

LETTER OF INTENT

Reason for Request

We are requesting a variance to allow us to add a home on our property to allow our daughter, husband, and young kids to live here with us and help us with the property. We are a close family and want to work the property together and raise their kids in a rural environment instilling those values in them.

1.

Steve Studley

MaryAnn Studley

Ethan Boynton

Megan Boynton (Studley)

719-510-0773

thestudleygroup@gmail.com

2.

NA

3.

14725 Trigger Rd Peyton CO 80831

4.

3132002014

5.

RR-5

6.

We live on 18.42 acres and the contiguous properties are large acreage properties. It is common for rural properties to have multiple outbuildings and that is the case here. This would be in harmony with the neighborhood and not impact their health, safety, or welfare.

The additional use will be able to meet air, water, odor, and noise standards of the County, State, and Federal regulations.

There are no wetlands in the area and wildlife roams freely.

There are no off-site impacts known as this rural property.

A Driveway access permit will be required. None on file. Permit may be requested online via the EDARP website.

Road Impact Fees are applicable to an Additional Dwelling which is not an accessory use.

State that the additional dwelling will not have any adverse impacts to adjacent properties.

The site plan will meet all required regulations

There are no issues with sewer, water, storm drainage, roadway usage, fire/police protection. All utilities will be shared with primary residence

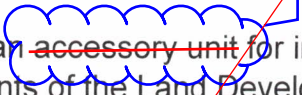
7.

There is no overlay zoning known **Additional Dwelling**

This is a request for a additional dwelling not an accessory living quarters.

8.

This is a request for an ~~accessory unit~~ for immediate family and will comply with the applicable requirements of the Land Development Code



9.

This request is for an **accessory unit** only to house immediate family. It is well understood and acknowledged that this is the only acceptable purpose for an **accessory-** unit.

10.

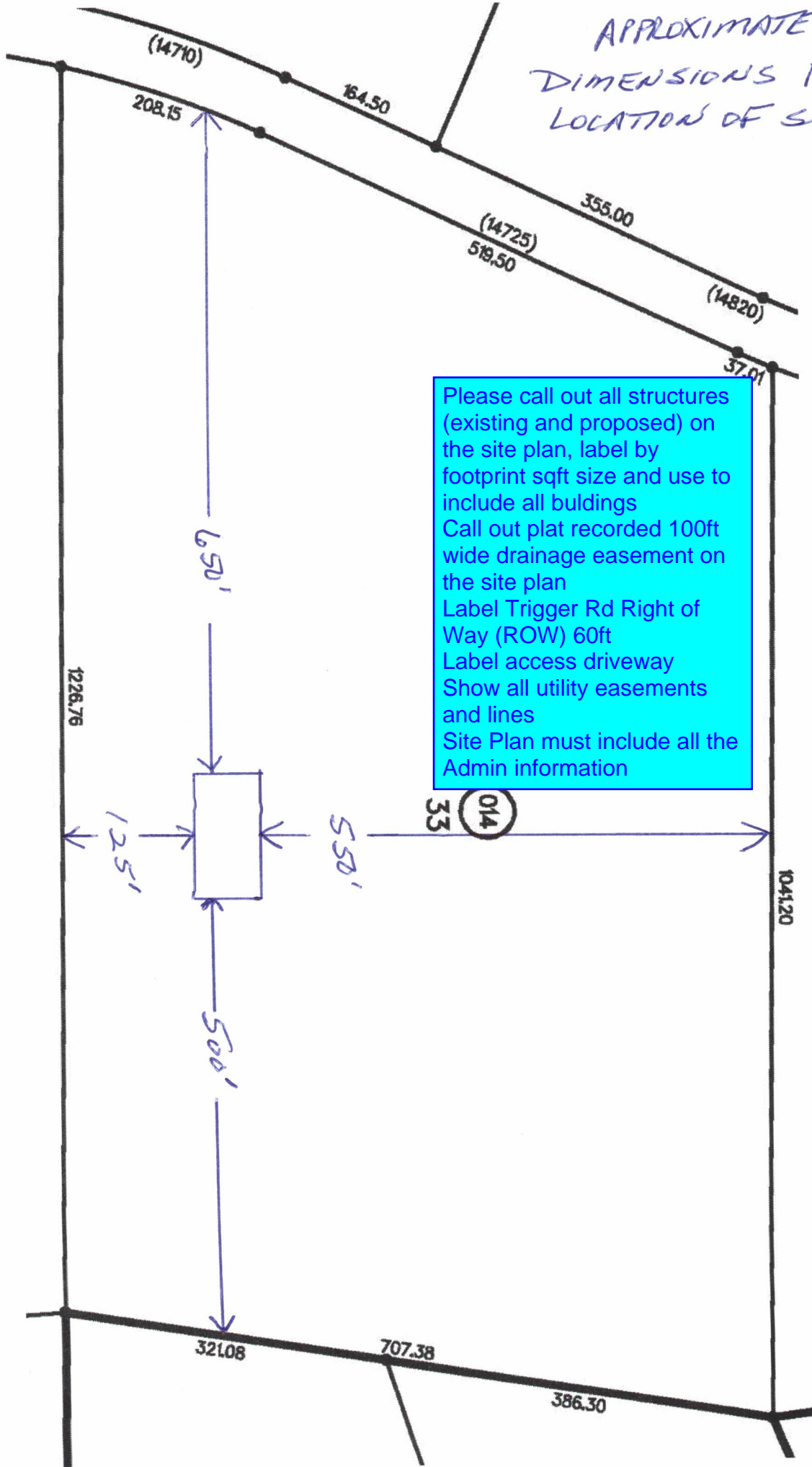
As for the impact to traffic, there will only be two additional vehicles using the roadways.

State that not Traffic Impact Study is required IAW ECM Section B.1.2.D and that all exclusion criteria have met not to require a TIS.

D.No TIS Required. No TIS is required if all of the criteria below are satisfied:

- Vehicular Traffic: (1) Daily vehicle trip-end generation is less than 100 or the peak hour trip generation is less than 10; (2) there are no additional proposed minor or major roadway intersections on major collectors, arterials, or State Highways; (3) the increase in the number of vehicular trips does not exceed the existing trip generation by more than 10 peak hour trips or 100 daily trip ends; (4) the change in the type of traffic to be generated (i.e., the addition of truck traffic) does not adversely affect the traffic currently planned for and accommodated within, and adjacent to, the property; (5) acceptable LOS on the adjacent public roadways, accesses, and intersections will be maintained; (6)no roadway or intersection in the immediate vicinity has a history of safety or accident problems; and (7) there is no change of land use with access to a State Highway.

APPROXIMATE
DIMENSIONS FOR
LOCATION OF SUBJECT



Please call out all structures (existing and proposed) on the site plan, label by footprint sqft size and use to include all buildings
Call out plat recorded 100ft wide drainage easement on the site plan
Label Trigger Rd Right of Way (ROW) 60ft
Label access driveway
Show all utility easements and lines
Site Plan must include all the Admin information



WELL

APPROXIMATE LOCATION OF
ACCESSORY UNIT



A DIVISION OF CHIEF INDUSTRIES, INC.

DEALER

BONNAVILLA
111 GRANT STREET
P.O. BOX 127
AURORA, NE 68818
402.694.5250

CUSTOMER

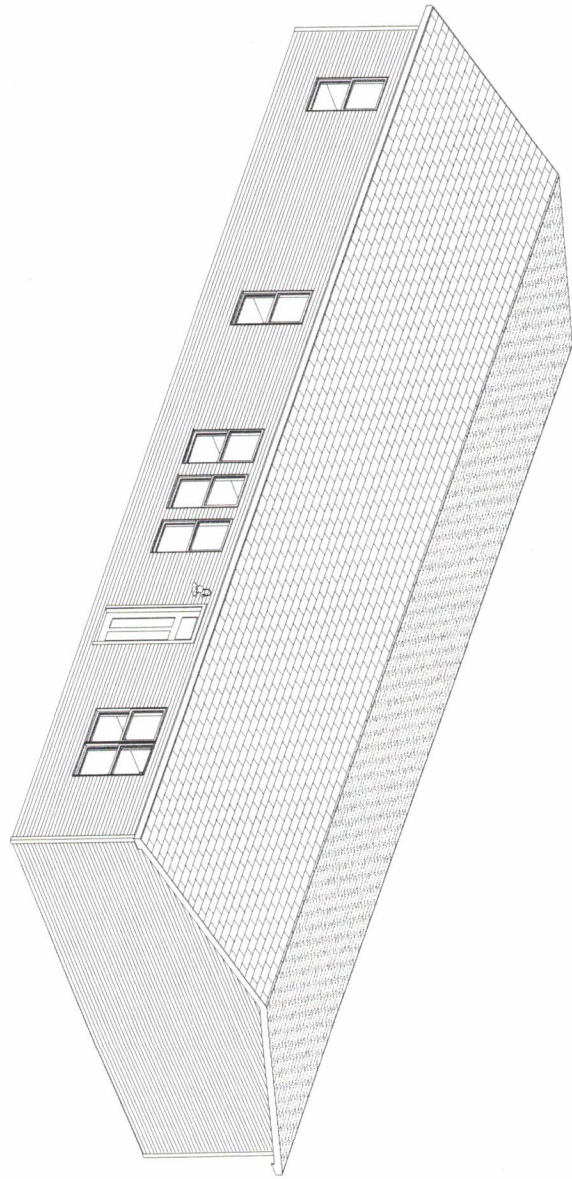
THE REDWOOD 2020

SHEET LIST

NO	COVER SHEET	SHEET NAME
00	BROCHURE	
01	MAIN FLOOR PLAN	
08	ELECTRICAL PLAN	
09	EXTERIOR ELEVATIONS	
14	FOUNDATION PLAN	
15A	CABINET DETAILS	
15B	CABINET DETAILS	
16	BUILDING SECTION	

BELLAVISTA - THE REDWOOD 2020

2136 SQ. FT.

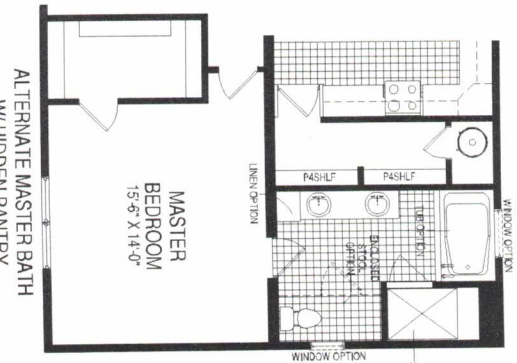
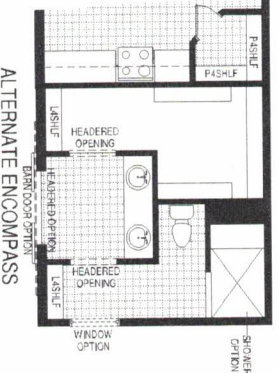
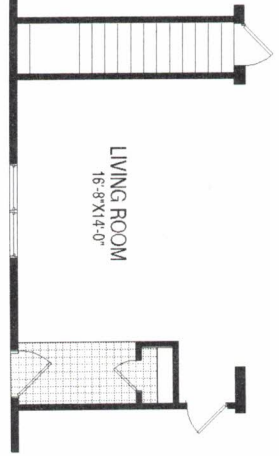
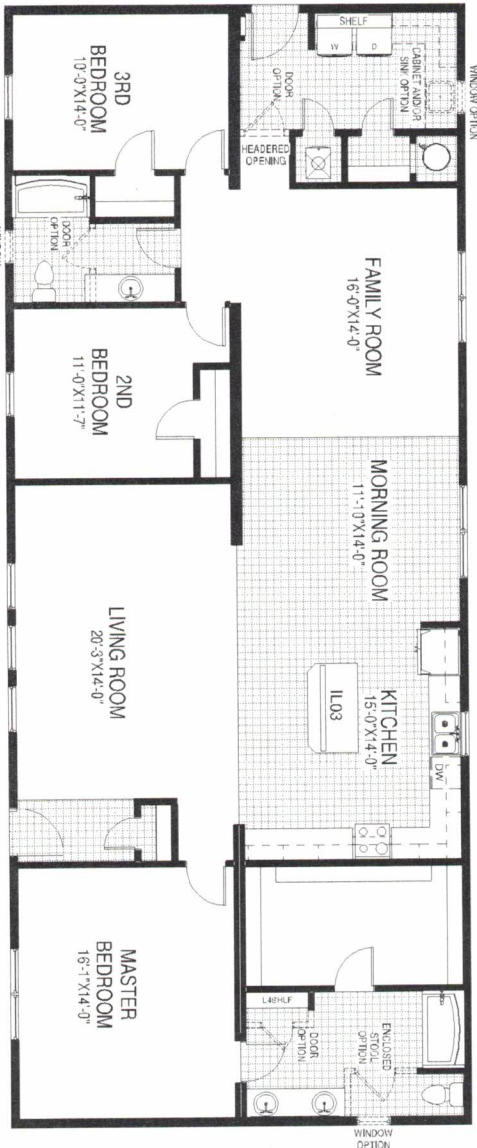
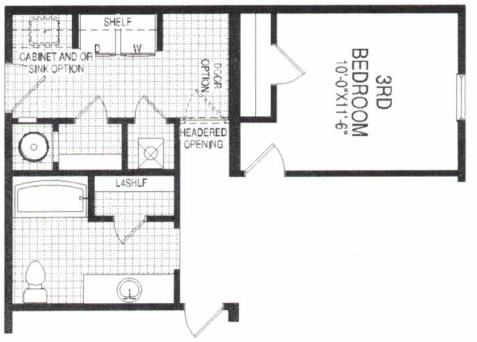
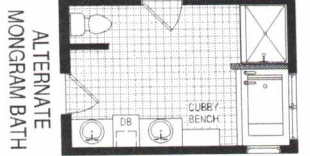
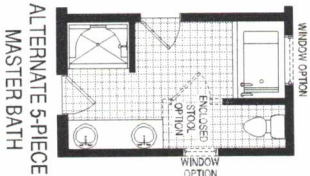
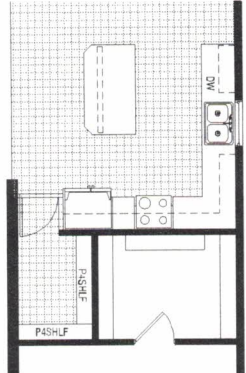
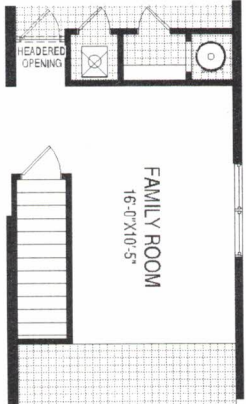


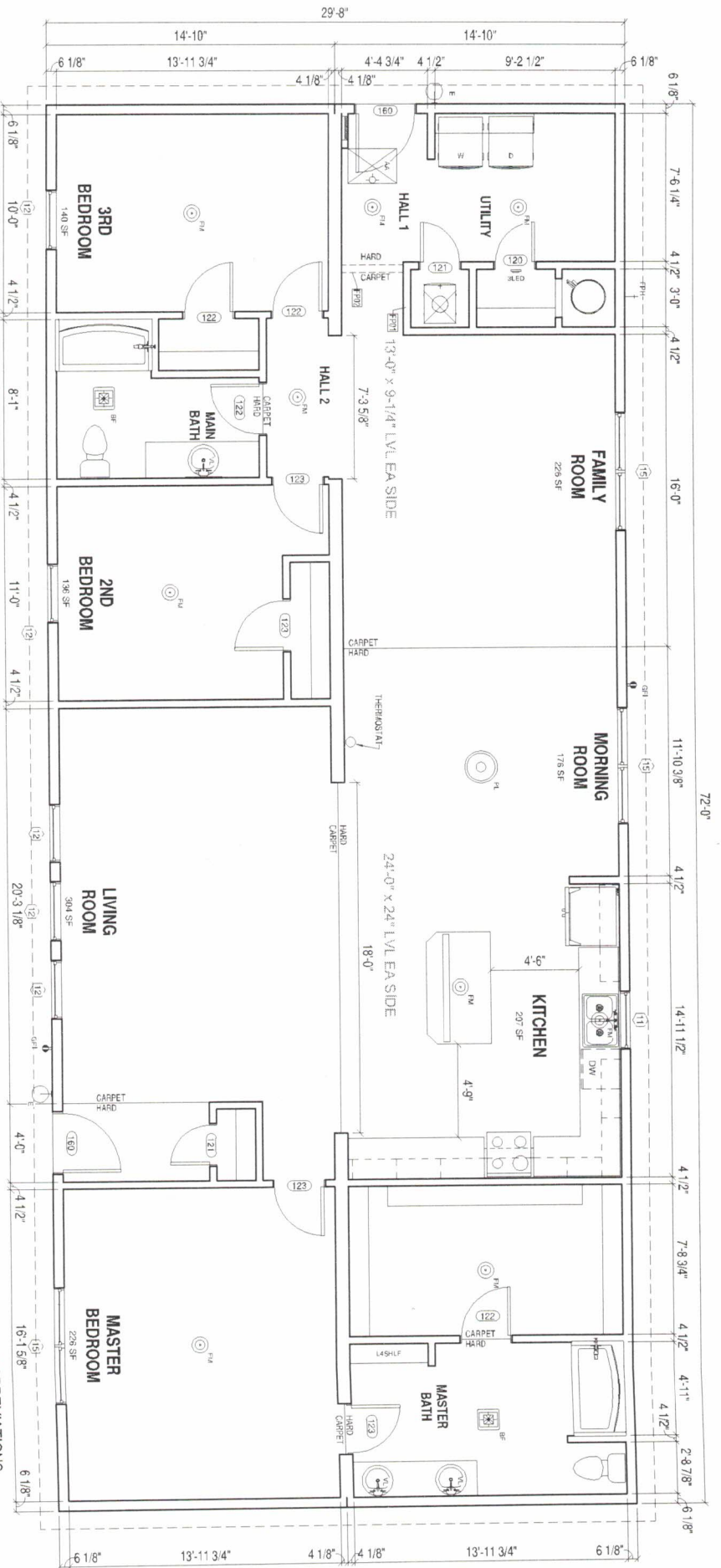
THESE DRAWINGS AND THE DESIGN SHOWN HAVE BEEN PREPARED FOR THIS SPECIFIC PROJECT AS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE SOLE PROPERTY OF BONNAVILLA HOMES AND THEIR CONSULTANTS. ANY REPRODUCTION, COPYING OR USE OTHER THAN FOR THIS SPECIFIC PROJECT IS PROHIBITED WITHOUT THE PRIOR WRITTEN CONSENT OF BONNAVILLA HOMES. ANY PROHIBITED USE OF THESE DRAWINGS OR DESIGN ARE SUBJECT TO LEGAL ACTION.

<p>A DIVISION OF CHIEF INDUSTRIES, INC.</p>	SITE ADDRESS GRAND ISLAND, NE	CUSTOMER THE REDWOOD 2020	CODE: 2018 IRC FLOOR LOAD: 40 PSF ROOF LOAD: 40 PSF WIND ZONE: 115 VULT MPH	DATE: 11/01/19 DESIGNED BY: CES CHECKED BY: [] PRELIMINARY ISSUE
	DRAWING TITLE COVER SHEET	DEALER BELLAVISTA	SHEET NO.: 00	DATE: 11/01/2019

THE REDWOOD 2020

29'-8" x 72'-0"





1 FLOOR PLAN
 SCALE (24'x36") 3/8"=1'-0"
 SCALE (11'x17") 3/4"=1'-0"

EXTERIOR DOOR SCHEDULE

ID #	QTY	DESCRIPTION	SWING	JAMB	COMMENTS
199	2	36"x63" 3-PANEL Fiberglass	RIGHT	6 1/8"	

WINDOW SCHEDULE

ID #	QTY	DESCRIPTION	COMMENTS
11	1	36"x48" SH	
12	5	36"x48" SH EGRESS	
15	3	DOUBLE 36"x60" SH EGRESS	

INTERIOR DOOR SCHEDULE

ID #	QTY	DESCRIPTION	SWING	JAMB	COMMENTS
120	1	24"x80"	RIGHT	4 1/2"	
121	2	24"x80"	RIGHT	4 1/2"	
122	4	30"x80"	RIGHT	4 1/2"	
123	1	30"x80"	LEFT	4 1/2"	
124	3	30"x80"	LEFT	4 1/2"	

LIGHTING FIXTURE SCHEDULE

ID #	QTY	DESCRIPTION	COMMENTS
3LED	1	3'-LED SURFACE MOUNT CAN LIGHT	
AA	1	ATTIC ACCESS CAN LIGHT	
E2	2	EXTENDER CLEAR GLASS LIGHT	
FM	9	FLUSH MOUNT LIGHT	
PL	1	PENDANT LIGHT	
VL	3	VAULT LIGHT	

ROOM SQ FT SCHEDULE

Name	Area
BEDLO	108.09 SF
BEDLO	14.00 SF
BEDLO	14.00 SF
BEDLO	19.97 SF
BEDLO	193.26 SF
BEDLO	19.97 SF
BEDLO	193.26 SF
BEDLO	162.90 SF
BATH	20.75 SF
BATH	12.55 SF
BATH	12.55 SF
BATH	162.90 SF

ROOM SQ FT SCHEDULE

Name	Area
HALL 1	44.95 SF
HALL 2	28.07 SF
HALL 2	161.98 SF
HALL 2	161.98 SF
KITCHEN	207.84 SF
LIVING ROOM	394.83 SF
MASTER BATH	110.43 SF
MASTER BATH	110.43 SF
MASTER BEDROOM	228.46 SF
MORNING ROOM	178.55 SF
MORNING ROOM	178.55 SF
UTILITY	71.20 SF
WH	190.87 SF

LEGEND

Room name (with symbol)

Room name (with symbol)

Room number (with symbol)

Room number (with symbol)

Room number (with symbol)

Room number (with symbol)

Room number (with symbol)

Room number (with symbol)

Room number (with symbol)

Room number (with symbol)

Room number (with symbol)

Room number (with symbol)

Room number (with symbol)

ABBREVIATIONS

DB FINISHED BANK

DW DIMENSION

LINE LINE

PA PAINT

PL PLASTER

PLU PLASTER FINISH

PLU PLASTER FINISH

PLU PLASTER FINISH

PLU PLASTER FINISH

PLU PLASTER FINISH

PLU PLASTER FINISH

PLU PLASTER FINISH

PLU PLASTER FINISH

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GENERAL NOTES

- ALL DOORS TO BE 2"x2" DEPTH UNDO
- ALL SHELVS TO BE SINGLE SHELF W/ROD
- ALL EXTENDED WALLS TO BE 2x6 CONSTRUCTION
- ALL DIMENSIONS ARE TO EDGE OF GYP BOARD UNLESS NOTED

KEYNOTES

FFPI RETURN AIR CANILE

FFPI HEADBOARD OPENING

FFPI HEADBOARD OPENING

FFPI HEADBOARD OPENING

FFPI HEADBOARD OPENING

01

BONNIVILLA
 A DIVISION OF CHEP INDUSTRIES, INC.
 111 GRANT STREET, AURORA, NEBRASKA 68819

SITE ADDRESS
GRAND ISLAND, NE
 DRAWING TITLE
MAIN FLOOR PLAN

CUSTOMER **THE REDWOOD**
 2020
 DEALER **BELLAVISTA**

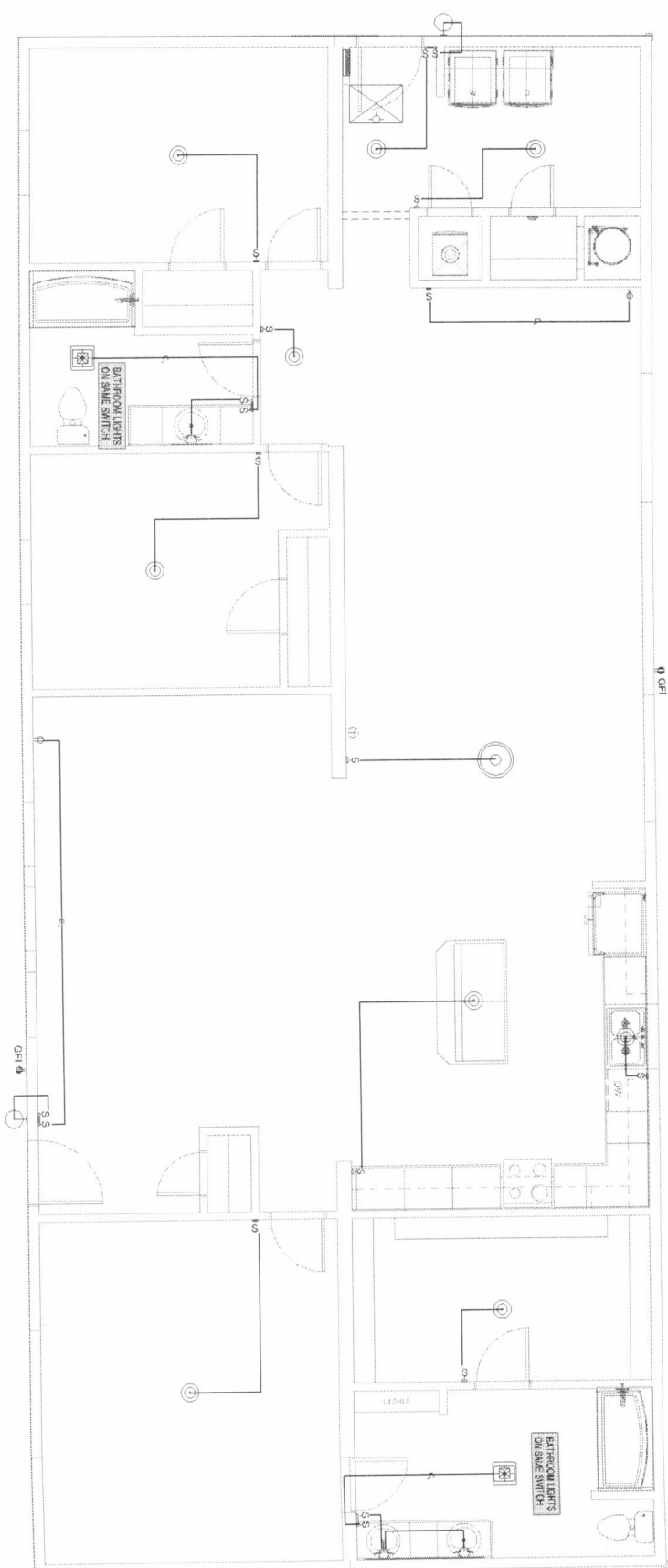
01-01

01-01	01-01	01-01	01-01	01-01	01-01
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CODE: 2018 IRC

LOAD	40	PSF
ROOF	40	PSF
WIND	115	MPH
ZONE	2	
DATE	11/01/19	
DATE	09/19	
PRELIMINARY ISSUE		
DESCRIPTION		

NO.		
NO.		
NO.		



1
08
ELECTRICAL PLAN
SCALE (23X4): 3/8"=1'-0"
SCALE (11X17): 3/4"=1'-0"

ELECTRICAL LEGEND

- ⊕ ANTENNA OUTLET RECEPT
- ⊕ ANTENNA SINGLE RECEPT
- ⊕ GFT ANTENNA SIGNALING FAULT TUBES RECEPT
- ⊕ GFT ANTENNA SIGNALING FAULT TUBES RECEPT
- ⊕ EXTENSION SHROUD FAULT TUBES RECEPT
- ⊕ EXTENSION SHROUD FAULT TUBES RECEPT
- ⊕ FLOOR DIMPLEX RECEPT
- ⊕ SPH1 SPLIT GROUND FAULT TUBES RECEPT
- ⊕ ELECTRIC RANGE RECEPT
- ⊕ DRYER RECEPT
- ⊕ 200 OUTLET
- ⊕ THERMOSTAT
- ⊕ SMOKE DETECTOR
- ⊕ SMOKE CO DETECTOR
- ⊕ SWITCH
- ⊕ 3-WAY SWITCH
- ⊕ RECEPT
- ⊕ 3-WAY RECEPT
- ⊕ 3-WAY RECEPT
- ⊕ 3-WAY RECEPT
- ⊕ 3-WAY RECEPT
- ⊕ JACK SYMBOL FOR TV PH, CDS, MPH
- ⊕ TV CABLE JACK
- ⊕ PH PHONE JACK
- ⊕ CDS DATA JACK
- ⊕ MPH WALL PHONE JACK

ELECTRICAL NOTES

1. ALL 1500V, 115A, 20 AMP RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.
2. OUTDOOR RECEPTACLES SHALL BE LISTED WITH NEMA 3R OR 3S RATING.
3. ALL RECEPTACLES AND SWITCH LOCATIONS ARE TYPICAL HEIGHT (10').
4. NO AMP CONNECTIONS - ALL CONNECTIONS SHALL BE MADE IN THE PANELS.
5. LIGHTS WITH DIMMERS SHALL BE LOCATED IN DROPPED CEILING.
6. EXTERIOR LIGHTS ARE TO BE LISTED FOR WET LOCATIONS.

BONNAVILLA
A DIVISION OF CH2M HILL
111 GRANT STREET, AURORA, NEBRASKA 68013

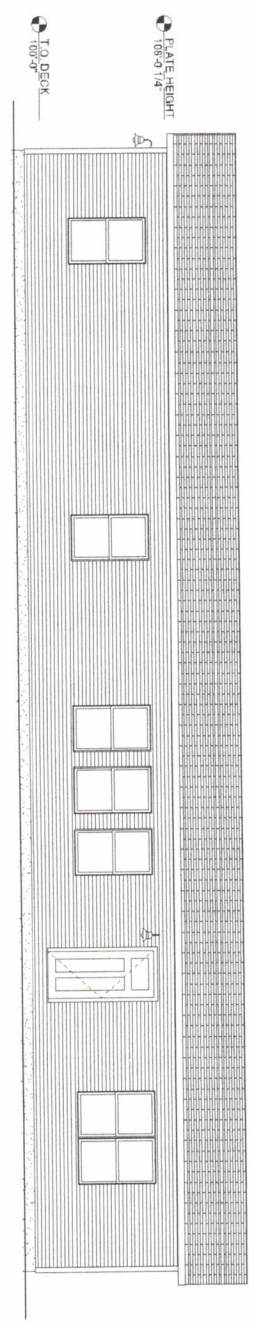
SITE ADDRESS
GRAND ISLAND, NE
DRAWING TITLE
ELECTRICAL PLAN

CUSTOMER: **THE REDWOOD**
2020
DEALER: **BELLAVISTA**

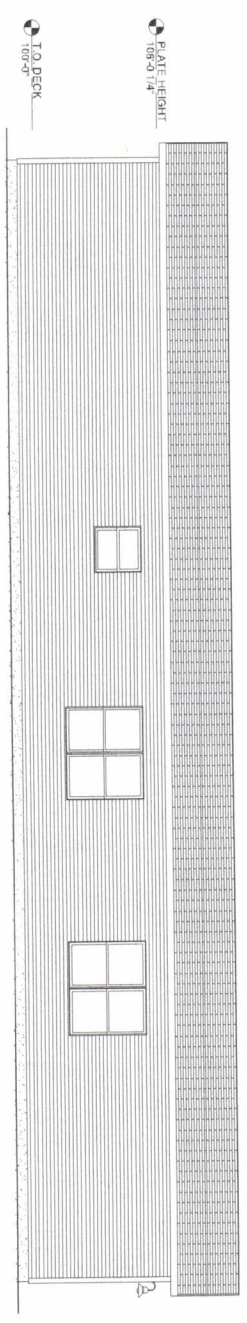
CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF LOAD: 40 PSF
ZONE: WIND
115 VOLT MPH

DATE: 11/01/19
DESIGNER: CES
PRELIMINARY ISSUE

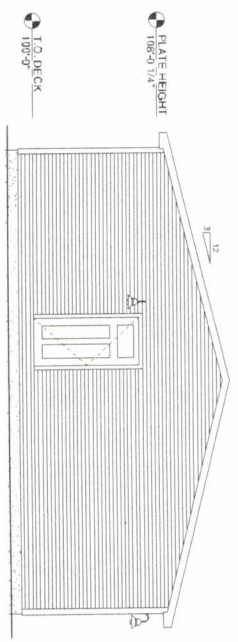
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DATE: 11/01/19
DWG NO: **08**



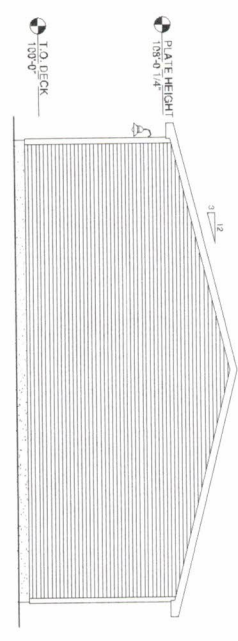
1 FRONT ELEVATION
 SCALE (22x34): 1/8"=1'-0"
 SCALE (11x17): 1/8"=1'-0"



2 REAR ELEVATION
 SCALE (22x34): 1/8"=1'-0"
 SCALE (11x17): 1/8"=1'-0"



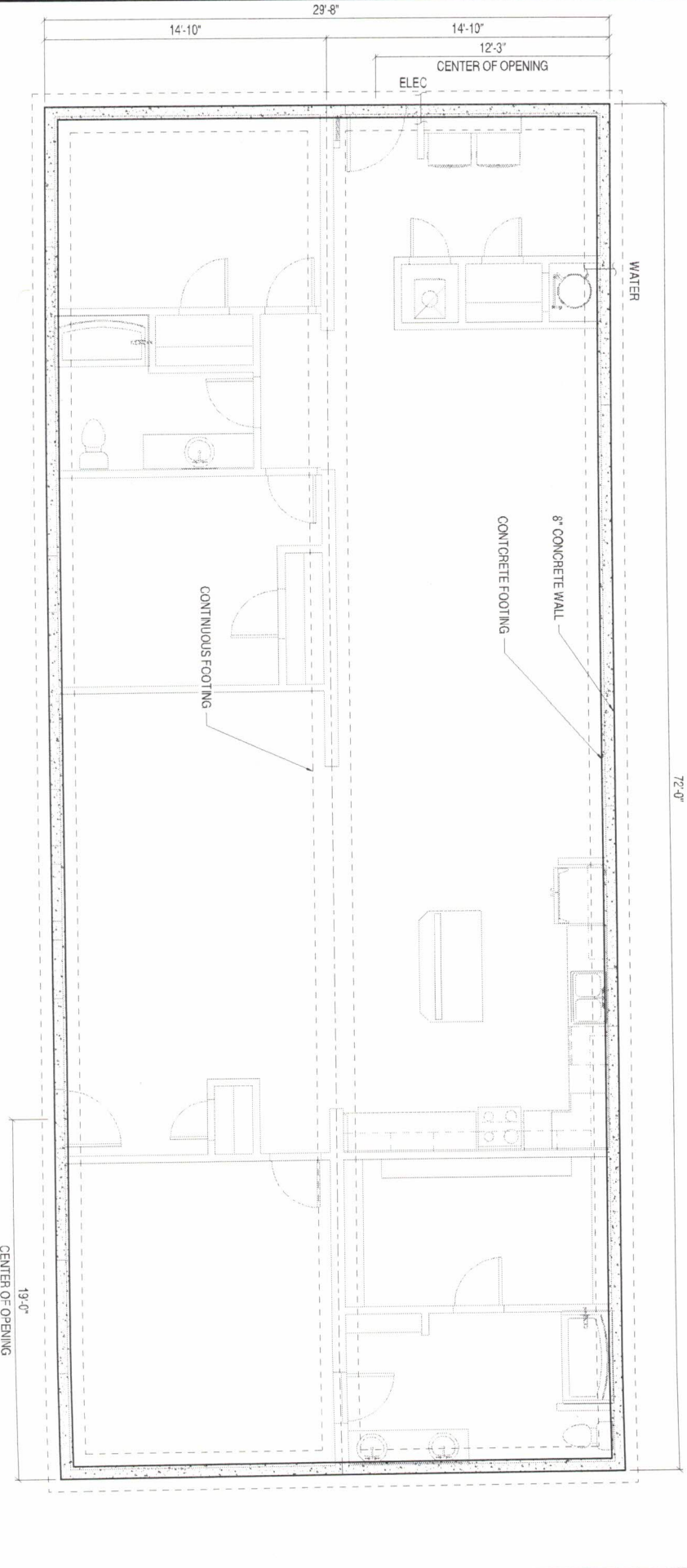
3 LEFT ELEVATION
 SCALE (22x34): 1/8"=1'-0"
 SCALE (11x17): 1/8"=1'-0"



4 RIGHT ELEVATION
 SCALE (22x34): 1/8"=1'-0"
 SCALE (11x17): 1/8"=1'-0"

<p>BONNAVILLA A DIVISION OF CHIEF INDUSTRIES, INC. 111 GRANT STREET, AURORA, NEBRASKA 68013</p>	SITE ADDRESS GRAND ISLAND, NE	CUSTOMER THE REDWOOD 2020	CODE: 2018 IRC FLOOR LOAD: 40 PSF ROOF LOAD: 40 PSF WIND ZONE: 115 VULT MPH	DATE: 11/01/19	DESCRIPTION: PRELIMINARY ISSUE
	DRAWING TITLE EXTERIOR ELEVATIONS	DEALER BELLAVISTA		DATE: 11/02/19	DRAWING NO.: 09

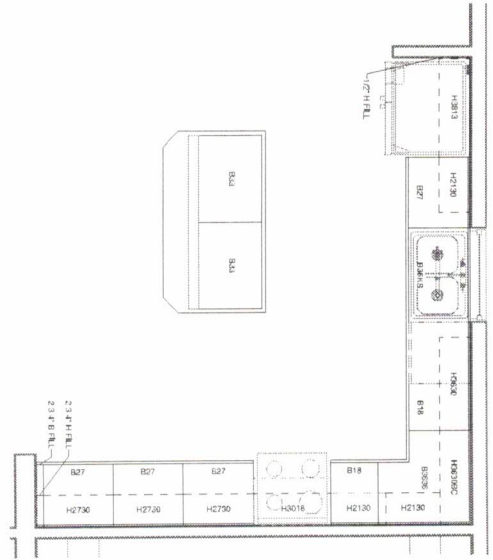
1 FOUNDATION PLAN
 SCALE (22x34) 3/8" = 1'-0"
 SCALE (11x17) 3/4" = 1'-0"



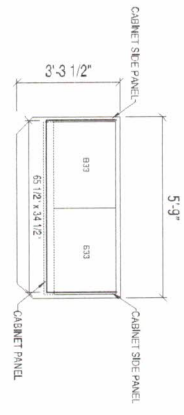
FOUNDATION NOTES:

1. FOUNDATION FOOTINGS AND OTHERS DESIGNED TO THE FOLLOWING LOADS:
 a. FLOOR 40 PSF LL, 15 PSF DL
 b. ROOF 40 PSF LL, 15 PSF DL
2. FOR UNDER-FLOOR VENTILATION SHALL MEET THE MINIMUM REQUIREMENTS OF THE FLOOR SPACE APPLICATION, THE MINIMUM AREA OF VENTILATION OPENINGS FOR EACH ROOM SHALL BE DETERMINED, LOCATED, VERIFIED, AND INSTALLED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODES.
3. THE RAJOSI, ALONG THE WARRIAGE LINE CONSISTS OF 11/2" x 11/2" x 11/2" LAMINATED BEAMS PROVIDE SUPPORT SYSTEMS FOR THE FLOOR SYSTEMS. A MINIMUM CAN BE PROVIDED TO THE BUILDING STRUCTURE, AS DETERMINED IN ARTICLE 201 SECTION III PART 4d.
4. BONAVILLA HOMES SHALL NOT BE IN ANY WAY RESPONSIBLE FOR THE QUALITY OF THE QUANTITY OF MATERIALS USED OR NOT USED. THIS FOUNDATION, BONAVILLA HOMES SHALL NOT BE RESPONSIBLE FOR ANY STANDARDS OF WORKMANSHIP WHERE REPRESENTATIVES AND/OR DEALERS OF BONAVILLA HOMES ARE ACTING AS INDEPENDENT CONTRACTORS. THEY DO SO AS THEIR OWN REPRESENTATIVES AND NOT AS REPRESENTATIVES OF BONAVILLA HOMES. BONAVILLA HOMES SHALL NOT BE RESPONSIBLE FOR MECHANICAL, ELECTRICAL AND BUILDING CODES WHICH MAY APPLY TO THIS FOUNDATION PLAN.
5. FOUNDATION FOOTINGS AND OTHERS DESIGNED TO THE FOLLOWING LOADS:
 a. FLOOR 40 PSF LL, 15 PSF DL
 b. ROOF 40 PSF LL, 15 PSF DL
6. FOR UNDER-FLOOR VENTILATION SHALL MEET THE MINIMUM REQUIREMENTS OF THE FLOOR SPACE APPLICATION, THE MINIMUM AREA OF VENTILATION OPENINGS FOR EACH ROOM SHALL BE DETERMINED, LOCATED, VERIFIED, AND INSTALLED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODES.
7. THE RAJOSI, ALONG THE WARRIAGE LINE CONSISTS OF 11/2" x 11/2" x 11/2" LAMINATED BEAMS PROVIDE SUPPORT SYSTEMS FOR THE FLOOR SYSTEMS. A MINIMUM CAN BE PROVIDED TO THE BUILDING STRUCTURE, AS DETERMINED IN ARTICLE 201 SECTION III PART 4d.
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9. FOUNDATION FOOTINGS AND OTHERS DESIGNED TO THE FOLLOWING LOADS:
 a. FLOOR 40 PSF LL, 15 PSF DL
 b. ROOF 40 PSF LL, 15 PSF DL
10. CHAIR SPACE FOUNDATIONS REQUIRE AN ACCESS HOLE NOT THE REQUIREMENTS OF THE IRC SECTION 503 ACCESS OPENINGS SHALL BE PROVIDED DIRECTLY IN FRONT OF THE ACCESS, THE HOLE SHALL BE OPEN BELOW THE LEVEL OF THE CHAIR SPACE. ACCESS, ACCESS SHALL NOT BE LOCATED BELOW A FOOT OF THE INSTALLED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODES.
11. FOUNDATION ACCESS SHALL BE DETERMINED, LOCATED, VERIFIED, AND INSTALLED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODES.
12. FOUNDATION ACCESS SHALL BE DETERMINED, LOCATED, VERIFIED, AND INSTALLED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODES.
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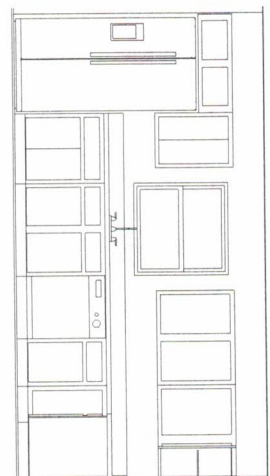
<p>BONAVILLA A DIVISION OF CH2M HILL 111 GRANT STREET, AURORA, NEBRASKA 68015</p>	SITE ADDRESS GRAND ISLAND, NE	CUSTOMER THE REDWOOD 2020	DATE 11/01/19	CODE: 2018 IRC FLOOR LOAD 40 PSF ROOF LOAD 40 PSF WIND ZONE 115 VULT MPH	PRELIMINARY ISSUE
	DRAWING TITLE FOUNDATION PLAN	DEALER BELLAVISTA	DATE 11/01/2019	DRAWN BY CES	CHECKED BY CES



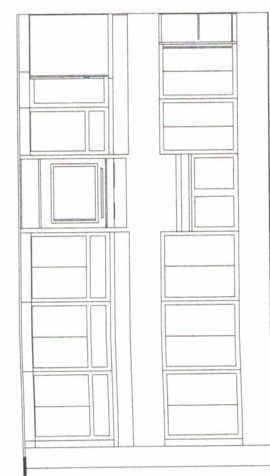
A ISLAND DETAIL



1A KITCHEN

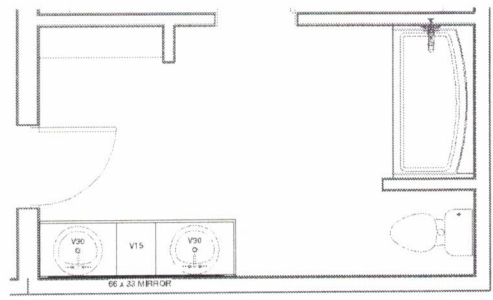


1B KITCHEN



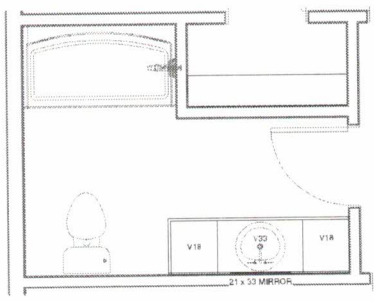
CABINET SCHEDULE - KITCHEN		DRAWER	
QTY	CABINET	DOOR	COMMENTS
1	1/2" H FILL	12x15	
1	2 3/4" B FILL	12x21	
1	2 3/4" B FILL	12x27	
2	B18	15x10	
4	B27	15x21	
2	B33	15x27	
1	B39S	15x27	
3	H270	15x27	
3	H270	15x27	
1	H3018	15x27	
1	H3030	15x27	
1	H3086C	15x27	
1	H313	15x27	

QTY	CABINET	COMMENTS
1	1/2" H FILL	
1	2 3/4" B FILL	
1	2 3/4" B FILL	
1	21" x 33" MIRROR	
1	66" x 33" MIRROR	
2	B18	
4	B27	
2	B33	
1	B39S	
1	B39S	
1	B39S	
3	H270	
3	H270	
1	H3018	
1	H3030	
1	H3086C	
1	H313	
1	V18	
2	V18	
2	V30	
1	V33	



1 MASTER BATH
SCALE: P2341 1/2" = 1'-0"
SCALE: P1171 1/4" = 1'-0"

CABINET SCHEDULE - MASTER BATH			
QTY	CABINET	DOOR	COMMENTS
1	66" x 33" MIRROR	15x21	
1	V15	1	
2	V20	2	

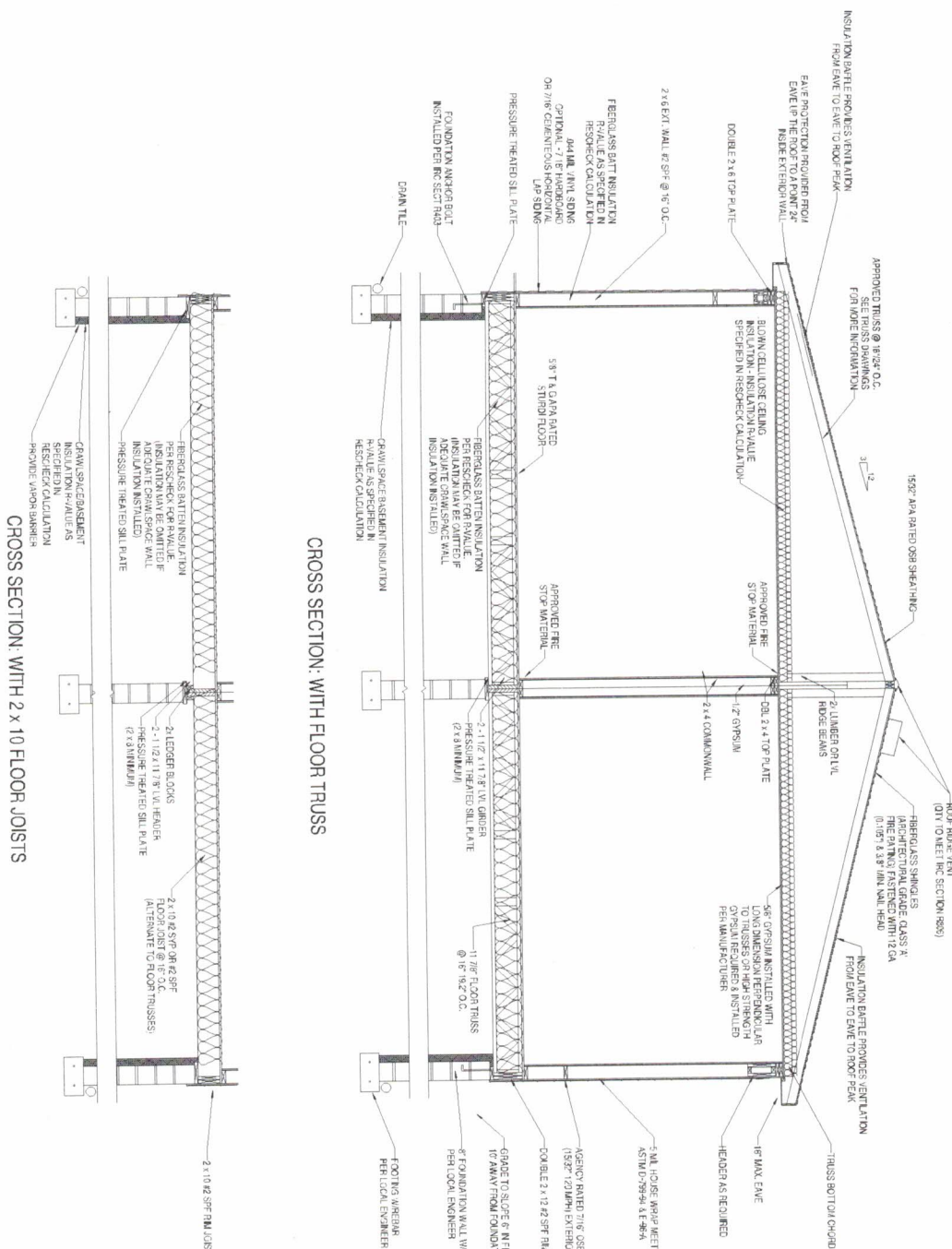


2 MAIN BATH
SCALE: P2341 1/2" = 1'-0"
SCALE: P1171 1/4" = 1'-0"

CABINET SCHEDULE - MAIN BATH			
QTY	CABINET	DOOR	COMMENTS
1	21" x 33" MIRROR	15x21	
2	V18	1	
1	V33	2	

CABINET LIST		
QTY	CABINET	COMMENTS
1	1/2" H-FILL	
1	1/2" S4 H-FILL	
1	1/2" S4 H-FILL	
1	66" x 33" MIRROR	
2	1818	
4	1827	
2	1833	
1	1836S	
1	1836S	
3	182190	
3	182730	
1	183018	
1	183630	
1	183630/DC	
1	183913	
1	V15	
2	V18	
2	V30	
1	V33	

<p>111 GRANT STREET, AURORA, NEBRASKA 68818</p>	SITE ADDRESS GRAND ISLAND, NE	CUSTOMER THE REDWOOD 2020	CODE: 2018 IRC FLOOR 40 PSF CEILING 40 PSF ROOF 40 PSF WIND ZONE 115 VULT MPH	DATE: 11/01/19 DESIGNED BY: CES CHECKED BY: CES PRELIMINARY ISSUE
	DRAWING TITLE CABINET DETAILS	DEALER BELLAVISTA	SHEET NO. 15B	QUOTE NO.



CROSS SECTION: WITH FLOOR TRUSS

CROSS SECTION: WITH 2 x 10 FLOOR JOISTS

1 BUILDING SECTION
16 SCALE (20x24): 3/4"=1'-0"
SCALE (11x17): 3/8"=1'-0"

NOTE:
WHEN A CRAWLSPACE IS USED IN LIEU OF A BASEMENT FOUNDATION, CONSTRUCTION OF CRAWLSPACE SHALL BE SPECIFIED IN THE INTERNATIONAL RESIDENTIAL CODE CHAPTER 4

NOTE:
THE HOME SHOULD BE GROUNDED AS DEFINED IN ARTICLE 250, SECTION III, OF THE NATIONAL ELECTRICAL CODE. AS PART OF THOSE REQUIREMENTS, A FOOTING REBAR SHALL BE LEFT EXPOSED SO A CONNECTION CAN BE MADE WITH THE BUILDING STRUCTURE AS DEFINED IN NEC ARTICLE 250, SECTION III, PART 50.

	SITE ADDRESS GRAND ISLAND, NE	CUSTOMER THE REDWOOD 2020	CODE: 2018 IRC FLOOR LOAD: 40 PSF ROOF LOAD: 40 PSF WIND ZONE: D WIND SPEED: 115 VULT MPH	DATE: 11/01/19	DESIGNED BY: CES	CHECKED BY: CES	PROJECT: PRELIMINARY ISSUE
	DRAWING TITLE BUILDING SECTION	DEALER BELLAVISTA		DATE: 11/01/19	DESIGNED BY: CES	CHECKED BY: CES	PROJECT: PRELIMINARY ISSUE