

# PAINT BRUSH HILLS METROPOLITAN DISTRICT PUMP HOUSE SIX UTILITY BUILDING SITE DEVELOPMENT PLAN

LOCATED WITHIN THE NORTHEAST QUARTER OF SECTION 26,  
TOWNSHIP 12 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
COUNTY OF EL PASO, STATE OF COLORADO

SEPTEMBER, 2023

## SHEET INDEX

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	OVERALL TRACT PLAN
3	HORIZONTAL CONTROL PLAN
4	SITE AND UTILITY PLAN
5	ELEVATIONS
6	LANDSCAPE PLAN

## CONTACTS

### REVIEWING AGENCY

EL PASO COUNTY  
DEVELOPMENT SERVICES DEPARTMENT  
2880 INTERNATIONAL CIRCLE  
COLORADO SPRINGS, CO 80910  
(719) 520-6300

### OWNER

PAINT BRUSH HILLS METROPOLITAN DISTRICT  
9985 TOWNER AVENUE  
PEYTON, CO 80831  
ROBERT GUEVARA, DISTRICT MANAGER  
(719) 495-8188, FAX (719) 495-8008  
EMAIL: ROBERT@PBHMD.COM

### ENGINEERING

RG AND ASSOCIATES, LLC  
4885 WARD ROAD, SUITE 100  
WHEAT RIDGE, CO 80033  
(303) 293-8107, FAX (303) 293-8106  
RICK GONCALVES, P.E.  
(303) 468-8484  
EMAIL: RICKG@RGENGINEERS.COM

### SURVEYING

AZTEC CONSULTANTS, INC.  
300 EAST MINERAL AVE. SUITE 1  
LITTLETON, CO 80122  
(303) 713-1898

### EMERGENCY SERVICES

FIRE:  
FALCON FIRE PROTECTION DISTRICT  
7030 OLD MERIDIAN ROAD  
FALCON, CO 80831  
TRENT HARWIG, FIRE CHEIF  
(719) 495-4050 FAX (719) 495-3112  
WWW.FALCONFIREPD.ORG

### UTILITIES

ELECTRIC:  
MOUNTAIN VIEW ELECTRIC ASSOCIATION, INC.  
111140 E. WOODMAN ROAD  
FALCON, CO 80831  
(719) 495-2283  
WWW.MVEA.COOP

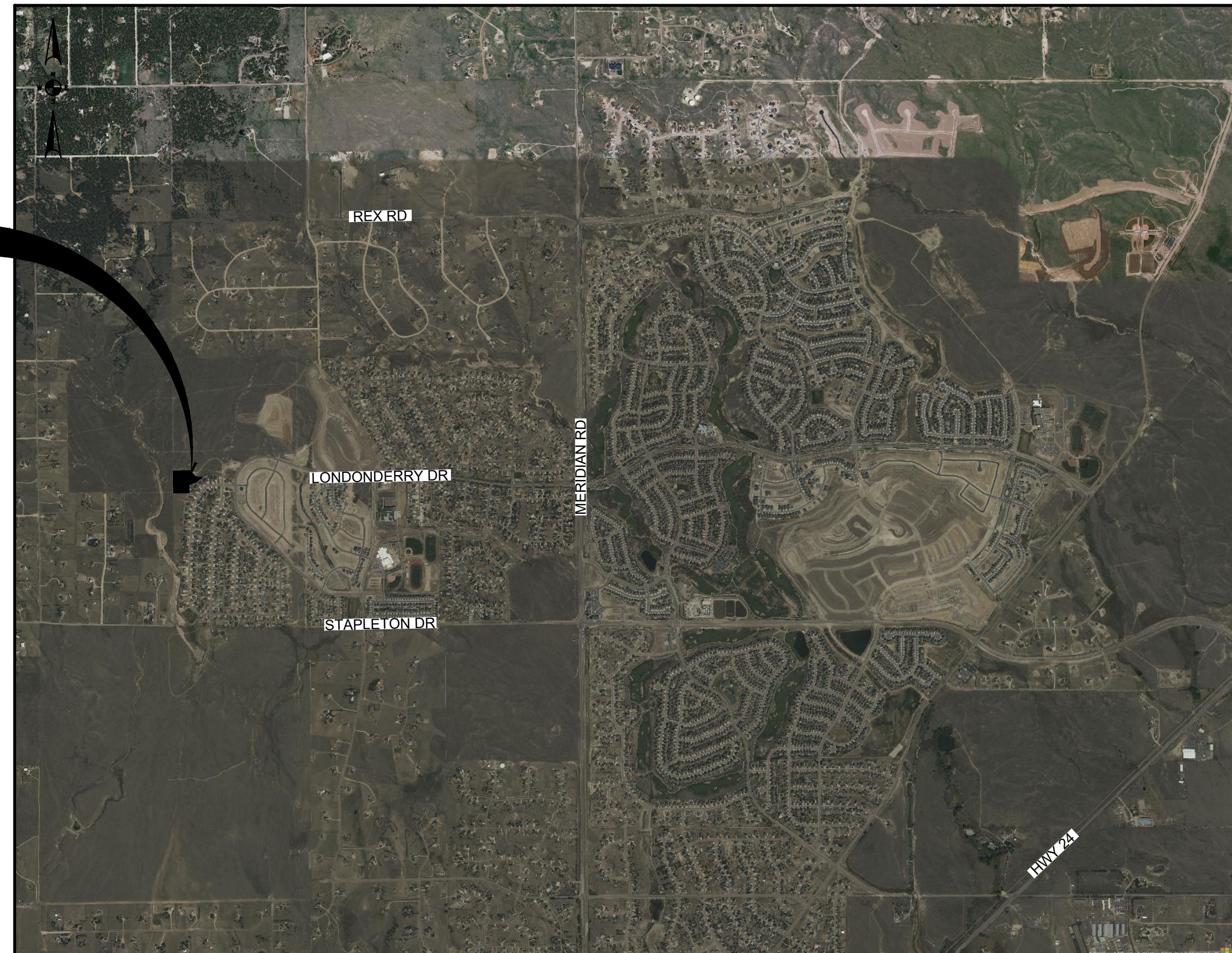
WATER & SEWER:  
PAINT BRUSH HILLS METROPOLITAN DISTRICT  
9830 LIBERTY GROVE AVENUE  
FALCON, CO 80831  
(719) 495-8188

COMMUNICATIONS:  
CENTURYLINK  
3556 NEW CENTER POINT  
COLORADO SPRINGS, CO 80922  
(719) 591-0861

COMMUNICATIONS:  
FALCON BROADBAND, INC.  
555 HATHAWAY DRIVE  
COLORADO SPRINGS, CO 80919  
(719) 573-5343

GAS:  
BLACK HILLS ENERGY  
18985 BASE CAMP RD A-7  
MONUMENT, CO 80132  
(888) 890-5554  
WWW.BLACKHILLSENERGY.COM

PUMP HOUSE 6  
UTILITY BUILDING



VICINITY MAP

1" = 2000 FEET

### LEGAL DESCRIPTION:

A PORTION OF:

TRACT A, PAINT BRUSH HILLS FILING NO. 12

A PORTION OF THE EAST HALF OF SECTION 26, IN TOWNSHIP 12 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TRACT A AS PLATTED IN PAINT BRUSH HILLS FILING NO. 12 RECORDED UNDER RECEPTION NO. 5226101006. RECORDS OF EL PASO COUNTY, COLORADO.

CONTAINING A CALCULATED AREA OF 153,564 SQUARE FEET OR 3.53 ACRES.

TRACT B, PAINT BRUSH HILLS FILING NO. 14

A REPLAT OF TRACT E, PAINT BRUSH HILLS FILING 13E, BEING A PORTION OF THE NE 1/4 SECTION 26, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TRACT B AS PLATTED IN PAINT BRUSH HILLS FILING NO. 14 RECORDED UNDER RECEPTION NO. 5226101057. RECORDS OF EL PASO COUNTY, COLORADO.

CONTAINING A CALCULATED AREA OF 10,767 SQUARE FEET OR 0.247 ACRES, MORE OR LESS.

### LOTS SUMMARY:

FILING 12, TRACT A:

ADDRESS: ROCKINGHAM DR.

ZONING: RS-20000

FILING 14, TRACT B:

ADDRESS: 10102 KEYNES DR.

ZONING: RS-6000

### FUGITIVE DUST DURING CONSTRUCTION

DEVELOPMENTS SHALL COMPLY WITH THE FOLLOWING STANDARDS:

- CONSTRUCTION ACTIVITY COMPLIANCE ANY PERSON ENGAGED IN GRADING, EXCAVATING, FILLING, OR OTHER CONSTRUCTION ACTIVITY OF GREATER THAN ONE ACRE SHALL BE REQUIRED TO COMPLY WITH THE REQUIREMENTS OF THE AIR QUALITY REGULATIONS. OBTAIN A CONSTRUCTION ACTIVITY PERMIT FROM EL PASO COUNTY PUBLIC HEALTH, AND COMPLY WITH APPLICABLE REQUIREMENTS.

EMISSION CONTROL PLAN REQUIRED:

- DURATION OF CONSTRUCTION EXCEEDS 6 MONTHS: THE EMISSION CONTROL PLAN SHALL BE APPROVED PRIOR TO SITE GRADING AND A STATE CONSTRUCTION PERMIT SHALL BE OBTAINED PRIOR TO BEGINNING CONSTRUCTION.
- NUISANCE CONDITIONS: REGARDLESS OF THE SIZE OR DURATION OF DEVELOPMENT, LAND DISTURBANCE SHALL BE CONDUCTED SO NUISANCE CONDITIONS ARE NOT CREATED. IF DUST EMISSIONS DO CREATE A NUISANCE, AN EMISSION CONTROL PLAN IS REQUIRED.
- EPCPH REVIEW OF EMISSION CONTROL PLANS: THE EPCPH SHALL REVIEW AND APPROVE ALL EMISSION CONTROL PLANS.
- DUST CONTROL MEASURES: ACCEPTABLE DUST CONTROL MEASURES AND OPERATING PROCEDURES FOR CONSTRUCTION ACTIVITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, PLANTING VEGETATION COVER, PROVIDING SYNTHETIC COVER, WATERING, CHEMICAL STABILIZATION, FURROWS, COMPACTING, MINIMIZING DISTURBED AREA, WIND BREAKS, ON-SITE VEHICLE SPEED CONTROL, AND DELAYED SURFACE OPENING. SOLID WOOD FENCING ALONG ADJACENT DEVELOPED AREAS MAY BE REQUIRED.

HAUL TRUCKS AND HAULAGE EQUIPMENT:

- DEPOSITION OF DIRT AND MUD ON ROADS: ANY PERSON UNDERTAKING ANY CONSTRUCTION, DEMOLITION, DISMANTLING, OR EARTHMOVING ACTIVITIES SHALL PREVENT THE DEPOSIT OF DIRT, MUD, OR DEBRIS ON PUBLIC ROADS; AND SHOULD DEPOSITION OCCUR, THE DIRT, MUD OR DEBRIS SHALL BE REMOVED AS QUICKLY AS POSSIBLE BY THE PERSON PERFORMING THE ACTIVITIES.
- PARTICULATES EMISSION IN TRANSIT: PARTICULATES THAT MAY BE EMITTED IN TRANSIT SHALL BE CONTROLLED BY COVERING, WETTING OR OTHERWISE TREATING THE LOAD PRIOR TO TRANSIT.

OPEN BURNING:

- NO OPEN BURNING WITHOUT PERMIT: NO PERSON SHALL BURN OR ALLOW THE BURNING OF RUBBISH, WASTE PAPER, WOOD, OR OTHER FLAMMABLE MATERIAL ON ANY LOT, TRACT, OR PARCEL, OR ON ANY PUBLIC ROAD, ALLEY, OR OTHER LAND UNLESS AN OPEN BURNING PERMIT IS FIRST OBTAINED FROM THE EPCPH AND IN CONFORMANCE WITH THE AIR QUALITY REGULATIONS.

### EROSION AND SEDIMENT CONTROL PLAN

- PURPOSE: THE PURPOSE OF THE EROSION AND SEDIMENT CONTROL PLAN IS TO CONTROL EROSION DURING CONSTRUCTION IN COMPLIANCE WITH THE REGULATIONS AND EROSION CONTROL STANDARDS OUTLINED IN THE EROSION CONTROL MANUAL.
- REQUIREMENTS FOR EROSION AND SEDIMENT CONTROL PLAN: DETAILS OF THE PLAN REQUIREMENTS AND STANDARDS ARE CONTAINED IN THE EROSION CONTROL MANUAL.
- FINANCIAL ASSURANCE REQUIRED: FINANCIAL ASSURANCE FOR ALL TEMPORARY AND PERMANENT MEASURES TO PREVENT AND CONTROL ANTICIPATED EROSION SHALL BE PROVIDED IN CONFORMANCE WITH THE EROSION CONTROL MANUAL.

### OPERATIONS AND MAINTENANCE PLAN (STORMWATER QUALITY FACILITY)

- DURING AND UP TO FINAL STABILIZATION, THE CONTRACTOR SHALL CHECK AND CLEAN OFF DEBRIS AND SEDIMENT AS NEEDED: OUTLET STRUCTURES, PIPES, OUTFALL AND STORMWATER QUALITY AREA FOLLOWING EVERY MEASURABLE STORM EVENT AND EVERY 2 WEEKS (MIN.).
- UPON FINAL ACCEPTANCE AND THEN AFTER, THE OWNER WILL CHECK AND CLEAN AS NEEDED: OUTLET STRUCTURES, PIPES, OUTFALL AND STORMWATER QUALITY AREA EVERY 3 MONTHS (QUARTERLY).
- DEBRIS AND SEDIMENT SHALL BE DISPOSED OF IN AN APPROVED OFF SITE FACILITY.

PCD FILE NO. PPR-2318

PREPARED FOR:



PREPARED BY:

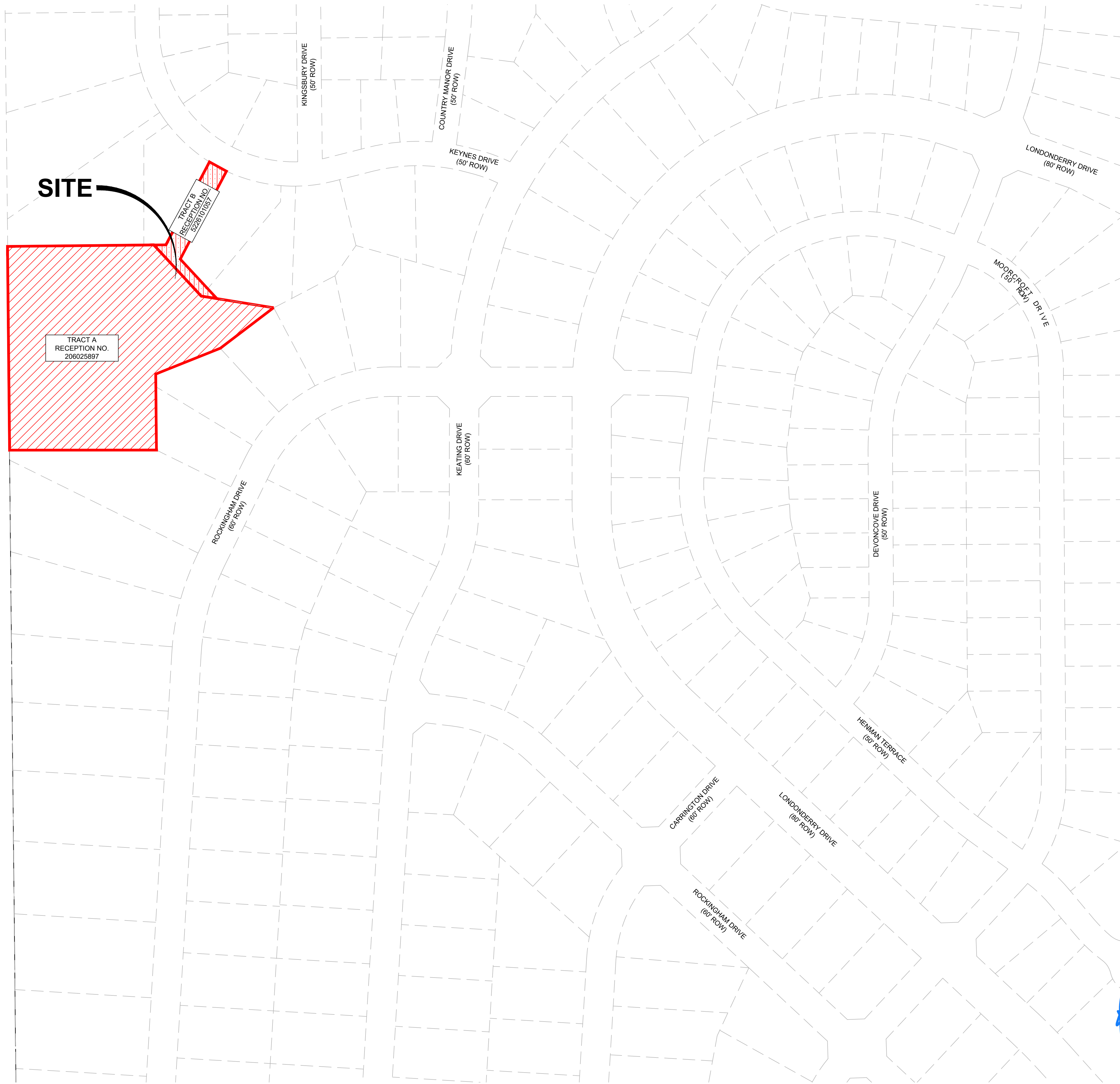


ISSUED FOR BID  
THIS DRAWING IS UNCHECKED  
NOT FOR CONSTRUCTION



RGA JOB NO. 1070.0026 - PUMP HOUSE SIX UTILITY BUILDING - PAINT BRUSH HILLS METROPOLITAN DISTRICT





**SITE**

TRACT A  
 RECEPTION NO.  
 206025897

TRACT B  
 RECEPTION NO.  
 2226701087

ROCKINGHAM DRIVE  
 (60' ROW)

KINGSBURY DRIVE  
 (60' ROW)

COUNTRY MANOR DRIVE  
 (60' ROW)

KEYNES DRIVE  
 (60' ROW)

KEATING DRIVE  
 (60' ROW)

CARRINGTON DRIVE  
 (60' ROW)

ROCKINGHAM DRIVE  
 (60' ROW)

LONDONDERRY DRIVE  
 (60' ROW)

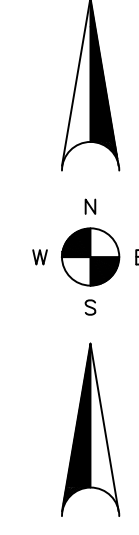
HENMAN TERRACE  
 (50' ROW)

DEVONCOVE DRIVE  
 (50' ROW)

MOORSFOOT DRIVE  
 (60' ROW)

LONDONDERRY DRIVE  
 (80' ROW)

*Handwritten signature and date: JS 9/12/23*



0 100' 200'  
 SCALE: 1" = 100'

48 HOURS BEFORE YOU ARE CALLED TO UTILITY  
 NOTIFICATION CENTER OF COLORADO (UNCCO)  
**811**  
 GAS, ELECTRIC, TELEPHONE, CABLE AND  
 PIPES AND OTHER UTILITY LOCATIONS  
**SCALE VERIFICATION**  
 BAR IS ONE INCH ON ORIGINAL DRAWING  
 IF NOT ONE INCH ON THIS SHEET  
 SCALE ACCORDINGLY

NO.	DESCRIPTION	REVISIONS	DATE	BY
1	EL PASO COUNTY SDF SUBMITTAL		8/03/23	JS/RG
2	EPC SUBMITTAL #2		8/14/23	JS

**RG AND ASSOCIATES, LLC**  
 4885 Ward Road, Suite 100 • Wheat Ridge, CO 80033  
 Del Norte • Wheat Ridge  
 303-293-8107 • www.rgengineers.com

PUMP HOUSE SIX UTILITY BUILDING  
 OVERALL TRACT PLAN  
 PREPARED BY  
 PAINT BRUSH HILLS METROPOLITAN DISTRICT  
 9885 TOWNER AVENUE  
 PEYTON, CO 80831

DRAWN BY:	DESIGNED BY:
JS	JS/RG
JOB NUMBER:	1070.0026
DATE:	9/12/23
SCALE:	1" = 100'
DRAWING DESCRIPTION:	TRACT PLAN
SHEET NO:	2 of 6

10158 KEYNES DRIVE  
PEYTON, CO 80831  
RECEPTION NO.  
5226101017

10136 KEYNES DRIVE  
PEYTON, CO 80831  
RECEPTION NO.  
5226101016

10114 KEYNES DRIVE  
PEYTON, CO 80831  
RECEPTION NO.  
5226101015

10091 KEYNES DRIVE  
PEYTON, CO 80831  
RECEPTION NO.  
5226115022

10092 KEYNES DRIVE  
PEYTON, CO 80831  
RECEPTION NO.  
5226101014

10048 KEYNES DR.  
PEYTON, CO 80831  
RECEPTION NO.  
5226101012

10070 KEYNES DRIVE  
PEYTON, CO 80831  
RECEPTION NO.  
5226101013

9946 ROCKINGHAM DRIVE  
PEYTON, CO 80831  
RECEPTION NO.  
213097174

9932 ROCKINGHAM DRIVE  
PEYTON, CO 80831  
RECEPTION NO. 218048282

EXISTING POND C

KEYNES DRIVE  
(50' ROW)

TRACT B

TRACT A

- GENERAL NOTES**
- BENCHMARK: COLORADO SPRINGS UTILITIES MONUMENT F602 BEING A 2-1/2" ALUMINUM ALLOY CAP LOCATED ON THE WEST SIDE OF MERIDIAN ROAD, ABOUT 25 FEET WEST OF THE EDGE OF OIL, AND 122 FEET SOUTH OF THE INTERSECTION OF MERIDIAN ROAD AND TOURMALINE DRIVE.  
ELEVATION = 7098.50 (NGVD29)
  - ALL LINEAL UNITS SHOWN ARE U.S. SURVEY FEET.
  - DATE OF SURVEY: THE FIELDWORK FOR THIS SURVEY WAS PERFORMED ON AUGUST 24, AND DECEMBER 12, 2020.
  - THIS SURVEY DOES NOT CERTIFY TO SUBSURFACE FEATURES, IMPROVEMENTS, UTILITIES OR BURIED LINES OF ANY TYPE. LOCATION DEPICTED HEREON ARE DERIVED FROM FIELD SURVEY OF UTILITY FLAGGING / PAINT MARKING, PERFORMED BY AZTEC CONSULTANTS INC. UTILITY LOCATES DEPARTMENT ON AUGUST 17, 2020.
  - THIS TOPOGRAPHY MAP DOES NOT REPRESENT A MONUMENTED LAND SURVEY AND IS ONLY INTENDED TO DEPICT SITE IMPROVEMENTS AND GROUND FEATURES AS THEY EXISTED ON THE DATE SURVEYED.
  - PROJECT COORDINATES ARE MODIFIED COLORADO STATE PLANE CENTRAL ZONE 83(2011) COORDINATES. PROJECT COORDINATES ARE DERIVED FROM STATE PLANE COORDINATES USING THE FOLLOWING FORMULAS:  
PROJECT NORTHING = (STATE PLANE NORTHING \* 1.000000000) - 1,000,000.00  
PROJECT EASTING = (STATE PLANE EASTING \* 1.000000000) - 3,000,000.00

48 HOURS BEFORE YOU ARE TO CALL UTILITY NOTIFICATION CENTER OF COLORADO (UNCCO)

**811**

GAS, ELECTRIC, TELEPHONE, CABLE AND PANDHANDLE EASTERN PIPELINE LOCATIONS

**SCALE VERIFICATION**  
BAR IS ONE INCH ON ORIGINAL DRAWING  
IF NOT ONE INCH ON THIS SHEET SCALE ACCORDINGLY

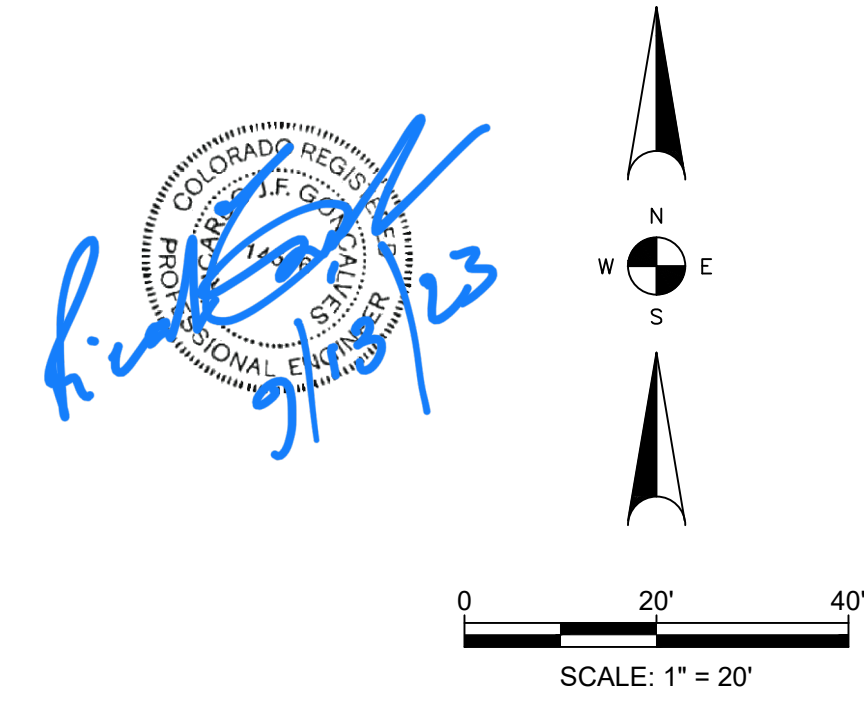
NO.	DESCRIPTION	BY	DATE
1	EL PASO COUNTY SDF SUBMITTAL	JS/RG	8/12/23
2	EPC SUBMITTAL #2	JS	8/12/23
3	EPC SUBMITTAL #3	JS	8/12/23

**RG AND ASSOCIATES, LLC**  
4885 Ward Road, Suite 100 • Wheat Ridge, CO 80033  
Del Norte • Wheat Ridge  
303-293-8107 • www.rgengineers.com

PUMP HOUSE SIX UTILITY BUILDING

**HORIZONTAL CONTROL PLAN**

DESIGNED BY: JS/RG  
JOB NUMBER: 1070.0026  
DATE: 9/12/23  
SCALE: 1" = 20'  
DRAWING DESCRIPTION: CONTROL PLAN  
SHEET NO: 3 of 6



Saved: 9/12/2023 By: JSCHNEIDER Pktd: 9/12/2023 11:12 AM  
 Filename: S:\1070 - PAINT BRUSH HILLS METROPOLITAN DISTRICT\1070.0014 - WELL #1\2\SITE DEVELOPMENT PLAN\DWG\04-05-PLAN.DWG



10158 KEYNES DRIVE  
PEYTON, CO 80831  
RECEPTION NO.  
5226101017

10091 KEYNES DRIVE  
PEYTON, CO 80831  
RECEPTION NO.  
5226115022

10136 KEYNES DRIVE  
PEYTON, CO 80831  
RECEPTION NO.  
5226101016

10114 KEYNES DRIVE  
PEYTON, CO 80831  
RECEPTION NO.  
5226101015

10092 KEYNES DRIVE  
PEYTON, CO 80831  
RECEPTION NO.  
5226101014

10048 KEYNES DR.  
PEYTON, CO 80831  
RECEPTION NO.  
5226101012

10070 KEYNES DRIVE  
PEYTON, CO 80831  
RECEPTION NO.  
5226101013

9946 ROCKINGHAM DRIVE  
PEYTON, CO 80831  
RECEPTION NO.  
213097174

9932 ROCKINGHAM DRIVE  
PEYTON, CO 80831  
RECEPTION NO. 218048282

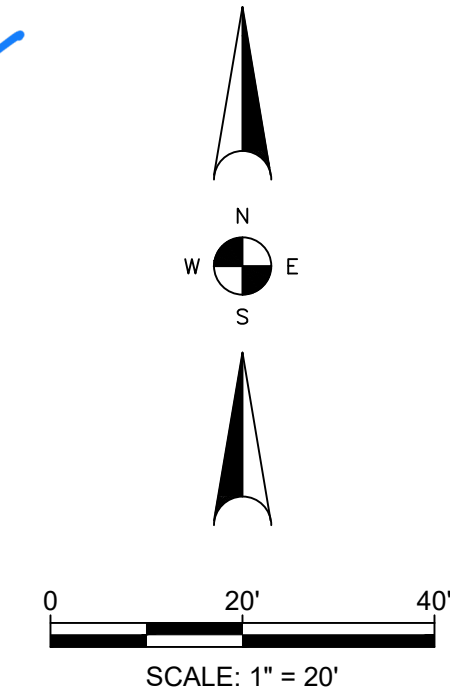
**LEGEND**

	EXISTING PROPERTY LINE
	EXISTING ROAD CENTERLINE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	EX 6" RAW WATER LINE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING STORM SEWER MANHOLE
	EXISTING WATER WELL
	EXISTING STORM PIPE
	EXISTING WATER VALVE
	EXISTING ELECTRIC MH
	EXISTING ELECTRIC MKR
	EXISTING ELECTRIC TRANSFORMER
	EXISTING ELECTRIC UNDERGROUND
	EXISTING FIBER OPTIC UNDERGROUND
	EXISTING CABLE TV UNDERGROUND
	EXISTING GAS LINE UNDERGROUND
	PROPOSED PUMP HOUSE FOOTPRINT
	PROPOSED GRAVEL DRIVE
	PROPOSED RIP RAP

**NOTES:**

- GRAVEL DRIVE SHALL BE CLASS 6 AGGREGATE BASE COURSE.
- IF THE SIDEWALK HAS NOT BEEN INSTALLED BEFORE THIS PROJECT STARTS, CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTING THE 5" THICK SIDEWALK, PER EL PASO COUNTY STANDARDS. CONTRACTOR SHALL VERIFY 5" THICK SIDEWALK.

*Richard*  
9/15/23



48 HOURS BEFORE YOU ARE CALLED TO CALL UTILITY NOTIFICATION CENTER OF COLORADO (UNCCO) **811** GAS, ELECTRIC, TELEPHONE, CABLE AND PIPES. SCALE VERIFICATION BAR IS ONE INCH ON ORIGINAL DRAWING IF NOT ONE INCH ON THIS SHEET SCALE ACCORDINGLY.

NO.	DESCRIPTION	BY	DATE
1	EL PASO COUNTY SDF SUBMITTAL	JS/RS	8/30/23
2	EPC SUBMITTAL #2	JS	8/14/23
3	EPC SUBMITTAL #3	RS	9/12/23


**ERG AND ASSOCIATES, LLC**  
4885 Ward Road, Suite 100 • Wheat Ridge, CO 80033  
Del Norte • Wheat Ridge  
303-293-8107 • www.ergengineers.com

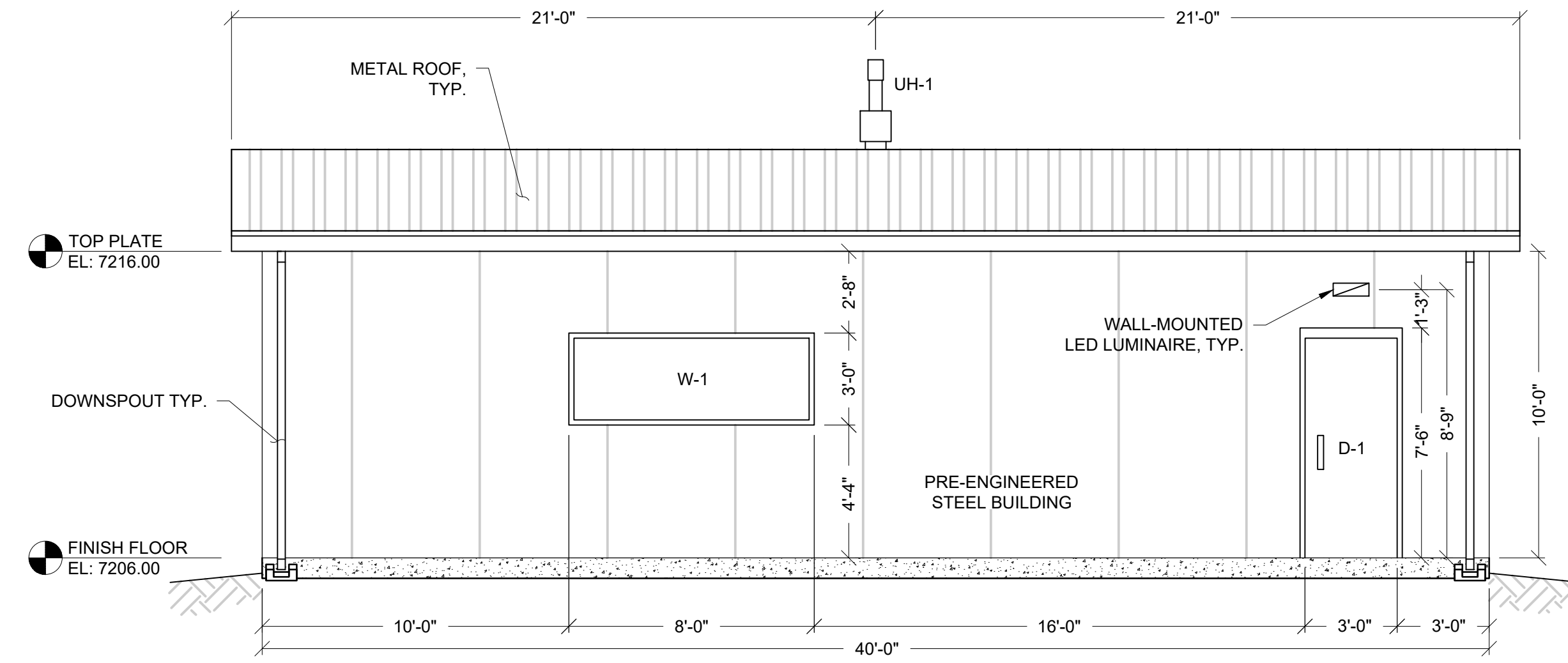
PUMP HOUSE SIX UTILITY BUILDING  
DESIGNER  
**SITE AND UTILITY PLAN**  
PAINT BRUSH HILLS METROPOLITAN DISTRICT  
9885 TOWNER AVENUE  
PEYTON, CO 80831

DRAWN BY:	DESIGNED BY:
JS	JS/RG
JOB NUMBER:	1070.0026
DATE:	9/12/23
SCALE:	#####
DRAWING DESCRIPTION:	<b>SITE PLAN</b>
SHEET NO:	4 of 6

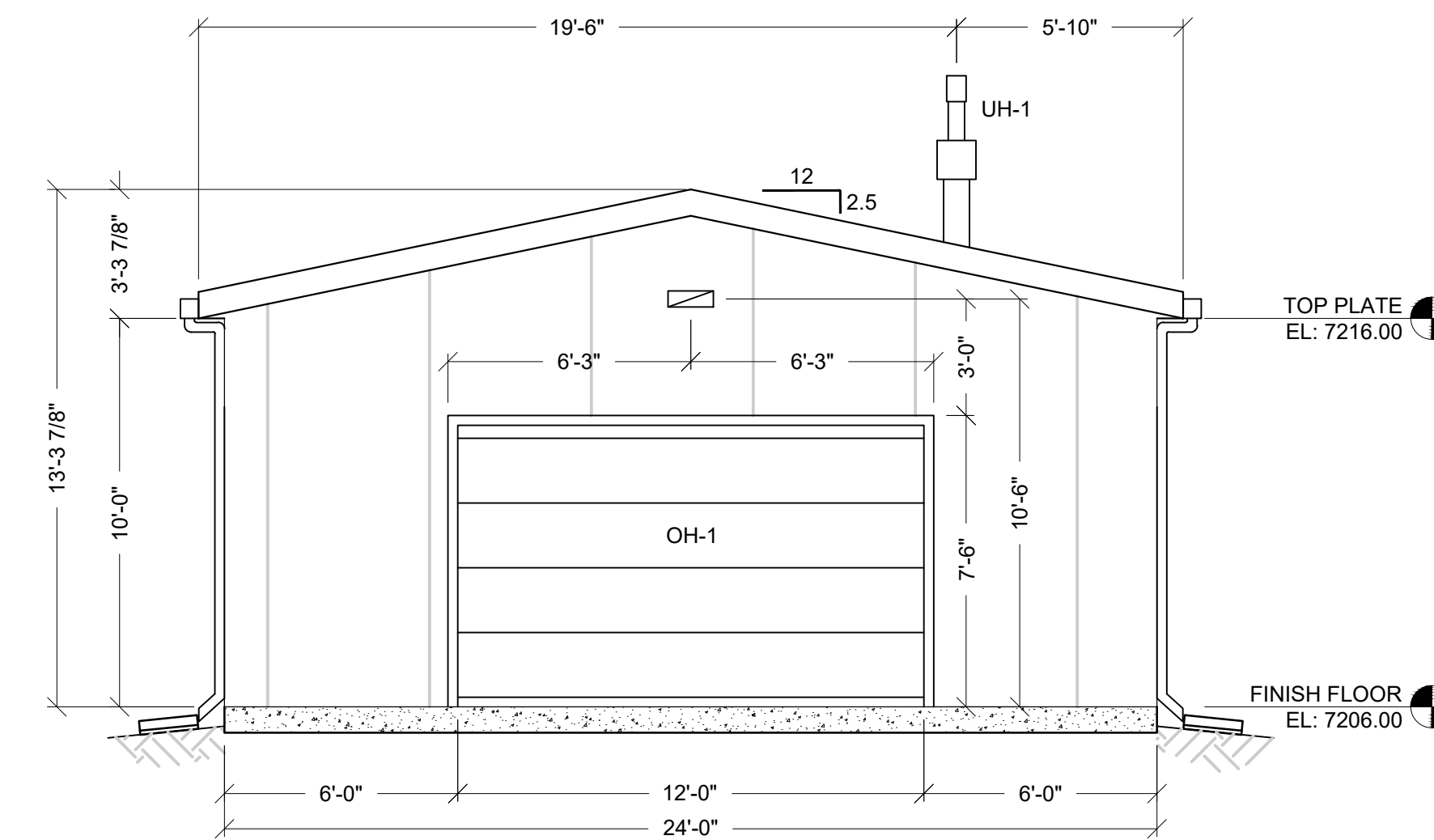


- NOTES:
1. ROOF SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
  2. PROFESSIONAL ENGINEER'S STAMP APPLIES ONLY TO THIS SHEET AND DOES NOT APPLY TO SUPERSTRUCTURE OR FOUNDATION DRAWINGS.
  3. BUILDING MANUFACTURER SHALL PROVIDE ALL SUPPORTS FOR MOUNTING, WALL PENETRATIONS, AND TRIM. MANUFACTURER SHALL ALSO PROVIDE ALL WALL PANELS, FRAMING, SUPPORTS, CONNECTIONS, AND BUILDING-RELATED ITEMS.
  4. REFER TO SHEET A2 FOR DOOR AND HARDWARE SCHEDULE.

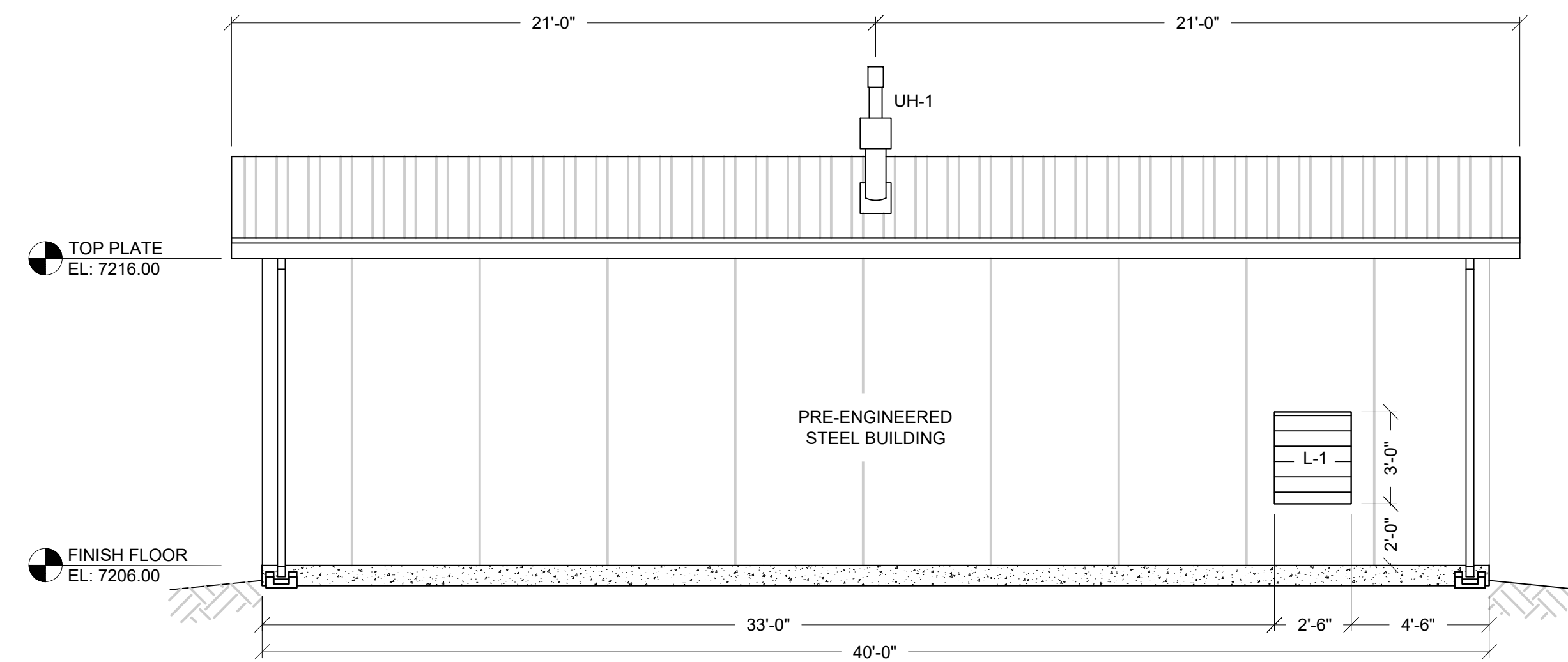
LIGHTING FIXTURE SCHEDULE						
SYMBOL	QTY.	MFR.	CATALOG NUMBER	DESCRIPTION	MTG.	INPUT VA
	3	NUVO LIGHTING	65-671	LED WALL-PACK, CUT-OFF TYPE, 120-277VAC, WT: 5 LB. BRONZE, IP 65 RATED, LENSE-IMPACT RESISTANT PC.	WALL 10'-6" AFF	40



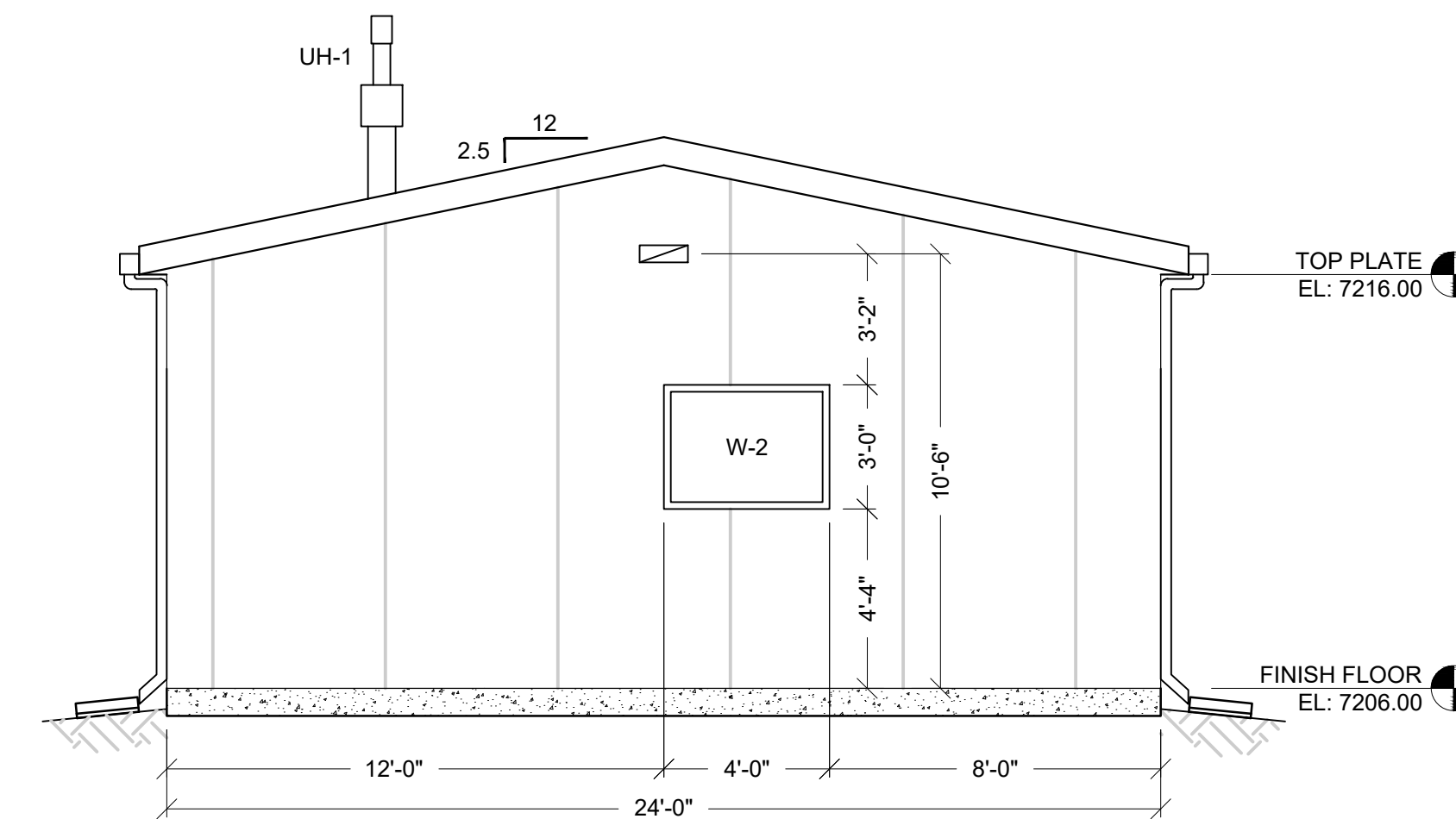
**NORTHEAST ELEVATION**  
1/4" = 1'-0"



**NORTHWEST ELEVATION**  
1/4" = 1'-0"



**SOUTHWEST ELEVATION**  
1/4" = 1'-0"



**SOUTHEAST ELEVATION**  
1/4" = 1'-0"

48 HOURS BEFORE YOU DELIVER, CALL UTILITY NOTIFICATION CENTER OF COLORADO (UNCCO) **811**  
GAS, ELECTRIC, TELEPHONE, CATV, AND PIPES  
SCALE VERIFICATION  
IF NOT ONE INCH ON THIS SHEET SCALE ACCORDINGLY

NO.	DESCRIPTION	BY	DATE
1	EL PASO COUNTY SDF SUBMITTAL	JCS	9/03/23
2	EPC SUBMITTAL #2	JS	9/14/23

**RG AND ASSOCIATES, LLC**  
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Del Norte • Wheat Ridge  
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PUMP HOUSE SIX UTILITY BUILDING  
ELEVATIONS  
PAINT BRUSH HILLS METROPOLITAN DISTRICT  
9885 TOWNER AVENUE  
PEYTON, CO 80831

DRAWN BY:	DESIGNED BY:
JS	JS/RG
JOB NUMBER:	1070.0026
DATE:	9/12/23
SCALE:	1/4" = 1'-0"
DRAWING DESCRIPTION:	ELEVATIONS
SHEET NO:	5 of 6

*Handwritten signature and date: 9/15/23*



10158 KEYNES DRIVE  
PEYTON, CO 80831

RECEPTION NO.  
5226101017

10136 KEYNES DRIVE  
PEYTON, CO 80831

RECEPTION NO.  
5226101016

10114 KEYNES DRIVE  
PEYTON, CO 80831

RECEPTION NO.  
5226101015

10092 KEYNES DRIVE  
PEYTON, CO 80831

RECEPTION NO.  
5226101014

10070 KEYNES DRIVE  
PEYTON, CO 80831

RECEPTION NO.  
5226101013

10091 KEYNES DRIVE  
PEYTON, CO 80831

RECEPTION NO.  
5226115022


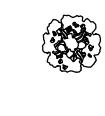
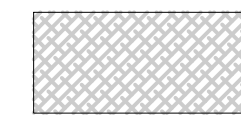
9932 ROCKINGHAM DRIVE  
PEYTON, CO 80831

RECEPTION NO. 218048282

**PROPERTY INFORMATION:**

TOTAL LOT SIZE: 3.78 ACRES  
ZONING: RESIDENTIAL SUBURBAN

**LEGEND**

- ①  10 EACH CURL-LEAF MOUNTAIN MAHOAGANY (15' HEIGHT) CERCOCARPUS LEDIFOLIUS
- ②  10 EACH FERNBUSH (4' HEIGHT) CHAMAEBATIARIA MILLEFOLIUM
-  BARK MULCH

**LANDSCAPE SUMMARY:**

TOTAL SITE AREA = 0.64 ACRES (27,945 SF)

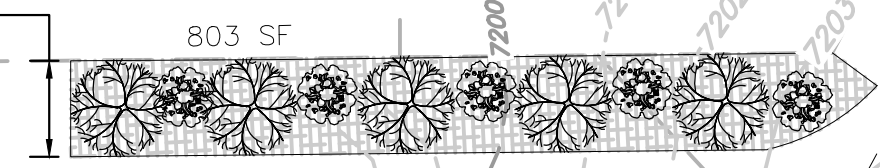
LANDSCAPE (RLA):	REQUIRED	PROVIDED
5% = 1,375 SF	5% = 1,375 SF	1,861 SF
75% LIVE	75% LIVE	85% LIVE
INTERIOR LANDSCAPING:		
TREES (1 1/2" CAL.)	1/250 SF = 6 TREES	10 TOTAL
SHRUBS (5 GAL.)	10/TREE (UP TO 50%)	10 TOTAL

**IMPROVEMENTS:**

TOTAL BUILDING AREA	960 SF (0.022 ACRES)
TOTAL GRAVEL AREA	4,888 SF (0.11 ACRES)
TOTAL PARKING SPACES	3
TOTAL DWELLINGS	0

ZONING: RS-6000 AND RS-20000

10.0' LANDSCAPE BUFFER



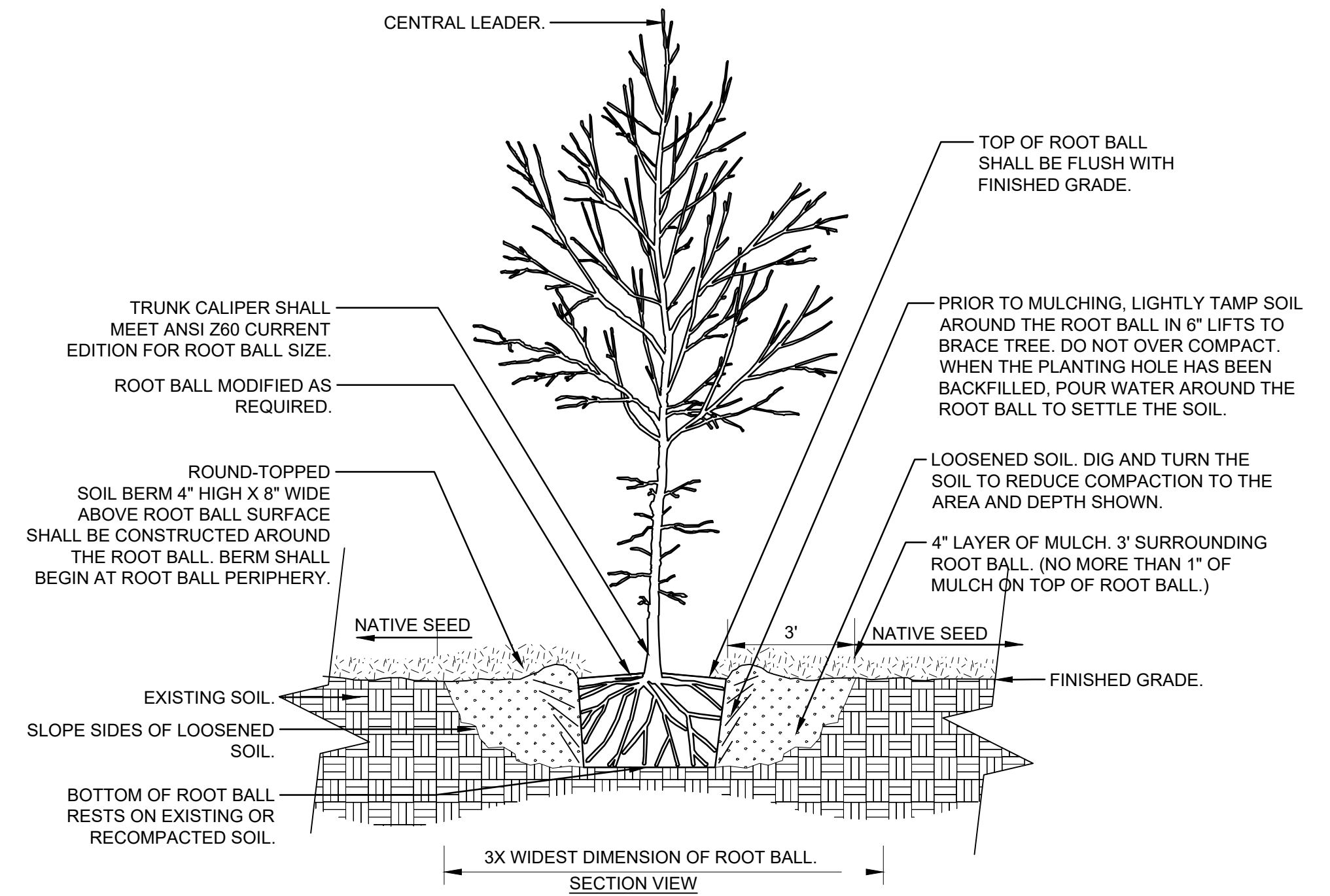
TRACT A  
RECEPTION NO.  
206025897

① 5 EACH  
② 5 EACH

1058 SF

20.0' NO BUILD ZONE W/  
10' LANDSCAPE BUFFER

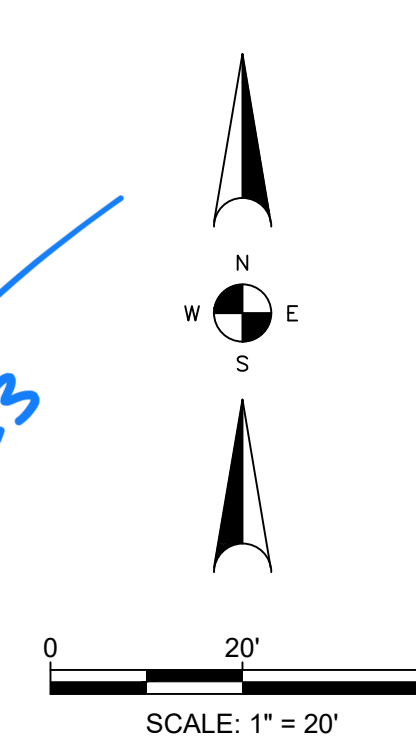
**KEYNES DRIVE**  
(50' ROW)



TREE w/ BERM (EXISTING SOIL NOT MODIFIED)

NTS

*Handwritten signature and date: 9/13/23*



48 HOURS BEFORE YOU DIG, CALL UTILITY NOTIFICATION CENTER OF COLORADO (UNCCO) **811** GAS, ELECTRIC, TELEPHONE, CABLE, AND PIPES. HANDLE EASTERN PIPELINE LOCATIONS. **SCALE VERIFICATION** BAR IS ONE INCH ON ORIGINAL DRAWING. IF NOT ONE INCH ON THIS SHEET, SCALE ACCORDINGLY.

NO.	DESCRIPTION	DATE	BY	REVISIONS
1	EL PASO COUNTY SDF SUBMITTAL	8/30/23	JS/RG	
2	EPC SUBMITTAL #2	8/14/23	JS	

**RG AND ASSOCIATES, LLC**  
4885 Ward Road, Suite 100 • Wheat Ridge, CO 80033  
Del Norte • Wheat Ridge  
303-293-8107 • www.rgengineers.com

**LANDSCAPE PLAN**  
PUMP HOUSE SIX UTILITY BUILDING  
DESIGNED BY: JS/RG  
JOB NUMBER: 1070.0026  
DATE: 9/12/23  
SCALE: 1" = 20'  
DRAWING DESCRIPTION: LANDSCAPING  
SHEET NO: 6 of 6