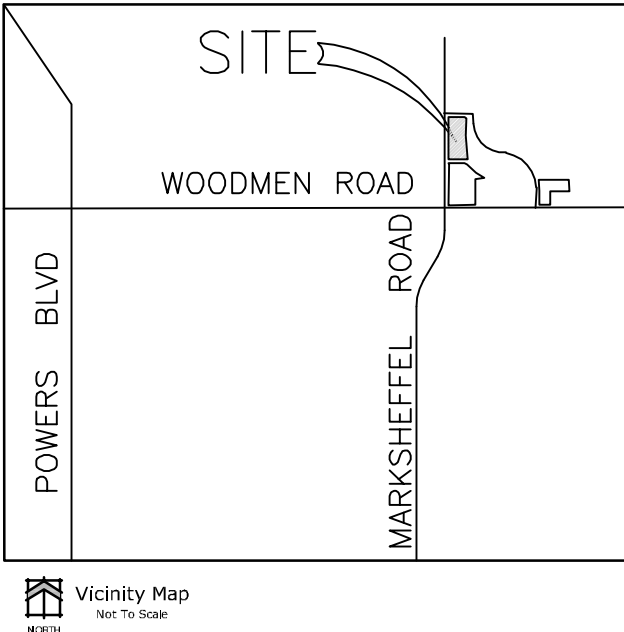


LOT 1 SHILOH MESA
NORTH RETAIL

MARKSEFFEL ROAD
COLORADO SPRINGS, COLORADO 80923
1.55 ACRES
PUD DEVELOPMENT PLAN



- Legal Description:**
LOT 1 SHILOH MESA NORTH RETAIL
CONTAINING 67,684 square feet (1.55 ACRES) MORE OR LESS
- NOTES:**
- FLOODPLAIN STATEMENT: THIS PROPERTY IS LOCATED WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE OF THE 500-YEAR FLOOD PLAIN) AS ESTABLISHED BY FEMA PER FIRM PANEL 08041C0533G EFFECTIVE DATE DECEMBER 7, 2015.
 - All existing curb, gutter, sidewalk, pedestrian ramps and crosswalks posing a safety hazard, damaged, exhibiting excessive deterioration or not meeting current city engineering standards along Mulberry Wood Drive adjacent to the site will need to be removed and replaced prior to issuing the certificate of occupancy (CO). An on-site meeting can be set up with the engineering development review inspector to determine what, if any, improvements are required. The inspector can be reached at 719-385-5977.
 - The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ada design standards and guidelines as published by the United States Department of Justice. Approval of this plan by the City of Colorado Springs does not assure compliance with the ADA or any other federal or state accessibility laws or any regulations or guidelines enacted or promulgated under or with respect to such laws. Sole responsibility for compliance with federal and state accessibility laws lies with the property owner.
 - THIS PROPERTY IS SUBJECT TO THE TERMS, CONDITIONS, PROVISIONS, BURDENS, AND OBLIGATIONS AS SET FORTH IN AVIGATION EASEMENT RECORDED AT RECEPTION NO. 215063871.
 - All areas designated "NO PARKING/FIRE LANE" shall install sign per CSFD standards.
 - This Property is subject to the Declaration of Covenants, Conditions, Restrictions and Easements of the Shiloh Mesa Center Owners Association. In addition, to the easements as set forth and granted in the Shiloh Mesa Center Owners Association as recorded on March 3, 2021 under Reception No. 221041816.
 - This property is included within the Woodmen Heights Metropolitan District No. 3 and is subject to the terms, conditions, provisions, burdens and obligations as set forth in the Instruments recorded December 28, 2004 under Reception No. 204209872, September 8, 2005 under Reception No. 205140999, November 26, 2005 under Reception No. 205189163, July 13, 2006 under Reception No. 206103276 and June 26, 2008 under Reception No. 208073150. Amended and Restated Resolution recorded September 29, 2008 under Reception No. 208106389 and instrument recorded November 19, 2013 under Reception No. 213140364.
 - Per City Code Section 7.4.102.D, all lighting fixtures shall be full cut-off or have shielding to reduce off-site lighting impacts onto adjacent properties and roadways. All exterior lighting shall be arranged to mitigate light directed away from adjacent properties and any public right-of-way. An amendment to this plan may be required if the lighting type is changed.
 - Property owners are responsible for the maintenance of shared common tracts, access drives, preservation areas, and landscape areas adjacent to their property.
 - All "stop sign" will be installed by the developer at the location shown on the development plan to meet MUTCD standards. Contact Traffic Engineering, Signs & Markings at 719-385-6720 for assistance.
 - Accessible parking spaces, access aisles, and signage shall meet all applicable City code requirements including: (1) Parking spaces and access aisles shall be level with surface slopes not exceeding one to fifty (1/50) (2 percent) in all directions; (2) Accessible parking spaces shall be marked with four inch (4") lines; (3) Accessible aisles shall be outlined and diagonally striped at forty five degree (45°) angles in a contrasting color such as yellow, white, or blue; (4) Each accessible parking space shall be designated as reserved by a sign showing the International Symbol of Accessibility; (5) Van accessible spaces shall have an additional sign containing the designation, "van accessible", mounted below the symbol of accessibility; (6) Each accessible parking space sign shall be no smaller than eighteen inches (18") tall by twelve inches (12") wide; (7) Each van accessible sign shall be no smaller than six inches (6") tall by twelve inches (12") wide; and (8) Signs shall be located at the head of the space with the bottom of the sign(s) between five feet (5') and seven feet (7') above the finish floor or ground surface.
 - Street tree, streetscape improvements, and vegetation within the City ROW shall be maintained by the abutting property owner.
 - Landscape improvements and maintenance shall be the responsibility of Owner, and/or assigns.
 - Signage is not approved per this plan. A separate sign permit is required. Contact the Development Review Enterprise at 719-385-5982 to begin a sign permit application.
 - Accessible routes, including ramps and sidewalks, within the public right-of-way shall be per the City's Standard drawings and Specifications. City's Engineering Development Review Inspector will have the final authority on accepting the public improvements.
 - Installation of electrical devices in the public ROW shall be performed in accordance with the City Specification Section 1001 and complete the Colorado Springs Utilities "Electric Inspection in the Right-of-Way Certificate" in accordance with Utilities' requirements for electrification. The Certificate shall also be provided to the City Inspector.
 - Stormwater treatment is provided with Pond 14 within Tract A of Shiloh Mesa Commercial Filing No. 1. The Pond (Tract A) shall be owned and maintained by the Woodmen Heights Metro District. The pond was studied with the MDDP Amendment for Shiloh Mesa at Woodmen Heights and the FDR for Shiloh Mesa Commercial Filing No. 1 By Matrix Design Group dated July 2019.

LAND USE	AREA	%
BUILDING COVERAGE	11,834 SF	18
PAVING (IMPERVIOUS SURFACES)	28,746 SF	42
LANDSCAPING (NON-IMPERVIOUS)	27,104 SF	40
SUB-TOTAL	67,684 SF	100

SITE DATA	tax schedule no.	5304300016
	address	Marksheffel Road
	area	1.55ACRES
	ex zone	PUD AO
	proposed use	RETAIL CENTER
PARKING	Building setbacks	25' minimum setback from peripheral boundary
	Landscape setbacks	10' Along roadways
	Maximum Building Height	45'
	Proposed Building Height	28' 6"
	Master Plan	Woodmen Heights
SHEET INDEX	Concept Plan	Shiloh Mesa at Woodmen Heights CPC PUP 07-00245
	Drainage Basin	Sand Creek
	Development schedule	Fall 2022

PARKING	use	Retail Center
	bldg area	11,834 sf
PARKING	ratio	1 parking space per 200 sf
	required	59 required (including 3 accessible spaces 1 being van accessible)
PARKING	provided	63 provided (3 accessible including 1 van accessible spaces)

- SHEET INDEX**
- 1..... DEVELOPMENT PLAN
 - 2..... SITE DETAILS
 - 3..... PRELIMINARY GRADING PLAN
 - 4..... PRELIMINARY UTILITY & PUBLIC FACILITY PLAN
 - 5..... FINAL LANDSCAPE PLAN
 - 6..... LANDSCAPE DETAILS
 - 7..... ELEVATIONS

OWNER INFO	company	Marksheffel Development LLC
	name	12325 Oracle Boulevard Suite 120
	address	Colorado Springs, CO 80921
OWNER INFO	city/state	
	phone no	

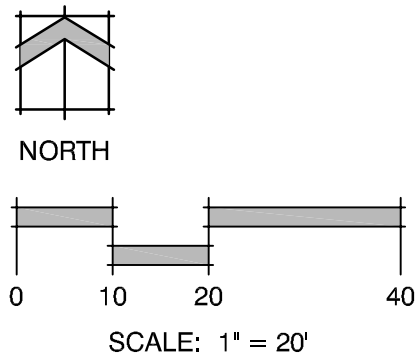
city file no: AR PUD 22-00???

MARKSEFFEL ROAD
PUBLIC RIGHT OF WAY WIDTH VARIES
RECEPTION NO. 216713770

CARMELA GROVE
60' PRIVATE RIGHT OF WAY

LOT 1 SHILOH MESA
COMMERCIAL FIL NO 3
TSN 5304309007
8036 Carmela Grove
USE: retail
ZONE: PUD AO
3.13 Acres

GERALDINE POINT
PRIVATE RIGHT OF WAY

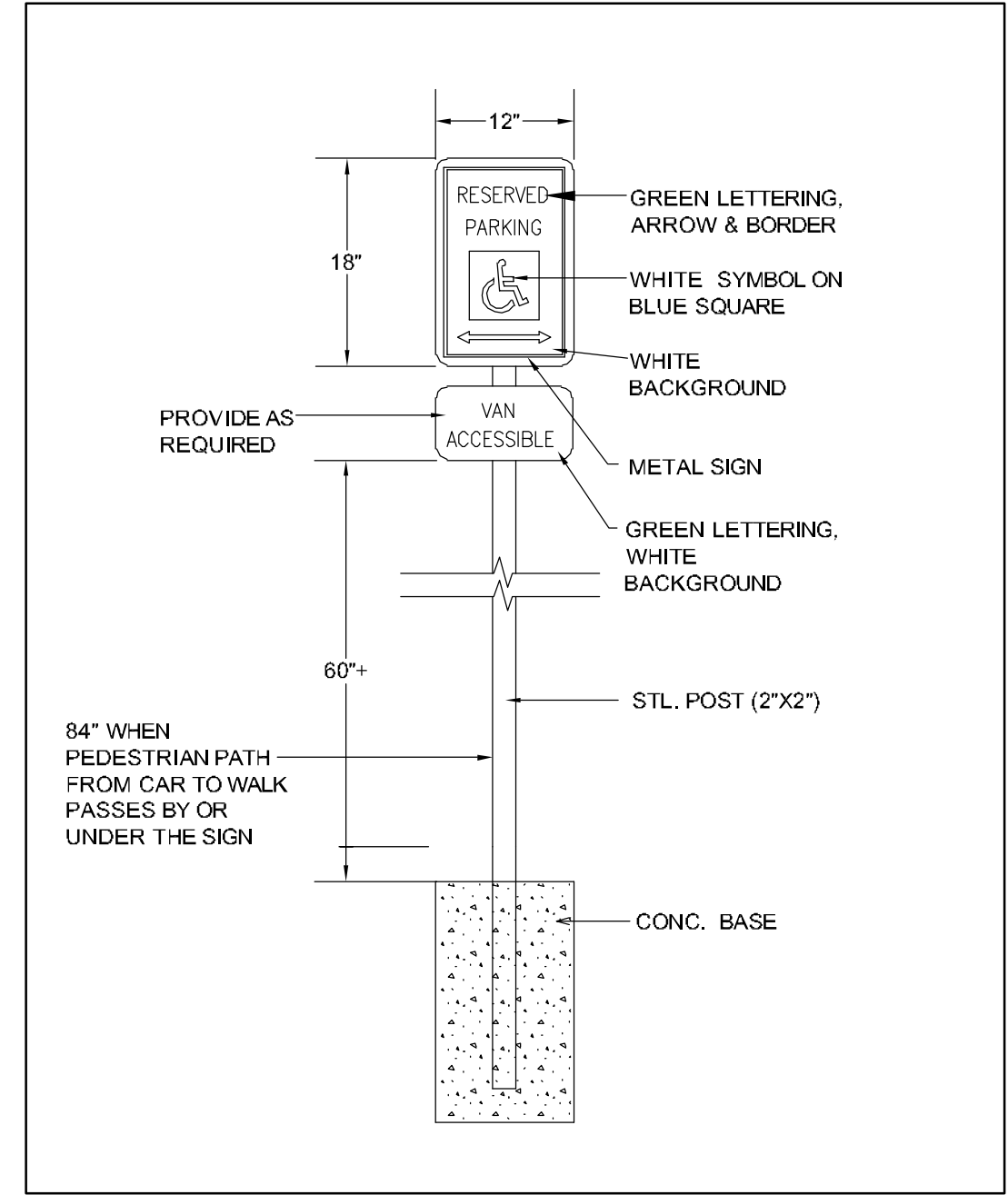
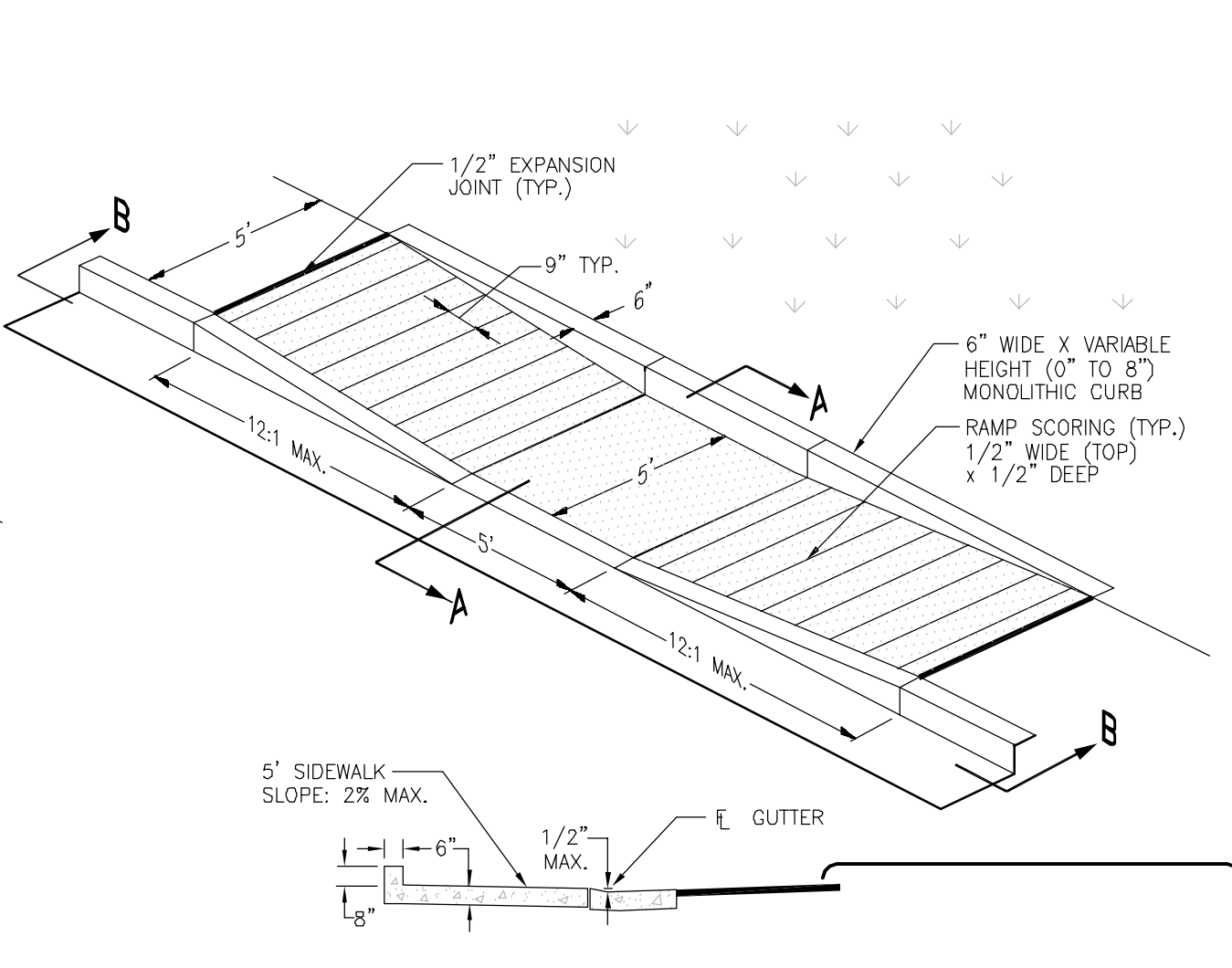
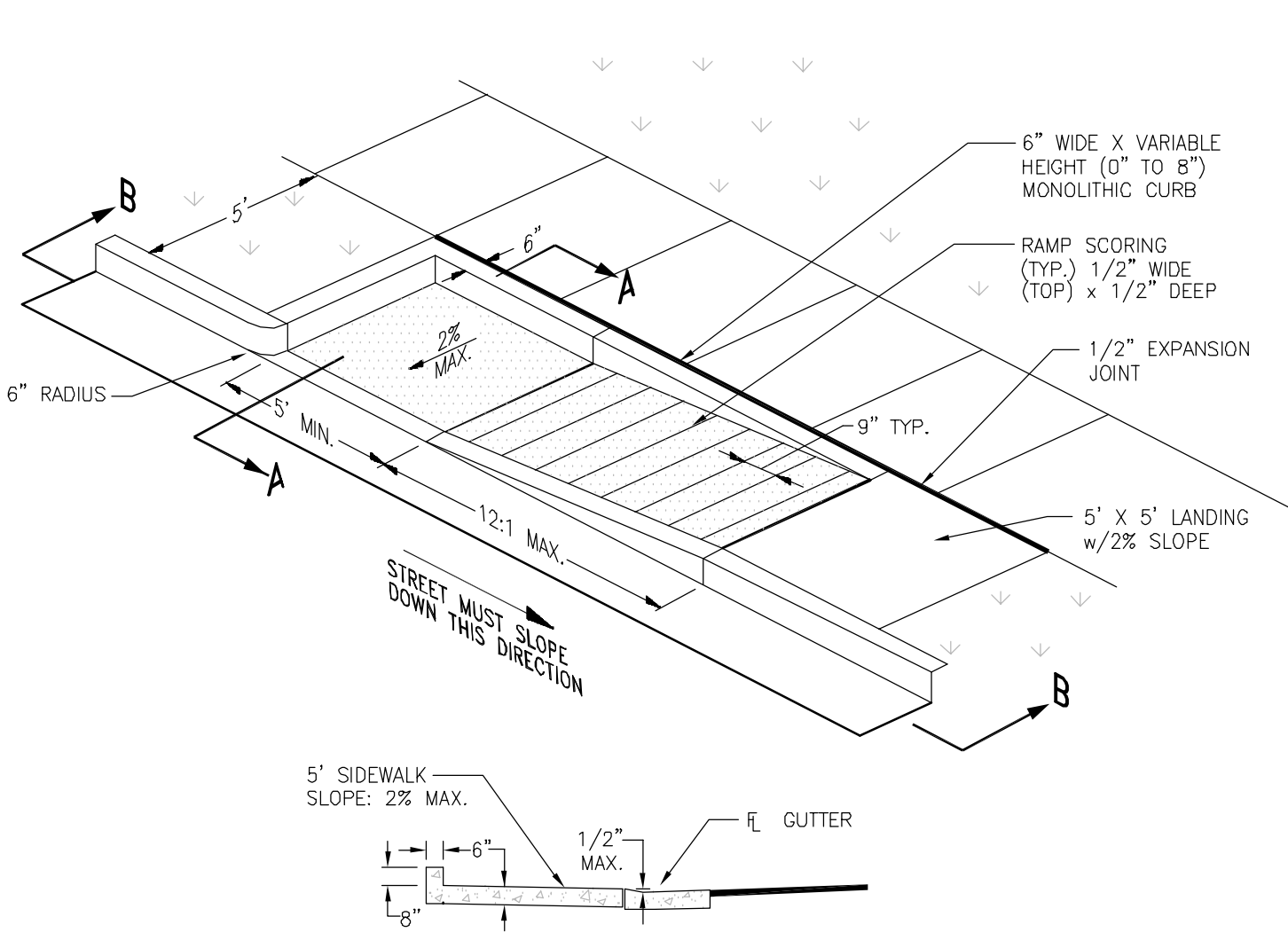
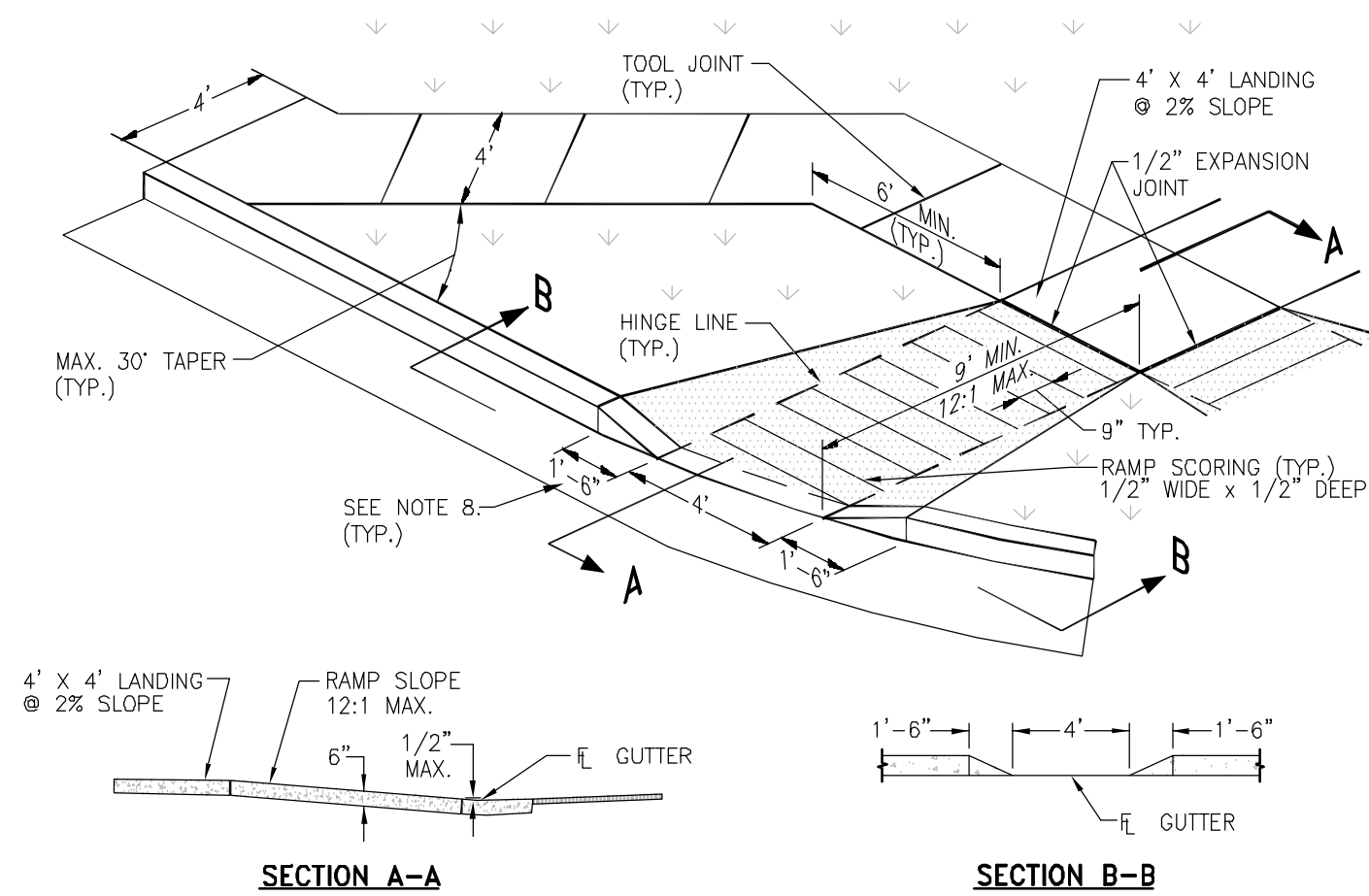


YOW ARCHITECTS PC
ARCHITECTURE & PLANNING
115 S. Weber Colorado Springs, Colorado 475-8133

Lot 1 Shiloh Mesa North
Retail
Woodmen Road
Colorado Springs, Colorado 80923

Job No. 20109
Directory Planning
File development plan
Drawn By DBN
Date 4.27.2022
Revised

DRAWING NO.
1 of 7
PUD Development
Plan

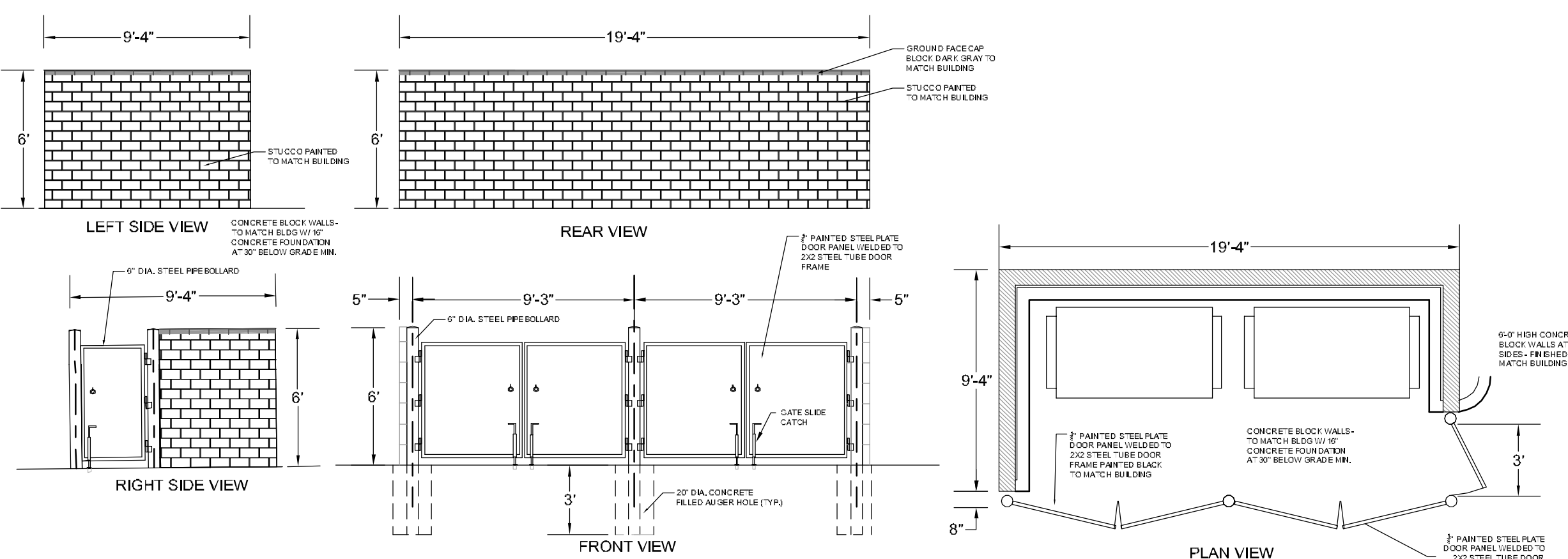


ACCESSIBLE SIGNAGE DETAIL
N.T.S.

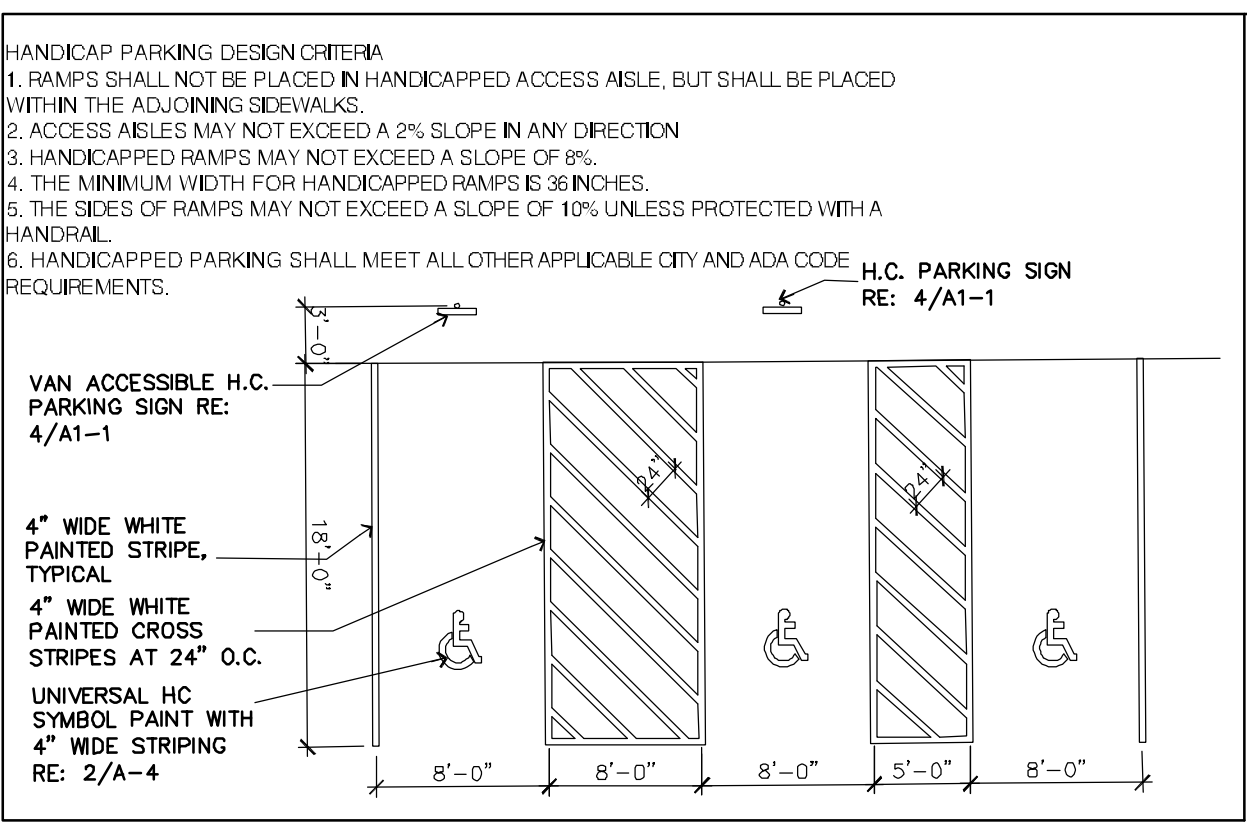
- GENERAL NOTES:**
- All work to be done in accordance with current City of Colorado Springs Engineering Division Standard Specifications.
 - Sidewalk cross-slope: 1/4"/ft.
 - Contractor to obtain required Concrete Permit and Ramp Permit at Engineering Division Inspection Office prior to construction.
 - Contractor to notify Engineering Division Inspection Office at least 24 hours prior to placement of any concrete.
 - The ramp surfaces shall be finished with a coarse broom finish, parallel with the scoring, in accordance with Section 509.03E of the Standard Specifications.
 - Contractor shall stamp the company name and construction date within the pedestrian ramp area.
 - Ramp location and length may require modification to maintain the 12:1 maximum running slope due to intersection street grades and/or alignment.
 - Where the 1'-6" flared side(s) of a perpendicular curb ramp is (are) contiguous with a public walk, their length shall be increased to 8' minimum and the maximum flare slope shall not exceed 10:1.
 - Pedestrian walkway and/or location of existing or future pedestrian ramps on opposite corners shall be reviewed before constructing new ramps. New ramps shall align with existing ramps and pedestrian walkway.
 - At marked pedestrian crossings, the bottom of the ramps, exclusive of the flare sides, shall be totally contained within the markings.
 - Shaded area: 6" thick integrally colored concrete. (Exception: Where adjoining walkways are dark colored, ramp shall be constructed with regular concrete to provide required visual contrast).
 - Color shall be L. M. Scofield Company "Santa Barbara Brown, C-35," Davis Color Company, Pigment No. 618, 5 lbs./bag, or an approved equal.
 - Curing compound shall be a blend of waxes and pigments in a solvent emulsion base and conform to the requirements of ASTM C-309. The curing compound shall be "Lithocrome Colorwax" as manufactured by L. M. Scofield Company, "Davis Color-Seal" as manufactured by Davis Color Company, or approved equal.
 - Concrete mix design shall conform to the requirements of the color admixture manufacturer and the following:
 - 28-day compressive strength = 4,000 PSI (min.)
 - Water/cement ratio = 0.45 (max.)
 - Cement content = 6-1/2 sacks/c.y. (min.) (Type II cement)
 - Maximum aggregate size = 3/4"
 - Entrained air content = 6% - 10%
 - Slump = 1 inch (min.) - 4 inches (max.)

STANDARD PEDESTRIAN RAMP FOR NEW CONSTRUCTION
NO SCALE

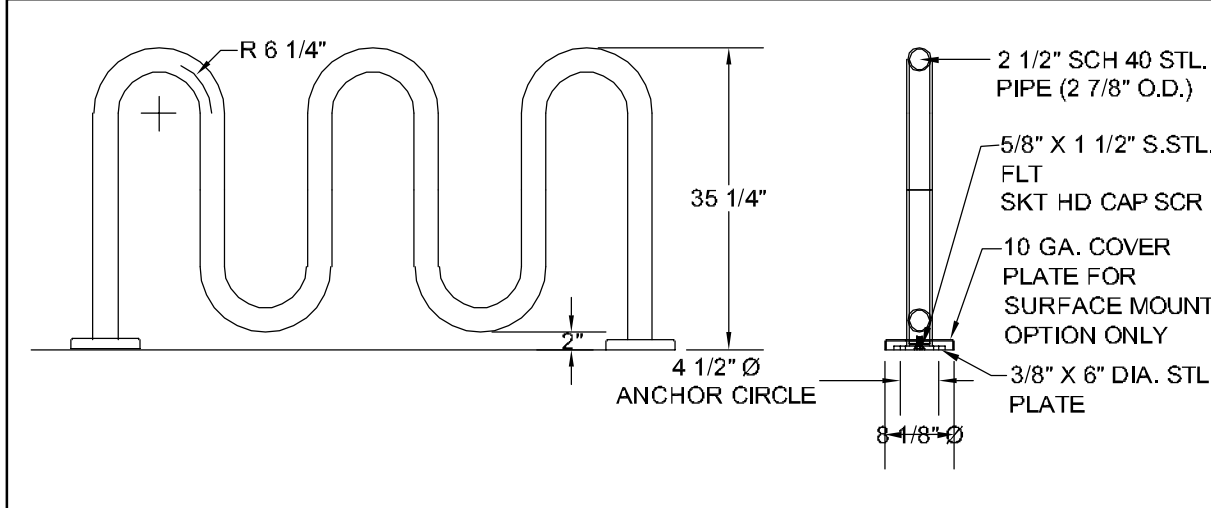
A TYPICAL PEDESTRIAN RAMPS
N.T.S.



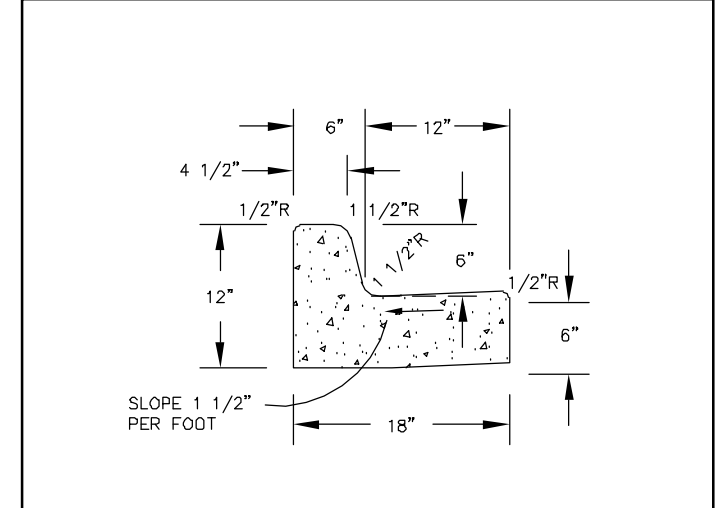
B TRASH ENCLOSURE
N.T.S.



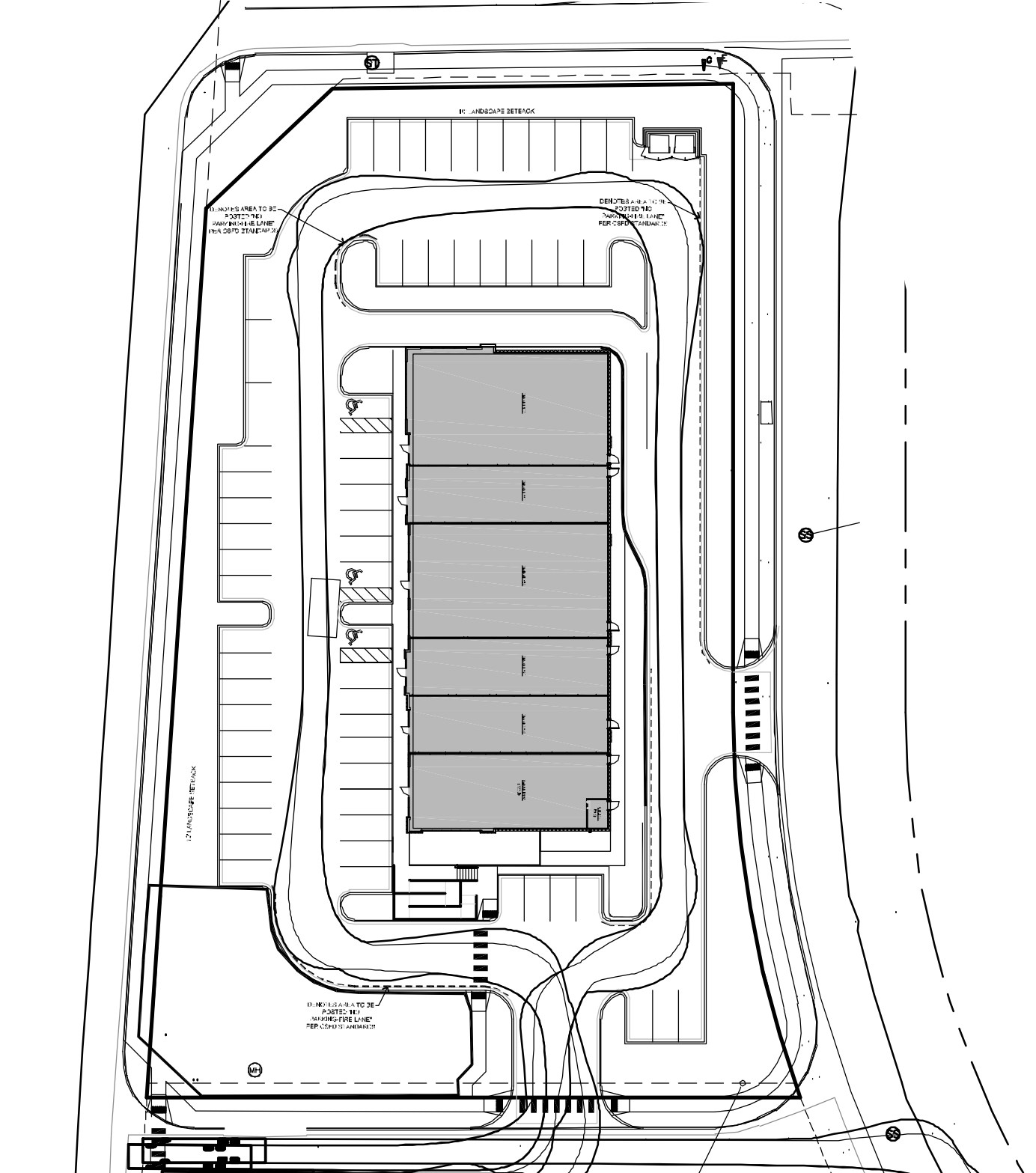
C TYPICAL HANDICAP PARKING DETAIL
N.T.S.



D BIKE LOOP
N.T.S.



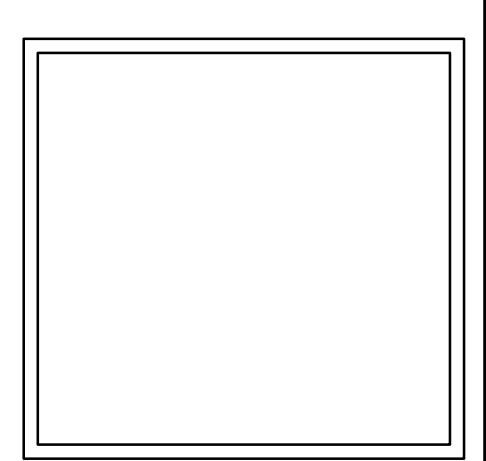
E TYPICAL CURB AND GUTTER
N.T.S.




F FIRE APPARATUS ROUTE
SCALE: 1"=50'

OWNER INFO

company name	Marksheffel Development LLC
address	12325 Oracle Boulevard Suite 120
city/state	Colorado Springs, CO 80921
phone no	



city file no: AR PUD 22-00-00???



YOW ARCHITECTS PC
ARCHITECTURE & PLANNING
115 S. Weber Colorado Springs, Colorado 475-8133

Lot 1 Shiloh Mesa North
Retail

Woodmen Road
Colorado Springs, Colorado 80923

Structural: ---
Electrical: ---
Mechanical: ---
Plumbing: ---

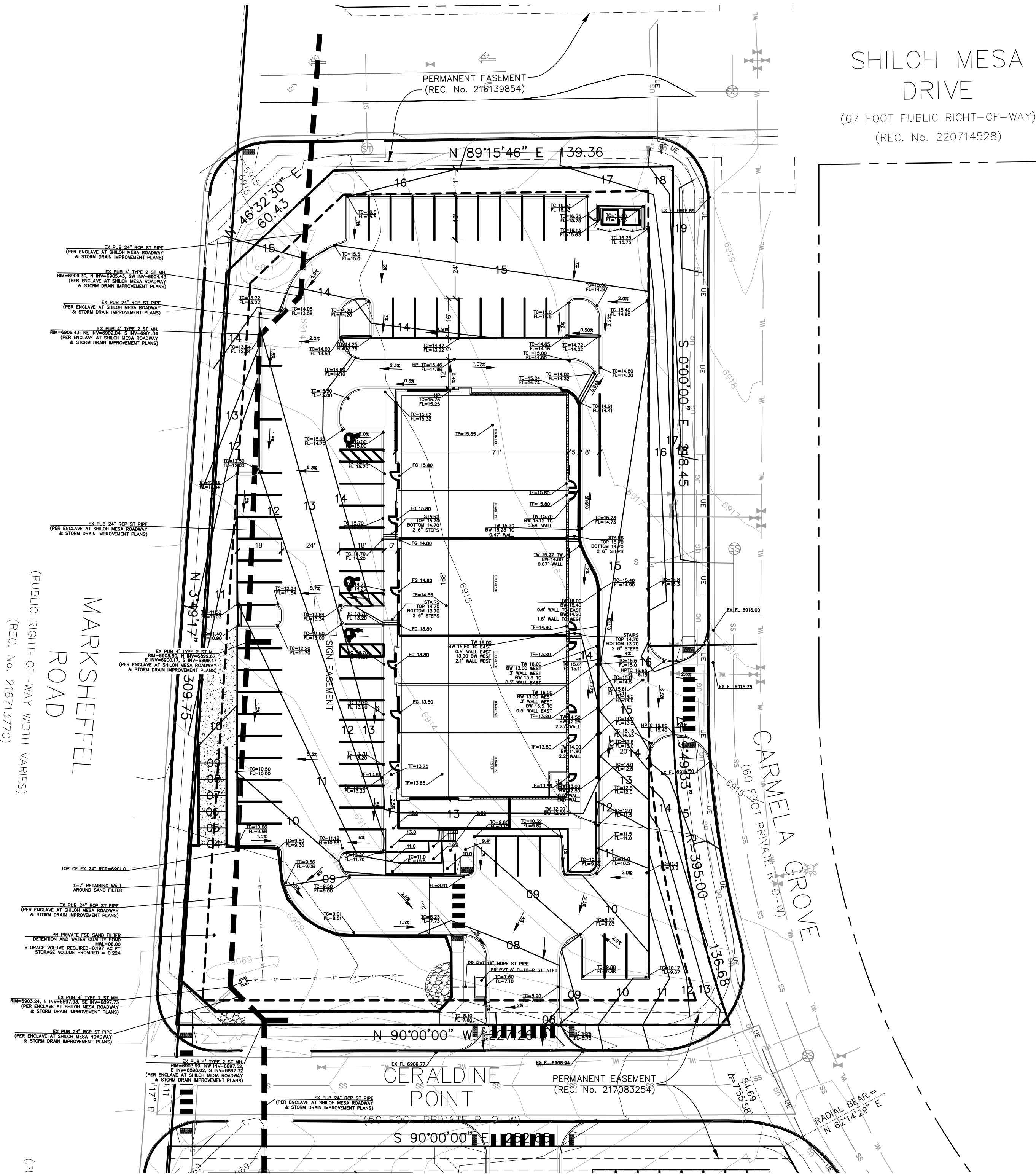
Drawn by: DMB
Date: 4.28.2022
File: 22-00-00

30,000
Planning
development plan

DRAWING NO.
2 of 7
Development Plan
Details

city file no: AR PUD 22-00-00???

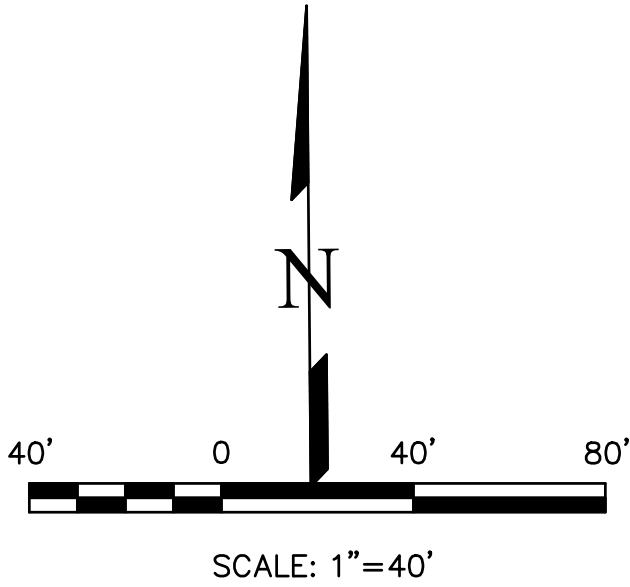
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- NOTE:**
- EXISTING VEGETATION CONSISTS OF NATIVE PRAIRIE GRASSES AND SHRUBS WITH GOOD TO EXCELLENT COVERAGE OF 75% TO 90%
 - AT THE TIME OF FINAL CONSTRUCTION EROSION CONTROL BLANKETS WILL NEED TO BE INSTALLED ON ALL 3:1 SLOPES

GRADING LEGEND

EXISTING CONTOURS - MAJOR	---	6130	---
EXISTING CONTOURS - MINOR	- - -	6132	- - -
PROPOSED CONTOURS - MAJOR	---	6130	---
PROPOSED CONTOURS - MINOR	- - -	6132	- - -
PROPERTY LINE	---		---
FLOW DIRECTION	---	3:1	---
TOP OF WALL		TW	
FINISHED GROUND		FG	
FLOWLINE		FL	
TOP OF STAIRS		TS	
BOTTOM OF STAIRS		BS	

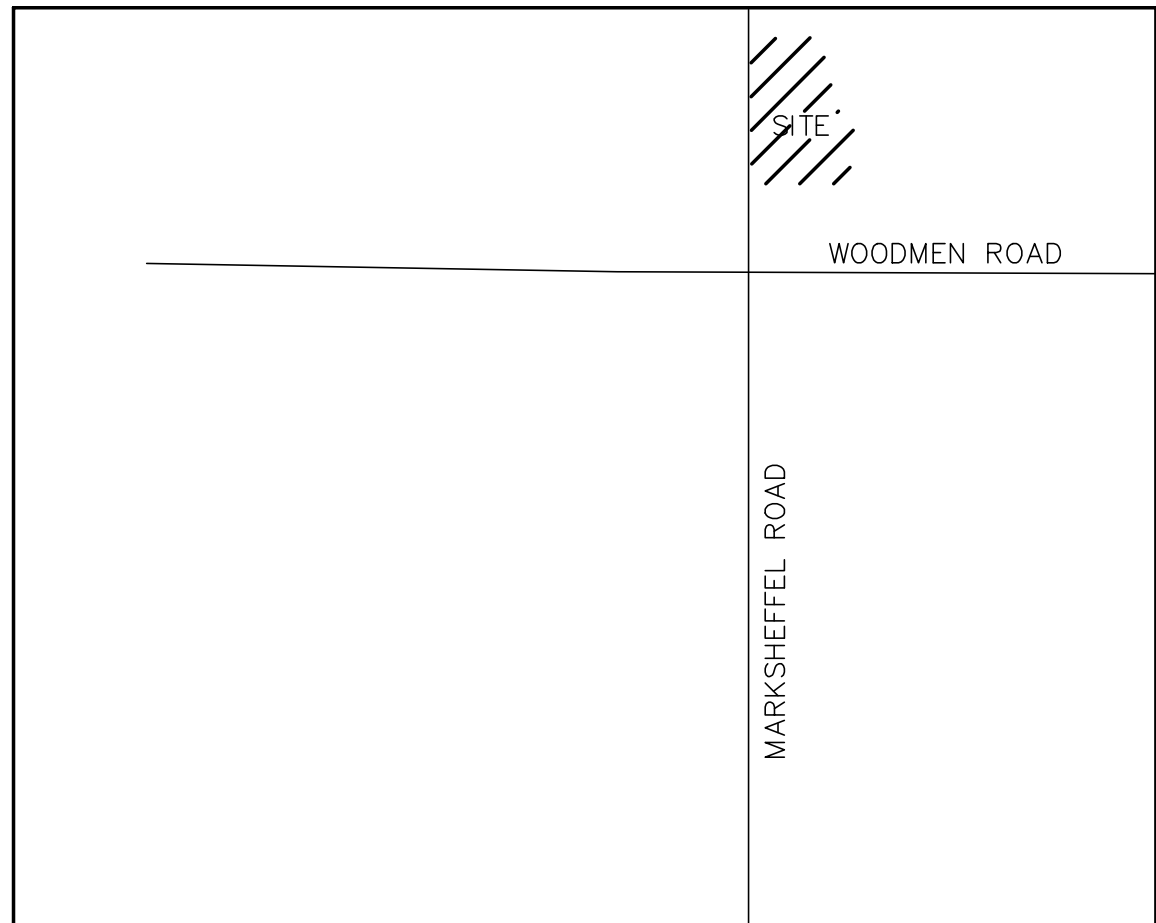


NOT FOR CONSTRUCTION

AR DP 22-

SHILOH MESA RETAIL NORTH		DESIGNED BY LD	
DEVELOPMENT PLAN		DRAWN BY LD	
PRELIMINARY GRADING PLAN		CHECKED BY	
		H-SCALE	
		V-SCALE	
		JOB NO. 2213.00	
		DATE ISSUED 04/26/22	
		SHEET NO. 3 OF 7	

REVISIONS	NO.	DESCRIPTION	DATE
UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE COLORADO DEPARTMENT OF TRANSPORTATION AND CONSTRUCTION, THE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION. ONLY FOR THE PURPOSES AUTHORIZED BY WRITTEN AUTHORIZATION.			
PREPARED FOR: COLORADO COMMERCIAL BUILDERS ATTN: JOSH BEGGS 5410 POWERS CENTER POINT COLORADO SPRINGS CO 80920 719-264-6955			
Terra Nova Engineering, Inc. Creative Civil Engineering 721 S. 2500 STREET COLORADO SPRINGS, CO 80904 OFFICE: 719-635-6422 FAX: 719-635-6426 www.tnashc.com			



VICINITY MAP

GENERAL NOTES:

- COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
- PROPERTY OWNER(S) ("OWNER") ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS. SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS ("STANDARDS"), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND Pikes Peak REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
- OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES' RULES AND REGULATIONS.
- SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.

- THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
- OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
- THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
- OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
- OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564).

- IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT. SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NESC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
- SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS; AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS, SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.

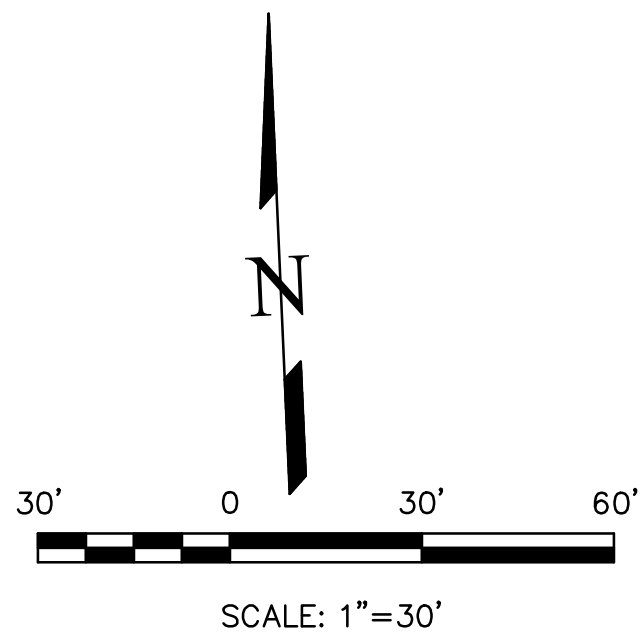
NOT FOR CONSTRUCTION

LEGEND

EXISTING SANITARY SEWER MAIN	
EXISTING WATER MAIN	
EXISTING STORM SEWER MAIN	
PROPOSED WATER MAIN	
PROPOSED STORM SEWER MAIN	
PROPOSED SANITARY SEWER SERVICE	
PROPOSED FIRE LINE	
PROPOSED WATER SERVICE	
EXISTING	EX
PROPOSED	PR
PUBLIC	PUB
PRIVATE	PVT

FIRE INFORMATION

SF	11,600 SF
BLDG TYPE	V-B
SPRINKLERED	YES
GPM REQ'D	1500 (MAX) 50% RED.
GPM PROVIDED	###
FH REQUIRED	1
FH PROVIDED	1
FIRE FLOW	2 HRS
AVE FH SPACING	500'
HOSE LAY	250'

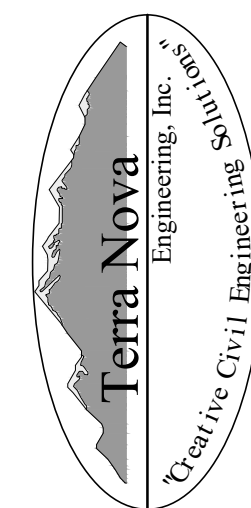


SHILOH MESA NORTH

DEVELOPMENT PLAN
PRELIMINARY UTILITY & PUBLIC FACILITY PLAN

DESIGNED BY LD
DRAWN BY LD
CHECKED BY
H-SCALE
V-SCALE
JOB NO. 2213.00
DATE ISSUED 2/25/22
SHEET NO. 4 OF 7

721 S. 2960 STREET
COLORADO SPRINGS, CO 80904
OFFICE: 719-635-6422
FAX: 719-635-6426
www.terra-nova.com



PREPARED FOR:
CCB
ATTN: JOSH BEGGS
5410 POWERS CENTER POINT
COLORADO SPRINGS, CO 80620
719-264-6955

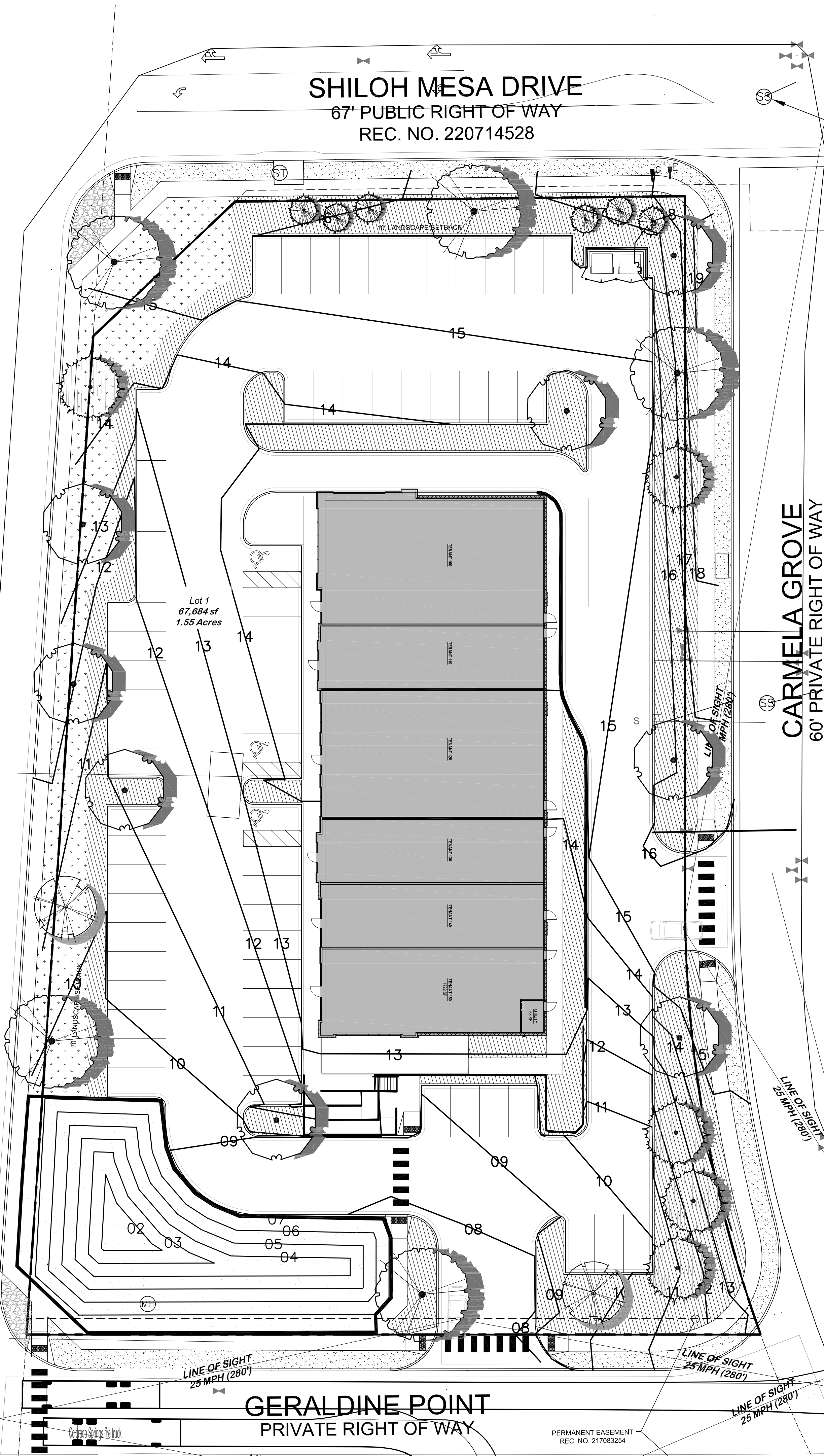
UNTIL SUCH TIME AS THESE
DRAWINGS ARE APPROVED
BY THE SPRINGS UTILITIES
REVIEWING AGENCIES
TERRA NOVA ENGINEERING,
INC. APPROVES THEIR USE
ONLY FOR THE PROJECT
AND PURPOSES AUTHORIZED BY
WRITTEN AUTHORIZATION.

REVISIONS	NO.	DESCRIPTION	DATE

-SEE SHEET 2 OF 2 FOR HYDROZONE MAP-
KEYED NOTES:(not all items labeled. Items labeled considered typ.)

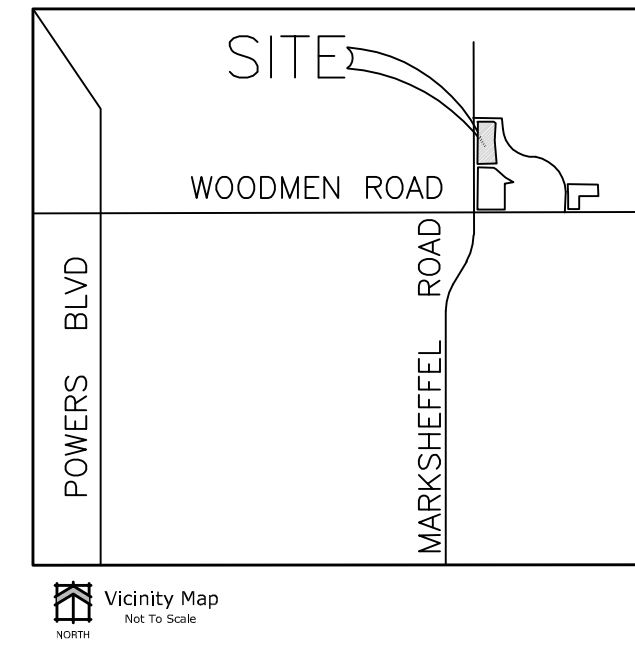
- ① TYPICAL DECIDUOUS TREE PLANTING
see detail#2-2
② TYPICAL EVERGREEN TREE PLANTING
see detail#2-2
③ TYPICAL SHRUB PLANTING
see detail#2-2
④ TYPICAL GROUNDCOVER/PERENNIAL PLANTING
see detail#2-2
⑤ LANDSCAPE BOULDER
see detail#2-2
⑥ STEEL EDGE
see detail#2-2
⑦ 2-4" BLUE GREY GRAVEL MULCH
see detail#2-2
⑧ SCREEN WALL
see architectural plans
⑨ 4-8" COBBLE
see detail#2-2
⑩ ORGANIC MULCH
⑪ TURF (LAWN AREA (THERMAL BLUE BLEND)
see landscape notes for required amendments

MARKSHEFFEL ROAD
PUBLIC RIGHT OF WAY WIDTH VARIES
RECEPTION NO. 216713770



LOT 1 SHILOH MESA NORTH RETAIL

MARKSEFFEL ROAD
COLORADO SPRINGS, COLORADO 80923
1.55 ACRES
PUD LANDSCAPE PLAN



LANDSCAPE PLANT SCHEDULE

SYMBOL	QUANTITY	SCIENTIFIC NAME	COMMON NAME	MATURE SIZE	PLANTING SIZE	NOTES	APP. B KEY
DECIDUOUS TREES							
ABM		Acer x freesei 'Jefferson'	Autumn Blaze Maple	50' x 40'	2" Caliper	Ball and Burlap	S
ACD		Quercus macrocarpa	Shingle Redwood	40' x 30'	2" Caliper	Ball and Burlap	45A
SWO		Quercus bicolor	Swamp White Oak	60' x 50'	2" Caliper	Ball and Burlap	45
LLL		Tilia cordata 'Greenvein'	Greenvein Linden	45' x 20'	2" Caliper	Ball and Burlap	45
EVERGREEN TREES							
ALM		Pinus strobus	Austrian Pine	50' x 30'	10' Height	Ball and Burlap	2587MA
PVP		Pinus Resinosa 'Millers'	Vanderliner Pine	50' x 30'	8' Height	Ball and Burlap	588DA
ORNAMENTAL TREES							
Percent Signature Trees (60% minimum/policy 311.3)				Number of Signature Trees Total Number of Trees			
DECIDUOUS SHRUBS							
DBB		Euonymus alatus 'Compactus'	Dwarf Burning Bush	5' x 4'	5 Gallon	Container	45S
RTD		Cornus alternifolia	Redtwig Dogwood	5' x 5'	5 Gallon	Container	457S
BAP		Berberis thunbergii 'Nana'	Redleaf Barberry	3' x 3'	5 Gallon	Container	45A
APP		Folgia pendula	Aspen Flame	3' x 3'	5 Gallon	Container	1236SD
VIB		Viburnum lentago	Nannyberry Viburnum	5' x 7'	5 Gallon	Container	458DA
EVERGREEN SHRUBS							
SMI		Juniperus scopulorum	Rocky Mountain Juniper/Wintergreen	12' x 4'	15 Gallon	Container	12567MA
BRJ		Juniperus horizontalis	Blue Star Juniper	11' x 5'	1 Gallon	Container	288DA
HC		Juniperus chinensis 'Horizontalis'	Horizontal Juniper	4' x 4'	5 Gallon	Container	DA
ORNAMENTAL GRASSES							
CAB		Miscanthus sinensis 'Cobalt'	Cobalt Japanese Silver Grass	3' x 4'	1 Gallon	Container	DA
CDV		Calamagrostis x scutellaria	Overdam Feather Reed Grass	2' x 3'	1 Gallon	Container	A
Percent Signature Shrubs (60% minimum/policy 311.3)				Number of Signature Shrubs Total Number of Shrubs			
FLOWERS							
PCO		Echinacea purpurea	Purple Coneflower	2' x 2'	1 Gallon	Container	345A

SITE CATEGORY CALCULATIONS

LANDSCAPE SETBACKS									
(CODE SECTION / POLICY 300 & 317pp. 31 & 38)									
Plant Label	Street Name / Zone Boundary	Street Classification	Width (in feet)	Linear Footage	Tree / Plant	No. Trees	Required	Provided	
SMS	Shiloh Mesa Drive	Minor Arterial	10'	198'	1/20'	7	7	7	
MRS	Marksheffel Road	Minor Arterial	10'	171'	1/20'	15	7	7	
GPD	Geraldine Point	Private Road	10'	227'	1/20'	8	2	2	
CGS	Carmela Grove	Not Arterial	10'	357'	1/20'	12	8	8	
Shrub Substitutions		Dim. Grass Subst.	Subst. Plant Abbr.	% Ground Plane Veg.	Required	Provided			
Required / Provided		Required / Provided	Required / Provided	Required / Provided	Required / Provided	Required / Provided			
0 / 0		0 / 0	0 / 0	SMS	75% / 75%	75%			
80 / 0		0 / 0	0 / 0	MRS	75% / 75%	75%			
80 / 0		0 / 0	0 / 0	GPD	75% / 75%	75%			
40 / 0		0 / 0	0 / 0	CGS	75% / 75%	75%			
MOTOR VEHICLE LOTS									
(CODE SECTION / POLICY 321 & 317pp. 31 & 38)									
Plant Label	No. of Vehicle Spaces Provided	Shade Trees (1/10)	Vehicle Lot Frontage	Length of Frontage (ft.)	Length of Frontage (ft.)	Length of Frontage (ft.)	Length of Frontage (ft.)	Length of Frontage (ft.)	Length of Frontage (ft.)
Code	Required / Provided	Required / Provided	Required / Provided	Required / Provided	Required / Provided	Required / Provided	Required / Provided	Required / Provided	Required / Provided
MVLS	50	4	8						
Min 3' Screen Plants		Evergreen Plants	Length of Screening	Vehicle Lot Plant Abbr.	% Ground Plane Veg.	Required / Provided	Required / Provided	Required / Provided	Required / Provided
Required / Provided		Required / Provided	Required / Provided	Required / Provided	Required / Provided	Required / Provided	Required / Provided	Required / Provided	Required / Provided
			n/a		MVLS	75% / 75%	75%	75%	
INTERNAL LANDSCAPING									
(CODE SECTION / POLICY 322 & 317pp. 31 & 40)									
Plant Label	Net Site Area (SF)	Percent Minimum	Internal Area (SF)	Internal Area (SF)	Internal Area (SF)	Internal Area (SF)	Internal Area (SF)	Internal Area (SF)	Internal Area (SF)
Code	Required / Provided	Required / Provided	Required / Provided	Required / Provided	Required / Provided	Required / Provided	Required / Provided	Required / Provided	Required / Provided
1	125,610 SF	5%	5,281 SF	40,404 SF	13	2			
Shrub Substitutions		Dim. Grass Subst.	Subst. Plant Abbr.	% Ground Plane Veg.	Required / Provided	Required / Provided			
Required / Provided		Required / Provided	Required / Provided	Required / Provided	Required / Provided	Required / Provided			
20 / 20		0 / 0	0 / 0	1	75% / 75%	75%			
SCREENING									
(CODE SECTION / POLICY 323 & 317pp. 31 & 41)									
Plant Label	Street name or property line	Width in feet	Linear Footage	Length of Screening	Evergreen Plants	Required / Provided	Required / Provided	Required / Provided	Required / Provided
Code	Required / Provided	Required / Provided	Required / Provided	Required / Provided	Required / Provided	Required / Provided	Required / Provided	Required / Provided	Required / Provided
TE	Trash enclosure								

HATCH LEGEND

TURF	3,634 sf
KENTUCKY BLUE GRASS (THERMAL BLUE BLEND)	
4-8" COBBLE	367 sf
2-4" COBBLE	12,706 sf
ORGANIC MULCH	0 sf
EL PASO COUNTY LOW GROW SEED MIX	4,692 sf
Custom El Paso County Low Grow Mix Drilled at 21 PLS/acre, Hydrosed on Slopes 3:1 & greater at 42 PLS/acre. Seed Mix: 29% Sideoats Grama 25% Buffalograss 20% Blue Grama 20% Western Wheatgrass 5% Green Needlegrass 1% Sand Dropseed	

OWNER INFO

company name
address
city/state
phone no

Marksheffel Development LLC
12325 Oracle Boulevard Suite 120
Colorado Springs, CO 80921

city file no: AR PUD 22-00-???



YOW ARCHITECTS PC

ARCHITECTURE & PLANNING

115 S. Weber Colorado Springs, Colorado 475-8133

Lot 1 Shiloh Mesa North

Retail

Markseffel Road
Colorado Springs, Colorado 80923

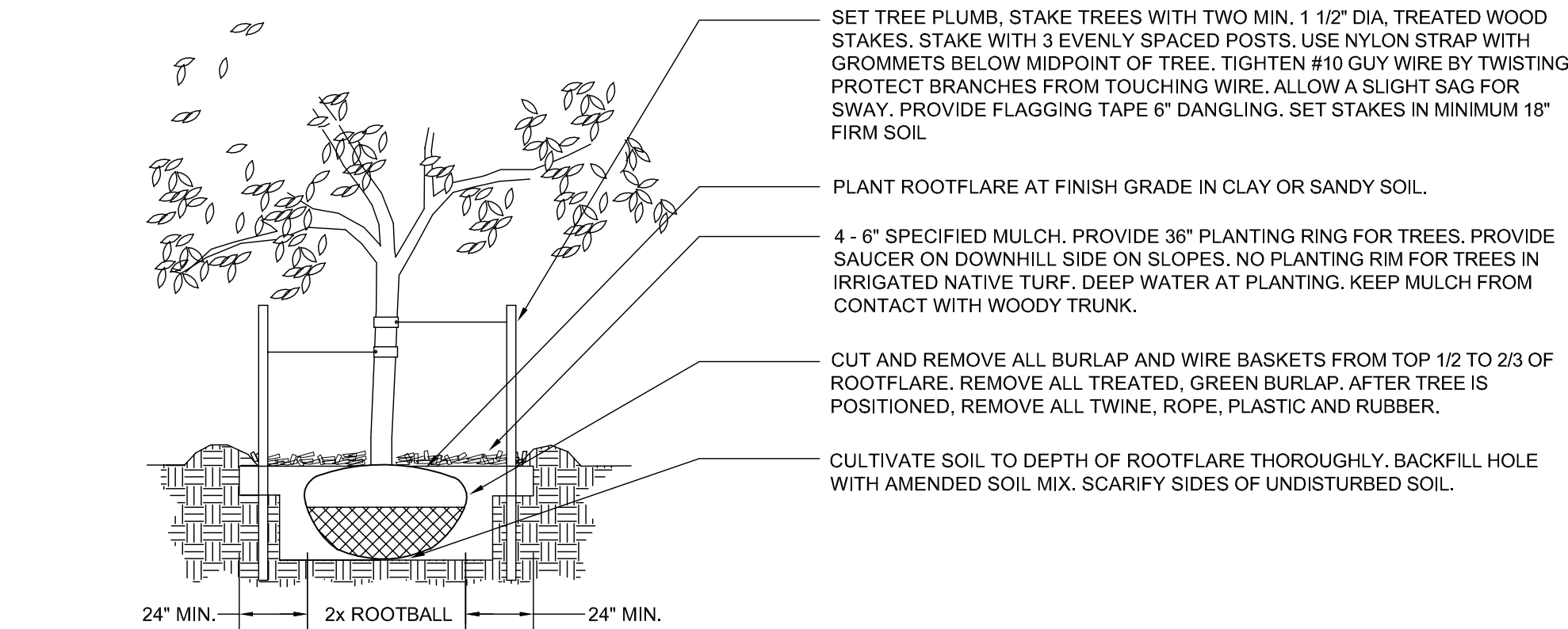
Job No. 20-020
Directory Landscape
File Development Plan 4-28-2022
north
Drawn By DBN
Date 4-29-2022
Revised

DRAWING NO.

5 of 7

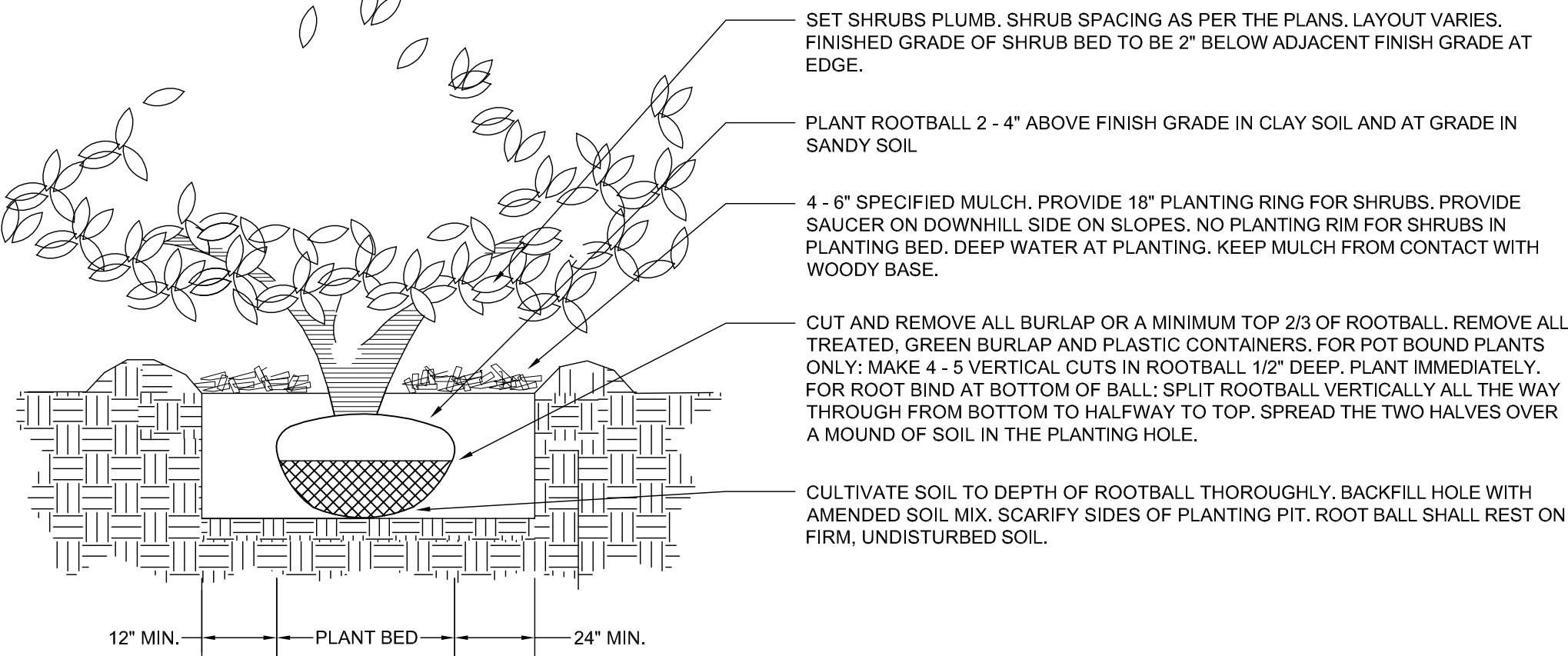
FINAL LANDSCAPE PLAN

- DO NOT REMOVE OR CUT LEADER.
- PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
- REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE
- KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
- AVOID FALL PLANTING IF POSSIBLE.
- AMENDED BACKFILL SHALL BE 80% SOIL FROM PLANTING PIT AND 20% ORGANIC MATERIAL, PREFERABLY CANADIAN PAST MEISS.
- STAKING POST SHALL BE 1 1/2" DIA. TREATED WOOD STAKE. METAL POST WILL NOT BE APPROVED



NOTES:

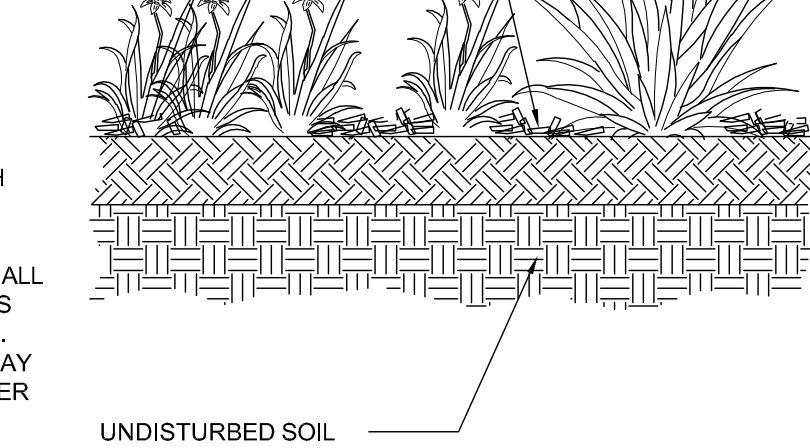
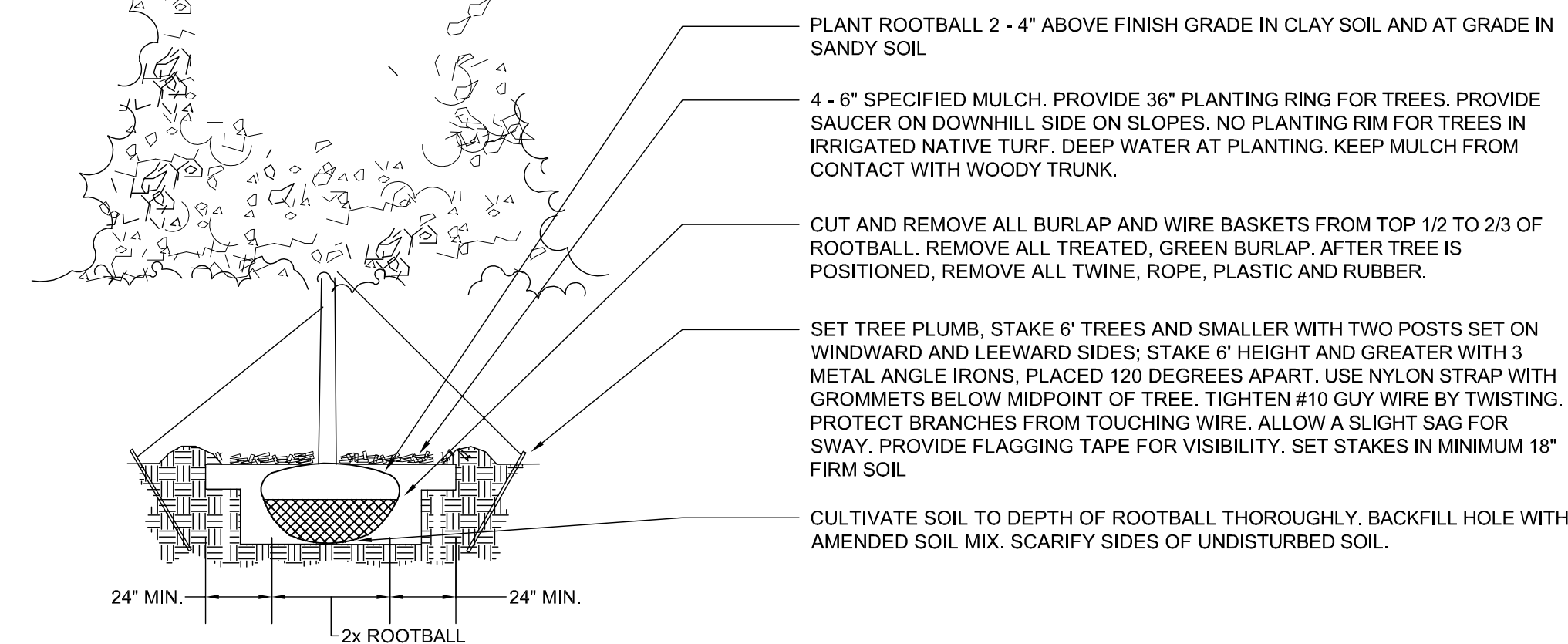
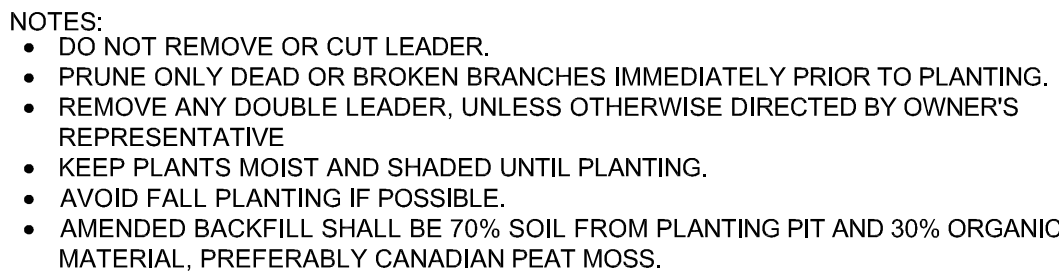
- PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
- KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
- DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
- AMENDED BACKFILL SHALL BE 70% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL, PREFERABLY CANADIAN PEAT MOSS.



A cross-sectional diagram of a pothole repair. The pothole is an irregular shape. The bottom of the pothole is filled with a material represented by a brick-like pattern, labeled "COMPACTED SUBGRADE". The top surface of the pothole is labeled "FINISH GRADE". A horizontal line across the pothole is labeled "4'x3'x2' APPROXIMATE DIMENSION".

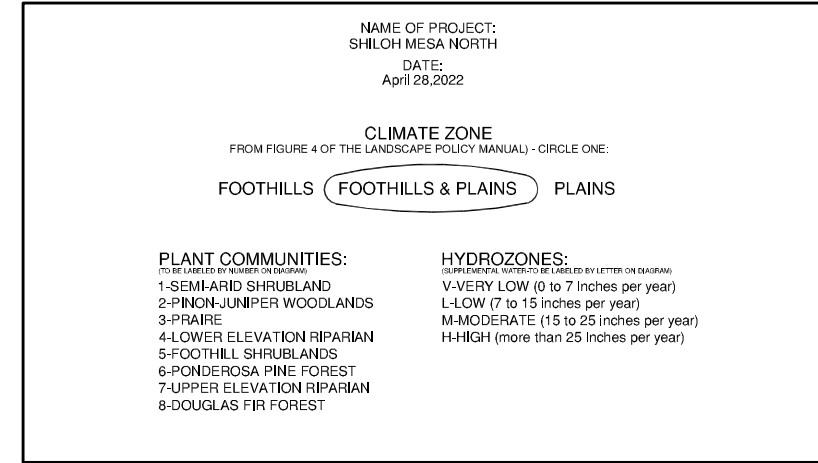
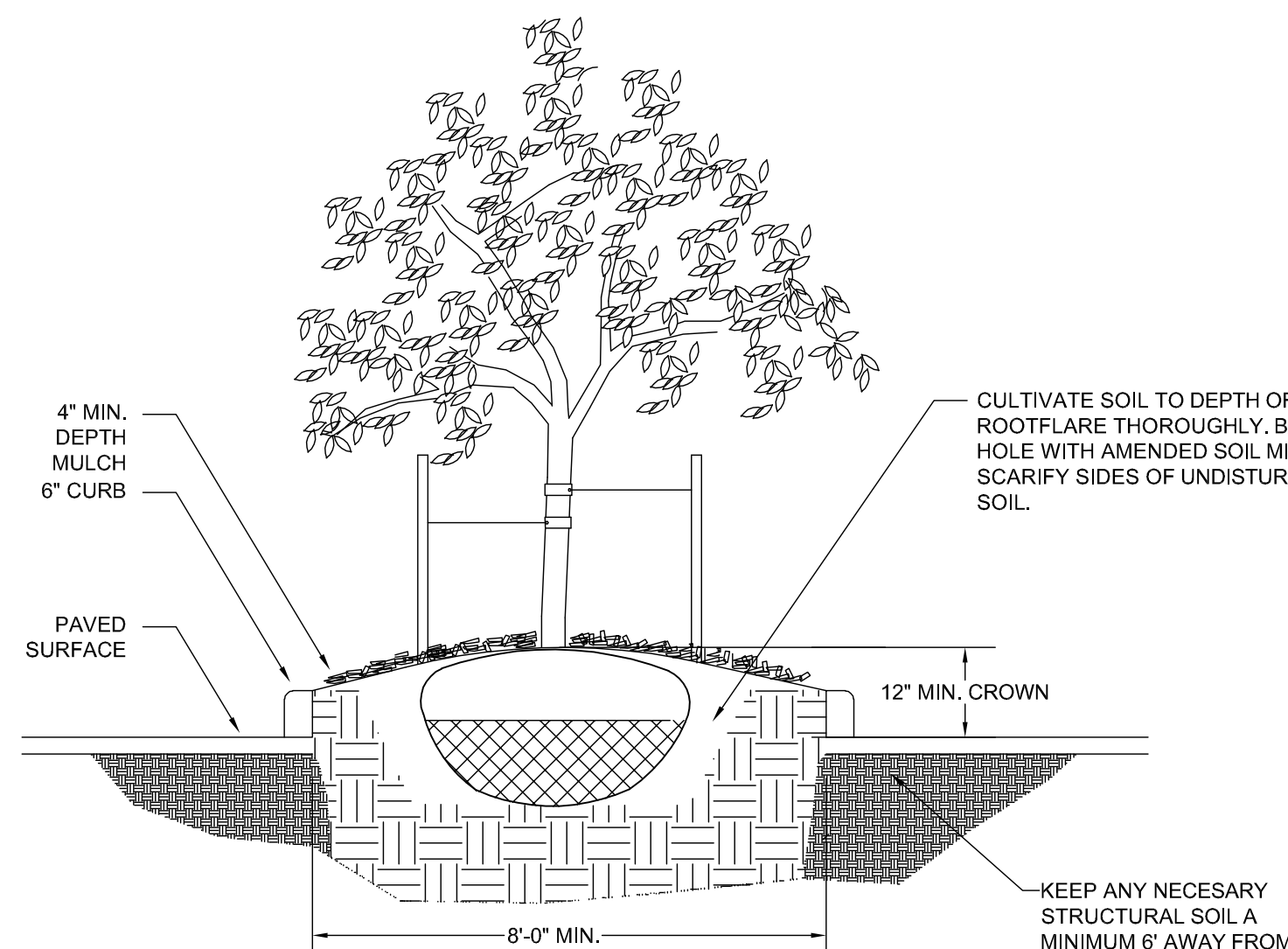
NOTE:

7
G STEEL EDGE DETAIL



5
E

COBBLE @ MULCH
N.T.S.



1. **PLANT QUANTITY AND SUBSTITUTION:** In case of discrepancy in plant quantities shown on the plant table and those shown on the planting plan, the quantities shown on the planting plan shall govern. The minimum acceptable sizes of plants measured before pruning shall conform to the planting sizes as specified in the planting table. Any substitution of plant size or species must be submitted to the Landscape Architect in writing for approval prior to installation.
2. **ACCEPTABLE PLANT MATERIAL:** All plants shall meet or exceed standards set by the "COLORADO NURSERY ASSOCIATION," and the "AMERICAN STANDARD OF NURSERY STOCK." All plants shall be typical of their species, healthy, free of disease, insect pests, mechanical injuries, and have adequate root systems. Trees shall be fully branched in proportion to width and height and have a relatively straight trunk with a central leader. The contractor shall prune lower branches of deciduous trees to 6 feet above finish grade. All trees, shrubs, and ground covers shall be installed per planting details. All plant material shall be inspected by the Landscape Architect or owner prior to installation.
3. **SOIL AMENDMENTS:** All planting areas and turf areas shall be amended as follows: 3 CUBIC YARDS / 1,000 SF OF PREMIUM ORGANIC COMPOST.

	SOD	SEED*	SHRUB BEDS
ORGANIC MATERIAL	3 CYS/1,000 SF	3 CYS/1,000 SF	1" of animal-based compost incorporated into top 6-8" of the soil
NITROGEN (N)	1 LBS/1,000 SF	1 LBS/1,000 SF	3 LBS/1,000 SF
PHOSPHORUS (P205) **	3 LBS/1,000 SF	3 LBS/1,000 SF	3 LBS/1,000 SF
POTASSIUM (K20)	-	-	-
ZINC	-	-	-
IRON (Fe)	2 oz. /1,000 SF	2 oz. /1,000 SF	2 oz. /1,000 SF

* APPLY NITROGEN IN FOUR (4) APPLICATIONS. FOR EACH 1LB OF N NEEDED, APPLY 2LB UREA, OR 5LB AMMONIUM SULFATE, OR 3 3/4 LB (27-3-4) LAWN FERTILIZER, OR 8LB BLOODMEAL, OR 11 LB CORN GLUTEN MEAL, OR 50LB ALFALFA MEAL/PELLETS, PER 1,000 SF.
OR BONE MEAL at a rate of 35 lb/ 1,000 sf

PROVIDE 2:1 MIXTURE OF AMENDMENT FOR FILL DIRT IN TREE AND SHRUB PITS.

RECOMMENDED SOIL AMENDMENT:
TRI-MIX III as supplied by C&C Sand
-To be applied as backfill in planting pits

ALL AMENDED AREAS SHALL BE TILLED TO A DEPTH OF 6" PRIOR TO PLANTING.

A SIGNED LANDSCAPE INSPECTION AFFIDAVIT ATTESTING TO THE SOIL AMENDMENTS INCORPORATED TO CORRECT DEFICIENCIES SHALL BE INCLUDED WITH THE SOIL AMENDMENT RECEIPTS PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

4. SEEDED AREAS: All seeded or hydroseeded areas shall demonstrate 95% germination prior to final acceptance.
5. IRRIGATION: All trees, shrubs, and ground covers shall be irrigated by an automatic drip or spray irrigation system equipped with a rain sensor shut-off device. All turf areas to be irrigated by underground, automatic irrigation system also equipped with a rain sensor automatic shut-off device.
6. ORGANIC MULCH: All planting areas (including cobblerlock beds) for trees, shrubs, groundcovers and ornamental grasses shall be mulched with a (3") depth. A 36" diameter of 3" depth wood mulch shall be provided at base of all trees, 18" diameter for shrubs, and 12" for ornamental grasses. Mulch shall be fibrous in nature, not chipped or in chunks, and watered in after installation. NO FILTER FABRIC IS TO BE USED UNDER WOOD MULCH.
7. INORGANIC MULCH: The type of inorganic mulch as specified within the KEYED NOTES on the landscape plan shall be applied at a standard depth of 3"-4" over geo-textile filter fabric. Filter fabric shall be min. 4 oz. woven needle punched polypropylene (dewitt or equivalent). Overlap ends 3", turn down edges 6".
8. LANDSCAPE Boulders: All landscape boulders shown on plan are to be 10-12 cubic feet minimum, blue grey river rock boulders unless otherwise specified.
9. IRON/STEEL EDGING shall be 3/16" x 4" RYERSON or PRO STEEL EDGER with 16" stakes at 30" O.C., color shall be green.
10. INSPECTION AND APPROVAL: Notification for IRRIGATION INSPECTION AFFIDAVIT shall be given during construction while trench is open and after completion of system installation prior to seeding or sodding. The Landscape Architect shall be notified at least 48 hours prior to client seeking certificate of occupancy for FINAL LANDSCAPE INSPECTION AFFIDAVIT.
11. Any field changes or deviations to these plans without prior City Approval of an Amended Development Plan may result in a delay of final approval and issuance of a Certificate of Occupancy.
12. AN IRRIGATION TO MUST BE SUBMITTED FOR REVIEW WITHIN 90 DAYS SUBSEQUENT TO RECEIVING THE BUILDING PERMIT. THE PLAN MUST BE APPROVED PRIOR TO THE INSTALLATION OF ANY IRRIGATION COMPONENTS AND/OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY PER CITY OF COLORADO SPRINGS.
13. GENERAL AREAS OF DISTURBANCE: ANY AREAS OF CONSTRUCTION DISTURBANCE NOT SHOWN AS LANDSCAPED ARE TO BE RE-VEGETATED AND/OR OVERSEEDED AS REQUIRED.
14. ALL EXISTING AREAS (OR IN PARKING) LOT ISLANDS ARE TO BE UTILIZED STRICTLY FOR THE PURPOSES OF THE PROJECT.

IRRIGATION NOTES

1. IRRIGATION IS TO BE DESIGN-BUILD. THE IRRIGATION DESIGNER SHALL BE QUALIFIED TO PREPARE THE IRRIGATION PLAN AND MEET CITY REQUIREMENTS. (APPENDIX H IN LANDSCAPE MANUAL), THE IRRIGATION PLAN APPLICATION SUBMITTAL AND APPROVAL MUST BE COMPLETED BEFORE ANY IRRIGATION SYSTEM EQUIPMENT IS INSTALLED. THE IRRIGATION PLAN APPLICATION SHALL BE SUBMITTED TO THE CITY PLANNING DEPARTMENT FOR REVIEW AND APPROVAL NINETY (90) DAYS SUBSEQUENT TO BUILDING PERMIT ISSUANCE AND BEFORE ANY IRRIGATION SYSTEM EQUIPMENT IS INSTALLED AND APPROVED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

2. IRRIGATION CITY AFFIDAVIT NOTE - THE DESIGN PROFESSIONAL OF RECORD IS TO COMPLETE THE INSPECTION AFFIDAVIT BASED ON APPROVED FINAL IRRIGATION PLAN. THIS SHOULD REQUIRE LIMITED CONSTRUCTION OBSERVATION VISITS TO ACCURATELY COMPLETE THE AFFIDAVIT. WHEN AFFIDAVITS ARE NOT SUBMITTED, FINANCIAL ASSURANCES ARE TAKEN AN HELD FOR TWO YEARS. WHEN READY TO CALL FOR INSPECTION AND SUBMIT AFFIDAVITS, FIRST CONTACT THE CITY PLANNER OF RECORD (385-5905) AND AS NECESSARY OUR DRE OFFICE (385-5982).

2. All trees, shrubs, and ground covers shall be irrigated by an automatic drip irrigation system equipped with a rain sensor shutoff device. All turf areas to be irrigated by underground, automatic spray irrigation system also equipped with a rain sensor shutoff device.
3. All valve boxes shall be constructed by concrete block (min. 4 per box). Install blocks in a manner that will prevent contact with piping, wires, and valve.
4. Irrigation control wire shall be common trench with mainline and shall have separate sleeve were crossing all hard construction.
5. The contractor shall adjust all valves and spray nozzles for optimum coverage.
6. Contractor shall place closed all sleeve pipe openings to prevent debris from entering sleeves.
7. Backflow preventer should be located in a locked/secured metal enclosure.
8. Minimum of (2 - 1gph) emitters per shrub and (4 - 1gph) per tree at minimum. Preferred method for irrigating trees would be to utilize tree ring assembly constructed of 2" dripline (diameter to match root ball). Reference Rainbird standard dripline tree detail.
9. All seeded areas need to be zoned and scheduled separately. Seeded Irrigation Areas are for temporary/establishment water purposes only (see *seeding notes*).
10. Contractor to provide irrigation schedule to owner/maintenance group addressing watering schedule for both establishment period and regular watering schedule.
11. Irrigation system, as noted, is to be design-build MODIFYING the current system in place. Where possible, all existing valves should be used and incorporated into the revised system design. The use of lower water use spray nozzles is strongly encouraged in all spray zones (i.e: MP Rotators).
12. All turf, seeded and drip areas should be zoned SEPARATELY.
13. All seeded areas are to be irrigated with permanent in-ground spray irrigation. These areas should be zoned separately as noted above. Irrigation in seeded areas should be used primarily for establishment purposes only. Once seeded areas have been established irrigation zones should not be part of regular watering schedule.

city file no: AR PUD 22-00???



YOW ARCHITECTS PC
ARCHITECTURE & PLANNING
per Colorado Springs, Colorado 475-8133

1115 S. Weber Colorado Springs, Colorado 475-8133

Structural:

Electrical:

Mechanical:

Plumbing:

**Lot 1 Shiloh Mesa North
Retail**

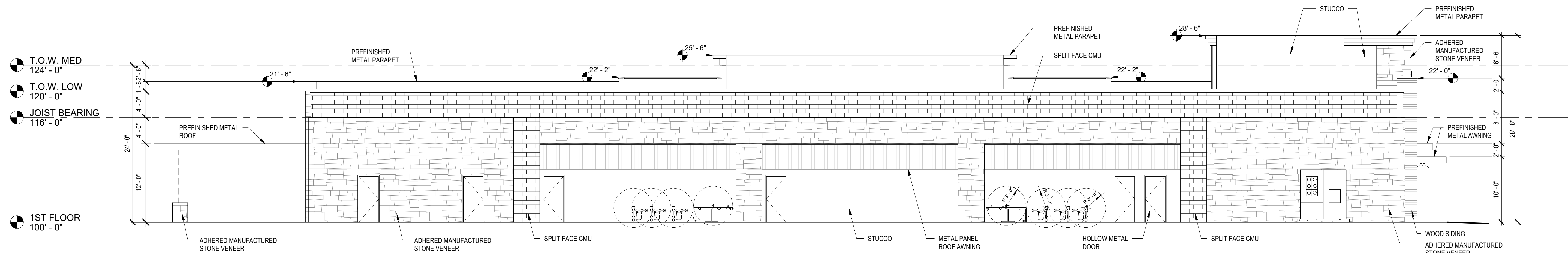
Markseffel Road
Colorado Springs, Colorado 80923

Job No.	20.028
Directory	Landscape
File	Development Plan 4-28-2022
	north
Drawn By	DBN
Date	4.28.2022

DRAWING NO.

6 of 7

LANDSCAPE DETAILS

[illegible]

Architectural elevation drawing of a building facade. The drawing shows a structure with a flat roof, a storefront with vertical panels, and a main wall with a stone veneer pattern. Dimensions are provided for height (27'-0" total, 8'-0" upper section, 12'-0" lower section) and width (22'-0" for the storefront area, 20'-0" for the main wall section). Material callouts include: T.O.W. HIGH 127'-0", T.O.W. MED 124'-0", T.O.W. LOW 120'-0", PREFINISHED METAL PARAPET, SIGNAGE BY TENANT, WOOD SIDING, SIGNAGE, METAL PANEL ROOF AWNING, 1ST FLOOR 100'-0", PREFINISHED METAL AWNING, ALUMINUM STOREFRONT, ADHERED MANUFACTURED STONE VENEER, SPLIT FACE CMU, and ADHERED MANUFACTURED STONE VENEER.

① WEST ELEVATION
1/8" = 1'-0"

7 of 7