

# PAINT BRUSH HILLS PUMP HOUSE NO. 6

## PAINT BRUSH HILLS METROPOLITAN DISTRICT

### SITE DEVELOPMENT PLAN

LOCATED WITHIN THE NORTHEAST QUARTER OF SECTION 26,  
TOWNSHIP 12 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
COUNTY OF EL PASO, STATE OF COLORADO

MAY, 2023

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#### CONTACTS

##### REVIEWING AGENCY

EL PASO COUNTY  
DEVELOPMENT SERVICES DEPARTMENT  
2880 INTERNATIONAL CIRCLE  
COLORADO SPRINGS, CO 80910  
(719) 520-6300

##### UTILITIES

ELECTRIC:  
MOUNTAIN VIEW ELECTRIC ASSOCIATION, INC.  
11140 E. WOODMAN ROAD  
FALCON, CO 80831  
(719) 495-2283  
WWW.MVEA.COOP

##### OWNER

PAINT BRUSH HILLS METROPOLITAN DISTRICT  
9985 TOWNER AVENUE  
PEYTON, CO 80831  
ROBERT GUEVARA, DISTRICT MANAGER  
(719) 495-8188, FAX (719) 495-8008  
EMAIL: ROBERT@PBHMD.COM

WATER & SEWER:  
PAINT BRUSH HILLS METROPOLITAN DISTRICT  
9830 LIBERTY GROVE AVENUE  
FALCON, CO 80831  
(719) 495-8188

##### ENGINEERING

RG AND ASSOCIATES, LLC  
4885 WARD ROAD, SUITE 100  
WHEAT RIDGE, CO 80033  
(303) 293-8107, FAX (303) 293-8106  
RICK GONCALVES, P.E.  
(303) 468-8484  
EMAIL: RICKG@RGENGINEERS.COM

COMMUNICATIONS:  
CENTURYLINK  
3556 NEW CENTER POINT  
COLORADO SPRINGS, CO 80922  
(719) 591-0861

COMMUNICATIONS:  
FALCON BROADBAND, INC.  
555 HATHAWAY DRIVE  
COLORADO SPRINGS, CO 80915  
(719) 573-5343

##### SURVEYING

AZTEC CONSULTANTS, INC.  
300 EAST MINERAL AVE. SUITE 1  
LITTLETON, CO 80122  
(303) 713-1898

GAS:  
BLACK HILLS ENERGY  
18985 BASE CAMP RD A-7  
MONUMENT, CO 80132  
(888) 890-5554  
WWW.BLACKHILLSENERGY.COM

##### EMERGENCY SERVICES

FIRE:  
FALCON FIRE PROTECTION DISTRICT  
7030 OLD MERIDIAN ROAD  
FALCON, CO 80831  
TRENT HARWIG, FIRE CHEIF  
(719) 495-4050 FAX (719) 495-3112  
WWW.FALCONFIREPD.ORG

#### FUGITIVE DUST DURING CONSTRUCTION

DEVELOPMENTS SHALL COMPLY WITH THE FOLLOWING STANDARDS:

- CONSTRUCTION ACTIVITY COMPLIANCE ANY PERSON ENGAGED IN GRADING, EXCAVATING, FILLING, OR OTHER CONSTRUCTION ACTIVITY OF GREATER THAN ONE ACRE SHALL BE REQUIRED TO COMPLY WITH THE REQUIREMENTS OF THE AIR QUALITY REGULATIONS, OBTAIN A CONSTRUCTION ACTIVITY PERMIT FROM EL PASO COUNTY PUBLIC HEALTH, AND COMPLY WITH APPLICABLE REQUIREMENTS.

EMISSION CONTROL PLAN REQUIRED:

- DURATION OF CONSTRUCTION EXCEEDS 6 MONTHS: THE EMISSION CONTROL PLAN SHALL BE APPROVED PRIOR TO SITE GRADING AND A STATE CONSTRUCTION PERMIT SHALL BE OBTAINED PRIOR TO BEGINNING CONSTRUCTION.
- NUISANCE CONDITIONS: REGARDLESS OF THE SIZE OR DURATION OF DEVELOPMENT, LAND DISTURBANCE SHALL BE CONDUCTED SO NUISANCE CONDITIONS ARE NOT CREATED. IF DUST EMISSIONS DO CREATE A NUISANCE, AN EMISSION CONTROL PLAN IS REQUIRED.
- EPCPH REVIEW OF EMISSION CONTROL PLANS: THE EPCPH SHALL REVIEW AND APPROVE ALL EMISSION CONTROL PLANS.
- DUST CONTROL MEASURES: ACCEPTABLE DUST CONTROL MEASURES AND OPERATING PROCEDURES FOR CONSTRUCTION ACTIVITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, PLANTING VEGETATION COVER, PROVIDING SYNTHETIC COVER, WATERING, CHEMICAL STABILIZATION, FURROWS, COMPACTING, MINIMIZING DISTURBED AREA, WIND BREAKS, ON-SITE VEHICLE SPEED CONTROL, AND DELAYED SURFACE OPENING. SOLID WOOD FENCING ALONG ADJACENT DEVELOPED AREAS MAY BE REQUIRED.

HAUL TRUCKS AND HAULAGE EQUIPMENT:

- DEPOSITION OF DIRT AND MUD ON ROADS: ANY PERSON UNDERTAKING ANY CONSTRUCTION, DEMOLITION, DISMANTLING, OR EARTHMOVING ACTIVITIES SHALL PREVENT THE DEPOSIT OF DIRT, MUD, OR DEBRIS ON PUBLIC ROADS; AND SHOULD DEPOSITION OCCUR, THE DIRT, MUD OR DEBRIS SHALL BE REMOVED AS QUICKLY AS POSSIBLE BY THE PERSON PERFORMING THE ACTIVITIES.
- PARTICULATES EMISSION IN TRANSIT: PARTICULATES THAT MAY BE EMITTED IN TRANSIT SHALL BE CONTROLLED BY COVERING, WETTING OR OTHERWISE TREATING THE LOAD PRIOR TO TRANSIT.

OPEN BURNING:

- NO OPEN BURNING WITHOUT PERMIT: NO PERSON SHALL BURN OR ALLOW THE BURNING OF RUBBISH, WASTE PAPER, WOOD, OR OTHER FLAMMABLE MATERIAL ON ANY LOT, TRACT, OR PARCEL, OR ON ANY PUBLIC ROAD, ALLEY, OR OTHER LAND UNLESS AN OPEN BURNING PERMIT IS FIRST OBTAINED FROM THE EPCPH AND IN CONFORMANCE WITH THE AIR QUALITY REGULATIONS.

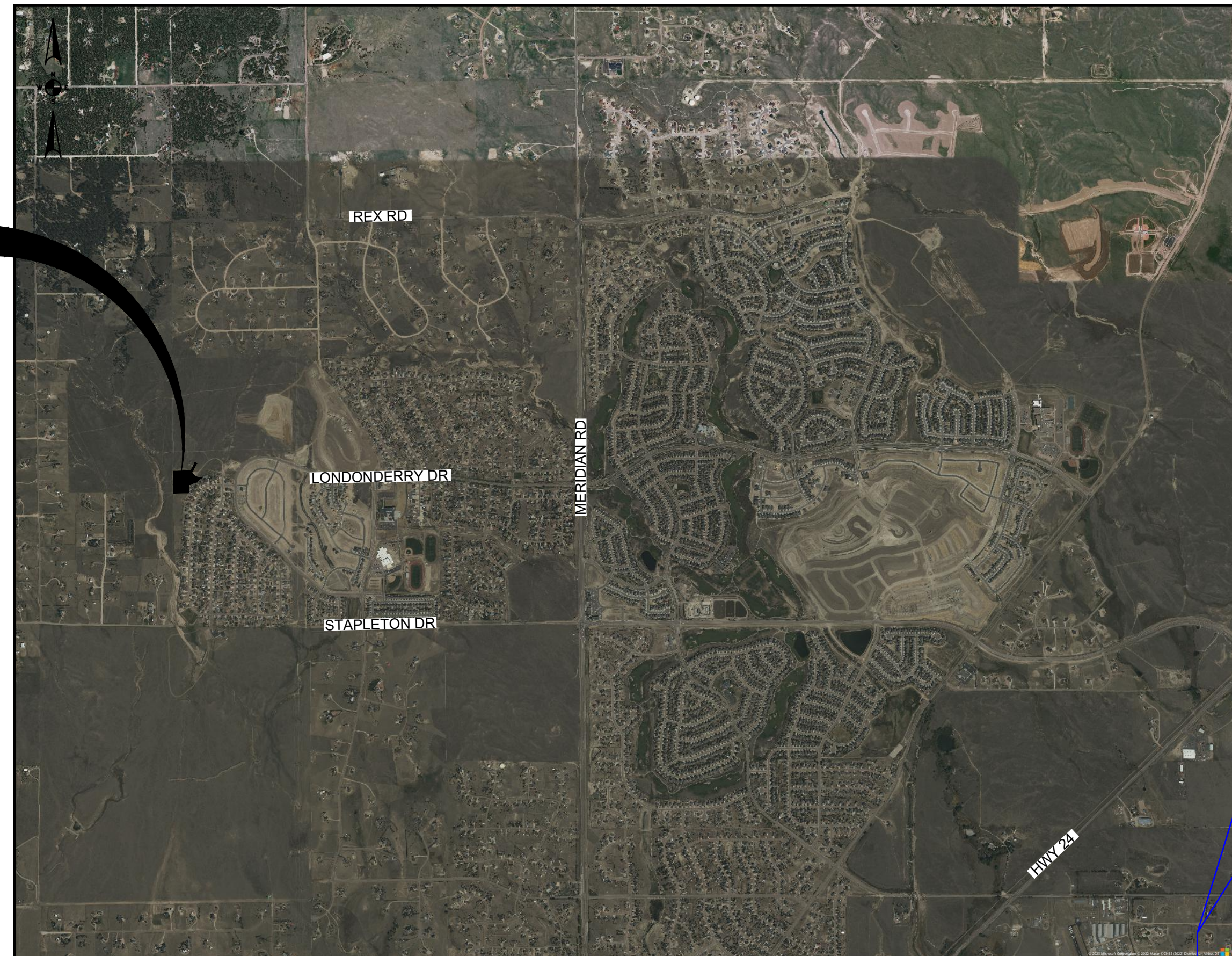
#### EROSION AND SEDIMENT CONTROL PLAN

- PURPOSE: THE PURPOSE OF THE EROSION AND SEDIMENT CONTROL PLAN IS TO CONTROL EROSION DURING CONSTRUCTION IN COMPLIANCE WITH THE REGULATIONS AND EROSION CONTROL STANDARDS OUTLINED IN THE EROSION CONTROL MANUAL.
- REQUIREMENTS FOR EROSION AND SEDIMENT CONTROL PLAN: DETAILS OF THE PLAN REQUIREMENTS AND STANDARDS ARE CONTAINED IN THE EROSION CONTROL MANUAL.
- FINANCIAL ASSURANCE REQUIRED: FINANCIAL ASSURANCE FOR ALL TEMPORARY AND PERMANENT MEASURES TO PREVENT AND CONTROL ANTICIPATED EROSION SHALL BE PROVIDED IN CONFORMANCE WITH THE EROSION CONTROL MANUAL.

#### OPERATIONS AND MAINTENANCE PLAN (STORMWATER QUALITY FACILITY)

- DURING AND UP TO FINAL STABILIZATION, THE CONTRACTOR SHALL CHECK AND CLEAN OFF DEBRIS AND SEDIMENT AS NEEDED: OUTLET STRUCTURES, PIPES, OUTFALL AND STORMWATER QUALITY AREA FOLLOWING EVERY MEASURABLE STORM EVENT AND EVERY 2 WEEKS (MIN.).
- UPON FINAL ACCEPTANCE AND THEN AFTER, THE OWNER WILL CHECK AND CLEAN AS NEEDED: OUTLET STRUCTURES, PIPES, OUTFALL AND STORMWATER QUALITY AREA EVERY 3 MONTHS (QUARTERLY).
- DEBRIS AND SEDIMENT SHALL BE DISPOSED OF IN AN APPROVED OFF SITE FACILITY.

PROJECT  
LOCATION



VICINITY MAP

1" = 2000 FEET

Submit the Grading and Erosion Control Plan as a standalone set.

#### PUMP HOUSE #6 SDP LEGAL DESCRIPTION:

A PORTION OF:

TRACT A, PAINT BRUSH HILLS FILING NO. 12

A PORTION OF THE EAST HALF OF SECTION 26, IN TOWNSHIP 12 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TRACT A AS PLATTED IN PAINT BRUSH HILLS FILING NO. 12 RECORDED UNDER RECEPTION NO. 5226101006. RECORDS OF EL PASO COUNTY, COLORADO.

CONTAINING A CALCULATED AREA OF 153,564 SQUARE FEET OR 3.53 ACRES.

TRACT B, PAINT BRUSH HILLS FILING NO. 14

A REPLAT OF TRACT E, PAINT BRUSH HILLS FILING 13E, BEING A PORTION OF THE NE 1/4 SECTION 26, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TRACT B AS PLATTED IN PAINT BRUSH HILLS FILING NO. 14 RECORDED UNDER RECEPTION NO. 5226101057. RECORDS OF EL PASO COUNTY, COLORADO.

CONTAINING A CALCULATED AREA OF 10,767 SQUARE FEET OR 0.247 ACRES, MORE OR LESS.

#### DESIGN ENGINEER'S STATEMENT:

THIS GRADING AND EROSION CONTROL PLAN AND STORMWATER MANAGEMENT PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. SAID PLAN HAS BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR GRADING AND EROSION CONTROL PLANS. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, OMISSIONS OR OMISSIONS ON MY PART IN PREPARING THIS PLAN.

*Ricardo Goncalves*  
RICARDO GONCALVES, PE#14506

5/4/23  
DATE



#### OWNER/DEVELOPER'S STATEMENT:

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN AND THE STORMWATER MANAGEMENT PLAN.

*Robert Guevara*  
ROBERT GUEVARA, DISTRICT MANAGER  
PAINT BRUSH HILLS METROPOLITAN DISTRICT  
9985 TOWNER AVENUE  
PEYTON, CO 80831

5/3/23  
DATE

#### EL PASO COUNTY:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

JENNIFER IRVINE, P.E.  
COUNTY ENGINEER / ECM ADMINISTRATOR

DATE

Add PCD File No.  
PPR-2318

PREPARED FOR:

PREPARED BY:



Remove all grading and erosion control plan related notes, details, erosion control measures sheets, any construction related information from the entire plan set since this is intended to be a site development plan.

Remove. These signature blocks are meant for gec plans, which this is labeled as a site development plan.

# STANDARD NOTES FOR EL PASO COUNTY GRADING AND EROSION CONTROL PLANS

- STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF-SITE WATERS, INCLUDING WETLANDS.
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS TO REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
- A SEPARATE STORMWATER MANAGEMENT PLAN (SMWP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. DURING CONSTRUCTION THE SWMP IS THE RESPONSIBILITY OF THE DESIGNATED QUALIFIED STORMWATER MANAGER OR CERTIFIED EROSION CONTROL INSPECTOR AND SHALL BE LOCATED ON SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
- ONCE THE ESQCP IS APPROVED AND A "NOTICE TO PROCEED" HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE APPROVED GEC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY STAFF.
- CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ACTIVITIES THAT MAY CONTRIBUTE POLLUTANTS TO STORMWATER. TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED IMMEDIATELY UPON COMPLETION OF THE DISTURBANCE.
- ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATING CONDITION UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND FINAL STABILIZATION IS ESTABLISHED. ALL PERSONS ENGAGED IN LAND DISTURBANCE ACTIVITIES SHALL ASSESS THE ADEQUACY OF CONTROL MEASURES AT THE SITE AND IDENTIFY IF CHANGES TO THOSE CONTROL MEASURES IS NEEDED TO ENSURE THE CONTINUED EFFECTIVE PERFORMANCE OF THE CONTROL MEASURES. ALL CHANGES TO TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES MUST BE INCORPORATED INTO THE STORMWATER MANAGEMENT PLAN PRIOR TO IMPLEMENTATION.
- TEMPORARY STABILIZATION SHALL BE IMPLEMENTED ON DISTURBED AREAS AND STOCKPILES WHERE GROUND DISTURBING CONSTRUCTION ACTIVITY HAS PERMANENTLY CEASED OR TEMPORARILY CEASED FOR LONGER THAN 14 DAYS. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN 60 DAYS SHALL ALSO BE STABILIZED.
- FINAL STABILIZATION MUST BE IMPLEMENTED AT ALL APPLICABLE CONSTRUCTION SITES. FINAL STABILIZATION IS ACHIEVED WHEN ALL GROUND DISTURBING ACTIVITIES ARE COMPLETE AND ALL DISTURBED AREAS EITHER HAVE A UNIFORM VEGETATIVE COVER WITH INDIVIDUAL PLAN DENSITY OF 70 PERCENT OF PRE-DISTURBANCE LEVELS ESTABLISHED OR EQUIVALENT PERMANENT ALTERNATIVE STABILIZATION METHOD IS IMPLEMENTED. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED UPON FINAL STABILIZATION AND BEFORE PERMIT CLOSURE.
- ALL PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AS DEFINED IN THE APPROVED PLANS. ANY PROPOSED CHANGES THAT EFFECT THE HYDROLOGY OR HYDRAULICS OF A PERMANENT STORMWATER MANAGEMENT STRUCTURES MUST BE APPROVED BY THE ECM ADMINISTRATOR PRIOR TO IMPLEMENTATION.
- ANY EARTH DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY MINIMIZE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME. PRE-EXISTING VEGETATION SHALL BE PROTECTED AND MAINTAINED WITHIN 50 HORIZONTAL FEET OF A WATERS OF THE STATE, UNLESS INFEASIBLE.
- COMPACTION OF SOIL MUST BE PREVENTED IN AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES OR WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER. AREAS DESIGNATED FOR INFILTRATION CONTROL SHALL ALSO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED.
- ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE A STABILIZED CONVEYANCE DESIGNED TO MINIMIZE EROSION AND THE DISCHARGE OF SEDIMENT OFF SITE.
- CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO RUNOFF TO STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES. CONCRETE WASHOUT SHALL NOT BE LOCATED IN AN AREA WHERE SHALLOW GROUNDWATER MAY BE PRESENT, OR WITHIN 50 FEET OF A SURFACE WATER BODY.
- DEWATERING OPERATIONS: UNCONTAMINATED GROUND WATER MAY BE DISCHARGED ON SITE BUT MAY NOT LEAVE THE SITE IN THE FORM OF SURFACE RUNOFF.
- EROSION CONTROL BLANKETING IS TO BE USED ON SLOPES STEEPER THAN 3:1.
- BUILDING, CONSTRUCTION, EXCAVATION, OR OTHER WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. BMP'S MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
- VEHICLE TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFFSITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- THE OWNER, SITE DEVELOPER, CONTRACTOR, AND/OR THEIR AUTHORIZED AGENTS SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, AND SAND THAT MAY ACCUMULATE IN THE STORM SEWER OR OTHER DRAINAGE CONVEYANCE SYSTEM AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
- THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
- NO CHEMICALS ARE TO BE USED BY THE CONTRACTOR, WHICH HAVE THE POTENTIAL TO BE RELEASED IN STORMWATER UNLESS PERMISSION FOR THE USE OF A SPECIFIC CHEMICAL IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR. IN GRANTING THE USE OF SUCH CHEMICALS, SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
- BULK STORAGE OF PETROLEUM PRODUCTS OR OTHER LIQUID CHEMICALS IN EXCESS OF 55 GALLONS SHALL HAVE ADEQUATE SECONDARY CONTAINMENT PROTECTION TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
- NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE FLOW LINE OF THE CURB AND GUTTER OR IN THE DITCH FLOW LINE.
- INDIVIDUALS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS INCLUDED IN THE DCM VOLUME II AND THE ECM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, OR COUNTY AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.

- PRIOR TO ACTUAL CONSTRUCTION THE PERMITTEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
- A WATER SOURCE SHALL BE AVAILABLE ON-SITE DURING EARTHWORK OPERATIONS AND UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
- THE SOILS INFORMATION FOR THIS SITE IS BASED UPON UNITED STATES DEPARTMENT OF AGRICULTURE (USDA) NATURAL RESOURCES CONSERVATION SERVICE (NRCS) FOR EL PASO COUNTY, COLORADO.
- AT LEAST TEN (10) DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB 1 ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:

COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT WATER QUALITY CONTROL DIVISION  
 WQCD - PERMITS  
 4300 CHERRY CREEK DRIVE SOUTH DENVER, CO 80246-1530  
 ATTN: PERMITS UNIT

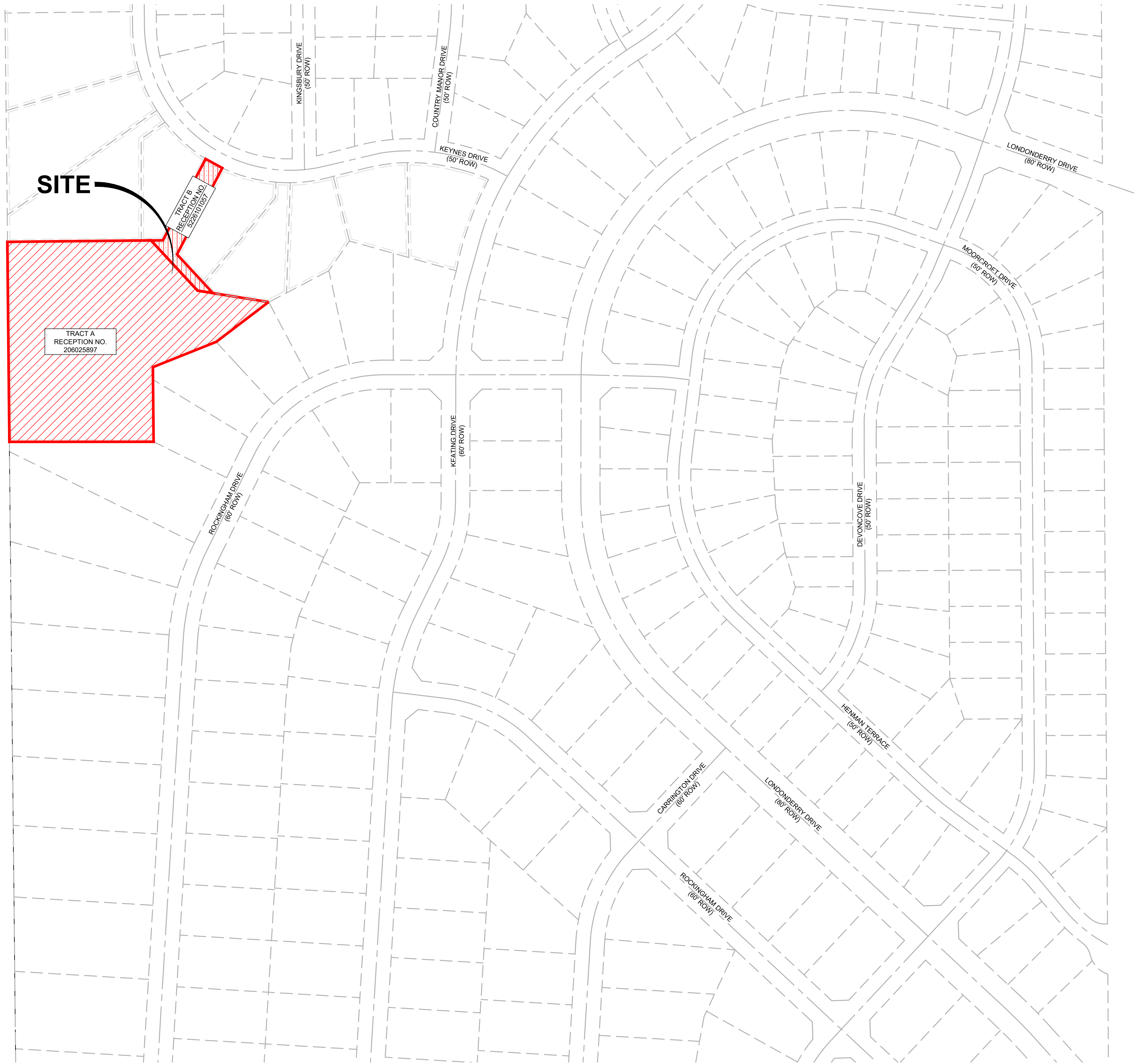
48 HOURS BEFORE YOUR CALL UTILITY NOTIFICATION CENTER OF COLORADO (UNCCO)  
**811**  
 GAS, ELECTRIC, TELEPHONE, CABLE AND PIPES  
**SCALE VERIFICATION**  
 BAR IS ONE INCH ON ORIGINAL DRAWING  
 IF NOT ONE INCH ON THIS SHEET SCALE ACCORDINGLY

NO.	DESCRIPTION	REVISIONS	DATE	BY
1	EL PASO COUNTY SDP SUBMITTAL		5/03/23	JS/RG



PAINT BRUSH HILLS PUMP HOUSE NO. 6  
DESCRIPTION  
**NOTES**  
PREPARED BY  
 PAINT BRUSH HILLS METROPOLITAN DISTRICT  
 9885 TOWNER AVENUE  
 PEYTON, CO 80831

<small>DRAWN BY:</small> JGS	<small>DESIGNED BY:</small> JS/RG
<small>JOB NUMBER:</small> 1070.0014	
<small>DATE:</small> 5/4/23	
<small>SCALE:</small> NONE	
<small>DRAWING DESCRIPTION:</small> NOTES	
<small>SHEET NO.:</small> 2	<small>OF</small> 17



**SITE**

TRACT A  
 RECEPTION NO.  
 206025897

TRACT B  
 RECEPTION NO.  
 2226701087

ROCKINGHAM DRIVE  
 (60' ROW)

KINGSBURY DRIVE  
 (60' ROW)

COUNTRY MANOR DRIVE  
 (60' ROW)

KEYNES DRIVE  
 (50' ROW)

KEATING DRIVE  
 (60' ROW)

CARRINGTON DRIVE  
 (60' ROW)

ROCKINGHAM DRIVE  
 (60' ROW)

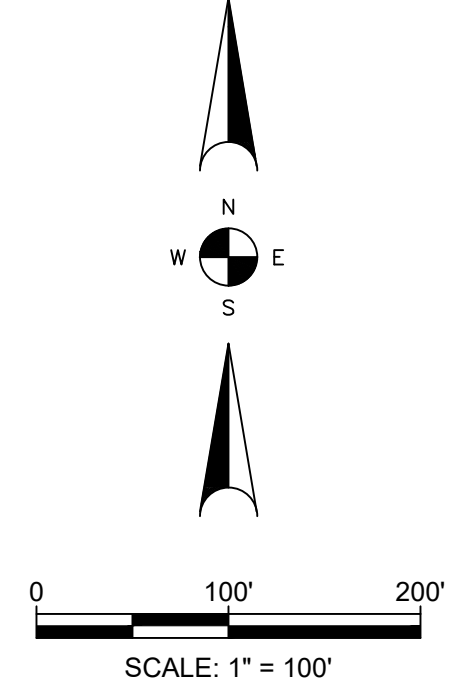
LONDONDERRY DRIVE  
 (60' ROW)

HENMAN TERRACE  
 (50' ROW)

DEVONCOVE DRIVE  
 (50' ROW)

MOORCROFT DRIVE  
 (50' ROW)

LONDONDERRY DRIVE  
 (80' ROW)



48 HOURS BEFORE YOU DIG, CALL UTILITY NOTIFICATION CENTER OF COLORADO (UNCCO) **811**  
 GAS, ELECTRIC, TELEPHONE, CTV, AND FIBER OPTIC PIPELINE LOCATIONS  
**SCALE VERIFICATION**  
 BAR IS ONE INCH ON ORIGINAL DRAWING  
 IF NOT ONE INCH ON THIS SHEET SCALE ACCORDINGLY

NO.	DESCRIPTION	REVISIONS	DATE	BY
1	EL PASO COUNTY SDF SUBMITTAL		5/3/23	JS/RG

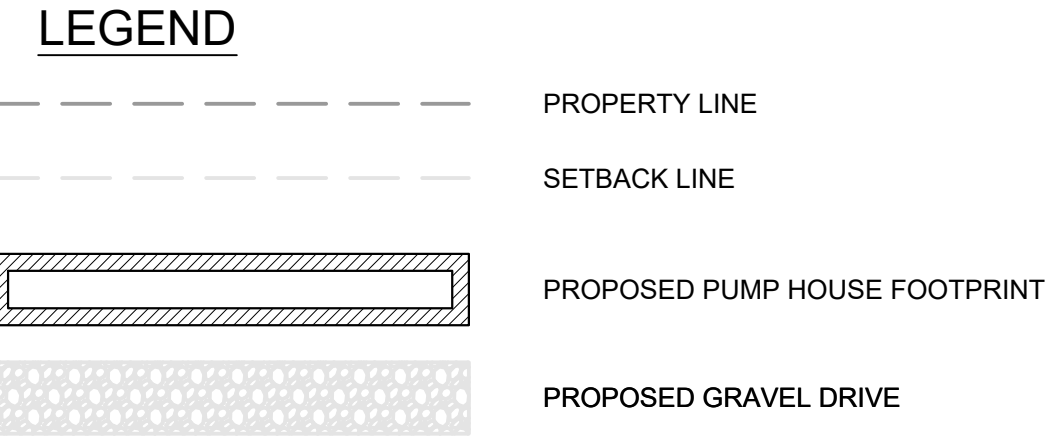
**RG AND ASSOCIATES, LLC**  
 4885 Ward Road, Suite 100 • Wheat Ridge, CO 80033  
 Del Norte • Wheat Ridge  
 303-293-8107 • www.rgengineers.com

PAINT BRUSH HILLS PUMP HOUSE NO. 6  
 OVERALL TRACT EXHIBIT  
 PREPARED FOR  
 PAINT BRUSH HILLS METROPOLITAN DISTRICT  
 9885 TOWNER AVENUE  
 PEYTON, CO 80831

DRAWN BY:	DESIGNED BY:
JGS	JS/RG
JOB NUMBER:	1070.0014
DATE:	5/4/23
SCALE:	1" = 100'
DRAWING DESCRIPTION:	---
SHEET NO.:	3 of 17

Show the existing/proposed street improvements associated with PBH Fil 14 (C&G, Sidewalk, Inlet). Unclear if this is located within the ramp curb and not over the transition curb.

- GENERAL NOTES**
- BENCHMARK: COLORADO SPRINGS UTILITIES MONUMENT F602 BEING A 2-1/2" ALUMINUM ALLOY CAP LOCATED ON THE WEST SIDE OF MERIDIAN ROAD, ABOUT 25 FEET WEST OF THE EDGE OF OIL, AND 122 FEET SOUTH OF THE INTERSECTION OF MERIDIAN ROAD AND TOURMALINE DRIVE. ELEVATION = 7098.50 (NGVD29)
  - ALL LINEAL UNITS SHOWN ARE U.S. SURVEY FEET.
  - DATE OF SURVEY: THE FIELDWORK FOR THIS SURVEY WAS PERFORMED ON AUGUST 24, AND DECEMBER 12, 2020.
  - THIS SURVEY DOES NOT CERTIFY TO SUBSURFACE FEATURES, IMPROVEMENTS, UTILITIES OR BURIED LINES OF ANY TYPE. LOCATION DEPICTED HEREON ARE DERIVED FROM FIELD SURVEY OF UTILITY FLAGGING / PAINT MARKING, PERFORMED BY AZTEC CONSULTANTS INC. UTILITY LOCATES DEPARTMENT ON AUGUST 17, 2020.
  - THIS TOPOGRAPHY MAP DOES NOT REPRESENT A MONUMENTED LAND SURVEY AND IS ONLY INTENDED TO DEPICT SITE IMPROVEMENTS AND GROUND FEATURES AS THEY EXISTED ON THE DATE SURVEYED.
  - PROJECT COORDINATES ARE MODIFIED COLORADO STATE PLANE CENTRAL ZONE 83(2011) COORDINATES. PROJECT COORDINATES ARE DERIVED FROM STATE PLANE COORDINATES USING THE FOLLOWING FORMULAS:  
PROJECT NORTHING = (STATE PLANE NORTHING \* 1.000000000) - 1,000,000.00  
PROJECT EASTING = (STATE PLANE EASTING \* 1.000000000) - 3,000,000.00



48 HOURS BEFORE YOU ARE TO CALL UTILITY NOTIFICATION CENTER OF COLORADO (UNCCO)

**811**

GAS, ELECTRIC, TELEPHONE, CABLE, AND FIBER OPTIC PIPELINE LOCATIONS

**SCALE VERIFICATION**  
BAR IS ONE INCH ON ORIGINAL DRAWING  
IF NOT ONE INCH ON THIS SHEET SCALE ACCORDINGLY

NO.	DESCRIPTION	REVISIONS	BY	DATE	JS/RG
1	EL PASO COUNTY SDF SUBMITTAL			5/03/23	

**RG AND ASSOCIATES, LLC**  
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PAINT BRUSH HILLS PUMP HOUSE NO. 6

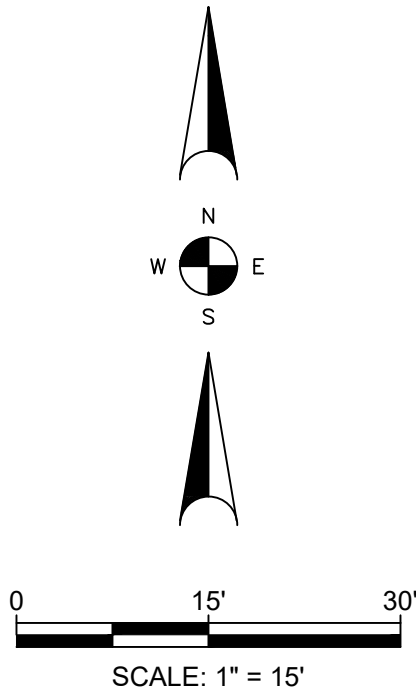
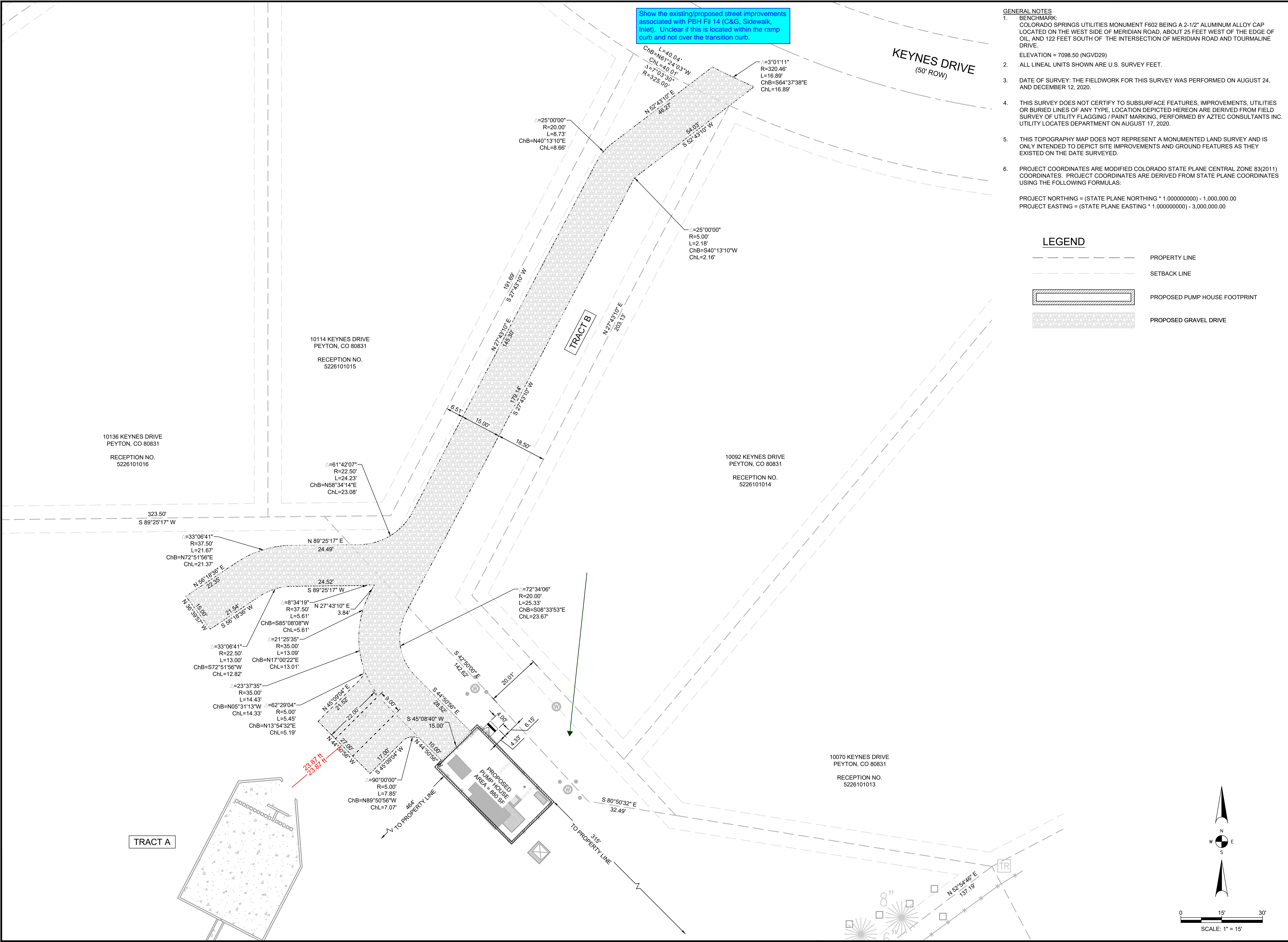
**HORIZONTAL CONTROL PLAN**

DESIGNED BY: JS/RG  
DRAWN BY: JGS

JOB NUMBER: 1070.0014  
DATE: 5/4/23  
SCALE: 1" = 15'

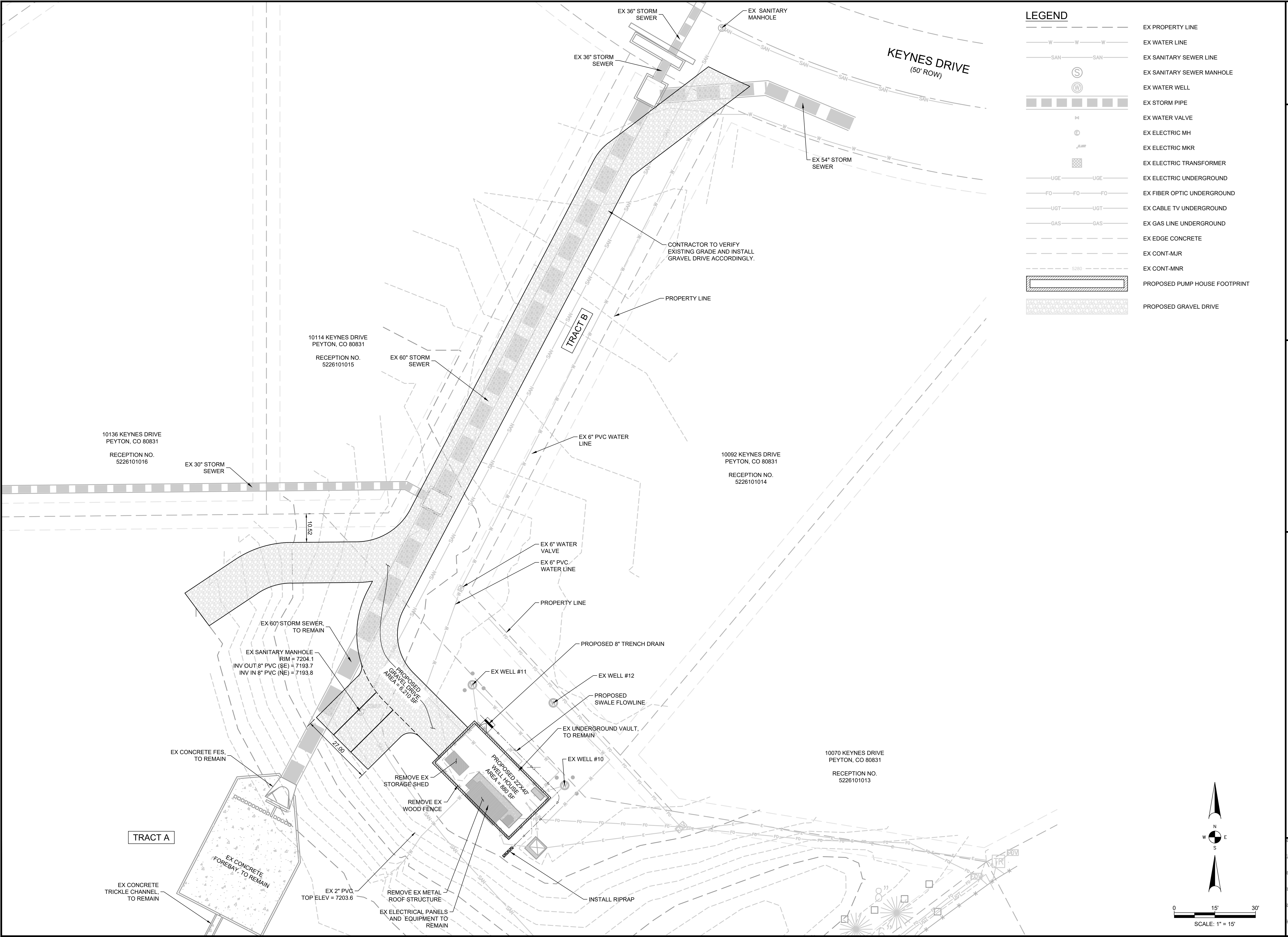
PAINT BRUSH HILLS METROPOLITAN DISTRICT  
9885 TOWNER AVENUE  
PEYTON, CO 80831

DESIGNED BY:	JS/RG
DRAWN BY:	JGS
JOB NUMBER:	1070.0014
DATE:	5/4/23
SCALE:	1" = 15'
DRAWING DESCRIPTION:	CONTROL PLAN
SHEET NO.:	4 of 17

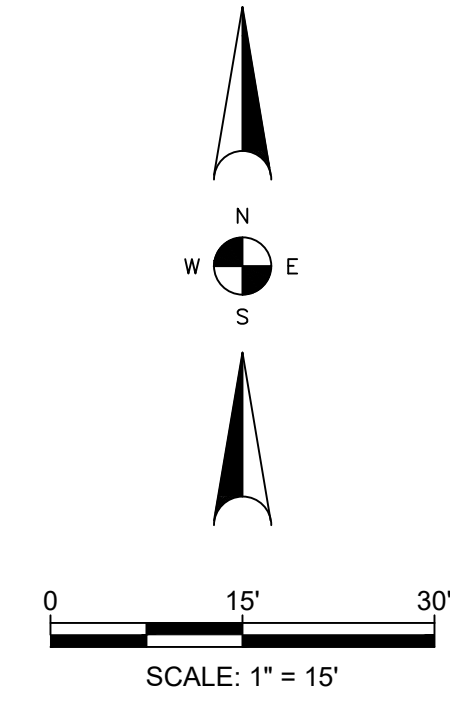


Saved: 4/5/2023 10:11 AM By: JSCHNEIDER, Job: 54/2023 10:11 AM  
Filename: S:1070 - PAINT BRUSH HILLS METROPOLITAN DISTRICT\1070.0014 - WELL #1\2\SITE DEVELOPMENT PLAN\DWG\04-05-PLAN.DWG

Saved: 4/5/2023 10:11 AM By: JSCHNEIDER, Project: 54/2023 10:11 AM  
 Filename: S:\1070 - PAINT BRUSH HILLS METROPOLITAN DISTRICT\1070.0014 - WELL #1\2\SITE DEVELOPMENT PLAN\DWG04-05 PLAN.DWG



LEGEND	
	EX PROPERTY LINE
	EX WATER LINE
	EX SANITARY SEWER LINE
	EX SANITARY SEWER MANHOLE
	EX WATER WELL
	EX STORM PIPE
	EX WATER VALVE
	EX ELECTRIC MH
	EX ELECTRIC MKR
	EX ELECTRIC TRANSFORMER
	EX ELECTRIC UNDERGROUND
	EX FIBER OPTIC UNDERGROUND
	EX CABLE TV UNDERGROUND
	EX GAS LINE UNDERGROUND
	EX EDGE CONCRETE
	EX CONT-MJR
	EX CONT-MNR
	PROPOSED PUMP HOUSE FOOTPRINT
	PROPOSED GRAVEL DRIVE



48 HOURS BEFORE YOU ARE TO CALL UTILITY NOTIFICATION CENTER OF COLORADO (UNCCO) **811**  
 GAS, ELECTRIC, TELEPHONE, CABLE, AND PIPES AND OTHER UNDERGROUND UTILITY LOCATIONS  
**SCALE VERIFICATION**  
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 IF NOT ONE INCH ON THIS SHEET SCALE ACCORDINGLY

NO.	DESCRIPTION	REVISIONS	DATE	BY
1	EL PASO COUNTY SDF SUBMITTAL		5/3/23	JS/RG

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 Del Norte • Wheat Ridge  
 303-293-8107 • www.ergengineers.com

PAINT BRUSH HILLS PUMP HOUSE NO. 6  
 PREPARED BY  
**SITE AND UTILITY PLAN**  
 PAINT BRUSH HILLS METROPOLITAN DISTRICT  
 9885 TOWNER AVENUE  
 PEYTON, CO 80831

DRAWN BY:	DESIGNED BY:
JGS	JS/RG
JOB NUMBER:	
1070.0014	
DATE:	
5/4/23	
SCALE:	
1" = 15'	
DRAWING DESCRIPTION:	
<b>SITE PLAN</b>	
SHEET NO.:	
5 of 17	

10158 KEYNES DRIVE  
PEYTON, CO 80831  
RECEPTION NO.  
5226101017

10091 KEYNES DRIVE  
PEYTON, CO 80831  
RECEPTION NO.  
5226115022

label the manhole lid elevation and identify if it needs to be adjusted based on the proposed grading.

Show existing C&G and proposed sidewalk.

If the sidewalk has not been installed before this project starts then this project is responsible for constructing the 5" thick sidewalk. (Add the proposed sidewalk quantity into Section 2 of the financial assurance estimate form)

If the sidewalk is already in place with Filing 15, this project may need to remove and replace the sidewalk if it's not constructed to a thickness of 5 inches.

Temporary construction easement/permission is required for any offsite improvements/disturbances.

Identify the proposed manhole lid adjustment.

Staff recommends revising the grading design so the driveway cross slope is flatter. Typically this should be in the 1% to 3% range. Current design is showing cross slopes ranging from 10% to 20%.

Update the proposed contours to tie into the existing grade.

EXISTING TRICKLE CHANNEL

TRACT A

EXISTING 4" CD WITH VALVE AT END

EXISTING STM OUTLET

EXISTING STORM INLET, TYP. INITIAL IP TYP

INITIAL IP TYP

INTERIM VTC TYP

CONTRACTOR TO VERIFY EXISTING GRADE AND INSTALL GRAVEL DRIVE ACCORDINGLY

INTERIM CWA TYP

10092 KEYNES DRIVE  
PEYTON, CO 80831  
RECEPTION NO.  
5226101014

10048 KEYNES DR.  
PEYTON, CO 80831  
RECEPTION NO.  
5226101012

10070 KEYNES DRIVE  
PEYTON, CO 80831  
RECEPTION NO.  
5226101013

9946 ROCKINGHAM DRIVE  
PEYTON, CO 80831  
RECEPTION NO.  
213097174

9932 ROCKINGHAM DRIVE  
PEYTON, CO 80831  
RECEPTION NO. 218048282

KEYNES DRIVE  
(50' ROW)

### LEGEND

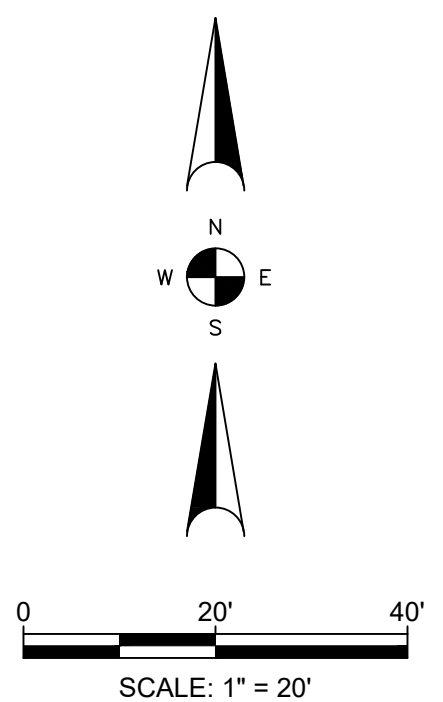
	EXISTING PROPERTY LINE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING WATER WELL
	EXISTING STORM PIPE
	EXISTING WATER VALVE
	EXISTING ELECTRIC MH
	EXISTING ELECTRIC MKR
	EXISTING ELECTRIC TRANSFORMER
	EXISTING ELECTRIC UNDERGROUND
	EXISTING FIBER OPTIC UNDERGROUND
	EXISTING CABLE TV UNDERGROUND
	EXISTING GAS LINE UNDERGROUND
	EXISTING CONT-MJR
	EXISTING CONT-MNR
	PROPOSED CONT-MJR
	PROPOSED CONT-MNR
	PROPOSED SWALE FLOW LINE
	STORMWATER FLOW ARROW
	PROPOSED PUMP HOUSE FOOTPRINT
	PROPOSED GRAVEL DRIVE
	PROPOSED SILT FENCE
	PROPOSED VEHICLE TRACKING CONTROL
	PROPOSED ROCK SOCK
	PROPOSED CHECK DAM
	PROPOSED CONCRETE WASHOUT
	PROPOSED INLET PROTECTION
	PROPOSED EROSION CONTROL BLANKET
	PROPOSED SEDIMENT CONTROL LOG
	PROPOSED LIMITS OF CONSTRUCTION
	PROPOSED SEEDING AND MULCHING
	PROPOSED STABILIZED STAGING AREA

### ABBREVIATIONS

FG FINISHED GRADE  
FL FLOW LINE

### NOTES:

- EXISTING SITE HAS NO NOTABLE VEGETATION OTHER THAN GRASSES/WEEDS.
- SITE IS NOT LOCATED WITHIN THE FEMA 100-YEAR FLOODPLAIN.
- CONTRACTOR TO INSTALL EROSION CONTROL BLANKET (ECB) ON SLOPES OF 3:1 OR GREATER.
- LOCATION OF STABILIZED STAGING AREA (SSA) TO BE DETERMINED AT THE PRE-CONSTRUCTION MEETING.
- AREAS OUTSIDE OF THE CONSTRUCTION SITE BOUNDARY SHALL BE PROTECTED WITH CONSTRUCTION FENCING OR OTHER METHODS AS APPROPRIATE.



48 HOURS BEFORE YOU MAKE CALL UTILITY NOTIFICATION CENTER OF COLORADO (UNCCO) **811** GAS, ELECTRIC, TELEPHONE, CABLE, AND PIPES AND OTHER UTILITY PIPELINE LOCATIONS **SCALE VERIFICATION** BAR IS ONE INCH ON ORIGINAL DRAWING IF NOT ONE INCH ON THIS SHEET SCALE ACCORDINGLY

NO.	DESCRIPTION	DATE	BY
1	EL PASO COUNTY SDP SUBMITTAL	5/3/23	JS/RG

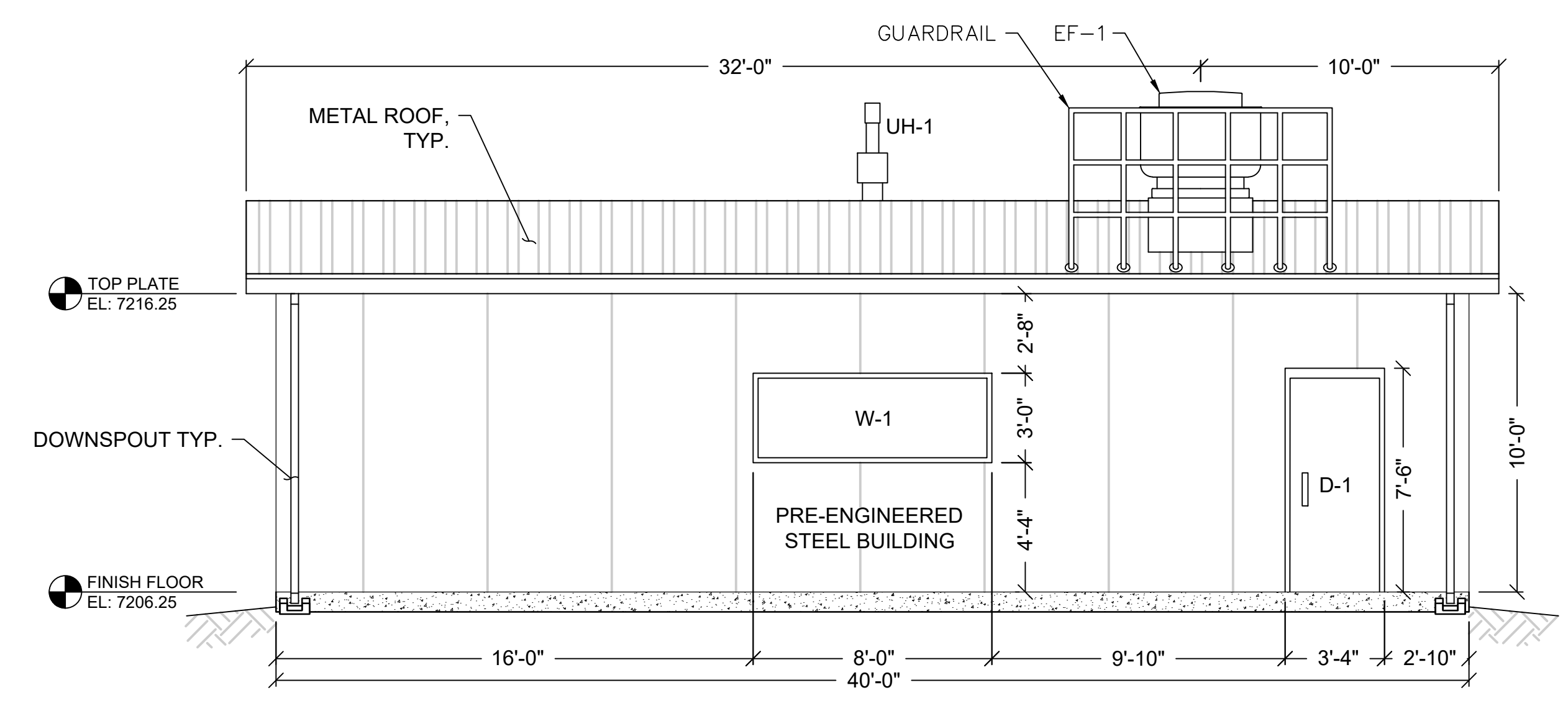
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PAINT BRUSH HILLS PUMP HOUSE NO. 6  
DESIGNED BY  
**GRADING AND EROSION CONTROL PLAN**  
PAINT BRUSH HILLS METROPOLITAN DISTRICT  
9885 TOWNER AVENUE  
PEYTON, CO 80831

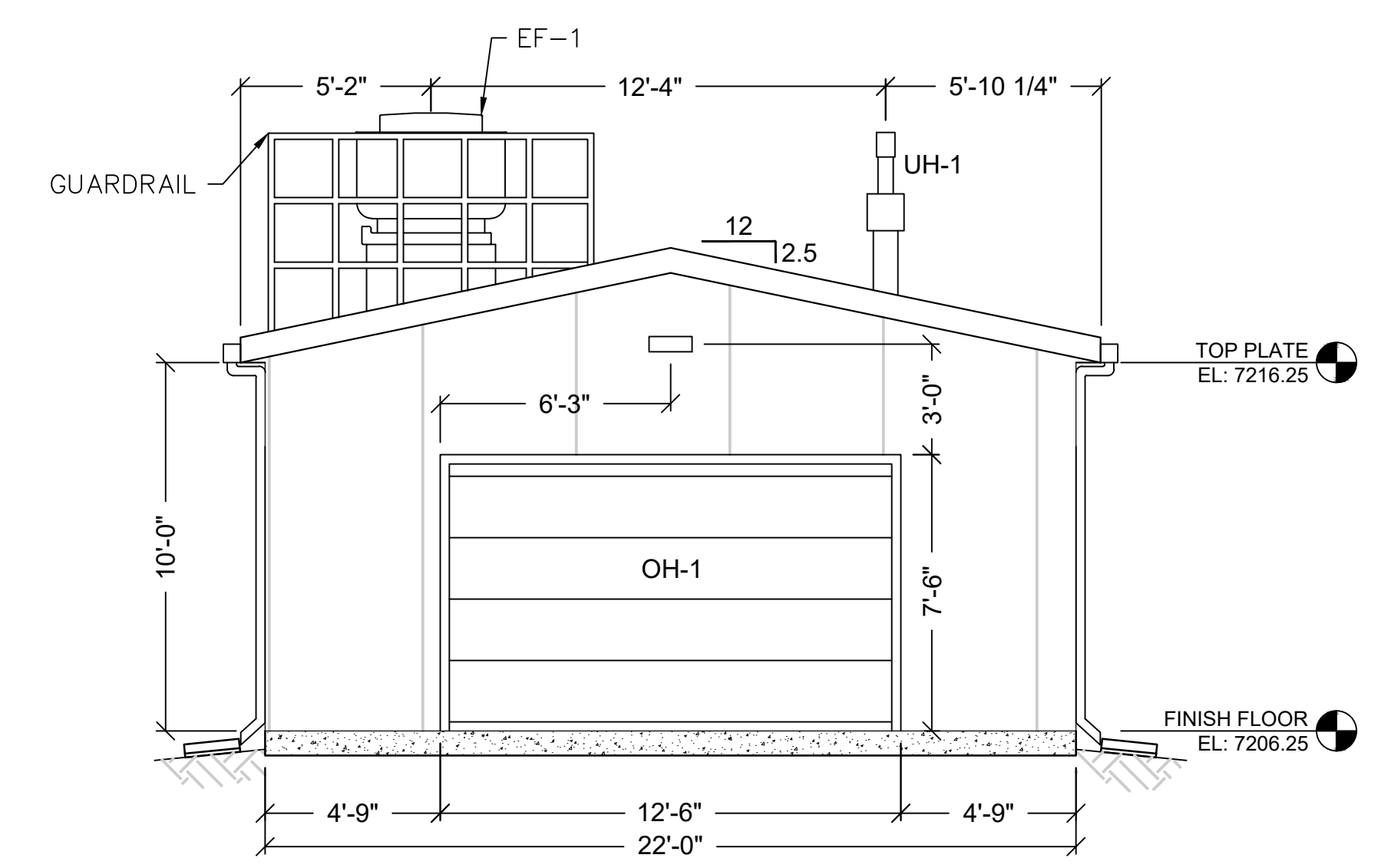
DRAWN BY	JGS	DESIGNED BY	JS/RG
JOB NUMBER	1070.0014		
DATE	5/4/23		
SCALE	1" = 20'		
DRAWING DESCRIPTION	GRADING/EC PLAN		
SHEET NO.	6	OF	17

Saved: 4/5/2023 10:12 AM By: JSCHNEIDER, Job: 542023 10:12 AM File: S:\1070 - PAINT BRUSH HILLS METROPOLITAN DISTRICT\1070.0014 - WELL #1\2\SITE DEVELOPMENT PLAN\DWG\06 GRADING PLAN.DWG

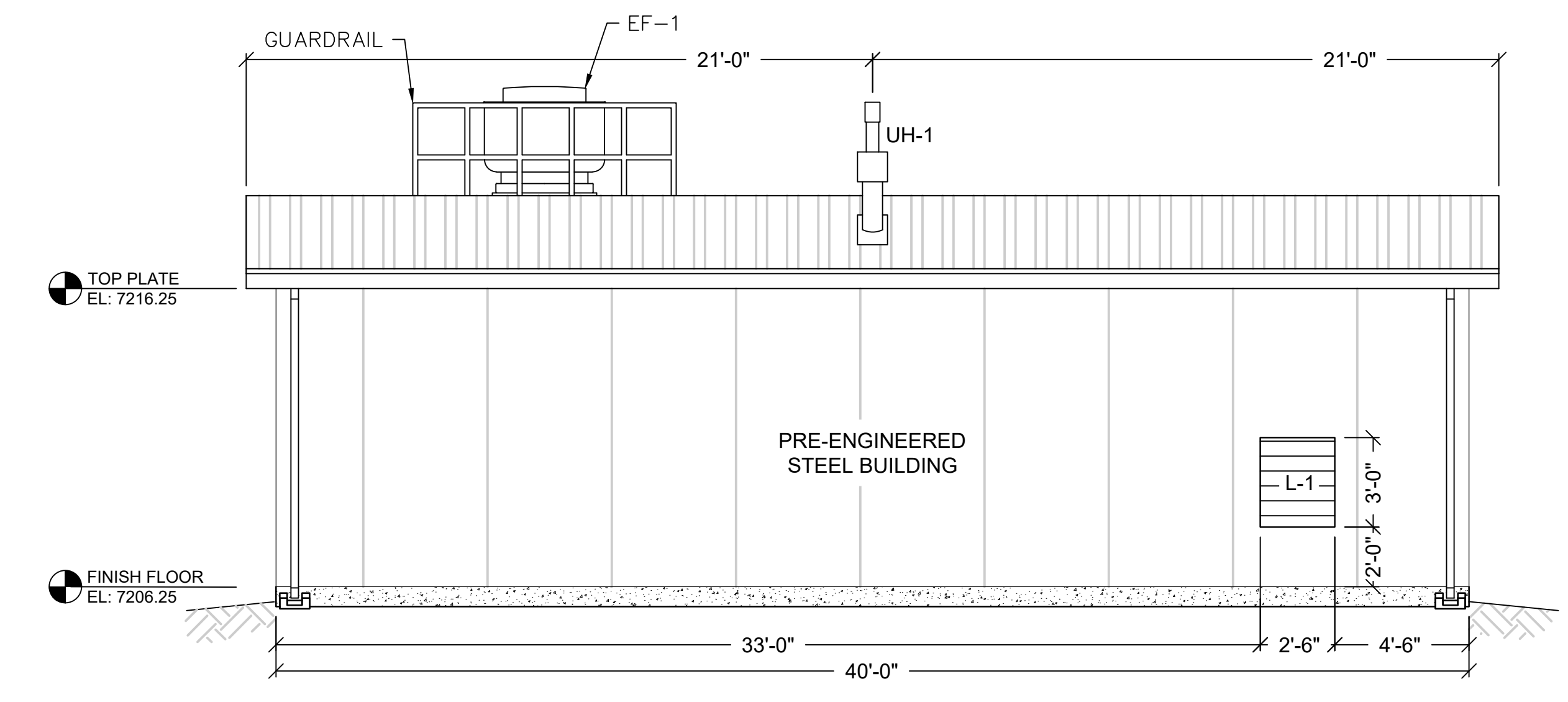
- NOTES:
- BUILDING CONTRACTOR SHALL PROVIDE THE GUARDRAIL AND ITS DESIGN AS A PART OF HIS BUILDING SYSTEM.
  - GUARDRAIL SHALL BE INSTALLED PER IMC SECTION 304.11 GUARDS.
  - ROOF SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
  - PROFESSIONAL ENGINEER'S STAMP APPLIES ONLY TO THIS SHEET AND DOES NOT APPLY TO SUPERSTRUCTURE OR FOUNDATION DRAWINGS.
  - BUILDING MANUFACTURER SHALL PROVIDE ALL SUPPORTS FOR MOUNTING, WALL PENETRATIONS, AND TRIM. MANUFACTURER SHALL ALSO PROVIDE ALL WALL PANELS, FRAMING, SUPPORTS, CONNECTIONS, AND BUILDING-RELATED ITEMS.
  - REFER TO SHEET A2 FOR DOOR AND HARDWARE SCHEDULE.



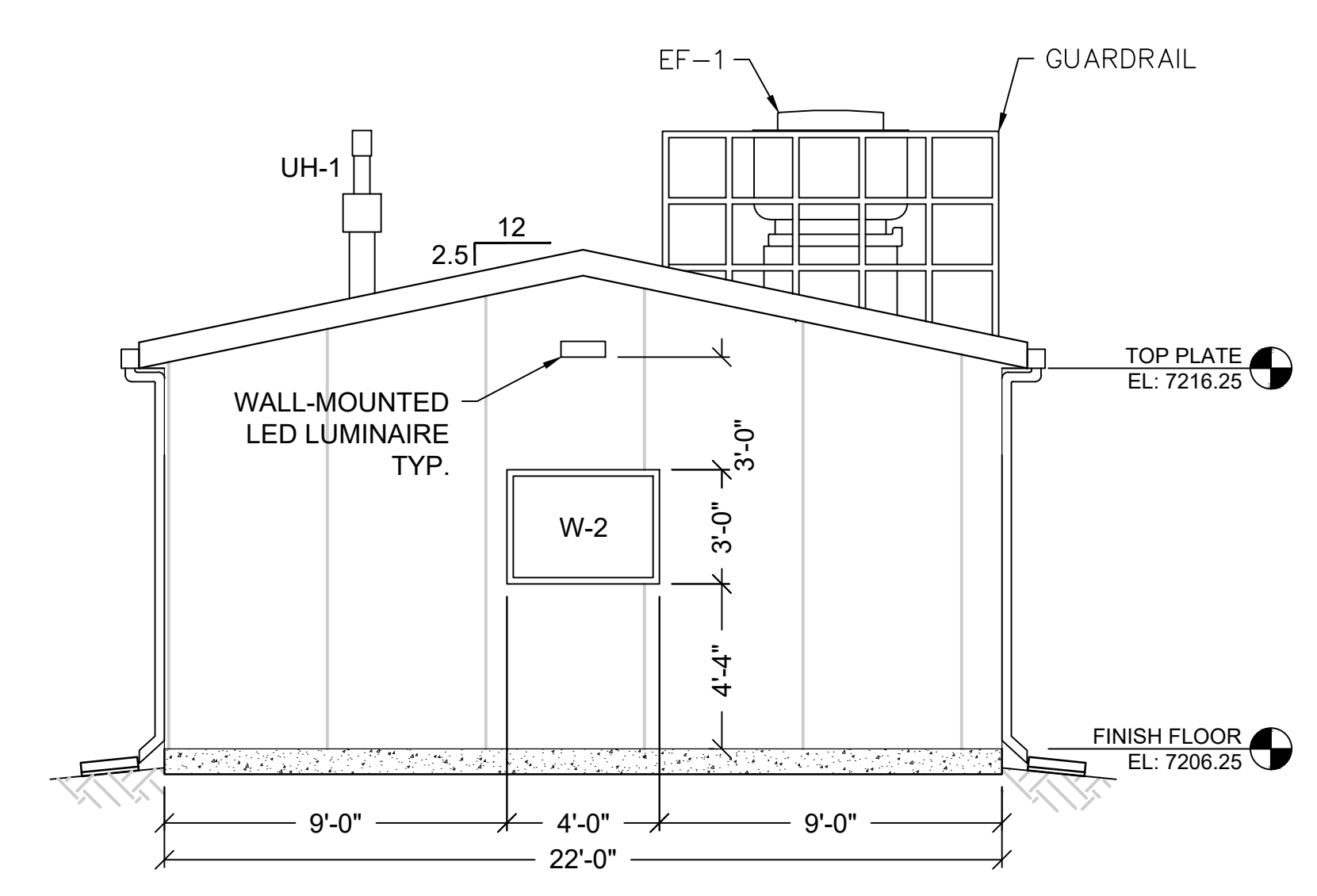
**NORTHEAST ELEVATION**  
1/4" = 1'-0"



**NORTHWEST ELEVATION**  
1/4" = 1'-0"



**SOUTHWEST ELEVATION**  
1/4" = 1'-0"



**SOUTHEAST ELEVATION**  
1/4" = 1'-0"

48 HOURS BEFORE YOUR CALL UTILITY NOTIFICATION CENTER OF COLORADO (UNCCO)

**811**

GAS, ELECTRIC, TELEPHONE, CATV, AND PIPES AND CABLE TELEVISION PIPELINE LOCATIONS

**SCALE VERIFICATION**

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NO.	DESCRIPTION	DATE	BY
1	EL PASO COUNTY SDP SUBMITTAL	5/3/23	JCS

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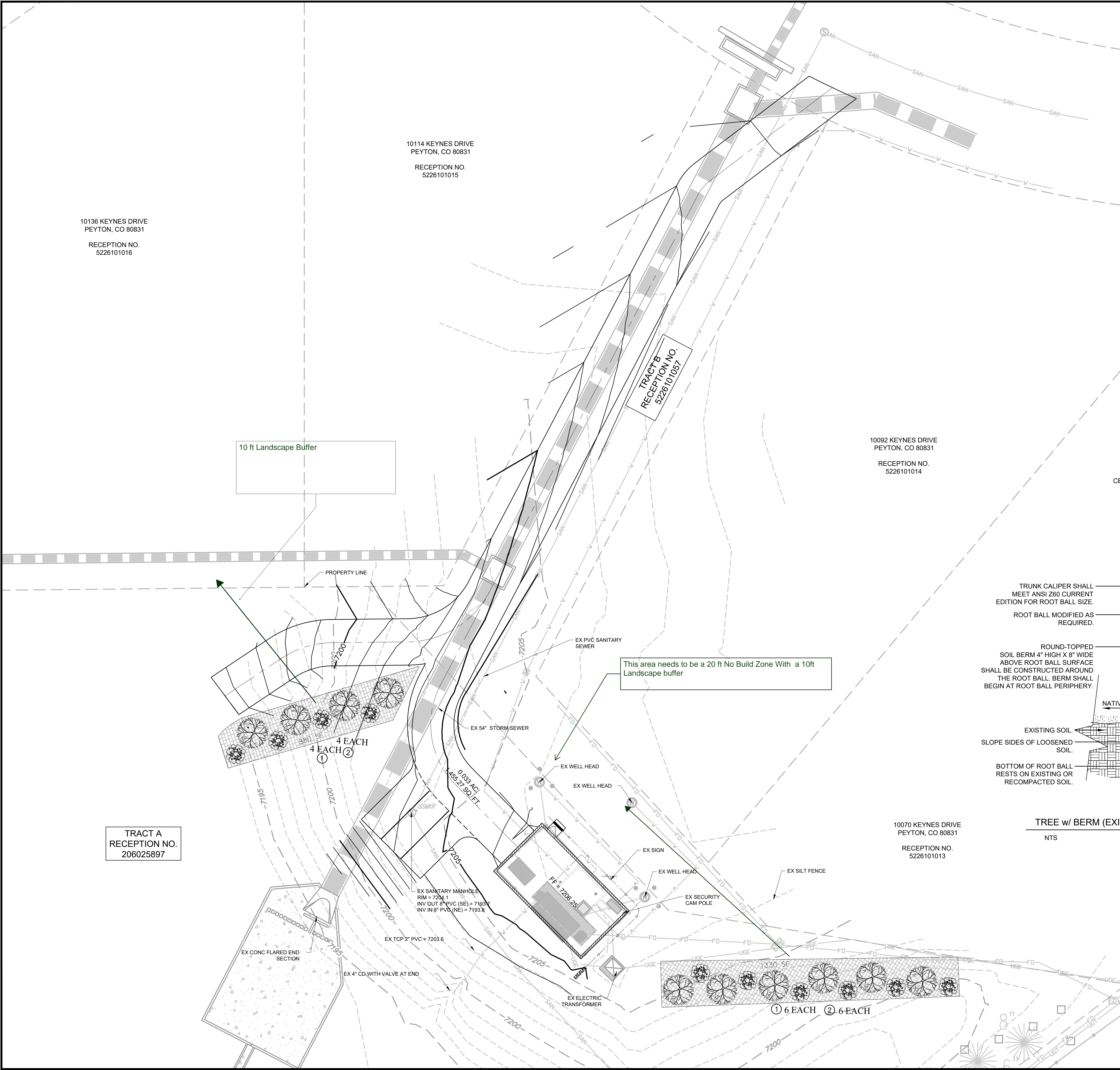
PAINT BRUSH HILLS PUMP HOUSE NO. 6

**ELEVATIONS AND LIGHTING PLAN**

DESIGNED FOR  
PAINT BRUSH HILLS METROPOLITAN DISTRICT  
9885 TOWNER AVENUE  
PEYTON, CO 80831

DRAWN BY:	DESIGNED BY:
JCS	JS/RG
DWG NUMBER:	
1070.0014	
DATE:	
5/4/23	
SCALE:	
1/4" = 1'-0"	
DRAWING DESCRIPTION:	
ELEVATIONS	
SHEET NO:	
7 of 17	

Saved: 4/5/2023 12:27 PM By: JSCHNEIDER, Job: 542023 12:27 PM  
 Filename: S:\1070 - PAINT BRUSH HILLS METROPOLITAN DISTRICT\1070.0014 - WELL #1\2\SITE DEVELOPMENT PLAN\DWG081 LANDSCAPE PLAN.DWG



**PROPERTY INFORMATION:**  
 TOTAL LOT SIZE: 3.78 ACRES  
 ZONING: RESIDENTIAL SUBURBAN

**LEGEND**

①		10 EACH	CURL-LEAF MOUNTAIN MAHOGANY (15' HEIGHT) CERCOCARPUS LEDIFOLIUS
②		10 EACH	FERNBUSH (4' HEIGHT) CHAMAEBATIARIA MILLEFOLIUM
			BARK MULCH

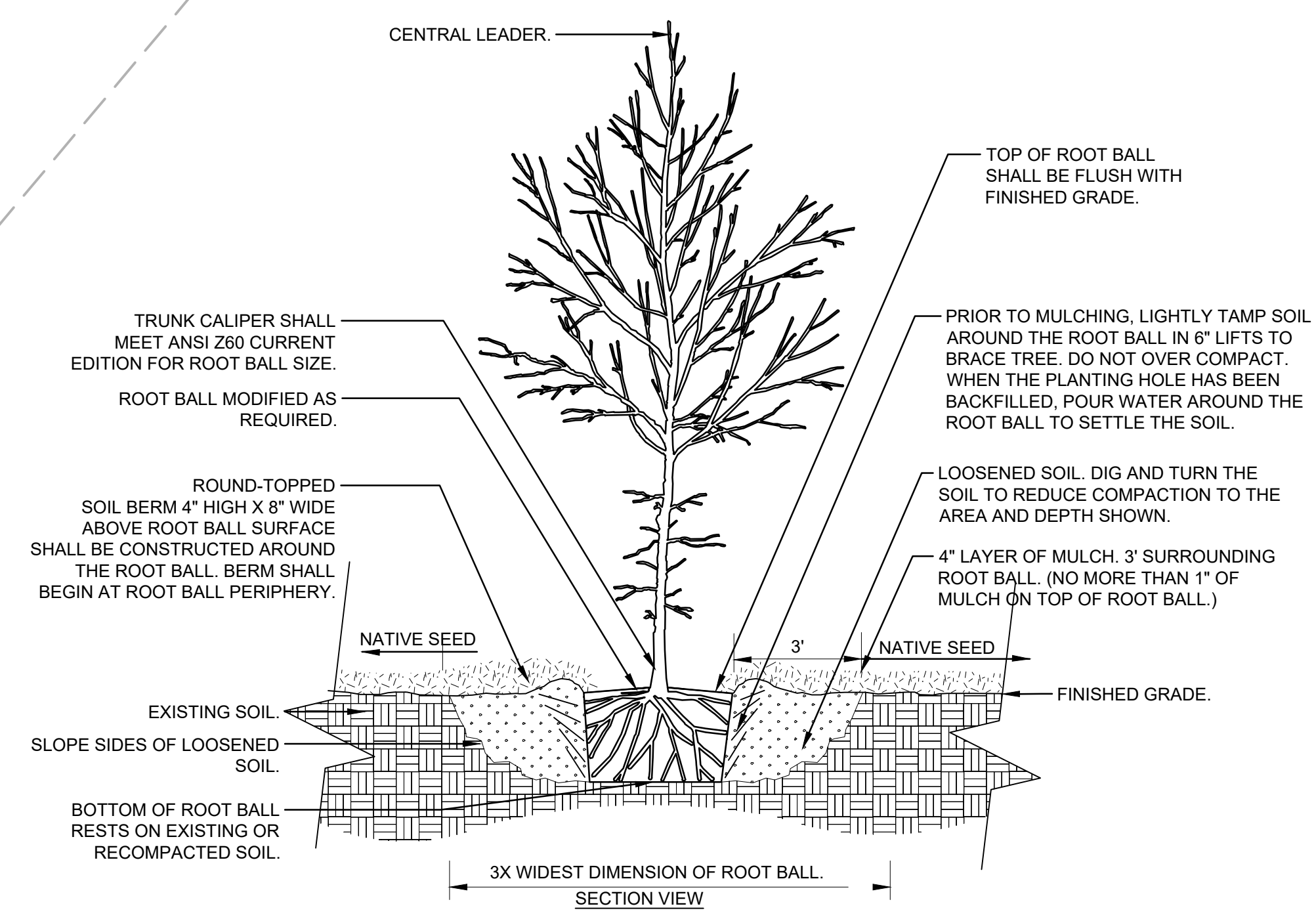
**LANDSCAPE SUMMARY:**  
 TOTAL SITE AREA = 0.63 ACRES (27,468 SF)

LANDSCAPE (RLA):	<b>REQUIRED</b>	<b>PROVIDED</b>
	5% = 1,375 SF	2,210 SF
	75% LIVE	85% LIVE
INTERIOR LANDSCAPING:		
TREES (1 1/2" CAL.)	1/250 SF = 6 TREES	10 TOTAL
SHRUBS (5 GAL.)	10/TREE (UP TO 50%)	10 TOTAL

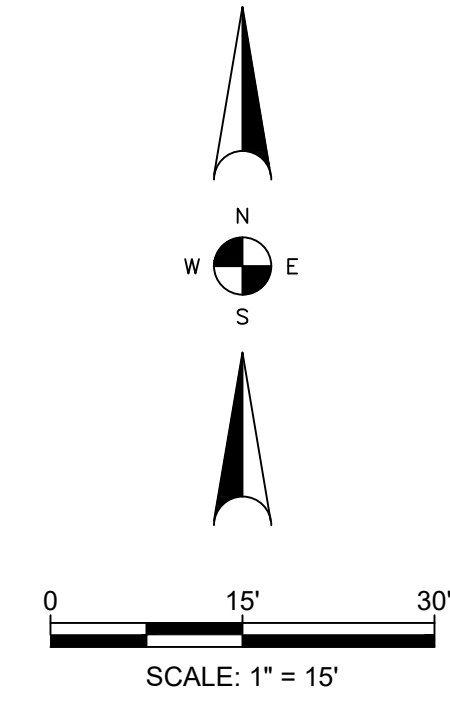
**IMPROVEMENTS:**

TOTAL BUILDING AREA	880 SF (0.02 ACRES)
TOTAL GRAVEL AREA	6,210 SF (0.14 ACRES)
TOTAL PARKING SPACES	3
TOTAL DWELLINGS	0

ZONING: RS-6000 AND RS-20000



TREE w/ BERM (EXISTING SOIL NOT MODIFIED)  
 NTS



48 HOURS BEFORE YOU DIG, CALL UTILITY NOTIFICATION CENTER OF COLORADO (UNCCO)

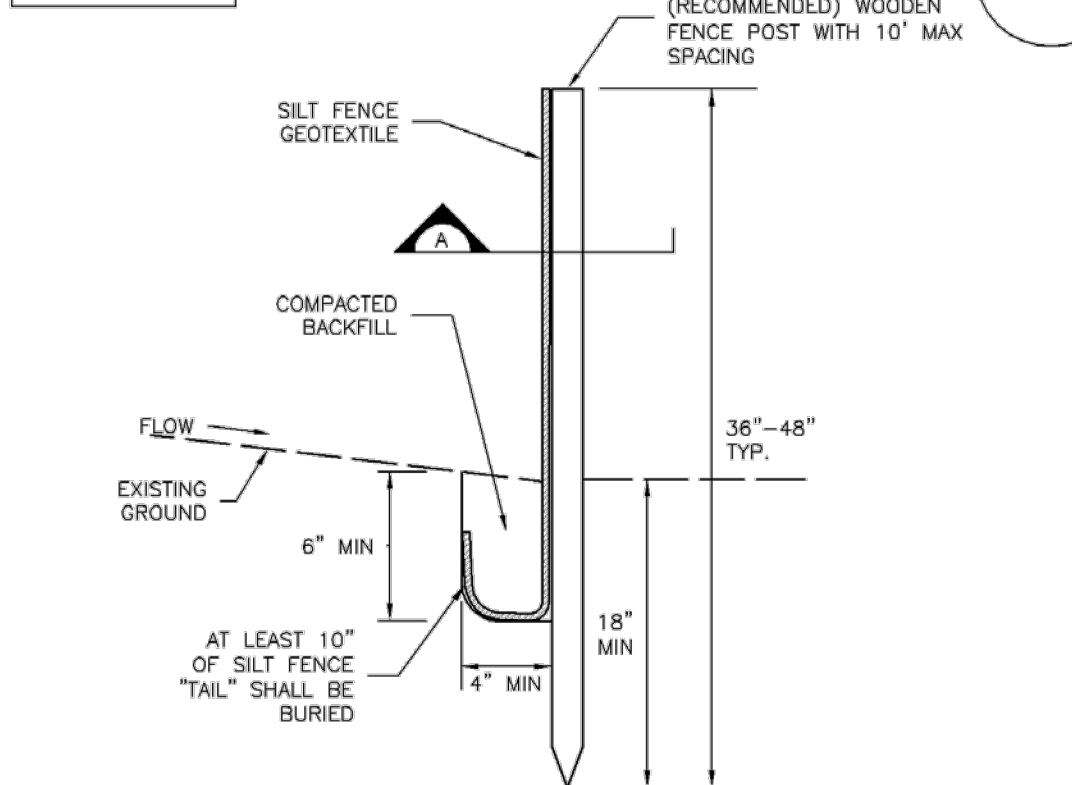
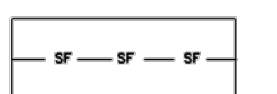
NO.	DESCRIPTION	REVISIONS	DATE	BY
1	EL PASO COUNTY SDF SUBMITTAL		5/3/23	JS/IRG

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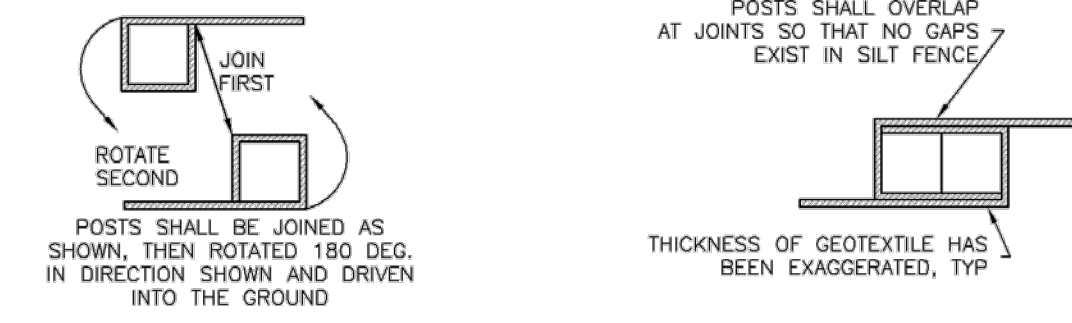
PAINT BRUSH HILLS PUMP HOUSE NO. 6  
 LANDSCAPE PLAN  
 PREPARED BY  
 PAINT BRUSH HILLS METROPOLITAN DISTRICT  
 9885 TOWNER AVENUE  
 PEYTON, CO 80831

DRAWN BY:	JGS	DESIGNED BY:	JS/IRG
JOB NUMBER:	1070.0014		
DATE:	5/4/23		
SCALE:	1" = 15'		
DRAWING DESCRIPTION:	LANDSCAPING		
SHEET NO.:	8	OF	17





SILT FENCE



SECTION A

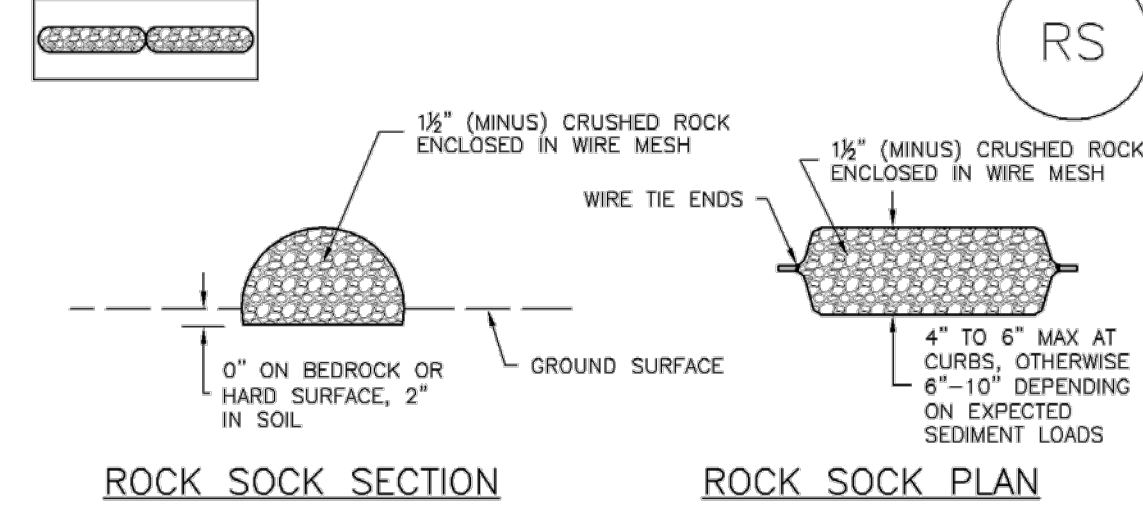
SF-1. SILT FENCE

SILT FENCE INSTALLATION NOTES

- 1. SILT FENCE MUST BE PLACED AWAY FROM THE TOE OF THE SLOPE TO ALLOW FOR WATER PONDING...
2. A UNIFORM 6" X 4" ANCHOR TRENCH SHALL BE EXCAVATED USING TRENCHER OR SILT FENCE INSTALLATION DEVICE...
3. COMPACT ANCHOR TRENCH BY HAND WITH A "JUMPING JACK" OR BY WHEEL ROLLING...
4. SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES...
5. SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES USING 1" HEAVY DUTY STAPLES...
6. AT THE END OF A RUN OF SILT FENCE ALONG A CONTOUR, THE SILT FENCE SHOULD BE TURNED PERPENDICULAR TO THE CONTOUR TO CREATE A "J-HOOK"...
7. SILT FENCE SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.

SILT FENCE MAINTENANCE NOTES

- 1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION...
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION...
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE...
4. SEDIMENT ACCUMULATED UPSTREAM OF THE SILT FENCE SHALL BE REMOVED AS NEEDED TO MAINTAIN THE FUNCTIONALITY OF THE BMP...
5. REPAIR OR REPLACE SILT FENCE WHEN THERE ARE SIGNS OF WEAR, SUCH AS SAGGING, TEARING, OR COLLAPSE...
6. SILT FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION...
7. WHEN SILT FENCE IS REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.



ROCK SOCK SECTION

ROCK SOCK PLAN

ANY GAP AT JOINT SHALL BE FILLED WITH AN ADEQUATE AMOUNT OF 1/2" (MINUS) CRUSHED ROCK AND WRAPPED WITH ADDITIONAL WIRE MESH SECURED TO ENDS OF ROCK REINFORCED SOCK...

GRADATION TABLE with columns for Sieve Size and Mass Percent Passing. Includes a note: MATCHES SPECIFICATIONS FOR NO. 4 COARSE AGGREGATE FOR CONCRETE PER AASHTO M43. ALL ROCK SHALL BE FRACTURED FACE, ALL SIDES.

ROCK SOCK JOINTING

- 1. SEE PLAN VIEW FOR: -LOCATION(S) OF ROCK SOCKS.
2. CRUSHED ROCK SHALL BE 1/2" (MINUS) IN SIZE WITH A FRACTURED FACE (ALL SIDES) AND SHALL COMPLY WITH GRADATION SHOWN ON THIS SHEET...
3. WIRE MESH SHALL BE FABRICATED OF 10 GAGE POULTRY MESH, OR EQUIVALENT, WITH A MAXIMUM OPENING OF 1/2", RECOMMENDED MINIMUM ROLL WIDTH OF 48"...
4. WIRE MESH SHALL BE SECURED USING "HOC RINGS" OR WIRE TIES AT 6" CENTERS ALONG ALL JOINTS AND AT 2" CENTERS ON ENDS OF SOCKS...
5. SOME MUNICIPALITIES MAY ALLOW THE USE OF FILTER FABRIC AS AN ALTERNATIVE TO WIRE MESH FOR THE ROCK ENCLOSURE.

RS-1. ROCK SOCK PERIMETER CONTROL

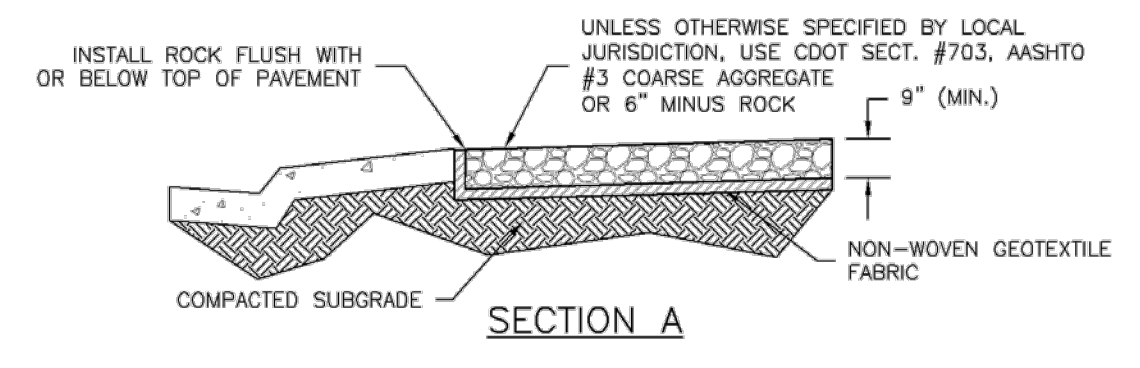
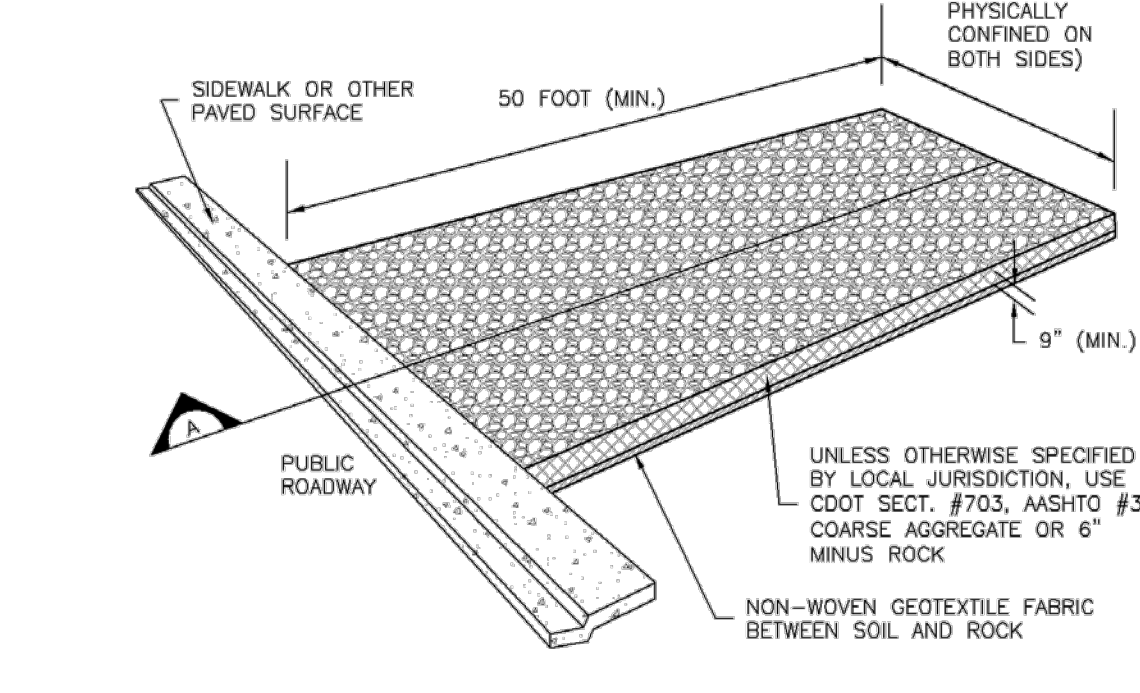
ROCK SOCK MAINTENANCE NOTES

- 1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION...
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION...
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE...
4. ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED, OR DAMAGED BEYOND REPAIR...
5. SEDIMENT ACCUMULATED UPSTREAM OF ROCK SOCKS SHALL BE REMOVED AS NEEDED TO MAINTAIN FUNCTIONALITY OF THE BMP...
6. ROCK SOCKS ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION...
7. WHEN ROCK SOCKS ARE REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

(DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, COLORADO, NOT AVAILABLE IN AUTOCAD)
NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.



VTC



SECTION A

VTC-1. AGGREGATE VEHICLE TRACKING CONTROL

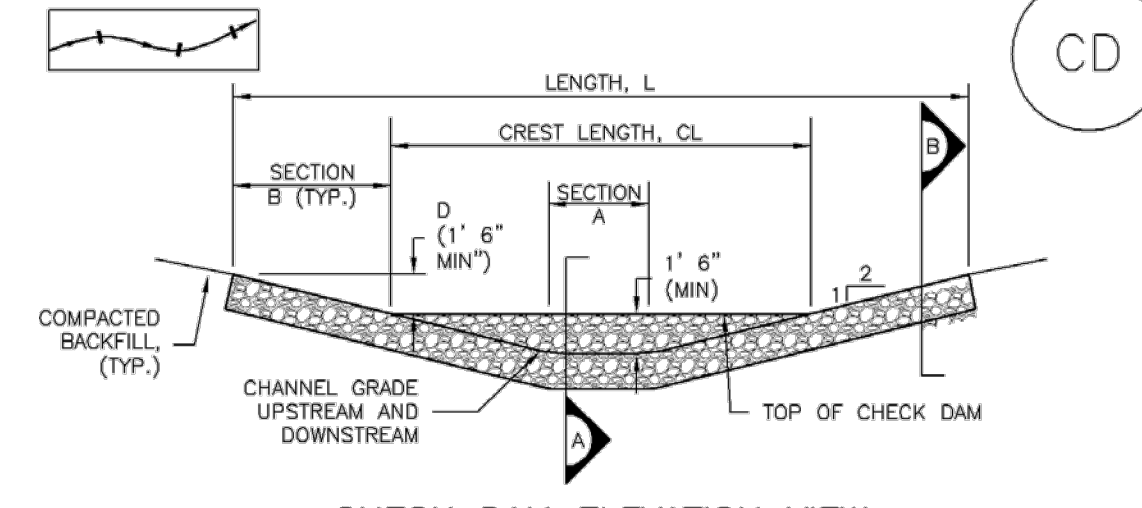
STABILIZED CONSTRUCTION ENTRANCE/EXIT INSTALLATION NOTES

- 1. SEE PLAN VIEW FOR: -LOCATION OF CONSTRUCTION ENTRANCE(S)/EXIT(S)...
2. CONSTRUCTION MAT OR TRM STABILIZED CONSTRUCTION ENTRANCES ARE ONLY TO BE USED ON SHORT DURATION PROJECTS...
3. A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE LOCATED AT ALL ACCESS POINTS WHERE VEHICLES ACCESS THE CONSTRUCTION SITE FROM PAVED RIGHT-OF-WAYS...
4. STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES...
5. A NON-WOVEN GEOTEXTILE FABRIC SHALL BE PLACED UNDER THE STABILIZED CONSTRUCTION ENTRANCE/EXIT PRIOR TO THE PLACEMENT OF ROCK...
6. UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.

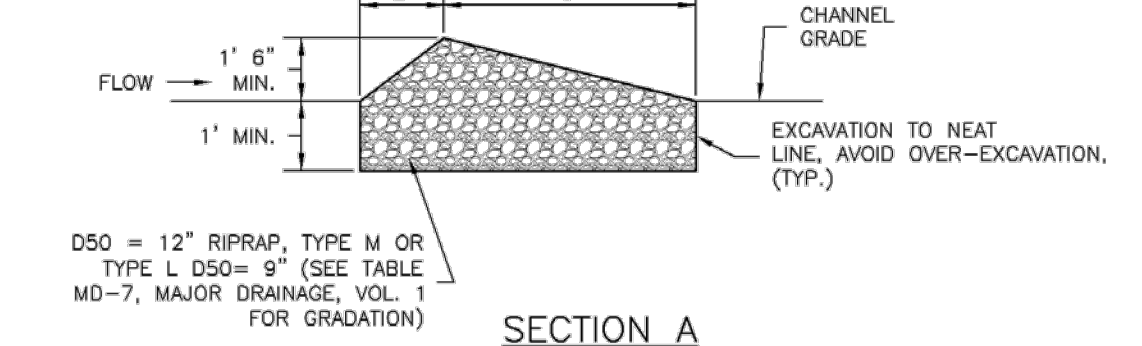
STABILIZED CONSTRUCTION ENTRANCE/EXIT MAINTENANCE NOTES

- 1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION...
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION...
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE...
4. ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY TO THE STABILIZED ENTRANCE/EXIT TO MAINTAIN A CONSISTENT DEPTH...
5. SEDIMENT TRACKED ONTO PAVED ROADS IS TO BE REMOVED THROUGHOUT THE DAY AND AT THE END OF THE DAY BY SHOVELING OR SWEEPING...
6. WHEN CHECK DAMS ARE REMOVED, EXCAVATIONS SHALL BE FILLED WITH SUITABLE COMPACTED BACKFILL...

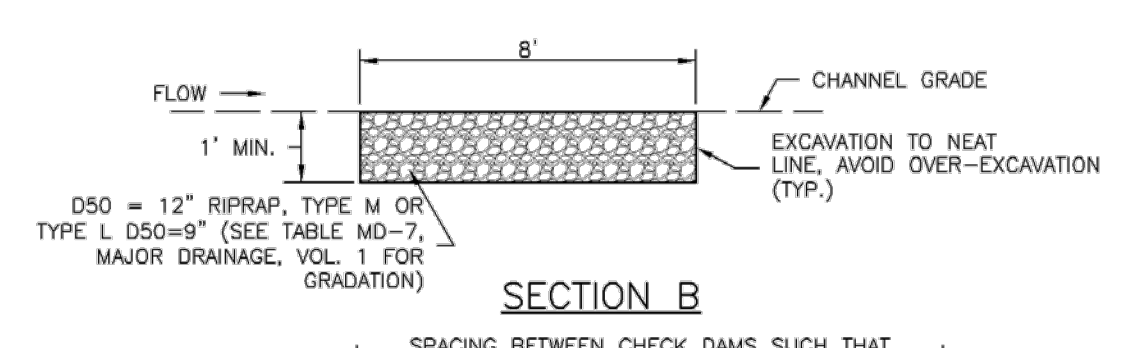
(DETAILS ADAPTED FROM CITY OF BROOMFIELD, COLORADO, NOT AVAILABLE IN AUTOCAD)
NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.



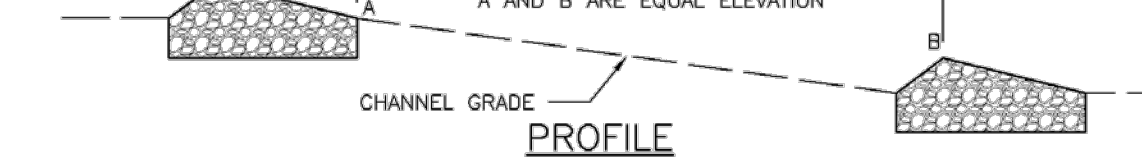
CHECK DAM ELEVATION VIEW



SECTION A



SECTION B



PROFILE

CD-1. CHECK DAM

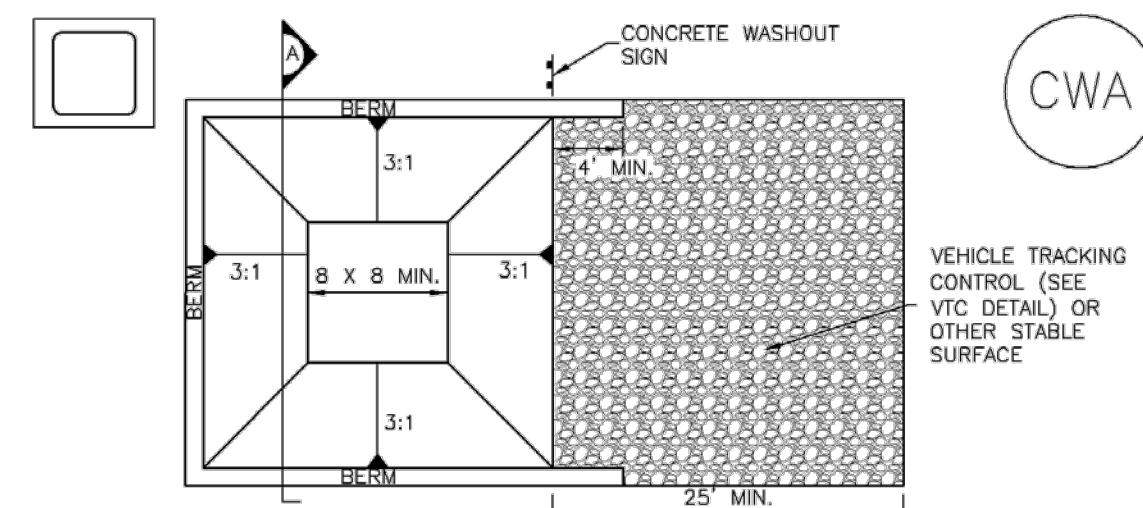
CHECK DAM INSTALLATION NOTES

- 1. SEE PLAN VIEW FOR: -LOCATION OF CHECK DAMS...
2. CHECK DAM TYPE (CHECK DAM OR REINFORCED CHECK DAM)...
3. RIPRAP UTILIZED FOR CHECK DAMS SHOULD BE OF APPROPRIATE SIZE FOR THE APPLICATION...
4. RIPRAP PAD SHALL BE TRENCHED INTO THE GROUND A MINIMUM OF 1"...
5. THE ENDS OF THE CHECK DAM SHALL BE A MINIMUM OF 1' 6" HIGHER THAN THE CENTER OF THE CHECK DAM.

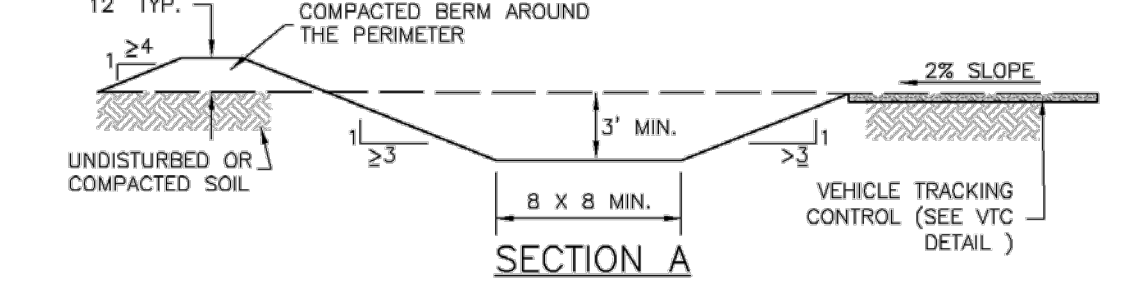
CHECK DAM MAINTENANCE NOTES

- 1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION...
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION...
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE...
4. SEDIMENT ACCUMULATED UPSTREAM OF THE CHECK DAMS SHALL BE REMOVED WHEN THE SEDIMENT DEPTH IS WITHIN 1/2 OF THE HEIGHT OF THE CREST...
5. CHECK DAMS ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION...
6. WHEN CHECK DAMS ARE REMOVED, EXCAVATIONS SHALL BE FILLED WITH SUITABLE COMPACTED BACKFILL...

(DETAILS ADAPTED FROM DOUGLAS COUNTY, COLORADO, NOT AVAILABLE IN AUTOCAD)
NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.



CONCRETE WASHOUT AREA PLAN



SECTION A

CWA-1. CONCRETE WASHOUT AREA

CWA INSTALLATION NOTES

- 1. SEE PLAN VIEW FOR: -CWA INSTALLATION LOCATION.
2. DO NOT LOCATE AN UNLINED CWA WITHIN 400' OF ANY NATURAL DRAINAGE PATHWAY OR WATERBODY...
3. THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE...
4. CWA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8' BY 8' SLOPES LEADING OUT OF THE SUBSURFACE PIT SHALL BE 3:1 OR FLATTER...
5. BERM SURROUNDING SIDES AND BACK OF THE CWA SHALL HAVE MINIMUM HEIGHT OF 1'...
6. VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE CWA...
7. SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE CWA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CWA...
8. USE EXCAVATED MATERIAL FOR PERIMETER BERM CONSTRUCTION.

CWA MAINTENANCE NOTES

- 1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION...
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION...
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE...
4. THE CWA SHALL BE REPAIRED, CLEANED, OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE...
5. CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE...
6. THE CWA SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED...
7. WHEN THE CWA IS REMOVED, COVER THE DISTURBED AREA WITH TOP SOIL, SEED AND MULCH OR OTHERWISE STABILIZED...
8. CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE...

(DETAIL ADAPTED FROM DOUGLAS COUNTY, COLORADO AND THE CITY OF PARKER, COLORADO, NOT AVAILABLE IN AUTOCAD)
NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

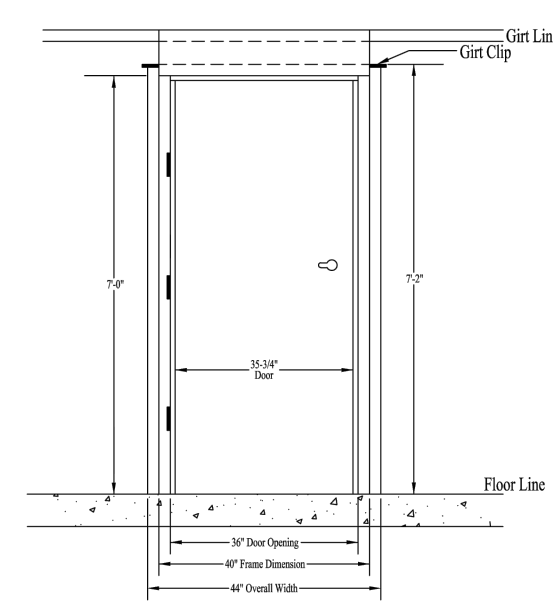
811 SCALE VERIFICATION BAR IS ONE INCH ON ORIGINAL DRAWING IF NOT AN INCH ON THIS SHEET SCALE ACCORDINGLY

REVISIONS table with columns for NO., DESCRIPTION, DATE, and BY.

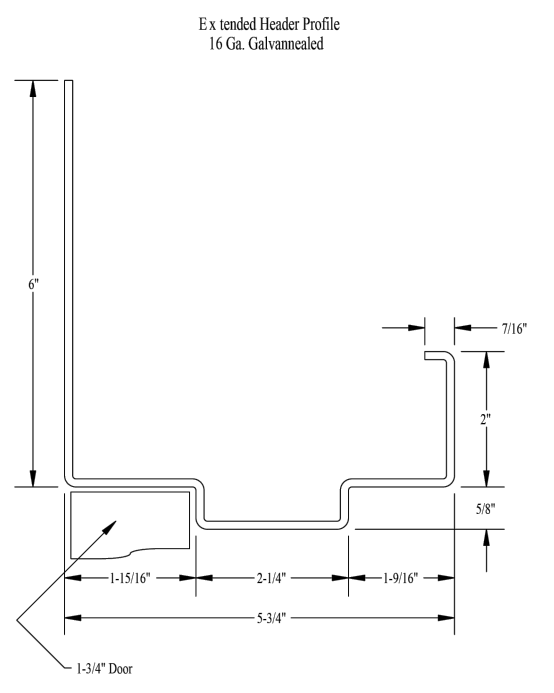
RG AND ASSOCIATES, LLC logo and contact information: 4885 Ward Road, Suite 100, Wheat Ridge, CO 80033. Del Norte, Wheat Ridge, 303-293-8107, www.rgengineers.com

PAINT BRUSH HILLS PUMP HOUSE NO. 6
EROSION CONTROL DETAILS
PAINT BRUSH HILLS METROPOLITAN DISTRICT
9885 TOWNER AVENUE
PEYTON, CO 80831

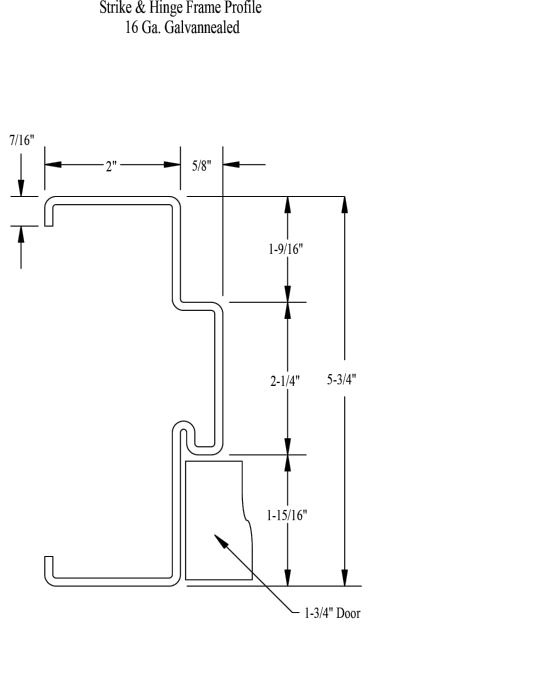
Project information table including DRAWN BY (JGS), DESIGNED BY (JS/RG), DATE (5/4/23), SCALE (1" = 20'), and SHEET NO. (9 of 17).



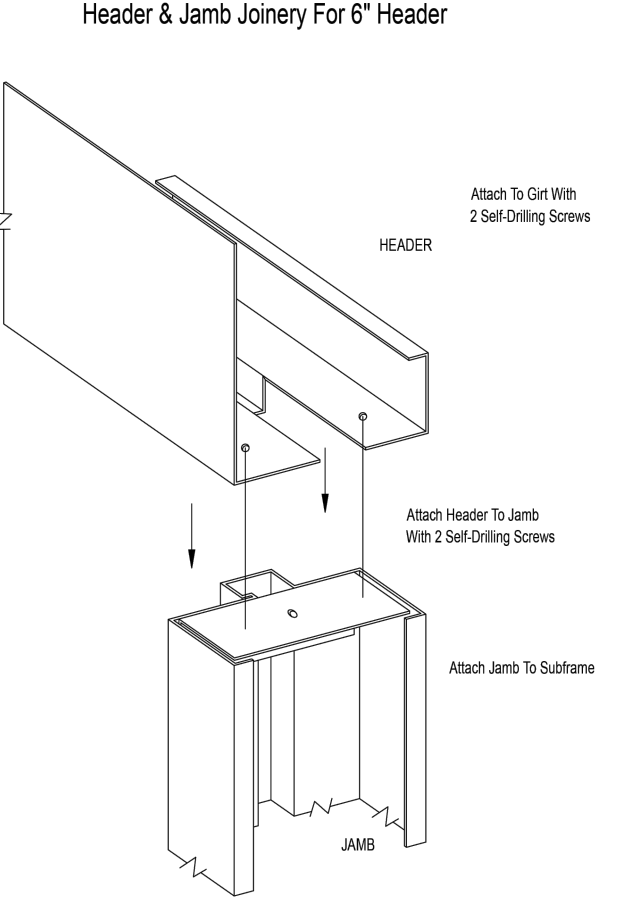
1 DOOR SYSTEM  
NOT TO SCALE



2 HEAD DETAIL  
NOT TO SCALE



3 JAMB DETAIL  
NOT TO SCALE



4 HEADER & JAMB JOINERY  
NOT TO SCALE

**Door Panel**  
CONSTRUCTION -- Standard door panels will be a flush 1-3/4\"/>

Door panels and end closures shall be manufactured of hot dip material in the 0.6 ounce (A60) coating class conforming to ASTM A924 and A653. The material shall be treated in the mill to insure superior prime and paint adhesion.

The panels shall be securely bonded by a thermosetting adhesive to an odorless, rigid foam (nominal 1 lb. density) that is resistant to vermin, fungus, bacteria, moisture, mildew and rot.

HARDWARE PREPARATIONS -- Lockset locations are in accordance with ANSI/DHI A115.1 (mortise) and A115.2 (bored). The lockset reinforcement shall be 14 gauge.

Hinge mortises shall be reinforced with 10 gauge steel, welded in place, and tapped for 1-1/2\"/>

All door panels shall be prepared with a 12 gauge closer reinforcement which will accept most regular and parallel arm applications. When called for on drawings, or otherwise specified, doors shall be prepared with 14 gauge reinforcements for panic devices and push-pull plates.

5 PREASSEMBLED DOOR SPECIFICATIONS  
NOT TO SCALE

**Door Frame**  
CONSTRUCTION -- Frame shall be formed of 16 gauge steel. Headers and jambs shall be mechanically connected for secure locking of the assembly. All corners shall present neatly butted joints. All stop heights are 5/8\"/>

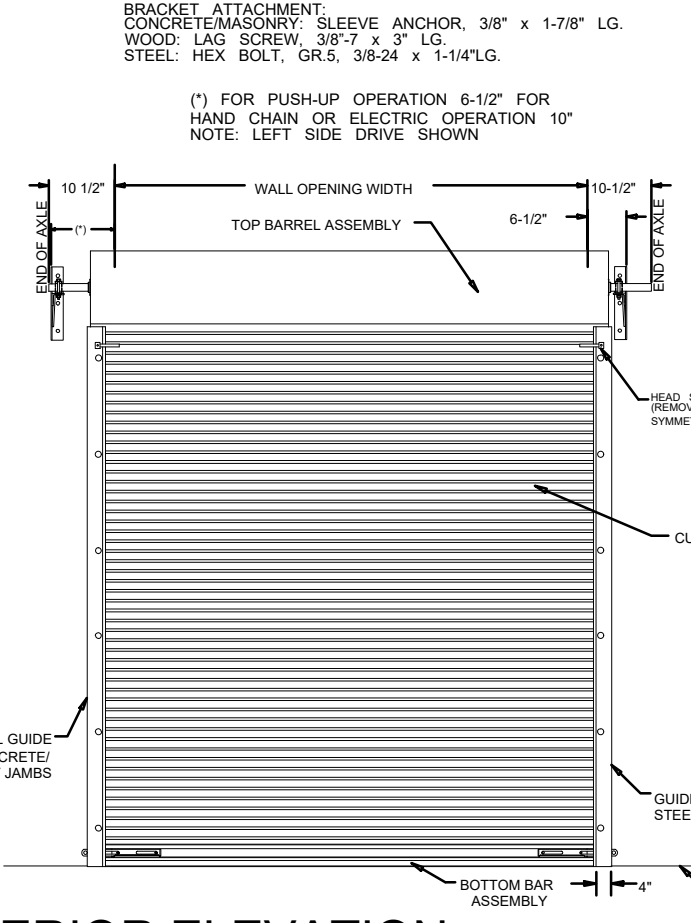
All frame members shall be manufactured of hot dip material in the 0.6 ounce (A60) coating class conforming to ASTM A924 and A653. The material shall be treated in the mill to insure superior prime and paint adhesion.

HARDWARE PREPARATIONS -- Hinges jambs shall be mortised and reinforced with 10 gauge steel welded in place and tapped for 1-1/2\"/>

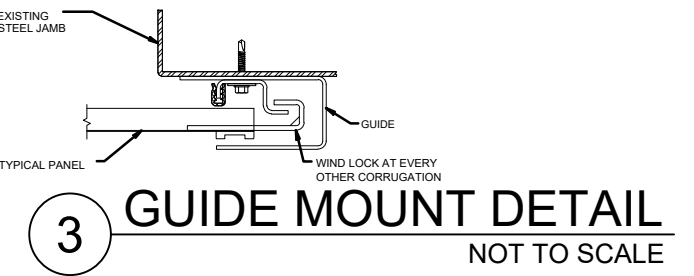
\* R-Value = 7  
\* U-Value = .14

**Subframing**  
The subframing creates a framed opening and consists of two galvanized steel 16 gauge C-channels that match the girt depth for the building. They shall be factory installed and can be prepared to meet most any application (curbs, wainscote, intermediate girt). For masonry applications, wire anchors will be provided in lieu of the subframing, or in the case of finished openings, the door frames can be prepared with existing opening anchors.

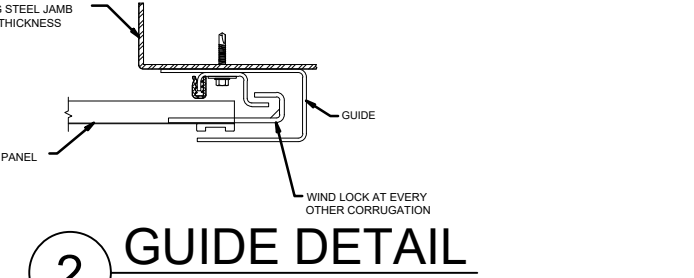
D MAN DOOR & DOOR FRAME DETAILS



1 INTERIOR ELEVATION  
NOT TO SCALE



2 GUIDE MOUNT DETAIL  
NOT TO SCALE

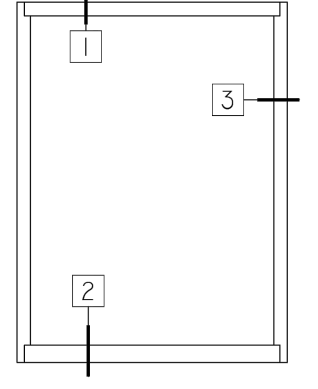


3 GUIDE DETAIL  
NOT TO SCALE

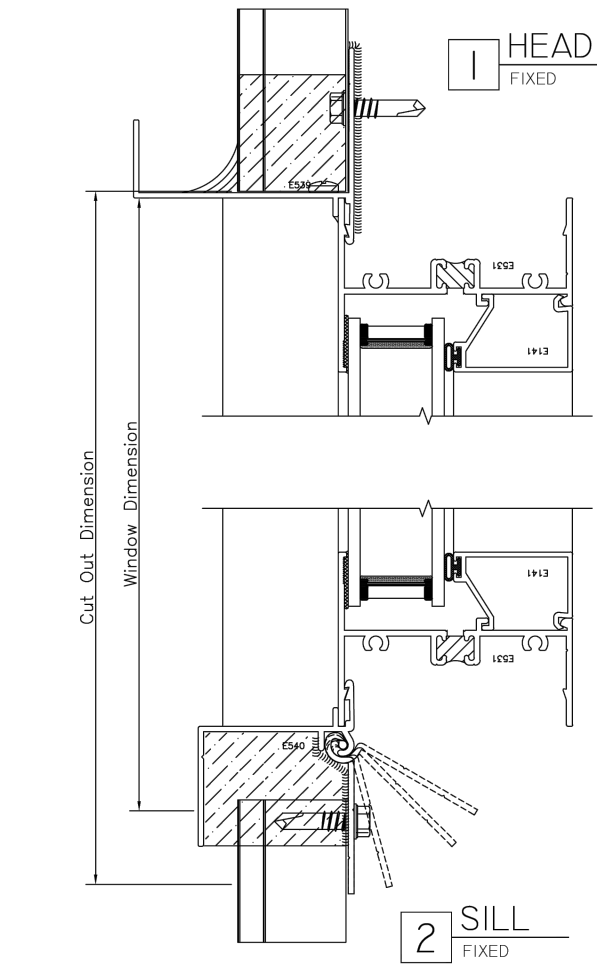
SYMBOL	DOOR						FRAME			FIRE RATING	DETAILS (THIS SHT)		HARDWARE SET
	DOOR TYPE	OPENING WIDTH	OPENING HEIGHT	DOOR MATERIAL	DOOR FINISH	FRAME TYPE	FRAME MATERIAL	FRAME FINISH	HEAD DETAIL		JAMB DETAIL		
DR-1	FLUSH PANEL	3'-0"	7'-0"	GALVANIZED STEEL	PAINTED	PRECAST	GALVANIZED STEEL	PAINTED	NONE	D2	D3	HS-1	
DR-2	FLUSH PANEL	3'-0"	7'-0"	GALVANIZED STEEL	PAINTED	PRECAST	GALVANIZED STEEL	PAINTED	NONE	D2	D3	HS-1	
DR-3	FLUSH PANEL	3'-0"	7'-0"	GALVANIZED STEEL	PAINTED	PRECAST	GALVANIZED STEEL	PAINTED	NONE	D2	D3	HS-1	
OH-1	OVERHEAD COILING	12'-0"	12'-0"	GALVANIZED STEEL	PAINTED	PRECAST	GALVANIZED STEEL	PAINTED	NONE	O1-03	O1-03	HS-2	

SET #	DOOR TYPE	HARDWARE TYPE	HARDWARE SCHEDULE											
			HINGES	MANUFACTURER	HANDLE/PULL	MANUFACTURER	CLOSER	MANUFACTURER	LOCKSET	MANUFACTURER	STOP	MANUFACTURER	STRIKE	MANUFACTURER
HS-1	FLUSH 1-3/4\"/>													
HS-2	COILING DOOR		REFER TO DBCI COILING DOOR SPECIFICATIONS FOR HARDWARE INFORMATION											

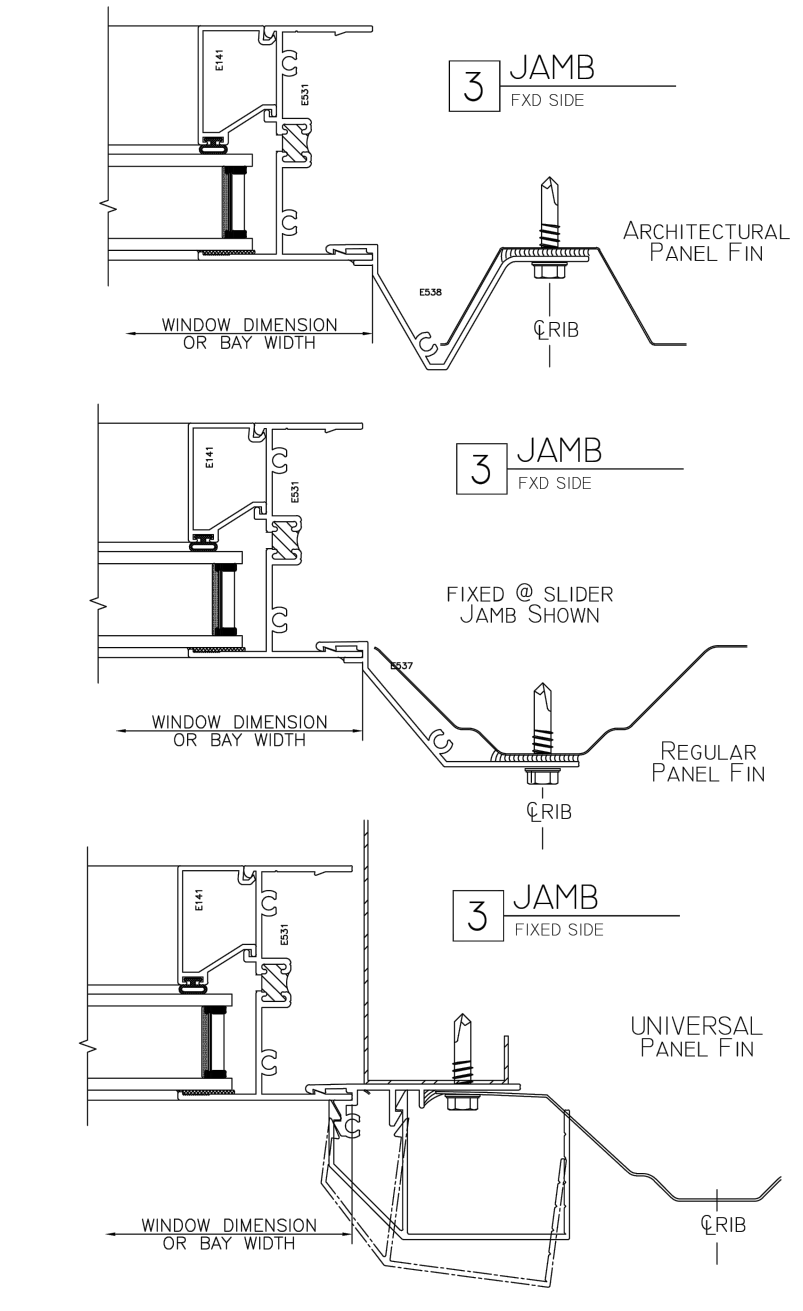
O OVERHEAD COILING DOOR DETAILS



1 WINDOW  
NOT TO SCALE



2 HEAD & SILL DETAIL  
NOT TO SCALE



3 JAMB DETAIL  
NOT TO SCALE

SYMBOL	TYPE	WINDOW HEIGHT	HEIGHT AFF	DETAILS (THIS SHT)	
				HEAD & SILL DETAIL	JAMB DETAIL
W1	INSULATED W/ LOW E-GLASS	4'-0"	8'-6"	W2	W3
W2		4'-0"	8'-6"	W2	W3
W3		4'-0"	8'-6"	W2	W3
W4		4'-0"	8'-6"	W2	W3

W WINDOW DETAILS

NOT TO SCALE

**NOTES:**  
BUILDING MANUFACTURER SHALL PROVIDE ALL SUPPORTS FOR MOUNTING, WALL PENETRATIONS, AND TRIM. MANUFACTURER SHALL ALSO PROVIDE ALL WALL PANELS, FRAMING, SUPPORTS, CONNECTIONS, AND BUILDING-RELATED ITEMS.  
PROFESSIONAL ENGINEER'S STAMP APPLIES ONLY TO THIS SHEET AND DOES NOT APPLY TO SUPERSTRUCTURE OR FOUNDATION DRAWINGS.

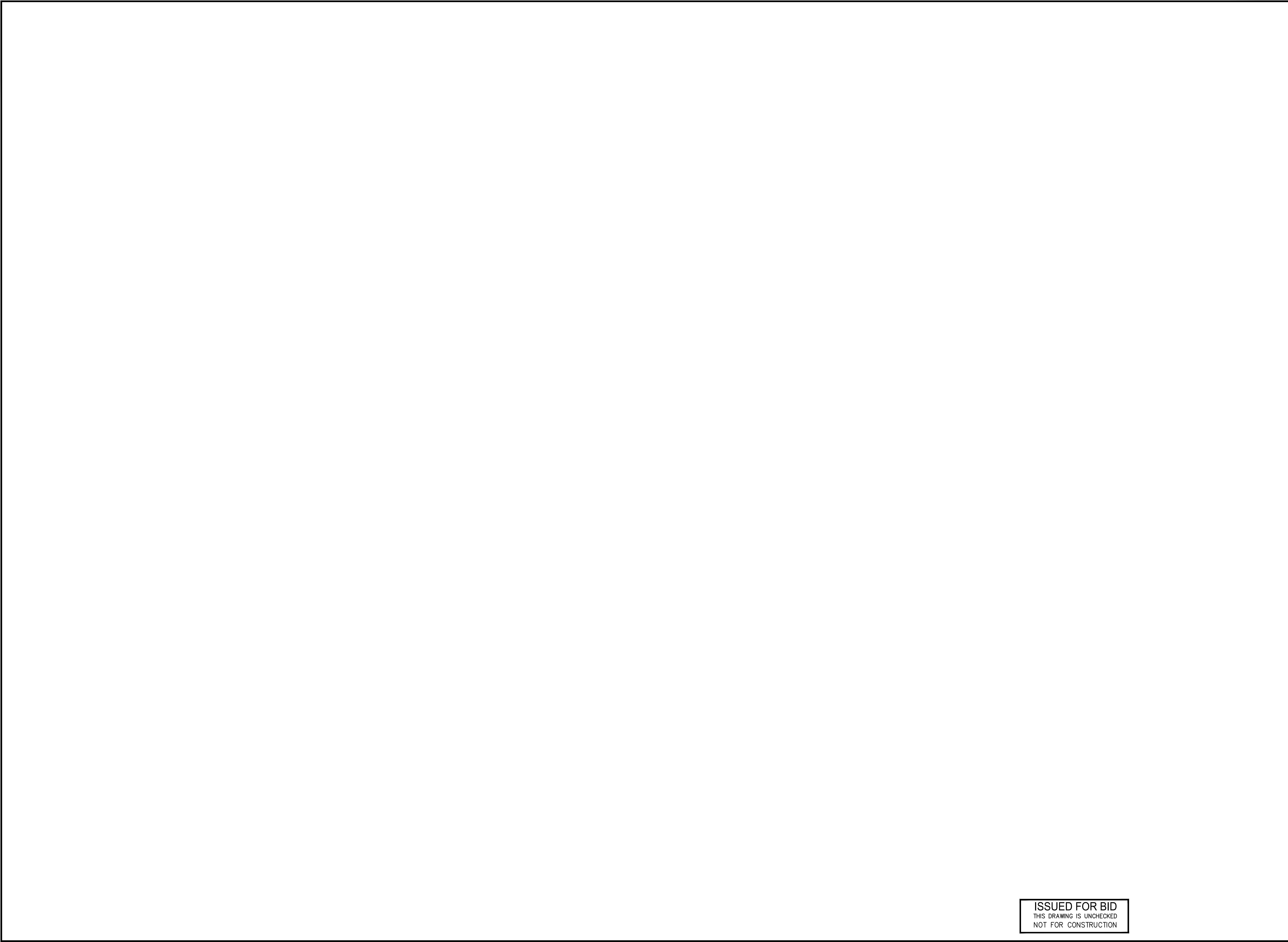
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NOT FOR CONSTRUCTION

NO.	DESCRIPTION	BY	DATE	REVISIONS
1	EL PASO COUNTY SDP SUBMITTAL	JCS	5/3/23	

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Del Norte • Wheat Ridge  
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PAINT BRUSH HILLS PUMP HOUSE NO. 6  
ARCH DETAILS  
PAINT BRUSH HILLS METROPOLITAN DISTRICT  
9885 TOWNER AVENUE  
PEYTON, CO 80831

DRAWN BY: JGS	DESIGNED BY: JS/RG
JOB NUMBER: 1070.0014	
DATE: 5/4/23	
SCALE: #####	
DRAWING DESCRIPTION: ---	
SHEET NO: A1	of 17



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JOB NUMBER:	1070.0014		
DATE:	5/4/23		
SCALE:	AS SHOWN		
DRAWING DESCRIPTION:	ELEC SITE PLAN		
SHEET NO:	E1	of	17

PAINT BRUSH HILLS PUMP HOUSE NO. 6  
OPERATION

**ELECTRICAL SITE PLAN**

PREPARED BY:  
PAINT BRUSH HILLS METROPOLITAN DISTRICT  
9885 TOWNER AVENUE  
PEYTON, CO 80831



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48 HOURS BEFORE YOURS, CALL UTILITY NOTIFICATION CENTER OF COLORADO (UNCCO)

**811**

GAS, ELECTRIC, TELEPHONE, CATV, AND PIPES AND CABLE LOCATIONS

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JOB NUMBER: 1070.0014  
DATE: 5/4/23  
SCALE: AS SHOWN  
DRAWING DESCRIPTION: ELEC PLAN  
SHEET NO: E2 of 17

PAINT BRUSH HILLS PUMP HOUSE NO. 6  
ELECTRICAL PLAN  
PREPARED FOR:  
PAINT BRUSH HILLS METROPOLITAN DISTRICT  
9885 TOWNER AVENUE  
PEYTON, CO 80831



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1	EL PASO COUNTY SDF SUBMITTAL		5/03/23	JCS
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DESIGNED BY: JS/RG  
JOB NUMBER: 1070.0014  
DATE: 5/4/23  
SCALE: AS SHOWN  
DRAWING DESCRIPTION: LIGHTING PLAN  
SHEET NO: E3 of 17

PAINT BRUSH HILLS PUMP HOUSE NO. 6  
LIGHTING PLAN  
PREPARED FOR:  
PAINT BRUSH HILLS METROPOLITAN DISTRICT  
9885 TOWNER AVENUE  
PEYTON, CO 80831



NO. DESCRIPTION REVISIONS

NO.	DESCRIPTION	REVISIONS	DATE	BY
1	EL PASO COUNTY SDF SUBMITTAL		5/03/23	JGS
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JOB NUMBER: 1070.0014  
DATE: 5/4/23  
SCALE: AS SHOWN  
DRAWING DESCRIPTION: ONE-LINE  
SHEET NO: E4 of 17

PAINT BRUSH HILLS PUMP HOUSE NO. 6  
ONE-LINE DIAGRAM  
PREPARED BY:  
PAINT BRUSH HILLS METROPOLITAN DISTRICT  
9885 TOWNER AVENUE  
PEYTON, CO 80831



NO.	DESCRIPTION	REVISIONS	DATE	BY
1	EL PASO COUNTY SDF SUBMITTAL		5/03/23	JCS
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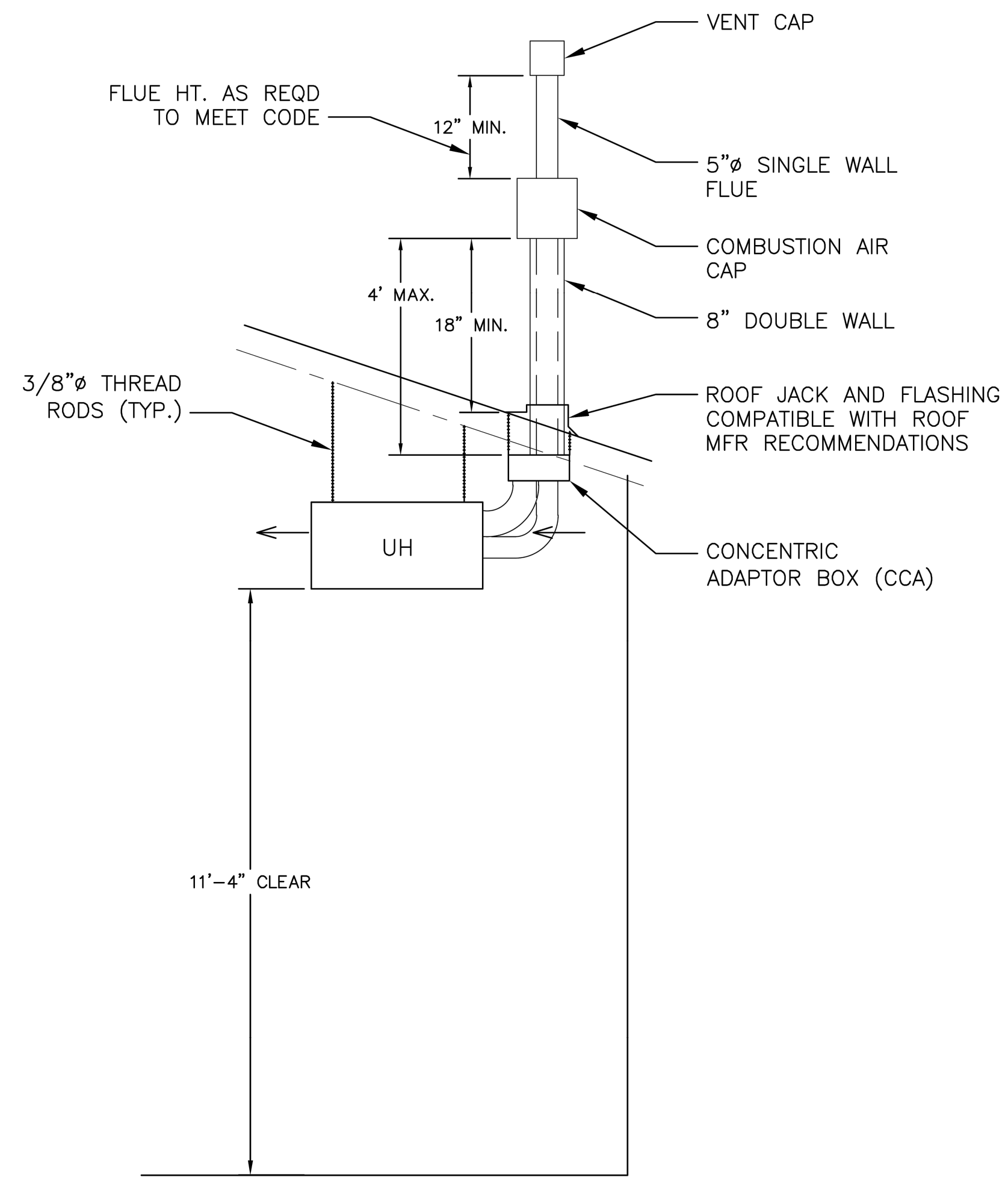
DRAWN BY: JGS  
DESIGNED BY: JS/RG  
JOB NUMBER: 1070.0014  
DATE: 5/4/23  
SCALE: AS SHOWN  
DRAWING DESCRIPTION: HVAC PLAN  
SHEET NO: M1 of 17

PAINT BRUSH HILLS PUMP HOUSE NO. 6  
DESIGNATION  
HVAC PLAN  
PREPARED BY:  
PAINT BRUSH HILLS METROPOLITAN DISTRICT  
9885 TOWNER AVENUE  
PEYTON, CO 80831



NO.	DESCRIPTION	REVISIONS	DATE	BY
1	EL PASO COUNTY SDF SUBMITTAL		5/03/23	JCS
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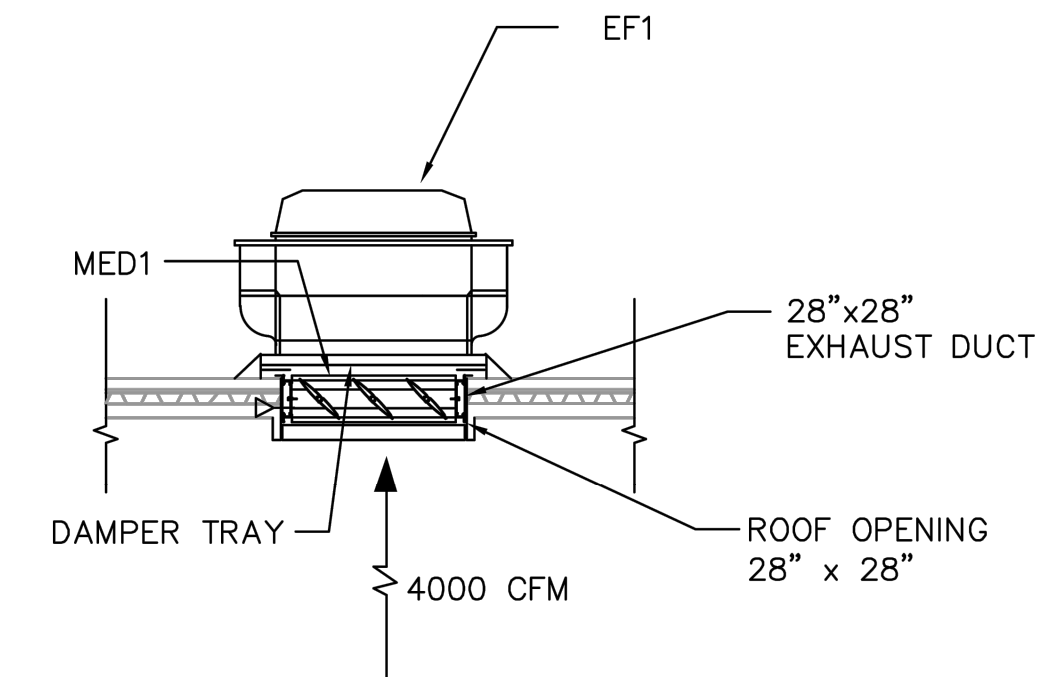
48 HOURS BEFORE YOU DIG, CALL UTILITY NOTIFICATION CENTER OF COLORADO (UNCCO) **811**  
GAS, ELECTRIC, TELEPHONE, CATV, AND PIPES AND CABLE LOCATIONS  
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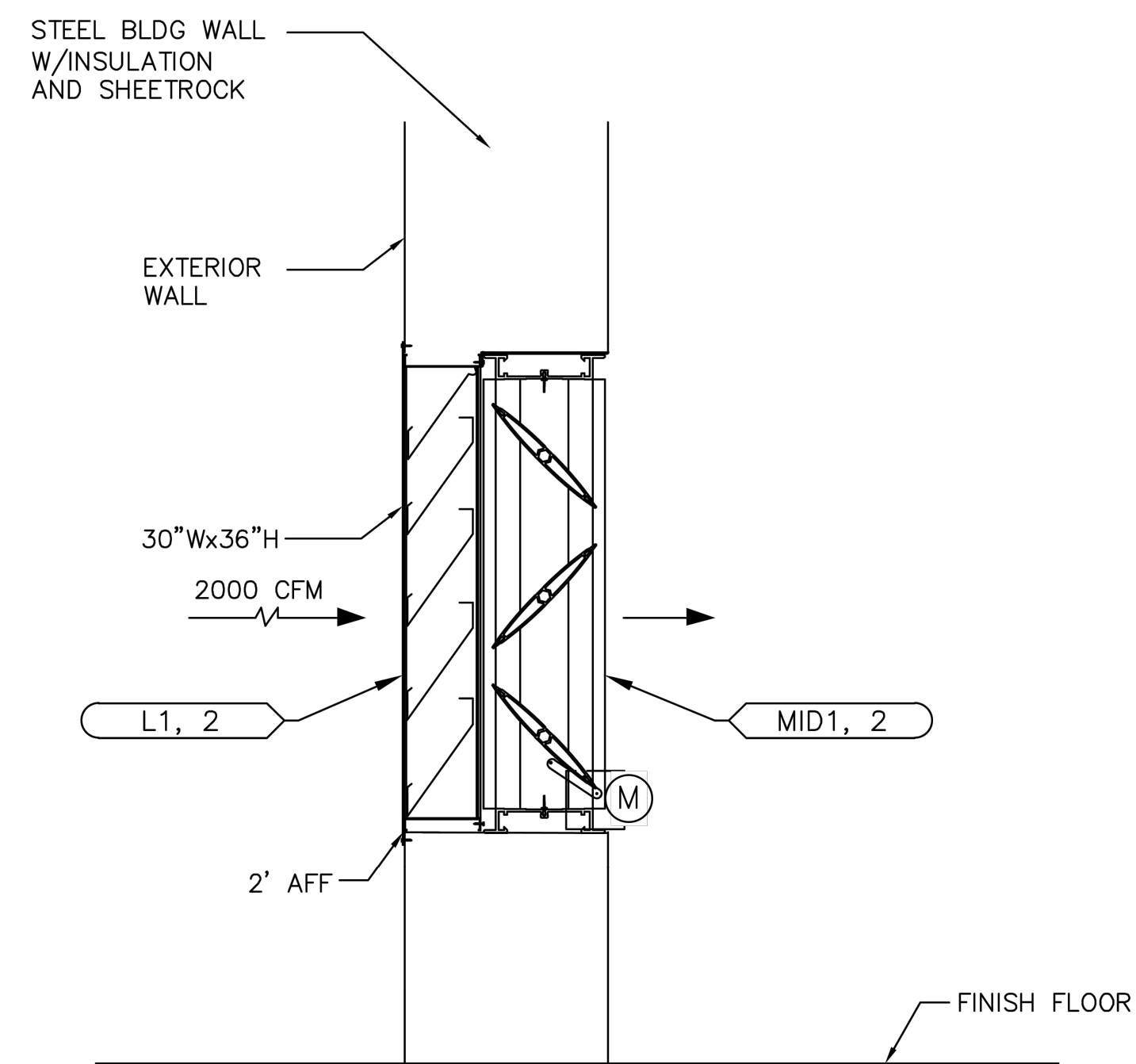
1 UNIT HEATER MOUNTING DETAIL  
MD1 NOT TO SCALE

**UNIT HEATER NOTES:**

1. INSTALL ALL COMPONENTS IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.
2. SUSPEND UNIT HEATER WITH 4-3/8" THREADED RODS ATTACHED TO STRUCTURAL MEMBERS WITH CLAMPS.
3. SUPPORT CCA AND FLUE STACK FIRMLY FOR WEIGHT AND WIND LOAD. BRACE AS REQUIRED.
4. INSTALL UNIT HEATER GAS PIPING AS RECOMMENDED BY UNIT HEATER MANUFACTURER INSTRUCTIONS.
5. VENT PIPE APPROVED TO CATEGORY III – DOUBLE WALL STAINLESS STEEL WITH LOCKING CLAMPS.



2 EXHAUST FAN (EF1) DETAIL  
MD1 NOT TO SCALE



3 MOTORIZED INTAKE LOUVER AND DAMPER DETAIL  
MD1 NOT TO SCALE

**ISSUED FOR BID**  
THIS DRAWING IS UNCHECKED  
NOT FOR CONSTRUCTION

48 HOURS BEFORE YOU OPEN CALL UTILITY NOTIFICATION CENTER OF COLORADO (UNCCO)  
**811**  
GAS, ELECTRIC, TELEPHONE, CATV, AND PIPES AND CABLES ARE LOCATED HERE  
**SCALE VERIFICATION**  
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NO.	DESCRIPTION	DATE	BY
1	EL PASO COUNTY SDF SUBMITTAL	5/3/23	JCS

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PAINT BRUSH HILLS PUMP HOUSE NO. 6  
DESIGNATION  
**HVAC DETAILS**  
PROJECT FOR  
PAINT BRUSH HILLS METROPOLITAN DISTRICT  
9885 TOWNER AVENUE  
PEYTON, CO 80831

DRAWN BY:	JCS	DESIGNED BY:	JS/RG
DWG NUMBER:	1070.0014		
DATE:	5/4/23		
SCALE:	AS SHOWN		
DRAWING DESCRIPTION:	MECH DETAILS		
SHEET NO:	MD1	of	17



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DRAWN BY: JGS  
DESIGNED BY: JS/RG  
JOB NUMBER: 1070.0014  
DATE: 5/4/23  
SCALE: AS SHOWN  
DRAWING DESCRIPTION: HVAC SCHEDULE  
SHEET NO: MS1 of 17

PAINT BRUSH HILLS PUMP HOUSE NO. 6  
HVAC SCHEDULE  
PREPARED BY:  
PAINT BRUSH HILLS METROPOLITAN DISTRICT  
9885 TOWNER AVENUE  
PEYTON, CO 80831



NO.	DESCRIPTION	REVISIONS	DATE	BY
1	EL PASO COUNTY SDF SUBMITTAL		5/03/23	JCS
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48 HOURS BEFORE YOU DIG, CALL UTILITY NOTIFICATION CENTER OF COLORADO (UNCCO) **811**  
GAS, ELECTRIC, TELEPHONE, CATV, AND PIPES AND CABLE LOCATIONS  
**SCALE VERIFICATION**  
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