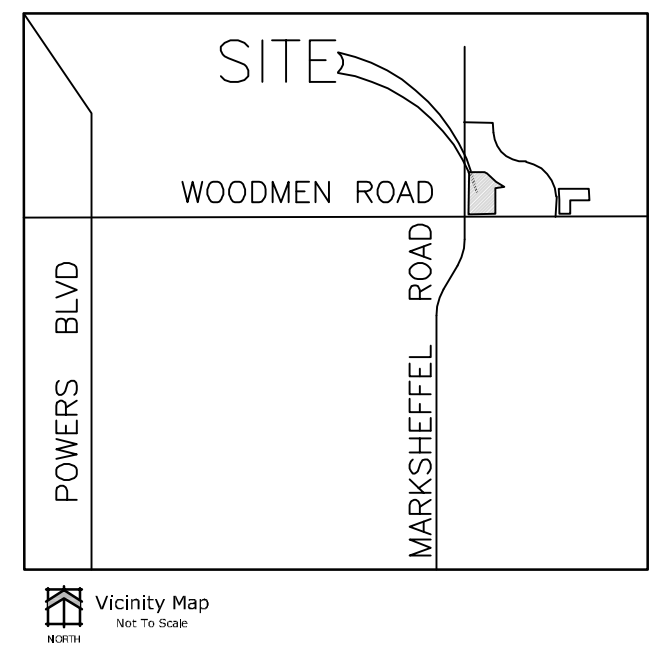


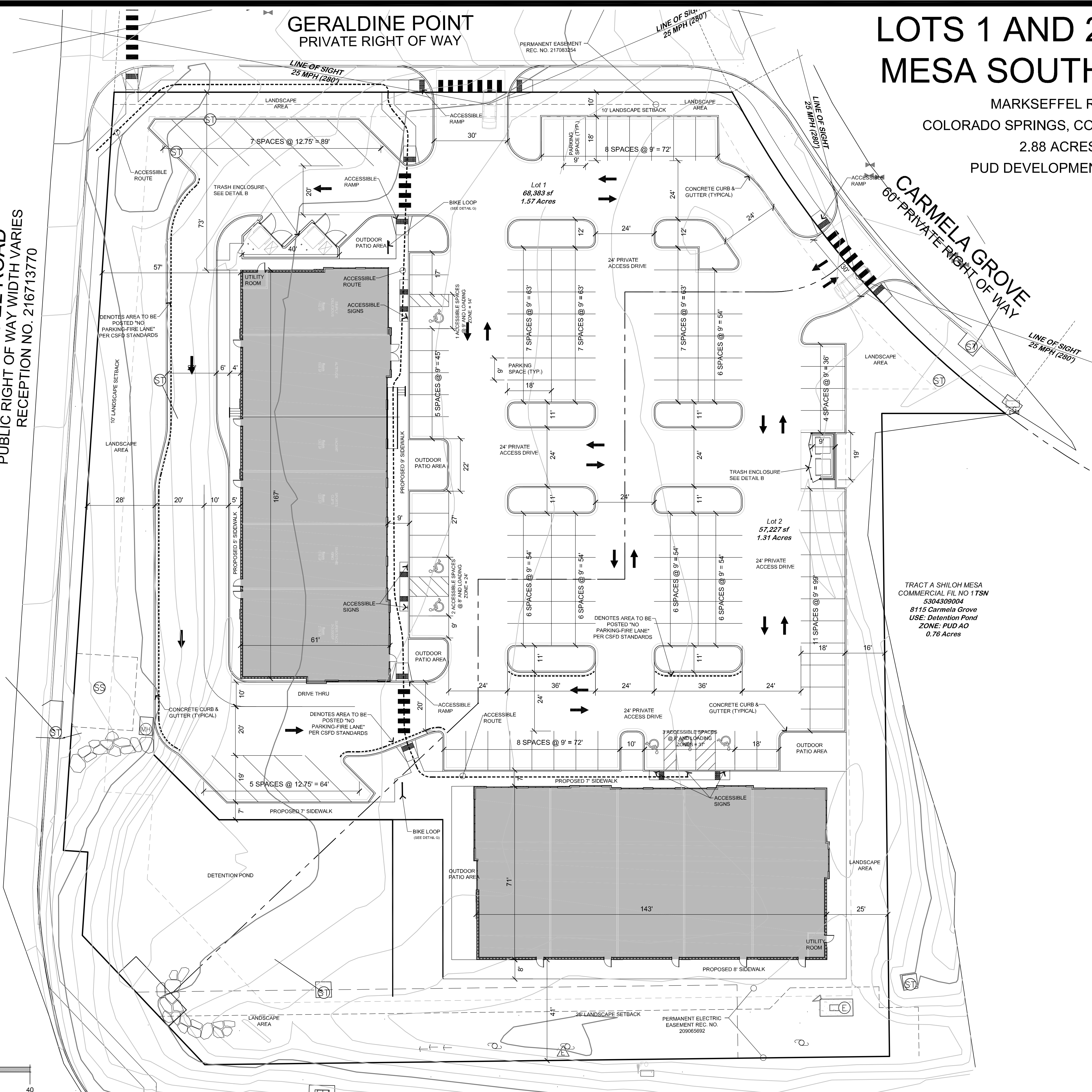


# LOTS 1 AND 2 SHILOH MESA SOUTH RETAIL

MARKSEFFEL ROAD  
COLORADO SPRINGS, COLORADO 80923  
2.88 ACRES  
PUD DEVELOPMENT PLAN



MARKSHEFFEL ROAD  
PUBLIC RIGHT OF WAY WIDTH VARIES  
RECEPTION NO. 21671370



**Legal Description:**  
LOTS 1 AND 2 SHILOH MESA SOUTH RETAIL  
CONTAINING 125,610 square feet (2.88 ACRES) MORE OR LESS

**NOTES:**

- FLOODPLAIN STATEMENT: THIS PROPERTY IS LOCATED WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE OF THE 500-YEAR FLOOD PLAIN) AS ESTABLISHED BY FEMA PER FIRM PANEL 080410033G EFFECTIVE DATE DECEMBER 7, 2015.
- All existing curb, gutter, sidewalk, pedestrian ramps and crossings posing a safety hazard, damaged, exhibiting excessive deterioration or not meeting current city engineering standards along Mulberry Wood Drive adjacent to the site will need to be removed and replaced prior to issuing the certificate of occupancy (CO). An on-site meeting can be set up with the engineering development review inspector to determine what, if any, improvements are required. The inspector can be reached at 719-385-5977.
- The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ada design standards and guidelines as published by the United States Department of Justice. Approval of this plan by the City of Colorado Springs does not assure compliance with the ADA or any other federal or state accessibility laws or any regulations or guidelines enacted or promulgated under or with respect to such laws. Sole responsibility for compliance with federal and state accessibility laws lies with the property owner.
- THIS PROPERTY IS SUBJECT TO THE TERMS, CONDITIONS, PROVISIONS, BURDENS, AND OBLIGATIONS AS SET FORTH IN AVIGATION EASEMENT RECORDED AT RECEPTION NO. 215063871.
- All areas designated "NO PARKING/FIRE LANE" shall install sign per CSFD standards.
- This Property is subject to the Declaration of Covenants, Conditions, Restrictions and Easements of the Shiloh Mesa Center Owners Association. In addition, to the easements as set forth and granted in the Shiloh Mesa Center Owners Association as recorded on March 3, 2021 under Reception No. 221041916.
- This property is included within the Woodmen Heights Metropolitan District No. 3 and is subject to the terms, conditions, provisions, burdens and obligations as set forth in the instruments recorded December 28, 2004 under Reception No. 204209872, September 8, 2005 under Reception No. 205149163, November 28, 2005 under Reception No. 205189163, July 13, 2006 under Reception No. 206103276 and June 26, 2008 under Reception No. 208073150. Amended and Restated Resolution recorded September 29, 2008 under Reception No. 208106389 and instrument recorded November 19, 2013 under Reception No. 213140364.
- Per City Code Section 7.4.102.D, all lighting fixtures shall be full cut-off or have shielding to reduce off-site lighting impacts onto adjacent properties and roadways. All exterior lighting shall be arranged to mitigate light directed away from adjacent properties and any public right-of-way. An amendment to this plan may be required if the lighting type is changed.
- Property owners are responsible for the maintenance of shared common areas, access drives, preservation areas, and landscape areas adjacent to their property.
- All "stop sign" shall be installed by the developer at the location shown on the development plan to meet MUTCD standards. Contact Traffic Engineering, Signs & Markings at 719-385-6720 for assistance.
- Accessible parking spaces, access aisles, and signage shall meet all applicable City code requirements including: (1) Parking spaces and access aisles shall be level with surface slopes not exceeding one to fifty (1/50) (2 percent) in all directions; (2) Accessible parking spaces shall be marked with four inch (4") lines; (3) Accessible aisles shall be outlined and diagonally striped at forty five degree (45°) angles in a contrasting color such as yellow, white, or blue; (4) Each accessible parking space shall be designated as reserved by a sign showing the International Symbol of Accessibility; (5) Van accessible spaces shall have an additional sign containing the designation, "van accessible", mounted below the symbol of accessibility; (6) Each accessible parking space sign shall be no smaller than eighteen inches (18") tall by twelve inches (12") wide; (7) Each van accessible sign shall be no smaller than six inches (6") wide by twelve inches (12") wide; and (8) Signs shall be located at the head of the space with the bottom of the sign(s) between five feet (5') and seven feet (7') above the finish floor or ground surface.
- Street tree, streetscape improvements, and vegetation within the City ROW shall be maintained by the abutting property owner.
- Landscape improvements maintenance shall be the responsibility of Owner, and/or assigns.
- Signage is not approved per this plan. A separate sign permit is required. Contact the Development Review Enterprise at 719-385-5982 to begin a sign permit application.
- Accessible routes, including ramps and sidewalks, within the public right-of-way shall be per the City's Standard Drawings and Specifications. City's Engineering Development Review Inspector will have the final authority on accepting the public improvements.
- Installation of electrical devices in the public ROW shall be performed in accordance with the City Specification Section 1001 and complete the Colorado Springs Utilities "Electric Inspection in the Right-of-Way Certificate" in accordance with Utilities' requirements for electrical. The Certificate shall also be provided to the City Inspector.
- Stormwater treatment is provided with Pond 14 within Tract A of Shiloh Mesa Commercial Filing No. 1. The Pond (Tract A) shall be owned and maintained by the Woodmen Heights Metro District. The pond was studied with the MDDP Amendment for Shiloh Mesa at Woodmen Heights and the FDR for Shiloh Mesa Commercial Filing No. 1 by Matrix Design Group dated July 2019.

LAND USE	AREA	%
BUILDING COVERAGE	20,000 SF	16
PAVING (W/PERVIOUS SURFACES)	65,206 SF	52
LANDSCAPING (NON-IRRIGATED)	40,404 SF	32
SUB-TOTAL	125,610 SF	100

SITE DATA	
tax schedule no.	5304300038, 5304300018
address	Marksheffel Road
area	2.88 ACRES
ex zone	PUD AO
ex USE	VACANT
proposed use	RETAIL CENTER
Building setbacks	25' minimum setback from peripheral boundary
Landscape setbacks	10' Along roadways
Maximum Building Height	45'
Proposed Building Height	28' 6"
Master Plan	Woodmen Heights
Concept Plan	Shiloh Mesa at Woodmen Heights CPC PUP 07-00245
Drainage Basin	Sand Creek
Development schedule	Fall 2022

PARKING	
use	Retail Center
bldg area	20,000 sf
ratio	1 parking space per 200 sf
required	100 required (including 4 accessible spaces 1 being van accessible)
provided	113 provided (6 accessible including 1 van accessible spaces)

SHEET INDEX	
1.....	DEVELOPMENT PLAN
2.....	SITE DETAILS
3.....	PRELIMINARY GRADING PLAN
4.....	PRELIMINARY UTILITY & PUBLIC FACILITY PLAN
5.....	FINAL LANDSCAPE PLAN
6.....	LANDSCAPE DETAILS
7.....	ELEVATIONS
8.....	ELEVATIONS

OWNER INFO	
company	Marksheffel Development LLC
name	12325 Oracle Boulevard Suite 120
address	Colorado Springs, CO 80921
city/state	
phone no	

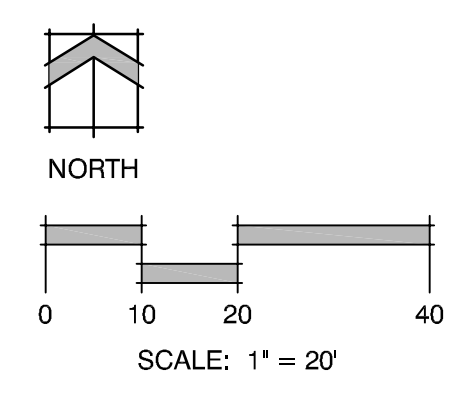
city file no: AR PUD 22-00???

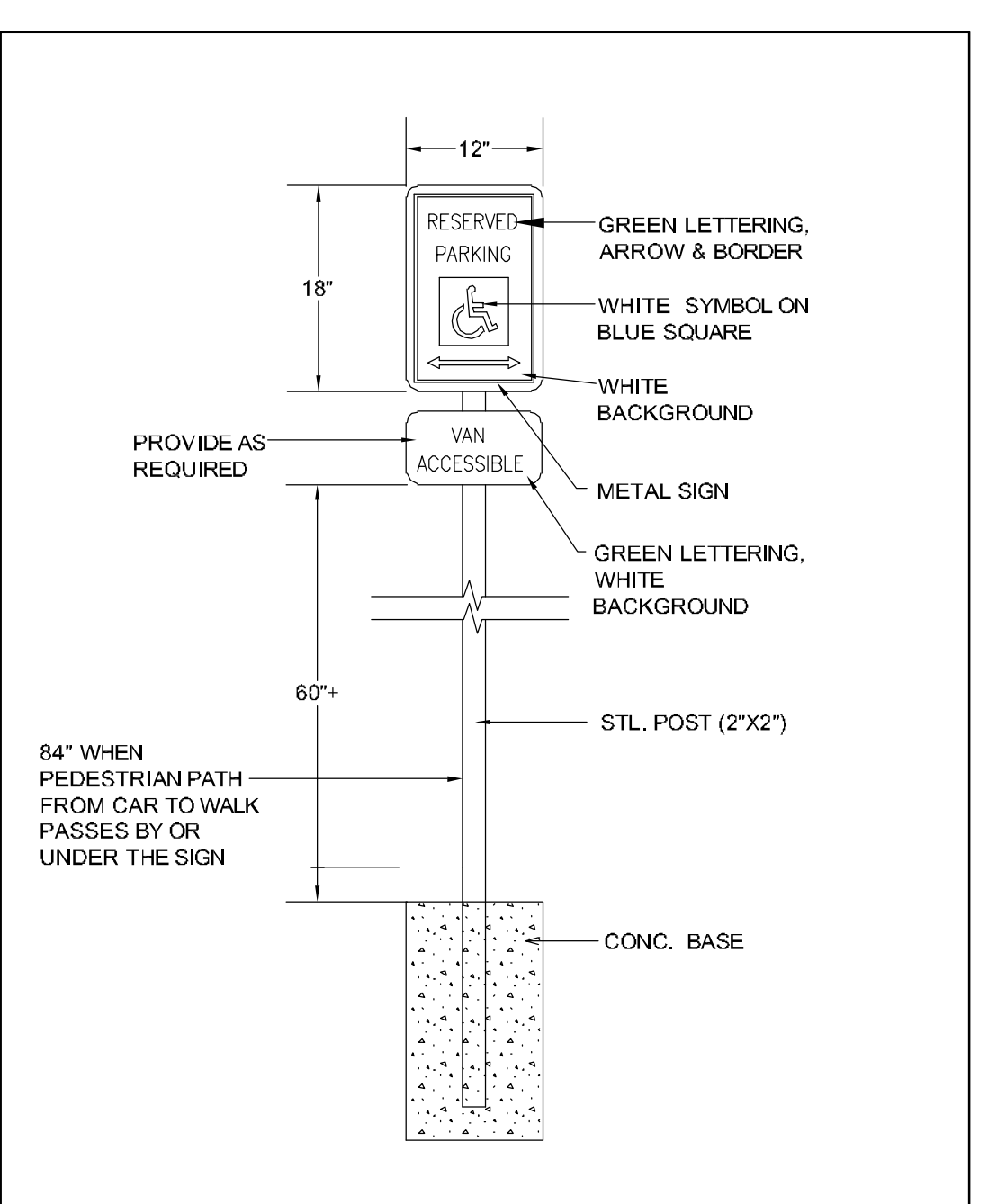
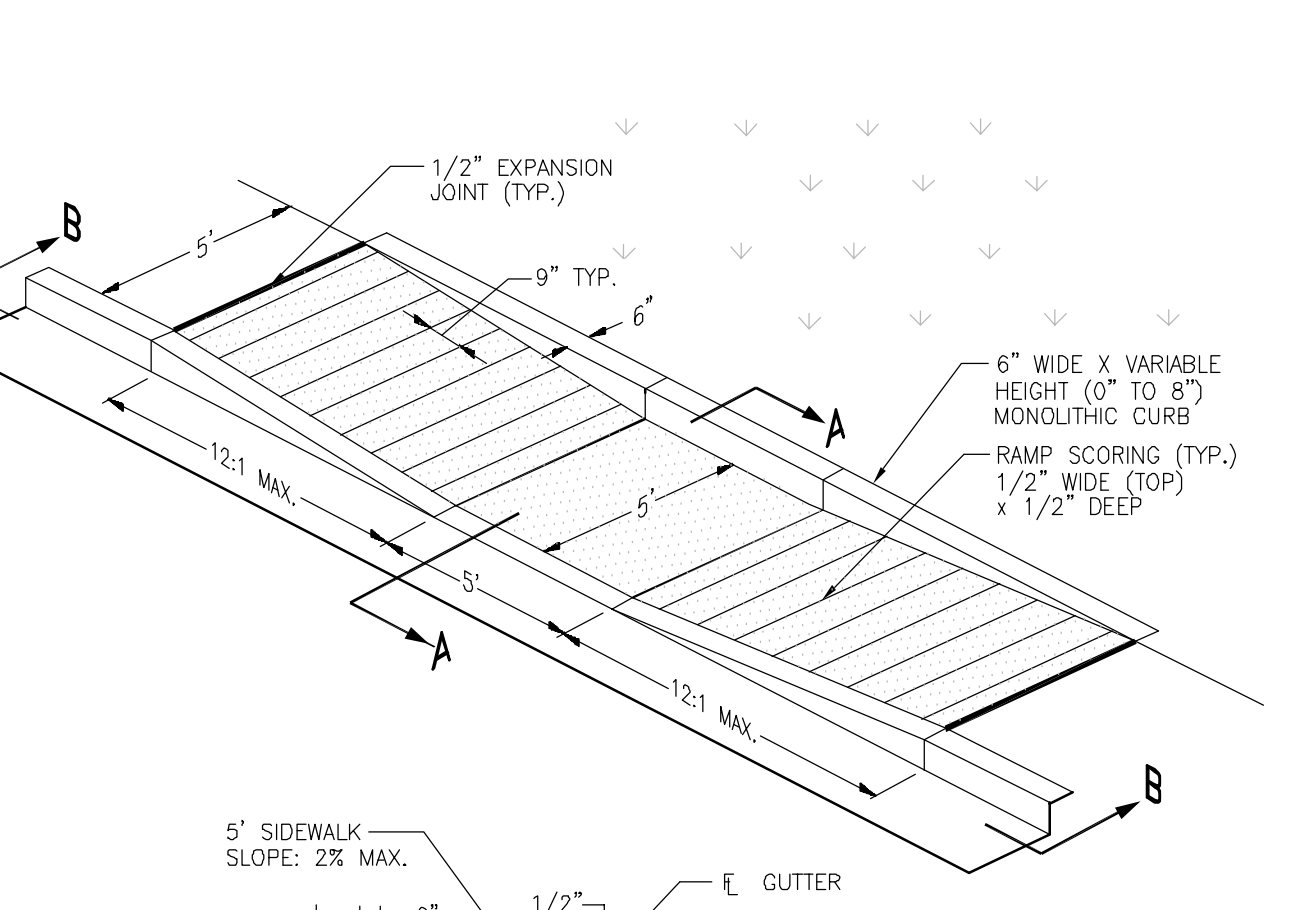
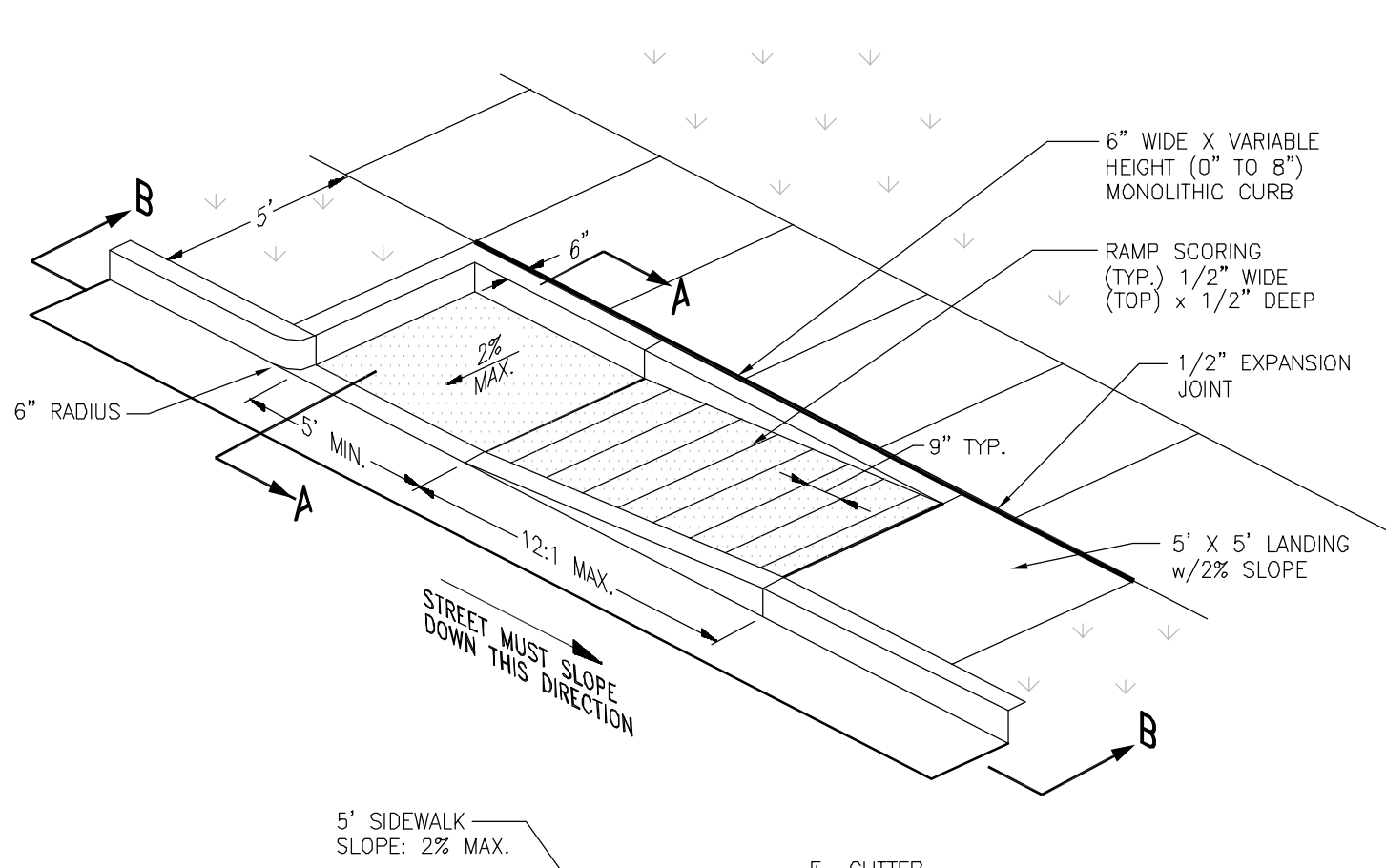
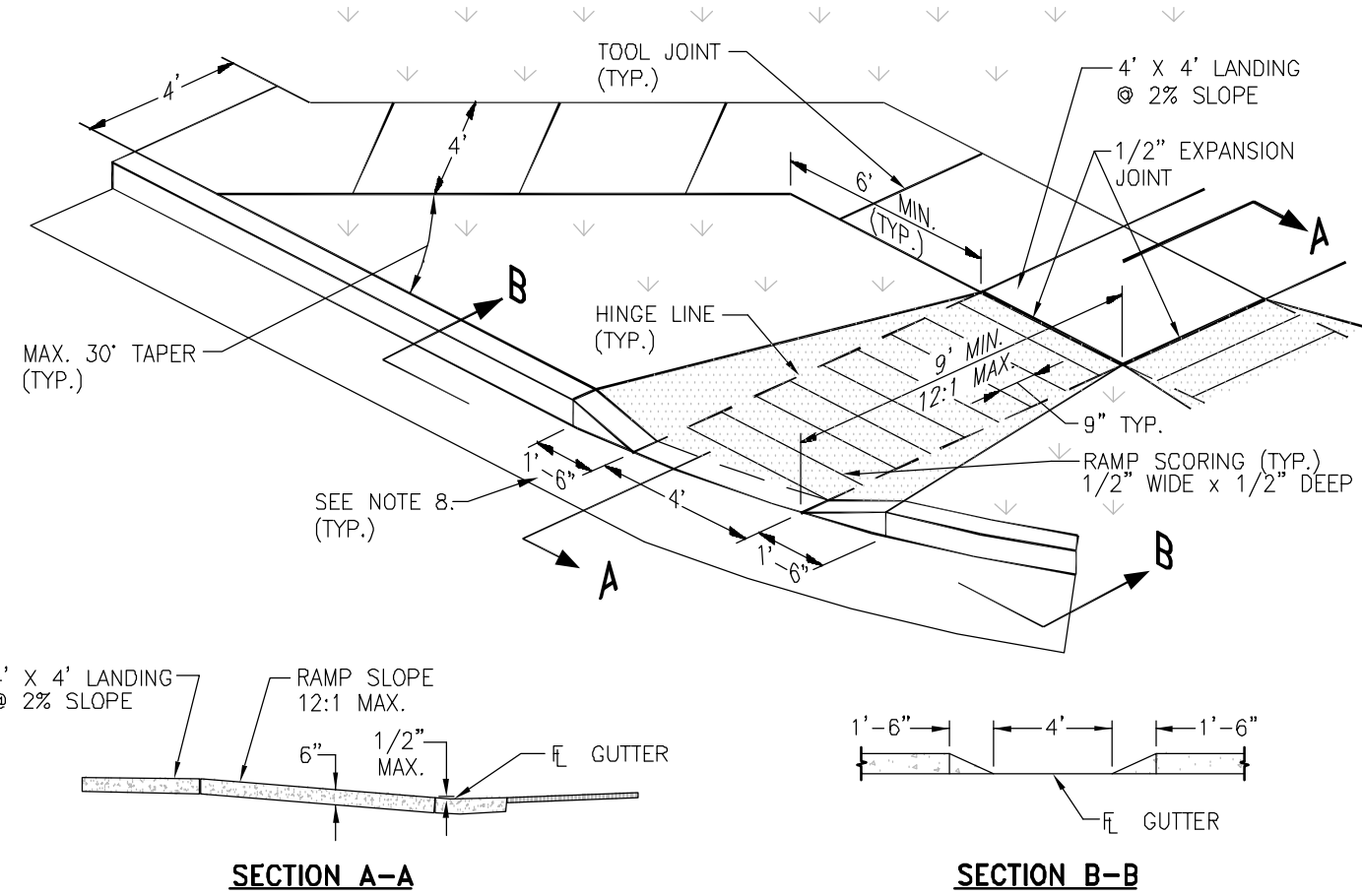
**YOW ARCHITECTS PC**  
ARCHITECTURE & PLANNING  
Colorado Springs, Colorado 475-8133  
115 S. Weber

**Lots 1 and 2 Shiloh Mesa South Retail**  
Woodmen Road  
Colorado Springs, Colorado 80923

Job No.	202209
Directory	Planning
File	development plan
Drawn By	DBN
Date	4.27.2022
Revised	

DRAWING NO.  
**1 of 8**  
PUD Development Plan

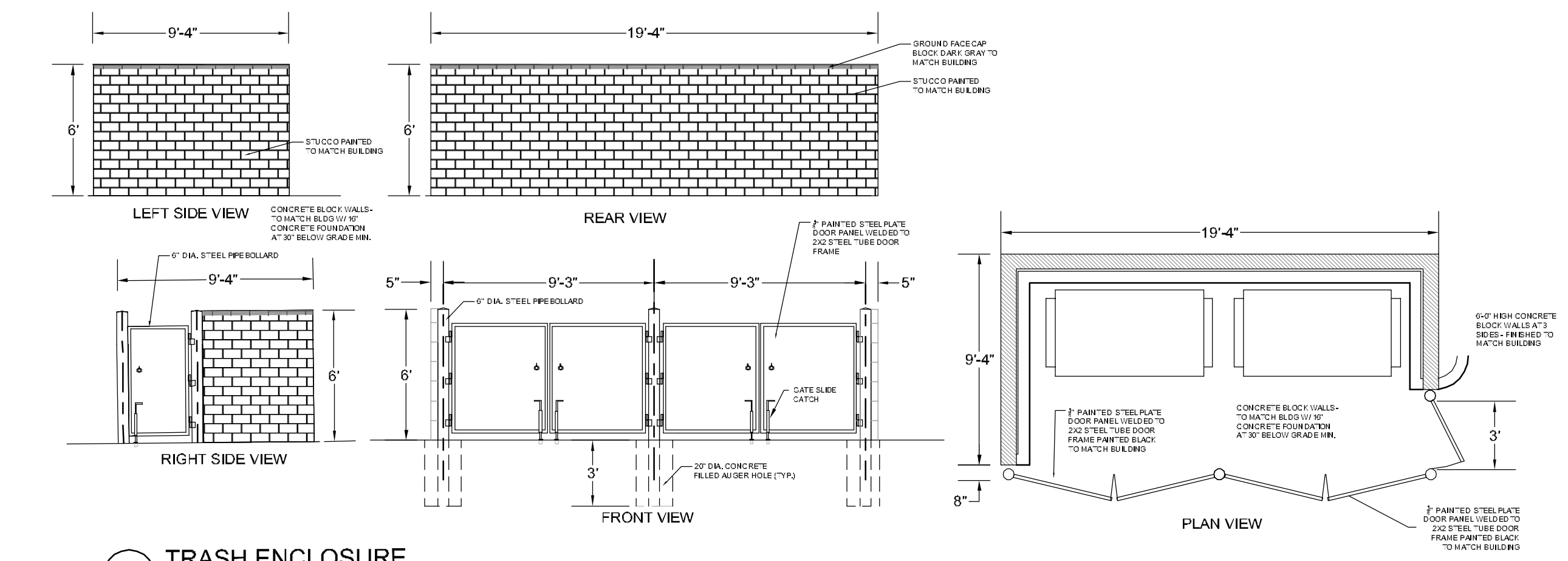




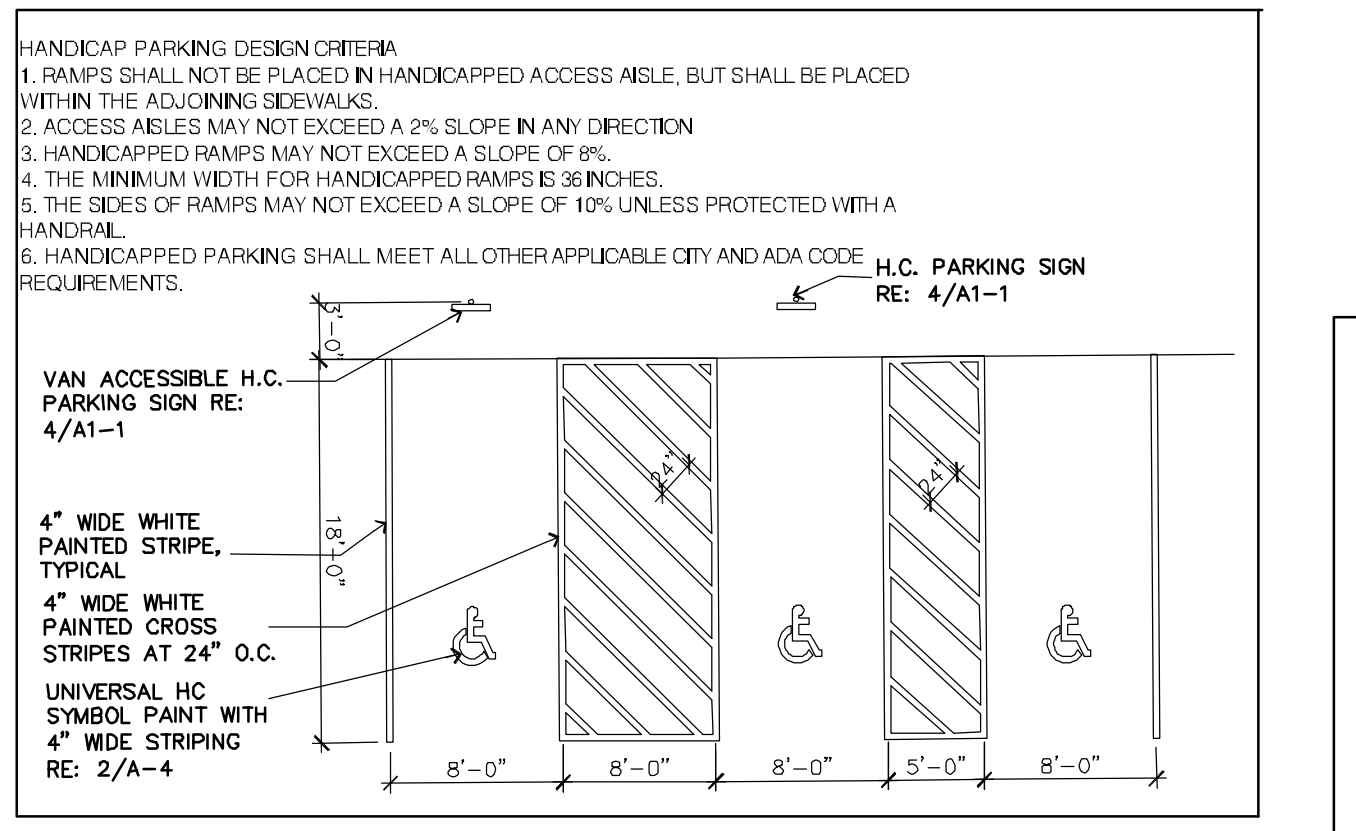
(H) ACCESSIBLE SIGNAGE DETAIL N.T.S.

- GENERAL NOTES:**
- All work to be done in accordance with current City of Colorado Springs Engineering Division Standard Specifications.
  - Sidewalk cross-slope: 1/4"/ft.
  - Contractor to obtain required Concrete Permit and Ramp Permit at Engineering Division Inspection Office prior to construction.
  - Contractor to notify Engineering Division Inspection Office at least 24 hours prior to placement of any concrete.
  - The ramp surfaces shall be finished with a coarse broom finish, parallel with the scoring, in accordance with Section 509.03E of the Standard Specifications.
  - Contractor shall stamp the company name and construction date within the pedestrian ramp area.
  - Ramp location and length may require modification to maintain the 12:1 maximum running slope due to intersection street grades and/or alignment.
  - Where the 1'-6" flared side(s) of a perpendicular curb ramp is (are) contiguous with a public walk, their length shall be increased to 8' minimum and the maximum flare slope shall not exceed 10:1.
  - Pedestrian walkway and/or location of existing or future pedestrian ramps on opposite corners shall be reviewed before constructing new ramps. New ramps shall align with existing ramps and pedestrian walkway.
  - At marked pedestrian crossings, the bottom of the ramps, exclusive of the flare sides, shall be totally contained within the markings.
  - Shaded area: 6" thick integrally colored concrete. [Exception: Where adjoining walkways are dark colored, ramp shall be constructed with regular concrete to provide required visual contrast].
    - Color shall be L. M. Scofield Company "Santa Barbara Brown, C-35," Davis Color Company, Pigment No. 618, 5 lbs./sack, or an approved equal.
    - Curing compound shall be a blend of waxes and pigments in a solvent emulsion base and conform to the requirements of ASTM C-309. The curing compound shall be "Lithocrome Colorwax" as manufactured by L. M. Scofield Company, "Davis Color-Seal" as manufactured by Davis Color Company, or approved equal.
  - Concrete mix design shall conform to the requirements of the color admixture manufacturer and the following:
    - 28-day compressive strength = 4,000 PSI (min.)
    - Water/cement ratio = 0.45 (max.)
    - Cement content = 6-1/2 sacks/c.y. (min.) (Type II cement)
    - Maximum aggregate size = 3/4"
    - Entrained air content = 6% - 10%
    - Slump = 1 inch (min.) - 4 inches (max.)

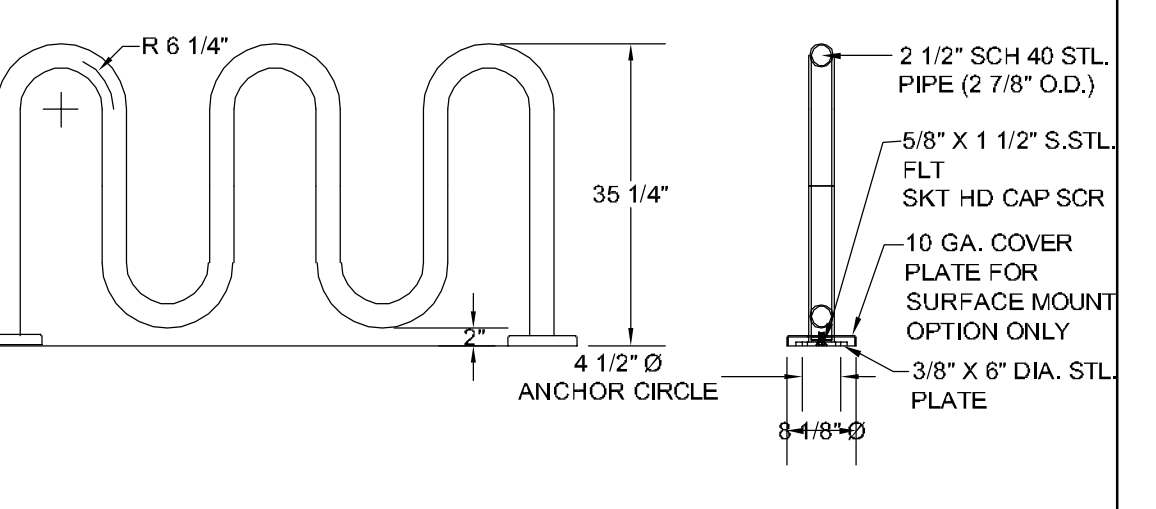
**STANDARD PEDESTRIAN RAMP FOR NEW CONSTRUCTION**  
NO. SCALE  
(A) TYPICAL PEDESTRIAN RAMPS N.T.S.



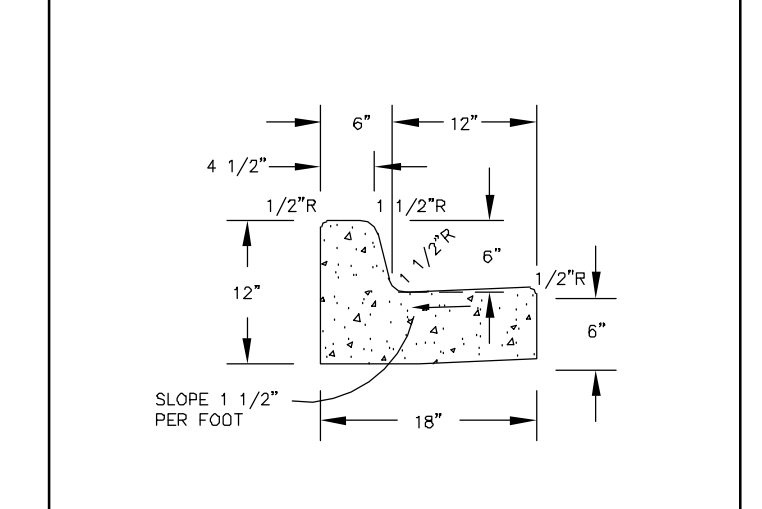
(B) TRASH ENCLOSURE N.T.S.



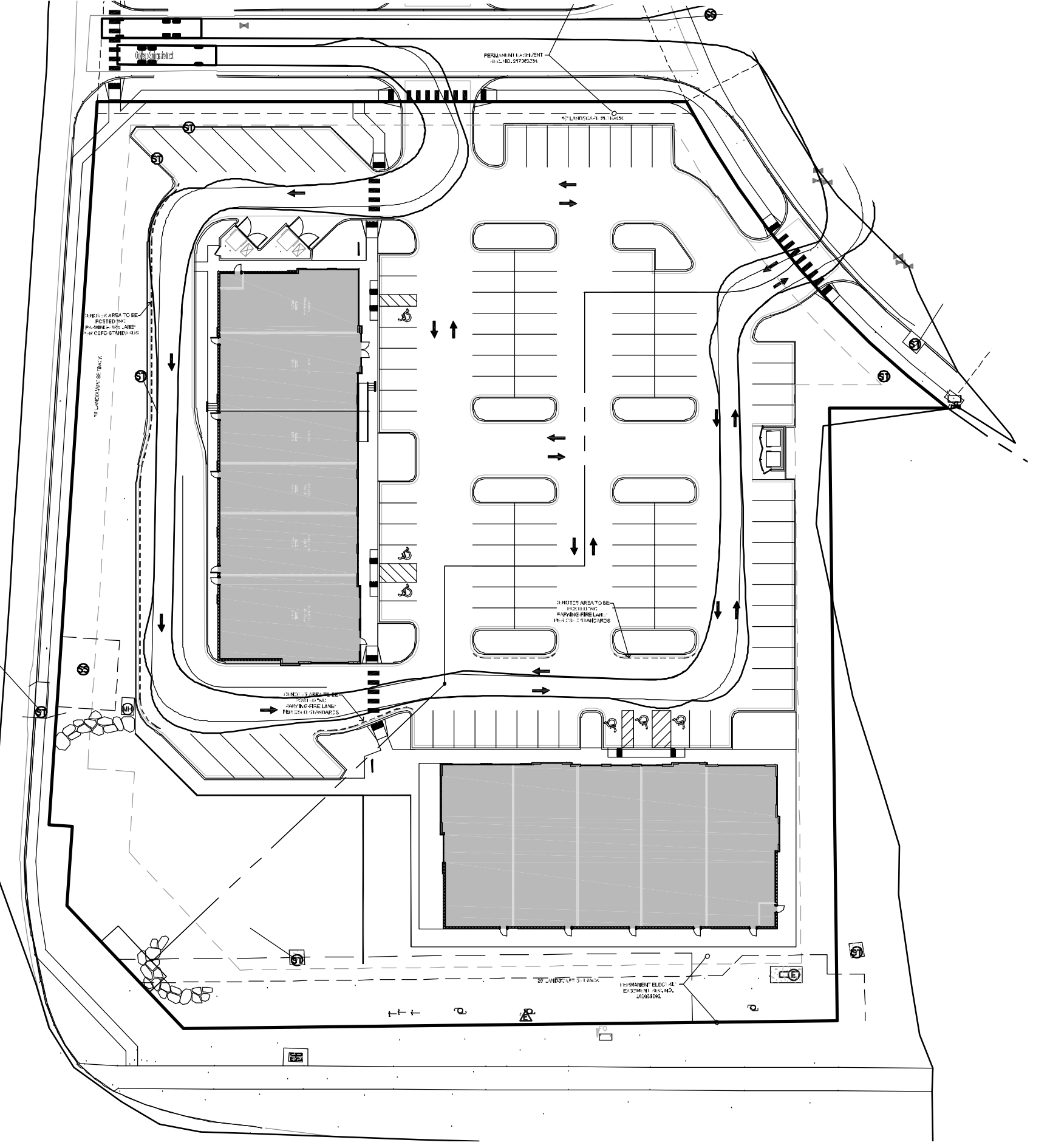
(C) TYPICAL HANDICAP PARKING DETAIL N.T.S.



(D) BIKE LOOP N.T.S.

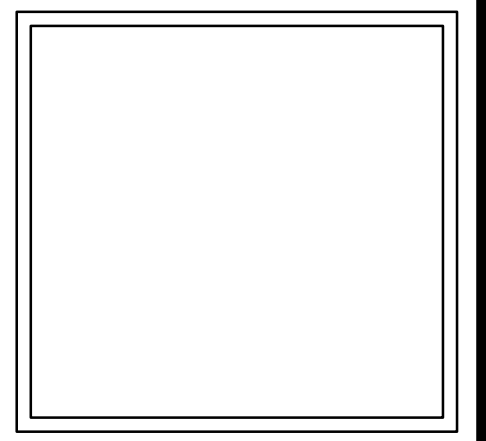


(E) TYPICAL CURB AND GUTTER N.T.S.



(G) FIRE APPARATUS ROUTE SCALE: 1"=50'

**OWNER INFO**  
 company name: Marksheffel Development LLC  
 address: 12325 Oracle Boulevard Suite 120  
 city/state: Colorado Springs, CO 80921  
 phone no:



city file no: AR PUD 22-00???



**YOW ARCHITECTS PC**  
 ARCHITECTURE & PLANNING  
 115 S. Weber Colorado Springs, Colorado 475-8133

Structural: \_\_\_\_\_  
 Electrical: \_\_\_\_\_  
 Mechanical: \_\_\_\_\_  
 Plumbing: \_\_\_\_\_

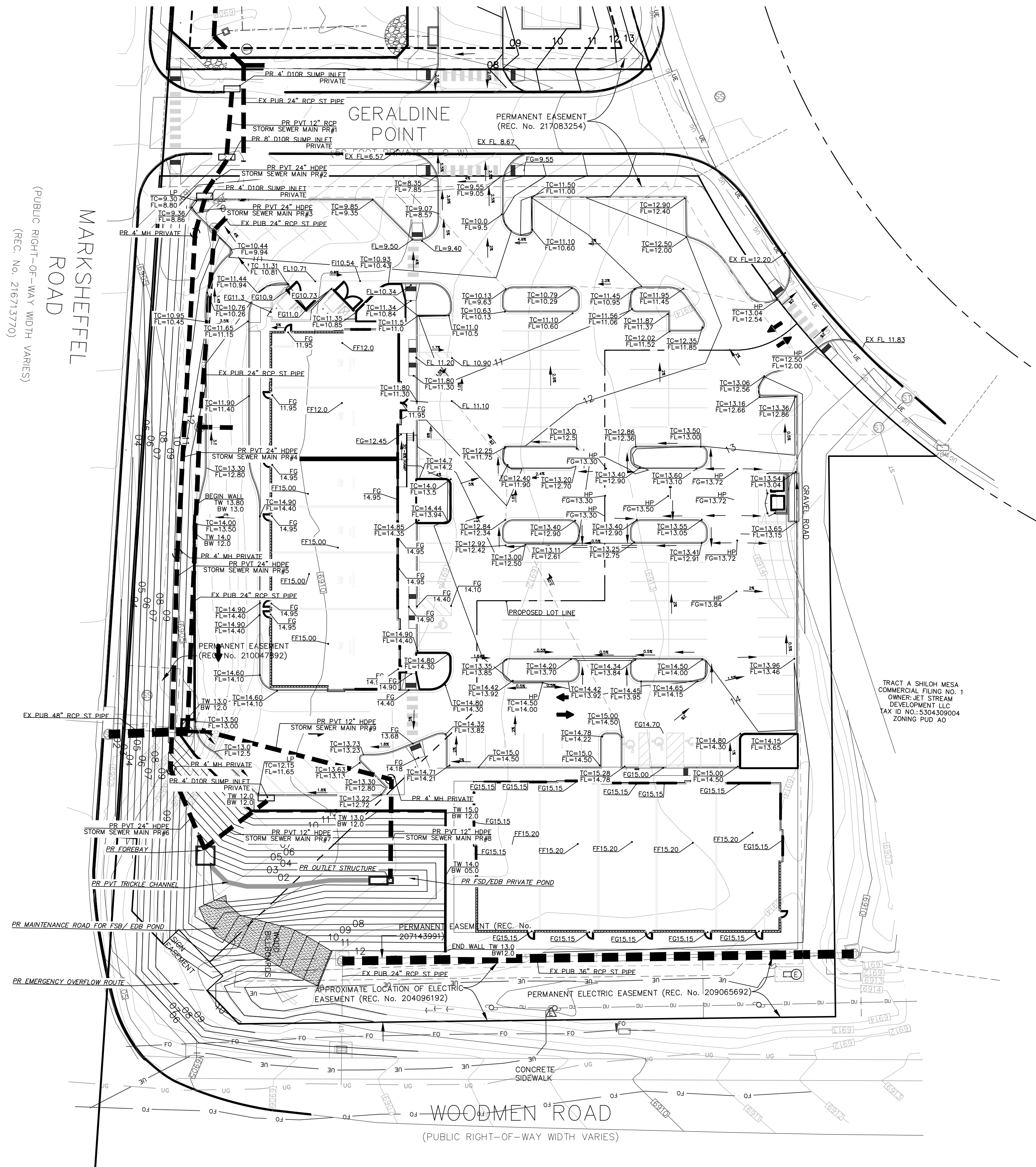
**Lots 1 and 2 Shiloh Mesa South Retail**  
 Woodmen Road  
 Colorado Springs, Colorado 80923

Job No. 30238  
 Directory: Planning  
 File: development plan  
 Drawn by: DSH  
 Date: 4.28.2022  
 File: 8133

DRAWING NO.  
**2 of 8**  
 Development Plan  
 Details



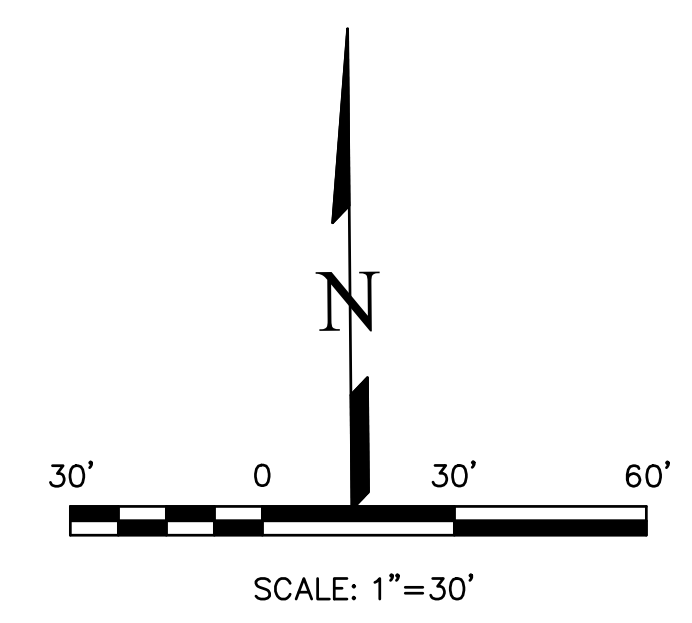
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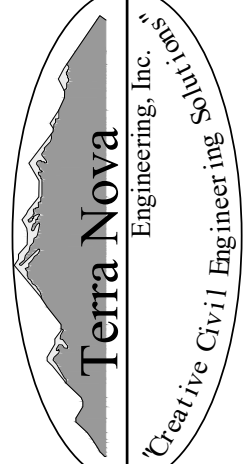


**GRADING LEGEND**

EXISTING CONTOURS - MAJOR	---	6130
EXISTING CONTOURS - MINOR	---	6132
PROPOSED CONTOURS - MAJOR	---	6130
PROPOSED CONTOURS - MINOR	---	6132
PROPERTY LINE	---	
FLOW DIRECTION	---	3:1
TOP OF WALL	---	TW
FINISHED GROUND	---	FG
FLOWLINE	---	FL
TOP OF STAIRS	---	TS
BOTTOM OF STAIRS	---	BS

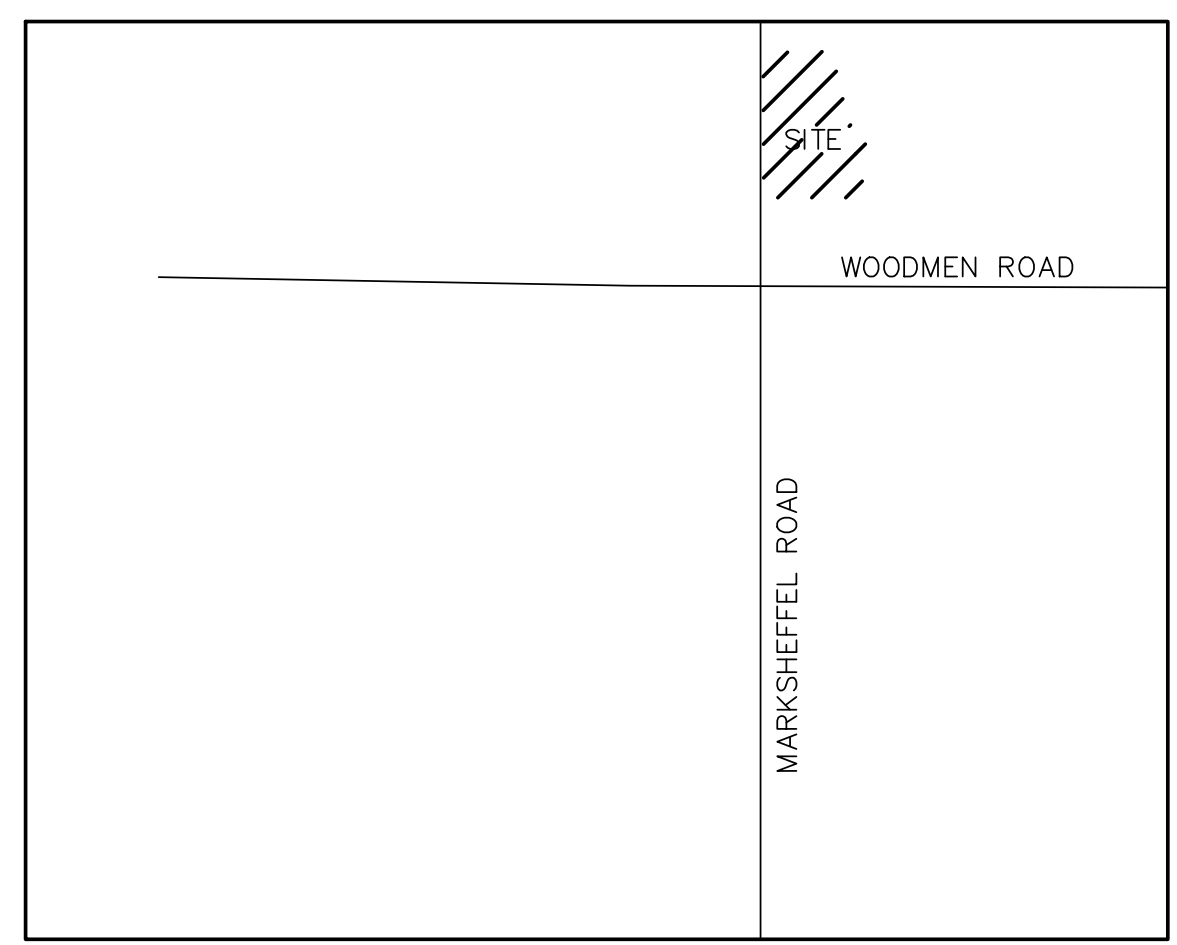
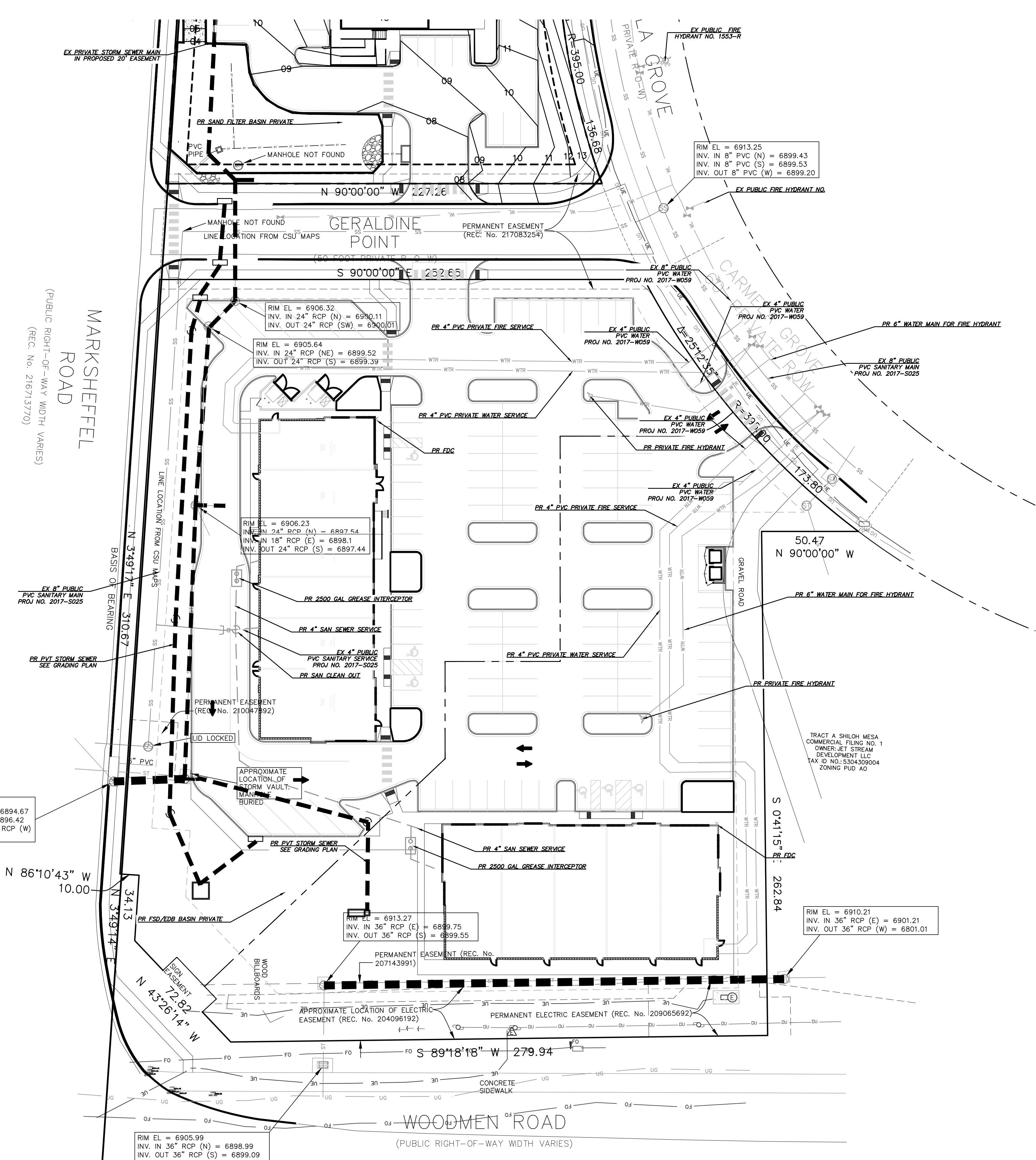
- NOTE:**
- EXISTING VEGETATION CONSISTS OF NATIVE PRAIRIE GRASSES AND SHRUBS WITH GOOD TO EXCELLENT COVERAGE OF 75% TO 90%
  - AT THE TIME OF FINAL CONSTRUCTION EROSION CONTROL BLANKETS WILL NEED TO BE INSTALLED ON ALL 3:1 SLOPES



<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 5%;">NO.</th> <th style="width: 85%;">DESCRIPTION</th> <th style="width: 10%;">DATE</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DESCRIPTION	DATE				<p>UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE BOARD OF APPLICABLE TERRA NOVA ENGINEERING, INC. APPROVES THEIR USE ONLY FOR THE PROJECT AND ANY CHANGES MUST BE WRITTEN AUTHORIZATION.</p> <p>PREPARED FOR:  <b>COLORADO COMMERCIAL BUILDERS</b>          ATTN: JOSH BEGGS          5410 POWERS CENTER POINT          COLORADO SPRINGS CO 80920          719-264-6955</p> <div style="text-align: center;">   <b>Terra Nova</b>          Engineering, Inc.          Creative Civil Engineer Inc.       </div> <p>721 S. 2900 STREET          COLORADO SPRINGS, CO 80904          OFFICE: 719-635-6422          FAX: 719-635-6426          www.tneng.com</p>
NO.	DESCRIPTION	DATE					
<p><b>SHILOH MESA RETAIL SOUTH FILING NO. 1</b></p>	<p>DEVELOPMENT PLAN          PRELIMINARY GRADING PLAN</p>						
<p>DESIGNED BY LD          DRAWN BY LD          CHECKED BY</p>	<p>H-SCALE          V-SCALE</p>						
<p>JOB NO. 2214.00          DATE ISSUED 04/28/22          SHEET NO. # OF #</p>	<p>AR DP 22-</p>						

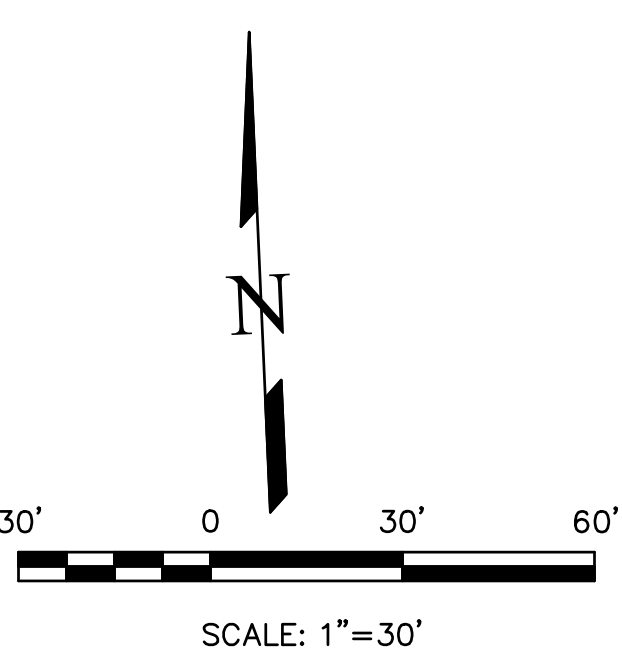
**GENERAL NOTES:**

- COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
- PROPERTY OWNER(S) ("OWNER") ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS (STANDARDS), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND Pikes Peak REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
- OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES' RULES AND REGULATIONS.
- SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A FIRST-COME, FIRST-SERVED BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
- THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
- OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
- THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
- OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
- OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564).
- IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT. SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NEC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
- SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS; AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.



**FIRE INFORMATION**

SF	V-B
BLDG TYPE	YES
SPRINKLERED	1500 (MAX) 50% RED.
GPM REQ'D	###
GPM PROVIDED	1
FH REQUIRED	2 HRS
FH PROVIDED	500'
FIRE FLOW	250'
AVE FH SPACING	
HOSE LAY	



**NOTE:**  
ALL PRIVATE TO PUBLIC STORM SEWER CONNECTIONS MUST BE INSPECTED BY AN ENGINEERING DEVELOPMENT REVIEW INSPECTOR.

**LEGEND**

EXISTING SANITARY SEWER MAIN	---
EXISTING WATER MAIN	---
EXISTING STORM SEWER MAIN	---
PROPOSED WATER MAIN	---
PROPOSED STORM SEWER MAIN	---
PROPOSED SANITARY SEWER SERVICE	---
PROPOSED FIRE LINE	---
PROPOSED WATER SERVICE	---
EXISTING	EX
PROPOSED	PR
PUBLIC	PUB
PRIVATE	PVT

DATE	
REVISIONS	
UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE REVIEWING AGENCY, TERRA NOVA ENGINEERING, INC. APPROVES THEIR USE ONLY FOR THE PROJECTS AUTHORIZED BY WRITTEN AUTHORIZATION.	
PREPARED FOR:	CCB
ATTN:	JOSH BEGGS
5410 POWERS CENTER POINT	
COLORADO SPRINGS, CO 80620	
719-264-6955	
721 S. 2900 STREET	
COLORADO SPRINGS, CO 80904	
OFFICE: 719-635-6422	
FAX: 719-635-6426	
www.tnengine.com	
<b>SHILOH MESA RETAIL SOUTH FIL NO. 1</b>	
DESIGNED BY	LD
DRAWN BY	LD
CHECKED BY	
H-SCALE	
V-SCALE	
JOB NO.	2214.00
DATE ISSUED	04/28/22
SHEET NO.	# OF #



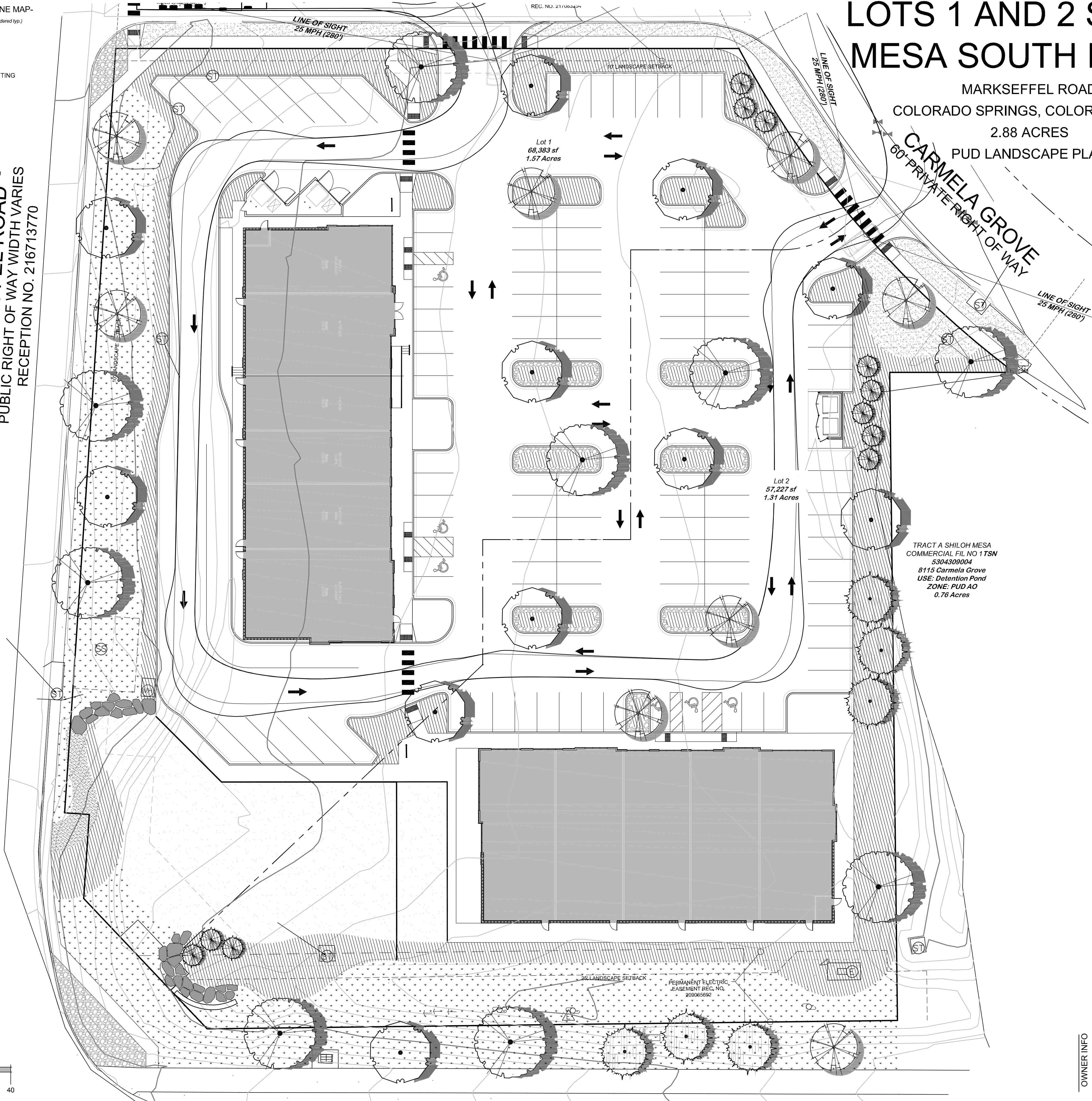
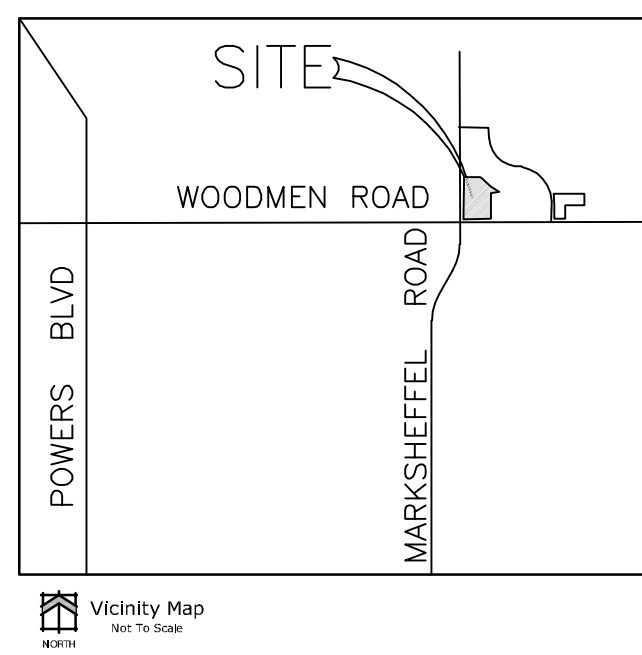
-SEE SHEET 2 OF 2 FOR HYDROZONE MAP-  
KEYED NOTES:(not all items labeled, items labeled considered typ.)

- ① TYPICAL DECIDUOUS TREE PLANTING  
- see detail 02-2
- ② TYPICAL EVERGREEN TREE PLANTING  
- see detail 02-2
- ③ TYPICAL SHRUB PLANTING  
- see detail 02-2
- ④ TYPICAL GROUND COVER/PERENNIAL PLANTING  
- see detail 02-2
- ⑤ LANDSCAPE BOULDER  
- see detail 02-2
- ⑥ STEEL EDGE  
- see detail 02-2
- ⑦ 2-4" BLUE GREY GRAVEL MULCH  
- see detail 02-2
- ⑧ SCREEN WALL  
- see architectural plans
- ⑨ 4-8" COBBLE  
- see detail 02-2
- ⑩ ORGANIC MULCH  
- see landscape notes for required amendments
- ⑪ TURF LAWN AREA (THERMAL BLUE BLEND)  
- see landscape notes for required amendments

MARKSHEFFEL ROAD  
PUBLIC RIGHT OF WAY WIDTH VARIES  
RECEPTION NO. 216713770

# LOTS 1 AND 2 SHILOH MESA SOUTH RETAIL

MARKSEFFEL ROAD  
COLORADO SPRINGS, COLORADO 80923  
2.88 ACRES  
PUD LANDSCAPE PLAN



TRACT A SHILOH MESA  
COMMERCIAL FIL NO 17SN  
5304309004  
8115 Carmela Grove  
USE: Detention Pond  
ZONE: PUD AO  
0.76 Acres

### LANDSCAPE PLANT SCHEDULE

SYMBOL	QUANTITY	SCIENTIFIC NAME	COMMON NAME	MATURE SIZE	PLANTING SIZE	NOTES	APP. B KEY
<b>DECIDUOUS TREES</b>							
ADM		Acer x Fraxinus 'Jefferson'	American Blaine Maple	50' x 40'	2" Caliper	Ball and Burlap	S
ALD		Quercus alba	White Oak	40' x 30'	2" Caliper	Ball and Burlap	45A
SWO		Quercus bicolor	Swainson White Oak	60' x 50'	2" Caliper	Ball and Burlap	45
LIL		Lilium cordata 'Glenlivet'	Glenlivet Lily	45' x 20'	2" Caliper	Ball and Burlap	45
<b>EVERGREEN TREES</b>							
AMP		Abies magnifica	Aspen Pine	50' x 30'	10' Height	Ball and Burlap	5687M
PVP		Pinus strobus 'Vanguard'	Vanguard Pine	30' x 15'	8' Height	Ball and Burlap	565DA
<b>ORNAMENTAL TREES</b>							
Percent Signature Trees (60% minimum policy 311.3)				Number of Signature Trees			
Total Number of Trees				Total Number of Trees			
<b>DECIDUOUS SHRUBS</b>							
DBB		Euonymus alatus 'Compactus'	Dwarf Burning Bush	5' x 4'	5 Gallon	Container	45S
RTD		Cornus alternifolia	Red Dogwood	6' x 5'	5 Gallon	Container	457S
BAR		Baccharis pumila 'Nana'	Redleaf Barberry	2' x 2'	5 Gallon	Container	45A
APP		Filago perfoliata	Asplenium Plantain	3' x 3'	5 Gallon	Container	12356D
VIB		Viburnum lentago	Maackley Viburnum	6' x 7'	5 Gallon	Container	456DA
<b>EVERGREEN SHRUBS</b>							
BAH		Buxus microcarpa	Small Mountain Juniper/Waxleaf	12' x 4'	15 Gallon	Container	12567SD
BJH		Juniperus horizontalis 'Blue Star'	Blue Star Juniper	11' x 5'	1 Gallon	Container	2666A
JHC		Juniperus chinensis 'Horizontalis'	Horizontal Juniper	4' x 4'	5 Gallon	Container	DA
<b>ORNAMENTAL GRASSES</b>							
CAB		Calamagrostis x acutiflora	Calamagrostis	3' x 4'	1 Gallon	Container	DA
CDV		Calluna vulgaris x acutiflora	Overland Feather Reed Grass	2' x 3'	1 Gallon	Container	A
Percent Signature Shrubs (60% minimum policy 311.3)				Number of Signature Shrubs			
Total Number of Shrubs				Total Number of Shrubs			
<b>FLOWERS</b>							
PCO		Echinacea purpurea	Purple Coneflower	2' x 2'	1 Gallon	Container	345A

### SITE CATEGORY CALCULATIONS

Plant Label	Code	Street Name / Street Classification	Width (in feet)	Linear Footage	Type / Feet	No. Trees		
Zone Boundary			Required	Required	Required	Required		
WRS		Woodmen Road	Major Arterial	25'	316'	125'	13	10
MRS		Marksheffel Road	Minor Arterial	10'	377'	125'	15	6
GPS		Geardine Plant	Private Road	10'	251'	100'	8	2
CGS		Carmela Grove	North Arterial	10'	172'	100'	6	6
Shrub Substitutions		Dim. Grass Subst.	Setback Plant Alder	% Ground Plane Veg.		Evergreen Plants		Provided
Required	Provided	Required	Provided	Required	Provided	Required	Provided	Provided
30	0	0	0	75%	75%			
80	0	0	0	MRS	75%	75%		
80	0	0	0	MRS	75%	75%		
0	0	0	0	GPS	75%	75%		
0	0	0	0	CGS	75%	75%		

### MOTOR VEHICLE LOTS

Plant Label	Code	No. of Vehicle Spaces/Provider	Trade Trees (1/18)	Vehicle Lot Frontage	Length of Frontage (ft)	Length of Frontage (ft) (excluding drive aisle)	Length of Frontage (ft)
MVLS		115	8	8			
Min. 2' Screen Plants		Evergreen Plants	Length of Screening	Vehicle Lot Frontage	% Ground Plane Veg.		
Required	Provided	Required	Provided	Required	Provided	Required	Provided
			0	MVLS	75%	75%	

### INTERNAL LANDSCAPING

Plant Label	Code	Area Site Area (SF)	Percent Minimum	Internal Area (SF)	Internal Trees (1/50)	Internal Trees (1/50) SF
Zone Boundary		Required	Provided	Required	Provided	Required
1		128,610 SF	5%	6,281 SF	40,404 SF	13
Shrub Substitutions		Dim. Grass Subst.	Internal Plant Alder	% Ground Plane Veg.		Evergreen Plants
Required	Provided	Required	Provided	Required	Provided	Required
20	26	0	23	1		75%

### SCREENING

Plant Label	Code	Street Name or Property Line	Width in feet	Linear Footage	Length of Screening	Evergreen Plants
TE		Trash enclosure	Required/Provided	Required/Provided	Required/Provided	Required/Provided

### HATCH LEGEND

TURF	3,372 sf
KENTUCKY BLUE GRASS (THERMAL BLUE BLEND)	
4-8" COBBLE	1,961 sf
2-4" COBBLE	16,652 sf
ORGANIC MULCH	0 sf
EL PASO COUNTY LOW GROW SEED MIX	20,074 sf
Custom El Paso County Low Grow Mix	
Hydroseeded on Slopes 3:1 & greater at 42 PLS/acre.	
Seed Mix:	
29% Sideoats Grama	
25% Buffalograss	
20% Blue Grama	
20% Western Wheatgrass	
5% Green Needlegrass	
1% Sand Dropseed	

OWNER INFO  
company name: Marksheffel Development LLC  
address: 12325 Oracle Boulevard Suite 120  
city/state: Colorado Springs, CO 80921  
phone no:

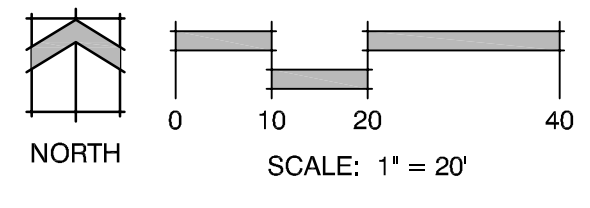
city file no: AR PUD 22-00???

YOW ARCHITECTS PC  
ARCHITECTURE & PLANNING  
115 S. Weber Colorado Springs, Colorado 475-8133

Lots 1 and 2 Shiloh Mesa South Retail  
Woodmen Road  
Colorado Springs, Colorado 80923

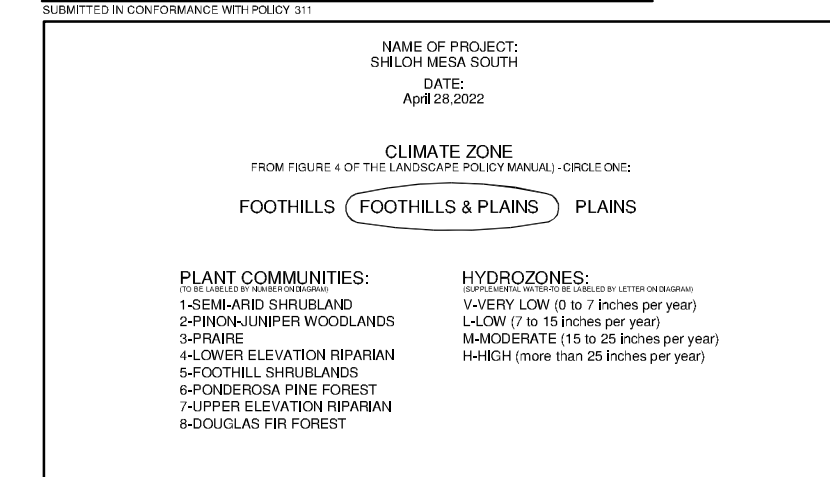
Job No: 202003  
Directory: Landscape  
File: Development Plan 4-26-2022  
Drawn By: DDB  
Date: 4.12.2022  
Revised:

DRAWING NO.  
**5 of 8**  
FINAL LANDSCAPE PLAN

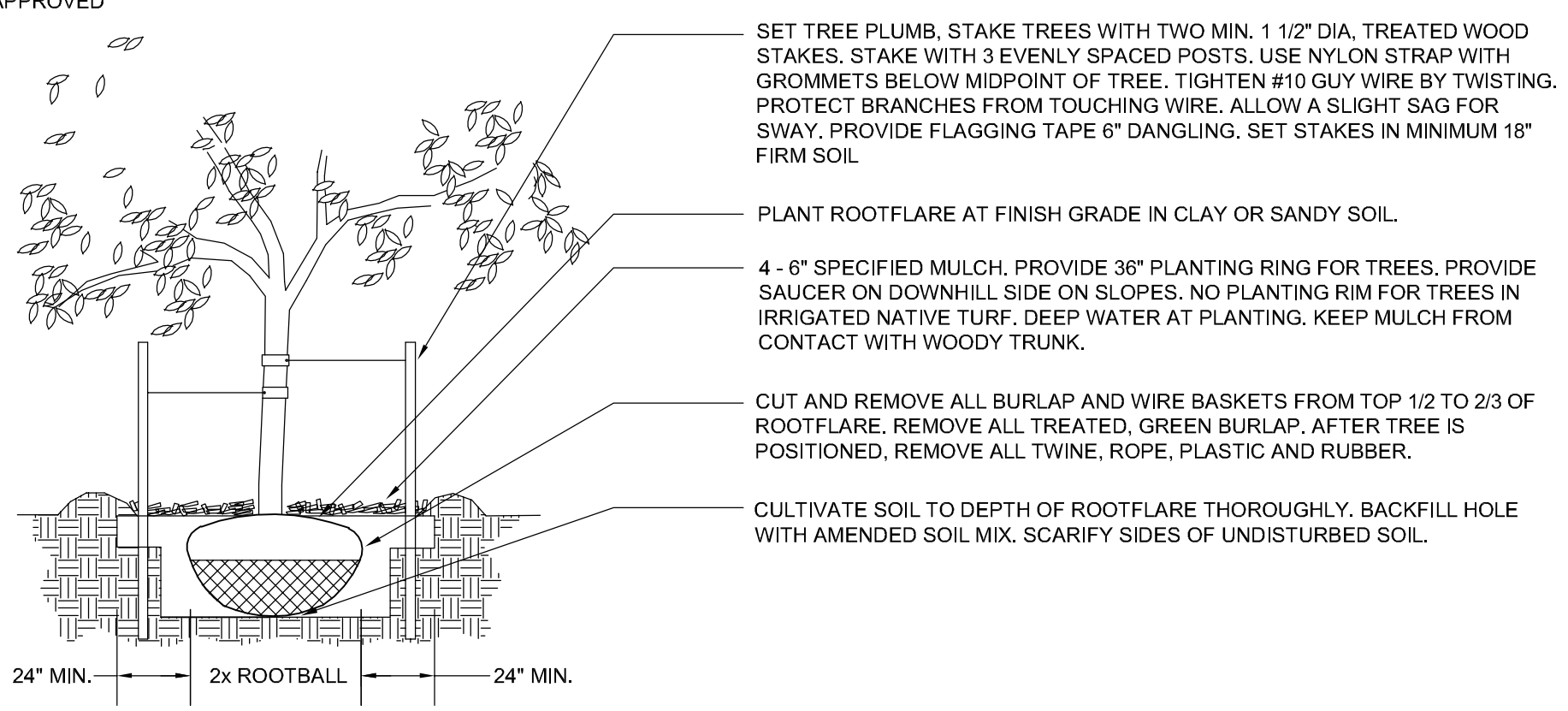




**SCHEMATIC LANDSCAPE DIAGRAM**

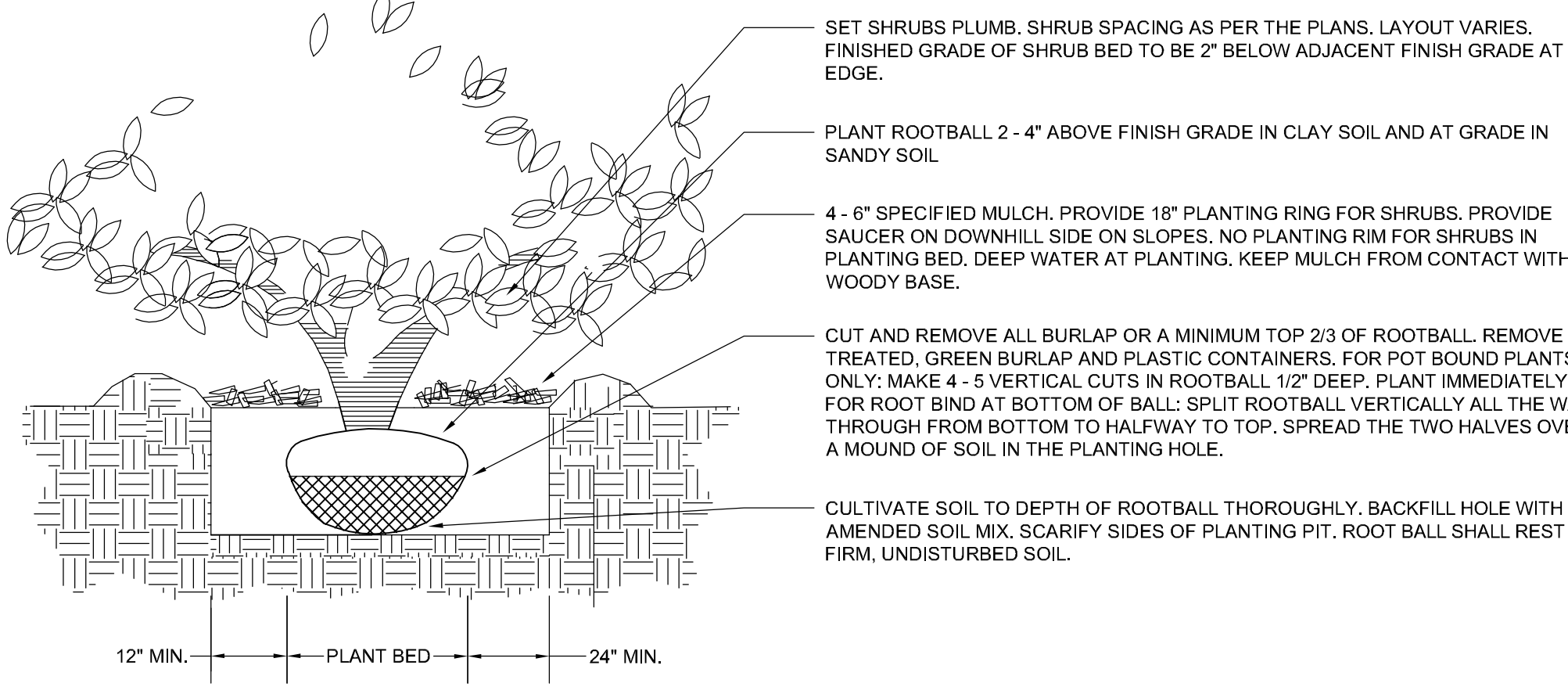


- NOTES:
- DO NOT REMOVE OR CUT LEADER.
  - PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
  - REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNERS REPRESENTATIVE
  - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
  - AVOID FALL PLANTING IF POSSIBLE.
  - AMENDED BACKFILL SHALL BE 80% SOIL FROM PLANTING PIT AND 20% ORGANIC MATERIAL, PREFERABLY CANADIAN PEAT MOSS.
  - STAKING POST SHALL BE 1 1/2" DIA. TREATED WOOD STAKE. METAL POST WILL NOT BE APPROVED



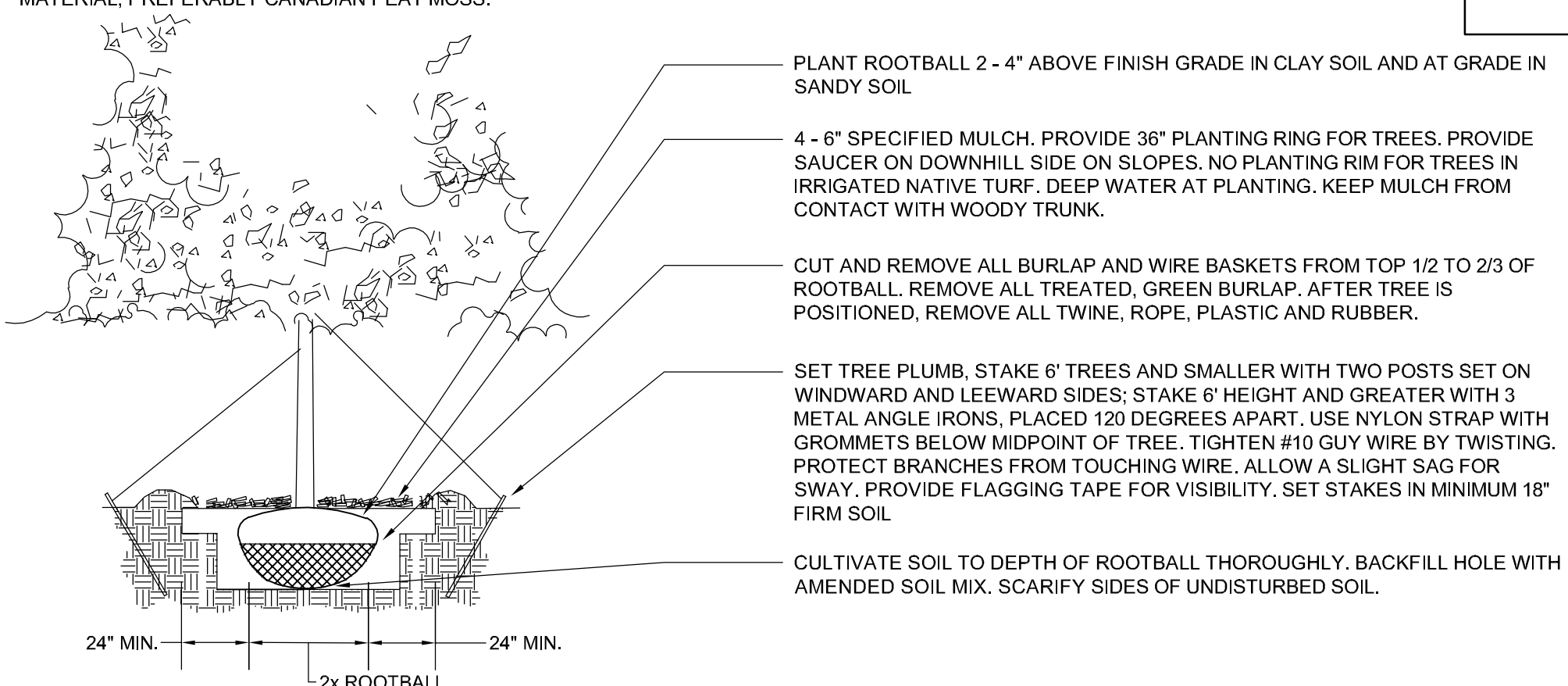
**1 A DECIDUOUS TREE PLANTING DETAIL**  
N.T.S.

- NOTES:
- PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
  - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
  - DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
  - AMENDED BACKFILL SHALL BE 70% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL, PREFERABLY CANADIAN PEAT MOSS.

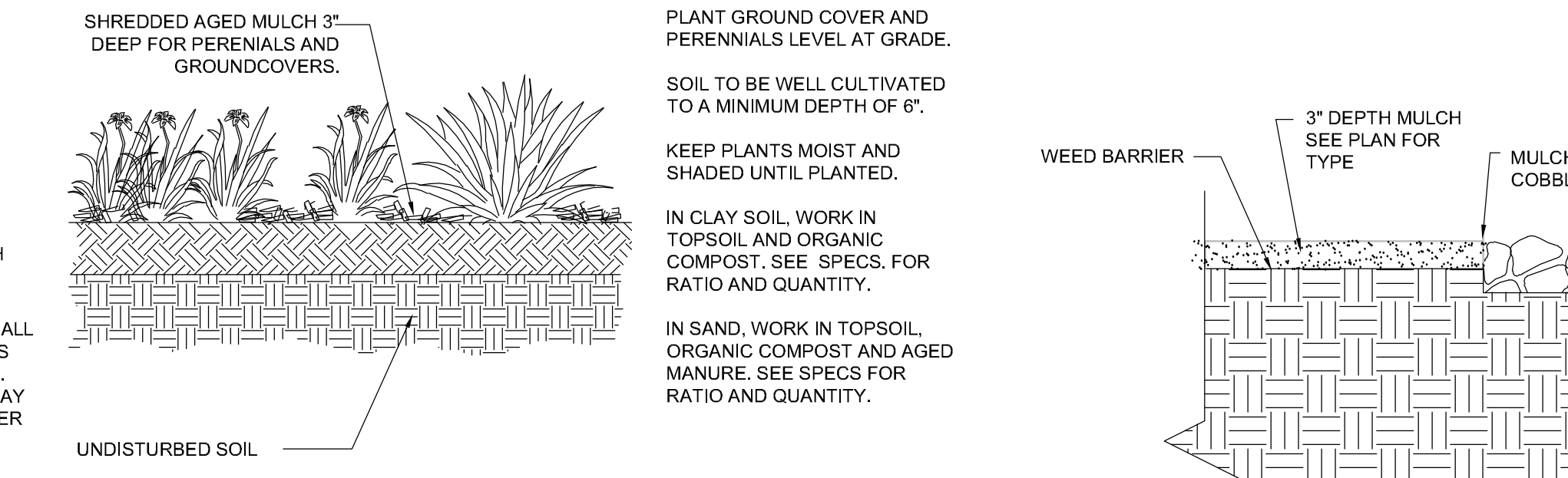


**3 C SHRUB PLANTING DETAIL**  
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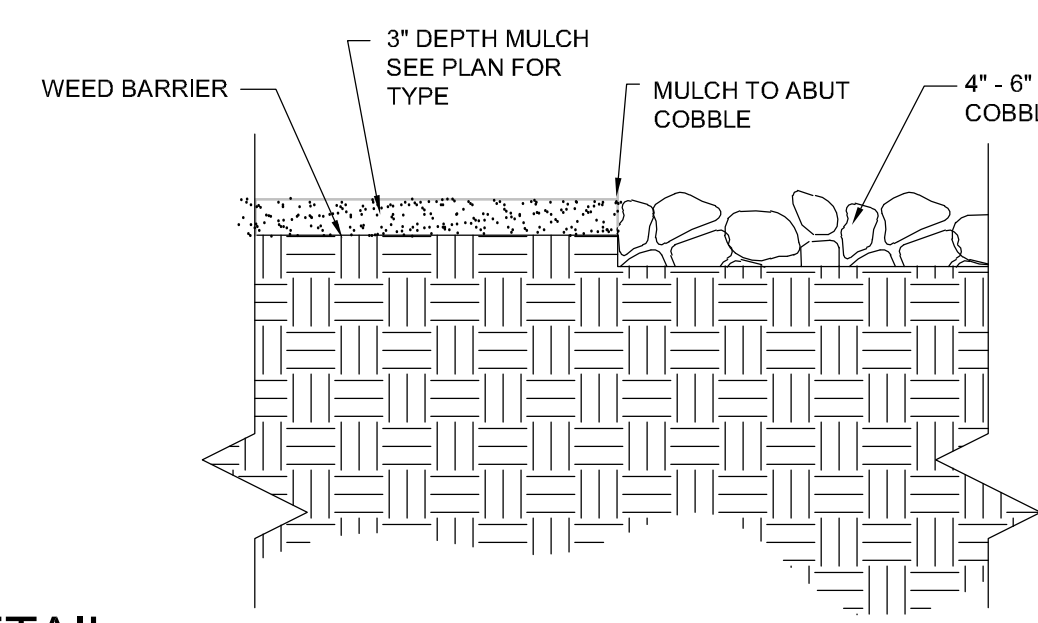
- NOTES:
- DO NOT REMOVE OR CUT LEADER.
  - PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
  - REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNERS REPRESENTATIVE
  - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
  - AVOID FALL PLANTING IF POSSIBLE.
  - AMENDED BACKFILL SHALL BE 70% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL, PREFERABLY CANADIAN PEAT MOSS.



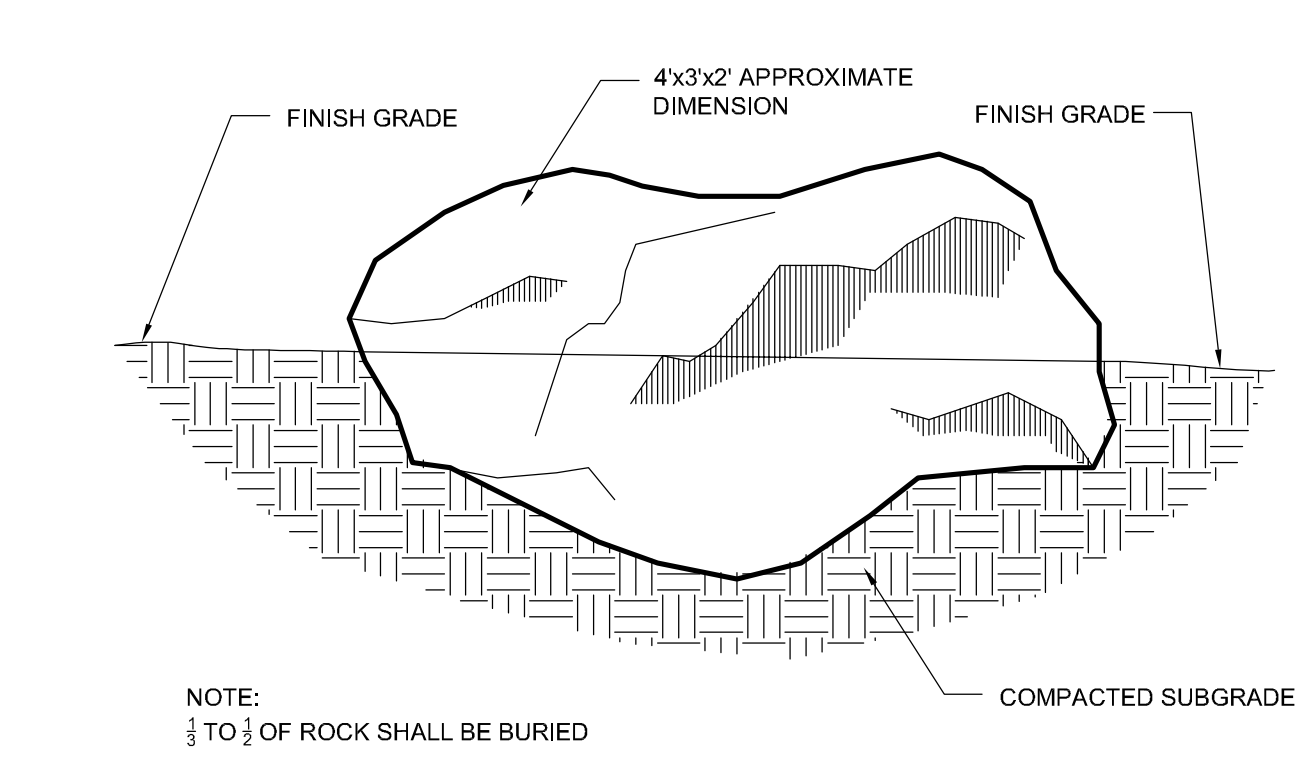
**2 B EVERGREEN TREE PLANTING DETAIL**  
N.T.S.



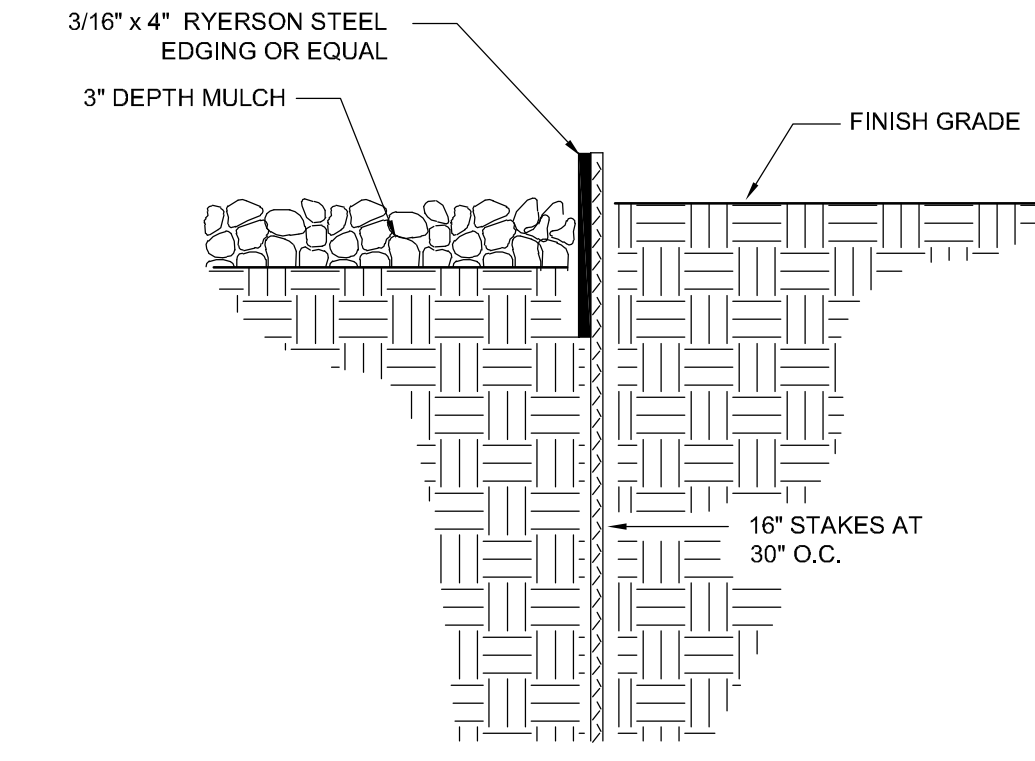
**4 D PERENNIAL/GROUND COVER PLANTING DETAIL**  
N.T.S.



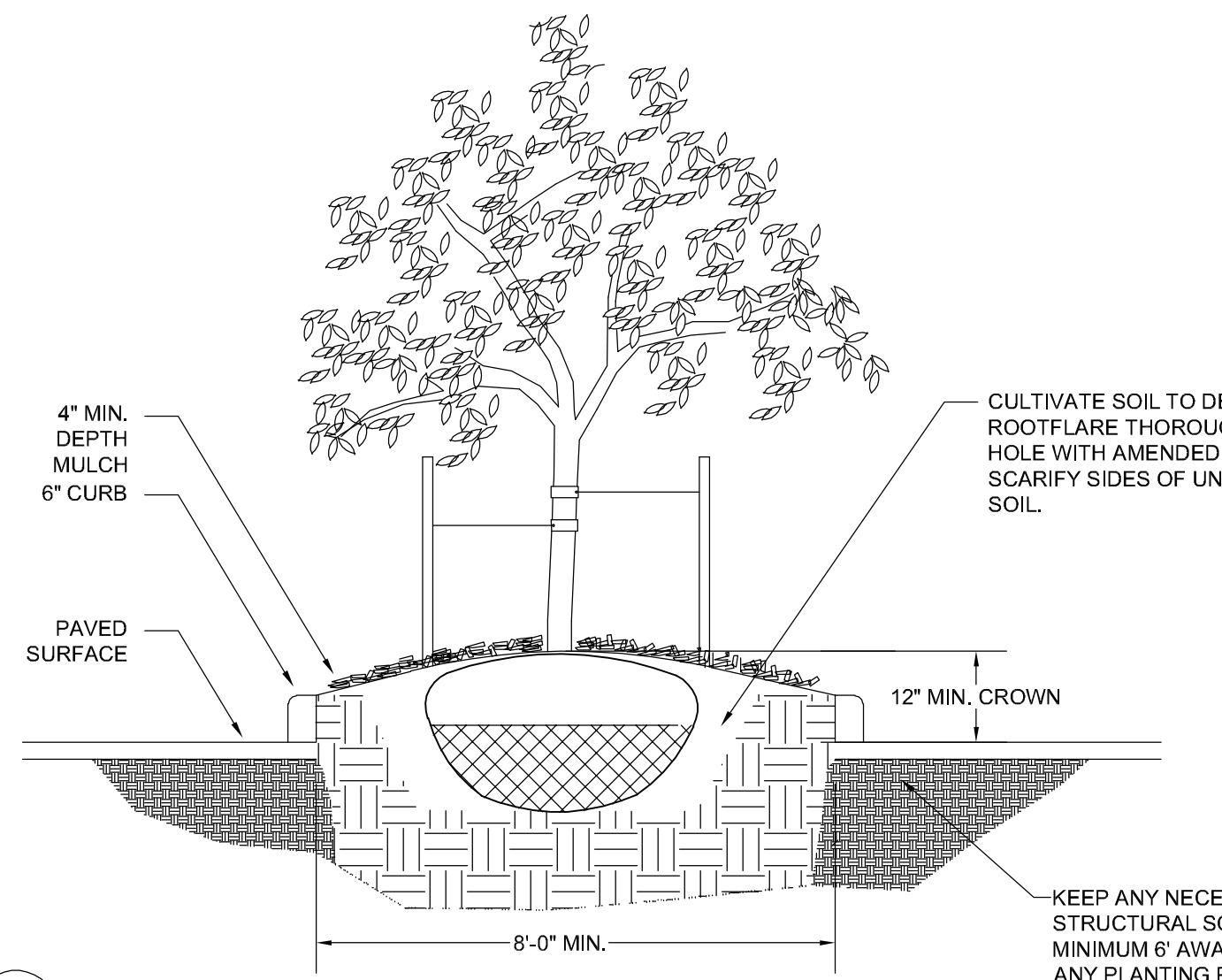
**5 E COBBLE @ MULCH**  
N.T.S.



**6 F LANDSCAPE BOULDER**  
N.T.S.



**7 G STEEL EDGE DETAIL**  
N.T.S.



**8 H TYP. PARKING LOT ISLAND**  
N.T.S.

**GENERAL LANDSCAPE NOTES:**

- PLANT QUANTITY AND SUBSTITUTION: In case of discrepancy in plant quantities shown on the plant table and those shown on the planting plan, the quantities shown on the planting plan shall govern. The minimum acceptable sizes of plants measured before pruning shall conform to the planting sizes as specified in the planting table. Any substitution of plant size or species must be submitted to the Landscape Architect in writing for approval prior to installation.
- ACCEPTABLE PLANT MATERIAL: All plants shall meet or exceed standards set by the "COLORADO NURSERY ASSOCIATION," and the "AMERICAN STANDARD OF NURSERY STOCK". All plants shall be typical of their species, healthy, free of disease, insect pests, mechanical injuries, and have adequate root systems. Trees shall be fully branched in proportion to width and height and have a relatively straight trunk with a central leader. The contractor shall prune lower branches of deciduous trees to 6 feet above finish grade. All trees, shrubs, and ground covers shall be installed per planting details. All plant material shall be inspected by the Landscape Architect or owner prior to installation.
- SOIL AMENDMENTS: All planting areas and turf areas shall be amended as follows: 3 CUBIC YARDS / 1,000 SF OF PREMIUM ORGANIC COMPOST.

	SOD	SEED*	SHRUB BEDS
ORGANIC MATERIAL	3 CYS/1,000 SF	3 CYS/1,000 SF	1" of animal-based compost incorporated into top 6"-8" of the soil
NITROGEN*	1 LBS/1,000 SF	1 LBS/1,000 SF	3 LBS/1,000 SF
PHOSPHORUS (P205)**	3 LBS/1,000 SF	3 LBS/1,000 SF	3 LBS/1,000 SF
POTASSIUM (K20)	-	-	-
ZINC	-	-	-
IRON (Fe)	2 oz./1,000 SF	2 oz./1,000 SF	2 oz./1,000 SF

\* APPLY NITROGEN IN FOUR (4) APPLICATIONS. FOR EACH 1LB OF N NEEDED, APPLY 2LB UREA, OR 5LB AMMONIUM SULFATE, OR 3 3/4 LB (27-34) LAWN FERTILIZER, OR 8LB BLOODMEAL, OR 11 LB CORN GLUTEN MEAL, OR 50LB ALFALFA MEAL/PELLETS, PER 1,000 SF.  
OR BONE MEAL at a rate of 35 lb/ 1,000 sf

PROVIDE 2:1 MIXTURE OF AMENDMENT FOR FILL DIRT IN TREE AND SHRUB PITS.

RECOMMENDED SOIL AMENDMENT:  
TRI-MIX III as supplied by C&C Sand  
-To be applied as backfill in planting pits

- ALL AMENDED AREAS SHALL BE TILLED TO A DEPTH OF 6" PRIOR TO PLANTING.
- A SIGNED LANDSCAPE INSPECTION AFFIDAVIT ATTESTING TO THE SOIL AMENDMENTS INCORPORATED TO CORRECT DEFICIENCIES SHALL BE INCLUDED WITH THE SOIL AMENDMENT RECEIPTS PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- SEEDING AREAS: All seeded or hydromulched areas shall demonstrate 95% germination prior to final acceptance.
  - IRRIGATION: All trees, shrubs, and ground covers shall be irrigated by an automatic drip or spray irrigation system equipped with a rain sensor shutoff device. All turf areas to be irrigated by underground, automatic irrigation system also equipped with a rain sensor automatic shutoff device.
  - ORGANIC MULCH: All planting areas (including cobble/rock beds) for trees, shrubs, groundcovers and ornamental grasses shall be mulched with a (3") depth. A 3" diameter of 3" depth wood mulch shall be provided at base of all trees, 18" diameter for shrubs, and 12" for ornamental grasses. Mulch shall be fibrous in nature, not chipped or in chunks, and watered in after installation. NO FILTER FABRIC IS TO BE USED UNDER WOOD MULCH.
  - INORGANIC MULCH: The type of inorganic mulch as specified within the KEYED NOTES on the landscape plan shall be applied at a standard depth of 3"-4" over geo-textile filter fabric. Filter fabric shall be min. 4 oz. woven needle punched polypropylene (dewitt or equivalent). Overlap ends 3", turn down edges 6".
  - LANDSCAPE BOULDERS: All landscape boulders shown on plan are to be 10-12 cubic feet minimum, blue grey river rock boulders unless otherwise specified.
  - STEEL EDGE: All edger shall be 3/16" x 4" RYERSON or PRO STEEL EDGER with 16" stakes at 30" O.C., color shall be green.
  - INSPECTION AND APPROVAL: Notification for IRRIGATION INSPECTION AFFIDAVIT shall be given during construction while trench is open and after completion of system installation prior to seeding or sodding. The Landscape Architect shall be notified at least 48 hours prior to client seeking certificate of occupancy for FINAL LANDSCAPE INSPECTION AFFIDAVIT.
  - GENERAL AREAS OF DISTURBANCE: ANY AREAS OF CONSTRUCTION DISTURBANCE NOT SHOWN AS LANDSCAPED ARE TO BE RE-VEGETATED AND/OR OVERSEEDED AS REQUIRED.
  - TREE WELLS: ALL TREES LOCATED IN PAVED BUILDING AREAS OR IN PARKING LOT ISLANDS ARE TO UTILIZE STRUCTURAL SOIL PLANTING PITS FOR PROTECTION OF DESIGNATED PLANTING PITS. SOILS SHOULD NOT BE STOCKPILED ON SITE FOR MORE THAN 30 DAYS. PROTECTIVE SOIL ON SITE IS NECESSARY PROTECTION OF SOIL IS NEEDED TO MINIMIZE CONTAMINATION.

- IRRIGATION IS TO BE DESIGN-BUILD. THE IRRIGATION DESIGNER SHALL BE QUALIFIED TO PREPARE THE IRRIGATION PLAN AND MEET CITY REQUIREMENTS. (APPENDIX I IN LANDSCAPE MANUAL). THE IRRIGATION PLAN APPLICATION SUBMITTAL AND APPROVAL MUST BE COMPLETED BEFORE ANY IRRIGATION SYSTEM EQUIPMENT IS INSTALLED. THE IRRIGATION PLAN APPLICATION SHALL BE SUBMITTED TO THE CITY PLANNING DEPARTMENT FOR REVIEW AND APPROVAL NINETY (90) DAYS SUBSEQUENT TO BUILDING PERMIT ISSUANCE AND BEFORE ANY IRRIGATION SYSTEM EQUIPMENT IS INSTALLED AND APPROVED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- IRRIGATION CITY AFFIDAVIT NOTE - THE DESIGN PROFESSIONAL OF RECORD IS TO COMPLETE THE INSPECTION AFFIDAVIT BASED ON APPROVED FINAL IRRIGATION PLAN. THIS SHOULD REQUIRE LIMITED CONSTRUCTION OBSERVATION VISITS TO ACCURATELY COMPLETE THE AFFIDAVIT. WHEN AFFIDAVITS ARE NOT SUBMITTED, FINANCIAL ASSURANCES ARE TAKEN AN HELD FOR TWO YEARS. WHEN READY TO CALL FOR INSPECTION AND SUBMIT AFFIDAVITS, FIRST CONTACT THE CITY PLANNER OF RECORD (385-5905) AND AS NECESSARY OUR DRE OFFICE (385-5982).
- All trees, shrubs, and ground covers shall be irrigated by an automatic drip irrigation system equipped with a rain sensor shutoff device. All turf areas to be irrigated by underground, automatic spray irrigation system also equipped with a rain sensor automatic shutoff device.
- All valve boxes shall be supported by concrete block (min. 4 per box). Install blocks in a manner that will prevent contact with piping, wires, and valve.
- Irrigation control wire shall be common trench with mainline and shall have separate sleeve were crossing all hard construction.
- The contractor shall adjust all valves and spray nozzles for optimum coverage.
- Contractor shall tape closed all sleeve pipe openings to prevent debris from entering sleeves.
- Backflow preventer should be located in a locked/secured metal enclosure.
- Minimum of (2 - 1gph) emitters per shrub and (4 - 1gph) per tree at minimum. Preferred method for irrigating trees would be to utilize tree ring assembly constructed of 3/4" dripline(diameter to match root ball). Reference Rainbird standard dripline tree detail.
- All seeded areas need to be zoned and scheduled separately. Seeded irrigation zones are for temporary/establishment water purposes only (see seeding notes).
- Contractor to provide irrigation schedule to owner/maintenance group addressing watering schedule for both establishment period and regular watering schedule.
- Irrigation system, as noted, is to be design-build MODIFYING the current system in place. Where possible, all existing valves should be used and incorporated into the revised system design. The use of lower water use spray nozzles is strongly encouraged in all spray zones (i.e: MP Rotators).
- All turf, seeded and drip areas should be zoned SEPARATELY.
- All seeded areas are to be irrigated with permanent in-ground spray irrigation. These areas should be zoned separately as noted above. Irrigation in seeded areas should be used primarily for establishment purposes only. Once seeded areas have been established irrigation zones should not be part of regular watering schedule.



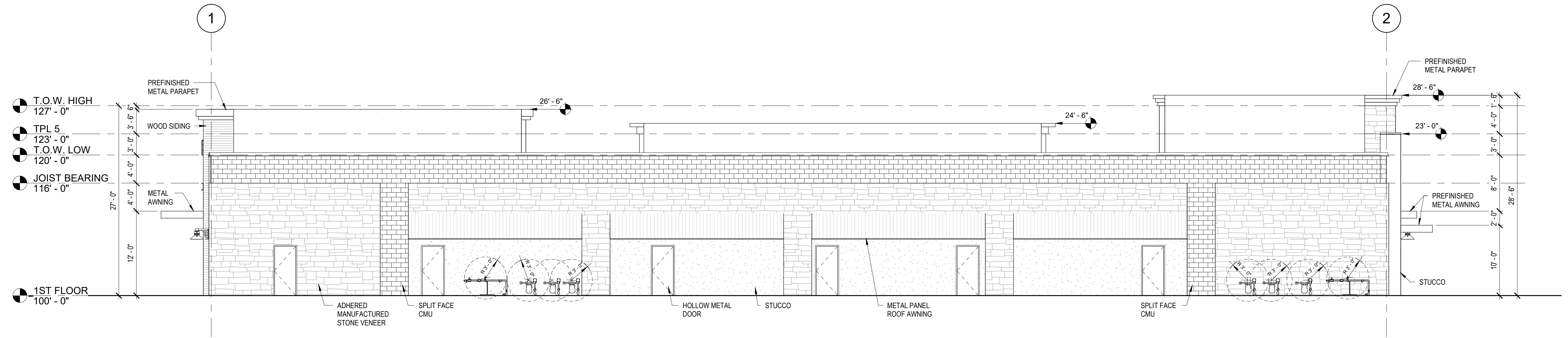
**YOW ARCHITECTS PC**  
ARCHITECTURE & PLANNING  
Colorado Springs, Colorado 475-8133

Structural:  
Electrical:  
Mechanical:  
Plumbing:

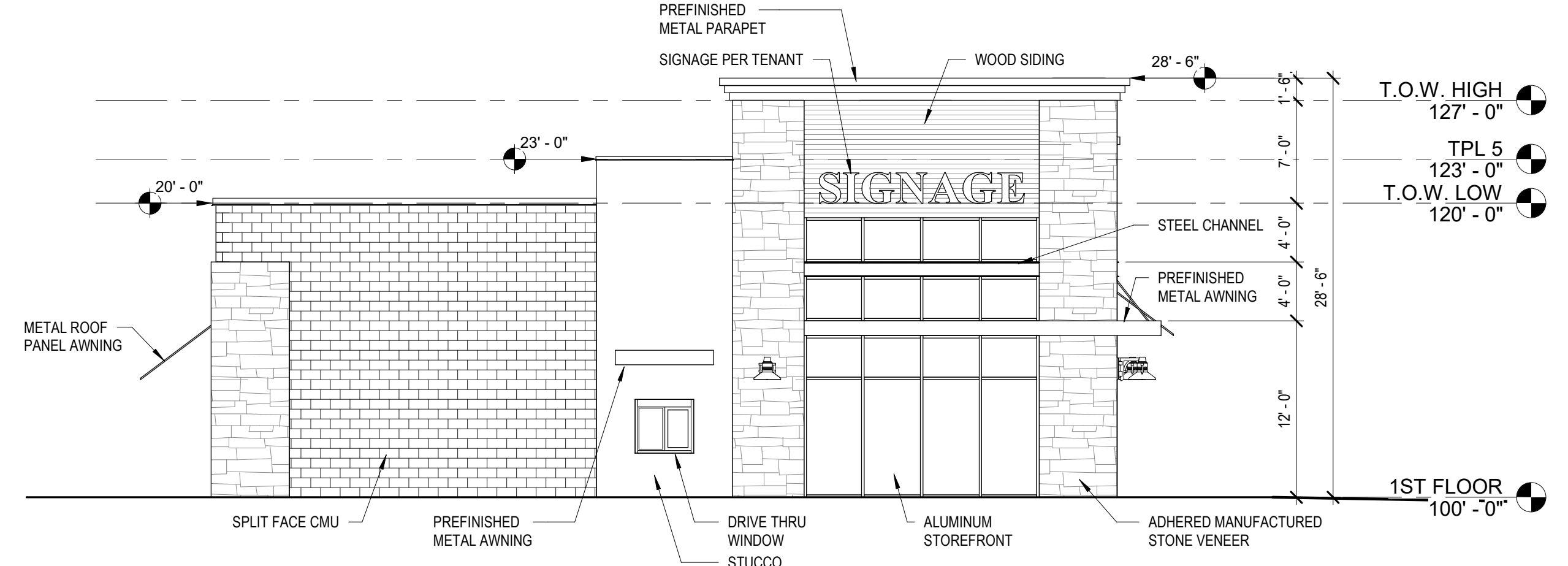
**Lots 1 and 2 Shiloh Mesa South Retail**  
Woodmen Road  
Colorado Springs, Colorado 80923

File No: 20-002  
Directory: Landscape  
File: Development Plan 4-26-2022  
Drawn By: CDB  
Date: 4-28-2022  
Revised:

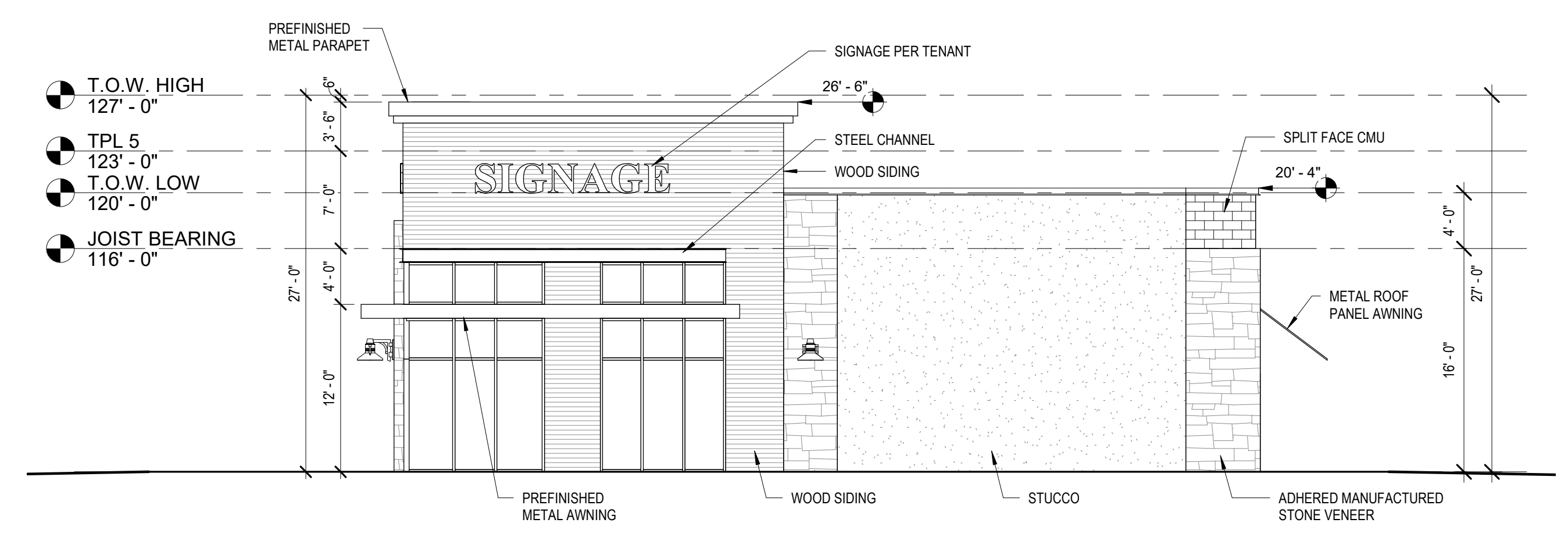
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**6 of 8**  
LANDSCAPE DETAILS



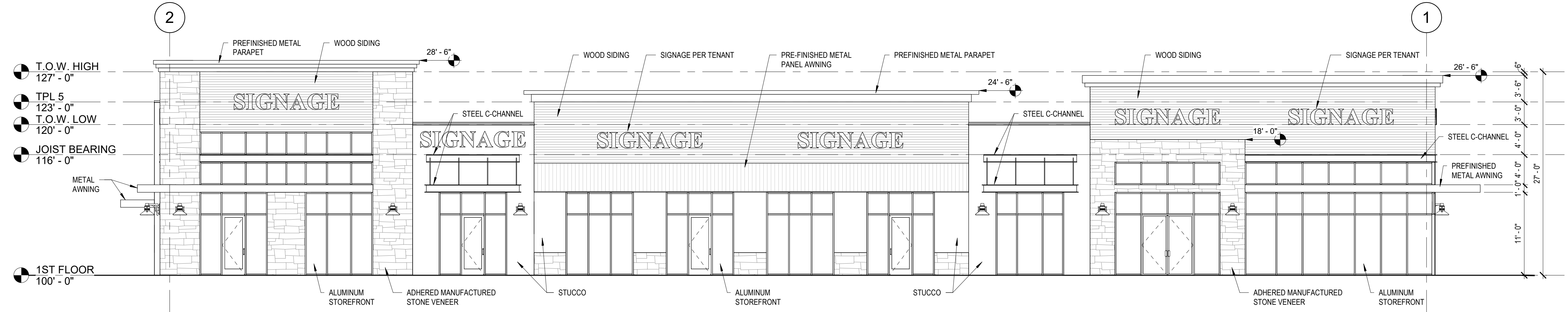
4 WEST ELEVATION  
1/8" = 1'-0"



3 SOUTH ELEVATION  
1/8" = 1'-0"

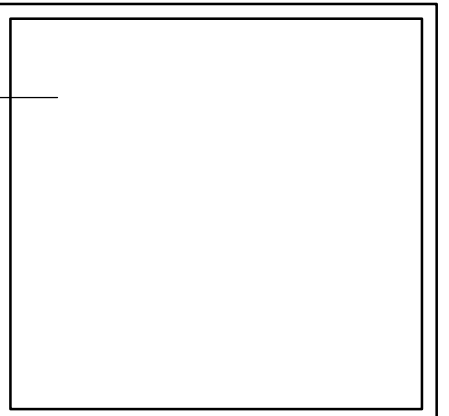


2 NORTH ELEVATION  
1/8" = 1'-0"



1 EAST ELEVATION  
1/8" = 1'-0"

OWNER INFO  
 company name Marksheffel Development LLC  
 address 12325 Oracle Boulevard Suite 120  
 city/state Colorado Springs, CO 80921  
 phone no



city file no: AR PUD 22-007???

YOW ARCHITECTS PC

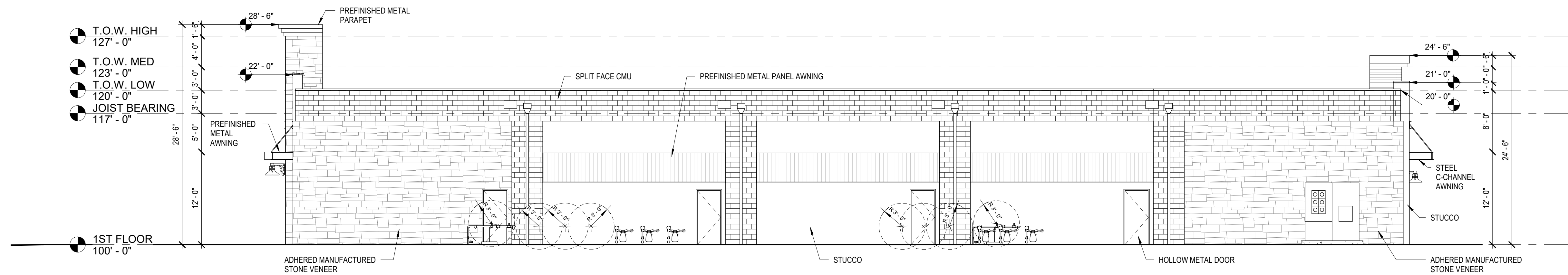
ARCHITECTURE & PLANNING  
 115 S. Weber Colorado Springs, Colorado 475-8133

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 Plumbing: ---

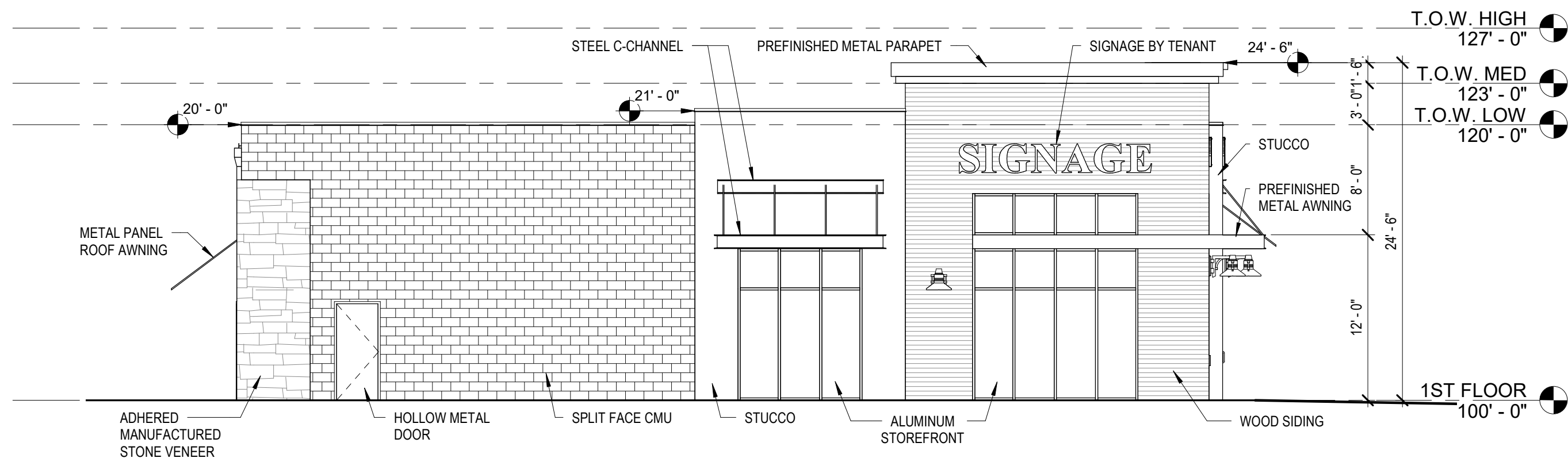
SHILO MESA RETAIL 2  
 CARMELA GROVE  
 Colorado Springs, Colorado 80923

Job No: 22117  
 Directory: PLANNING  
 File: DEVELOPMENT PLAN  
 Drawn By: KRM  
 Date: 04.28.2022  
 Revised: XX.XXXX  
 Revised: XX.XXXX

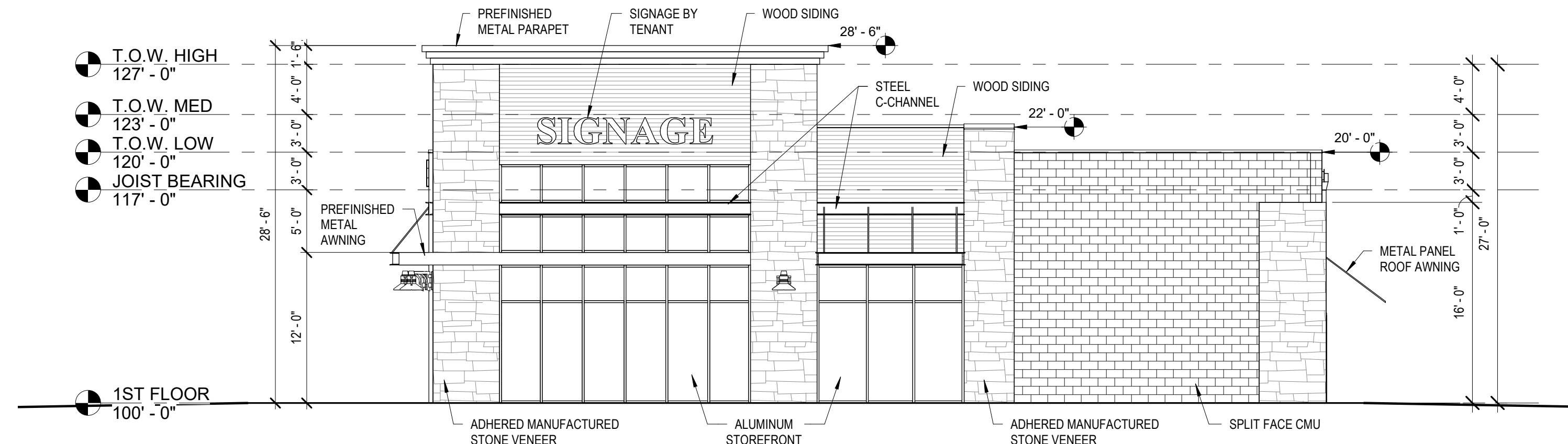
DRAWING NO.  
 7 of 8  
 Elevations



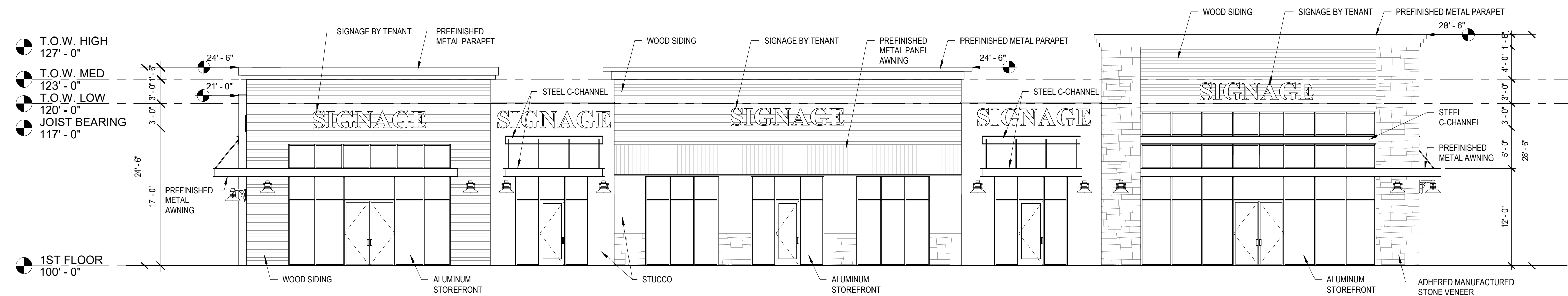
④ WEST ELEVATION  
1/8" = 1'-0"



③ SOUTH ELEVATION  
1/8" = 1'-0"



② NORTH ELEVATION  
1/8" = 1'-0"



① EAST ELEVATION  
1/8" = 1'-0"

YOW ARCHITECTS PC

ARCHITECTURE & PLANNING  
115 S. Weber Colorado Springs, Colorado 475-8133

Structural: ---  
Electrical: ---  
Mechanical: ---  
Plumbing: ---

SHILO MESA RETAIL 3

CARMELA GROVE  
Colorado Springs, Colorado 80923

Job No: 22118  
Directory: PLANNING  
File: DEVELOPMENT PLAN  
Drawn By: KM  
Date: 04/28/2022  
Revised: X.X.XXXX  
Revised: X.X.XXXX

DRAWING NO.

7 of 8  
Elevations

OWNER INFO  
company name: Marksheffel Development LLC  
address: 12325 Oracle Boulevard Suite 120  
city/state: Colorado Springs, CO 80921  
phone no: ---

city file no: AR PUD 22-00???