

STORM - TRIPLE 36" RCP  
SCALE: 1"=40' H, 1"=5' V

It is the owner's responsibility to coordinate with easement holders to avoid impact to utilities. This may be located in the assessments.

Planning and Community Development  
Approvals complete upon completion of all applicable assessments and fees.  
This plan must be printed by the responsible engineer.  
Approval of this plan is not a guarantee of performance without the approval of the planning and community development engineering division.  
Any approval given by Platte County does not constitute a warranty or liability on the part of the engineer.

BESQC APPROVED/DENIED  
by Jim on 9/10/19

#1014238  
PUD  
SF0191053

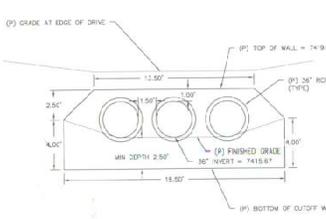
APPROVED DENIED  
BY DATE 9/10/19  
FOR ST-11-1014238  
NOTES see attached sheet

ELTASO TO CITY PLANNING AND COMMUNITY DEVELOPMENT

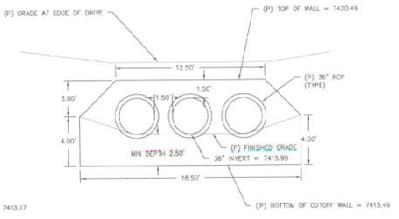


**LEGEND**

- EXISTING (E)
  - PROPOSED (P)
  - CLOSE AND CUTTER (C&C)
  - PROTECT-IN-PLACE (PIP)
  - BOUNDARY (---)
  - RIGHT-OF-WAY (---)
  - LOT LINE (---)
  - EASEMENT (---)
  - (E) CONTOUR INDEX
  - (P) CONTOUR INDEX
  - (E) CONTOUR
  - (P) CONTOUR
  - (E) STORM SEWER
  - (P) STORM SEWER
  - (P) LIMITS OF CONSTRUCTION
  - (E) SANITARY MAIN, 18"
  - (E) WATER MAIN, 8" OR VALVE, 18"
  - (E) GAS MAIN
  - (E) STORM SEWER, INLET, 18"
  - (E) CABLE, TV
  - (E) ELECTRIC
  - (E) TELEPHONE
- 
- SILT FENCE (---) STAGE 1
  - VEHICLE TRACKING CONTROL (---) STAGE 1
  - CONCRETE WASHOUT (---) STAGE 3
  - ROCK SOCKS (---) STAGE 3
  - STABILIZED STAGING AREA (---) STAGE 1
  - CULVERT INLET PROTECTION (---) STAGE 2
  - DRAINAGE SWALE (---) STAGE 2
  - STOCKPILE PROTECTION (---) STAGE 1
  - CUT/FILL LINE (---)
  - FORTABLE TOILET MANAGEMENT (---) STAGE 1
  - INNER OR OUTER STREAMSIDE 30' (---)



HEADWALL 'A'  
SCALE: 1"=10'



HEADWALL 'B'  
SCALE: 1"=10'

**LEGAL DESCRIPTION**

LOT 3, FLYING HORSE NORTH PLING NO. 1

**ADDRESS**

15480 BILLINGS COURT

**NOTES**

- CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD LOCATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
- THIS PLAN SHOWS HORIZONTAL LAYOUT OF IMPROVEMENTS AND APPROXIMATE DRAINAGE PATTERNS AND DOES NOT REFINE LOT GRADINGS, INDICATE FOUNDATION GRADINGS OR DEFINE FOUNDATION LAYOUT. SEE FOUNDATION PLANS FOR LAYOUT AND STRUCTURAL INFORMATION.

**SITE DATA**

LOT AREA = 3.423 ACRES  
RESIDENCE FOOTPRINT = 2733 SF  
COVERAGE = 1.3%

**TAX SCHEDULE NO.**

813403504

REV.	DESCRIPTION	DATE

**811** Know what's below.  
Call 72 hours before you dig.  
For more details visit: [www.call811.com](http://www.call811.com)

PREPARED FOR:  
**JP COOPER CONSTRUCTION**  
6361 TIMBER TRAIL DRIVE  
COLORADO SPRINGS, CO 80906

PREPARED UNDER CONTRACT AND BEHALF OF CATAMOUNT ENGINEERING:  
**DAVID L. MUMFORD, LICENSED PROFESSIONAL ENGINEER #40511**  
09/18/19 DATE



15480 BILLINGS CT

SITE PLAN

DESIGNED BY:	DLM	DRAWN BY:	XXX
SCALE:	VARIABLES	DATE:	04/05/19
JOB NUMBER:	19-200	SHEET:	1 OF 1

# FLYING HORSE NORTH

## ARCHITECTURAL CONTROL COMMITTEE

June 26, 2019

Mr. David Riggle  
JP Cooper Construction  
16361 Timber Meadow Dr.  
Colorado Springs, CO. 80908

**RE: Karlye-Russ Custom/ Lot #3/ Filing #/15480 Billings Ct.-Flying Horse North**

Dear David:

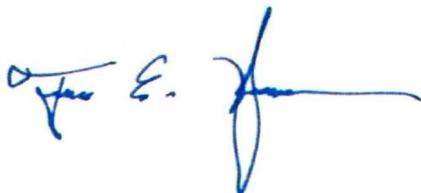
Acting on behalf of the Flying Horse North Architectural Control Committee (ACC), please be advised that the ACC has completed its review of the revised Design Development Submitted plans of June 25, 2019 for the above referenced Flying Horse North property. The submittal has been accepted and you are free to pursue for permit. Note, it is the sole responsibility of the builder and owner to verify safe separation distance of well and septic and in consideration of the existing drainage swell for lot #3 prior to application, placement & install.

Please note the following:

- 1.) Upon completion of the scope in your submittal please contact Tom E. Hoover AIA at (303) 810-1146 for inspect your completed construction for ACC acceptance. Please allow for a minimum of two (2) weeks to complete the final review process.
- 2.) The final refund check (less expenses outlined in the Design Guidelines) will be dispersed by the management company within 45 days from the date of the final inspections by the ACC and the final landscape approval.

Thank you for your cooperation during this review process and good luck with the construction of the residence.

Sincerely,  
On Behalf of the ACC

A handwritten signature in blue ink, appearing to read "Tom E. Hoover". The signature is stylized and includes a long horizontal flourish extending to the right.