

DEVELOPMENT PLANS FOR MURPHY USA (NTI) COLORADO SPRINGS, COLORADO 2870 S. CIRCLE DR. (MURPHY #6611)

GENERAL NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR RAZING AND REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
- CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- SAFETY NOTICE TO CONTRACTOR:** IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY AND SECURITY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
- ALL CONSTRUCTION WITHIN STATE HIGHWAY DEPARTMENT RIGHT-OF-WAY SHALL BE COORDINATED WITH THE HIGHWAY DEPARTMENT RESIDENT MAINTENANCE ENGINEER.
- ALL SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE RELEVANT UTILITY COMPANY OR REGULATORY AUTHORITY, AND THE SPECIFICATIONS FOR THE CONSTRUCTION OF THE EXISTING IMPROVEMENTS WHICH ARE BEING ALTERED OR REPLACED. CONTRACTOR SHALL CONTACT THE ENGINEER FOR SPECIFICATION SECTIONS FOR ITEMS SUCH AS LANDSCAPING AND IRRIGATION THAT ARE AFFECTED BY THE WORK BUT NOT COMPLETELY DETAILED OR SPECIFIED ON THESE PLANS.
- CONSTRUCTION AND INSTALLATION OF 2,824 SF BUILDING, ALL UTILITY ENTRANCES AND (1) 25,000 GALLON & (1) 25,000 GALLON UNDERGROUND TANKS SHALL BE IN ACCORDANCE WITH ASSOCIATED PLANS.
- THE GENERAL CONTRACTOR TO COORDINATE THE CANOPY SIGN LOCATIONS AND FREE-STANDING SIGNAGE WITH MURPHY'S DEVELOPMENT PROJECT MANAGER AND SIGN COMPANY.

NOTES TO CONTRACTOR:

- THE CONTRACTOR SHALL PROVIDE THE ENGINEER OF RECORD WITH THE DATE WHEN CONSTRUCTION IS TO BEGIN.
- THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION STAKING AND LAYOUT.
- THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE ENGINEER OF RECORD OF ANY DEVIATIONS DURING CONSTRUCTION AND SHALL REPORT THEM IMMEDIATELY.
- CONTRACTOR IS REQUIRED TO KEEP REDLINE AS-BUILTS AND TO PROVIDE THOSE TO MURPHY UPON COMPLETION.
- CONTRACTOR IS RESPONSIBLE FOR UNDERSTANDING THE AS-BUILT AND CERTIFICATE OF OCCUPANCY (C.O.) REQUIREMENTS FOR THE ISSUING AUTHORITY.
- IF AN ELEVATION CERTIFICATE OR AS-BUILT SURVEY IS REQUIRED BY THE ISSUING AUTHORITY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SCHEDULING OF THE SURVEY WITH THE CIVIL CONSULTANT PRIOR TO DEADLINE FOR OBTAINING THE C.O. AND AFTER NECESSARY COMPLETED WORK TO BE SHOWN ON SURVEY.

WETLANDS NOTE:

ANY DEVELOPMENT, EXCAVATION, CONSTRUCTION, OR FILLING IN A U.S. ARMY CORPS OF ENGINEERS DESIGNATED WETLAND IS SUBJECT TO LOCAL, STATE AND FEDERAL APPROVALS. THE CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND/OR RESTRICTIONS AND ANY VIOLATION WILL BE SUBJECT TO FEDERAL PENALTY. THE CONTRACTOR SHALL HOLD THE OWNER/DEVELOPER, THE ENGINEER AND THE LOCAL GOVERNING AGENCIES HARMLESS AGAINST SUCH VIOLATION.

FLOOD CERTIFICATION:

THIS PROPERTY IS NOT LOCATED WITHIN ANY PRESENTLY ESTABLISHED 100-YEAR FLOOD PLAIN, AS SHOWN BY THE FEDERAL MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP FOR THE CITY OF COLORADO SPRINGS, COMMUNITY PANEL NUMBER 0804100741G, FLOOD ZONE X, DATED 12/7/2018.

NOTICE TO BIDDERS:

ALL QUESTIONS REGARDING THE PREPARATION OF THE GENERAL CONTRACTOR'S BID SHALL BE DIRECTED THROUGH MURPHY'S CONSTRUCTION WEBSITE (HTTPS://MURPHYUSA.PROJECTMATES.COM/) INCLUDING Q&A, RF'S, BID SUBMISSION, CHANGE ORDER REQUESTS, ETC. ONCE AWARDED THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S PROJECT MANAGER. SUBCONTRACTORS MUST DIRECT THEIR QUESTIONS THROUGH THE GENERAL CONTRACTOR. THE CONSULTING ARCHITECT AND/OR THE CONSULTING ENGINEER SHALL NOT BE CONTACTED DIRECTLY WITHOUT PRIOR AUTHORIZATION FROM THE OWNER/DEVELOPER.

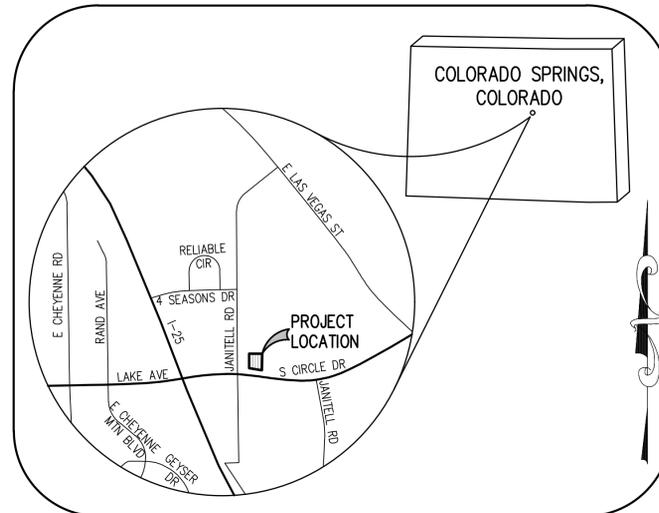
ADA DESIGN PROFESSIONAL STANDARDS STATEMENT

- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

ADDITIONAL NOTES

- ALL CURB, GUTTER, DRIVEWAYS, PEDESTRIAN RAMPS AND SIDEWALK POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR DOES NOT MEET CURRENT CITY ENGINEERING STANDARDS ALONG THE PUBLIC RIGHT-OF-WAY (ROW) ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY (CO). AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW DIVISION (EDRD) INSPECTOR TO DETERMINE WHAT, IF ANY IMPROVEMENTS ARE REQUIRED. THE EDRD INSPECTOR CAN BE REACHED AT 719-385-5977.
- SIGNAGE IS NOT APPROVED WITH THIS PLAN; A SEPARATE SIGN PERMIT IS REQUIRED PRIOR TO CONSTRUCTION.
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF OWNER, AND/OR THEIR ASSIGNS. ALL STREET TREES AND STREETSCAPE IMPROVEMENTS LOCATED IN THE ROW WILL BE MAINTAINED BY THE ADJUTING PROPERTY OWNER.

DIMENSIONAL STANDARDS	
DENSITY AND INTENSITY	N/A
BUILDING SETBACKS	LOT 3
	NORTH 15'
	SOUTH 20'
	EAST 20'
LANDSCAPE SETBACKS	WEST 20'
	CIRCLE DRIVE: 20'
SITE DATA	
LAND USE	FUEL DISPENSING STATION = 4,815 SF CONVENIENCE STORE = 2,824 SF
TOTAL LOT/SITE AREA	48,850 SF 1.12 ACRES
TOTAL AREA OF DISTURBANCE	61,272 SF 1.41 ACRES
LEGAL DESCRIPTION	A PORTION OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO.
SITE ADDRESS	2870 S. CIRCLE DR., COLORADO SPRINGS, CO 80906
PROPOSED BUILDING HEIGHT	18'-6"
ZONE DISTRICT ALLOWANCES	HEIGHT: 85' MAX BUILDING HEIGHT SETBACKS: 0' BUILDING SETBACKS
TAX SCHEDULE NUMBER(S)	6428300014
EXISTING ZONE DISTRICT (INCLUDING ORDINANCE NUMBERS AND CONDITIONS OF RECORD)	MX-M AO (MIXED W/ AIRPORT OVERLAY)
SCHEDULE OF DEVELOPMENT	SPRING 2026
PARKING TABLE	(SEE BELOW)
DRAINAGE BASIN INFORMATION	FOUNTAIN CREEK



VICINITY MAP
N.T.S.

PLAN INDEX		
SHEET NUMBER	SHEET DESCRIPTION	SHEET ID
1	COVER SHEET	C-0
2	SITE PLAN	C-1
3	PRELIMINARY GRADING PLAN	C-2
4	PRELIMINARY UTILITY & PUBLIC FACILITIES PLAN	C-3
5	SITE DETAILS	C-4
6	SITE DETAILS	C-5
7	SITE DETAILS	C-6
8	DUMPSTER DETAIL	C-7
9	PRELIMINARY LANDSCAPE PLAN	LP-1
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11	PHOTOMETRIC SITE PLAN	PP-1
12	PHOTOMETRIC DETAILS	PP-2
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15	BUILDING ELEVATIONS	A-3

GALLOWAY & COMPANY, INC.
1155 KELLY JOHNSON BLVD.
COLORADO SPRINGS, CO 80920
(719) 900-7227
CONTACT: KYLE GOODWIN

BASED ON SURVEY BY:
GALLOWAY & COMPANY, INC.
1155 KELLY JOHNSON BLVD., SUITE 305
COLORADO SPRINGS, CO 80920
EMAIL: BRIANDENNIS@GALLOWAYUS.COM
PHONE: (719) 337-7232
DATE: 05/06/25

CITY ENGINEERING CITY OF COLORADO SPRINGS 30 S NEVADA AVE, SUITE 401 COLORADO SPRINGS, CO 80901 CONTACT: JOEL DAGNILLO, PE (719) 385-5412	HEALTH DEPARTMENT EL PASO COUNTY PUBLIC HEALTH 1675 W GARDEN OF THE GOODS RD COLORADO SPRINGS, CO 80907 (719) 578-3199	OWNER MURPHY OIL USA, INC. 200 PEACH STREET EL DORADO, AR 71730 CONTACT: GRANT DENNIS (870) 315-3430
STORMWATER CITY OF COLORADO SPRINGS 30 S NEVADA AVE, SUITE 401 COLORADO SPRINGS, CO 80901 CONTACT: SARA RIVERA (719) 385-5542	CODE ENFORCEMENT PIKES PEAK REGIONAL BUILDING DEPT. 2880 INTERNATIONAL CIRCLE COLORADO SPRINGS, CO 80910 (719) 327-2880	CIVIL ENGINEER GALLOWAY & COMPANY, INC. 1155 KELLY JOHNSON BLVD., SUITE 305 COLORADO SPRINGS, CO 80920 CONTACT: KYLE GOODWIN (719) 900-7227
ELECTRIC COLORADO SPRINGS UTILITIES (CSU) 1521 HANCOCK EXPRESSWAY COLORADO SPRINGS, CO 80947-1812 CONTACT: ROB ESTES (719) 668-5904	INTERNET CABLE COMPANY XFINITY/COMCAST	GEOTECHNICAL UNITED CONSULTING 625 HOLCOMB BRIDGE RD NORCROSS, GA 30071 CONTACT: CHRIS ROBEROS (770) 209-0029
SEWER & WATER COLORADO SPRINGS UTILITIES (CSU) 1521 HANCOCK EXPRESSWAY COLORADO SPRINGS, CO 80947-1812 CONTACT: MATTHEW ALCURAN (719) 668-8261	LANDSCAPE GALLOWAY & COMPANY, INC. 172 N EAST PROMONTORY, SUITE 274 FARMINGTON, UT 84025 CONTACT: JOHN SWAIN (303) 248-0482	BUILDING CANOPY MANUFACTURER FREY MOSS STRUCTURES 1801 ROCKDALE INDUSTRIAL BLVD. CONYERS, GEORGIA 30012 CONTACT: JENNIFER GOODMAN (770) 483-7543 EXT. 151
	TANK AND PRODUCT PIPING GALLOWAY & COMPANY, INC. 5500 GREENWOOD PLAZA BLVD SUITE 200 GREENWOOD VILLAGE, CO 80111 CONTACT: DAVE JONES (303) 962-8506	BUILDING/CANOPY DESIGN GREENBERG FARROW 3 EXECUTIVE DRIVE, SUITE 150 SOMERSET, NJ 08873 CONTACT: CHRIS CERBO (732) 537-0832

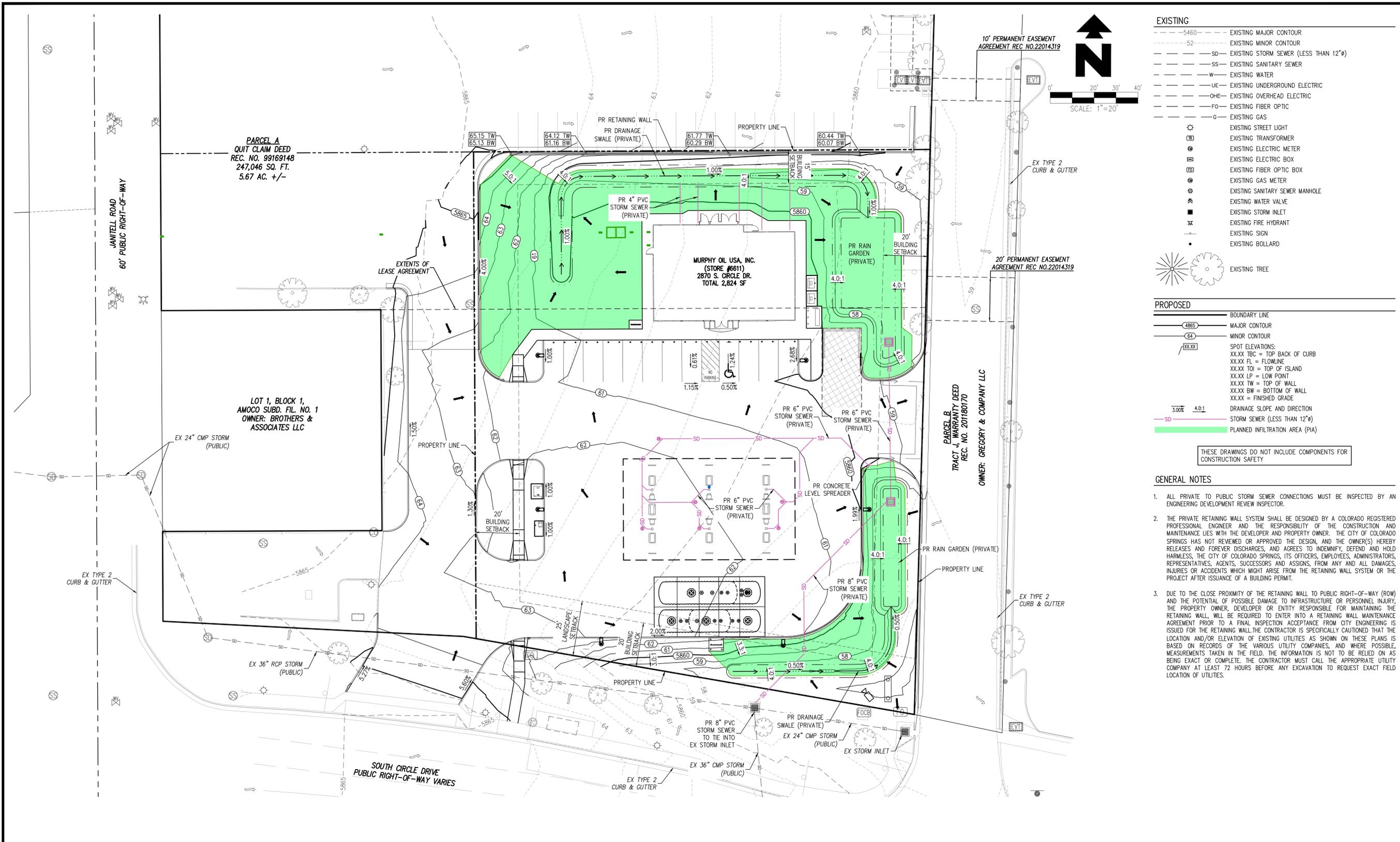
NOTE:

- ACCESSIBLE ROUTES, INCLUDING RAMPS AND SIDEWALKS, WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY'S STANDARD DRAWINGS AND SPECIFICATIONS. CITY'S ENGINEERING DEVELOPMENT REVIEW INSPECTOR WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENTS.
- PROPERTY OWNERS ARE RESPONSIBLE FOR THE MAINTENANCE OF SHARED COMMON TRACTS, ACCESS DRIVES, PRESERVATION AREAS, AND LANDSCAPE AREAS ADJACENT TO THEIR PROPERTY.
- ALL STREET TREES AND STREETSCAPE IMPROVEMENTS LOCATED IN THE ROW WILL BE MAINTAINED BY THE ADJUTING PROPERTY OWNER.
- ALL STOP SIGNS WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS. CONTACT TRAFFIC ENGINEERING, SIGNS & MARKINGS AT 719-385-6720 FOR ASSISTANCE.
- PER CITY CODE SECTION 7.4.2, ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF OR HAVE SHIELDING TO REDUCE OFF-SITE LIGHTING IMPACTS ONTO ADJACENT PROPERTIES AND ROADWAYS. ALL EXTERIOR LIGHTING SHALL BE ARRANGED TO MITIGATE LIGHT DIRECTED AWAY FROM ADJACENT PROPERTIES AND ANY PUBLIC RIGHT-OF-WAY. AN AMENDMENT TO THIS PLAN MAY BE REQUIRED IF THE LIGHTING TYPE IS CHANGED.
- ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND SIGNAGE SHALL MEET ALL APPLICABLE CITY CODE REQUIREMENTS INCLUDING:
- PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING ONE TO FIFTY (1:50) (2 PERCENT) IN ALL DIRECTIONS.
- ACCESSIBLE PARKING SPACES SHALL BE MARKED WITH FOUR INCH (4") LINES.
- ACCESSIBLE AISLES SHALL BE OUTLINED AND DIAGONALLY STRIPED AT FORTY FIVE DEGREE (45°) ANGLES IN A CONTRASTING COLOR SUCH AS YELLOW, WHITE, OR BLUE. EACH ACCESSIBLE PARKING SPACE SHALL BE DESIGNATED AS RESERVED BY A SIGN SHOWING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. VAN ACCESSIBLE SPACES SHALL HAVE AN ADDITIONAL SIGN CONTAINING THE DESIGNATION, "VAN ACCESSIBLE", MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY. EACH ACCESSIBLE PARKING SPACE SIGN SHALL BE NO SMALLER THAN EIGHTEEN INCHES (18") TALL BY TWELVE INCHES (12") WIDE. EACH VAN ACCESSIBLE SIGN SHALL BE NO SMALLER THAN SIX INCHES (6") TALL BY TWELVE INCHES (12") WIDE. SIGNS SHALL BE LOCATED AT THE HEAD OF THE SPACE WITH THE BOTTOM OF THE SIGN(S) BETWEEN FIVE FEET (5') AND SEVEN FEET (7') ABOVE THE FINISH FLOOR OR GROUND SURFACE.

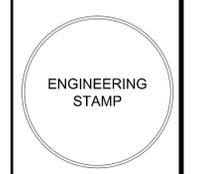
REVISION	DATE	DESCRIPTION
REV-	-	-



JOB NO.:
DEPN-25-XXXX
DATE:
7/1/2025
SHEET NO.:
C-0
1 OF 15



SHEET NO.
C-2
Sheet 3 of 15



PRELIMINARY GRADING PLAN
MURPHY OIL USA (NTI) #6611
2870 S. CIRCLE DRIVE
COLORADO SPRINGS COLORADO

REV-X
DATE: 7/17/2025
MOC118
KRG
PRN
JDM
DES
JDM
DRW

Galloway
1155 Kelly Johnson Blvd, Suite 305
Colorado Springs, CO 80920
719.900.7220 - GallowayUS.com

MURPHY OIL USA, INC.
200 PEACH STREET
EL DORADO, AR 71730

MURPHY USA

CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

811
Know what's below.
Call before you dig.

DEPN-25-XXXX
CITY APPROVAL STAMP:

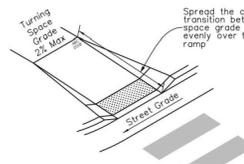
General Notes

- All work shall be done in accordance with the current City of Colorado Springs Engineering Division (the City) Standard Specifications.
- The Contractor shall obtain all required permits and notify City Engineering by 1500 hours the business day before inspection is required.
- Concrete shall have a minimum compressive strength of 4,000 psi and use a City-approved concrete mix.
- A broom finish, with sweeps perpendicular to the direction of pedestrian traffic, shall be applied to all ramp surfaces.
- The Contractor shall stamp their company name and construction date at the top right corner of the ramp as viewed from the street.
- Detectable warnings shall be installed at sidewalk to street transitions and shall consist of prefabricated truncated dome panels approved by the City. The detectable warning panels shall be set into the wet concrete. The domes shall be in a square grid pattern and aligned with pedestrian traffic.
- All detectable warning surfaces at the base of ramps shall start a minimum of 6 inches from the flowline of the curb and not be more than 8 inches from any point on the flowline of the curb, with the exception for ramps that are constructed within the curbed portion of the return as approved by the City.
- Ramp and detectable warning running slope shall be 8.3% or flatter except on long ramps as specified by Note 14.
- Drainage structures, traffic signal equipment, or other obstructions shall not be installed in the ramp or turning space areas.
- If a traffic signal pedestrian push button cannot be mounted within 10 inches horizontally of the pedestrian path or is obstructed from reach then a separate pedestrian push button post assembly shall be installed. Push buttons shall meet the requirements of MUTCD Chapter 4 for pedestrian detectors.
- Diagonal ramps on the apex are not allowed in new construction. A single diagonal ramp on the apex may be permitted during reconstruction or alteration where physical or site constraints prevent two ramps from being installed and shall require approval from the City on a case-by-case basis.
- Ramps, excluding flared sides or blended transitions, shall be wholly contained within the width of the crosswalk and/or the pedestrian street crossing that they serve.
- All ramp joints and gutter breaks shall be flush (0⁺/₈"⁺). The joint between the roadway surface and gutter pan shall be flush.
- In retrofit applications, to avoid chasing grade indefinitely on steep streets, ramp length is not required to exceed 15 feet.
- The counter slope of the gutter or road at the foot of a ramp, turning space, or blended transition shall not exceed 5.0%.
- Flared side slopes may exceed 10% only where they abut a non-walkable surface (landscaping or domed surface) or the adjacent circulation path is blocked such that it is unlikely for a pedestrian to walk across the flared side slope.
- The minimum turning space for new construction is 5 feet by 5 feet. The minimum turning space allowed for retrofit applications is 4 feet by 4 feet. In all types of construction where the turning space is constrained by an element taller than 2 inches such as curbs, the turning space shall be 5 feet by 5 feet.
- Contact the City Forestry Division if it is necessary to disturb trees or roots.
- All curb ramps shall have a minimum concrete thickness of 6 inches.
- All sidewalks and turning spaces shall have a cross slope between 0.5% and 2.0%.
- Ramps shall align with each other across the street.

Slope Table

The table below is intended to be used to convert between the percent (rise/run) and ratio (run/rise) methods of expressing the magnitude of a slope:

PERCENT SLOPE	0.5%	1.0%	2.0%	5.0%	7.1%	8.3%	10.0%
RATIO SLOPE	200:1	100:1	50:1	20:1	14:1	12:1	10:1



Ramp Cross Slope Transition To Match Roadway Profile

- Ramp cross slopes and turning spaces shall be:
- 2% max when a yield or stop controls present.
 - Permitted to equal the street grade when there is no yield or stop control, when a traffic signal is present, at a mid block crossing location, or in retrofit applications.

SIDEWALK CURB RAMPS GENERAL NOTES AND DETAILS

APPROVED: [Signature]

CITY ENGINEER

ISSUED: 3/28/2019 REVISIONS: DRAWING NO. D-8A

Section A-A

Plan View

Notes

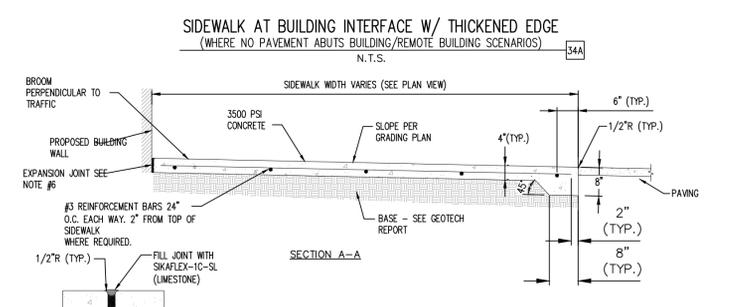
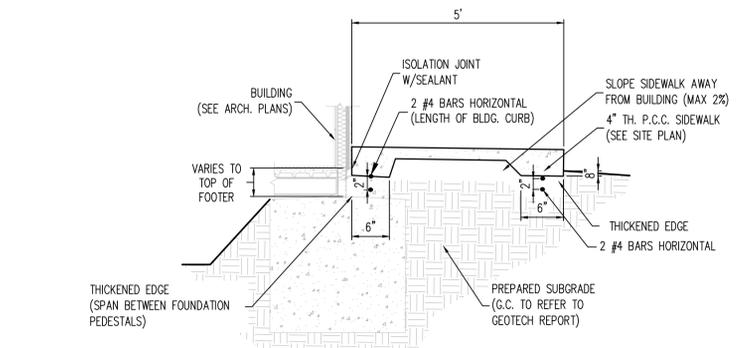
- Use of this ramp design in new construction requires approval of the City Engineer.
- Monolithic curb height at depressed turning space (TS) shall be equal to the amount the TS is lowered, e.g., if TS is lowered 4" the curb height would be 4". If the TS is lowered 2" or less the curb at the back of walk may be deleted.
- The pedestrian curb may be omitted if the ground surface at the back of the curb ramp or landing is the same elevation as the curb ramp or TS and there is no material to retain.
- Attached and detached sidewalk shall be 5 feet and 6 feet wide minimum, respectively. Sidewalk width may be reduced to 4 feet in retrofit applications not including the TS.
- Curb tooled joints shall be laid out so that at least one joint occurs within the width of the ramp.
- Sidewalk cross slope shall be 2% maximum measured perpendicular to the direction of walk for detached sidewalk and perpendicular to the curb for attached sidewalk.

SIDEWALK CURB RAMPS TYPE 3B CURB RAMP

APPROVED: [Signature]

CITY ENGINEER

ISSUED: 3/28/2019 REVISIONS: DRAWING NO. D-8F



Section A-A

Section B-B

Isometric View

Notes

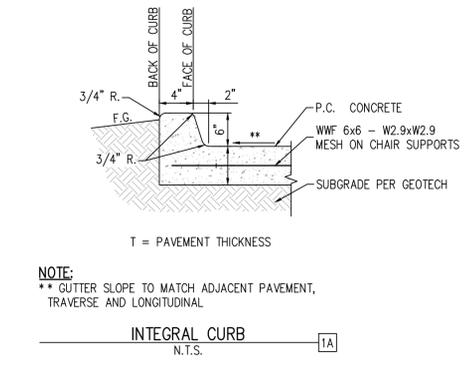
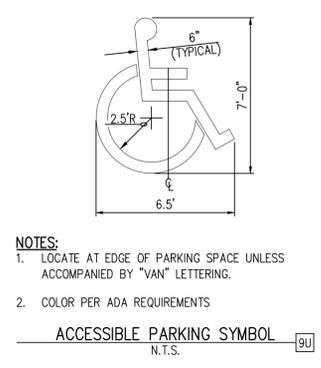
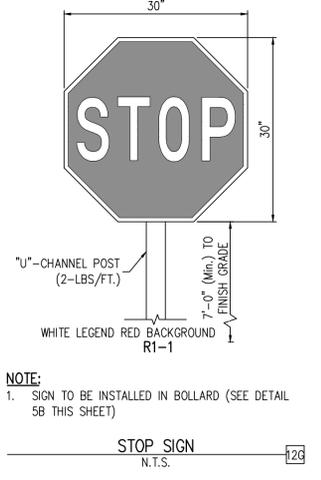
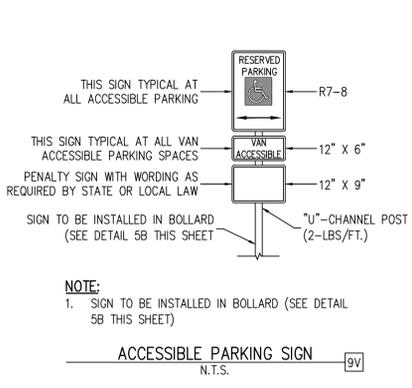
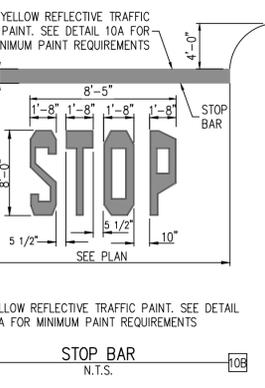
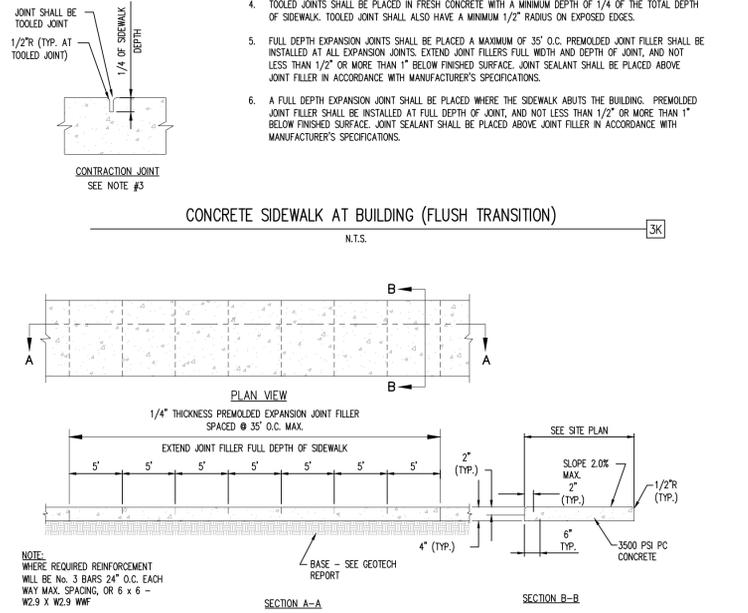
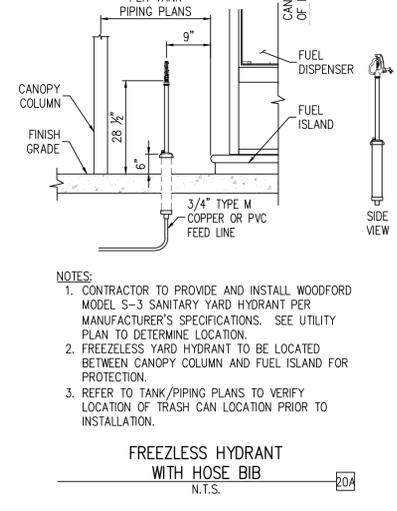
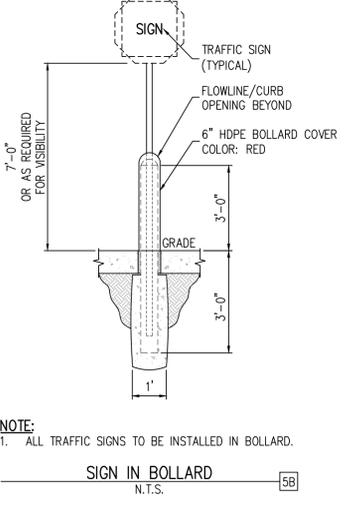
- Attached sidewalk shall be 6 feet wide minimum. Detached sidewalk shall be 5 feet wide minimum. Sidewalk width and turning space (TS) may be reduced to 4 feet in retrofit applications.
- Ramp width shall be the same as the approaching sidewalk or TS but not less than 4 feet. Ramp cross slope shall evenly transition between landing grade and street grade.
- Sidewalk cross slope shall be 2% maximum measured perpendicular to the direction of walk for detached sidewalk and perpendicular to the curb for attached sidewalk.
- Curb tooled joints shall be laid out so that at least one joint occurs within the width of each ramp.
- Tooled joints shall be constructed through the flare at the top of the detectable warning surface.

SIDEWALK CURB RAMPS TYPE 1 CURB RAMP

APPROVED: [Signature]

CITY ENGINEER

ISSUED: 3/28/2019 REVISIONS: DRAWING NO. D-8B



DEPN-25-XXXX

CITY APPROVAL STAMP:

SHEET NO. C-4

ENGINEERING STAMP

SITE DETAILS

MURPHY OIL USA (NTI) #6611

2870 S. CIRCLE DRIVE

COLORADO SPRINGS COLORADO

MURPHY OIL USA, INC.

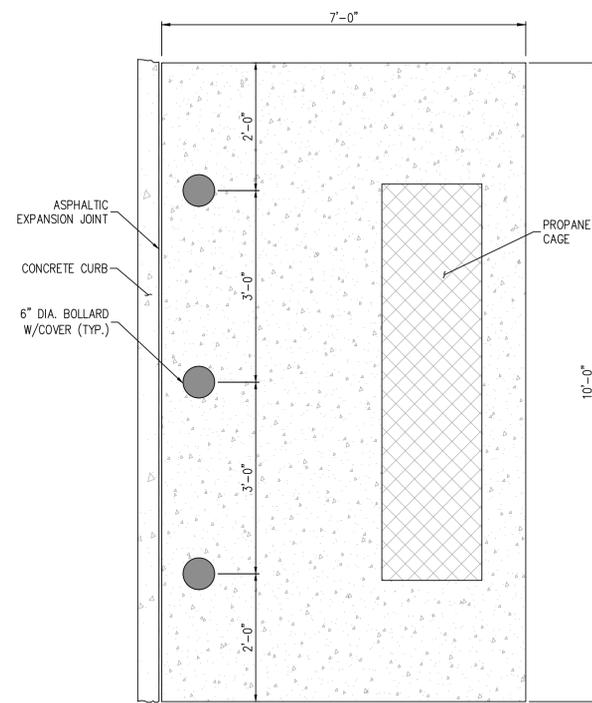
200 PEACH STREET

EL DORADO, AR 71730

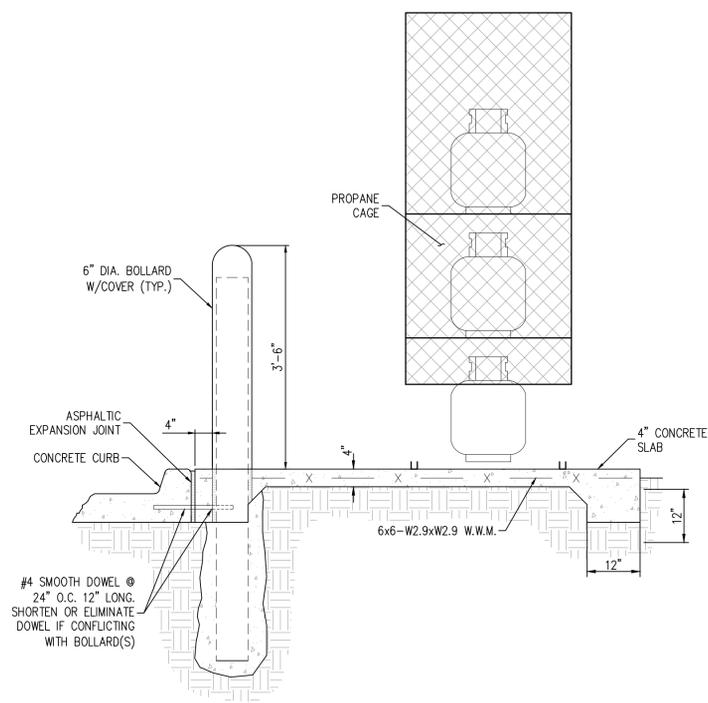
MURPHY OIL USA

1155 Kelly Johnson Blvd., Suite 305
Colorado Springs, CO 80920
719.900.7220 - GallowayUS.com

7/17/2025 MOC118 PRN PM DES DRW
REV-X DATE

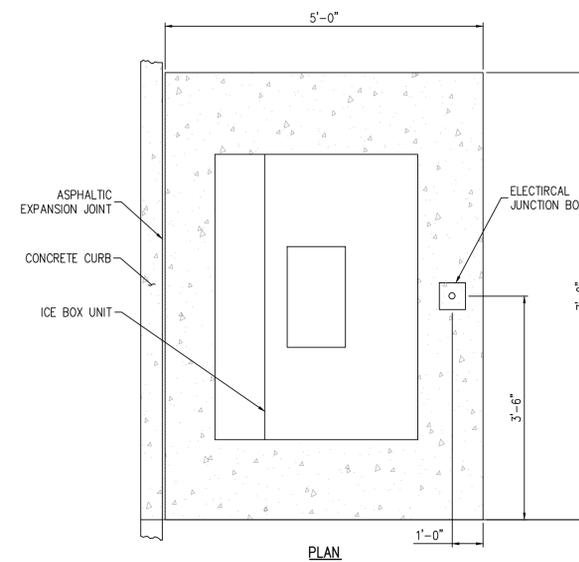


PLAN

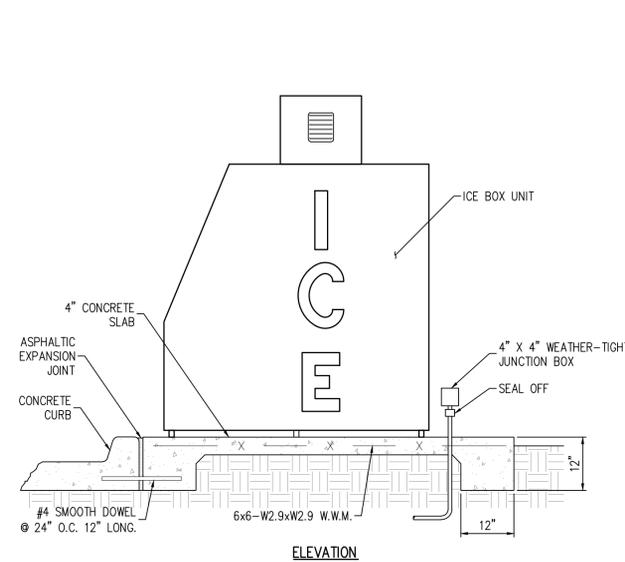


ELEVATION

NOTE:
SLOPE PAD FOR POSITIVE DRAINAGE (0.5% MIN.-1% MAX.)
PROPANE MOUNTING SLAB DETAIL 21U
N.T.S.



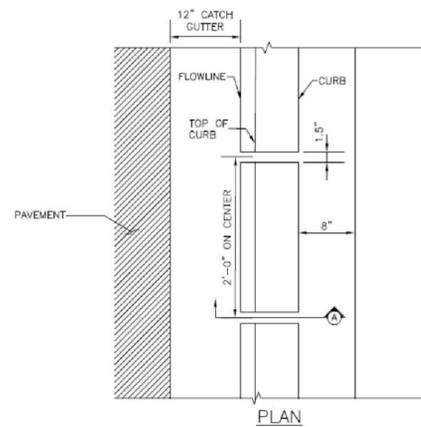
PLAN



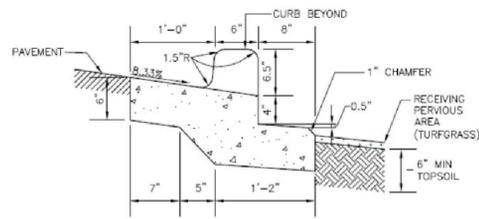
ELEVATION

NOTES:
1. SLOPE PAD FOR POSITIVE DRAINAGE (0.5% MIN.-1% MAX.)
2. SEE SITE PLAN FOR NUMBER OF ICE UNITS.
ICE BOX MOUNTING SLAB DETAIL 21P
N.T.S.

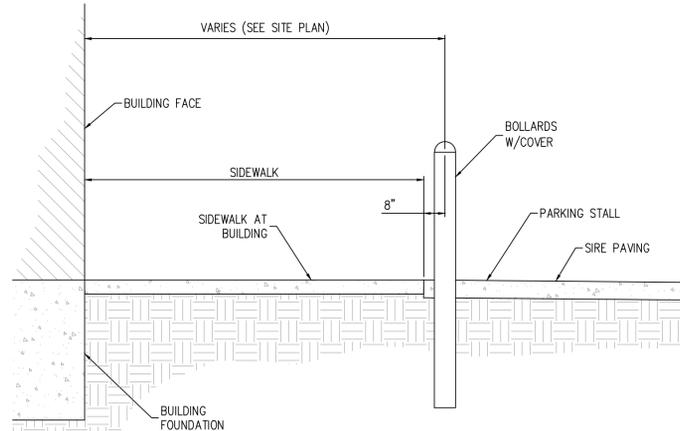
T-0 Quantifying Runoff Reduction



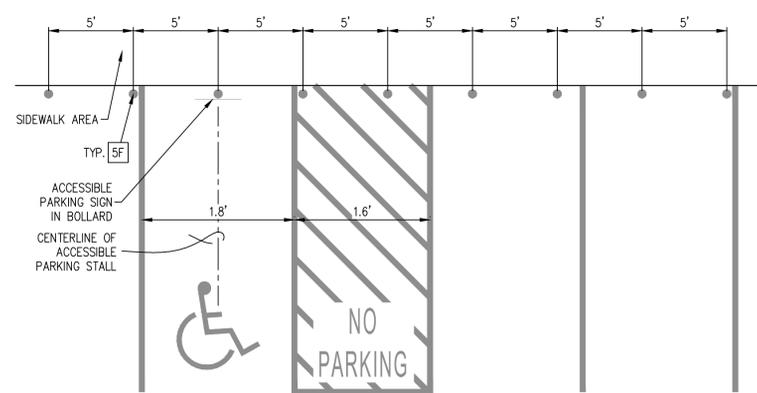
PLAN



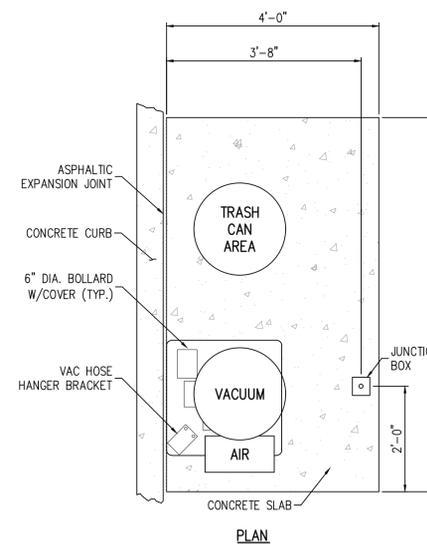
SECTION
Figure RR-5. Slotted curb.



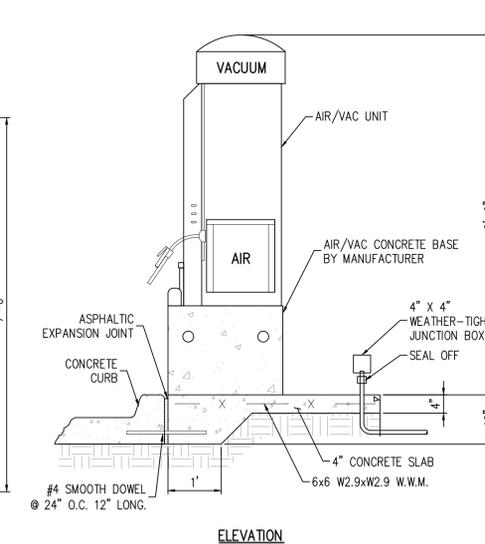
BOLLARD LOCATION AT BUILDING 20K
N.T.S.



BOLLARD SPACING AT BUILDING 20J
N.T.S.

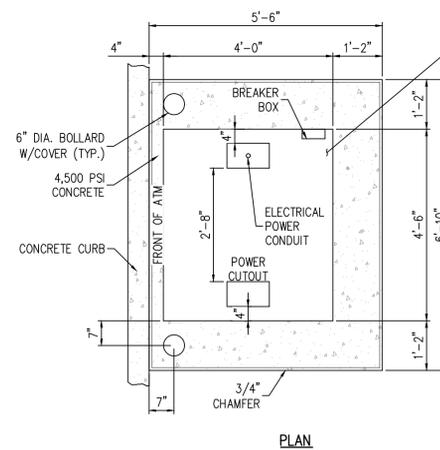


PLAN

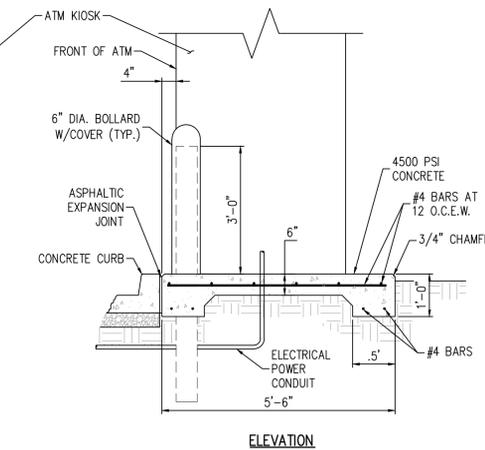


ELEVATION

NOTE:
SLOPE PAD FOR POSITIVE DRAINAGE (0.5% MIN.-1% MAX.)
AIR/VAC MOUNTING SLAB DETAIL 21G
N.T.S.



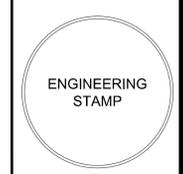
PLAN



ELEVATION

ATM PAD 21H
N.T.S.

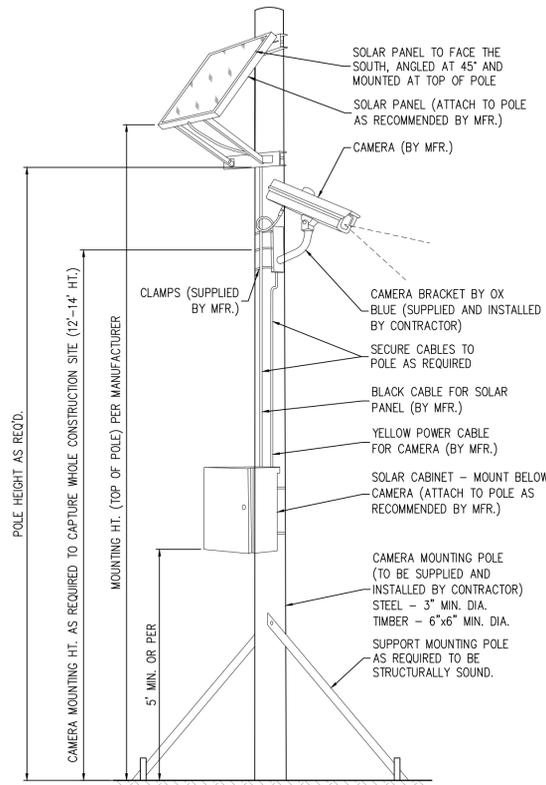
DEPN-25-XXXX
CITY APPROVAL STAMP:



REV-X 7/17/2025 MOC118 KRG JDM JDM
DATE PRN PM DES DRW
SITE DETAILS
MURPHY OIL USA (NTI) #6611
2870 S. CIRCLE DRIVE
COLORADO SPRINGS COLORADO



MURPHY OIL USA, INC.
200 PEACH STREET
EL DORADO, AR 71730
MURPHY OIL USA



NOTES:

- CAMERA AND SOLAR POWER STATION BY OX BLUE CORPORATION.
- CAMERA TO BE INSTALLED AND ACTIVATED PER MFR. REQUIREMENTS BY GC PRIOR TO CONSTRUCTION.
- MOUNTING POLE TO BE SUPPLIED AND INSTALLED BY CONTRACTOR.
- LAG BOLTS/CLAMPS USED TO ATTACH CAMERA, SOLAR PANEL AND CABINET TO POLE ARE TO BE SUPPLIED AND INSTALLED BY CONTRACTOR.
- CONSTRUCTION CAMERA SHALL BE COORDINATED WITH MURPHY CONSTRUCTION MANAGER AND PLACED ON MURPHY PROPERTY WHERE THE ENTIRE WORK SITE CAN BE VIEWED WITH CAMERA.
- MOUNTING POLE TO BE STRUCTURALLY SOUND & WITHSTAND 300 LBS OF FORCE AT 5' ABOVE GROUND.
- FOR ANY MOUNTING OF CAMERA ON OFF-SITE STRUCTURE, CONTRACTOR MUST SECURE PERMITS AND/OR PERMISSION FROM RESPECTIVE OWNER AND PROVIDE TO MURPHY.
- MOUNTING CAMERA SYSTEM ON JOB SHACK IS NOT ALLOWED.

CONSTRUCTION CAMERA
N.T.S. [18]

NOTES:

- DESIGN AND MANUFACTURER SHALL BE IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC).
- INVERTED-U SHAPE SHALL BE FORMED FROM ONE SEGMENT OF STEEL PIPE USING METHODOLOGY THAT MAINTAINS THE STRUCTURAL INTEGRITY OF THE STEEL PIPE.
- ALTERNATE BIKE RACKS SHALL BE ACCEPTED BY DENVER DEPARTMENT OF TRANSPORTATION AND INFRASTRUCTURE (DOT) PRIOR TO INSTALLATION.

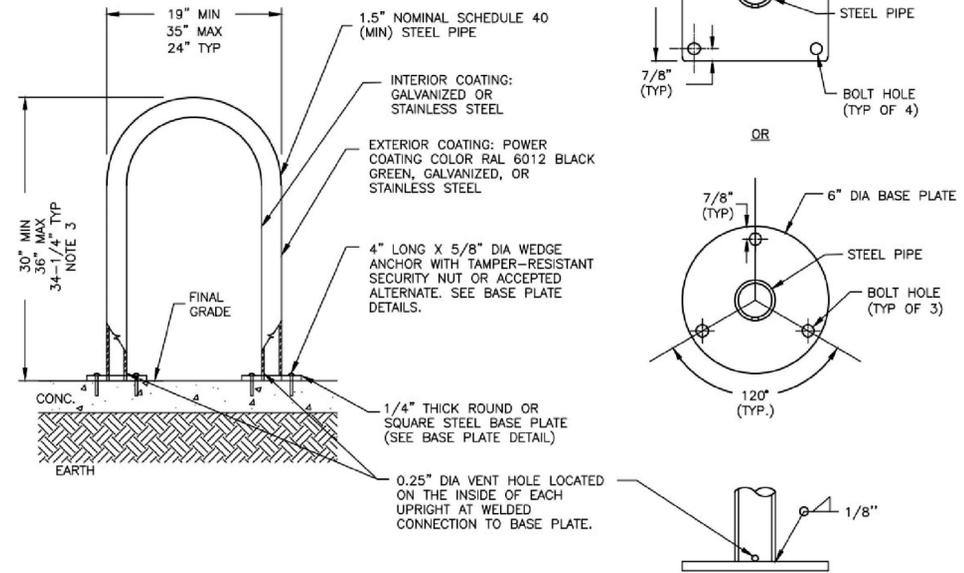
INSTALLATION NOTES FOR BIKE RACKS MOUNTED TO CONCRETE OR CONCRETE PAVERS:

- BIKE RACK SHALL BE MOUNTED TO FINISHED CONCRETE SURFACE USING POST-INSTALLED WEDGE ANCHORS WITH TAMPER-RESISTANT SECURITY NUT OR ACCEPTED ALTERNATE.
- BIKE RACK SHALL BE SET FIRM AND INSTALLED WITHIN A VERTICAL TOLERANCE OF 1/4-INCH FROM PLUMB. STEEL SHIMS MAY BE INSTALLED TO ACHIEVE VERTICAL TOLERANCE.

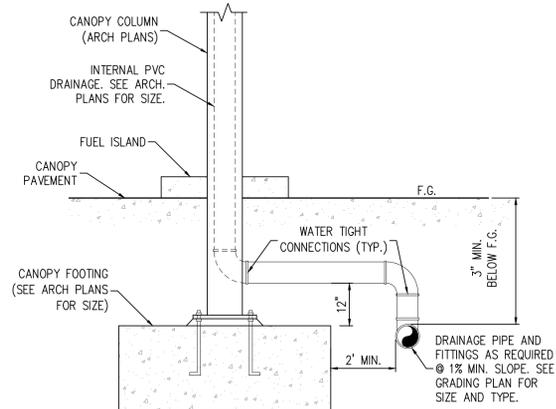
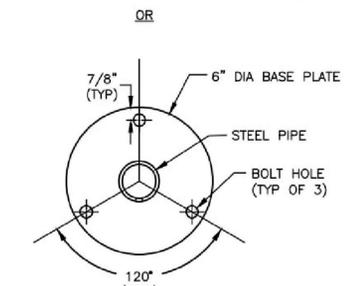
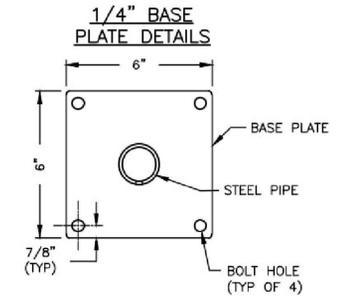
INSTALLATION NOTES FOR BIKE RACKS MOUNTED TO CONCRETE FOUNDATION BENEATH MASONRY PAVERS

- REMOVE MASONRY PAVER AND BEDDING MATERIAL AND PRESERVE FOR REINSTALLATION.
- CONSTRUCT UNREINFORCED CONCRETE FOOTING OR UNREINFORCED CONCRETE SLAB TO SUPPORT BIKE RACK. CONCRETE SHALL BE 5,000 PSI COMPRESSIVE STRENGTH (28-DAY STRENGTH).
 - CONCRETE FOOTINGS SHALL BE 12-INCHES DIAMETER AND 24-INCHES DEEP (MINIMUM). ONE CONCRETE FOOTING SHALL BE CONSTRUCTED FOR EACH BIKE RACK BASE PLATE.
 - ALTERNATIVELY, CONSTRUCT A 4-INCH-THICK UNREINFORCED CONCRETE SLAB THAT EXTENDS 1-FOOT (MINIMUM) OUTSIDE FOOTPRINT OF BIKE RACK ON ALL SIDES.
 - EXCAVATE SUBGRADE AS NECESSARY TO MAINTAIN TOP OF CONCRETE FOUNDATION AT BOTTOM OF BEDDING MATERIAL. DISPOSE OF EXCESS EXCAVATED MATERIAL AT ACCEPTED OFF-SITE LOCATION.
- MOUNT BIKE RACK TO CONCRETE USING INSTRUCTIONS PROVIDED THIS SHEET.
- REINSTALL MASONRY PAVERS. MASONRY PAVERS SHALL BE CUT TO ACCOMMODATE BIKE RACK (1/2-INCH INSTALLATION TOLERANCE).

INDIVIDUAL INVERTED U BIKE RACK



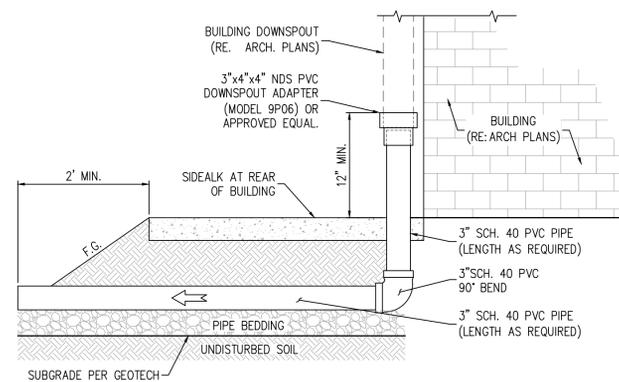
INVERTED U BIKE RACK DETAIL
N.T.S.



NOTES:

- PIPE MUST BE SCHEDULE 40 PVC
- WATER TIGHT CONNECTIONS REQUIRED.
- COORDINATE DOWNSPOUT COLLECTION PIPE WITH PRODUCT PIPING TO AVOID CONFLICTS.

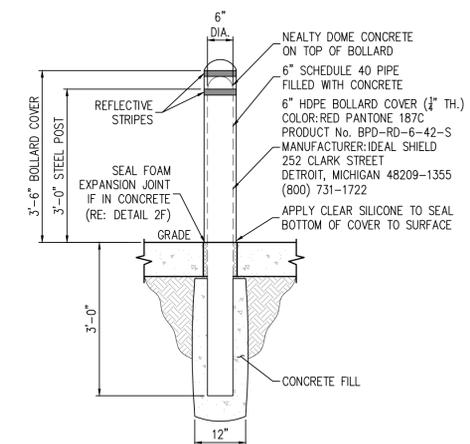
DOWNSPOUT COLLECTOR
N.T.S. [80]



NOTES:

- SEE CANOPY DRAINAGE SHEET FOR CONTINUATION.
- CONTRACTOR TO VERIFY THERE ARE NO CONFLICTS WITH OTHER UTILITY CONDUITS WHEN INSTALLING UNDERGROUND DRAINAGE PIPES.
- ROOF DRAINAGE SHALL BE PVC SCH. 40.
- ROOF DRAINAGE PIPE SHALL HAVE SMOOTH INTERIOR.

ROOF DRAIN DOWNSPOUT CONNECTION
N.T.S. [16]



NOTE:

- COVER SHALL BE SECURED TO POST WITH **NEOPRENE ADHESIVE TAPE** PER MANUFACTURER'S RECOMMENDATIONS.

STEEL BOLLARD WITH COVER
N.T.S. [5]

DEPN-25-XXXX

CITY APPROVAL STAMP:

ENGINEERING STAMP

SITE DETAILS
MURPHY USA (NT) #6611
2870 S. CIRCLE DRIVE
COLORADO SPRINGS COLORADO

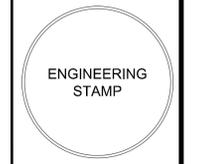
Galloway

1155 Kelly Johnson Blvd, Suite 305
Colorado Springs, CO 80920
719.900.7220 - GallowayUS.com

MURPHY OIL USA, INC.

200 PEACH STREET
EL DORADO, AR 71730

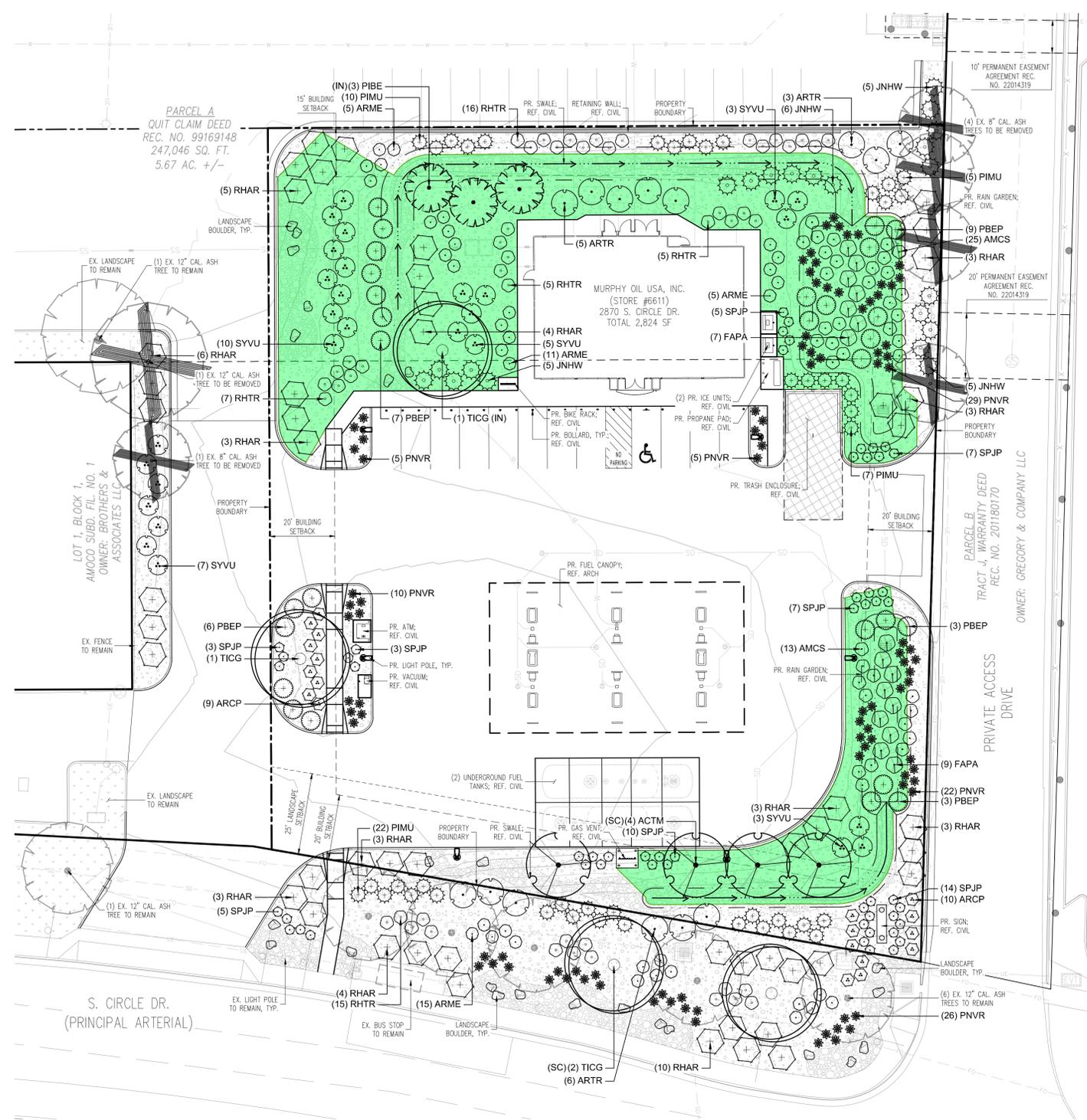
MURPHY USA



PRELIMINARY LANDSCAPE PLAN
MURPHY OIL USA (NT) #6611
2870 S. CIRCLE DRIVE
COLORADO SPRINGS COLORADO



MURPHY OIL USA, INC.
200 PEACH STREET
EL DORADO, AR 71730



PLANT SCHEDULE

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	CAL / SIZE	HT. X SPD.	WATER USE	CODE REQ.
DECIDUOUS TREES									
○	TICG	4	GREENSPIRE LITTLELEAF LINDEN	TILIA CORDATA 'GREENSPIRE'	B&B	2" CAL	40' X30'	MODERATE	ROW / INTERNAL
EVERGREEN TREES									
●	PIBE	3	BABY BLUE EYES COLORADO BLUE SPRUCE	PICEA PUNGENS 'BABY BLUE EYES'	B&B	6" HT	25' X15'	LOW	INTERNAL
ORNAMENTAL TREES									
○	ACTM	4	HOT WINGS TATARIAN MAPLE	ACER TATARICUM 'GARANN' TM	B&B	1.5" CAL	25' X20'	MODERATE	ROW
EXISTING TREES									
⊕	EXTR	6	EXISTING DECIDUOUS TREE	TO BE REMOVED	EXISTING				
⊕	EXOT	7	EXISTING DECIDUOUS TREE	TO REMAIN	EXISTING				

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HT. X SPD.	WATER USE	CODE REQ.
DECIDUOUS SHRUBS								
○	AMCS	38	LEADPLANT	AMORPHA CANESCENS	#5 CONT.	4' X4'	VERY LOW	
○	ARME	36	BLACK CHOKEBERRY	ARONIA MELANOCARPA	#5 CONT.	6' X4'	LOW	SCREEN
○	ARTR	14	BIG SAGEBRUSH	ARTEMISIA TRIDENTATA	#5 CONT.	6' X8'	VERY LOW	SCREEN
○	FAPA	16	APACHE PLUME	FALLUGIA PARADOXA	#5 CONT.	5' X5'	VERY LOW	SCREEN
○	PBEP	28	PAWNEE BUTTES SAND CHERRY	PRUNUS BESSEYI 'P0115' TM	#5 CONT.	1.5' X6'	VERY LOW	
○	RHAR	50	GRO-LOW FRAGRANT SUMAC	RHUS AROMATICA 'GRO-LOW'	#5 CONT.	3' X8'	LOW	
○	RHTR	48	SKUNKBUSH SUMAC	RHUS TRILOBATA	#5 CONT.	4' X4'	VERY LOW	SCREEN
○	SPJP	54	LIME MOUND SPIRAEA	SPIRAEA JAPONICA 'LIME MOUND'	#5 CONT.	2' X3'	MODERATE	
○	SYVU	28	COMMON LEAC	SYRINGA VULGARIS	#5 CONT.	6' X6'	LOW	
EVERGREEN SHRUBS								
○	ARCP	19	PANCHITO MANZANITA	ARCTOSTAPHYLOS X COLORADENSIS 'PANCHITO'	#5 CONT.	2' X4'	MODERATE	
○	JNHW	21	BLUE RUG JUNIPER	JUNIPERUS HORIZONTALIS 'WILTONIF'	#5 CONT.	6' X6'	VERY LOW	
○	PIMU	44	BIG TUNA MUGO PINE	PINUS MUGO 'BIG TUNA'	#5 CONT.	6' X5'	LOW	SCREEN
○	PNVR	97	SHENANDOAH SWITCH GRASS	PANICUM VIRGATUM 'HOT ROD'	#1 CONT.	4' X3'	LOW	SCREEN

LANDSCAPE MATERIALS SCHEDULE

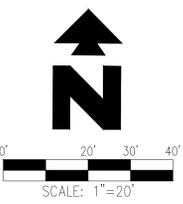
SYMBOL	DESCRIPTION	QTY	TYPE
□	EXISTING LANDSCAPE TO REMAIN	2,874 SF	
■	MULCH	3,915 SF	2"-4" RIVER ROCK COBBLE
■	MULCH	23,974 SF	3/4" SADDLEBACK SWIRL ROCK MULCH

PERCENT SIGNATURE PLANTS

TREES	QTY	PERCENT
TOTAL PROPOSED TREES:	11	
TOTAL SIGNATURE TREES:	11	100%
% SIGNATURE TREES:		100%
SHRUBS		
TOTAL PROPOSED SHRUBS:	396	
TOTAL SIGNATURE SHRUBS:	368	93%
% SIGNATURE SHRUBS:		93%
GRASSES		
TOTAL PROPOSED GRASSES:	97	
TOTAL SIGNATURE GRASSES:	97	100%
% SIGNATURE GRASSES:		100%

LANDSCAPE REQUIREMENTS

CODE SECTION	CATEGORY	FORMULA	CALCULATION	REQUIRED	PROVIDED	ABBREVIATION DENOTED ON PLAN
7.4.905	STREETSCAPE	S. CIRCLE DR. (PRINCIPAL ARTERIAL) 25 FT SETBACK & 1 TREE / 20 LF	203 LF² / 20	25 FT SETBACK & 11 TREES	25 FT SETBACK & 11 TREES (5 EXISTING)	(SC)
7.4.908.B(2)	INTERNAL LANDSCAPE	NON RESIDENTIAL - 5%	TOTAL AREA 48,850 SF x 0.05	2,443 SF	26,618 SF	N/A
7.4.908.C.1	INTERNAL LANDSCAPE	1 TREE / 500 SF	2,443 SF / 500	5 TREES	5 TREES	(IN)
7.4.909.C	SCREENING	VEGETATION SCREENING	TRASH ENCLOSURE	56 LF SCREENED	56 LF SCREENED	NA
7.4.909.C	SCREENING	VEGETATION SCREENING	FUELING AREA (S. CIRCLE DR.)	203 LF SCREENED	203 LF SCREENED	NA
7.4.904.3	GROUND COVER	75% LIVE GROUND COVERAGE LANDSCAPE AREAS	27,889 SF LANDSCAPE AREA x 0.75	20,917 SF	20,917 SF	NA



NOTE:
CONTRACTOR TO REPLACE EXISTING LANDSCAPE DAMAGED BY CONSTRUCTION IN KIND.

SOIL AMENDMENTS & FERTILIZER RECOMMENDATIONS

Required Soils Amendments & Fertilizers
Site Soil Type: *Nunn clay loam / Organic Material Amount - 3%*

Ground Plane	Class 1 OM Soil	E.C., Salt or PH	Rototill Depth
Treatment	Amendment	Treatment	
	3 CU. YD. per	Not	
Shrub Bed	1,000 SF	Recommended	6-8 inch min.

- THE PROPOSED MIX SHALL BE CHOSEN FROM THE CURRENT COLORADO SPRINGS UTILITIES APPROVED SOIL AMENDMENT SUPPLIERS.
- SLOW-RELEASE FERTILIZERS ARE REQUIRED FOR SANDY SOILS.
- CONTRACTOR TO OBTAIN SOIL SAMPLE AND FOLLOW LAB TEST RESULTS AMENDMENT RECOMMENDATIONS.

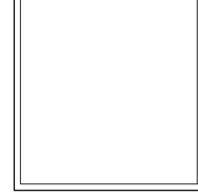
CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

DEPN-25-XXXX

CITY APPROVAL STAMP:



LANDSCAPE NOTES

- GENERAL**
- ALL WORK SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES, STANDARDS, AND SPECIFICATIONS.
 - LANDSCAPE DESIGN IS DIAGRAMMATIC IN NATURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN TAKEOFFS AND QUANTITY CALCULATIONS. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE LANDSCAPE LEGEND, THE PLAN QUANTITY AS SHOWN ON THE PLAN SHALL TAKE PRECEDENCE AND NOTIFY THE LANDSCAPE ARCHITECT OF THESE DISCREPANCIES. MINOR ADJUSTMENTS TO THE LANDSCAPE MATERIAL AND LOCATIONS MAY BE PROPOSED FOR CITY CONSIDERATION AT THE CONSTRUCTION DOCUMENT STAGE TO RESPOND TO MARKET AND FIELD CONDITIONS. HOWEVER, THERE SHALL BE NO REDUCTION IN THE NUMBER AND SIZE OF MATERIALS.
 - CONTRACTOR SHALL MAKE HIMSELF AWARE OF THE LOCATIONS OF EXISTING AND PROPOSED UTILITIES, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE UTILITIES AND/OR ANY INJURY TO ANY PERSON. THIS DRAWING IS PART OF A COMPLETE SET OF CONTRACT DOCUMENTS. UNDER NO CIRCUMSTANCES SHOULD THIS PLAN BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE AND REVIEW ALL RELATED PLANS AND DOCUMENTS.
 - ALL UTILITY EASEMENTS SHALL REMAIN UNOBTSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR MAINTENANCE EQUIPMENT.
 - THE CONTRACTOR SHALL TAKE EXTREME CARE NOT TO DAMAGE ANY EXISTING PLANTS INDICATED AS "TO REMAIN". ANY SUCH PLANTS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED WITH THE SAME SPECIES, SIZE, AND QUANTITY AT THE CONTRACTOR'S OWN EXPENSE, AND AS ACCEPTABLE TO THE OWNER. REFER TO THE TREE PROTECTION NOTES ON THE PLANS (AS APPLICABLE).
 - LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THEN AN APPROVAL WILL BE OBTAINED FROM THE CITY. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
 - ALL CONSTRUCTION DEBRIS AND MATERIAL SHALL BE REMOVED AND CLEANED OUT PRIOR TO INSTALLATION OF TOPSOIL, TREES, SHRUBS, AND TURF.
 - FOR ALL INFORMATION ON SURFACE MATERIAL OF WALKS, DRIVES, AND PARKING LOTS, SEE THE SITE PLAN. SEE PHOTOMETRIC PLAN FOR FREE STANDING LIGHTING INFORMATION.
 - THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT ONE WEEK PRIOR TO BEGINNING CONSTRUCTION.
 - WINTER WATERING SHALL BE AT THE EXPENSE OF THE CONTRACTOR UNTIL SUCH TIME AS FINAL ACCEPTANCE IS RECEIVED.
 - ALL LANDSCAPE CONSTRUCTION PRACTICES, WORKMANSHIP, AND ETHICS SHALL BE IN ACCORDANCE WITH INDUSTRY STANDARDS SET FORTH IN THE CONTRACTORS HANDBOOK PUBLISHED BY THE COLORADO LANDSCAPE CONTRACTORS ASSOCIATION.
 - LANDSCAPE AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY.
- FINISH GRADING AND SOIL PREPARATION**
- CONTRACTOR SHALL CONSTRUCT AND MAINTAIN FINISH GRADES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT. AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.
 - AFTER FINISH GRADES HAVE BEEN ESTABLISHED, IT IS RECOMMENDED THAT THE CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: GENERAL SOIL FERTILITY, PH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ABSORPTION RATIO (SAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL. CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
 - THE CONTRACTOR SHALL RECOMMEND INSTALLATION OF SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT FOR THE THE OWNER/OWNER'S REPRESENTATIVE CONSIDERATION.
 - ALL PARKING ISLAND SOIL TO BE TILLED OR AMENDED TO A MINIMUM DEPTH OF 30".

- PLANTING**
- ALL DECIDUOUS TREES SHALL HAVE FULL, WELL-SHAPED HEADS. ALL EVERGREENS SHALL BE UN-SHEARED AND PLANTED TO THE GROUND, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
 - ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT SHALL BE THE SOLE JUDGE AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
 - ALL TREES SHALL BE GUYED AND WOOD STAKED AS PER DETAILS. NO "T-STAKES" SHALL BE USED FOR TREES.
 - ALL PLANT MATERIALS SHALL BE TRUE TO TYPE, SIZE, SPECIES, QUALITY, AND FREE OF INJURY, BROKEN ROOT BALLS, PESTS, AND DISEASES, AS WELL AS CONFORM TO THE MINIMUM REQUIREMENTS DESCRIBED IN THE "AMERICAN STANDARD FOR NURSERY STOCK". FOLLOW GREENCO TREE PLANTING RECOMMENDATIONS FOR MINIMUM QUALITY REQUIREMENTS FOR TREES.
 - ALL TREE AND SHRUB BED LOCATIONS ARE TO BE STAKED OUT ON SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - ALL TREES PLANTED ADJACENT TO PUBLIC AND/OR PEDESTRIAN WALKWAYS SHALL BE PRUNED CLEAR OF ALL BRANCHES BETWEEN GROUND AND A HEIGHT OF EIGHT (8) FEET FOR THAT PORTION OF THE PLAN LOCATED OVER THE SIDEWALK AND/OR ROAD.
 - ALL PLANT MATERIAL SHALL NOT BE PLANTED PRIOR TO INSTALLATION OF TOPSOIL.
 - ALL PLANT BEDS SHALL BE CONTAINED WITH STEEL EDGER. STEEL EDGER IS NOT REQUIRED ALONG CURBS, WALKS OR BUILDING FOUNDATIONS. ALL EDGING SHALL OVERLAP AT JOINTS A MINIMUM OF 6-INCHES, AND SHALL BE FASTENED WITH A MINIMUM OF 4 PINS PER EACH 10 FOOT SECTION. THE TOP OF ALL EDGING MATERIAL SHALL BE A ROLLED TOP AND 1/2 INCH ABOVE THE FINISHED GRADE OF ADJACENT LAWN OR MULCH AREAS. COLOR: GREEN.
 - THE DEVELOPER, HIS SUCCESSOR, OR ASSIGNEE SHALL BE RESPONSIBLE FOR ESTABLISHING AND CONTINUING A REGULAR PROGRAM OF MAINTENANCE FOR ALL LANDSCAPED AREAS. SEE LANDSCAPE GUARANTEE AND MAINTENANCE NOTE.
 - A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS.
 - LANDSCAPE CONTRACTOR TO SUBMIT SAMPLES OF MISCELLANEOUS LANDSCAPING MATERIALS TO THE LANDSCAPE ARCHITECTS AND OWNERS REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION, I.E., MULCH, EDGER, LANDSCAPE FABRIC, ETC.

- MULCHING**
- AFTER ALL PLANTING IS COMPLETE, THE CONTRACTOR SHALL INSTALL A MINIMUM 4" THICK LAYER OF MULCH AS SPECIFIED IN THE PLANTING LEGEND. INSTALL A 4" THICK RING OF DOUBLE SHREDDED CEDAR BARK MULCH AROUND ALL PLANT MATERIAL IN ROCK MULCH BEDS WHERE LANDSCAPING IS SHOWN ON THE PLANS. WOOD MULCH RING SIZE SHALL BE THE CONTAINER SIZE OF THE SHRUBS, PERENNIALS, AND ORNAMENTAL GRASSES. TREE RING SIZE SHALL A MIN OF 3' DIA.
 - ALL MULCH SHALL BE HARVESTED IN A SUSTAINABLE MANNER FROM A LOCAL SOURCE.
 - INSTALL DEWITT PRO-5 WEED BARRIER FABRIC UNDER ALL ROCK MULCH SHRUB BEDS SPECIFIED ON THE PLANS ONLY. NO LANDSCAPE FABRIC SHALL BE USED IN WOOD MULCH AREAS. NO PLASTIC WEED BARRIERS SHALL BE SPECIFIED.
 - ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.
 - ALL PLANTING AREAS WITH LESS THAN A 4:1 GRADIENT SHALL RECEIVE A LAYER OF MULCH. TYPE AND DEPTH PER PLANS. SUBMIT 1 CUBIC FOOT SAMPLE OF MULCH (ONE SAMPLE PER TYPE) TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. THE MULCH SHALL BE SPREAD EVENLY THROUGHOUT ALL PLANTING AREAS EXCEPT SLOPES 4:1 OR STEEPER, OR AS OTHERWISE DENOTED ON THE PLAN. ABSOLUTELY NO EXPOSED GROUND SHALL REMAIN IN AREAS TO RECEIVE MULCH AFTER MULCH HAS BEEN INSTALLED.
 - ALL PLANTING AREAS ON SLOPES OVER 4:1 SHALL RECEIVE COCONUT FIBER EROSION CONTROL NETTING FROM ROLLS. NETTING SHALL BE #CT-125, AS MANUFACTURED BY NORTH AMERICAN GREEN (OR EQUAL). INSTALL AND STAKE PER MANUFACTURER'S SPECIFICATIONS. SEE ALSO THE CIVIL ENGINEER'S EROSION CONTROL PLAN.

TREE PROTECTION NOTES:

- USE CITY OF COLORADO SPRINGS TREE PROTECTION NOTES (IF AVAILABLE). TREE PROTECTION NOTES BELOW SHALL BE USED FOR FURTHER INTEGRATION.
- "PROTECTED ZONE" FOR EXISTING TREES: BEFORE BEGINNING ANY DEMOTION OR CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL INSTALL TEMPORARY FENCING AROUND ALL EXISTING TREES WITHIN THE CONSTRUCTION ZONE THAT ARE TO BE SAVED. THE FENCE SHALL BE INSTALLED NO CLOSER TO THE TREE THAN THE EDGE OF THE TREE'S PROTECTED ZONE, GENERALLY DEFINED AS THE AREA BEGINNING FIVE FEET OUTSIDE OF THE TREE'S DRIPLINE AND EXTENDING TOWARDS THE TREE (OR AS FAR AWAY FROM THE TRUNK AS PRACTICABLE). THE FENCING SHALL BE OF A MATERIAL AND HEIGHT ACCEPTABLE TO THE LANDSCAPE ARCHITECT. ALL CONTRACTORS AND THEIR CREWS SHALL NOT BE ALLOWED INSIDE THIS "PROTECTED ZONE" NOR SHALL THEY BE ALLOWED TO STORE OR DUMP FOREIGN MATERIALS WITHIN THIS AREA. NO WORK OF ANY KIND, INCLUDING TRENCHING, SHALL BE ALLOWED WITHIN THE PROTECTED ZONE EXCEPT AS DESCRIBED BELOW. THE FENCING SHALL REMAIN AROUND EACH TREE TO BE SAVED UNTIL THE COMPLETION OF CONSTRUCTION OPERATIONS.
- TEMPORARY MULCH: TO ALLEVIATE SOIL COMPACTION IN ANTICIPATED AREAS OF HIGH CONSTRUCTION TRAFFIC, AND ONLY WHERE FENCING CANNOT BE SET FIVE FEET OUTSIDE OF THE DRIPLINE, THE CONTRACTOR SHALL INSTALL A LAYER OF MULCH, 9"-12" THICK, OVER ALL EXPOSED EARTH FROM THE TREE TRUNK TO 5' OUTSIDE OF THE DRIPLINE. THIS LAYER SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. WHEN PLANTING OPERATIONS ARE COMPLETED, THE MULCH SHALL BE REDISTRIBUTED THROUGHOUT ALL PLANTING AREAS IN A 3" THICK "PERMANENT" MULCH LAYER.
- NECESSARY WORK: WHEN IT BECOMES NECESSARY TO ENTER THE "PROTECTED ZONE", SUCH AS FOR FINE GRADING, IRRIGATION INSTALLATION AND PLANTING OPERATIONS, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE FOLLOWING RULES:
 - EVERY EFFORT SHALL BE MADE TO PRESERVE THE EXISTING GRADE AROUND PROTECTED TREES IN AS WIDE AN AREA AS POSSIBLE.
 - TRENCHING WITHIN THE PROTECTED ZONE OF EXISTING TREES SHALL BE PERFORMED BY HAND, AND WITH EXTREME CARE NOT TO SEVER ROOTS 1-1/2" IN DIAMETER AND LARGER. WHERE ROOTS 1-1/2" IN DIAMETER AND LARGER ARE ENCOUNTERED, THE CONTRACTOR SHALL TUNNEL UNDER SAID ROOTS. EXPOSED ROOTS THAT HAVE BEEN TUNNELED UNDER SHALL BE WRAPPED IN WET BURLAP AND KEPT MOIST WHILE THE TRENCH IS OPEN.
 - WHERE ROOTS 1-1/2" IN DIAMETER OR LARGER MUST BE CUT DUE TO EXTENSIVE GRADE CHANGES, THOSE ROOTS MUST BE EXPOSED BY HAND DIGGING AND CUT CLEANLY. RAGGED CUTS GENERALLY DO NOT HEAL PROPERLY, AND MAY LEAVE THE TREE OPEN TO PESTS AND PATHOGENS.
 - WHERE TRENCHING NEAR TREES HAS ALREADY OCCURRED FROM PREVIOUS CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL MAKE EVERY EFFORT TO CONFINE HIS TRENCHING OPERATIONS TO THE PREVIOUSLY-CREATED TRENCHES, WHILE ADHERING TO THE CONDITIONS SET FORTH IN 3B.
- POTENTIAL CONFLICTS: THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARBORIST SHOULD ANY POTENTIAL CONFLICTS ARISE BETWEEN THESE SPECIFICATIONS AND/OR LARGE ROOTS ENCOUNTERED IN THE FIELD, AND CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL NOT TAKE ANY ACTION IN SUCH CONFLICTS WITHOUT THE ARBORIST'S WRITTEN APPROVAL. THE ARBORIST SHALL HAVE FINAL AUTHORITY OVER ALL METHODS NECESSARY TO HELP ENSURE THE PROTECTION AND SURVIVAL OF EXISTING TREES.
- PRUNING: PRUNE ONLY THE TREES THAT ARE INDICATED ON THE PLANS AS REQUIRING PRUNING. PRUNE TREES ACCORDING TO INTERNATIONAL SOCIETY OF ARBORICULTURE / ANSI A300 STANDARDS:
 - REMOVE ALL DEAD WOOD.
 - PRUNE LIVE WOOD FOR HEALTH OR STRUCTURAL REASONS ONLY, INCLUDING THE NEED TO ELIMINATE DISEASED OR DAMAGED GROWTH, ELIMINATE STRUCTURALLY UNSOUND GROWTH, REDUCE THE POTENTIAL FOR WIND TOPPLING OR WIND DAMAGE, OR TO MAINTAIN GROWTH WITHIN LIMITED SPACE. DO NOT REMOVE MORE THAN 25% OF ANY TREE'S LIVE FOLIAGE IN ANY ONE GROWING SEASON. PRUNE ONLY TO INTERNATIONAL SOCIETY OF ARBORICULTURE/ANSI A300 STANDARDS, AND ONLY UNDER THE DIRECT SUPERVISION OF A CERTIFIED ARBORIST.
 - FINAL CUTS SHALL BE MADE JUST OUTSIDE THE SHOULDER RING AREA. EXTREMELY FLUSH CUTS WHICH PRODUCE LARGE WOUNDS SHALL NOT BE MADE.
 - ALL TRIMMING CUTS SHALL BE PERFORMED IN SUCH A MANNER AS TO PROMOTE THE NATURAL GROWTH AND SHAPE OF EACH TREE SPECIES.
 - IMPROPER PRUNING METHODS INCLUDING, BUT NOT LIMITED TO, "TOPPING", "TIPPING", "HEADING BACK", "DEHORNING", AND "LIONTAILING" WILL NOT BE ALLOWED. THE CONTRACTOR SHALL PAY FOR ALL WORK NECESSARY TO CORRECT SUCH PRUNING WHEN PERFORMED BY HIS CREWS OR SUBCONTRACTORS.
 - SHOULD THE CONTRACTOR REQUIRE MORE INFORMATION, THE CONTRACTOR SHALL CONTACT THE ISA AT (217) 355-9411 FOR A COPY OF THE ANSI A300 PRUNING STANDARD. THE CONTRACTOR SHALL ADHERE TO THE METHODS AND PRACTICES SET FORTH IN THIS DOCUMENT.
- LANDSCAPE AND IRRIGATION (NATIVE TREES ONLY): ANY FUTURE LANDSCAPE AND IRRIGATION SHOULD ADHERE TO THE FOLLOWING GUIDELINES:
 - NO IRRIGATION OR PLANTING SHOULD OCCUR CLOSER THAN 8'-10" FROM THE TRUNK.
 - WHERE IRRIGATION DOES OCCUR WITHIN THE PROTECTED ZONE, DRIP IRRIGATION SHOULD BE USED WHEREVER POSSIBLE. ADDITIONALLY, ONLY PLANTS WITH LOW WATER NEEDS SHOULD BE PLANTED WITHIN THE PROTECTED ZONE. SPACED APART WHERE CLOSER TO THE TREE, PLANTS MAY BE SPACED CLOSER TOGETHER NEAR THE EDGE OF THE PROTECTED ZONE.

CITY OF COLORADO SPRINGS STANDARD LANDSCAPE NOTES

- A FINAL LANDSCAPE AND IRRIGATION PLAN, WITH APPLICABLE SUPPORTING MATERIAL, SHALL BE SUBMITTED AT TIME OF BUILDING PERMIT APPLICATION AND SHALL BE APPROVED BEFORE ANY BUILDING PERMIT APPROVAL, ANY LANDSCAPE OR IRRIGATION CONSTRUCTION, AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ALL PROPOSED LANDSCAPING SHALL BE WATERED BY AN AUTOMATIC IRRIGATION SYSTEM WHICH WILL PROVIDE DRIP IRRIGATION TO ALL SHRUB BEDS AND TREES WITHIN NATIVE SEED AREAS AND SPRAY IRRIGATION TO ALL HIGH-WATER USE TURF AND NATIVE SEED AREAS.
- THE OWNER OR DEVELOPER IS REQUIRED TO PROVIDE INSPECTION AFFIDAVITS EXECUTED BY THE COLORADO LICENSED LANDSCAPE ARCHITECT OR CERTIFIED IRRIGATION DESIGNER OF RECORD FOR THE PROJECT, WHICH CERTIFIES THAT THE PROJECT WAS INSTALLED AND IN COMPLIANCE WITH THE APPROVED FINAL LANDSCAPE AND IRRIGATION PLAN ON FILE IN CITY PLANNING. THIS SHOULD REQUIRE LIMITED CONSTRUCTION OBSERVATION VISITS TO ACCURATELY COMPLETE THE AFFIDAVITS, WHEN READY TO CALL FOR INSPECTION AND SUBMIT AFFIDAVITS, FIRST CONTACT THE CITY PLANNER OF RECORD FOR THE PROJECT (719-385-5905) AND AS NECESSARY OUR DRE OFFICE (719-385-5982).
- COPIES OF RECEIPTS/DELIVERY TICKETS FOR SOIL AMENDMENTS INSTALLED ON THE PROJECT ARE REQUIRED TO BE PROVIDED WITH THE INSPECTION AFFIDAVITS.
- IF SOIL IN THE PARKING LOT HAS BEEN COMPACTED BY GRADING OPERATIONS, THE SOIL WITHIN THE PLANTER SHALL BE TILLED, OR REMOVED TO A DEPTH OF THIRTY (30) INCHES AND REPLACED WITH AN ACCEPTABLE GROWING MEDIUM FOR THE SPECIES BEING INSTALLED.
- TILLING OF THE EXISTING SOIL TO INCORPORATE AMENDMENTS AND COUNTER ANY COMPACTION OR SOIL CONSOLIDATION SHALL BE REQUIRED FOR ALL LANDSCAPE PLANTING AREAS.
- VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. CALL 811 FOR UTILITY LOCATES. TREE TRUNK PLACEMENT SHALL BE 6' MINIMUM DISTANCE FROM ANY GAS OR ELECTRIC AND 10' FROM GAS MAINS RATED AT 150 PSI. FOR SANITARY SEWER AND WATER MAINLINES TREES SHALL NOT BE LOCATED WITHIN EASEMENTS AND WITHIN 15' OF ANY MAINLINE. ANY CONFLICT BETWEEN TREE LOCATIONS AND UTILITIES SHOWN ON PLANS SHALL BE RESOLVED WITH GENERAL CONTRACTOR PRIOR TO PLANTING. ALL ELECTRIC VAULTS AND TRANSFORMERS SHALL BE KEPT CLEAR FROM PLANT MATERIAL PER COLORADO SPRINGS UTILITIES (CSU) GUIDELINES "LANDSCAPING AROUND ELECTRICAL EQUIPMENT". SEE CSU CONSTRUCTION STANDARDS DRAWINGS 18-300 FOR SPECIFIC CLEARANCE REQUIREMENTS. ALL SHRUBS TO BE LOCATED 3' CLEAR OF ALL FIRE HYDRANTS AT MATURE SIZE.
- TREES SHALL MAINTAIN A 15-FOOT MINIMUM SEPARATION FROM WATER AND WASTEWATER MAINS AND A 6-FOOT MINIMUM SEPARATION FROM ELECTRIC AND GAS DISTRIBUTION LINES.

LANDSCAPE GUARANTEE AND MAINTENANCE

- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOO, SEEDED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNERS ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A NEAT, CLEAN, AND HEALTHY CONDITION FOR A PERIOD OF 90 DAYS. THIS SHALL INCLUDE PROPER PRUNING, MOWING AND AERATION OF LAWNS, WEEDING, REPLACEMENT OF MULCH, REMOVAL OF LITTER, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON AND TO MAXIMIZE WATER CONSERVATION. IF SITE OPENS DURING WINTER, TO AVOID FREEZE DAMAGE ON PLANTINGS, THE 90 DAYS SHOULD BEGIN AFTER ACCEPTANCE OF THE WORK.
- DURING THE LANDSCAPE MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES IN ALL LANDSCAPE AREAS AT THE MINIMUM SLOPE SPECIFIED IN THE GEOTECHNICAL REPORT. LANDSCAPE AREAS WHICH SETTLE AND CREATE THE POTENTIAL FOR PONDING SHALL BE REPAIRED TO ELIMINATE PONDING POTENTIAL AND BLEND IN WITH THE SURROUNDING GRADES. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.

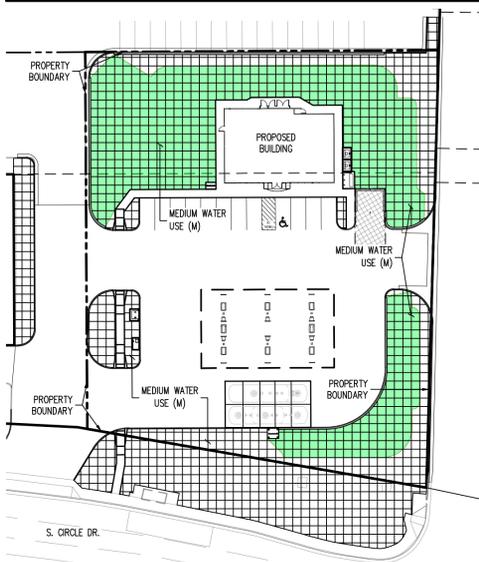
IRRIGATION CONCEPT

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE WATER SOURCE IF APPLICABLE.
- ALL NON-TURF/SEED PLANTED AREAS WILL BE DRIP IRRIGATED. TURF SOO/SEED SHALL RECEIVE POP-UP SPRAY IRRIGATION FOR HEAD TO HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND SMART MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

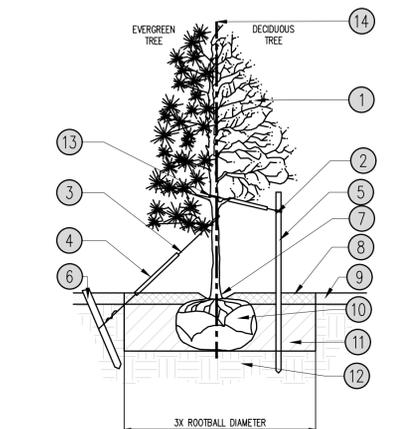
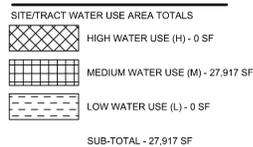
UTILITY NOTES

- THE LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE PUBLIC WORKS DEPARTMENT, AND ANY OTHER PUBLIC OR PRIVATE AGENCY NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION.
- THIS DRAWING IS A PART OF A COMPLETE SET OF BID DOCUMENTS, SPECIFICATIONS, ADDITIONAL DRAWINGS, AND EXHIBITS. UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE, AND REVIEWING ALL RELATED DOCUMENTS.
- THE LOCATION OF THE ALL UNDERGROUND UTILITIES ARE LOCATED ON THE ENGINEERING DRAWINGS FOR THIS PROJECT. THE MOST CURRENT REVISION IS HERE IN MADE PART OF THIS DOCUMENT. UNDERGROUND UTILITIES EXIST THROUGHOUT THIS SITE AND MUST BE LOCATED PRIOR TO ANY CONSTRUCTION ACTIVITY. WHERE UNDERGROUND UTILITIES EXIST, FIELD ADJUSTMENT MAY BE NECESSARY AND MUST BE APPROVED BY A REPRESENTATIVE OF THE OWNER, WHETHER THE OWNER NOR THE LANDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY WHATSOEVER, IN RESPECT TO THE CONTRACTORS ACCURACY IN LOCATING THE INDICATED PLANT MATERIAL, AND UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED WITHOUT REFERENCING THE ABOVE MENTIONED DOCUMENTS.

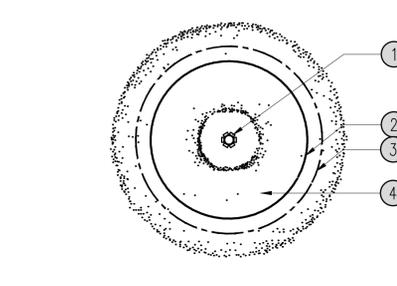
HYDROZONE DIAGRAM



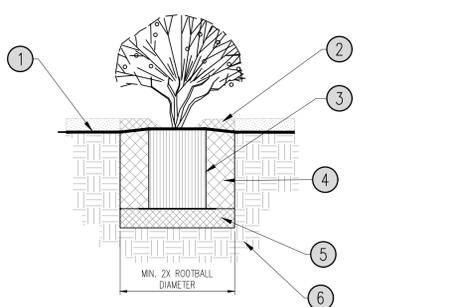
LEGEND



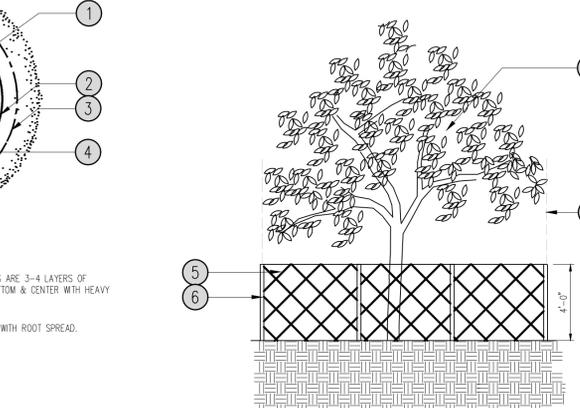
1 TREE PLANTING
N.T.S.



2 TREE PROTECTION DETAIL
N.T.S.



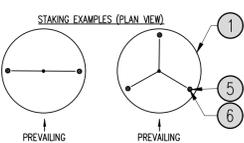
3 SHRUB/PERENNIAL PLANTING
N.T.S.



4 LANDSCAPE BOULDER
N.T.S.

- TREE CANOPY
- NYLON TREE STRIPS AT ENDS OF WIRES - SECURE TO STAKE OR DEADEN WITH NAILS
- 12 GAUGE GALVANIZED WIRE, SECURE TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.
- 2"x3/4" P.V.C. MARKERS OVER WIRES.
- PRESSURE-TREATED WOOD STAKE, 2" DIA. EXTEND STAKES 12" MIN. INTO UNDISTURBED SOIL.
- PRESSURE-TREATED WOOD DEADEN, TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL.
- TRUNK FLARE
- WOOD MULCH TREE RING 3" DIA. MIN. TYPE & DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 3" OF TRUNK.
- FINISH GRADE. SEE PLANTING PLAN FOR GROUND COVER TREATMENT.
- ROOT BALL - SEE NOTE 3, THIS DETAIL.
- BACKFILL AMEND & FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- UNDISTURBED NATIVE SOIL
- SOFT VELCRO, OR OTHER FABRIC WRAP
- CENTRAL LEADER, SEE PLANTING NOTES

- NOTES:**
- SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
 - REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL AND THE ROOT FLARE IS 3"-5" ABOVE FINISH GRADE.
 - CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE. CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE ALL BURLAP FROM AROUND ROOTBALL.
 - TREE WRAP IS NOT TO BE USED ON ANY NEW PLANTINGS, EXCEPT IN LATE FALL PLANTING SITUATIONS, AND ONLY THEN AFTER CONSULTATION WITH THE LANDSCAPE ARCHITECT. WHEN WRAPPING TREE, WRAP FROM TRUNK FLARE TO LOWEST MAJOR BRANCH.
 - REMOVE ALL NURSERY STAKES AFTER PLANTING.
 - FOR TREES OVER 3" CALIPER, USE THREE STAKES OR DEADEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.
 - DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.



DEPN-25-XXXX

CITY APPROVAL STAMP:

- FINISH GRADE. SEE PLANTING PLAN FOR GROUND COVER TREATMENT
 - SHREDDED BARK MULCH, 3" MIN. DEPTH, ROUGHLY THE EXTENTS OF ROOTBALL
 - PLANT ROOT BALL. SET TOP ROOTBALL 2" ABOVE ADJACENT GRADE. IN BERMED AREAS SET ROOTBALL 2" ABOVE LOWER ADJACENT GRADE - INSTALL WATER RING (2 - 3" HT.)
 - BACKFILL MIX (PER PLANTING SPECIFICATIONS). AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS. LET BACKFILL WITH WATER TO ELIMINATE VOIDS.
 - COMPACTED BACKFILL MIX (25%).
 - UNDISTURBED NATIVE SOIL.
- NOTES:**
- HARVEST LANDSCAPE BOULDERS FROM A LOCAL SOURCE, REFERENCE SPECIFICATIONS FOR TYPE & PLANS FOR LOCATIONS.
 - LANDSCAPE ARCHITECT TO VERIFY BOULDER LOCATIONS AND ORIENTATION PRIOR TO FINAL INSTALLATION.

SHEET NO. LP-2
Sheet 10 of 15

ENGINEERING STAMP

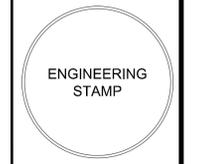
LANDSCAPE NOTES & DETAILS
MURPHY USA (NT) #6611
2870 S. CIRCLE DRIVE
COLORADO SPRINGS COLORADO

Galloway
1155 Kelly Johnson Blvd, Suite 305
Colorado Springs, CO 80920
719.900.7220 - GallowayUS.com

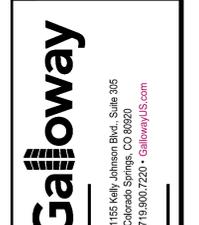
MURPHY OIL USA, INC.
200 PEACH STREET
EL DORADO, AR 71730

MURPHY USA

REV-X 7/17/2025 MOC118 DATE
TJR SRM KRC MOC118 PRN PM
TUR DES DRW



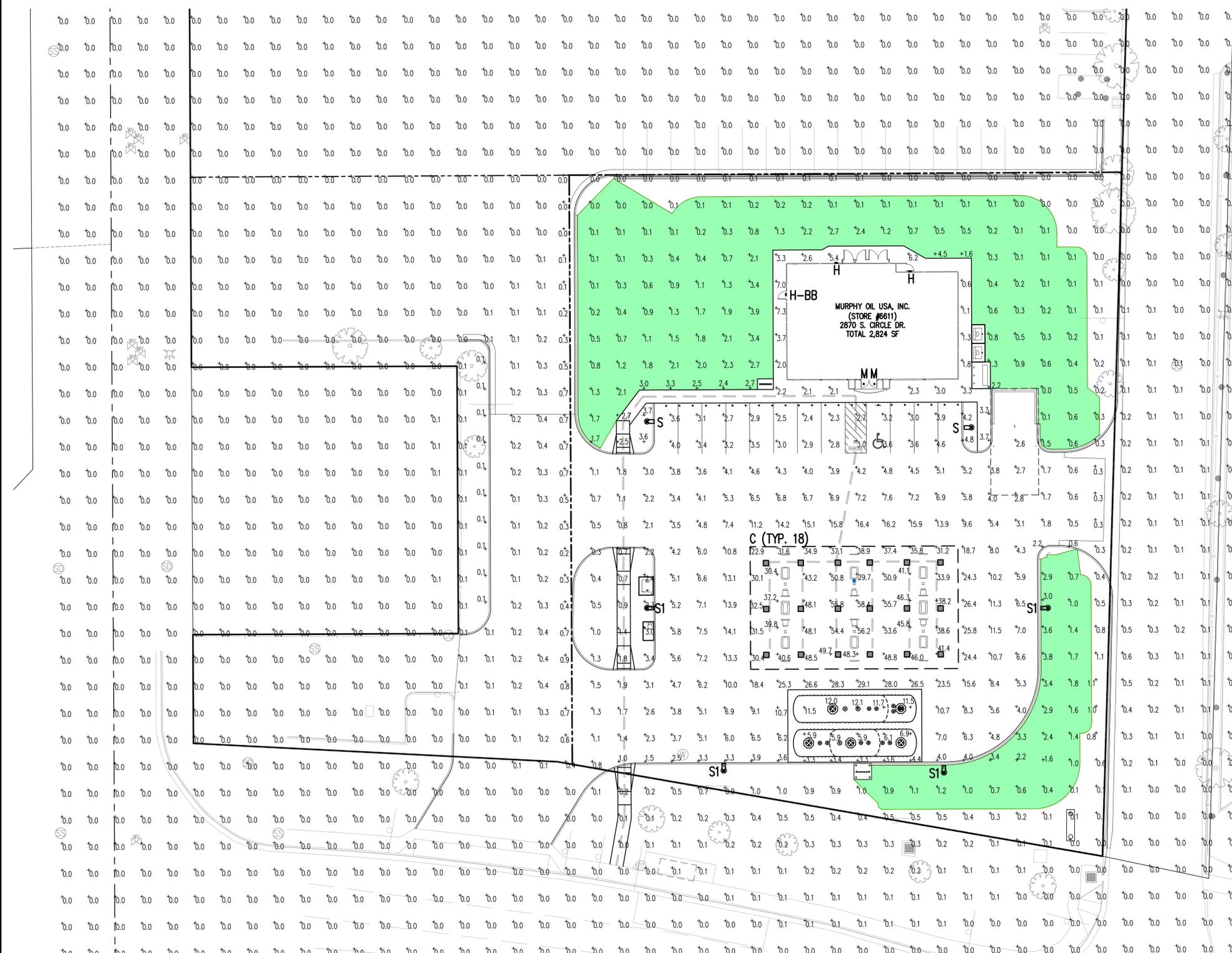
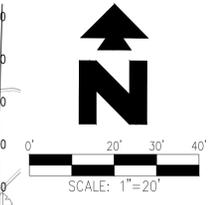
PHOTOMETRIC SITE PLAN
MURPHY OIL USA (NTI) #6611
2870 S. CIRCLE DRIVE
COLORADO SPRINGS COLORADO



1155 Kelly Johnson Blvd, Suite 405
Colorado Springs, CO 80920
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MURPHY OIL USA, INC.
200 PEACH STREET
EL DORADO, AR 71730
MURPHY USA

NOTES:
PLAN WAS BASED ON THE INFORMATION PROVIDED. ALL DIMENSIONS, LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.
THE CALCULATED PHOTOMETRIC LEVELS MAY OR MAY NOT MEET CERTAIN STANDARDS OR RECOMMENDED PRACTICES OF IESNA.
THE PHOTOMETRIC PLAN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY (IES) APPROVED METHODS. LABORATORY TESTS ARE MADE UNDER OPTIMUM CONDITIONS, WITH LAMP OUTPUT AT RATED VALUE, AND IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS.
ACTUAL ILLUMINATION LEVELS MAY DIFFER DUE TO VARIABLE FIELD CONDITIONS SUCH AS (BUT NOT LIMITED TO): VARIANCE IN LAMP LUMEN OUTPUT; LAMP TILT FACTOR; BALLAST WATTAGE OUTPUT; LINE VOLTAGE AT BALLAST; REFLECTOR SPECULARITY; LAMP LUMEN DEGRADATION; AND LUMINAIRE DIRT DEGRADATION.
THE 25'-0" MOUNTING HEIGHT IS THE ACTUAL ASSEMBLY (POLE, BASE, AND FIXTURE) AND MAY DIFFER FROM THE FROM THE LUMINAIRE'S LUMINOUS APERTURE.
THIS PLAN IS FOR RELATIVE LAYOUT AND SCOPE OF WORK PURPOSES ONLY. REFER TO SITE PLAN PREPARED BY LOCAL CONSULTANT FOR RELATIONSHIP OF THESE LUMINAIRES AND THEIR LOCATIONS TO EXISTING STRUCTURES AND REFERENCE.
ILLUMINATION TO BE EXTINGUISHED BETWEEN 11 P.M. AND SUNRISE OR WHEN THE BUSINESS IS CLOSED, WHICHEVER IS LATER.



1 PHOTOMETRIC SITE PLAN
SCALE: 1"=30'-0"

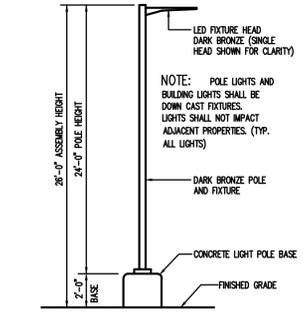
LUMINAIRE SCHEDULE							
MOUNTING CONFIG	SYMBOL	QTY	ASSEMBLY HEIGHT	POLE HEIGHT	LUMENS	TOTAL WATTS	DESCRIPTION
S	[Symbol]	2	26'-0"	24'-0"	18904	135	SLM-18L-SIL-FT-UNV-50-70-BRZ
SI	[Symbol]	4	26'-0"	24'-0"	18904	135	SLM-18L-SIL-FT-UNV-50-70-BRZ-IL
C	[Symbol]	18	15'-0"	N/A	13980	93	CRUS-SC-LED-SS-50-UE-WHT
H	[Symbol]	2	15'-0"	N/A	13980	93	CRUS-SC-LED-SS-50-UE-WHT
H-BB	[Symbol]	2	8'-3"	N/A	3081	23	XMM 3 LED 03L 50 UE BRZ
M	[Symbol]	2	8'-8"	N/A	2333	22	LC0LED25LUMVDM135WF TR6RWVHAZ EM

NOTES: ALL AREA SITE LIGHT FIXTURES AND POLES TO BE MOUNTED ON CONCRETE BASE PER DETAIL, THIS SHEET
ALL ANCHOR BOLTS TO BE ORIENTED IN THE SAME DIRECTION (SQUARE) AT INSTALLATION PER MANUFACTURER'S SPECIFICATIONS.
ALL PROPOSED FIXTURES ARE FULL CUT-OFF FIXTURES

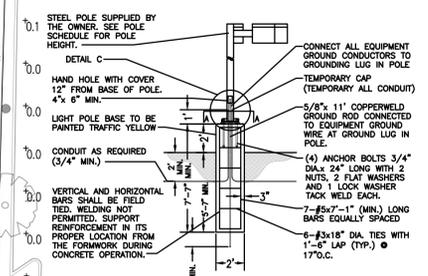
POLE SCHEDULE				
MOUNTING CONFIG	SYMBOL	QTY	POLE HEIGHT	DESCRIPTION
S	[Symbol]	2	24'-0"	4SQB3-S11G-24-S-BRZ-4BC
SI	[Symbol]	4	24'-0"	4SQB3-S11G-24-S-BRZ-4BC

NOTES: ALL AREA SITE LIGHT FIXTURES AND POLES TO BE MOUNTED ON CONCRETE BASE PER DETAIL, THIS SHEET
POLES RATED TO 130 MPH WIND VELOCITY

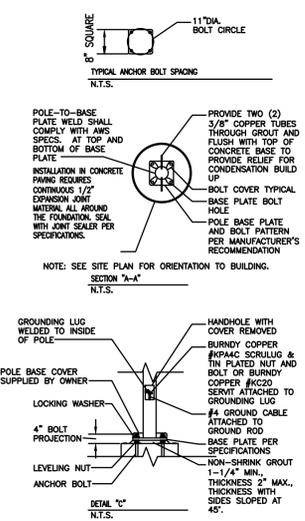
CONTRACTOR TO ENSURE THE LIGHT POLE AND HANDICAP PARKING SIGN ARE AT LEAST 2' FROM THE BACK OF CURB TO PREVENT VEHICLES FROM STRIKING THE LIGHT POLE OR HANDICAP PARKING SIGN. PROPOSED LIGHT POLE BASES SHOWN AT A MINIMUM OF 2'-0" FROM BACK OF CURB TO CENTER OF POLE/BASE. ENGINEER TO VERIFY PROPOSED LOCATIONS FOR ANY CONFLICTS OR MISPLACEMENTS. REPORT TO LIGHTING DESIGNER ANY DISCREPANCIES OR CONFLICTS



2 AREA LIGHT DETAIL
SCALE: NOT TO SCALE



3 TYPICAL LIGHT POLE BASE DETAIL
NOT TO SCALE



4 TYPICAL LIGHT POLE BASE DETAIL
NOT TO SCALE

DEPN-25-XXXX

CITY APPROVAL STAMP:

