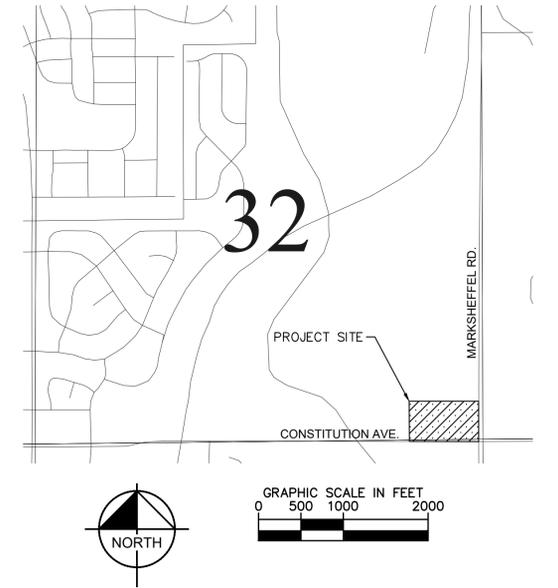


WATERMARK AT AKERS SITE DEVELOPMENT PLAN

TRACT DD, HANNAH RIDGE AT FEATHERGRASS FILING NO. 1, AS AMENDED

SECTION 32, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M., CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



STANDARD NOTES:

1. ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE EL PASO COUNTY. EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2 AND THE EL PASO ENGINEERING MANUAL.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION.
3. CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES. INCLUDING THE FOLLOWING:
 - a. EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM).
 - b. EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
 - c. COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
 - d. CDOT M&S STANDARDS
4. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROAD, STORM DRAINAGE, AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL VOLUME 1 AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED AND APPROVED IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPERS RESPONSIBILITY TO RECTIFY.
5. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPERS RESPONSIBILITY TO RECTIFY.
6. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEET WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT (PCD)- INSPECTIONS PRIOR TO STARTING CONSTRUCTION.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL APPLICABLE JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOORPLAN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS- ISSUED 401 AND/ OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS
8. CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
9. ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
10. CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAYMENT DESIGN SHALL BE APPROVED BY CURB AND GUTTER AND PAVEMENT.
11. ALL CONSTRUCTION TRAFFIC MUST EN ACCESS POINTS.
12. SIGHT VISIBILITY TRIANGLES AS IDENTIF INTERSECTIONS. OBSTRUCTIONS GREATER T ALLOWED WITHIN SITE TRIANGLES.
13. SIGNING AND STRIPING SHALL COMPLY CRITERIA (IF APPLICABLE, ADDITIONAL SIGN
14. CONTRACTOR SHALL OBTAIN ANY PERI INCLUDING WORK WITH THE RIGHT-OF-WAY
15. THE LIMITS OF CONSTRUCTION SHALL I OTHERWISE NOTED. THE OWNER/DEVELOPEK EASEMENTS, WHERE REQUIRED FROM ADJOI, OFF-SITE DISTURBANCE, GRADING, OR CON

SITE DATA	
SITE ACREAGE:	15.392AC±
MASTER PLAN	
CONCEPT PLAN	FEATHERGRASS FILING NO. 1
ADDRESS	
TOTAL LOTS	1
ZONED GROSS DENSITY	30 DU/AC
PROPOSED GROSS DENSITY	19.5 DU/AC
TOTAL LOT AREA	15.392AC±
TOTAL OPEN SPACE AREA	2.539AC±
TOTAL PRIVATE ROW AREA	4.959AC±
TOTAL BUILDING AREA	2.596AC±
EXISTING ZONING	CS CAD-0
PROPOSED ZONING	RM-30 CAD-0
TAX SCHEDULE NUMBER	5332404001
DEVELOPMENT SCHEDULE	SUMMER/FALL 2021
DRAINAGE BASIN	SAND CREEK
MAX BUILDING HEIGHT	40'-0"
PROPOSED BUILDING HEIGHT	40'-0"

LANDSCAPING:

1. No landscaping shall obstruct sight distance triangles per Engineering Criteria Manual Reference 2.3.6.G. The minimum horizontal clearance for sidewalks around utility structures, furniture, and other encroachments shall be 4 feet or greater to provide safe conditions for pedestrians and bicyclists per the Engineering Criteria Manual.

ACCESSORY STRUCTURES:

No private accessory structures shall be permitted, including, but not limited to decks, gazebos, saunas, or other accessory structures associated with an individual unit, regardless of size or placement. Placement of accessory structures within this development are to be built and maintained by property management.

Noise study anticipated noise levels exceed max. allowed for land use; please incorporate sound mitigation techniques to meet standards. Also, note that the noise study shows a different proposed site layout, so the noise levels are likely inaccurate. Please revise for accuracy with Plan.

Also, please note that the Plan provides for an excess of parking (in addition to the over calculation for 2 bedroom units per below comment on parking table). Providing sufficient parking is important, however developments with excessive parking areas can cause negative impacts with regard to safety, drainage, urban heat island effect, etc. Please consider minimizing the excessive parking proposed and instead increasing the buffer areas or redesigning the site layout to minimize the traffic noise levels for the far southeastern buildings which are expected to exceed the allowed noise levels per the noise study.

(E) Noise. Noise producing activity is regulated by Ordinance 02-1, Ordinance Concerning Noise Level in Unincorporated El Paso County. Uses and activities shall be conducted in conformance with Ordinance 02-1 including, but not limited to, the following standards.

(1) Maximum Permissible Noise Levels. Sound levels shall be measured in dBA as provided for in Section 6 of Ordinance 02-1. During the time periods indicated in Table 6-7, the sound levels allowed by Ordinance 02-1 shall be observed.

Table 6-7. Maximum Noise Standards by Land Use Type

Land Use	Maximum Noise (dBA) 7:00 A.M. - 7:00 P.M.	Maximum Noise (dBA) 7:00 P.M. - Next 7:00 A.M.
Residential or Commercial Area	55	50
Industrial areas or Construction Activities ¹	60	75
Non-specified Areas	55	50

¹ Construction activities are subject to the sound level allowed for industrial areas during construction conducted pursuant to a valid building or construction. At other times, construction activities are subject to the sound level specified.

NOTES:

1. FEDERAL EMERGENCY MANAGEMENT AGEN 08041C0756G, EFFECTIVE DATE DECEMBER OF MINIMAL FLOOD HAZARD).
2. SEE ARCHITECTURAL SHEET(S) FOR BUIL
3. THE PARTIES RESPONSIBLE FOR THIS PL CURRENT ACCESSIBILITY CRITERIA AND S SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.
4. SPEED BUMPS SHALL BE PROVIDED APPROXIMATELY EVERY 200--FEET FOR STRAIGHT DRIVE LANES ON THE PROPERTY.
5. TYPICAL: ASPHALT 24' DRIVE AISLES AND PARKING, UNLESS OTHERWISE NOTED.
6. TYPICAL: 6' CONCRETE ATTACHED SIDEWALKS, UNLESS OTHERWISE NOTED.

certification

The aforementioned Lorson LLC as Nominee has executed these presents this _____ day of _____ 20____ A.D. Lorson LLC as Nominee for Heidi LLC, a Colorado Limited Liability Company

_____, Manager

ADO }
SS.

foregoing statement was acknowledged before me this _____ day of _____ 20____ A.D. by

and SEAL: _____

expires: _____

Clerk and Recorder Certification

STATE OF COLORADO)
)
)SS.
EL PASO COUNTY)

I hereby certify that this Plan was filed in my office on this _____ of _____ 20____ at _____ o'clock a.m./p.m. and was recorded per

Reception No. _____

El Paso County Clerk and Recorder

County Certification

This rezoning request to PUD has been reviewed and found to be complete and in accordance with the (Board resolution or motion # _____ and date _____) approving the PUD and all applicable El Paso County regulations.

_____, Chair, Board of County Commissioners Date _____

_____, Director, Planning and Community Development Date _____

CONTACTS:

OWNER:
THOMPSON THRIFT DEVELOPMENT, INC.
111 MONUMENT CIRCLE, SUITE 1500
INDIANAPOLIS, IN 46204
TEL: (719) 495-3693
CONTACT: MONICA UNGER

ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
2 NEVADA NORTH AVE., SUITE 300
COLORADO SPRINGS, CO 80903
TEL: (719) 453-0182
CONTACT: ERIC GUNDERSON, P.E.

EL PASO COUNTY:
EL PASO COUNTY
PCD DEPARTMENT
2880 INTERNATIONAL CIRCLE, SUITE 110
COLORADO SPRINGS, CO 80910
PHONE: (719) 520-6300

SURVEYOR:
BARRON LAND, LLC
2790 N. ACADEMY BLVD, SUITE 311
COLORADO SPRINGS, CO 80917
TEL: (719) 360-6827
CONTACT: SPENCER BARRON, PLS

Sheet List Table	
DEVELOPMENT PLAN	
Sheet Number	Sheet Title
1	COVER SHEET
2	SITE PLAN
3	UTILITY PLAN
4	GRADING PLAN
5	LANDSCAPE PLAN (1 OF 4)
6	LANDSCAPE PLAN (2 OF 4)
7	LANDSCAPE PLAN (3 OF 4)
8	LANDSCAPE PLAN (4 OF 4)
9	LANDSCAPE NOTES
10	LANDSCAPE DETAILS
11	PHOTOMETRIC PLAN AND DETAILS
-	ARCHITECTURAL ELEVATIONS (8 SHEETS)

PCD File No. PPR217 ; please add throughout plan set.



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**COVER SHEET
SHEET 1 OF 11**

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WATERMARK AT AKERS SITE DEVELOPMENT PLAN

DD, HANNAH RIDGE AT FEATHERGRASS FILING NO. 1, AS AMENDED
 TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M., CITY OF COLORADO SPRINGS
 COUNTY OF EL PASO, STATE OF COLORADO

LEGEND

- PROPERTY LINE
- LANDSCAPE AREA (REF: LANDSCAPE PLAN)
- ASPHALT SURFACE (TYPICAL)
- CONCRETE SIDEWALK (TYPICAL)
- RETAINING WALL
- PEDESTRIAN RAMP
- CURB AND GUTTER (TYPE A)
- CURB AND GUTTER (TYPE C)
- DETENTION POND
- DOG STATION
- BENCH

Please add bicycle parking. Per Chapter 6 LDC parking standards

- (F) **Bicycle Facilities.**
 Commercial, industrial, and multi-family residential uses shall provide bicycle facilities to meet the following standards:
- Bicycle Parking.**
 The minimum number of bicycle parking spaces shall equal 5% of the number of required parking spaces. At least 1 bicycle parking space shall be provided.
 - Location.**
 For convenience and security, bicycle parking facilities shall: (1) be located near building entrances, (2) be visible from the land uses they serve and (3) not be located in remote automobile parking areas. Bicycle parking facilities shall not be located to impede pedestrian or automobile traffic flow nor cause damage to plant material from bicycle traffic.
 - Design.**
 Bicycle parking facilities shall be provided with bicycle racks and be designed to allow the bicycle to be securely locked to the bicycle rack. The bicycle rack shall be of permanent construction such as heavy gauge tubular steel with angle bars permanently attached to the pavement. Bicycle parking facilities shall be at least 2 feet in width and 5 1/2 feet in length, with additional back-out or maneuvering space of at least 5 feet.

Dimensions of buildings, pool/community areas, dog park area and open spaces?
 As well as additional information for dog park such as access points?

Please show trash enclosure detail. Please ensure trash enclosure meets enclosure screening standards in LDC Ch 6.

TRACT A
 HANNAH RIDGE AT
 FEATHERGRASS FILING
 NO. 1
 OWNER: FEATHERGRASS
 INVESTMENTS LLC
 ZONED: PUB CAD-O
 LAND USE/RESIDENTIAL
 TRACT
 TSN: 5332402032

LOT 8
 AKER'S ACRES SUBDIVISION NO. 1
 (PLAT NO. 2510)
 OWNER: KINGSTROM GROUP LLC
 ZONED: M CAD-O/LAND USE: COMMERCIAL
 2675 AKERS DRIVE
 TSN: 5332002014

label crossspan reconstruction

label C&G to be removed

Show pedestrian ramps

APARTMENT "A" TYPE	
1 BED, 1 BATH UNIT	24
2 BED, 2 BATH UNIT	12
TOTAL UNITS	36
TOTAL BEDROOMS	48

APARTMENT "B" TYPE	
1 BED, 1 BATH UNIT	12
2 BED, 2 BATH UNIT	24
TOTAL UNITS	36
TOTAL BEDROOMS	60

APARTMENT "C" TYPE	
1 BED, 1 BATH UNIT	12
2 BED, 2 BATH UNIT	12
3 BED, 2 BATH UNIT	12
TOTAL UNITS	36
TOTAL BEDROOMS	72

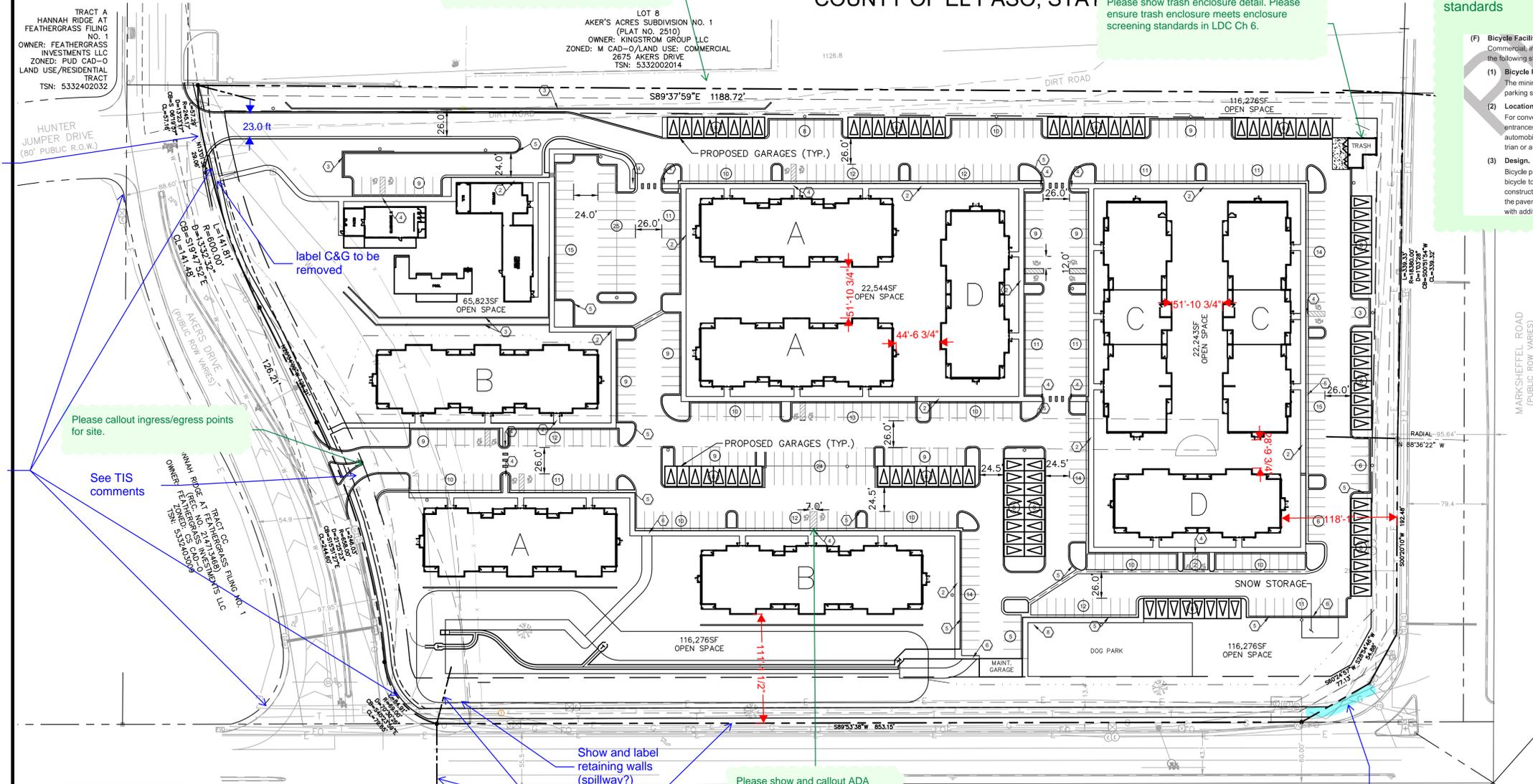
APARTMENT "D" TYPE	
2 BED, 2 BATH UNIT	24
TOTAL UNITS	24
TOTAL BEDROOMS	48

DWELLING UNITS	
U1 = (1BR/1BA)	120
U2 = (2BR/2BA)	156
U3 = (3BR/2BA)	24
TOTAL UNITS	300
TOTAL BEDROOMS	504

PARKING	
U1=120 (120 * 1.5)	180 PARKING SPACES
U2=156 (156 * 1.75)	273 PARKING SPACES
U3=24 (24 * 2.0)	48 PARKING SPACES
TOTAL PARKING REQUIRED	531 PARKING SPACES
OPEN PARKING	452 PARKING SPACES
ENCLOSED PARKING	96 PARKING SPACES
ADA ACCESSIBLE PARKING	20 PARKING SPACES
TOTAL PARKING PROVIDED	568 PARKING SPACES

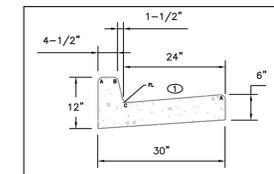
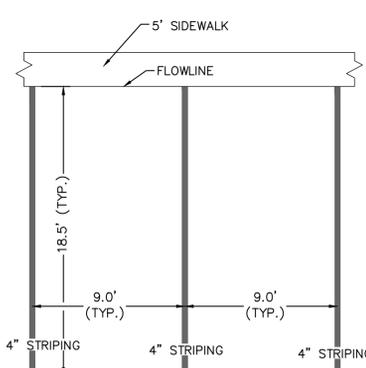
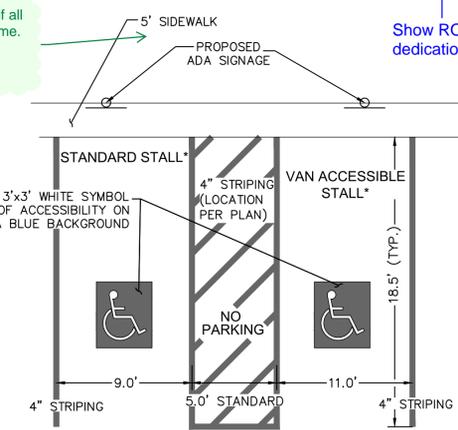
Please note that the requirement for 2 bedroom units is 1.7 spaces per unit. This means 266 spaces are required for the U2 / 2bedroom units, not 273. total parking spaces required is 494. An additional 2%, or 10 spaces, must be ADA.

Residential, Multi-Family	
Studio or Efficiency	1.1 spaces per dwelling unit
1 Bedroom	1.5 spaces per dwelling unit
2 Bedroom	1.7 spaces per dwelling unit
3 Bedroom	2.0 spaces per dwelling unit

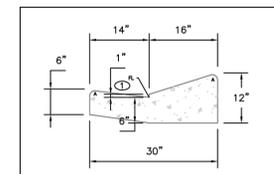


Please callout sidewalk widths on plan, or if all sidewalks are 5' wide, then please note same.

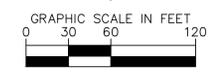
Please show and callout ADA Route throughout site, from parking areas to buildings.



EPC TYPE A CURB AND GUTTER
N.T.S.



EPC TYPE C MOUNTABLE CURB AND GUTTER
N.T.S.



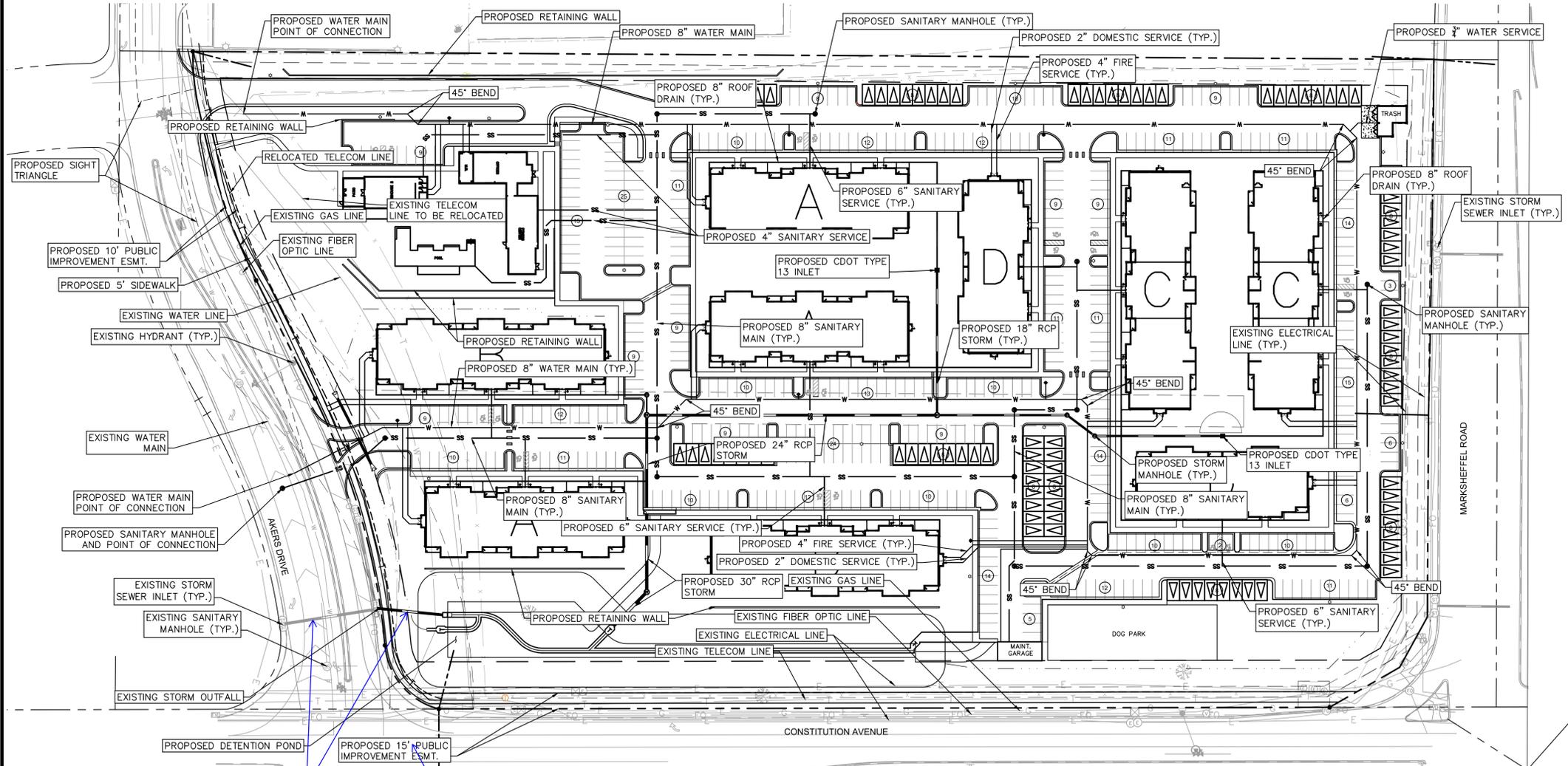
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 COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

SITE PLAN
 SHEET 2 OF 11

WATERMARK AT AKERS SITE DEVELOPMENT PLAN

TRACT DD, HANNAH RIDGE AT FEATHERGRASS FILING NO. 1, AS AMENDED
SECTION 32, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M., CITY OF COLORADO SPRINGS,
COUNTY OF EL PASO, STATE OF COLORADO

LEGEND	
	PROPERTY LINE
	PROPOSED SETBACK
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SANITARY LINE
	PROPOSED SANITARY LINE
	EXISTING STORM LINE
	EXISTING STORM MANHOLE
	EXISTING SANITARY MANHOLE
	PROPOSED SANITARY MANHOLE
	EXISTING FIBER OPTIC LINE
	EXISTING UNDERGROUND TELECOM
	EXISTING UNDERGROUND ELECTRIC

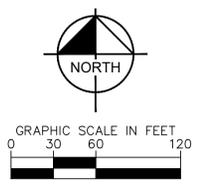


Label pipe sizes
20' ROW dedication?

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UTILITY PLAN
SHEET 3 OF 11

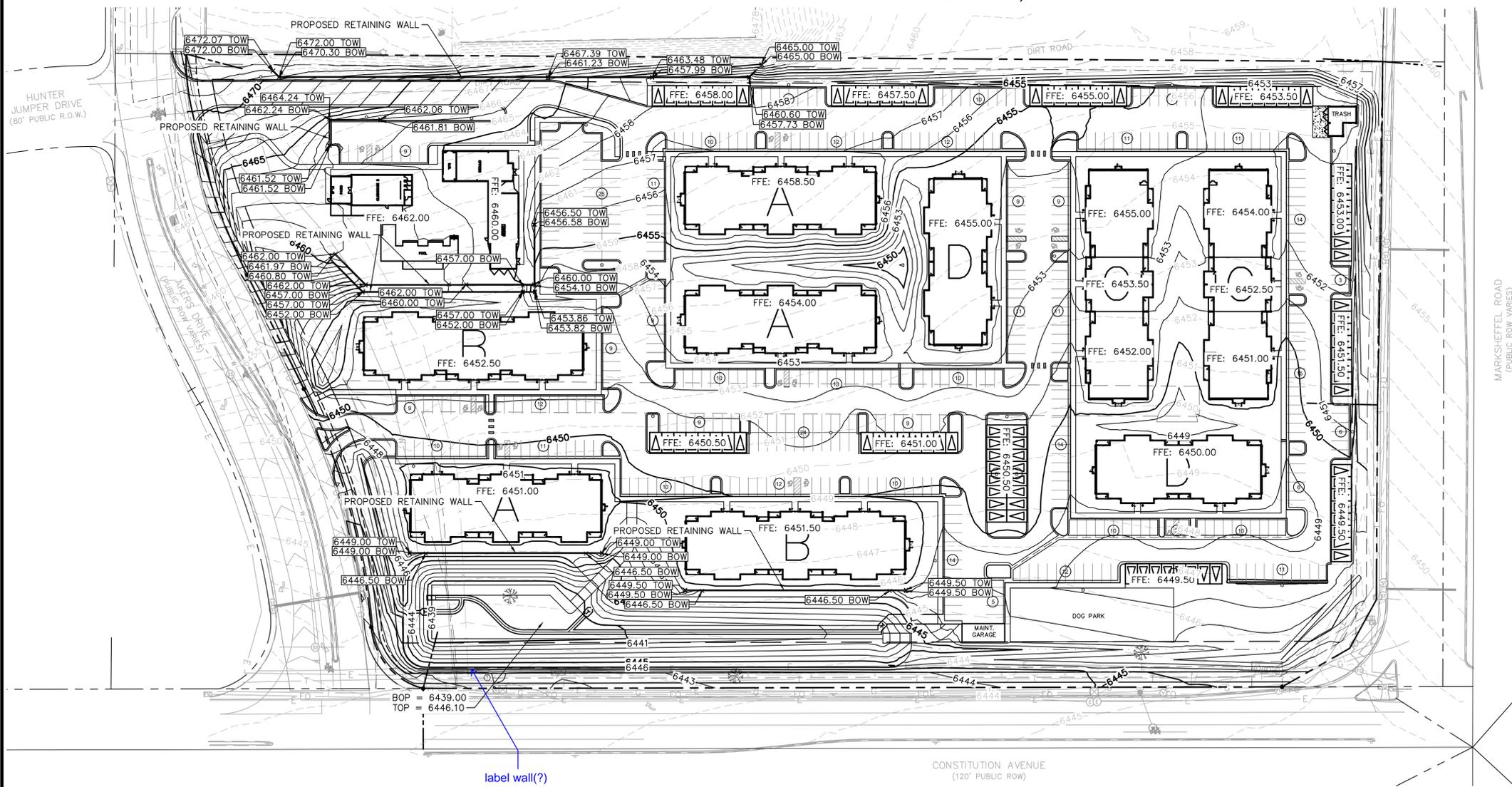
WATERMARK AT AKERS

SITE DEVELOPMENT PLAN

TRACT DD, HANNAH RIDGE AT FEATHERGRASS FILING NO. 1, AS AMENDED
SECTION 32, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M., CITY OF COLORADO SPRINGS,
COUNTY OF EL PASO, STATE OF COLORADO

LEGEND

	PROPERTY LINE
	ACCESSIBLE ROUTE
	GRADE BREAK
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	CONCRETE SIDEWALK
	STANDARD DUTY ASPHALT
	LANDSCAPE AREA (REF: LANDSCAPE PLAN)
	FINISHED GRADE
	MATCH EXISTING
	FLOW LINE
	TOP OF WALL
	BOTTOM OF WALL

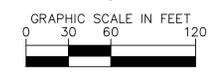


label wall(?)

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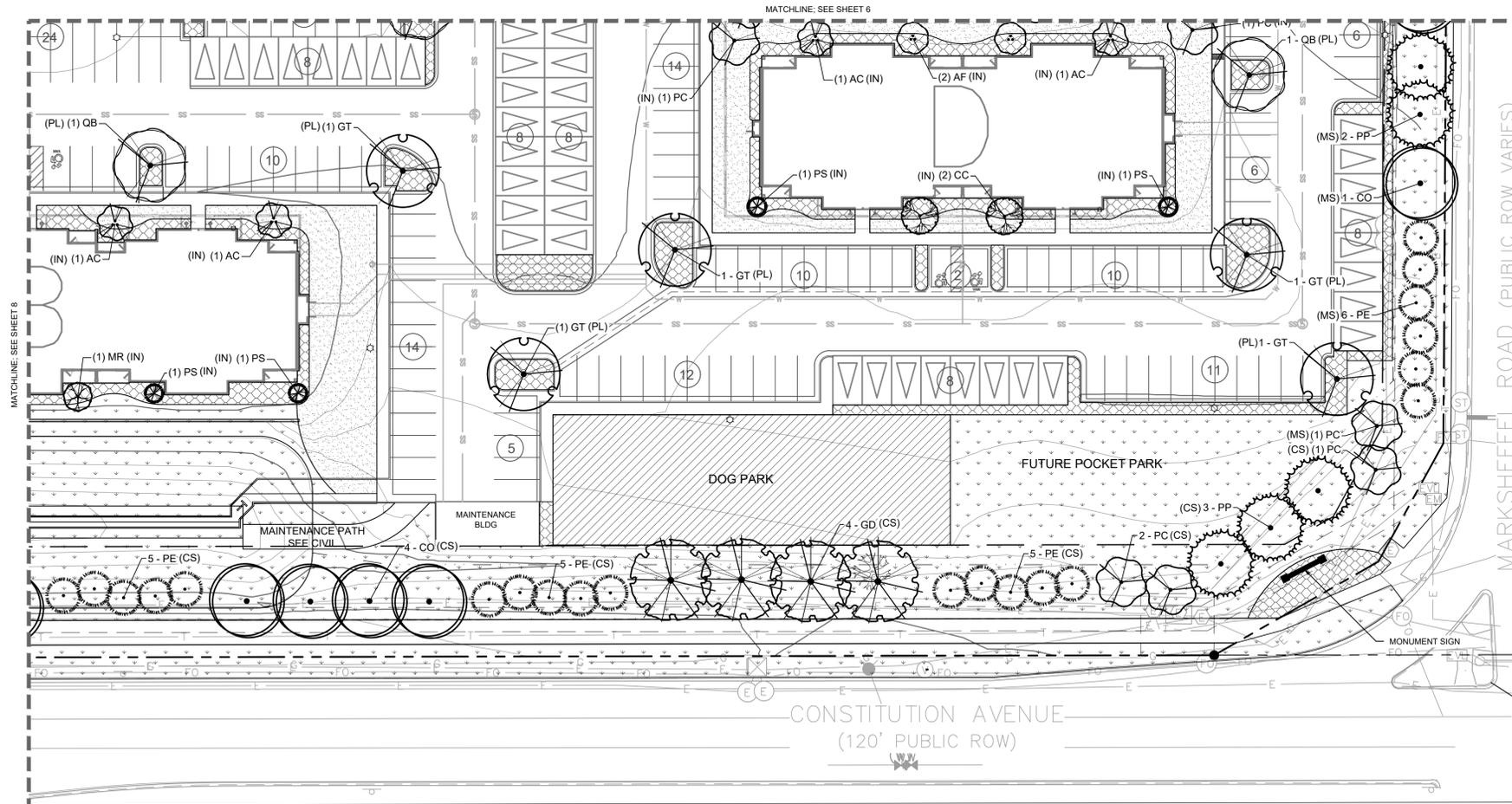


GRADING PLAN
SHEET 4 OF 11

WATERMARK AT AKERS

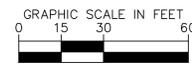
SITE DEVELOPMENT PLAN

TRACT DD, HANNAH RIDGE AT FEATHERGRASS FILING NO. 1, AS AMENDED
SECTION 32, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M., CITY OF COLORADO SPRINGS,
COUNTY OF EL PASO, STATE OF COLORADO



PLANT SCHEDULE

DECIDUOUS TREES		CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE/CAL.	WIDTH	HEIGHT
	AC	32		AMELANCHIER CANADENSIS	SHADBLow SERVICEBERRY MULTITRUNK	B & B	1.5" OA, 3-STEM MIN.	15'-20'	15'-25'
	AF	12		ACER GINNALA 'FLAME'	FLAME AMUR MAPLE	B & B	1.5" OA, 3-STEM MIN.	15'-20'	15'-25'
	CC	10		CRATAEGUS CRUS-GALLI 'INERMIS'	THORNLESS HAWTHORN	B & B	2.5" CAL MIN	20'-30'	20'-30'
	CO	10		CELTIS OCCIDENTALIS 'CHICAGOLAND'	CHICAGOLAND WESTERN HACKBERRY	B & B	2.5" CAL MIN	40'-50'	50'-60'
	GD	10		GYMNOCADUS DIOICA 'ESPRESSO'	KENTUCKY COFFEETREE	B & B	2.5" CAL MIN	40'-50'	50'-60'
	GT	31		GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'™	SHADEMASTER LOCUST	B & B	2.5" CAL MIN	30'-40'	40'-60'
	MR	18		MALUS X 'RED JEWEL'	CRAB APPLE	B & B	2.5" CAL MIN	15'-20'	15'-20'
	PC	56		PYRUS CALLERYANA 'AUTUMN BLAZE'	AUTUMN BLAZE PEAR	B & B	2.5" CAL MIN	20'-30'	25'-35'
	QB	16		QUERCUS BICOLOR	SWAMP WHITE OAK	B & B	2.5" CAL MIN	40'-50'	40'-60'
	PS	22		PINUS LEUCODERMIS 'SATELLIT'	SATELIT BOSNIAN PINE	B & B	6' HGT.	8'-10'	15'-20'
	PE	72		PINUS EDULIS	PINON PINE	B & B	6' HGT.	15'-20'	20'-30'
	PP	26		PINUS PONDEROSA	PONDEROSA PINE	B & B	6' HGT.	30'-40'	60'+
	CS	3							
EVERGREEN TREES		CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE/CAL.	WIDTH	HEIGHT
	PE	72		PINUS EDULIS	PINON PINE	B & B	6' HGT.	15'-20'	20'-30'
	PP	26		PINUS PONDEROSA	PONDEROSA PINE	B & B	6' HGT.	30'-40'	60'+
	PS	22		PINUS LEUCODERMIS 'SATELLIT'	SATELIT BOSNIAN PINE	B & B	6' HGT.	8'-10'	15'-20'
GROUND COVERS		CODE	QTY	BOTANICAL NAME	COMMON NAME	TYPE	INSTALL RATE	WEED FABRIC	MFR.
	ROCK	57,192 SF		1.5" BLACK GRANITE & PLANTINGS SHRUBS, GRASSES AND PERENNIALS IN ROCK MULCH. SUBMIT SAMPLE FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. SHALL BE INSTALLED OVER POROUS WEED BARRIER FABRIC-HOOPLER OR EQUAL		ROCK MULCH	4"	YES	PIONEER SAND
	SEED	123,068 SF		PSSI NATIVE LAWN MIX INSTALL PER DETAIL. 50% BUFFALOGRASS, 50% BLUE GRAMA		SEED			PAWNEE BUTTES SEED INC.
	SOD	101,879 SF		SURVIVALIST TALL FESCUE INSTALL PER DETAIL. 47% GRAND II TALL FESCUE, 47% SR8650 TALL FESCUE, 6% SPITFIRE TEXAS HYBRID		SOD			GREEN BELT TURF FARM



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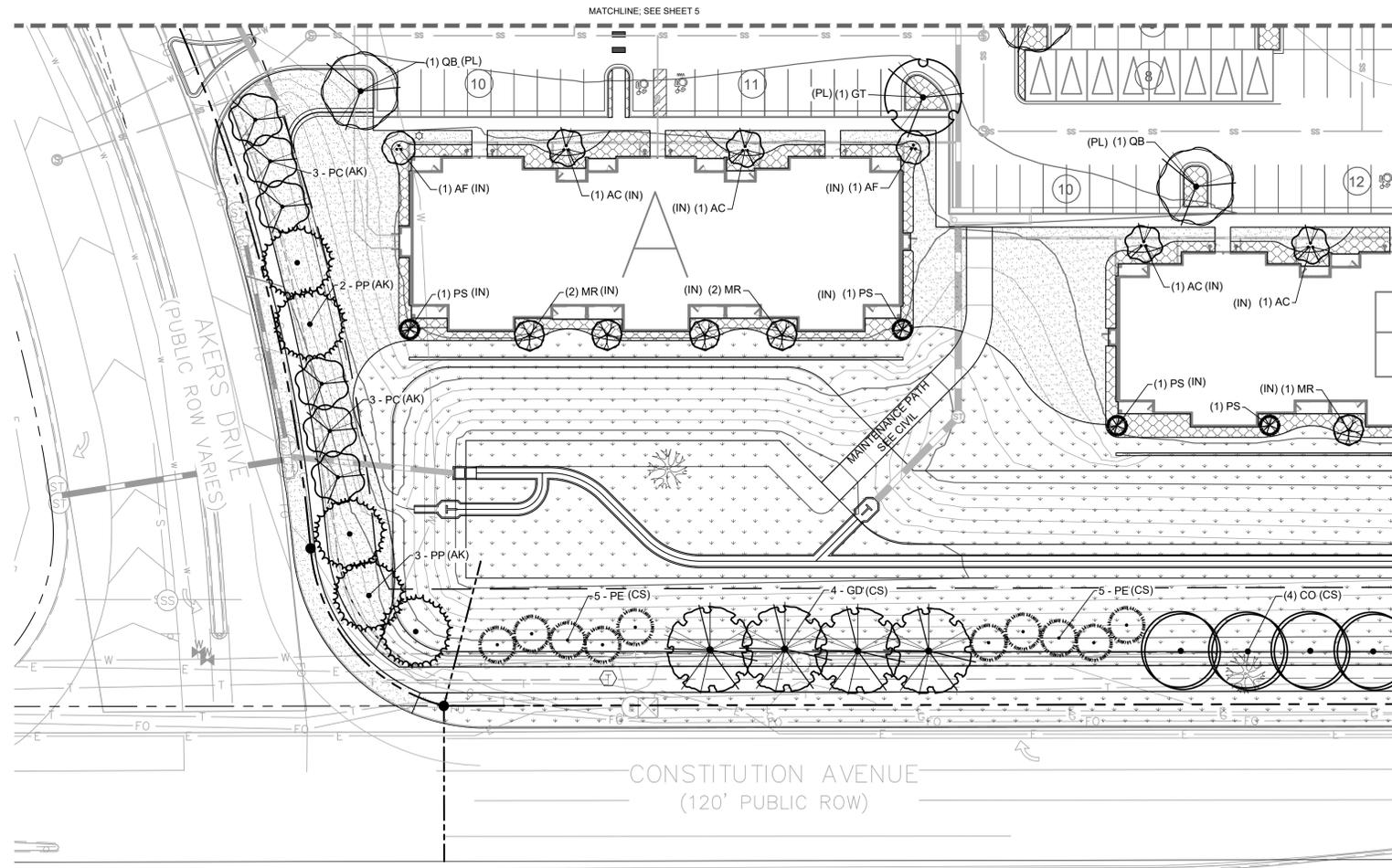
LANDSCAPE PLAN (3 OF 4)
SHEET 7 OF 11

WATERMARK AT AKERS - SITE DEVELOPMENT PLAN - COUNTY FILE NO. XXXXXXXX
PCD FILE NO. XXXXXXXX

WATERMARK AT AKERS

SITE DEVELOPMENT PLAN

TRACT DD, HANNAH RIDGE AT FEATHERGRASS FILING NO. 1, AS AMENDED
SECTION 32, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M., CITY OF COLORADO SPRINGS,
COUNTY OF EL PASO, STATE OF COLORADO



PLANT SCHEDULE

DECIDUOUS TREES		CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE/CAL	WIDTH	HEIGHT
	AC	32		AMELANCHER CANADENSIS	SHADBLOW SERVICEBERRY MULTITRUNK	B & B	1.5" OA, 3-STEM MIN.	15'-20'	15'-25'
	AF	12		ACER GINNALA 'FLAME'	FLAME AMUR MAPLE	B & B	1.5" OA, 3-STEM MIN.	15'-20'	15'-25'
	CC	10		CRATAEGUS CRUS-GALLI 'INERMIS'	THORNLESS HAWTHORN	B & B	2.5" CAL MIN	20'-30'	20'-30'
	CO	10		CELTIS OCCIDENTALIS 'CHICAGOLAND'	CHICAGOLAND WESTERN HACKBERRY	B & B	2.5" CAL MIN	40'-50'	50'-60'
	GD	10		GYMNOCADUS DIOICA 'ESPRESSO'	KENTUCKY COFFEETREE	B & B	2.5" CAL MIN	40'-50'	50'-60'
	GT	31		GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER TM'	SHADEMASTER LOCUST	B & B	2.5" CAL MIN	30'-40'	40'-60'
	MR	18		MALUS X 'RED JEWEL'	CRAB APPLE	B & B	2.5" CAL MIN	15'-20'	15'-20'
	PC	56		PYRUS CALLERYANA 'AUTUMN BLAZE'	AUTUMN BLAZE PEAR	B & B	2.5" CAL MIN	20'-30'	25'-35'
	OB	16		QUERCUS BICOLOR	SWAMP WHITE OAK	B & B	2.5" CAL MIN	40'-50'	40'-60'
EVERGREEN TREES		CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE/CAL	WIDTH	HEIGHT
	PE	72		PINUS EDULIS	PINON PINE	B & B	6' HGT.	15'-20'	20'-30'
	PP	26		PINUS PONDEROSA	PONDEROSA PINE	B & B	6' HGT.	30'-40'	60'+
	PS	22		PINUS LEUCODERMIS 'SATELLIT'	SATELIT BOSNIAN PINE	B & B	6' HGT.	8'-10'	15'-20'
GROUND COVERS		CODE	QTY	BOTANICAL NAME	COMMON NAME	TYPE	INSTALL RATE	WEED FABRIC	MFR.
	ROCK	57,192 SF		1.5" BLACK GRANITE & PLANTINGS SHRUBS, GRASSES AND PERENNIALS IN ROCK MULCH. SUBMIT SAMPLE FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. SHALL BE INSTALLED OVER POROUS WEED BARRIER FABRIC-HOOPLE OR EQUAL.		ROCK MULCH	4"	YES	PIONEER SAND
	SEED	123,068 SF		PSBI NATIVE LAWN MIX. INSTALL PER DETAIL. 50% BUFFALOGRASS, 50% BLUE GRAMA.		SEED			PAWNEE BUTTES SEED INC.
	SOD	101,879 SF		SURVIVALIST TALL FESCUE. INSTALL PER DETAIL. 47% GRAND II TALL FESCUE, 47% SR8650 TALL FESCUE, 6% SPITFIRE TEXAS HYBRID.		SOD			GREEN BELT TURF FARM



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LANDSCAPE PLAN (4 OF 4)
SHEET 8 OF 11

WATERMARK AT AKERS - SITE DEVELOPMENT PLAN - COUNTY FILE NO. XXXXXXXX
PCD FILE NO. XXXXXXXX

WATERMARK AT AKERS SITE DEVELOPMENT PLAN

TRACT DD, HANNAH RIDGE AT FEATHERGRASS FILING NO. 1, AS AMENDED SECTION 32, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M., CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

GENERAL NOTES:

- PRIOR TO BEGINNING ANY WORK ON THE SITE, THE CONTRACTOR SHALL CONTACT THE OFFICE OF THE OWNER'S REPRESENTATIVE FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.
- READ THOROUGHLY AND BECOME FAMILIAR WITH THE DRAWINGS, NOTATIONS, DETAILS AND SPECIFICATIONS FOR THIS AND RELATED WORK PRIOR TO CONSTRUCTION.
- LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICES NECESSARY TO FURNISH AND INSTALL LANDSCAPE ELEMENTS AND PLANTINGS AS SPECIFIED HEREIN AND AS SHOWN ON THESE PLANS.
- REPORT ANY DISCREPANCIES IN THE LANDSCAPE PLANS IMMEDIATELY TO THE OWNER/ OWNER'S REPRESENTATIVE.
- NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT LANDSCAPE ARCHITECT'S APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REVISE PLANT LIST AS DEEMED NECESSARY.
- ALL PLANT LOCATIONS ARE APPROXIMATE, ADJUST AS NECESSARY TO AVOID CONFLICTS.
- QUANTITIES OF MATERIALS SHOWN ON THE PLANTING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT MATERIAL SCHEDULE. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES ON THE PLANTING PLAN.
- CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE WORK. UTILITIES HAVE BEEN SHOWN ON PLAN FOR ROUGH LOCATION OF SERVICES. LOCATE EXACT UTILITY LOCATIONS BY CONTACTING "CALL BEFORE YOU DIG" AT (800) 922-1987 OR 811. CONTRACTOR WILL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE HE MAY CAUSE TO UTILITIES.
- REMOVE ALL RUBBISH, EQUIPMENT AND MATERIAL AND LEAVE THE AREA IN A NEAT, CLEAN CONDITION EACH DAY. MAINTAIN PAVED AREAS UTILIZED FOR HAULING EQUIPMENT AND MATERIALS BY OTHER TRADES IN A CLEAN AND UNOBSTRUCTED CONDITION AT ALL TIMES.
- STORAGE OF ANY MATERIALS, BUILDINGS, VEHICLES OR EQUIPMENT, FENCING AND WARNING SIGNS SHALL BE MAINTAINED THROUGHOUT THE SITE WORK AND CONSTRUCTION PERIODS BY THE CONTRACTOR.

SHRUB/ TREE PLANTING NOTES:

- ALL TREE AND SHRUB LOCATIONS ARE APPROXIMATE, ADJUST AS NECESSARY TO AVOID CONFLICTS. PLANTING LOCATIONS OF SHRUBS, GRASSES, AND PERENNIALS AS SPECIFIED. OBTAIN OWNER'S REPRESENTATIVE'S APPROVAL OF LOCATIONS PRIOR TO PLANTING TREES AND SHRUBS.
- ALL PLANT MATERIAL SHALL BE WELL-FORMED AND DEVELOPED IN GOOD CONDITION, HEALTHY AND DISEASE-FREE, AND BE TYPICAL OF THE SPECIES. PLANTS SHALL COMPLY IN ALL APPLICABLE RESPECTS WITH ACCEPTABLE STANDARDS AS SET FORTH IN THE COLORADO NURSERY ACT OF 1965 - TITLE 35, ARTICLE 25, CRS 1974 (SEE LANDSCAPE THE NURSERY ACT).
- OWNER AND OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT AT ANY TIME OR PLACE PRIOR TO FINAL ACCEPTANCE OF WORK, ANY AND ALL PLANTS WHICH, IN THEIR OPINION, FAIL TO MEET THE REQUIREMENTS OF THE SPECIFICATIONS.
- AT THE COMPLETION OF PLANTING OPERATIONS ALL PLANTS SHALL BE INSPECTED BY THE OWNER AND OWNER'S REPRESENTATIVE. CONTRACTOR SHALL REPLACE IMMEDIATELY ANY PLANTS NOT IN HEALTHY AND VIGOROUS CONDITION AT THAT TIME AT NO EXPENSE TO THE OWNER. ANY PLANT NOT IN HEALTHY CONDITION DURING THE WARRANTY PERIOD SHALL BE REPLACED AS PER THE ORIGINAL SPECIFICATIONS, AT NO CHARGE TO THE OWNER.
- PLANTS ARE TO BE SELECTED AND SIZED AS SHOWN ON THE PLANT SCHEDULE.
- PLANTING BEDS RECEIVING MULCH ARE TO BE FREE OF WEEDS AND GRASS. TREAT BEDS WITH A PRE-EMERGENT HERBICIDE PRIOR TO PLANTING AND MULCH PLACEMENT. APPLY IN ACCORDANCE WITH STANDARD TRADE PRACTICE. DO NOT APPLY HERBICIDE IN PERENNIAL BEDS.
- POROUS WEED BARRIER FABRIC, AS NOTED IN THE SPECIFICATIONS, SHALL BE INSTALLED WHERE NOTED IN THE DETAILS.
- IF CONDITIONS WHICH ARE UNFAVORABLE TO PLANT GROWTH ARE ENCOUNTERED, NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY. DO NOT CONTINUE TO PLANT UNTIL RESOLVED.
- PLANT GROUND COVER WITHIN ONE FOOT (1') OF TRUNK OF TREES OR SHRUBS PLANTED WITHIN AREA. PLANTING ARRANGEMENT SHALL BE PER DRAWINGS, WITH PROPER ON-CENTER SPACING BETWEEN PLANTS.
- USE TRIANGULAR SPACING IN ALL GROUND COVER AND PERENNIAL BEDS.
- ALL PLANT MATERIALS SHALL HAVE BACKFILL CAREFULLY PLACED AROUND BASE AND SIDES OF BALL TO TWO-THIRDS (2/3) DEPTH OF BALL, THEN THOROUGHLY SOAKED WITH WATER TO ALLOW SETTLEMENT. ALL WIRE, BURLAP FASTENERS AND LOOSE BURLAP AROUND BASE OF TRUNK SHALL BE REMOVED AT THIS TIME. REMAINDER OF PIT SHALL THEN BE BACKFILLED, ALLOWING FOR DEPTH OF MULCH, SAUCER AND SETTLEMENT OF BACKFILL. BACKFILL SHALL THEN BE THOROUGHLY WATERED AGAIN.
- LANDSCAPE CONTRACTOR TO REMOVE TREE STAKES, TREE WRAP, AND ALL DEAD WOOD ON TREES AND SHRUBS ONE YEAR AFTER PROVISIONAL ACCEPTANCE.
- ALL WORK ON TREES TO REMAIN, INCLUDING CROWN AND ROOT PRUNING SHALL BE PERFORMED BY A TREE SERVICE LICENSED BY THE CITY FORESTER.
- THE CONTRACTOR SHALL PROVIDE ALL WATER, WATERING DEVICES AND LABOR NEEDED TO IRRIGATE PLANT MATERIALS UNTIL AUTOMATIC IRRIGATION SYSTEMS ARE OPERATIONAL AND ACCEPTED. THE CONTRACTOR SHALL SUPPLY ENOUGH WATER TO MAINTAIN THE PLANT'S HEALTHY CONDITION BASED ON SEASONAL CONSIDERATIONS.
- ALL PLANT MATERIALS SHALL BE PROTECTED FROM THE DRYING ACTION OF THE SUN AND WIND AFTER BEING DUG, WHILE BEING TRANSPORTED, AND WHILE AWAITING PLANTING. BALLS OF PLANTS THAT CANNOT BE PLANTED IMMEDIATELY SHALL BE PROTECTED FROM DRYING ACTION BY COVERING THEM WITH MOIST MULCH. PERIODICALLY, APPLY WATER TO MULCH-COVERED BALLS TO KEEP MOIST. IF PLANTING SHOULD OCCUR DURING GROWING SEASON, APPLY ANTI-DESSICANT TO LEAVES BEFORE TRANSPORT TO REDUCE LIKELIHOOD OF WINDBURN. REAPPLY ANTI-DESSICANT AFTER PLANTING TO REDUCE TRANSPIRATION.
- AFTER PLANTING IS COMPLETED, REPAIR INJURIES TO ALL PLANTS AS REQUIRED. LIMIT AMOUNT OF PRUNING TO A MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES. PRUNE IN SUCH A MANNER AS NOT TO CHANGE NATURAL HABIT OR SHAPE OF PLANT. CENTRAL LEADERS SHALL NOT BE REMOVED.
- AT THE COMPLETION OF PLANTING OPERATIONS ALL PLANTS SHALL BE INSPECTED BY THE OWNER AND OWNER'S REPRESENTATIVE. CONTRACTOR SHALL REPLACE IMMEDIATELY ANY PLANTS NOT IN HEALTHY AND VIGOROUS CONDITION AT THAT TIME AT NO EXPENSE TO THE OWNER. ANY PLANT NOT IN HEALTHY CONDITION DURING THE WARRANTY PERIOD SHALL BE REPLACED AS PER THE ORIGINAL SPECIFICATIONS, AT NO CHARGE TO THE OWNER.

SODDING & SEEDING:

- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EXISTING EROSION CONTROL MEASURES DURING THE DURATION OF WORK ON-SITE.
- ALL PROPOSED TURF AND PLANTING AREAS ARE TO BE ROTO-TILLED TO A DEPTH OF 8". FINE GRADE, AND REMOVE ALL CONSTRUCTION DEBRIS AND ROCKS OVER 1" IN DIAMETER FROM THE SITE.
- AFTER TILLING APPLY SOIL AMENDMENTS & FERTILIZERS TO ALL TURF AND PLANTINGS AREAS AS SPECIFIED IN A SOIL ANALYSIS.
- GENERAL CONTRACTOR SHALL PROVIDE 4" OF TOPSOIL AT ALL SOD AND PLANTING AREAS. GRADE SHALL BE ADJUSTED FOR SOD THICKNESS. ALL FINISH GRADING SHALL BE PERFORMED BY LANDSCAPE CONTRACTOR.
- FINE GRADE SOD AREAS TO ELIMINATE IRREGULARITIES ON THE SURFACE. ROLL OR PERFORM ADDITIONAL FINE GRADING.
- ALL AREAS TO BE SEEDED SHALL BE TILLED AS SPECIFIED AND THEN HARROWED, RAKED OR ROLLED TO PRODUCE A FIRM SEED BED FOR PLANTING. IMPORTED TOPSOIL MAY BE REQUIRED TO PROVIDE AN ACCEPTABLE PLANTING MEDIUM. LARGE ROCKS (1 INCH DIAMETER) AND DEBRIS THAT MAY IMPED SEEDING SHALL BE CLEARED FROM THE SITE. ANY REQUIRED EROSION CONTROL FEATURES (E.G., WATER BARS, BERMS, BASINS, TURNOUTS) SHALL BE CONSTRUCTED PRIOR TO SEEDING. SITES THAT ARE NOT ADEQUATELY PREPARED PRIOR TO SEEDING (E.G., COMPACTED SOIL, INSUFFICIENT TOPSOIL, ROCKY, ERODED SURFACE, ETC.) SHALL BE REJECTED.
- ALL SPECIFIED SEED MIXES SHALL CONSIST OF CERTIFIED SEED VARIETIES THAT ARE FREE OF NOXIOUS WEEDS AND HAVE BEEN TESTED FOR PURITY AND GERMINATION WITHIN SIX MONTHS OF THE PLANTING DATE. CERTIFICATION LABELS WHICH INDICATE THE SPECIES, PURITY, GERMINATION, WEED CONTENT, ORIGIN, AND TEST DATE SHALL BE SUBMITTED FOR ALL SEED MATERIALS.
- SEEDING SHALL OCCUR DEPENDING ON THE PROJECT SCHEDULE. IT IS PREFERABLE THAT SEEDING OCCUR DURING THE FALL (SEPTEMBER-NOVEMBER) OR SPRING (MARCH-MAY) TO MAXIMIZE PLANTING SUCCESS. IF THE PROJECT SCHEDULE DOES NOT COINCIDE WITH THE PREFERRED SEEDING PERIODS, OR THERE ARE UNSUITABLE SITE CONDITIONS (I.E. FROZEN GROUND), THEN SOIL STABILIZATION AND/OR STORM WATER BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED TO STABILIZE THE AREA UNTIL THE NEXT APPROPRIATE SEEDING DATE.
- ANY SEEDING CONDUCTED OUTSIDE THE PREFERRED MONTHS SHALL BE APPROVED BY THE OWNER.
- SEEDING METHOD: DRILL SEEDING OR BROADCAST SEEDING SHALL BE USED FOR REVEGETATION. AS OUTLINED BELOW, THE SIZE AND SLOPE OF THE DISTURBED AREA SHALL DETERMINE WHICH SEEDING METHOD(S) IS APPROPRIATE AND ACCEPTABLE. WHERE FEASIBLE, RANGELAND DRILL SEEDING COMBINED WITH A COVER OF CRIMPED HAY MULCH OR HYDRO-MULCH IS THE REQUIRED METHOD
 - SLOPES LESS THAN 3:1 - SEED SHALL BE PLANTED USING A RANGELAND DRILL WITH A SMALL SEED/LEGUME BOX AND AN AGITATOR BOX FOR FLUFFY OR BULKY SEED. SEED ROWS SHALL BE SPACED 7-10 INCHES APART, AND PLANTED 0.5 TO 0.75 INCHES DEEP. THE DRILL SHALL HAVE DOUBLE-DISK FURROW OPENERS WITH DEPTH BANDS AND PACKER WHEELS. SEEDING SHALL BE ACCOMPLISHED USING BI-DIRECTIONAL DRILLING AND FOLLOWING THE SLOPE CONTOUR. THE DRILL EQUIPMENT SHALL BE CALIBRATED EACH DAY OR WHENEVER THERE IS A CHANGE IN THE SEED MIX TO ENSURE PROPER SEED DISTRIBUTION AND RATE.
 - SLOPES GREATER THAN 3:1 OR AREAS LESS THAN 0.10 ACRE - SEED SHALL BE BROADCAST BY HAND, MECHANICAL SPREADER, OR HYDRO-SEEDING EQUIPMENT. BROADCAST SEEDED AREAS SHALL BE RAKED OR HARROWED TO INCORPORATE THE SEED INTO THE SOIL AT A DEPTH NOT EXCEEDING 0.75 INCHES.
 - FOR AREAS LARGER THAN 0.1 ACRE- HYDRO-SEEDING SHALL BE USED. THE SEED SHALL NOT BE TANK MIXED WITH THE HYDRO-MULCH AND BROADCAST.
 - BROADCAST SEEDING SHALL BE AVOIDED WHEN WIND SPEED EXCEEDS 15 MILES PER HOUR.
- MULCHING: WEED-FREE NATIVE HAY, WEED-FREE STRAW, OR VIRGIN WOOD FIBER HYDRO-MULCH SHALL BE USED TO CONTROL EROSION AND PROMOTE SEED GERMINATION AND PLANT ESTABLISHMENT. NATIVE HAY, STRAW, OR HYDRO-MULCH SHALL BE APPLIED AT 2,000 POUNDS/ACRE ON SLOPES LESS THAN 3:1. ON STEEPER SLOPES, A MULCHING RATE OF 2,500 POUNDS/ACRE SHALL BE USED.
- NATIVE HAY OR STRAW SHALL BE CRIMPED INTO THE SOIL TO A DEPTH OF AT LEAST 3 INCHES, AND SHALL PROTRUDE ABOVE THE GROUND AT LEAST 3 INCHES. AN ORGANIC TACKIFIER SHALL BE USED TO HOLD THE HAY OR STRAW IN PLACE IF THE CRIMPING RESULTS ARE INSUFFICIENT. HYDRO-MULCH SHALL BE APPLIED USING A COLOR DYE AND THE MANUFACTURER RECOMMENDED RATE OF AN ORGANIC TACKIFIER.
- FINE GRADE SEED TO ELIMINATE IRREGULARITIES ON THE SURFACE. ROLL OR PERFORM ADDITIONAL FINE GRADING. SEED AREAS BY MEANS OF APPROVED BROADCAST OR HYDRAULIC-TYPE SPREADERS. DO NOT SEED DURING WINDY WEATHER. MULCH SEEDED AREAS WITH WOOD CELLULOSE FIBER MULCH WITHIN 24 HOURS OF SEEDING. APPLY MULCH TACKIFIER AT RATE RECOMMENDED BY MANUFACTURER'S RECOMMENDATIONS.
- SUPPLEMENTAL IRRIGATION SHALL NORMALLY NOT BE NECESSARY OR REQUIRED IF THE SEEDING IS ACCOMPLISHED DURING THE PREFERRED PLANTING PERIODS. HOWEVER, IF A WATER HOOK-UP IS AVAILABLE A SPRINKLER SYSTEM MAY BE USED TO PROMOTE RAPID PLANT ESTABLISHMENT. GENERALLY, WATERING AT 0.75-1.0 INCHES/WEEK IS RECOMMENDED DURING THE APRIL-OCTOBER GROWING SEASON DEPENDING ON NATURAL RAINFALL. THE USE OF WATER TRUCKS FOR IRRIGATION IS PROHIBITED DUE TO TRAFFIC IMPACTS ON THE SEEDED AREAS AND TYPICAL POOR WATER DISTRIBUTION OBSERVED WITH THIS TYPE OF WATERING.
- APPROVAL OF SEEDED TURF AREAS SHALL BE BASED UPON THE SEED PRODUCERS GUARANTEED SEEDING GERMINATION RATE FOR A ONE SQUARE FOOT AREA. IF GUARANTEED GERMINATION RATE IS NOT ACHIEVED, THE CONTRACTOR SHALL OVERSEED UNTIL THE GERMINATION RATE IS ACHIEVED. REVEGETATION SHALL HAVE AT LEAST 3 NATIVE GRASS SEEDLINGS/SQUARE FOOT AND NO BARE AREAS EXCEEDING ONE SQUARE METER AFTER THE SECOND GROWING SEASON. FOR DRILL SEEDED AREAS, PLANTING ROWS SHALL BE NOTICEABLE BY THE END OF THE FIRST FULL GROWING SEASON. IF A PARTIAL OR TOTAL SEEDING FAILURE IS APPARENT AFTER THE SECOND GROWING SEASON, POORLY VEGETATED AREAS SHALL BE RESEEDED IN THE SAME MANNER DESCRIBED ABOVE. APPROPRIATE SITE PREPARATION PRACTICES SHALL BE USED TO CREATE A SUITABLE SEEDBED FOR PLANTING, BUT ANY ESTABLISHED NATIVE VEGETATION SHALL BE UNDISTURBED TO THE EXTENT POSSIBLE. AREAS THAT ERODE BEFORE GERMINATION AND ESTABLISHMENT CAN OCCUR SHALL BE REPAIRED AND IMMEDIATELY RESEEDED DURING THE SAME SEASON.

SOILS ANALYSIS RECOMMENDATIONS :

- APPLY 3 CY/ 1,000 SF ORGANIC MATTER COMPOST AMENDMENT. TILL INTO TOP 6-8" OF SOIL. COMPOST TO CONSIST OF 1-YEAR OLD ORGANIC MATERIAL AND SHALL NOT INCLUDE CHICKEN MANURE.

LANDSCAPE SETBACKS:

STREET NAME:	MARKSHEFFEL RD	CONSTITUTION AVE	AKERS DR
ZONE DISTRICT BOUNDARY:	NO	NO	NO
STREET CLASSIFICATION:	PRINCIPAL ARTERIAL	PRINCIPAL ARTERIAL	NON-ARTERIAL
SETBACK DEPTH REQUIRED/PROVIDED:	25' / 25'	25' / 25'	10' / 10'
LINEAR FOOTAGE:	587'	930'	685'
TREE/FEET REQUIRED:	1/ 20 LF	1/ 20 LF	1/ 30 LF
NUMBER OF TREES REQUIRED/PROVIDED:	30 / 30	47 / 47	23 / 23
SHRUB SUBSTITUTES REQUIRED/PROVIDED:	0 / 0	0 / 0	0 / 0
ORNAMENTAL GRASS SUBSTITUTES REQ./PROV.:	0 / 0	0 / 0	0 / 0
PLANT ABBREVIATION DENOTED ON PLAN:	MS	CS	AK
% GROUND PLANE VEG. REQUIRED/PROVIDED:	75%/75%	75%/75%	75%/75%

LANDSCAPE BUFFERS AND SCREENS:

BOUNDARY:	NORTH BNDY
WIDTH IN FEET REQ./PROV.:	15' / 15'
LINEAR FOOTAGE	1189'
TREE/FEET REQUIRED:	1/ 25 LF
BUFFER TREES REQ./PROV.:	48 / 48
DEC. TREES PROV.:	0
EVERGREEN TREES (33%) REQ./PROV.:	16 / 36
BUFFER TREE ABBR. ON PLAN:	NB
% GROUND PLANE VEG. REQ./PROV.:	75%/75%

INTERNAL LANDSCAPING:

SITE AREA:	670,487 SF
INTERNAL REQUIRED (15%):	100,573 SF
INTERNAL PROVIDED:	255,649 SF
TREE/FEET REQUIRED:	1 Tree / 500 SF
INTERNAL TREES REQUIRED/PROVIDED:	202 / 132
SHRUB SUBSTITUTES REQUIRED/PROVIDED:	700 / 700*
INTERNAL PLANT ABBREVIATED ON PLAN:	IN
% GROUND PLANE VEG. REQUIRED/PROVIDED:	75%/75%

*REQUIRED SHRUBS TO BE PROVIDED WITH LANDSCAPE CONSTRUCTION DOCUMENTS

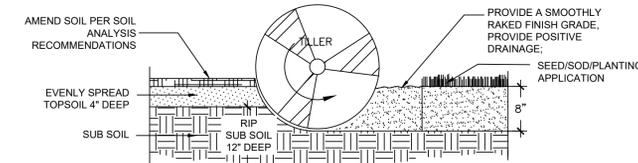
MOTOR VEHICLE LOTS:

NUMBER OF VEHICLE SPACES PROVIDED:	522	
SHADE TREE 1 PER 15 SPACES REQ./PROV.:	35 / 35	
VEHICLE LOT FRONTAGES:	SOUTH	EAST
LENGTH OF FRONTAGE:	99'	81'
2/3 LENGTH OF FRONTAGE:	66'	54'
MIN. 3' SCREENING PLANTS REQ./PROV.:	66' / 66**	54' / 54**
LENGTH OF SCREENING OR BERM PROVIDED:	N/A	N/A
VEHICLE LOT PLANT ABBREVIATED ON PLAN:	PL	

*REQUIRED SCREENING PLANTS TO BE PROVIDED WITH LANDSCAPE CONSTRUCTION DOCUMENTS

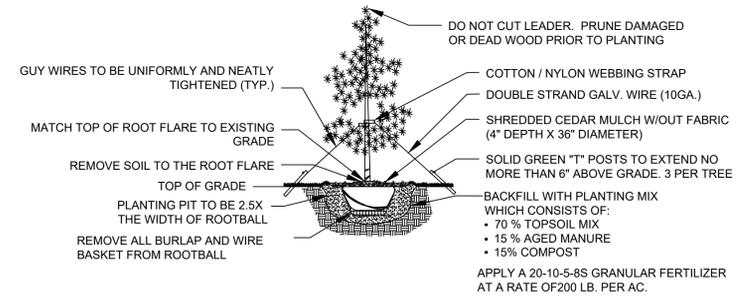
WATERMARK AT AKERS SITE DEVELOPMENT PLAN

TRACT DD, HANNAH RIDGE AT FEATHERGRASS FILING NO. 1, AS AMENDED SECTION 32, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M., CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

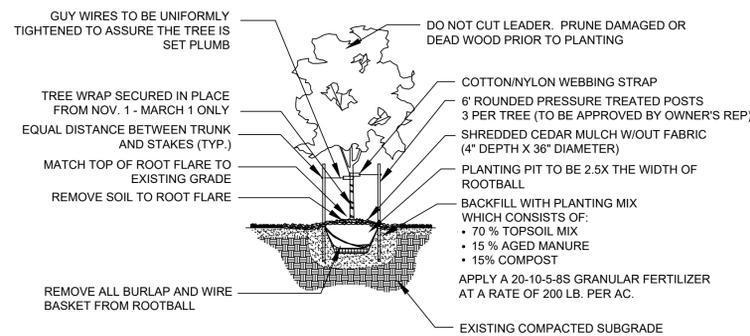


- NOTES:**
1. TOPSOIL TO CONSIST OF DARK, LIGHT LOAM SOIL FREE OF ROCKS, ROOTS, AND FOREIGN MATERIALS.
 2. THE FERTILIZER APPLICATION SHOULD BE DELAYED IF PLANTING DOES NOT OCCUR WITHIN 2-3 DAYS OF FERTILIZING.
 3. COMPOST TO CONSIST OF 1-YEAR OLD ORGANIC MATERIAL AND SHOULD NOT INCLUDE CHICKEN MANURE.
 4. FROZEN MATERIALS OR MATERIALS GREATER THAN 1" DIA. SHOULD BE REMOVED.
 5. REFER TO SPECS FOR COMPLETE SOIL PREPARATION REQUIREMENTS.

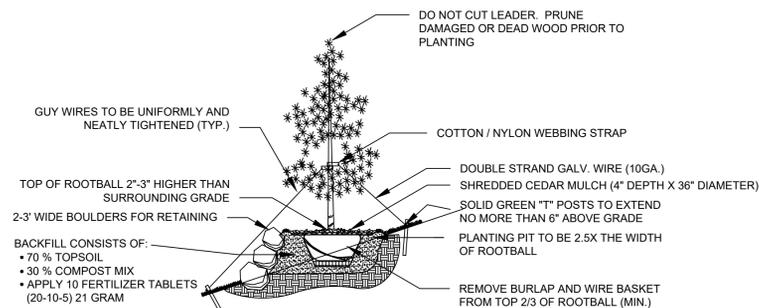
1 SOIL PREPARATION- ALL LANDSCAPE AREAS
PLANTING DETAIL NTS



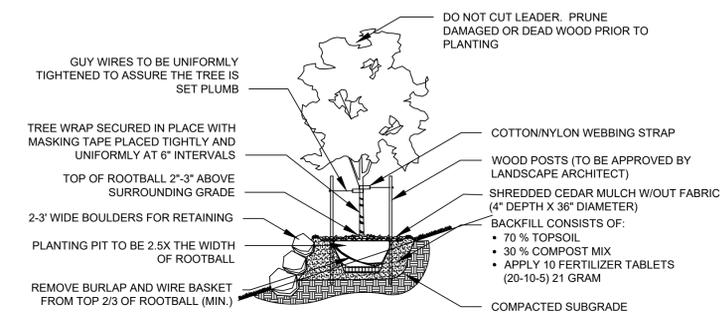
4 EVERGREEN TREE DETAIL
PLANTING DETAIL NTS



2 DECIDUOUS TREE DETAIL
PLANTING DETAIL NTS



5 EVERGREEN TREE DETAIL - SLOPE
PLANTING DETAIL NTS



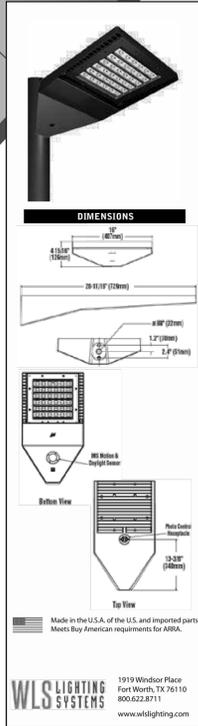
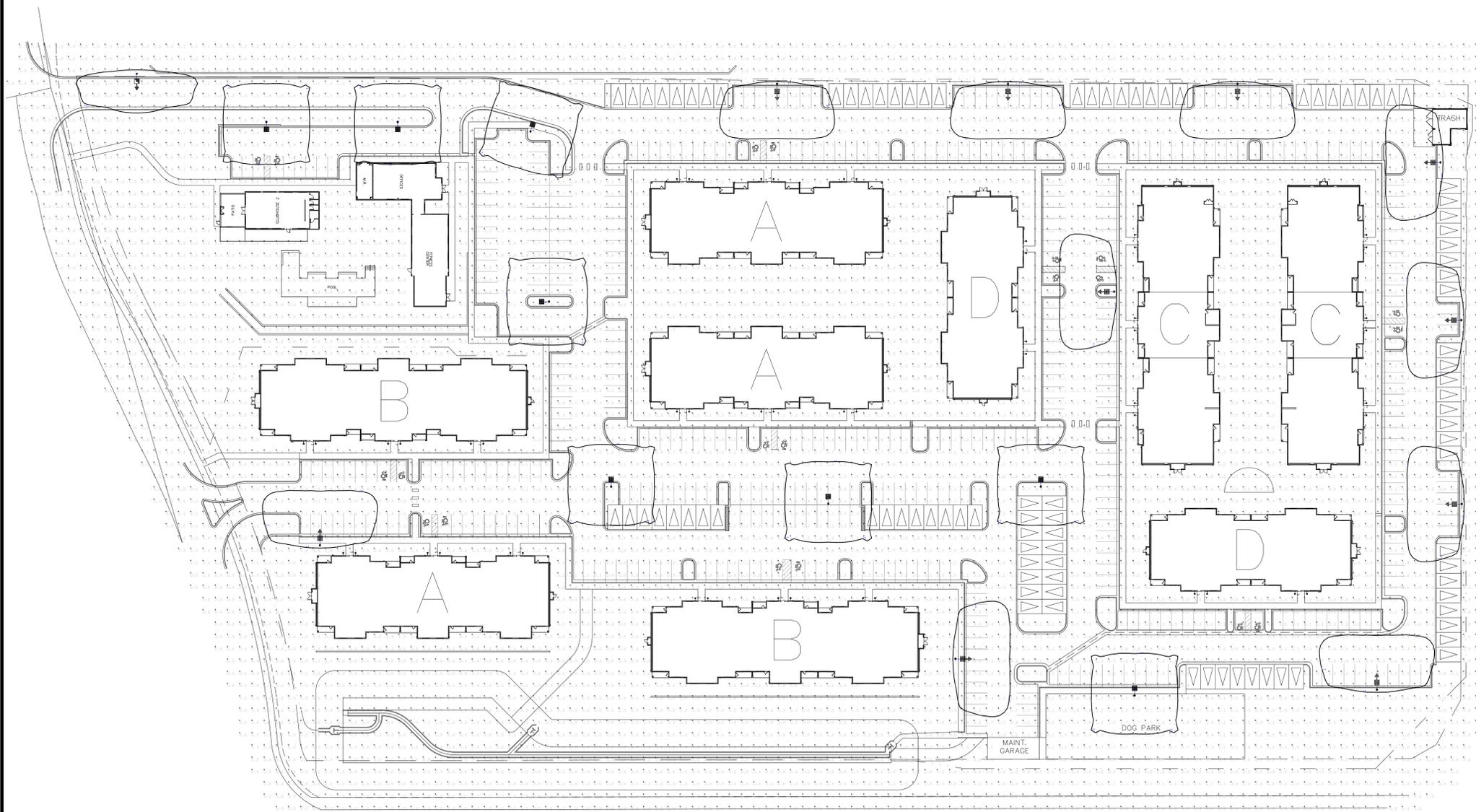
3 DECIDUOUS TREE DETAIL - SLOPE
PLANTING DETAIL NTS

NOTE: FOR SLOPES 4:1 AND STEEPER

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SPECIFICATIONS

Optical System

- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component.
- Proprietary silicone reflector optics provide exceptional coverage and uniformity in IES Types 2, 3, SW, FT and FTA.
- Silicone optical material does not yellow or crack with age and provides a maximum light transmittance of 93%.
- Zero uplight.
- Available in 5000K, 4000K, 3000K, 2700K and Amber (+/- 273K) color temperatures.
- Minimum CRI of 70.
- Integral Louver (IL) option available for improved back light control without sacrificing street side performance.

Electrical

- High performance driver features over-voltage, under-voltage, short-circuit and over temperature protection.
- Ø 1/8" dimming 1/10% - 100% standard.
- Standard Universal Voltage (120-277VAC) Input 50/60 Hz or optional High Voltage (347-480 VAC).
- L80 Calculated Life > 100K Hours
- Total harmonic distortion < 20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F)
- Power factor > 0.90
- Input power stays constant over life.
- Field replaceable surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- High efficiency LEDs mounted to metal-core circuit board to maximize heat dissipation.
- Terminal block provided accepts up to 10ga wire.
- Components are fully enclosed in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.

Construction

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
- Designed to mount to square poles without need for pole adaptors.
- Luminaire is proudly made in the U.S. of U.S. and imported parts.
- IP66 rated luminaire protects integral components from harsh environments.
- 3G rated for ANSI C136.31 high vibration applications.
- Finish is finished with WLS's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard WLS finishes available.
- Shipping weight: 30 lbs in carton.

Controls

- Optional integral passive infrared motion and daylight sensor activates switching of luminaire light levels.
- 7 pin ANSI C136.41-2013 photocell receptacle option available for twill lock photocell or wireless control modules.

Installation

- A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment for installing/servicing.
- Included terminal block provides quick and easy on-site wiring.
- Utilizes WLS's traditional 3" grid pattern for easy fastening of WLS products.

Warranty

- WLS LED Fixtures carry a 5-year warranty.

Listings

- Listed to UL 1598 and UL 8750.
- Rainf Compliant.
- American Recovery and Reinvestment Act Funding Compliant.
- Suitable for wet locations.
- IP66 rated luminaire. IP66 rated optical chamber.
- 3G rated for ANSI C136.31 high vibration applications.

1919 Windsor Place
Fort Worth, TX 76110
800.622.8711
www.wslighting.com

CLXM SERIES LED AREA

ORDERING INFORMATION Refer to example below. SELECT APPROPRIATE CHOICE FROM EACH COLUMN TO FORMULATE ORDER CODE.

SERIES	LIGHT SOURCE	LUMENS PACKAGE	LIGHT OUTPUT	DISTRIBUTION	ORIENTATION ¹	VOLTAGE	DRIVER	COLOR TEMPERATURE
CLXM	LED	9L 9,000 lms 12L 12,000 lms 18L 18,000 lms 24L 24,000 lms 30L 30,000 lms 36L 36,000 lms 42L 42,000 lms	SIL Silicone	2 Type 2 3 Type 3 SW Type 3 Wide FT For Forward Throw FTA Forward Throw Ambient	(Blank) None L Optics rotated left 90 R Optics rotated right 90	UNV Universal Voltage 120-277V HW High Voltage 347-480V	DIM Ø 1/8" Dimming Ø 10%	27 2,700 CCT ² 30 3,000 CCT ² 40 4,000 CCT ² 50 5,000 CCT ² AMB Amber ³

ORDER: WLS-CLXM-LED-SIL-30L-30L-UNV-DIM-40-70CRI-EXT-8RZ-IL

COLOR RENDERING	CONTROLS	FINISH	OPTIONS
70CRI 70 CRI	EXT Ø 1/8" Dimming (from external signal) IMS Integral Motion & Daylight Sensor ⁴	BRZ Bronze BLK Black GPT Graphite MSV Marine Silver WHT White PLP Platinum Plus SVG Satin Verde Green CC Custom Color	(Blank) None PCH120 120V PC120-277 208-277V PC347 347V CCTP Full Photometric Control Receptacle ⁵ IL Integral Louver IMS ⁶

Example: WLS-CLXM-LED-30L-SL-SW-UNV-DIM-40-70CRI-EXT-8RZ-IL

FOOTNOTES:

- Not available on "Type SW" distribution.
- Consult factory for availability.
- Only available in 16 and 12L lumen packages.
- Not available in IM.
- IMS is field adjustable, via a hand held Remote Configurator Tool, which must be ordered separately.
- Control device must be ordered separately.
- Factory installed CCTP option required.

LUMINAIRE EPA CHART - CLXM

Single	0.6
D180°	1.1
D90°	0.9
T90°	1.9
T120°	1.9
D90°	2.1

ELECTRICAL DATA

Lumens	Watts	120V	208V	240V	277V	347V	480V
9L	68.2	0.6A	0.5A	0.5A	0.5A	0.5A	0.5A
12L	93.1	0.8A	0.6A	0.6A	0.6A	0.6A	0.6A
18L	148.5	1.2A	0.7A	0.6A	0.5A	0.6A	0.5A
24L	188.8	1.6A	0.9A	0.8A	0.7A	0.5A	0.6A
30L	248.6	2.1A	1.2A	1.0A	0.8A	0.7A	0.5A
36L	317.8	2.6A	1.5A	1.3A	1.1A	0.8A	0.7A
42L	391.4	3.3A	1.9A	1.6A	1.4A	1.1A	0.8A

BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD CONDITIONS.

Calculation Summary

Label	Units	Avg	Max	Min	Avg/Min	Max/Min	PtSpcLr	PtSpcTb
PARKING AND DRIVES	Fc	0.97	6.1	0.0	N.A.	N.A.	10	10

Luminaire Schedule

Symbol	Qty	Label	Lum. Lumens	LLF	Description	Lum. Watts
	8	A	16684	0.950	WLS-CLXM-LED-18L-SIL-5W-30-70CRI-SLW 20' MOUNTING HEIGHT	148.5
	10	B	11422	0.950	WLS-CLXM-LED-18L-SIL-FT-30-70CRI-IL-SLW 20' MOUNTING HEIGHT	148.5
	1	C	11145	0.950	WLS-CLXM-LED-18L-SIL-2-30-70CRI-IL-SLW 20' MOUNTING HEIGHT	148.5

Kimley»Horn

© 2021 KIMLEY-HORN AND ASSOCIATES, INC.
2 NORTH NEVADA AVENUE, SUITE 300
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

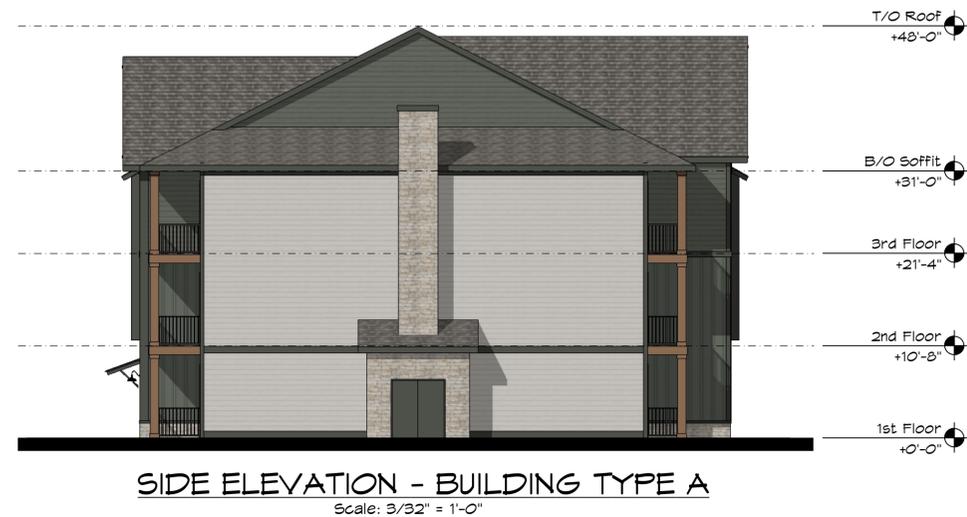
GRAPHIC SCALE IN FEET
0 25 50 100

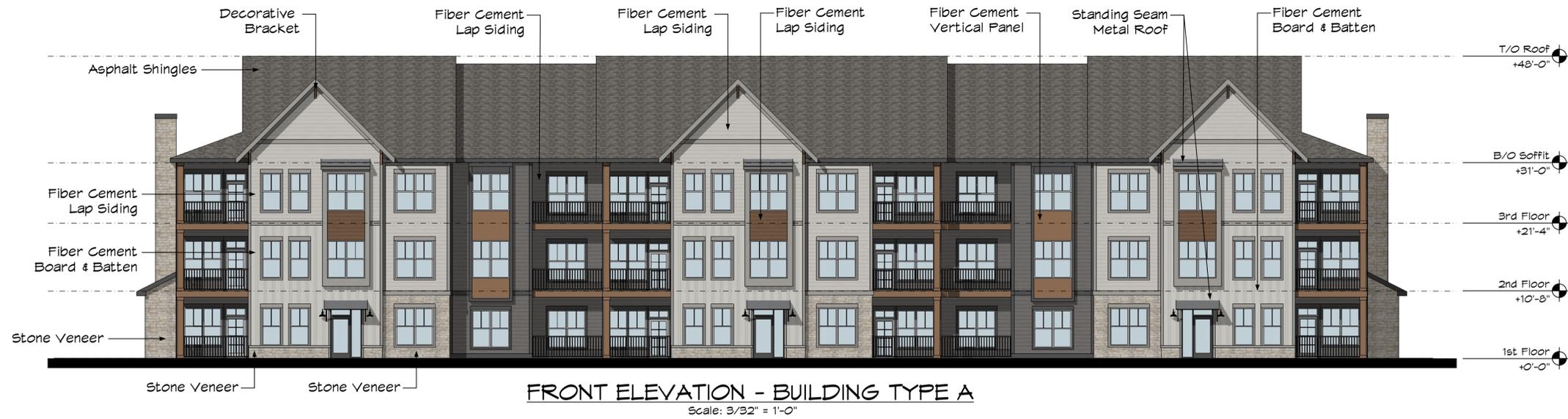
NORTH

Project Name: _____
Date: _____
Location: _____
Notes: _____

01 REV 01/19
Specifications subject to change without notice.

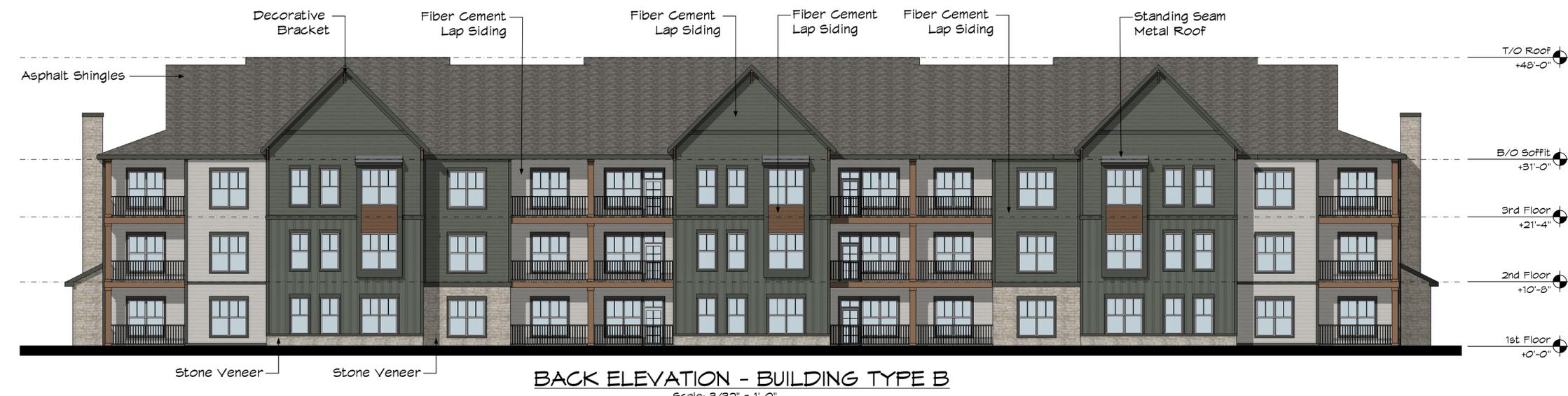
PHOTOMETRIC PLAN AND DETAILS
SHEET 11 OF 11







FRONT ELEVATION - BUILDING TYPE B
Scale: 3/32" = 1'-0"



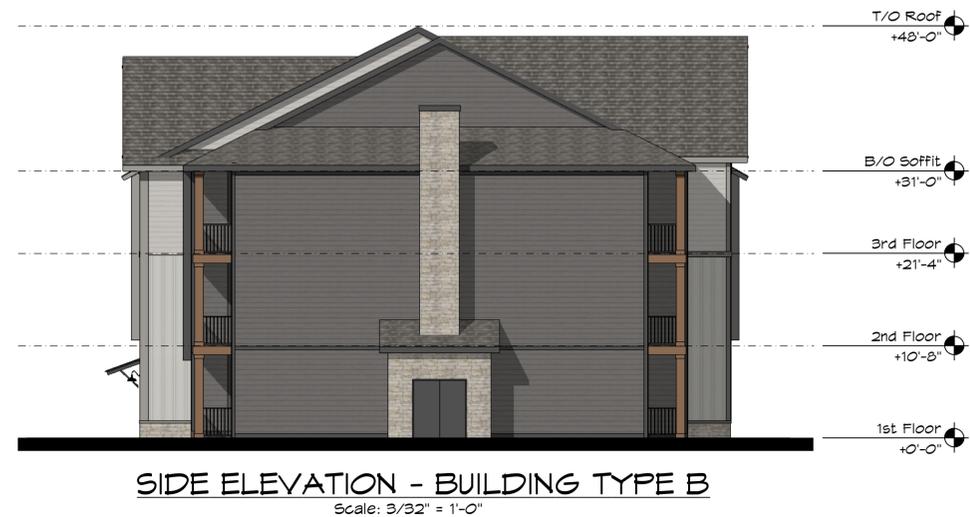
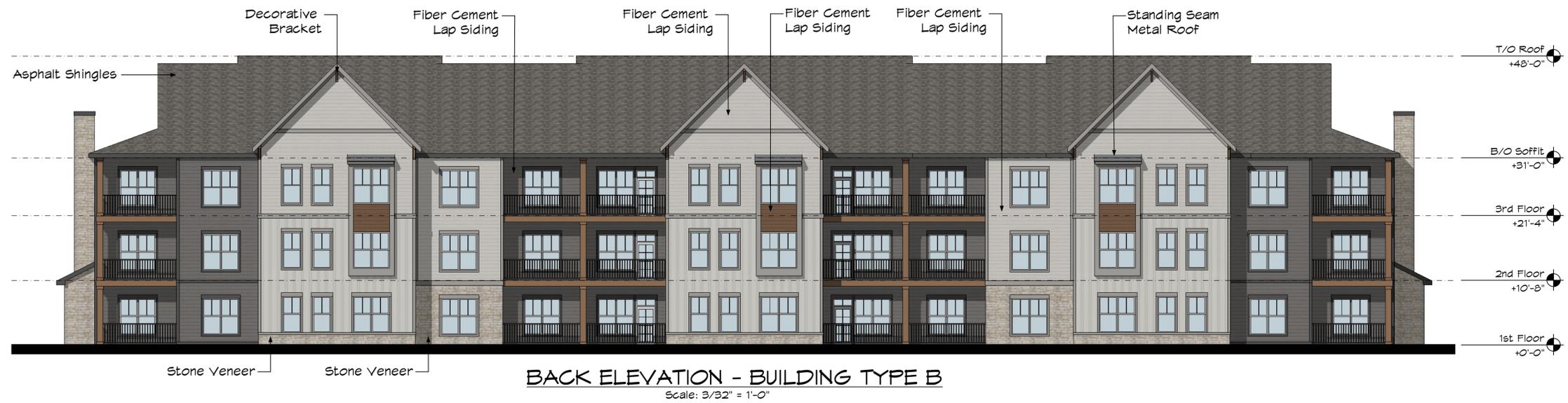
BACK ELEVATION - BUILDING TYPE B
Scale: 3/32" = 1'-0"



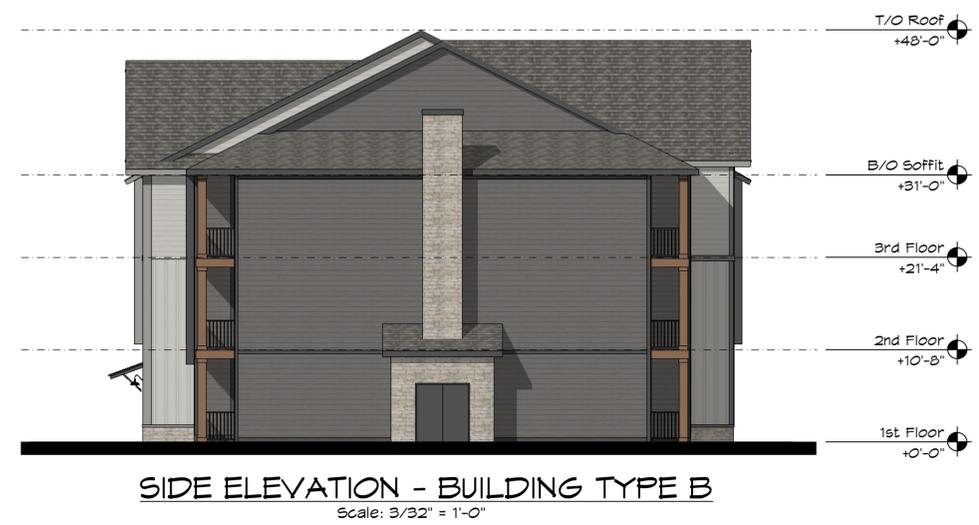
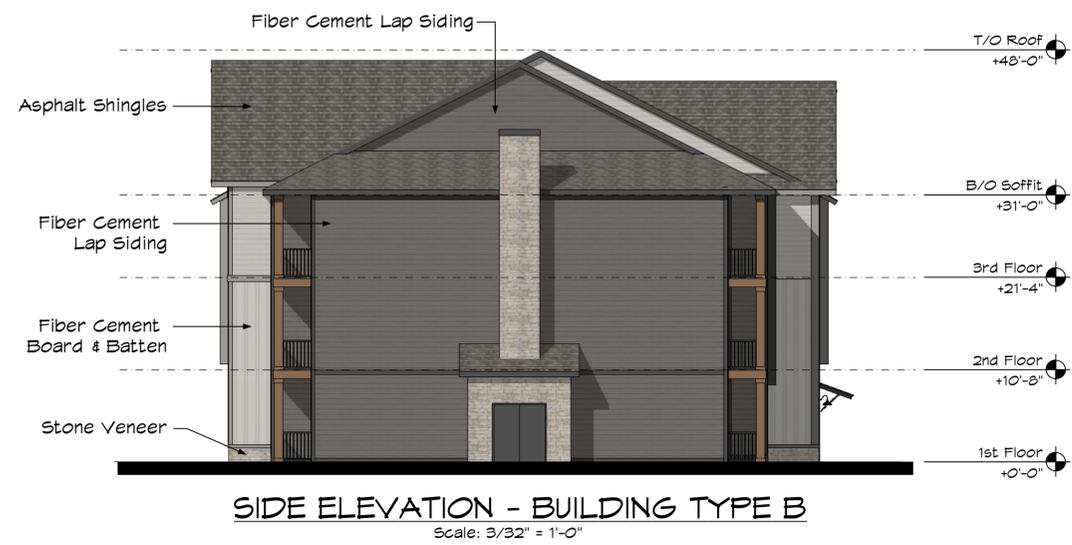
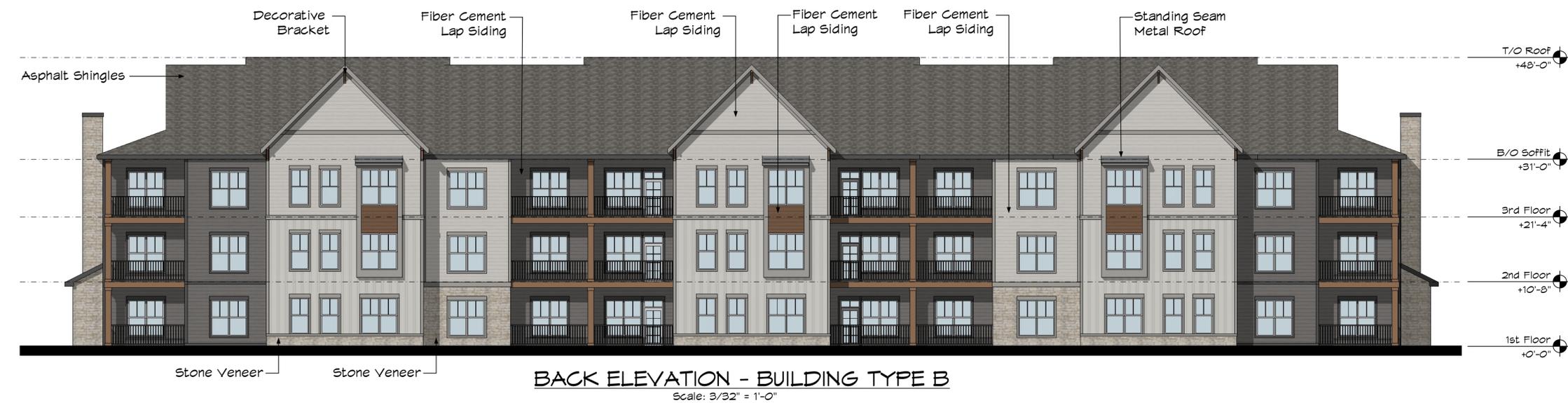
SIDE ELEVATION - BUILDING TYPE B
Scale: 3/32" = 1'-0"

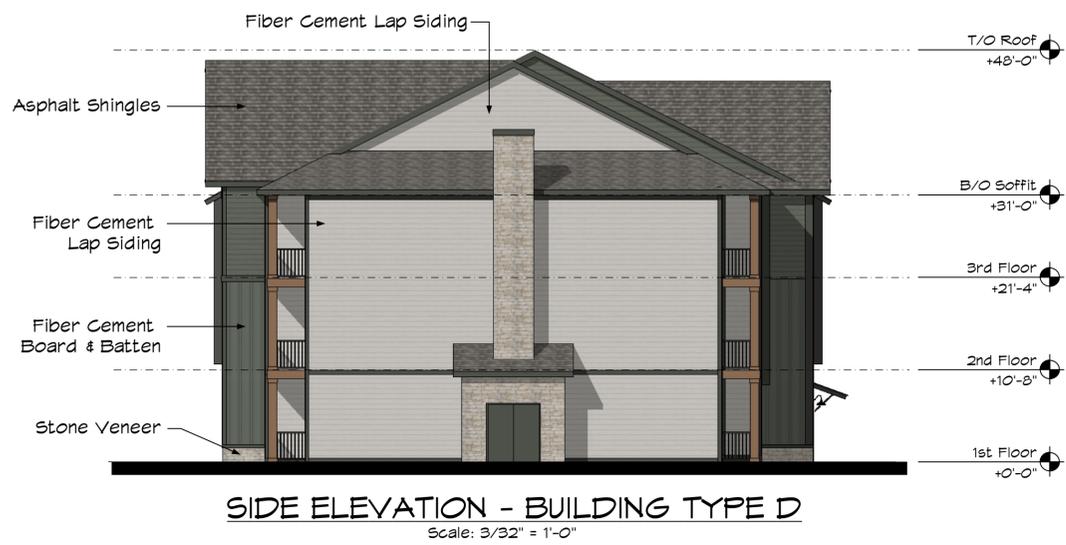


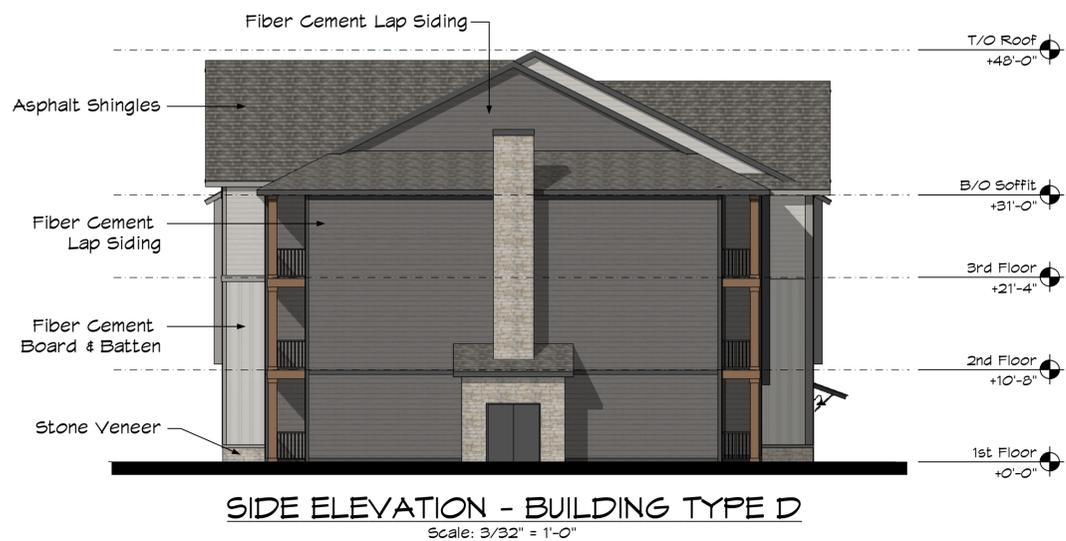
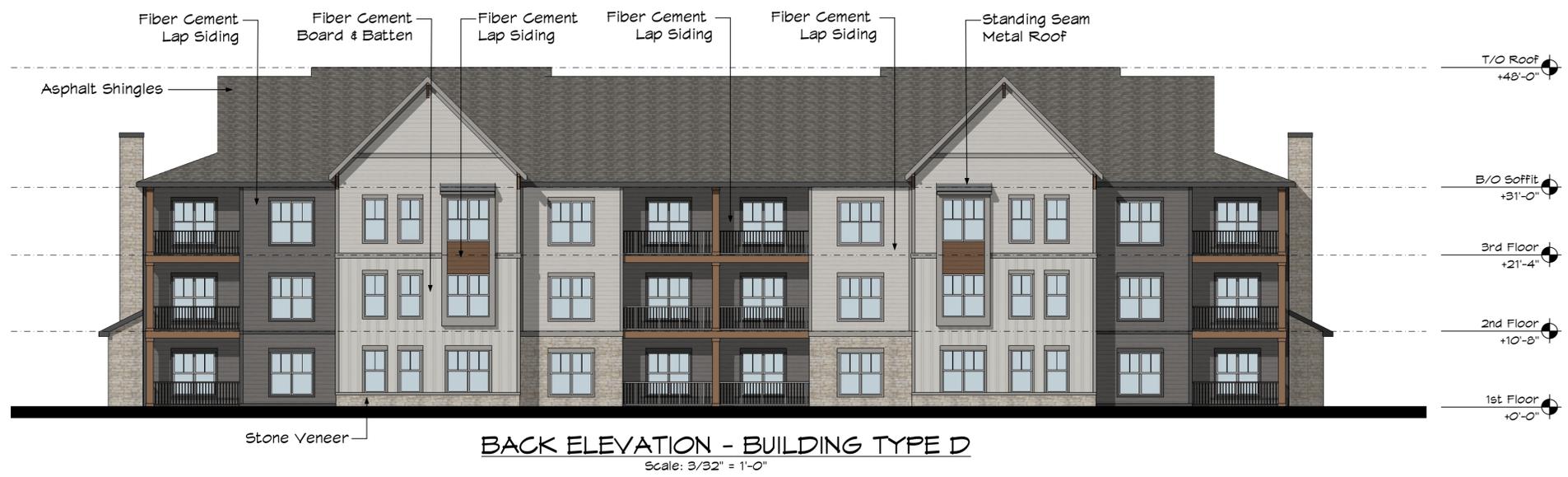
SIDE ELEVATION - BUILDING TYPE B
Scale: 3/32" = 1'-0"





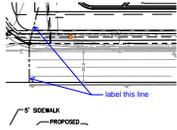






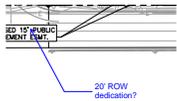
Site Development Plan_V1.pdf Markup Summary

dsdrice (13)



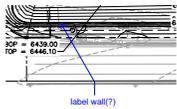
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Author: dsdrice
Date: 3/25/2021 9:07:42 PM
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Color: ■
Layer:
Space:

label this line



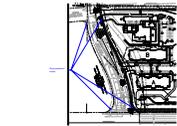
Subject: Callout
Page Label: [3] 3 UTILITY PLAN
Author: dsdrice
Date: 3/25/2021 9:08:03 PM
Status:
Color: ■
Layer:
Space:

20' ROW dedication?



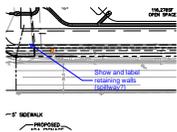
Subject: Callout
Page Label: [4] 4 GRADING PLAN
Author: dsdrice
Date: 3/25/2021 9:08:16 PM
Status:
Color: ■
Layer:
Space:

label wall(?)



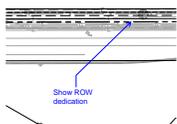
Subject: Callout
Page Label: [2] 2 SITE PLAN
Author: dsdrice
Date: 3/25/2021 9:09:11 PM
Status:
Color: ■
Layer:
Space:

Show pedestrian ramps



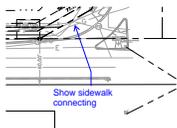
Subject: Callout
Page Label: [2] 2 SITE PLAN
Author: dsdrice
Date: 3/26/2021 8:39:53 AM
Status:
Color: ■
Layer:
Space:

Show and label retaining walls (spillway?)



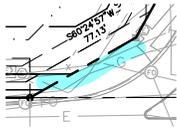
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Date: 3/26/2021 8:40:44 AM
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Space:

Show ROW dedication

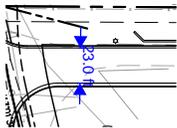


Subject: Callout
Page Label: [2] 2 SITE PLAN
Author: dsdrice
Date: 3/26/2021 8:41:08 AM
Status:
Color: ■
Layer:
Space:

Show sidewalk connecting

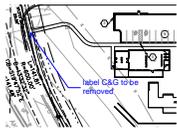


Subject:
Page Label: [2] 2 SITE PLAN
Author: dsdrice
Date: 3/26/2021 8:41:16 AM
Status:
Color: ■
Layer:
Space:



Subject: Length Measurement
Page Label: [2] 2 SITE PLAN
Author: dsdrice
Date: 3/26/2021 8:42:56 AM
Status:
Color: ■
Layer:
Space:

23.0 ft



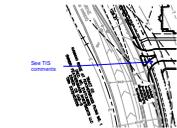
Subject: Callout
Page Label: [2] 2 SITE PLAN
Author: dsdrice
Date: 3/26/2021 8:44:19 AM
Status:
Color: ■
Layer:
Space:

label C&G to be removed



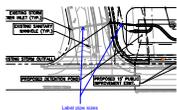
Subject: Callout
Page Label: [2] 2 SITE PLAN
Author: dsdrice
Date: 3/26/2021 8:44:41 AM
Status:
Color: ■
Layer:
Space:

label crossspan reconstruction



Subject: Callout
Page Label: [2] 2 SITE PLAN
Author: dsdrice
Date: 3/26/2021 8:45:18 AM
Status:
Color: ■
Layer:
Space:

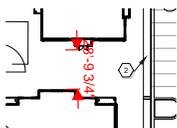
See TIS comments



Subject: Callout
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Author: dsdrice
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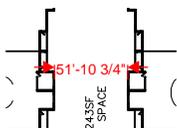
Label pipe sizes

Sophie Kiepe (16)



Subject: Length Measurement
Page Label: [2] 2 SITE PLAN
Author: Sophie Kiepe
Date: 3/18/2021 1:00:41 PM
Status:
Color: ■
Layer:
Space:

28'-9 3/4"



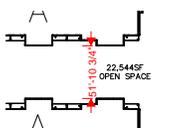
Subject: Length Measurement
Page Label: [2] 2 SITE PLAN
Author: Sophie Kiepe
Date: 3/18/2021 1:00:57 PM
Status:
Color: ■
Layer:
Space:

51'-10 3/4"



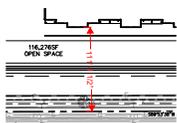
Subject: Length Measurement
Page Label: [2] 2 SITE PLAN
Author: Sophie Kiepe
Date: 3/18/2021 1:01:17 PM
Status:
Color: ■
Layer:
Space:

44'-6 3/4"



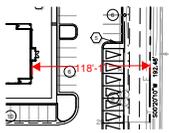
Subject: Length Measurement
Page Label: [2] 2 SITE PLAN
Author: Sophie Kiepe
Date: 3/18/2021 1:01:53 PM
Status:
Color: ■
Layer:
Space:

51'-10 3/4"



Subject: Length Measurement
Page Label: [2] 2 SITE PLAN
Author: Sophie Kiepe
Date: 3/18/2021 1:02:18 PM
Status:
Color: ■
Layer:
Space:

111'-1 1/2"



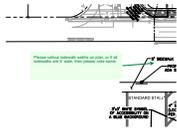
Subject: Length Measurement
Page Label: [2] 2 SITE PLAN
Author: Sophie Kiepe
Date: 3/18/2021 1:02:35 PM
Status:
Color: ■
Layer:
Space:

118'-1"



Subject: Group
Page Label: [2] 2 SITE PLAN
Author: Sophie Kiepe
Date: 3/18/2021 1:04:38 PM
Status:
Color: ■
Layer:
Space:

Please add bicycle parking. Per Chapter 6 LDC parking standards



Subject: Callout
Page Label: [2] 2 SITE PLAN
Author: Sophie Kiepe
Date: 3/18/2021 1:05:29 PM
Status:
Color: ■
Layer:
Space:

Please callout sidewalk widths on plan, or if all sidewalks are 5' wide, then please note same.



Subject: Callout
Page Label: [1] 1 COVER SHEET
Author: Sophie Kiepe
Date: 3/18/2021 12:11:12 PM
Status:
Color: ■
Layer:
Space:

PCD File No. PPR217 ; please add throughout plan set.



Subject: Group
Page Label: [2] 2 SITE PLAN
Author: Sophie Kiepe
Date: 3/18/2021 12:42:21 PM
Status:
Color: ■
Layer:
Space:

Please note that the requirement for 2 bedroom units is 1.7 spaces per unit. This means 266 spaces are required for the U2 / 2bedroom units, not 273. total parking spaces required is 494. An additional 2%, or 10 spaces, must be ADA.



Subject: Image
Page Label: [1] 1 COVER SHEET
Author: Sophie Kiepe
Date: 3/18/2021 12:44:18 PM
Status:
Color: ■
Layer:
Space:



Subject: Callout
Page Label: [1] 1 COVER SHEET
Author: Sophie Kiepe
Date: 3/18/2021 12:44:22 PM
Status:
Color: ■
Layer:
Space:

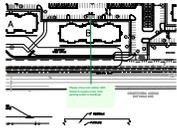
Noise study anticipated noise levels exceed max. allowed for land use; please incorporate sound mitigation techniques to meet standards. Also, note that the noise study shows a different proposed site layout, so the noise levels are likely inaccurate. Please revise for accuracy with Plan.

Also, please note that the Plan provides for an excess of parking (in addition to the over calculation for 2 bedroom units per below comment on parking table). Providing sufficient parking is important, however developments with excessive parking areas can cause negative impacts with regard to safety, drainage, urban heat island effect, etc. Please consider minimizing the excessive parking proposed and instead increasing the buffer areas or redesigning the site layout to minimize the traffic noise levels for the far southeastern buildings which are expected to exceed the allowed noise levels per the noise study.



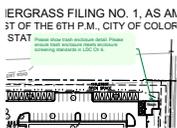
Subject: Callout
Page Label: [2] 2 SITE PLAN
Author: Sophie Kiepe
Date: 3/18/2021 12:46:33 PM
Status:
Color: ■
Layer:
Space:

Please callout ingress/egress points for site.



Subject: Callout
Page Label: [2] 2 SITE PLAN
Author: Sophie Kiepe
Date: 3/19/2021 4:43:43 PM
Status:
Color: ■
Layer:
Space:

Please show and callout ADA Route throughout site, from parking areas to buildings.



Subject: Callout
Page Label: [2] 2 SITE PLAN
Author: Sophie Kiepe
Date: 3/19/2021 4:44:19 PM
Status:
Color: ■
Layer:
Space:

Please show trash enclosure detail. Please ensure trash enclosure meets enclosure screening standards in LDC Ch 6.



Subject: Callout
Page Label: [2] 2 SITE PLAN
Author: Sophie Kiepe
Date: 3/19/2021 4:45:55 PM
Status:
Color: ■
Layer:
Space:

Dimensions of buildings, pool/community areas, dog park area and open spaces?

As well as additional information for dog park such as access points?