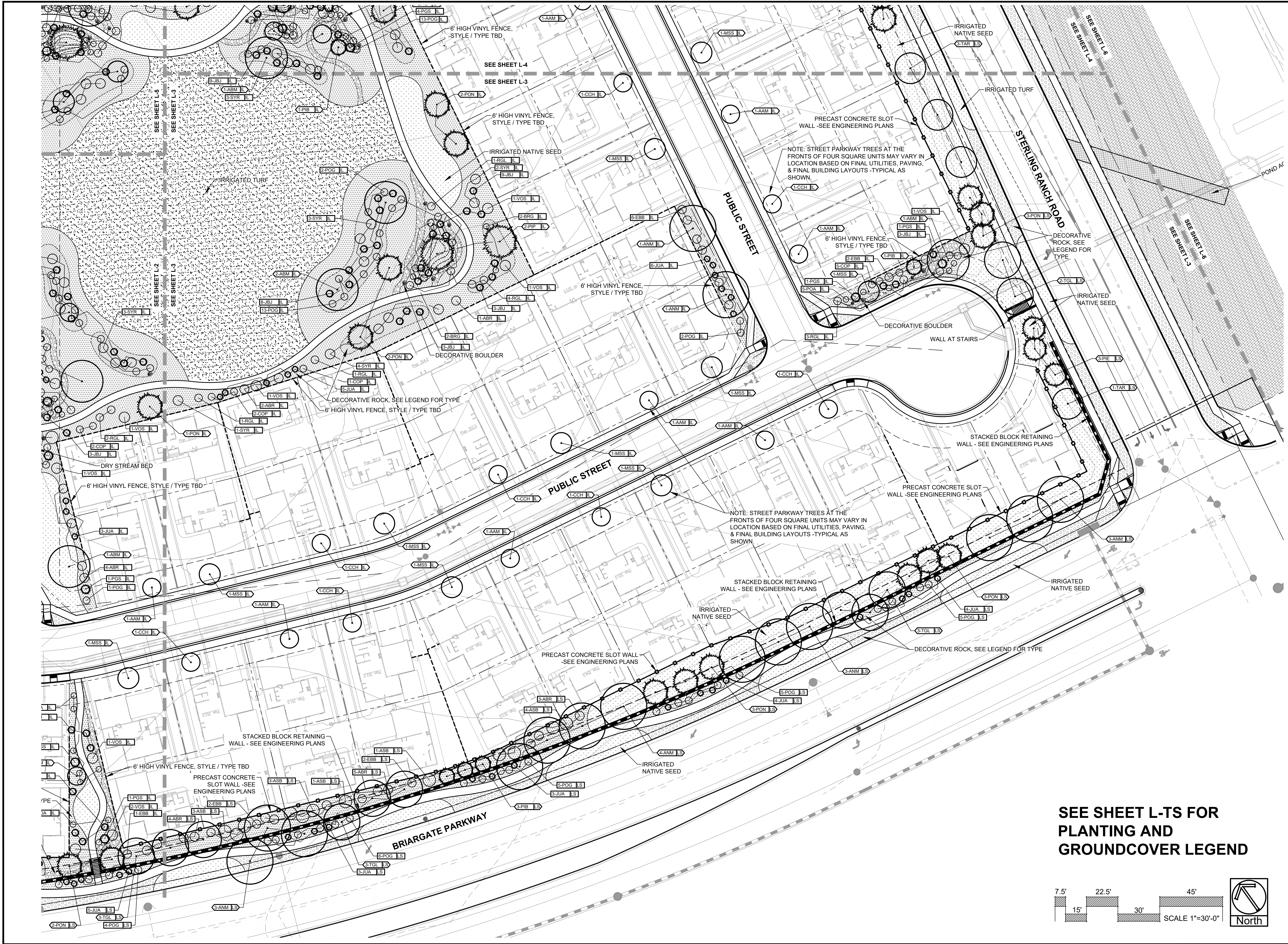
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L-2  
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LANDSCAPE ARCHITECTURE & IRRIGATION DESIGN  
RESIDENTIAL & COMMERCIAL LANDSCAPE INSTALLATION  
1925 AEROPOLAZA DRIVE  
COLORADO SPRINGS, CO 80916  
719-637-4373

DATE	REVISION DESCRIPTION
3/16/2022	City comment revisions
10/3/2022	Added shrub callouts, base revised (dit locations)

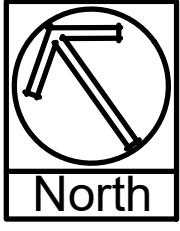
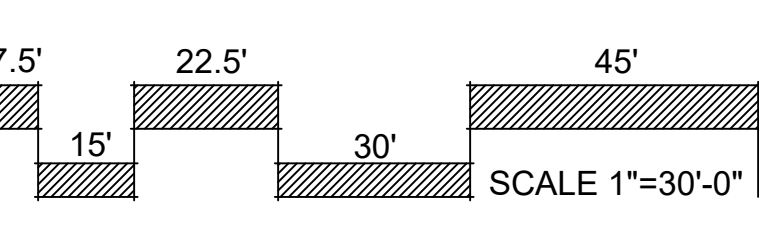
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**FOURSQUARE AT STERLING RANCH**  
BRIARGATE PARKWAY & STERLING RANCH ROAD  
COLORADO SPRINGS, CO

JOB NUMBER	2673-0122
DATE	5/31/2022
DRAWN BY	MB
DRAWING DESCRIPTION	PRELIMINARY LANDSCAPE PLAN
SHEET #	L-3
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**SEE SHEET L-TS FOR  
PLANTING AND  
GROUNDCOVER LEGEND**









SEE SHEET L-TS FOR PLANTING AND GROUNDCOVER LEGEND

DECORATIVE ROCK SEE LEGEND FOR TYPE

PUBLIC STREET

NOTE: STREET PARKWAY TREES AT THE FRONTS OF FOUR SQUARE UNITS MAY VARY IN LOCATION BASED ON FINAL UTILITIES, PAVING, & FINAL BUILDING LAYOUTS - TYPICAL AS SHOWN.

6' HIGH VINYL FENCE, STYLE / TYPE TBD

IRRIGATED NATIVE SEED

PRECAST CONCRETE SLOT WALL - SEE ENGINEERING PLANS

NOTE: STREET PARKWAY TREES AT THE FRONTS OF FOUR SQUARE UNITS MAY VARY IN LOCATION BASED ON FINAL UTILITIES, PAVING, & FINAL BUILDING LAYOUTS - TYPICAL AS SHOWN.

6' HIGH VINYL FENCE, STYLE / TYPE TBD

DECORATIVE ROCK SEE LEGEND FOR TYPE

PUBLIC STREET

DECORATIVE BOULDER

6' HIGH VINYL FENCE, STYLE / TYPE TBD

DRY STREAM BED

PRECAST CONCRETE SLOT WALL - SEE ENGINEERING PLANS

6' HIGH VINYL FENCE, STYLE / TYPE TBD

STACKED BLOCK RETAINING WALL - SEE ENGINEERING PLANS

NOTE: STREET PARKWAY TREES AT THE FRONTS OF FOUR SQUARE UNITS MAY VARY IN LOCATION BASED ON FINAL UTILITIES, PAVING, & FINAL BUILDING LAYOUTS - TYPICAL AS SHOWN.

IRRIGATED TURF



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FOURSQUARE AT STERLING RANCH  
BRIARGATE PARKWAY & STERLING RANCH ROAD  
COLORADO SPRINGS, CO

JOB NUMBER  
2673-0122

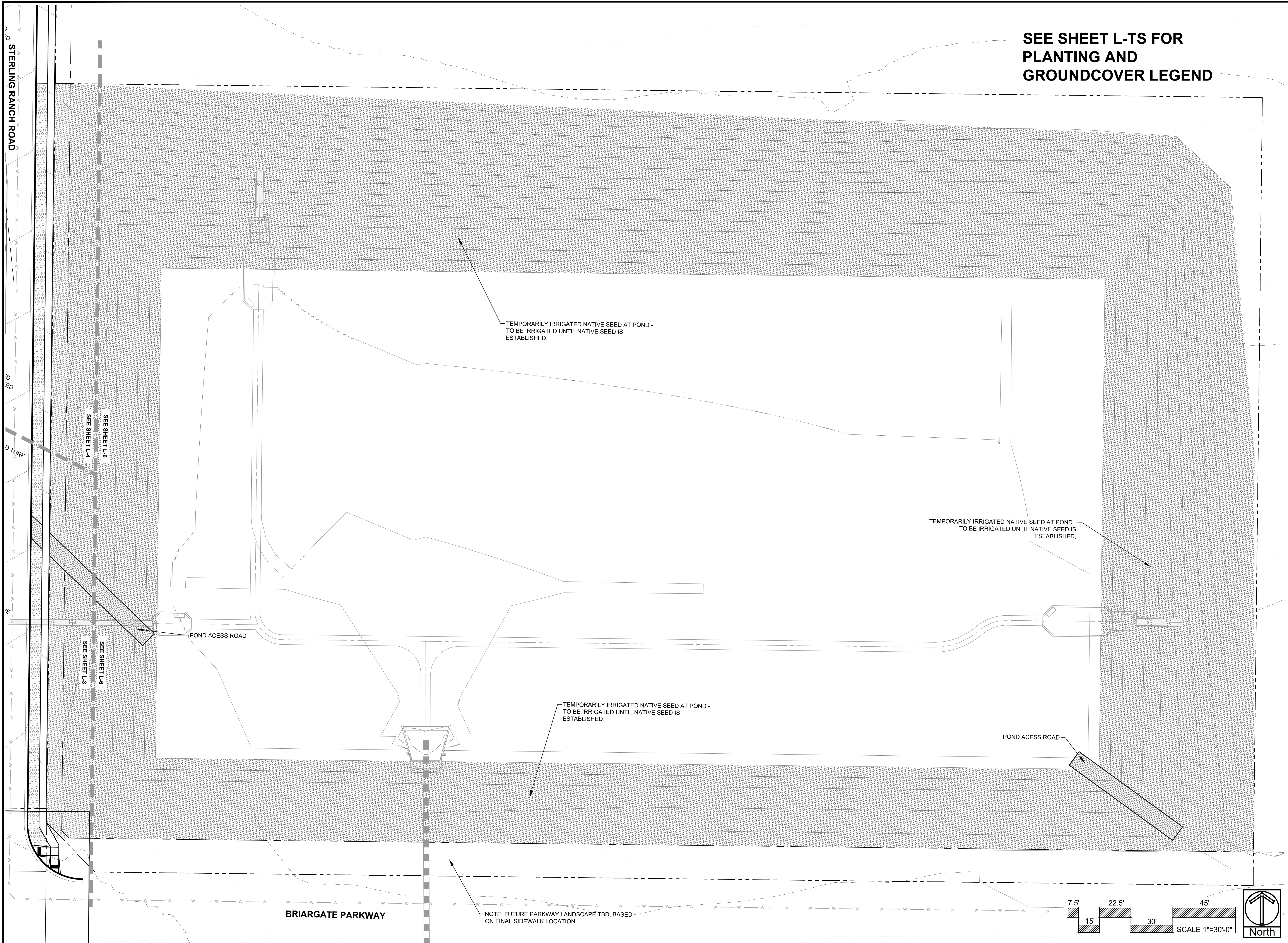
DATE 5/31/2022

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DRAWING DESCRIPTION  
PRELIMINARY  
LANDSCAPE PLAN

SHEET #  
L-5





SEE SHEET L-TS FOR  
PLANTING AND  
GROUND COVER LEGEND



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LANDSCAPE ARCHITECTURE & IRRIGATION DESIGN  
RESIDENTIAL & COMMERCIAL LANDSCAPE INSTALLATION  
1925 AEROPOLAZA DRIVE  
COLORADO SPRINGS, CO 80916  
719.637.4313

DATE	REVISION DESCRIPTION
8/16/2022	City comment response
10/3/2022	Added shrub callouts, base revised (dit locations)

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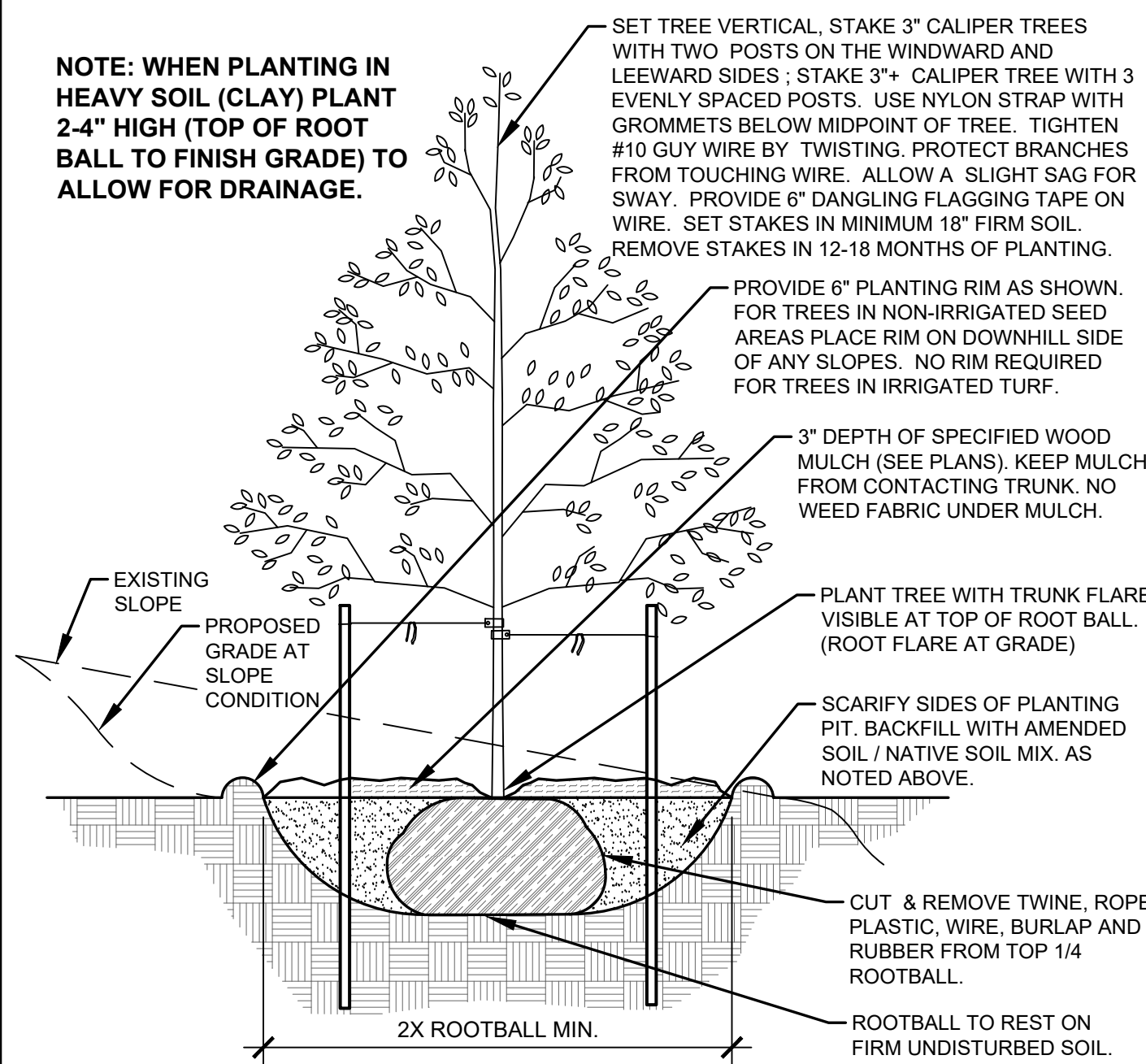


FOURSQUARE AT STERLING RANCH  
BRIARGATE PARKWAY & STERLING RANCH ROAD  
COLORADO SPRINGS, CO

JOB NUMBER	2673-0122
DATE	5/31/2022
DRAWN BY	IMB
DRAWING DESCRIPTION	PRELIMINARY LANDSCAPE PLAN
SHEET #	L-6
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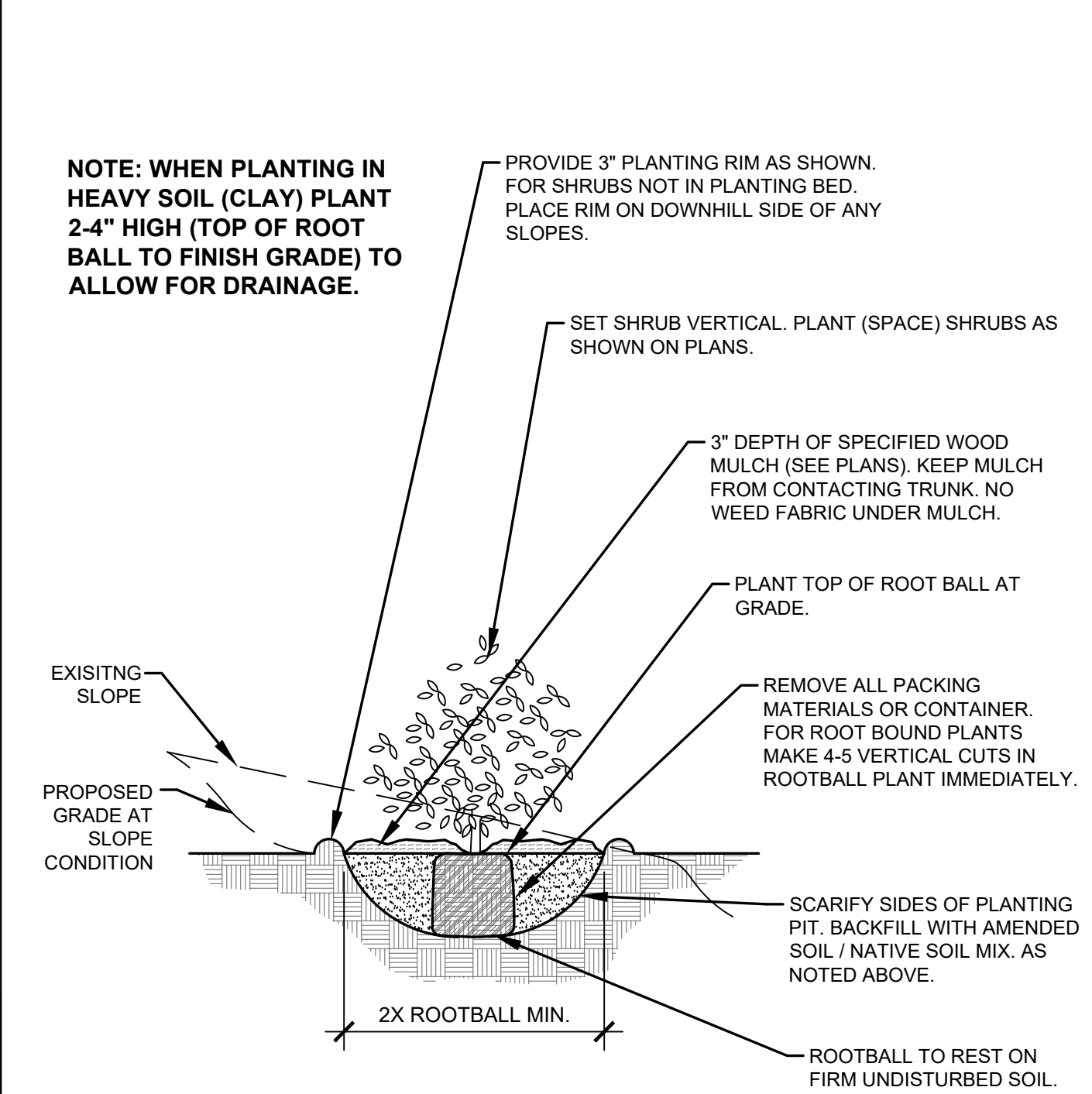


- NOTES:
- MARK NORTH SIDE OF TREE AT NURSERY AND PLANT TREE IN THE SAME ORIENTATION.
  - DON'T REMOVE OR CUT LEADER.
  - PRUNE DEAD, BROKEN, CROSSING, OR WEAK BRANCHES PRIOR TO PLANTING. DO NOT REMOVE TERMINAL BUDS THAT EXTEND TO TREE CROWN.
  - NO STRUCTURAL PRUNING OF TREE UNTIL AFTER ESTABLISHMENT PERIOD OF 2 GROWING SEASONS.
  - REMOVE ANY DOUBLE LEADERS UNLESS OTHERWISE NOTED.
  - KEEP TREE MOIST AND SHADED UNTIL PLANTING. AVOID FALL PLANTING IF POSSIBLE.
  - AMENDED BACK FILL SHALL BE 70% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
  - WRAP TRUNK ON EXPOSED SITES OR SPECIES WITH THIN BARK. USE ELECTRICAL TAPE, NOT TWINE. WRAP MID OCTOBER AND REMOVE BY END OF MARCH.
  - COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT & DISEASE RECOMMENDATIONS PRIOR TO PLANTING.



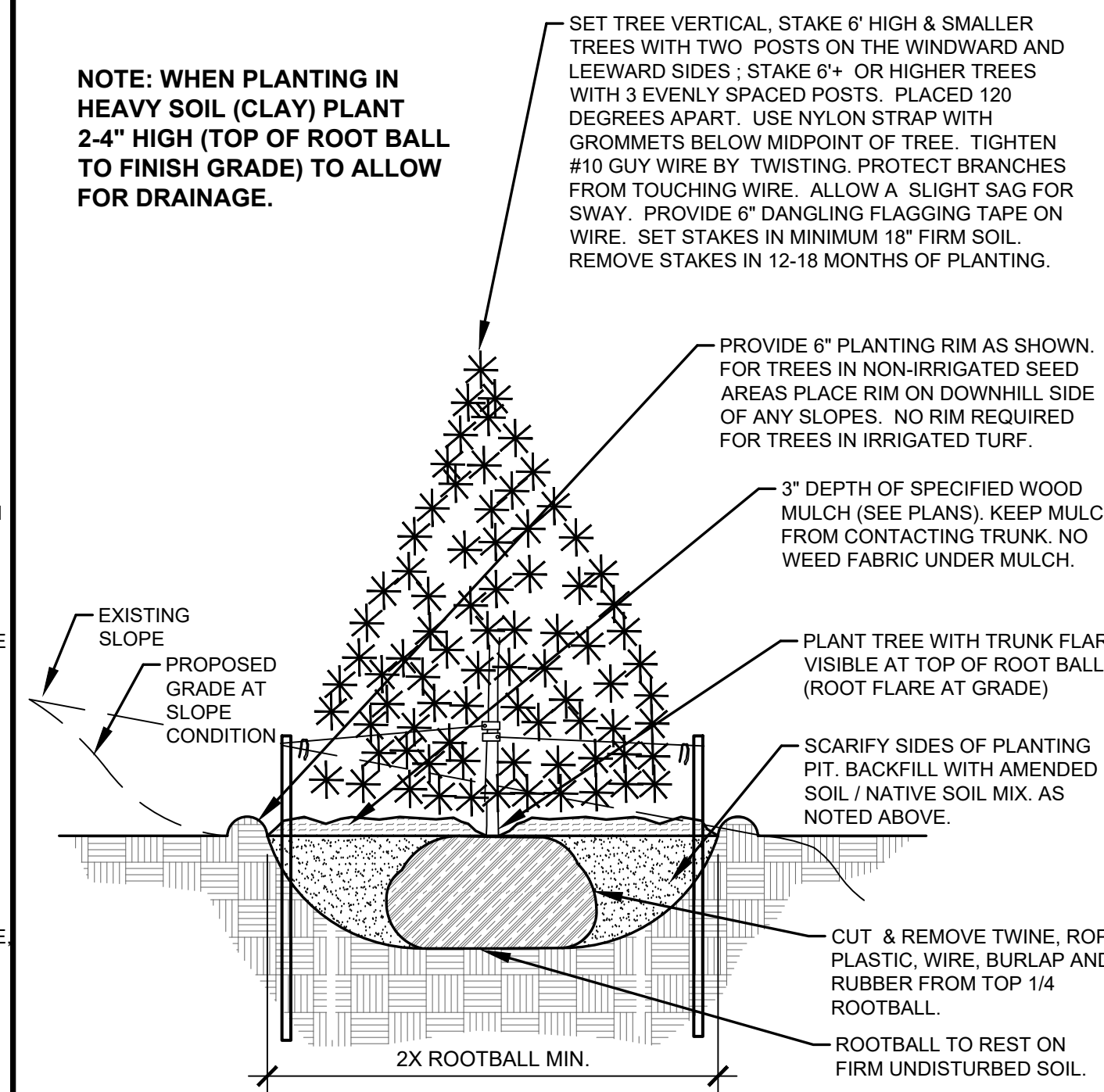
**A** DECIDUOUS TREE PLANTING DETAIL  
NOT TO SCALE

- NOTES:
- PRUNE DEAD, OR BROKEN BRANCHES PRIOR TO PLANTING.
  - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
  - AMENDED BACK FILL SHALL BE 70% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
  - ALL SHRUBS IN ROCK AREAS TO RECEIVE A WOOD MULCH RING.
  - SHRUBS TO BE DEEP WATERED AT TIME OF PLANTING.



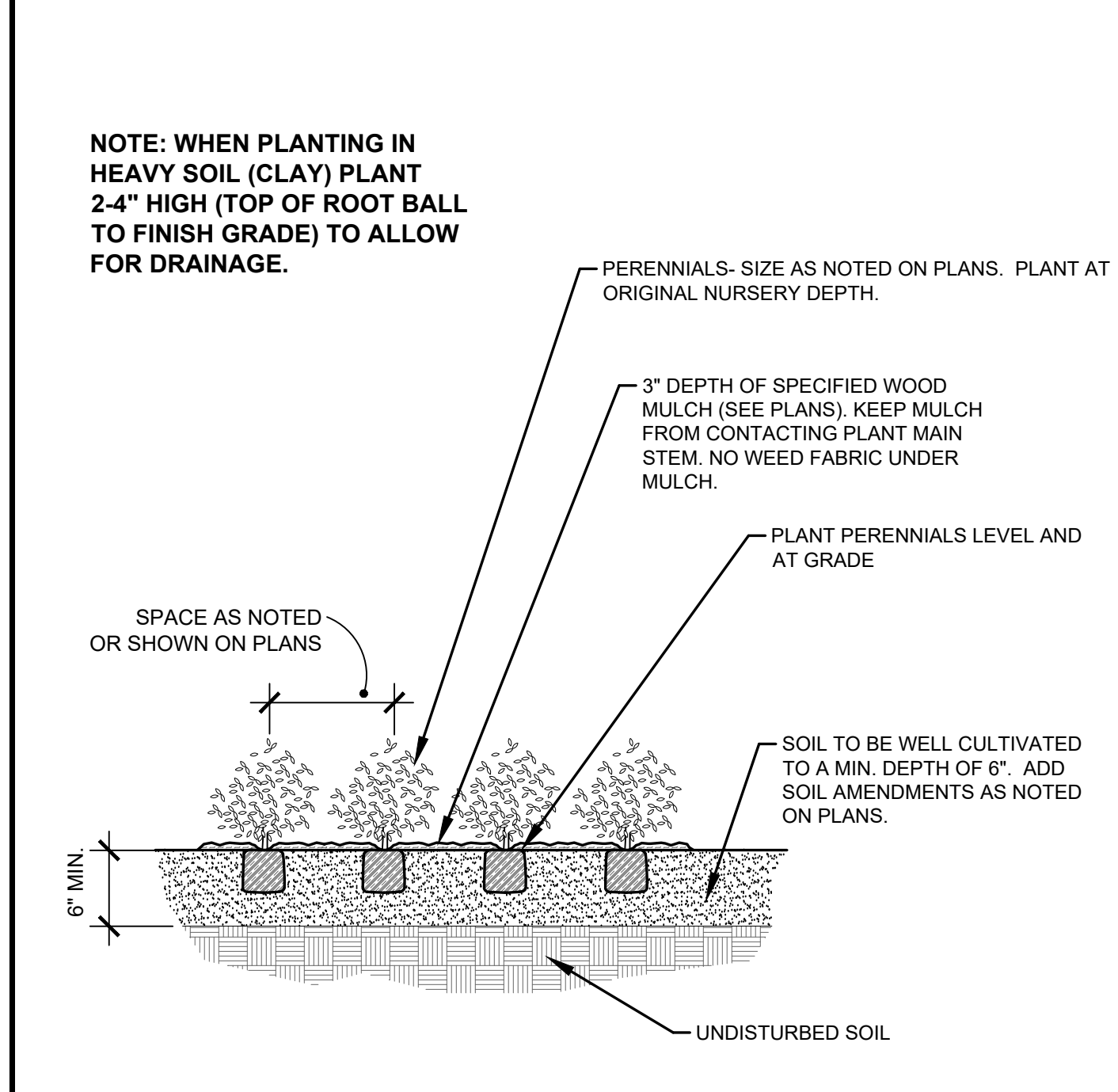
**C** SHRUB PLANTING DETAIL  
NOT TO SCALE

- NOTES:
- MARK NORTH SIDE OF TREE AT NURSERY AND PLANT TREE IN THE SAME ORIENTATION.
  - DON'T REMOVE OR CUT LEADER.
  - PRUNE DEAD, OR BROKEN BRANCHES PRIOR TO PLANTING.
  - REMOVE ANY DOUBLE LEADERS UNLESS OTHERWISE NOTED.
  - KEEP TREE MOIST AND SHADED UNTIL PLANTING.
  - AMENDED BACK FILL SHALL BE 70% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
  - PINE AND SPRUCE SPECIES TO BE SPRAYED FOR IPS BARK BEETLE PRIOR TO PLANTING COORDINATE WITH CITY FORESTRY.
  - ALL TREES TO BE DEEP WATERED AT TIME OF PLANTING.



**B** EVERGREEN TREE PLANTING DETAIL  
NOT TO SCALE

- NOTES:
- PRUNE DEAD OR BROKEN PARTS PRIOR TO PLANTING.
  - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
  - AMENDED BACK FILL SHALL BE 70% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
  - ALL PERENNIALS PLANTED IN ROCK AREAS TO RECEIVE WOOD MULCH RINGS AROUND THE BASE OF THE PLANTS.
  - DEEP WATER PERENNIALS AT TIME OF PLANTING.



**D** PERENNIAL PLANTING DETAIL  
NOT TO SCALE

**LANDSCAPE CONTRACTOR NOTES**

- STOCKPILE SOIL (IF APPLICABLE) ON SITE AS SHOWN ON PLANS. STOCKPILED SOIL TO BE USED FOR FILL SOIL FOR LANDSCAPE AREAS AS NEEDED.
- REMOVE WEEDS, DEAD TREES / SHRUBS, DEBRIS FROM SITE PRIOR TO BEGINNING LANDSCAPE CONSTRUCTION.
- PLANT QUANTITIES IN PLANT LEGEND ARE FOR CONVENIENCE ONLY. CONTRACTOR TO INSTALL ALL PLANT MATERIAL PER PLANS.
- INSTALLATION OF PLANT MATERIALS TO BE IN ACCORDANCE WITH THE ASSOCIATED LANDSCAPE CONTRACTORS OF COLORADO HANDBOOK (ALCC), 2007 OR CURRENT EDITION FOR ALL LANDSCAPE CONSTRUCTION ON THIS SITE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THEFTS OR DAMAGE TO ALL PLANT MATERIAL AFTER PLANT MATERIAL IS DELIVERED TO THE JOB SITE.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING LANDSCAPE ARCHITECT FOR ALL REQUIRED INSPECTIONS. PROVIDE 48 HOURS MINIMUM NOTICE PRIOR TO SCHEDULE INSPECTIONS. INSPECTIONS TO INCLUDE:
  - PLANT PLACEMENT, PLANT SPECIES, MATERIAL SIZE, AND QUALITY.
  - HARDSCAPE MATERIAL PLACEMENT / PLANTING BED EDGINGS
  - IRRIGATION MAIN LINE / HEAD PLACEMENT INSPECTION (AS APPLICABLE)

**LANDSCAPE INSTALLATION NOTES**

- EDGING FOR TURF, PLANTING BEDS, ROCK, OR MULCH AREAS TO BE ROLL TOP STEEL EDGING WITH PINS OR APPROVED EQUAL. EDGING TO BE EXPOSED 1/2" +/- ABOVE FINISHED GRADES. INSTALL PER MANUFACTURE'S RECOMMENDATIONS.
- SOD TO BE BLUEGRASS SOD. LAY SOD WITH TIGHT STAGGERED EDGES (IF APPLICABLE).
- ALL SEEDED TURF / SOD AREAS TO BE AMENDED WITH : 4 CUBIC YARDS OF ORGANIC SOIL AMENDMENT PER 1,000 SF. TILLED INTO THE TOP 6" OF SOIL. (IF APPLICABLE)
- LANDSCAPE WEED FABRIC TO BE INSTALLED PRIOR TO INSTALLING ROCK. INSTALL FABRIC STAPLES AT 5' O.C. SEAMS IN FABRIC TO BE OVERLAPPED 6" MIN. AND SECURED WITH STAPLES. (IF APPLICABLE)
- ROCK OR MULCH COVER SHALL BE CONTINUOUS UNDER ALL SHRUBS THROUGHOUT THE PROJECT SITE. INSTALL A MULCH RING AROUND ALL PLANT MATERIAL IN ROCK AREAS AS FOLLOWS: TREES = 36" DIAMETER MULCH RING. SHRUBS = 18" DIAMETER MULCH RING. PERENNIALS AND ORNAMENTAL GRASSES = 12" MULCH RING. MULCH RINGS TO BE CASCADE MULCH 3" IN DEPTH WITH NO WEED FABRIC NOTE: ALL TREES IN TURF AREAS TO RECEIVE A 24" DIAMETER MULCH RING. (IF APPLICABLE)
- ALL BOULDERS (IF APPLICABLE) TO BE BURIED 1/3 BELOW GRADE TO PROVIDE A NATURAL APPEARANCE.
- CONTRACTOR TO INSTALL ALL LANDSCAPE AS SHOWN ON THIS PLAN AND MAKE ANY ADJUSTMENTS NECESSARY DUE TO FIELD VARIATIONS OR ANY UTILITY CHANGES OR DEVIATIONS. MAJOR DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- EXISTING SOIL IN ALL PLANTING BED AREAS TO BE AMENDED WITH THE FOLLOWING: 4 CUBIC YARDS OF ORGANIC SOIL AMENDMENT PER 1,000 SF TILLED INTO TOP 6" OF SOIL.
- IF APPLICABLE ALL PARKING LOT ISLAND PLANTERS SHALL BE TILLED / REMOVED TO A DEPTH OF 30" AND REPLACED WITH GRADE 'B' TOPSOIL OR EQUAL.
- ALL NURSERY PLANT MATERIAL BOTANICAL NAME TAGS TO REMAIN ATTACHED TO THE PLANT MATERIAL. AFTER FINAL INSPECTION THEY ARE TO BE REMOVED.
- LANDSCAPE CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT IF DOWNSPOUTS OR STORM DRAINAGE FROM ADJACENT LOTS WILL ADVERSELY AFFECT LANDSCAPED AREAS ON THESE PLANS.

**EXISTING TREE PROTECTION (IF APPLICABLE)**  
ANY EXISTING TREES OR PLANT MATERIAL NOTED TO BE PROTECTED ON THESE PLANS ARE TO BE PROTECTED FROM CONSTRUCTION DAMAGE. CONTRACTOR WILL TAKE RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PROTECTED TREES OR LANDSCAPE.

**ANY DAMAGE TO EXISTING TREES OR PLANT MATERIAL CALLED OUT TO BE PROTECTED SHALL BE REPLACED WITH EQUIVALENT PLANT MATERIAL.**

**BARK BEETLE PROTECTION NOTE (IF APPLICABLE)**  
LANDSCAPE CONTRACTOR TO PROVIDE PROTECTION FOR ALL NEW PINE TREES FOR BARK BEETLE PROTECTION. INSPECT ALL PINE TREES PRIOR TO PLANTING AND SPRAY TREES WITH THE FOLLOWING:

- ASTROBRAND PERMITHRIN
- APPLY TREATMENT 2 TIMES A YEAR FOR TWO CONSECUTIVE YEARS PER MANUFACTURE'S GUIDELINES

**SLOPE PROTECTION (IF APPLICABLE)**  
CONTRACTOR TO INSTALL EROSION CONTROL BLANKETS OR EQUAL ON SEEDED SLOPES 3:1 AND STEEPER. SECURE BLANKETS TO SLOPE PER MANUFACTURE'S RECOMMENDATIONS.

EROSION CONTROL BLANKET TO CONTAIN 100% AGRICULTURAL STRAW BLANKET WITH PHOTO-DEGRADABLE NETTING ON BOTH SIDES.

CONTRACTOR TO PROVIDE 4-8" DIAMETER COBBLE (WITH LANDSCAPE FABRIC) FOR ALL CURB INLETS INTO DETENTION AREAS IF APPLICABLE. PROVIDE A SWALE FROM INLET TO DETENTION AREA A MINIMUM OF 2' WIDE AND MAXIMUM 3' WIDE. (IF APPLICABLE)

**SEEDING NOTES**

IRRIGATED NATIVE SEED TO BE EL PASO COUNTY CONVERSATION DISTRICT ALL-PURPOSE LOW GROW MIX 42 LBS/ACRE USING A ONE STEP HYDRO-SEED PROCESS. SEE BELOW FOR WHAT THE MIX CONTAINS.

--BUFFALOGRASS	25%
--GRAMA, BLUE	20%
--GRAMA, SIDEOTS	29%
--GREEN NEEDLEGRASS	5%
--WHEATGRASS, WESTERN	20%
--DROPSSEED, SAND	1%

SOIL IN IRRIGATED SEED AREAS TO BE AMENDED WITH : 1/3 HIGH QUALITY TOP SOIL, 2/3 COW MANURE. AND 1/3 NATIVE SOIL AT 4 C.Y./1000 SF TILLED INTO TOP 4-6" OF SOIL PRIOR TO SEEDING. 2-3 WEEKS AFTER EMERGENCE ADD SUPER CROP FERTILIZER 20-20-10 AT 4 LBS PER 1,000 SF. ADD 1 LB. NITROGEN PER 1000 SF IN MID TO LATE JUNE, IN EARLY TO MID AUGUST, AND LATE SEPTEMBER.

IRRIGATED NATIVE SEED TO BE EL PASO COUNTY CONVERSATION DISTRICT ALL-PURPOSE MIX 42 LBS/ACRE USING A ONE STEP HYDRO-SEED PROCESS. SEE BELOW FOR WHAT THE MIX CONTAINS.

--BIG BLUESTEM	20%	--SWITCHGRASS	10%
--GRAMA, BLUE	10%	--PRAIRIE SANDREED	10%
--GREEN NEEDLEGRASS	10%	--YELLOW INDIANGRASS	10%
--WHEATGRASS WESTERN	20%	--GRAMA SIDEOTS	10%

SOIL IN IRRIGATED SEED AREAS TO BE AMENDED WITH : 1/3 HIGH QUALITY TOP SOIL, 2/3 COW MANURE. AND 1/3 NATIVE SOIL AT 4 C.Y./1000 SF TILLED INTO TOP 4-6" OF SOIL PRIOR TO SEEDING. 2-3 WEEKS AFTER EMERGENCE ADD SUPER CROP FERTILIZER 20-20-10 AT 4 LBS PER 1,000 SF. ADD 1 LB. NITROGEN PER 1000 SF IN MID TO LATE JUNE, IN EARLY TO MID AUGUST, AND LATE SEPTEMBER.

ANY EXISTING SEEDED AREAS THAT ARE DISTURBED NEAR PROPERTY BOUNDARIES TO BE SEEDED WITH THE ALL PURPOSE LOW GROW MIX USING A ONE STEP HYDRO-MULCH.

ANY BARE AREAS LARGER THAN A SQUARE FOOT AFTER SEED GERMINATION TO BE SEEDED TO FILL IN SUCH AREAS.

**ALL AMERICAN**  
LANDSCAPE ARCHITECTURE & IRRIGATION DESIGN  
RESIDENTIAL & COMMERCIAL LANDSCAPE INSTALLATION  
1925 AEROPOLAZA DRIVE  
COLORADO SPRINGS, CO 80916  
719-637-4313

DATE: 3/16/2022  
REVISION DESCRIPTION: City comment revisions

10/3/2022 Added shrub cultivars, base revised (dit locations)

☐ FOR CONSTRUCTION  
☒ NOT FOR CONSTRUCTION

**CLASSIC COMMUNITIES**

**FOURSQUARE AT STERLING RANCH**  
BRIARGATE PARKWAY & STERLING RANCH ROAD  
COLORADO SPRINGS, CO

JOB NUMBER: 2673-0122

DATE: 5/31/2022

DRAWN BY: MB

DRAWING DESCRIPTION: PLANTING DETAILS & NOTES

SHEET #: L-7

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