

# DEVELOPMENT PLANS FOR MURPHY USA (NTI) COLORADO SPRINGS, COLORADO 2870 S. CIRCLE DR. (MURPHY #6611)

## GENERAL NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR RAZING AND REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
- CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- SAFETY NOTICE TO CONTRACTOR:** IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY AND SECURITY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
- ALL CONSTRUCTION WITHIN STATE HIGHWAY DEPARTMENT RIGHT-OF-WAY SHALL BE COORDINATED WITH THE HIGHWAY DEPARTMENT RESIDENT MAINTENANCE ENGINEER.
- ALL SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE RELEVANT UTILITY COMPANY OR REGULATORY AUTHORITY, AND THE SPECIFICATIONS FOR THE CONSTRUCTION OF THE EXISTING IMPROVEMENTS WHICH ARE BEING ALTERED OR REPLACED. CONTRACTOR SHALL CONTACT THE ENGINEER FOR SPECIFICATION SECTIONS FOR ITEMS SUCH AS LANDSCAPING AND IRRIGATION THAT ARE AFFECTED BY THE WORK BUT NOT COMPLETELY DETAILED OR SPECIFIED ON THESE PLANS.
- CONSTRUCTION AND INSTALLATION OF 2,824 SF BUILDING, ALL UTILITY ENTRANCES AND (1) 25,000 GALLON & (1) 26,000 GALLON UNDERGROUND TANKS SHALL BE IN ACCORDANCE WITH ASSOCIATED PLANS.
- THE GENERAL CONTRACTOR TO COORDINATE THE CANOPY SIGN LOCATIONS AND FREE-STANDING SIGNAGE WITH MURPHY'S DEVELOPMENT PROJECT MANAGER AND SIGN COMPANY.

## NOTES TO CONTRACTOR:

- THE CONTRACTOR SHALL PROVIDE THE ENGINEER OF RECORD WITH THE DATE WHEN CONSTRUCTION IS TO BEGIN.
- THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION STAKING AND LAYOUT.
- THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE ENGINEER OF RECORD OF ANY DEVIATIONS DURING CONSTRUCTION AND SHALL REPORT THEM IMMEDIATELY.
- CONTRACTOR IS REQUIRED TO KEEP REDLINE AS-BUILTS AND TO PROVIDE THOSE TO MURPHY UPON COMPLETION.
- CONTRACTOR IS RESPONSIBLE FOR UNDERSTANDING THE AS-BUILT AND CERTIFICATE OF OCCUPANCY (C.O.) REQUIREMENTS FOR THE ISSUING AUTHORITY.
- IF AN ELEVATION CERTIFICATE OR AS-BUILT SURVEY IS REQUIRED BY THE ISSUING AUTHORITY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SCHEDULING OF THE SURVEY WITH THE CIVIL CONSULTANT PRIOR TO DEADLINE FOR OBTAINING THE C.O. AND AFTER NECESSARY COMPLETED WORK TO BE SHOWN ON SURVEY.

## WETLANDS NOTE:

ANY DEVELOPMENT, EXCAVATION, CONSTRUCTION, OR FILLING IN A U.S. ARMY CORPS OF ENGINEERS DESIGNATED WETLAND IS SUBJECT TO LOCAL, STATE AND FEDERAL APPROVALS. THE CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND/OR RESTRICTIONS AND ANY VIOLATION WILL BE SUBJECT TO FEDERAL PENALTY. THE CONTRACTOR SHALL HOLD THE OWNER/DEVELOPER, THE ENGINEER AND THE LOCAL GOVERNING AGENCIES HARMLESS AGAINST SUCH VIOLATION.

## FLOOD CERTIFICATION:

THIS PROPERTY IS NOT LOCATED WITHIN ANY PRESENTLY ESTABLISHED 100-YEAR FLOOD PLAIN, AS SHOWN BY THE FEDERAL MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP FOR THE CITY OF COLORADO SPRINGS, COMMUNITY PANEL NUMBER 08041C0741G, FLOOD ZONE X, DATED 12/7/2018.

## NOTICE TO BIDDERS:

ALL QUESTIONS REGARDING THE PREPARATION OF THE GENERAL CONTRACTOR'S BID SHALL BE DIRECTED THROUGH MURPHY'S CONSTRUCTION WEBSITE(HTTPS://MURPHYUSA.PROJECTMATES.COM/) INCLUDING Q&A, RFI'S, BID SUBMISSION, CHANGE ORDER REQUESTS, ETC. ONCE AWARDED THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S PROJECT MANAGER. SUBCONTRACTORS MUST DIRECT THEIR QUESTIONS THROUGH THE GENERAL CONTRACTOR. THE CONSULTING ARCHITECT AND/OR THE CONSULTING ENGINEER SHALL NOT BE CONTACTED DIRECTLY WITHOUT PRIOR AUTHORIZATION FROM THE OWNER/DEVELOPER.

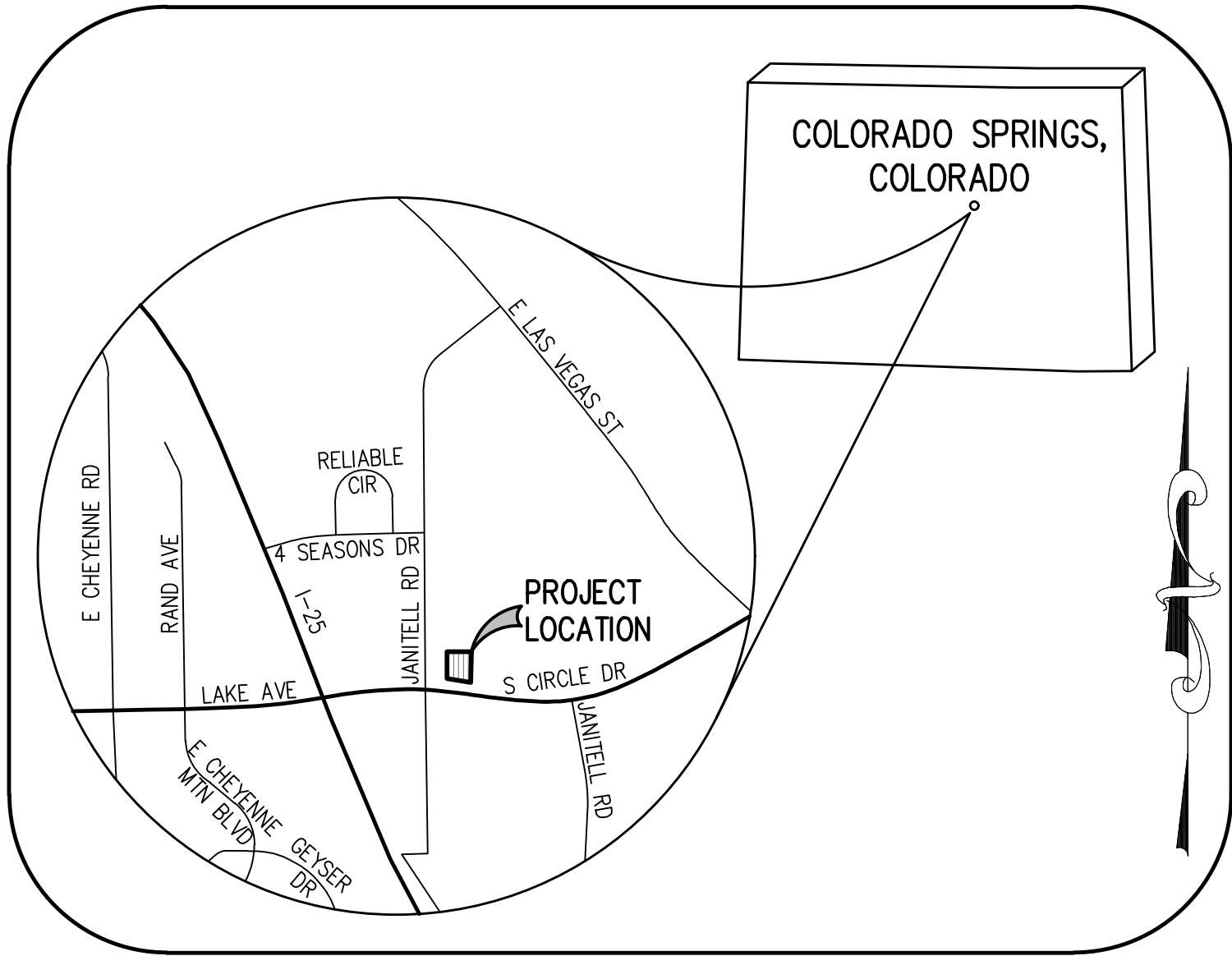
## ADA DESIGN PROFESSIONAL STANDARDS STATEMENT

- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

## ADDITIONAL NOTES

- ALL CURB, GUTTER, DRIVEWAYS, PEDESTRIAN RAMPS AND SIDEWALK POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR DOES NOT MEET CURRENT CITY ENGINEERING STANDARDS ALONG THE PUBLIC RIGHT-OF-WAY (ROW) ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY (CO). AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW DIVISION (EDRD) INSPECTOR TO DETERMINE WHAT, IF ANY IMPROVEMENTS ARE REQUIRED. THE EDRD INSPECTOR CAN BE REACHED AT 719-385-5977.
- SIGNAGE IS NOT APPROVED WITH THIS PLAN; A SEPARATE SIGN PERMIT IS REQUIRED PRIOR TO CONSTRUCTION.
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF OWNER, AND/OR THEIR ASSIGNS. ALL STREET TREES AND STREETSCAPE IMPROVEMENTS LOCATED IN THE ROW WILL BE MAINTAINED BY THE ABUTTING PROPERTY OWNER.

DIMENSIONAL STANDARDS		
DENISTY AND INTENSITY	N/A	
BUILDING SETBACKS	LOT 3	
	NORTH	15'
	SOUTH	20'
	EAST	20'
	WEST	20'
LANDSCAPE SETBACKS	CIRCLE DRIVE: 20'	
SITE DATA		
LAND USE	FUEL DISPENSING STATION = 4,815 SF CONVENIENCE STORE = 2,824 SF	
TOTAL LOT/SITE AREA	48,850 SF   1.12 ACRES	
TOTAL AREA OF DISTURBANCE	61,272 SF   1.41 ACRES	
LEGAL DESCRIPTION	A PORTION OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO.	
SITE ADDRESS	2870 S. CIRCLE DR., COLORADO SPRINGS, CO 80906	
PROPOSED BUILDING HEIGHT	18'-6"	
ZONE DISTRICT ALLOWANCES	HEIGHT: 85' MAX BUILDING HEIGHT SETBACKS: 0' BUILDING SETBACKS	
TAX SCHEDULE NUMBER(S)	6428300014	
EXISTING ZONE DISTRICT (INCLUDING ORDINANCE NUMBERS AND CONDITIONS OF RECORD)	MX-M AO (MIXED W/ AIRPORT OVERLAY)	
SCHEDULE OF DEVELOPMENT	SPRING 2026	
PARKING TABLE	(SEE BELOW)	
DRAINAGE BASIN INFORMATION	FOUNTAIN CREEK	



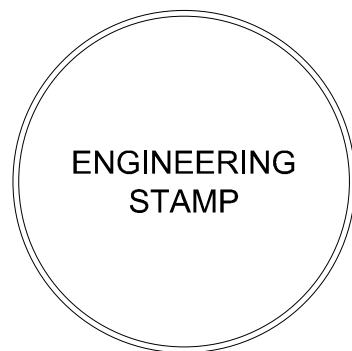
VICINITY MAP  
N.T.S.

PLAN INDEX		
SHEET NUMBER	SHEET DESCRIPTION	SHEET ID
1	COVER SHEET	C-0
2	SITE PLAN	C-1
3	PRELIMINARY GRADING PLAN	C-2
4	PRELIMINARY UTILITY & PUBLIC FACILITIES PLAN	C-3
5	SITE DETAILS	C-4
6	SITE DETAILS	C-5
7	SITE DETAILS	C-6
8	DUMPSTER DETAIL	C-7
9	PRELIMINARY LANDSCAPE PLAN	LP-1
10	LANDSCAPE NOTES & DETAILS	LP-2
11	PHOTOMETRIC SITE PLAN	PP-1
12	PHOTOMETRIC DETAILS	PP-2
13	BUILDING ELEVATIONS	A-1
14	BUILDING ELEVATIONS	A-2
15	BUILDING ELEVATIONS	A-3

PARKING INFORMATION: MURPHY OIL						
DESCRIPTION	BUILDING AREA (S.F.)	REQUIRED:				
		RATIO	SPACES			
FUEL DISPENSING STATION W/ CONVENIENCE STORE	2,824	1/300	REGULAR	UNDER CANOPY	ACCESSIBLE	TOTAL
			9	N/A	1	10
STALL DIMENSIONS:		PROVIDED:				
9'x18' (MIN.)			SPACES			
		1/217	REGULAR	UNDER CANOPY	ACCESSIBLE	TOTAL
			11	12*	1	12
NO. OF FUEL ISLANDS: 6		*NOT INCLUDED IN TOTAL COUNT				
NO. OF VEHICLE FUELING POINTS: 12						

GALLOWAY & COMPANY, INC.  
1155 KELLY JOHNSON BLVD.  
COLORADO SPRINGS, CO 80920  
(719) 900-7227  
CONTACT: KYLE GOODWIN

BASED ON SURVEY BY:  
GALLOWAY & COMPANY, INC.  
1155 KELLY JOHNSON BLVD., SUITE 305  
COLORADO SPRINGS, CO 80920  
EMAIL: BRIANDENNIS@GALLOWAYUS.COM  
PHONE: (719) 337-7232  
DATE: 05/06/25



<b>CITY ENGINEERING</b> CITY OF COLORADO SPRINGS 30 S NEVADA AVE, SUITE 401 COLORADO SPRINGS, CO 80901 CONTACT: JOEL DAGNILLO, PE (719) 385-5412	<b>HEALTH DEPARTMENT</b> EL PASO COUNTY PUBLIC HEALTH 1675 W GARDEN OF THE GODS RD COLORADO SPRINGS, CO 80907 (719) 578-3199	<b>OWNER</b> MURPHY OIL USA, INC. 200 PEACH STREET EL DORADO, AR 71730 CONTACT: GRANT DENNIS (870) 315-3430
<b>STORMWATER</b> CITY OF COLORADO SPRINGS 30 S NEVADA AVE, SUITE 401 COLORADO SPRINGS, CO 80901 CONTACT: SARA RIVERA (719) 385-5542	<b>CODE ENFORCEMENT</b> PIKES PEAK REGIONAL BUILDING DEPT. 2880 INTERNATIONAL CIRCLE COLORADO SPRINGS, CO 80910 (719) 327-2880	<b>CIVIL ENGINEER</b> GALLOWAY & COMPANY, INC. 1155 KELLY JOHNSON BLVD., SUITE 305 COLORADO SPRINGS, CO 80920 CONTACT: KYLE GOODWIN (719) 900-7227
<b>ELECTRIC</b> COLORADO SPRINGS UTILITIES (CSU) 1521 HANCOCK EXPRESSWAY COLORADO SPRINGS, CO 80947-1812 CONTACT: ROB ESTES (719) 668-5904	<b>INTERNET CABLE COMPANY</b> XFINITY/COMCAST	<b>GEOTECHNICAL</b> UNITED CONSULTING 625 HOLCOMB BRIDGE RD NORCROSS, GA 30071 CONTACT: CHRIS ROBERDS (770) 209-0029
<b>SEWER &amp; WATER</b> COLORADO SPRINGS UTILITIES (CSU) 1521 HANCOCK EXPRESSWAY COLORADO SPRINGS, CO 80947-1812 CONTACT: MATTHEW ALCURAN (719) 668-8261	<b>LANDSCAPE</b> GALLOWAY & COMPANY, INC. 172 N EAST PROMONTORY, SUITE 274 FARMINGTON, UT 84025 CONTACT: JOHN SWAIN (303) 248-0482	<b>BUILDING CANOPY MANUFACTURER</b> FREY MOSS STRUCTURES 1801 ROCKDALE INDUSTRIAL BLVD. CONYERS, GEORGIA 30012 CONTACT: JENNIFER GOODMAN (770) 483-7543 EXT. 151
	<b>TANK AND PRODUCT PIPING</b> GALLOWAY & COMPANY, INC. 5500 GREENWOOD PLAZA BLVD SUITE 200 GREENWOOD VILLAGE, CO 80111 CONTACT: DAVE JONES (303) 962-8506	<b>BUILDING/CANOPY DESIGN</b> GREENBERG FARROW 3 EXECUTIVE DRIVE, SUITE 150 SOMERSET, NJ 08873 CONTACT: CHRIS CERBO (732) 537-0832

## NOTE:

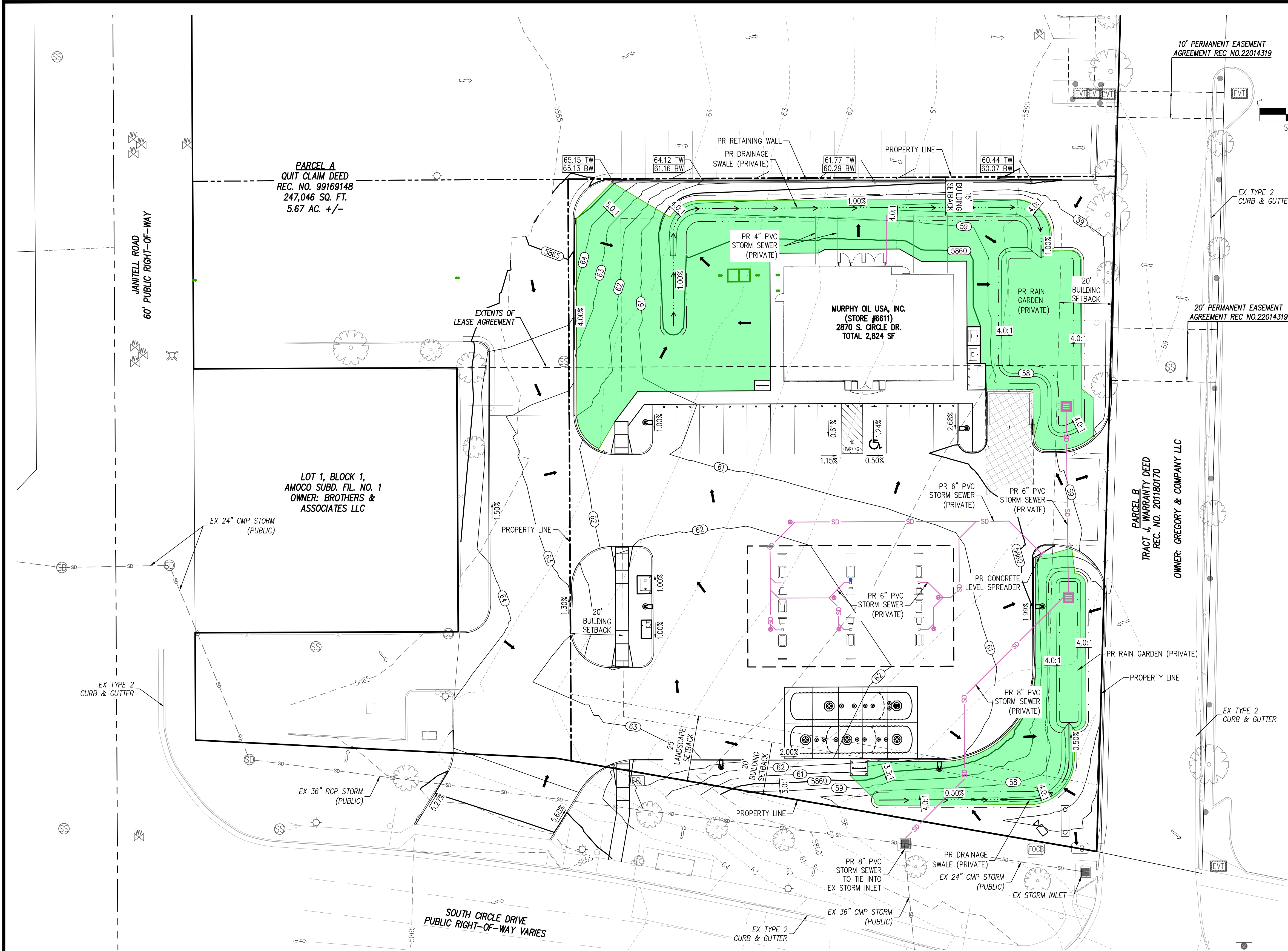
- ACCESSIBLE ROUTES, INCLUDING RAMPS AND SIDEWALKS, WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY'S STANDARD DRAWINGS AND SPECIFICATIONS. CITY'S ENGINEERING DEVELOPMENT REVIEW INSPECTOR WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENTS.
- PROPERTY OWNERS ARE RESPONSIBLE FOR THE MAINTENANCE OF SHARED COMMON TRACTS, ACCESS DRIVES, PRESERVATION AREAS, AND LANDSCAPE AREAS ADJACENT TO THEIR PROPERTY.
- ALL STREET TREES AND STREETSCAPE IMPROVEMENTS LOCATED IN THE ROW WILL BE MAINTAINED BY THE ABUTTING PROPERTY OWNER.
- ALL STOP SIGNS WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS. CONTACT TRAFFIC ENGINEERING, SIGNS & MARKINGS AT 719-385-6720 FOR ASSISTANCE.
- PER CITY CODE SECTION 7.4.2, ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF OR HAVE SHIELDING TO REDUCE OFF-SITE LIGHTING IMPACTS ONTO ADJACENT PROPERTIES AND ROADWAYS. ALL EXTERIOR LIGHTING SHALL BE ARRANGED TO MITIGATE LIGHT DIRECTED AWAY FROM ADJACENT PROPERTIES AND ANY PUBLIC RIGHT-OF-WAY. AN AMENDMENT TO THIS PLAN MAY BE REQUIRED IF THE LIGHTING TYPE IS CHANGED.
- ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND SIGNAGE SHALL MEET ALL APPLICABLE CITY CODE REQUIREMENTS INCLUDING:
- PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING ONE TO FIFTY (1:50) (2 PERCENT) IN ALL DIRECTIONS.
- ACCESSIBLE PARKING SPACES SHALL BE MARKED WITH FOUR INCH (4") LINES.
- ACCESSIBLE AISLES SHALL BE OUTLINED AND DIAGONALLY STRIPED AT FORTY FIVE DEGREE (45°) ANGLES IN A CONTRASTING COLOR SUCH AS YELLOW, WHITE, OR BLUE.
- EACH ACCESSIBLE PARKING SPACE SHALL BE DESIGNATED AS RESERVED BY A SIGN SHOWING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. VAN ACCESSIBLE SPACES SHALL HAVE AN ADDITIONAL SIGN CONTAINING THE DESIGNATION, "VAN ACCESSIBLE". MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY. EACH ACCESSIBLE PARKING SPACE SIGN SHALL BE NO SMALLER THAN EIGHTEEN INCHES (18") TALL BY TWELVE INCHES (12") WIDE. EACH VAN ACCESSIBLE SIGN SHALL BE NO SMALLER THAN SIX INCHES (6") TALL BY TWELVE INCHES (12") WIDE. SIGNS SHALL BE LOCATED AT THE HEAD OF THE SPACE WITH THE BOTTOM OF THE SIGN(S) BETWEEN FIVE FEET (5') AND SEVEN FEET (7') ABOVE THE FINISH FLOOR OR GROUND SURFACE.

REVISION	DATE	DESCRIPTION
REV-	-	-









**EXISTING**

- 5460 --- EXISTING MAJOR CONTOUR
- 52 --- EXISTING MINOR CONTOUR
- SD --- EXISTING STORM SEWER (LESS THAN 12")
- SS --- EXISTING SANITARY SEWER
- W --- EXISTING WATER
- UE --- EXISTING UNDERGROUND ELECTRIC
- OHE --- EXISTING OVERHEAD ELECTRIC
- FO --- EXISTING FIBER OPTIC
- G --- EXISTING GAS
- EXISTING STREET LIGHT
- EXISTING TRANSFORMER
- EXISTING ELECTRIC METER
- EXISTING ELECTRIC BOX
- EXISTING FIBER OPTIC BOX
- EXISTING GAS METER
- EXISTING SANITARY SEWER MANHOLE
- EXISTING WATER VALVE
- EXISTING STORM INLET
- EXISTING FIRE HYDRANT
- EXISTING SIGN
- EXISTING BOLLARD
- EXISTING TREE

**PROPOSED**

- BOUNDARY LINE
- 4865 --- MAJOR CONTOUR
- 64 --- MINOR CONTOUR
- SPOT ELEVATIONS:
  - XX.XX TBC = TOP BACK OF CURB
  - XX.XX FL = FLOWLINE
  - XX.XX TOI = TOP OF ISLAND
  - XX.XX LP = LOW POINT
  - XX.XX TW = TOP OF WALL
  - XX.XX BW = BOTTOM OF WALL
  - XX.XX = FINISHED GRADE
- 3.00% 4.0:1 --- DRAINAGE SLOPE AND DIRECTION
- SD --- STORM SEWER (LESS THAN 12")
- PLANNED INFILTRATION AREA (PIA)

THESE DRAWINGS DO NOT INCLUDE COMPONENTS FOR CONSTRUCTION SAFETY

- GENERAL NOTES**
- ALL PRIVATE TO PUBLIC STORM SEWER CONNECTIONS MUST BE INSPECTED BY AN ENGINEERING DEVELOPMENT REVIEW INSPECTOR.
  - THE PRIVATE RETAINING WALL SYSTEM SHALL BE DESIGNED BY A COLORADO REGISTERED PROFESSIONAL ENGINEER AND THE RESPONSIBILITY OF THE CONSTRUCTION AND MAINTENANCE LIES WITH THE DEVELOPER AND PROPERTY OWNER. THE CITY OF COLORADO SPRINGS HAS NOT REVIEWED OR APPROVED THE DESIGN, AND THE OWNER(S) HEREBY RELEASES AND FOREVER DISCLAIMS, AND AGREES TO INDEMNIFY, DEFEND AND HOLD HARMLESS, THE CITY OF COLORADO SPRINGS, ITS OFFICERS, EMPLOYEES, ADMINISTRATORS, REPRESENTATIVES, AGENTS, SUCCESSORS AND ASSIGNS, FROM ANY AND ALL DAMAGES, INJURIES OR ACCIDENTS WHICH MIGHT ARISE FROM THE RETAINING WALL SYSTEM OR THE PROJECT AFTER ISSUANCE OF A BUILDING PERMIT.
  - DUE TO THE CLOSE PROXIMITY OF THE RETAINING WALL TO PUBLIC RIGHT-OF-WAY (ROW) AND THE POTENTIAL OF POSSIBLE DAMAGE TO INFRASTRUCTURE OR PERSONNEL INJURY, THE PROPERTY OWNER, DEVELOPER OR ENTITY RESPONSIBLE FOR MAINTAINING THE RETAINING WALL, WILL BE REQUIRED TO ENTER INTO A RETAINING WALL MAINTENANCE AGREEMENT PRIOR TO A FINAL INSPECTION ACCEPTANCE FROM CITY ENGINEERING IS ISSUED FOR THE RETAINING WALL. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.

**CAUTION - NOTICE TO CONTRACTOR**

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



Know what's below.  
Call before you dig.

DEPN-25-XXXX

CITY APPROVAL STAMP:

SHEET NO.

C-2

Sheet 3 of 15

ENGINEERING  
STAMP

JDM  
DRW

JDM  
DES

KRG  
PM

MOC118  
PRN

7/1/2025  
DATE

REV-X

**PRELIMINARY GRADING PLAN**  
**MURPHY OIL USA (NTI) #6611**  
**2870 S. CIRCLE DRIVE**  
**COLORADO SPRINGS COLORADO**

**Galloway**

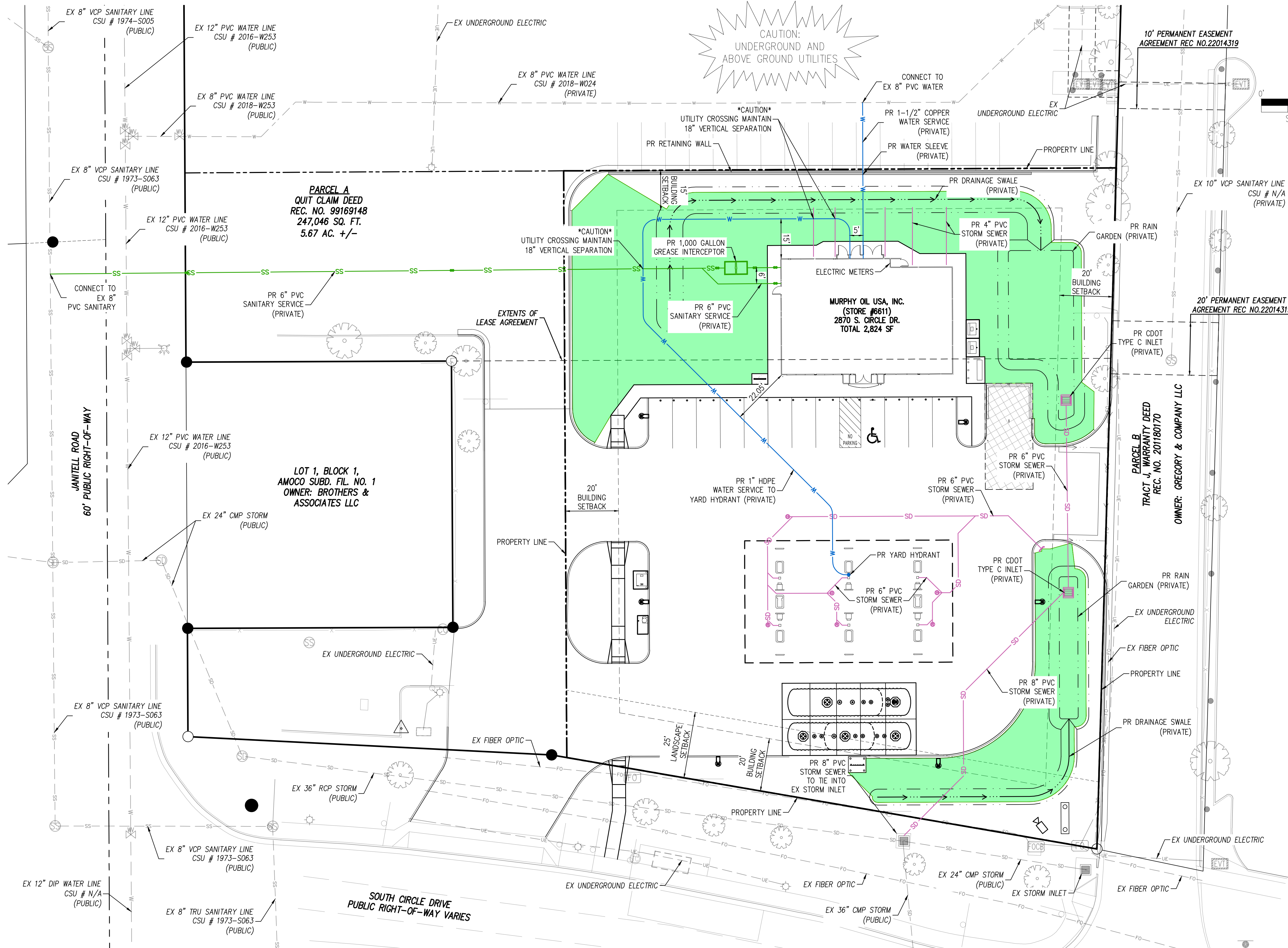
1155 Kelly Johnson Blvd, Suite 305  
Colorado Springs, CO 80920  
719.900.7220 • [GallowayUS.com](http://GallowayUS.com)

**MURPHY OIL USA, INC.**

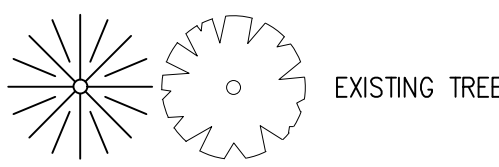
**200 PEACH STREET**  
**EL DORADO, AR 71730**

**MURPHY**  
**USA**





- EXISTING**
- 5460 EXISTING MAJOR CONTOUR
  - 52 EXISTING MINOR CONTOUR
  - SD EXISTING STORM SEWER (LESS THAN 12\"/>
  - SS EXISTING SANITARY SEWER
  - W EXISTING WATER
  - UE EXISTING UNDERGROUND ELECTRIC
  - OHE EXISTING OVERHEAD ELECTRIC
  - FO EXISTING FIBER OPTIC
  - G EXISTING GAS
  - EXISTING STREET LIGHT
  - EXISTING TRANSFORMER
  - EXISTING ELECTRIC METER
  - EXISTING ELECTRIC BOX
  - EXISTING FIBER OPTIC BOX
  - EXISTING GAS METER
  - EXISTING SANITARY SEWER MANHOLE
  - EXISTING WATER VALVE
  - EXISTING STORM INLET
  - EXISTING FIRE HYDRANT
  - EXISTING SIGN
  - EXISTING BOLLARD



- PROPOSED**
- BOUNDARY LINE
  - W WATER SERVICE
  - SS SANITARY SERVICE
  - SD STORM DRAIN
  - E ELECTRICAL SERVICE
  - PLANNED INFILTRATION AREA (PIA)

- NOTE**
- A MINIMUM OF 3-FOOT CLEARANCE AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS WILL BE KEPT CLEAR OF ANY PHYSICAL OR VISUAL OBSTRUCTIONS TO THE HYDRANT.
  - CSU FIELD ENGINEER TO DETERMINE FINAL GAS/ELECTRIC METER, TRANSFORMER AND SERVICE LINE LOCATIONS. CONTACT FIELD ENGINEERING AT (719) 668-4985 (GAS) OR (719) 668-5564 (ELECTRIC) WITH ANY QUESTIONS.

THESE DRAWINGS DO NOT INCLUDE COMPONENTS FOR CONSTRUCTION SAFETY

**CAUTION - NOTICE TO CONTRACTOR**

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



Know what's below.  
Call before you dig.

DEPN-25-XXXX

CITY APPROVAL STAMP:

**GENERAL NOTES FOR PRELIMINARY UTILITY PLANS**

- PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:
- COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
  - PROPERTY OWNER(S) ("OWNER") ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS ("STANDARDS"), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND PIKES PEAK REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
  - OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES' RULES AND REGULATIONS.
  - SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED"

- THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
- OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES' THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
- THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
- OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM

- AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
- OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564).
  - IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NESC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
  - SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS; AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES

SHEET NO.

C-3

Sheet 4 of 15

ENGINEERING  
STAMP

PRELIMINARY UTILITY &  
PUBLIC FACILITIES PLAN  
MURPHY OIL USA (NTI) #6611  
2870 S. CIRCLE DRIVE  
COLORADO SPRINGS COLORADO

Galloway

1155 Kelly Johnson Blvd, Suite 305  
Colorado Springs, CO 80920  
719.900.7220 - GallowayUS.com

MURPHY OIL USA, INC.

200 PEACH STREET  
EL DORADO, AR 71730

MURPHY  
USA



**General Notes**

- All work shall be done in accordance with the current City of Colorado Springs Engineering Division (the City) Standard Specifications.
- The Contractor shall obtain all required permits and notify City Engineering by 1500 hours the business day before inspection is required.
- Concrete shall have a minimum compressive strength of 4,000 psi and use a City-approved concrete mix.
- A broom finish, with sweeps perpendicular to the direction of pedestrian traffic, shall be applied to all ramp surfaces.
- The Contractor shall stamp their company name and construction date at the top right corner of the ramp as viewed from the street.
- Detectable warnings shall be installed at sidewalk to street transitions and shall consist of prefabricated truncated dome panels approved by the City. The detectable warning panels shall be set into the wet concrete. The domes shall be in a square grid pattern and aligned with pedestrian traffic.
- All detectable warning surfaces at the base of ramps shall start a minimum of 6 inches from the flowline of the curb and not be more than 8 inches from any point on the flowline of the curb, with the exception for ramps that are constructed within the curved portion of the return as approved by the City.
- Ramp and detectable warning running slope shall be 8.3% or flatter except on long ramps as specified by Note 14.
- Drainage structures, traffic signal equipment, or other obstructions shall not be installed in the ramp or turning space areas.
- If a traffic signal pedestrian push button cannot be mounted within 10 inches horizontally of the pedestrian path or is obstructed from reach then a separate pedestrian push button post assembly shall be installed. Push buttons shall meet the requirements of MUTCD Chapter 4 for pedestrian detectors.
- Diagonal ramps on the apex are not allowed in new construction. A single diagonal ramp on the apex may be permitted during reconstruction or alteration where physical or site constraints prevent two ramps from being installed and shall require approval from the City on a case-by-case basis.
- Ramps, excluding flared sides or blended transitions, shall be wholly contained within the width of the crosswalk and/or the pedestrian street crossing that they serve.
- All ramp joints and grade breaks shall be flush (0"±/4"). The joint between the roadway surface and gutter pan shall be flush.
- In retrofit applications, to avoid chasing grade indefinitely on steep streets, ramp length is not required to exceed 15 feet.
- The counter slope of the gutter or road at the foot of a ramp, turning space, or blended transition shall not exceed 5.0%.
- Flared side slopes may exceed 10% only where they abut a non-walkable surface (landscaping or domed surface) or the adjacent circulation path is blocked such that it is unlikely for a pedestrian to walk across the flared side slope.
- The minimum turning space for new construction is 5 feet by 5 feet. The minimum turning space allowed for retrofit applications is 4 feet by 4 feet. In all types of construction where the turning space is constrained by an element taller than 2 inches such as curbs, the turning space shall be 5 feet by 5 feet.
- Contact the City Forestry Division if it is necessary to disturb trees or roots.
- All curb ramps shall have a minimum concrete thickness of 6 inches.
- All sidewalks and turning spaces shall have a cross slope between 0.5% and 2.0%.
- Ramps shall align with each other across the street.

**Slope Table**

The table below is intended to be used to convert between the percent (rise/run) and ratio (run/rise) methods of expressing the magnitude of a slope:

PERCENT SLOPE	0.5%	1.0%	2.0%	5.0%	7.1%	8.3%	10.0%
RATIO SLOPE	200:1	100:1	50:1	20:1	14:1	12:1	10:1

**Ramp Cross Slope Transition To Match Roadway Profile**

Ramp cross slopes and turning spaces shall be:

A. 2% max when a yield or stop controls is present.

B. Permitted to equal the street grade when there is no yield or stop control, when a traffic signal is present, at a mid block crossing location, or in retrofit applications.

**Colorado Springs**

**APPROVED:** [Signature]  
**CITY ENGINEER**

**ISSUED:** 3/28/2019 **REVISIONS:** **DRAWING NO. D-8A**

**Section A-A**

**Section B-B**

**Isometric View**

**Notes**

- Use of this ramp design in new construction requires approval of the City Engineer.
- Monolithic curb height at depressed turning space (TS) shall be equal to the amount the TS is lowered, e.g., if TS is lowered 4" the curb height would be 4". If the TS is lowered 2" or less the curb at the back of walk may be deleted.
- The pedestrian curb may be omitted if the ground surface at the back of the curb ramp or landing is the same elevation as the curb ramp or TS and there is no material to retain.
- Attached and detached sidewalk shall be 5 feet and 6 feet wide minimum, respectively. Sidewalk width may be reduced to 4 feet in retrofit applications not including the TS.
- Curb tooled joints shall be laid out so that at least one joint occurs within the width of the ramp.
- Sidewalk cross slope shall be 2% maximum measured perpendicular to the direction of walk for detached sidewalk and perpendicular to the curb for attached sidewalk.

**Colorado Springs**

**APPROVED:** [Signature]  
**CITY ENGINEER**

**ISSUED:** 3/28/2019 **REVISIONS:** **DRAWING NO. D-8F**

**Sidewalk at Building Interface w/ Thickened Edge**  
(WHERE NO PAVEMENT ABUTS BUILDING/REMOTE BUILDING SCENARIOS)

**Section A-A**

**Section B-B**

**Notes:**

- REINFORCEMENT SHALL BE NO.3 BARS, 24" O.C. EACH WAY OR 6 X 6 - W1.4 X W1.4 WWF. REINFORCEMENT SHALL BE PLACED 2" FROM TOP OF SIDEWALK WHERE REQUIRED.
- CONCRETE SHALL BE 3,500 PSI.
- CONTRACTION JOINTS SHALL BE PLACED A MAXIMUM OF 5' O.C.
- TOOLED JOINTS SHALL BE PLACED IN FRESH CONCRETE WITH A MINIMUM DEPTH OF 1/4 OF THE TOTAL DEPTH OF SIDEWALK. TOOLED JOINT SHALL ALSO HAVE A MINIMUM 1/2" RADIUS ON EXPOSED EDGES.
- FULL DEPTH EXPANSION JOINTS SHALL BE PLACED A MAXIMUM OF 35' O.C. PREMOULDED JOINT FILLER SHALL BE INSTALLED AT ALL EXPANSION JOINTS. EXTEND JOINT FILLERS FULL WIDTH AND DEPTH OF JOINT, AND NOT LESS THAN 1/2" OR MORE THAN 1" BELOW FINISHED SURFACE. JOINT SEALANT SHALL BE PLACED ABOVE JOINT FILLER IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- A FULL DEPTH EXPANSION JOINT SHALL BE PLACED WHERE THE SIDEWALK ABUTS THE BUILDING. PREMOULDED JOINT FILLER SHALL BE INSTALLED AT FULL DEPTH OF JOINT, AND NOT LESS THAN 1/2" OR MORE THAN 1" BELOW FINISHED SURFACE. JOINT SEALANT SHALL BE PLACED ABOVE JOINT FILLER IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

**Colorado Springs**

**APPROVED:** [Signature]  
**CITY ENGINEER**

**ISSUED:** 3/28/2019 **REVISIONS:** **DRAWING NO. D-8G**

**Section A-A**

**Section B-B**

**Isometric View**

**Notes**

- Attached sidewalk shall be 6 feet wide minimum. Detached sidewalk shall be 5 feet wide minimum. Sidewalk width and turning space (TS) may be reduced to 4 feet in retrofit applications.
- Ramp width shall be the same as the approaching sidewalk or TS but not less than 4 feet. Ramp cross slope shall evenly transition between landing grade and street grade.
- Sidewalk cross slope shall be 2% maximum measured perpendicular to the direction of walk for detached sidewalk and perpendicular to the curb for attached sidewalk.
- Curb tooled joints shall be laid out so that at least one joint occurs within the width of each ramp.
- Tooled joints shall be constructed through the flare at the top of the detectable warning surface.

**Colorado Springs**

**APPROVED:** [Signature]  
**CITY ENGINEER**

**ISSUED:** 3/28/2019 **REVISIONS:** **DRAWING NO. D-8B**

**Sign in Bollard**

**Freezeless Hydrant with Hose Bib**

**Notes:**

- CONTRACTOR TO PROVIDE AND INSTALL WOODFORD MODEL S-3 SANITARY YARD HYDRANT PER MANUFACTURER'S SPECIFICATIONS. SEE UTILITY PLAN TO DETERMINE LOCATION.
- FREEZELESS YARD HYDRANT TO BE LOCATED BETWEEN CANOPY COLUMN AND FUEL ISLAND FOR PROTECTION.
- REFER TO TANK/PIPING PLANS TO VERIFY LOCATION OF TRASH CAN LOCATION PRIOR TO INSTALLATION.

**Colorado Springs**

**APPROVED:** [Signature]  
**CITY ENGINEER**

**ISSUED:** 3/28/2019 **REVISIONS:** **DRAWING NO. D-8C**

**Concrete Sidewalk at Building (Flush Transition)**

**Section A-A**

**Section B-B**

**Notes:**

- WHERE REQUIRED REINFORCEMENT WILL BE NO. 3 BARS 24" O.C. EACH WAY MAX. SPACING, OR 6 X 6 - W2.9 X W2.9 WWF.

**Colorado Springs**

**APPROVED:** [Signature]  
**CITY ENGINEER**

**ISSUED:** 3/28/2019 **REVISIONS:** **DRAWING NO. D-8D**

**Stop Bar**

**Accessible Parking Sign**

**Notes:**

- YELLOW REFLECTIVE TRAFFIC PAINT. SEE DETAIL 10A FOR MINIMUM PAINT REQUIREMENTS.
- SIGN TO BE INSTALLED IN BOLLARD (SEE DETAIL 5B THIS SHEET)

**Colorado Springs**

**APPROVED:** [Signature]  
**CITY ENGINEER**

**ISSUED:** 3/28/2019 **REVISIONS:** **DRAWING NO. D-8E**

**Stop Sign**

**Accessible Parking Symbol**

**Integral Curb**

**Notes:**

- LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN" LETTERING.
- COLOR PER ADA REQUIREMENTS

**Colorado Springs**

**APPROVED:** [Signature]  
**CITY ENGINEER**

**ISSUED:** 3/28/2019 **REVISIONS:** **DRAWING NO. D-8F**

**Concrete Sidewalk**

**Notes:**

- WHERE REQUIRED REINFORCEMENT WILL BE NO. 3 BARS 24" O.C. EACH WAY MAX. SPACING, OR 6 X 6 - W2.9 X W2.9 WWF.

**Colorado Springs**

**APPROVED:** [Signature]  
**CITY ENGINEER**

**ISSUED:** 3/28/2019 **REVISIONS:** **DRAWING NO. D-8G**

**SHEET NO. C-4**

**ENGINEERING STAMP**

**SITE DETAILS**

**MURPHY OIL USA (NTI) #6611**

**2870 S. CIRCLE DRIVE**

**COLORADO SPRINGS COLORADO**

**MURPHY OIL USA, INC.**

**200 PEACH STREET**

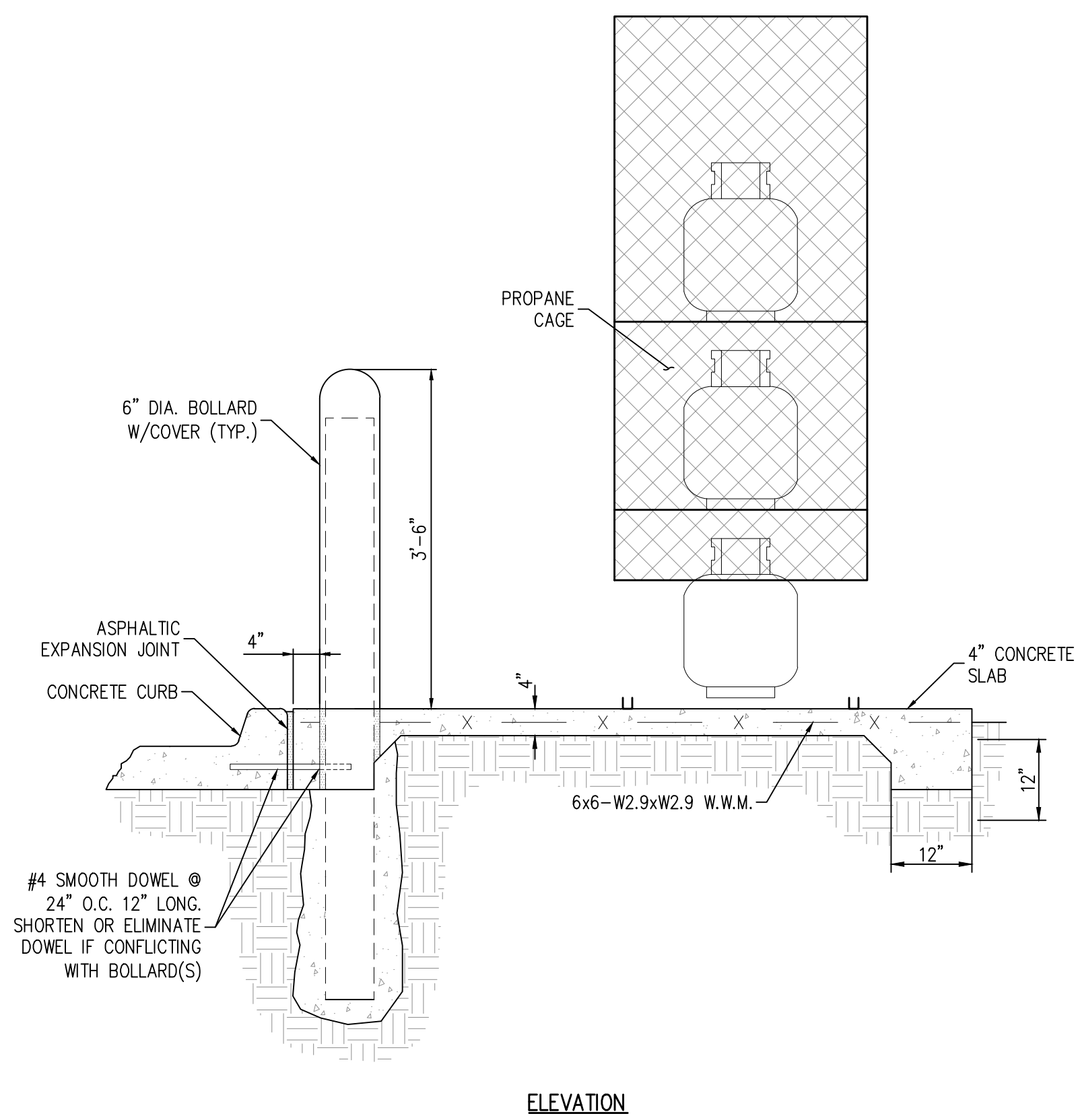
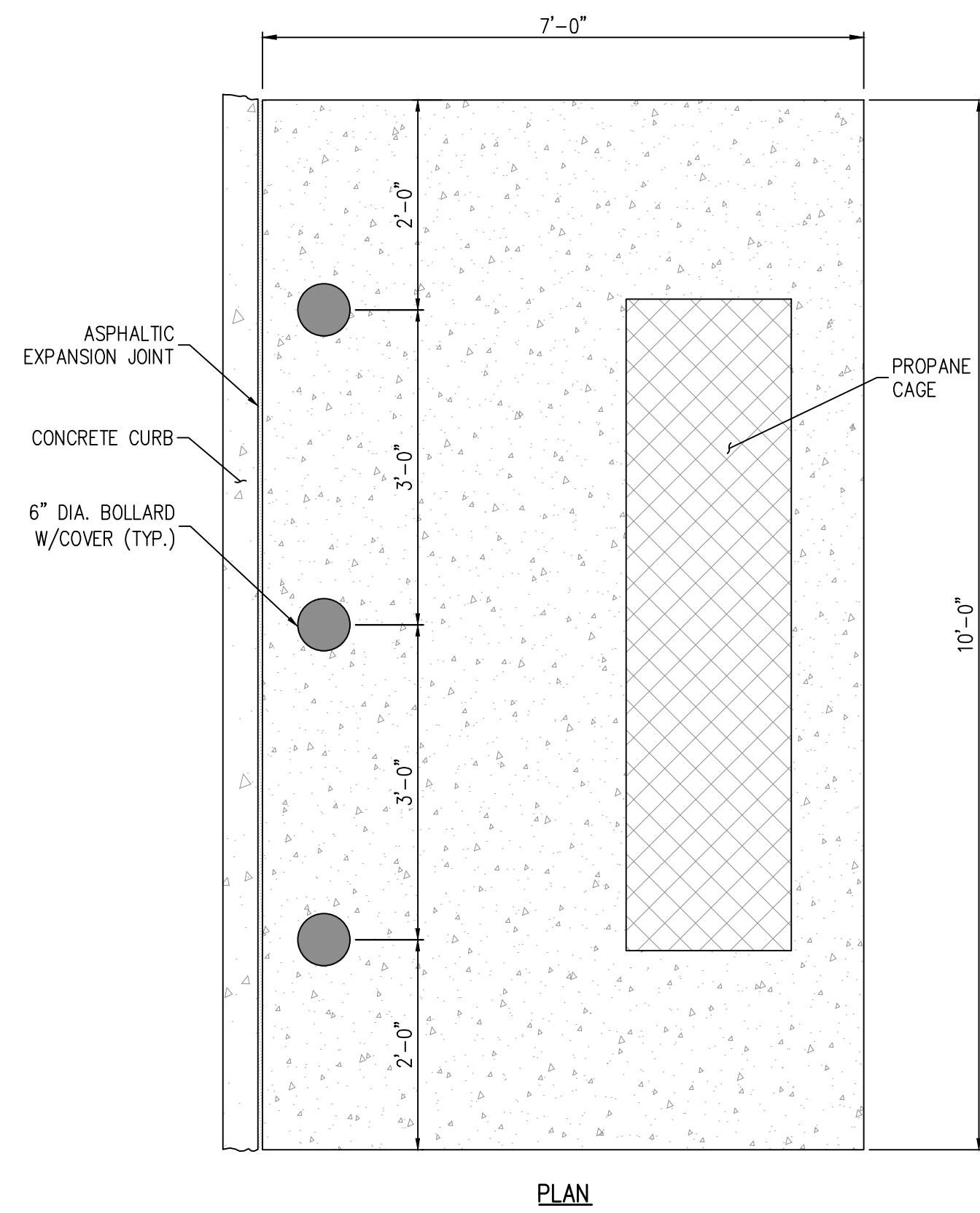
**EL DORADO, AR 71730**

**MURPHY OIL USA**

**DEPN-25-XXXX**

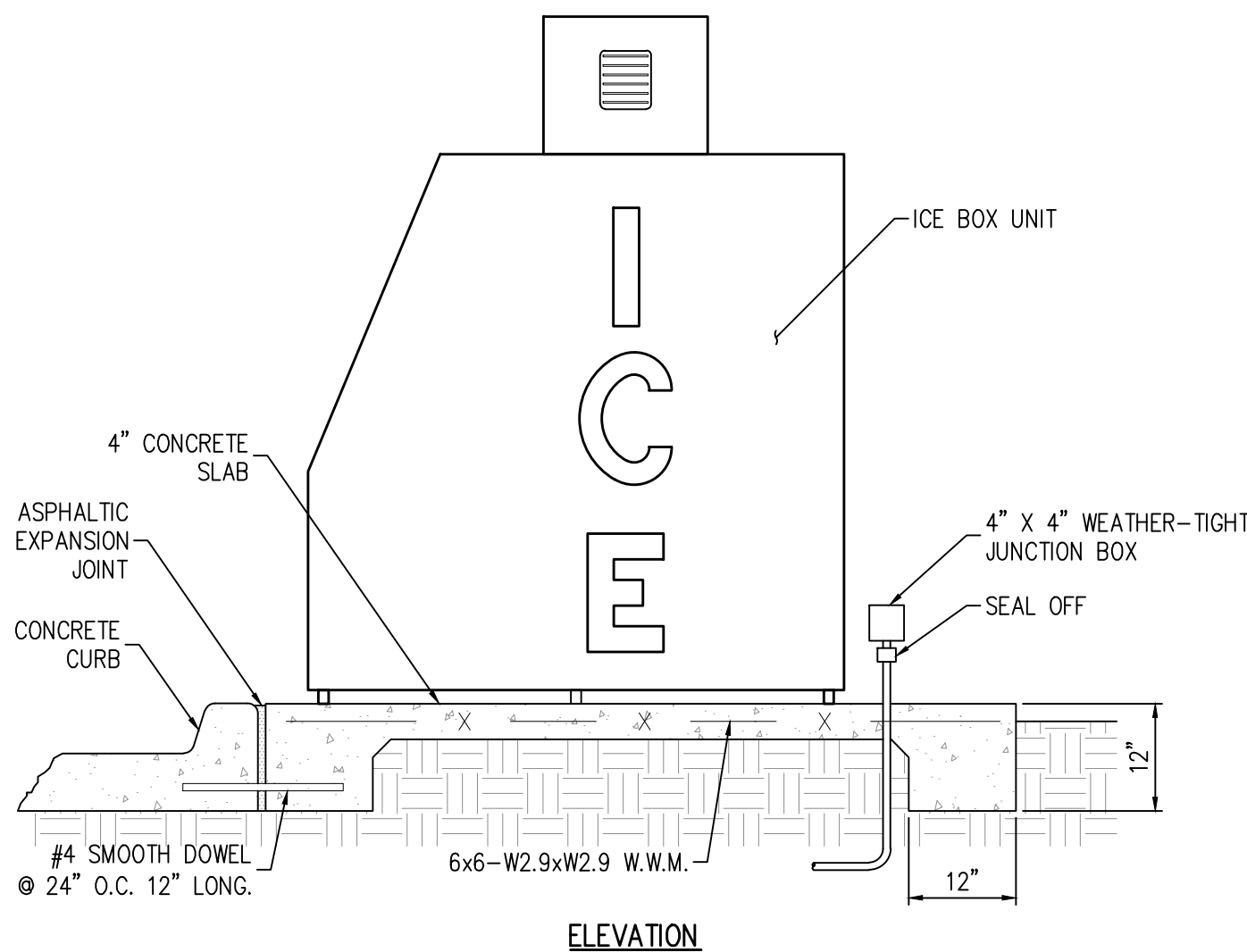
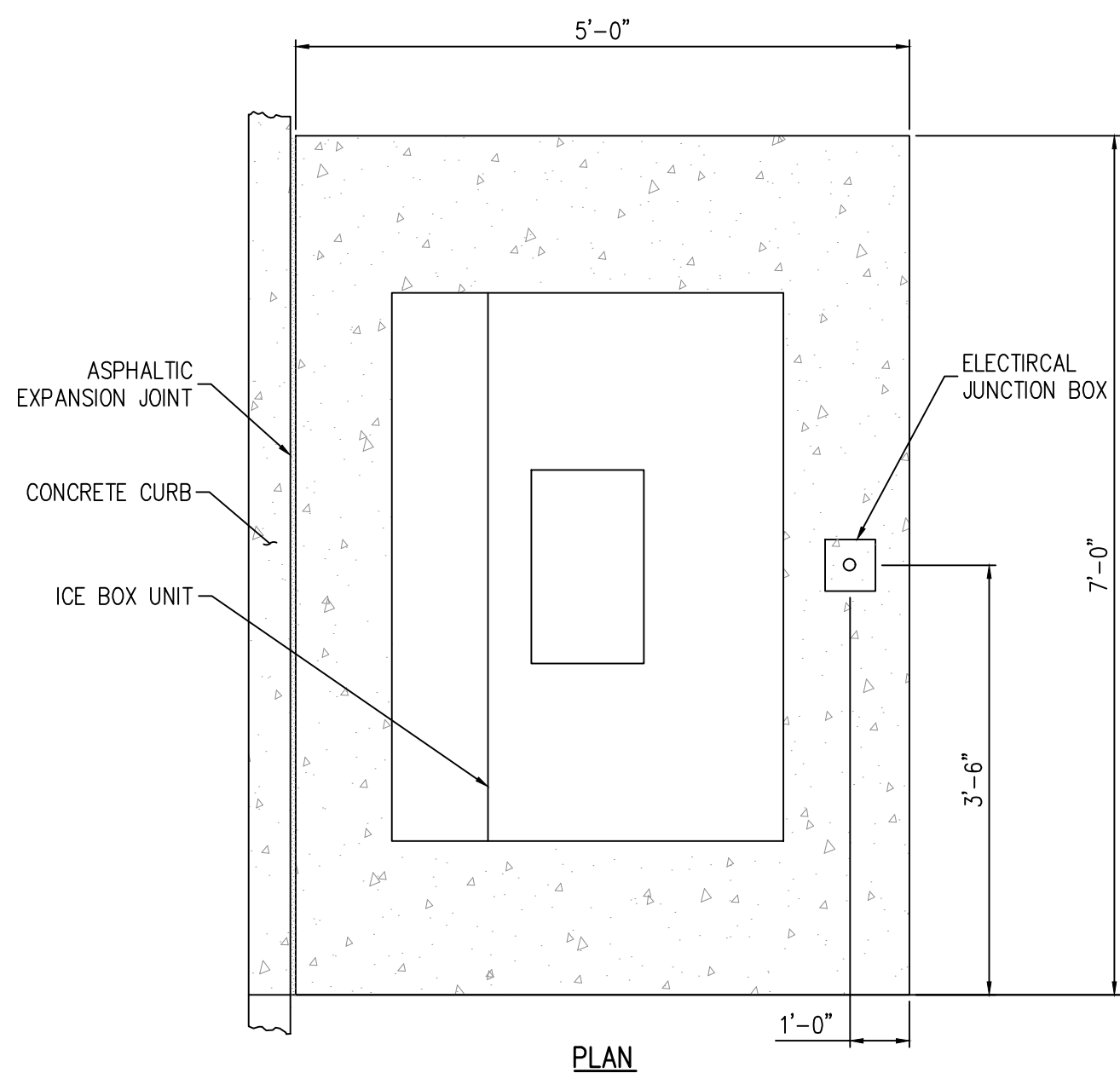
**CITY APPROVAL STAMP:**





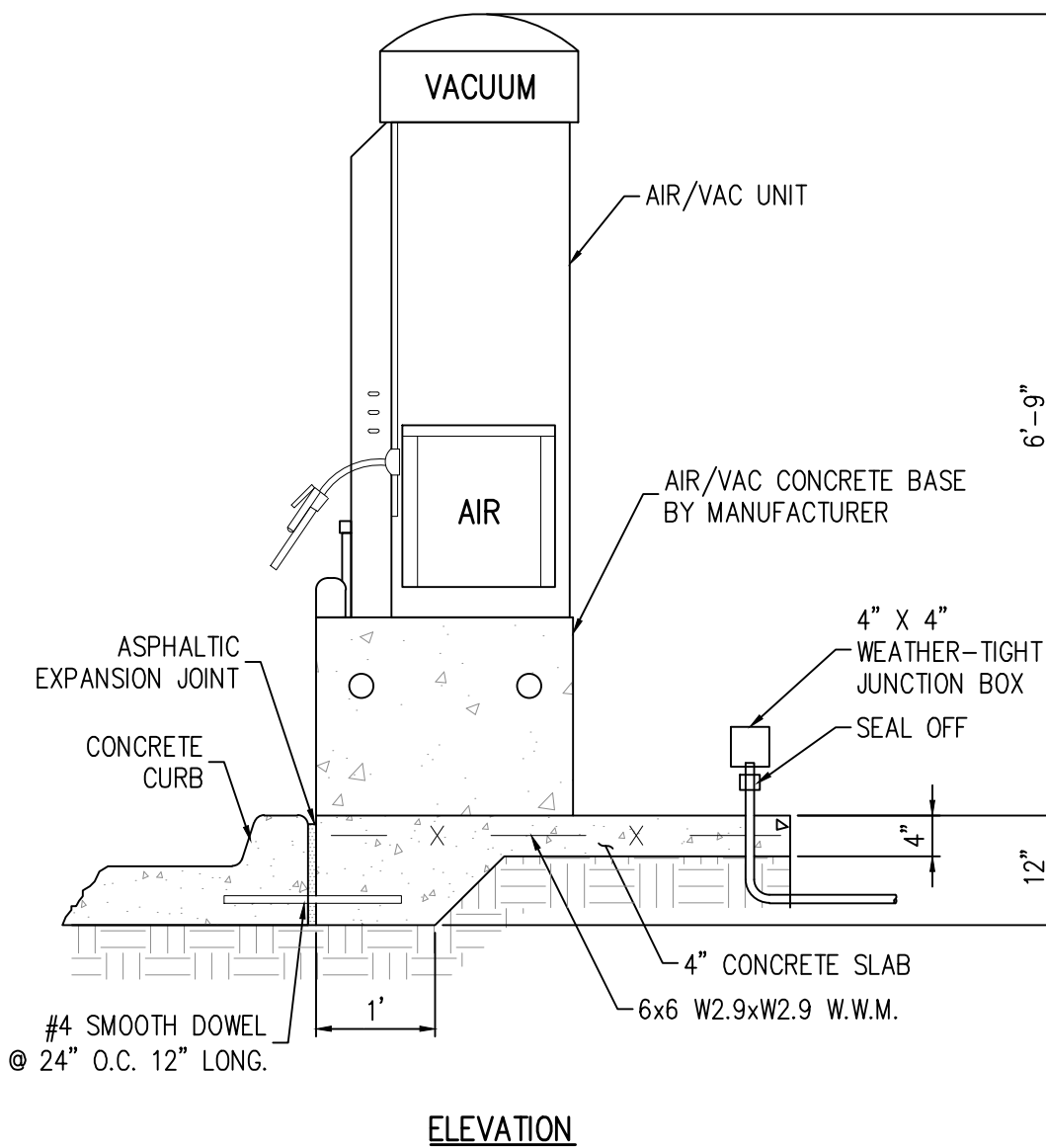
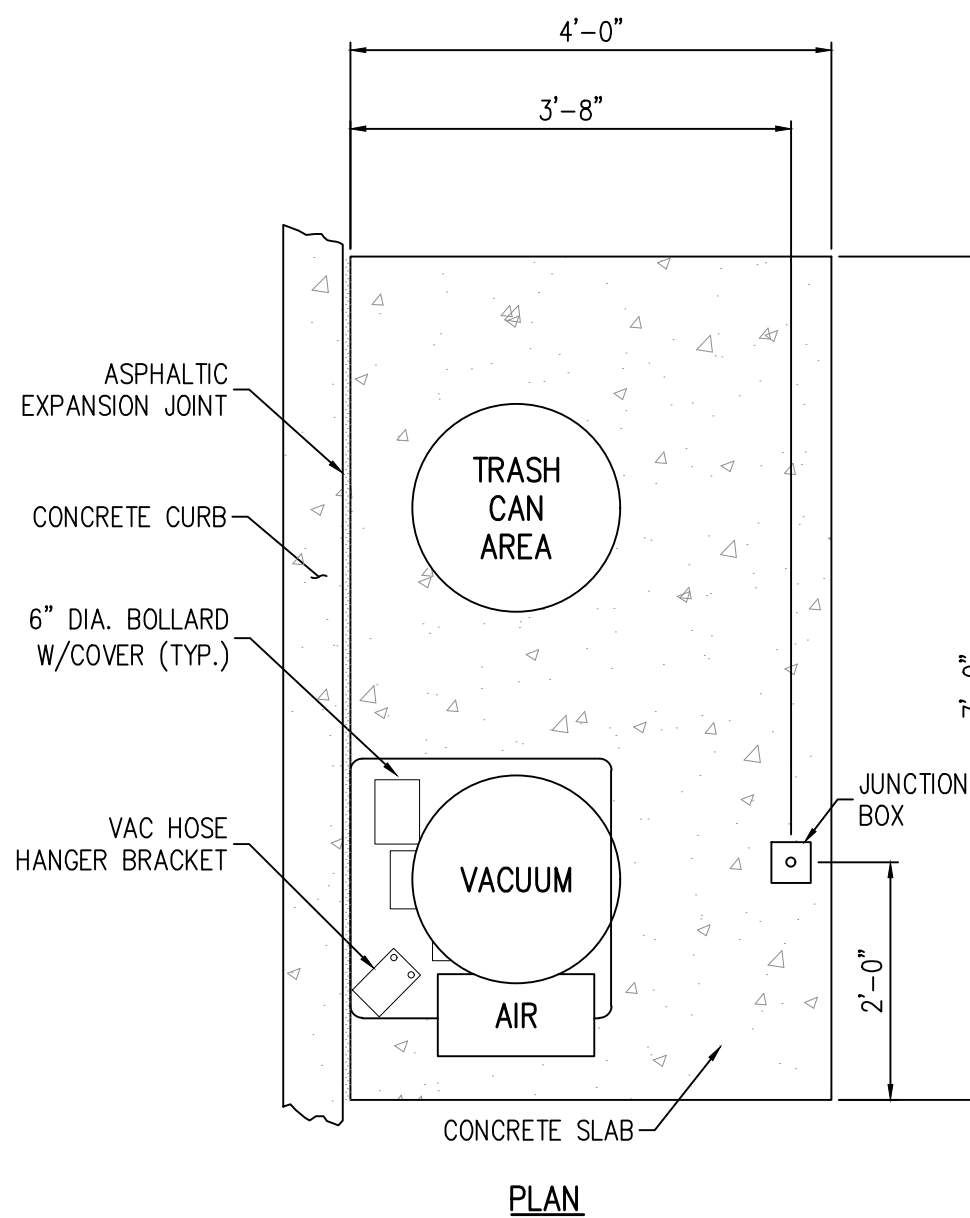
NOTE:  
SLOPE PAD FOR POSITIVE DRAINAGE (0.5% MIN.-1% MAX.)

PROPANE MOUNTING SLAB DETAIL 21U  
N.T.S.



NOTES:  
1. SLOPE PAD FOR POSITIVE DRAINAGE (0.5% MIN.-1% MAX.)  
2. SEE SITE PLAN FOR NUMBER OF ICE UNITS.

ICE BOX MOUNTING SLAB DETAIL 21P  
N.T.S.



NOTE:  
SLOPE PAD FOR POSITIVE DRAINAGE (0.5% MIN.-1% MAX.)

AIR/VAC MOUNTING SLAB DETAIL 21G  
N.T.S.

## T-0 Quantifying Runoff Reduction

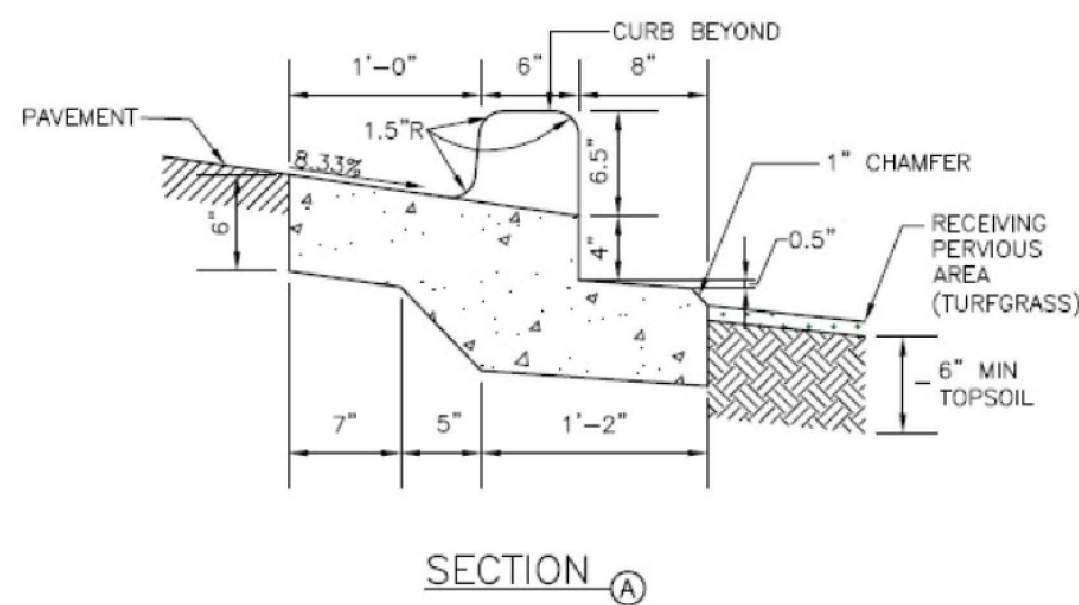
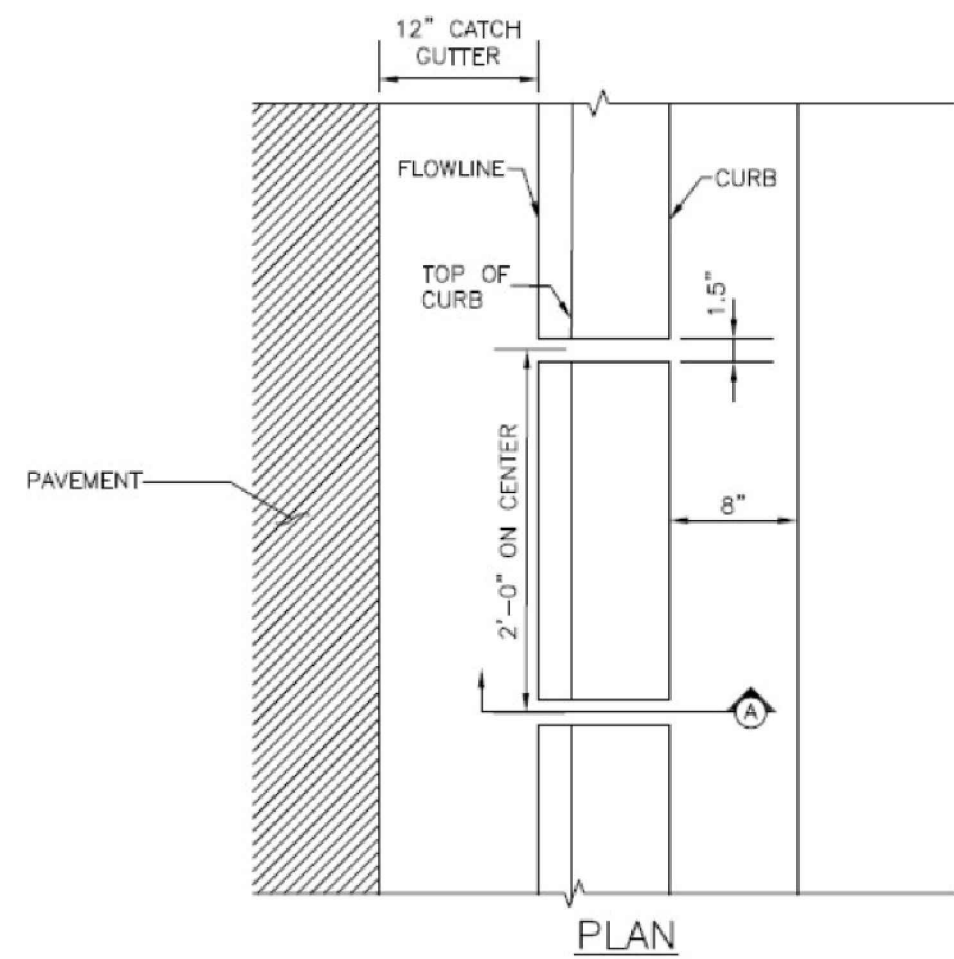
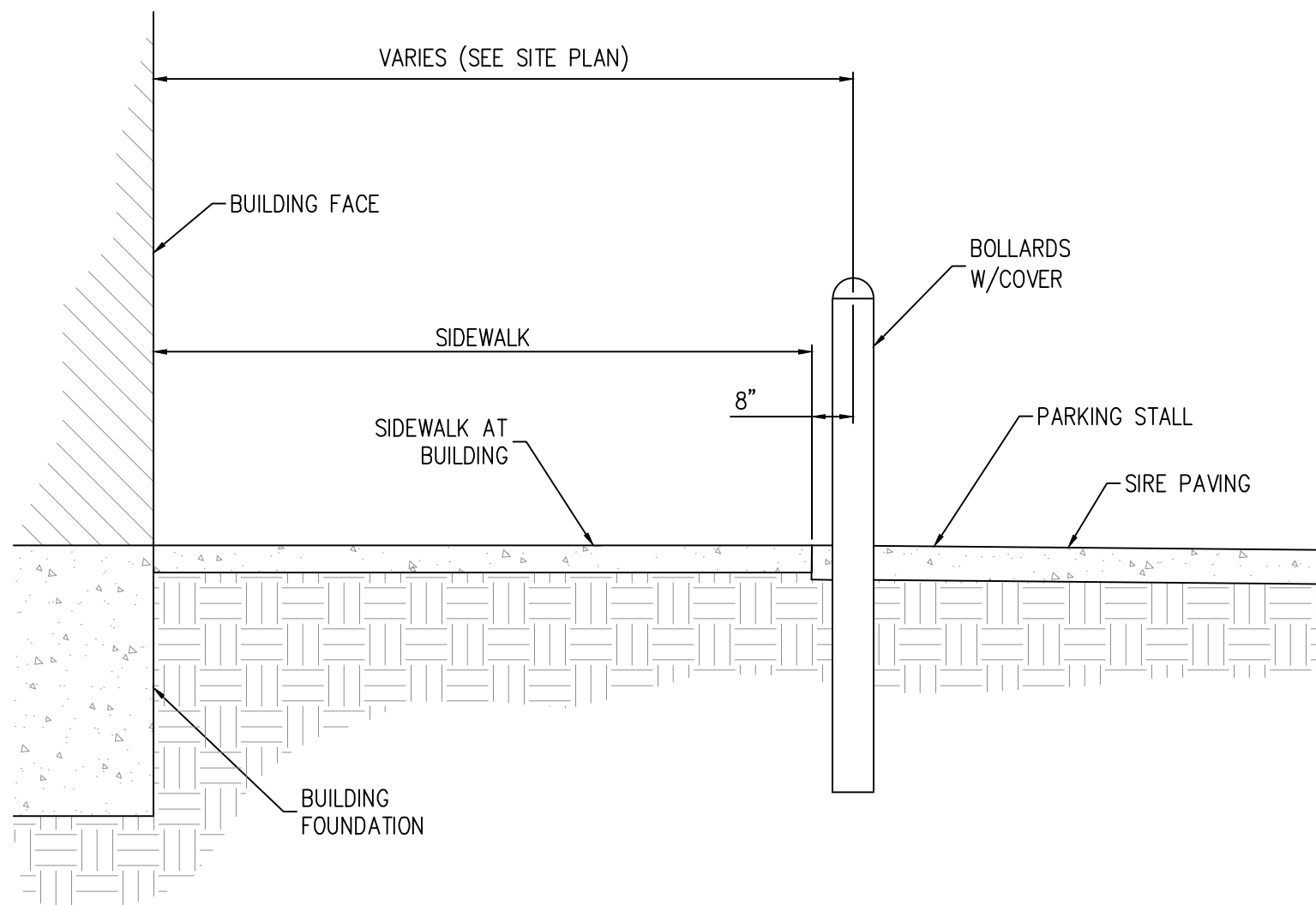
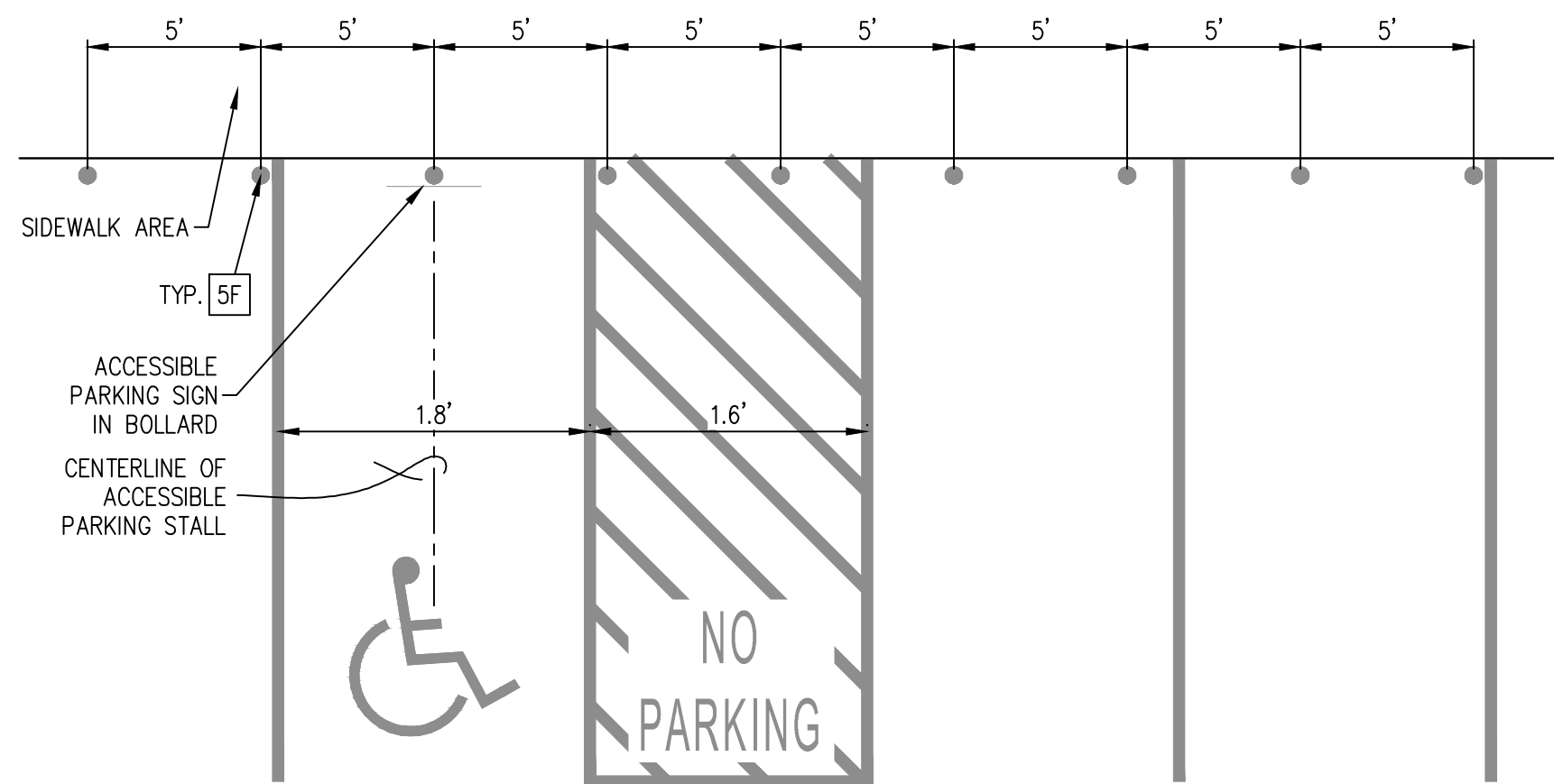


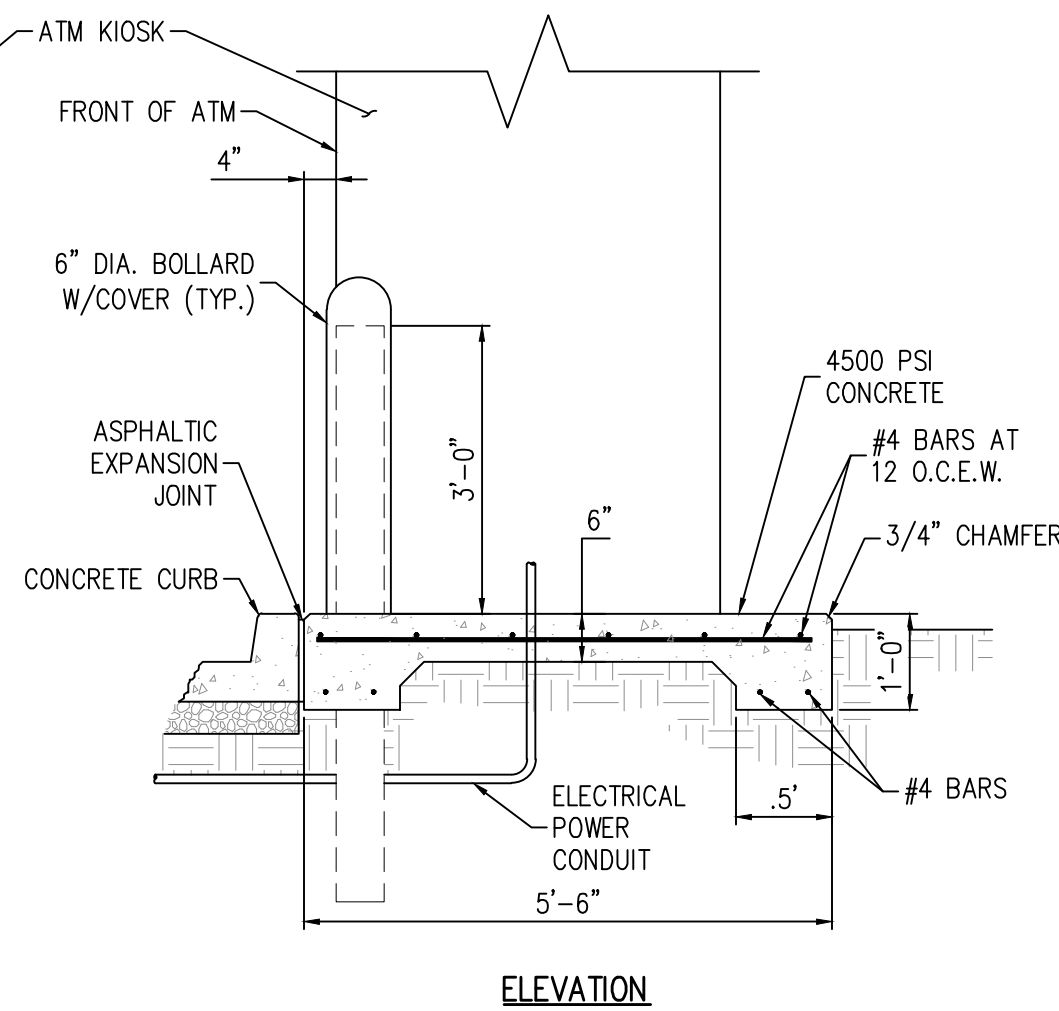
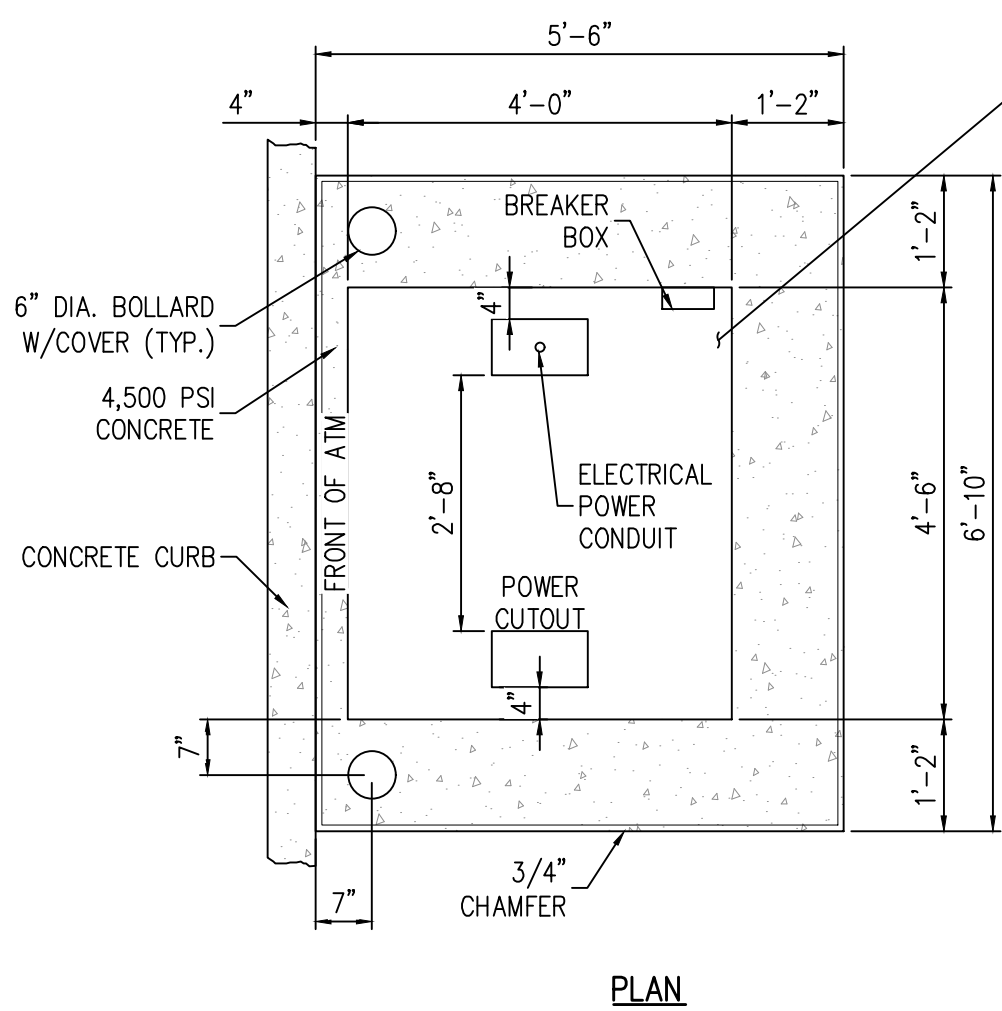
Figure RR-5. Slotted curb.



BOLLARD LOCATION AT BUILDING 20K  
N.T.S.



BOLLARD SPACING AT BUILDING 20J  
N.T.S.



ATM PAD 21H  
N.T.S.

DEPN-25-XXXX  
CITY APPROVAL STAMP:

SHEET NO.

C-5

Sheet 6 of 15

ENGINEERING  
STAMP

JDM

JDM

KRG

MOC118

7/1/2025

REV-X

DATE

PRN

PM

DES

DRW

SITE DETAILS  
MURPHY USA (NTI) #8611  
2870 S. CIRCLE DRIVE  
COLORADO SPRINGS COLORADO

Galloway

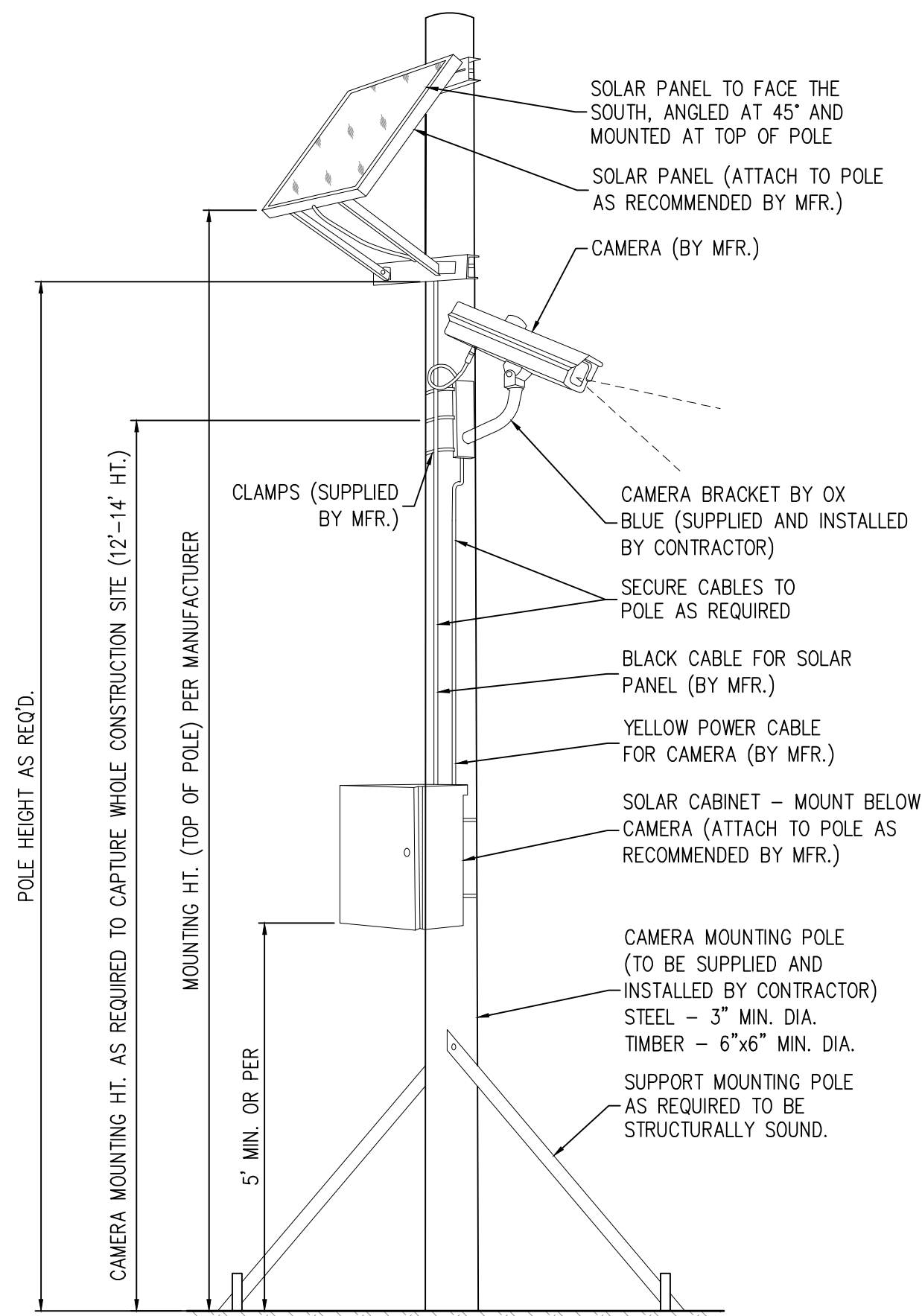
1155 Kelly Johnson Blvd, Suite 305  
Colorado Springs, CO 80920  
719.900.7220 - GallowayUS.com

MURPHY OIL USA, INC.

200 PEACH STREET  
EL DORADO, AR 71730

MURPHY  
USA





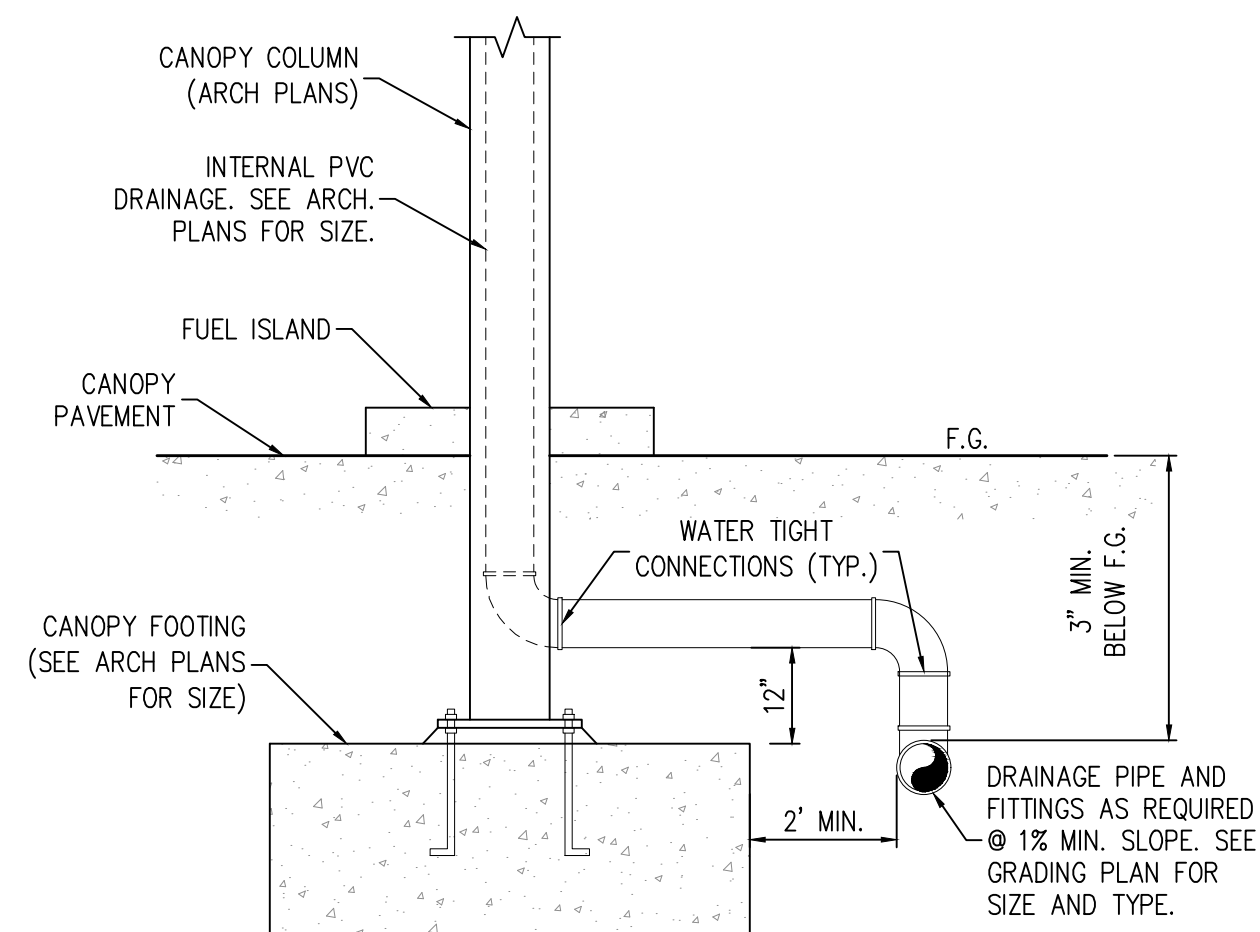
**NOTES:**

- CAMERA AND SOLAR POWER STATION BY OX BLUE CORPORATION.
- CAMERA TO BE INSTALLED AND ACTIVATED PER MFR. REQUIREMENTS BY GC PRIOR TO CONSTRUCTION.
- MOUNTING POLE TO BE SUPPLIED AND INSTALLED BY CONTRACTOR.
- LAG BOLTS/CLAMPS USED TO ATTACH CAMERA, SOLAR PANEL AND CABINET TO POLE ARE TO BE SUPPLIED AND INSTALLED BY CONTRACTOR.
- CONSTRUCTION CAMERA SHALL BE COORDINATED WITH MURPHY CONSTRUCTION MANAGER AND PLACED ON MURPHY PROPERTY WHERE THE ENTIRE WORK SITE CAN BE VIEWED WITH CAMERA.
- MOUNTING POLE TO BE STRUCTURALLY SOUND & WITHSTAND 300 LBS OF FORCE AT 5' ABOVE GROUND.
- FOR ANY MOUNTING OF CAMERA ON OFF-SITE STRUCTURE, CONTRACTOR MUST SECURE PERMITS AND/OR PERMISSION FROM RESPECTIVE OWNER AND PROVIDE TO MURPHY.
- MOUNTING CAMERA SYSTEM ON JOB SHACK IS NOT ALLOWED.

CONSTRUCTION CAMERA

N.T.S.

183



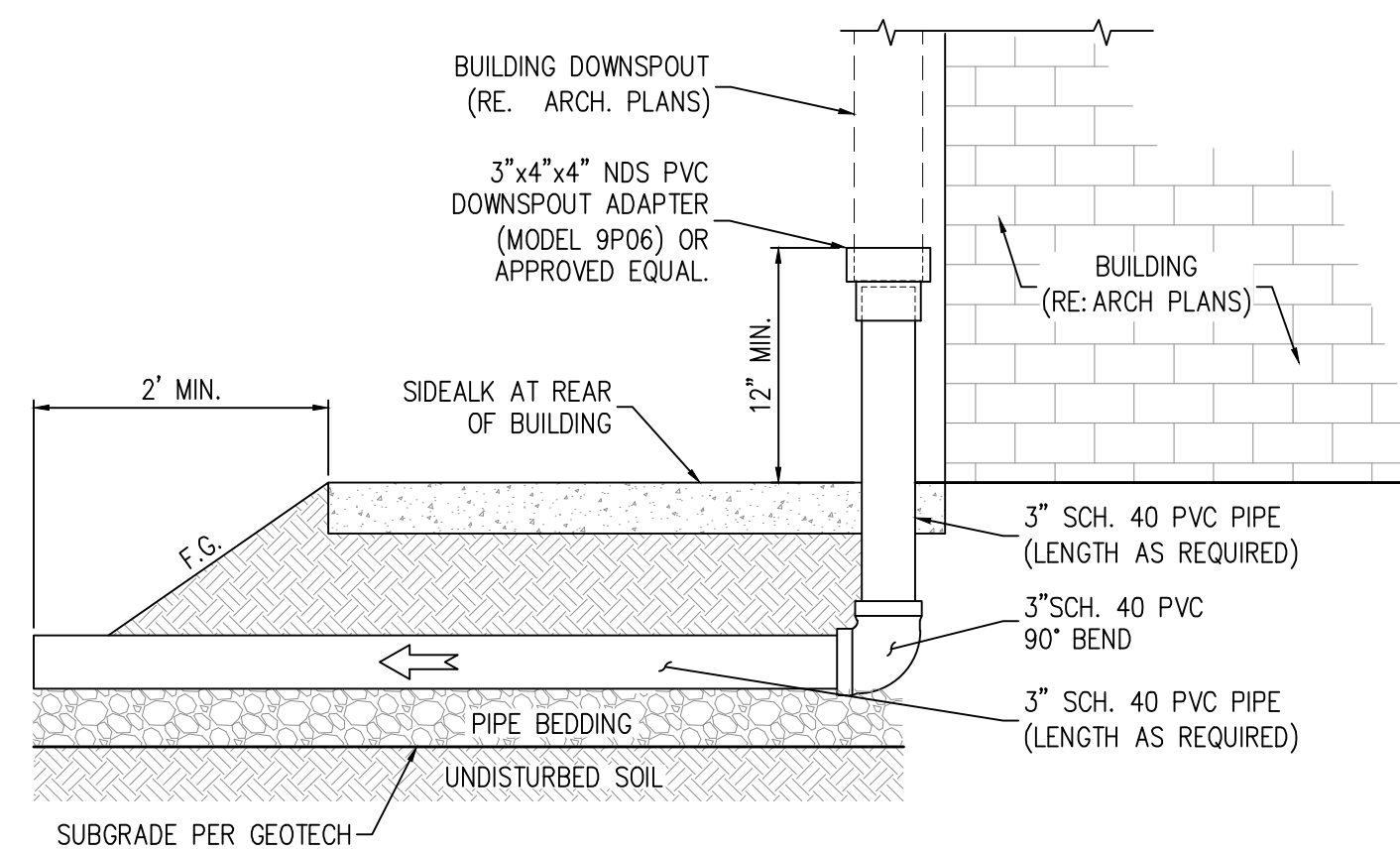
**NOTES:**

- PIPE MUST BE SCHEDULE 40 PVC
- WATER TIGHT CONNECTIONS REQUIRED.
- COORDINATE DOWNSPOUT COLLECTION PIPE WITH PRODUCT PIPING TO AVOID CONFLICTS.

DOWNSPOUT COLLECTOR

N.T.S.

800



**NOTES:**

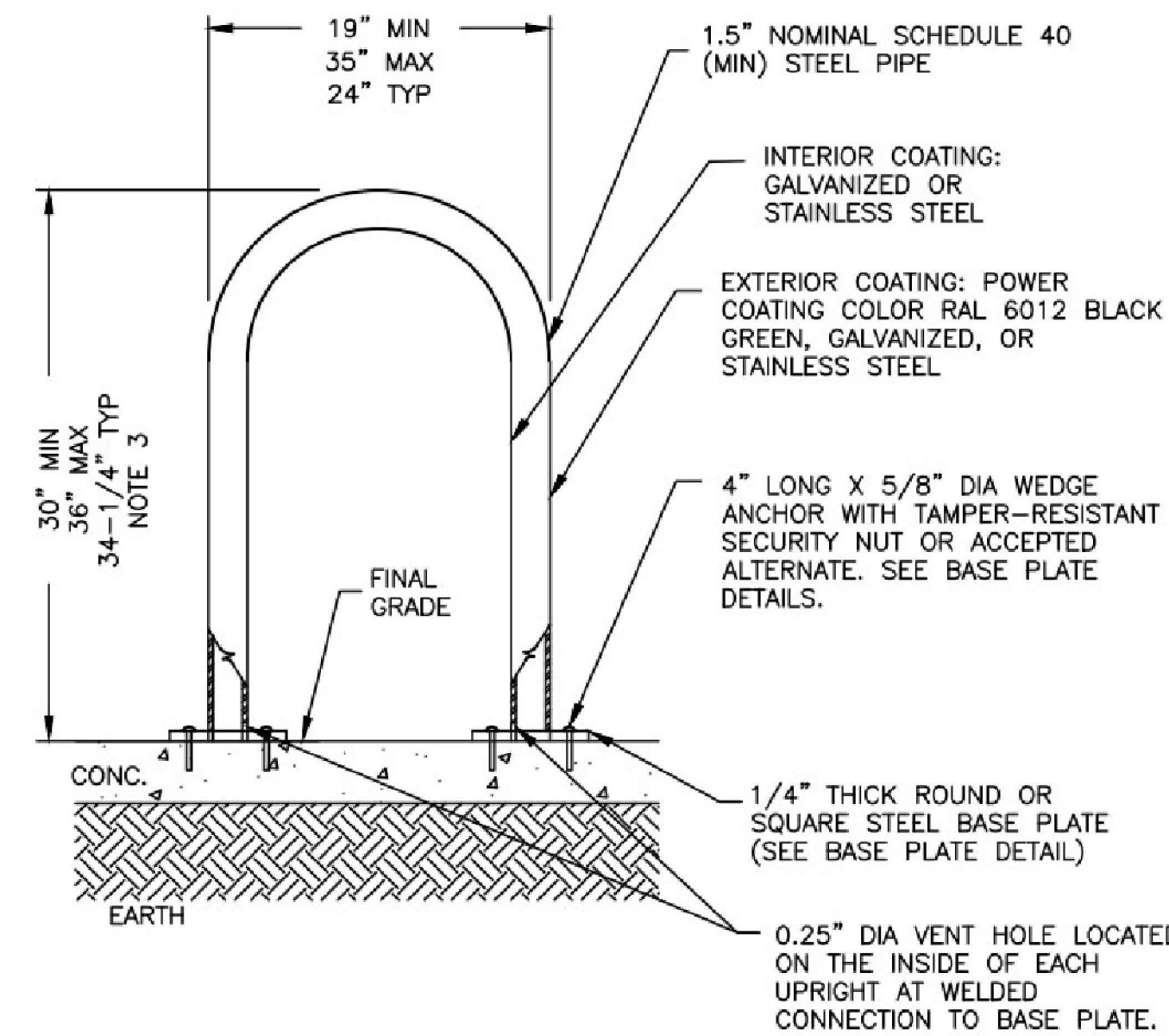
- SEE CANOPY DRAINAGE SHEET FOR CONTINUATION.
- CONTRACTOR TO VERIFY THERE ARE NO CONFLICTS WITH OTHER UTILITY CONDUITS WHEN INSTALLING UNDERGROUND DRAINAGE PIPES.
- ROOF DRAINAGE SHALL BE PVC SCH. 40.
- ROOF DRAINAGE PIPE SHALL HAVE SMOOTH INTERIOR.

ROOF DRAIN DOWNSPOUT CONNECTION

N.T.S.

166

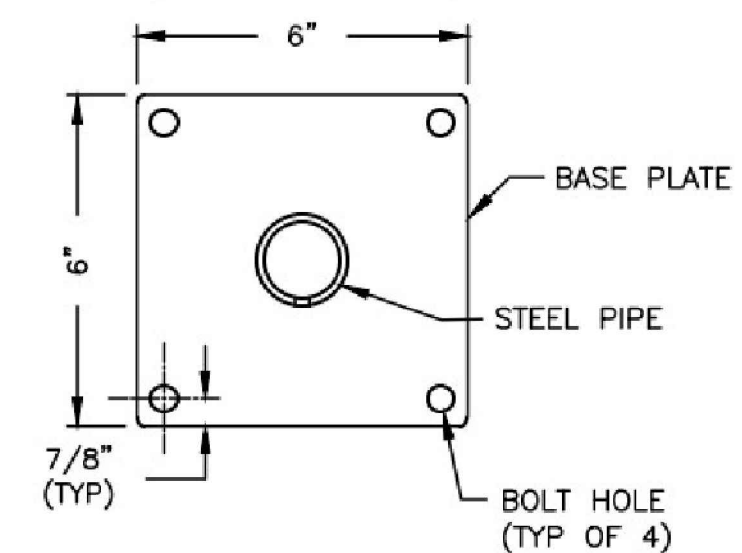
**INDIVIDUAL INVERTED U BIKE RACK**



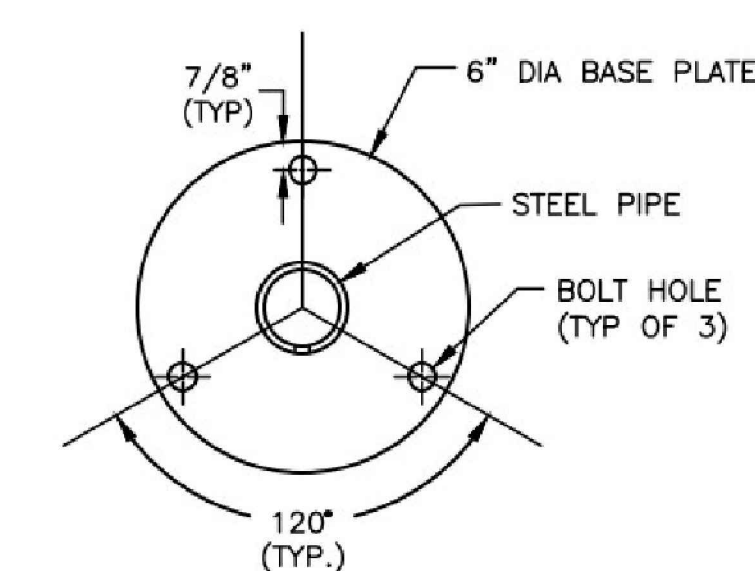
INVERTED U BIKE RACK DETAIL

N.T.S.

**1/4" BASE PLATE DETAILS**



OR



SHEET NO.

C-6

Sheet 7 of 15

ENGINEERING  
STAMP

SITE DETAILS  
MURPHY USA (NTI) #6611  
2870 S. CIRCLE DRIVE  
COLORADO SPRINGS COLORADO

Galloway

1155 Kelly Johnson Blvd. Suite 305  
Colorado Springs, CO 80920  
719.900.7220 - GallowayUS.com

MURPHY OIL USA, INC.

200 PEACH STREET  
EL DORADO, AR 71730

MURPHY  
USA

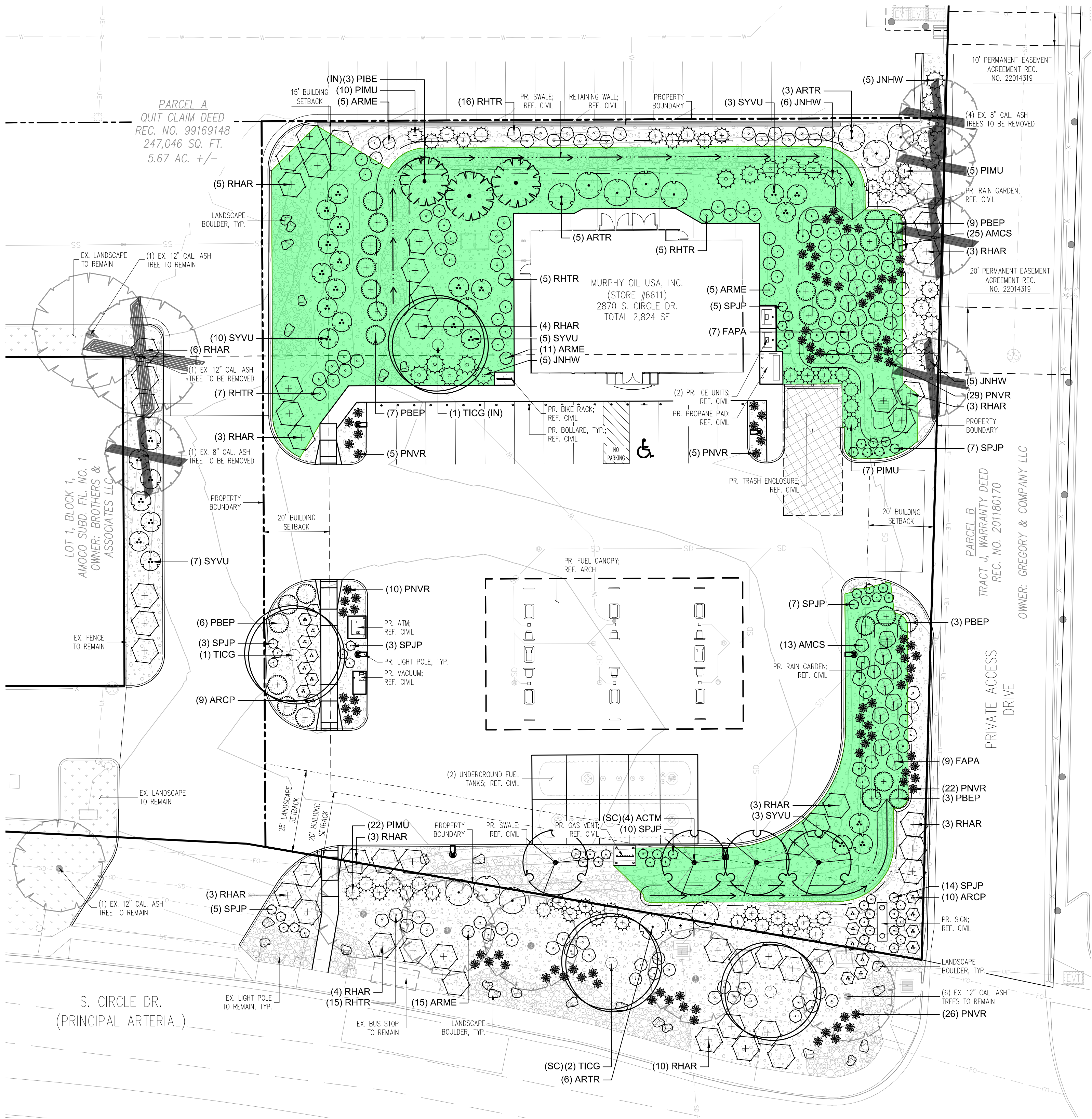
DEPN-25-XXXX

CITY APPROVAL STAMP:



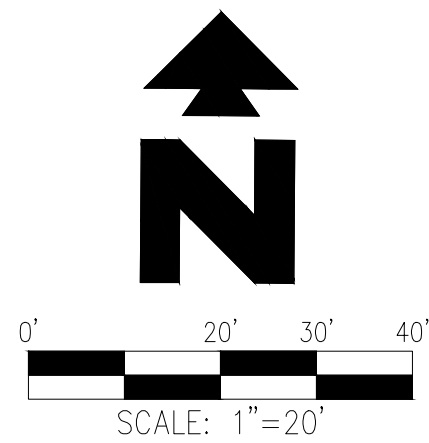






LANDSCAPE REQUIREMENTS

CODE SECTION	CATEGORY	FORMULA	CALCULATION	REQUIRED	PROVIDED	ABBREVIATION DENOTED ON PLAN
7.4.905	STREETSCAPE	S. CIRCLE DR. (PRINCIPAL ARTERIAL) 25 FT SETBACK & 1 TREE / 20 LF	203 LF² / 20	25 FT SETBACK & 11 TREES	25 FT SETBACK & 11 TREES (5 EXISTING)	(SC)
7.4.908.B(2)	INTERNAL LANDSCAPE	NON RESIDENTIAL - 5%	TOTAL AREA 48,850 SF x 0.05	2,443 SF	26,618 SF	N/A
7.4.908.C.1	INTERNAL LANDSCAPE	1 TREE / 500 SF	2,443 SF / 500	5 TREES	5 TREES	(IN)
7.4.909.C	SCREENING	VEGETATION SCREENING	TRASH ENCLOSURE	56 LF SCREENED	56 LF SCREENED	NA
7.4.909.C	SCREENING	VEGETATION SCREENING	FUELING AREA (S. CIRCLE DR.)	203 LF SCREENED	203 LF SCREENED	NA
7.4.904.3	GROUND COVER	75% LIVE GROUND COVERAGE LANDSCAPE AREAS	27,889 SF LANDSCAPE AREA x 0.75	20,917 SF	20,917 SF	NA



NOTE:  
CONTRACTOR TO REPLACE  
EXISTING LANDSCAPE DAMAGED  
BY CONSTRUCTION IN KIND.

SOIL AMENDMENTS & FERTILIZER RECOMMENDATIONS

Required Soils Amendments & Fertilizers			
Site Soil Type: Nunn clay loam / Organic Material Amount - 3%			
Ground Plane Treatment	Class 1 OM Soil Amendment	E.C., Salt or PH Treatment	RotoTill Depth
	3 CU. YD. per	Not Recommended	
Shrub Bed	1,000 SF		6-8 inch min.

- THE PROPOSED MIX SHALL BE CHOSEN FROM THE CURRENT COLORADO SPRINGS UTILITIES APPROVED SOIL AMENDMENT SUPPLIERS.
- SLOW-RELEASE FERTILIZERS ARE REQUIRED FOR SANDY SOILS.
- CONTRACTOR TO OBTAIN SOIL SAMPLE AND FOLLOW LAB TEST RESULTS AMENDMENT RECOMMENDATIONS.

PLANT SCHEDULE

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	CAL / SIZE	HT. X SPD.	WATER USE	CODE REQ.
DECIDUOUS TREES									
	TICG	4	GREENSPIRE LITTLELEAF LINDEN	TILIA CORDATA 'GREENSPIRE'	B&B	2" CAL	40' X30'	MODERATE	ROW / INTERNAL
EVERGREEN TREES									
	PIBE	3	BABY BLUE EYES COLORADO BLUE SPRUCE	PICEA PUNGENS 'BABY BLUE EYES'	B&B	6' HT	25' X15'	LOW	INTERNAL
ORNAMENTAL TREES									
	ACTM	4	HOT WINGS TATARIAN MAPLE	ACER TATARICUM 'GARANN' TM	B&B	1.5" CAL	25' X20'	MODERATE	ROW
EXISTING TREES									
	EXTR	6	EXISTING DECIDUOUS TREE	TO BE REMOVED	EXISTING				
	EXOT	7	EXISTING DECIDUOUS TREE	TO REMAIN	EXISTING				
SYMBOL CODE QTY COMMON NAME BOTANICAL NAME CONT. HT. X SPD. WATER USE CODE REQ.									
DECIDUOUS SHRUBS									
	AMCS	38	LEADPLANT	AMORPHA CANESCENS	#5 CONT.	4" X4'	VERY LOW		
	ARME	36	BLACK CHOKEBERRY	ARONIA MELANOCARPA	#5 CONT.	6' X4'	LOW	SCREEN	
	ARTR	14	BIG SAGEBRUSH	ARTEMISIA TRIDENTATA	#5 CONT.	8' X8'	VERY LOW	SCREEN	
	FAPA	16	APACHE PLUME	FALLUGIA PARADOXA	#5 CONT.	5' X5'	VERY LOW	SCREEN	
	PBEP	28	PAWNEE BUTTES SAND CHERRY	PRUNUS BESSEYI 'P011S' TM	#5 CONT.	1.5' X6'	VERY LOW		
	RHAR	50	GRO-LOW FRAGRANT SUMAC	RHUS AROMATICA 'GRO-LOW'	#5 CONT.	3' X8'	LOW		
	RHTR	48	SKUNKBUSH SUMAC	RHUS TRILOBATA	#5 CONT.	4' X4'	VERY LOW	SCREEN	
	SPJP	54	LIMEMOUND SPIRAEA	SPIRAEA JAPONICA 'LIMEMOUND'	#5 CONT.	2' X3'	MODERATE		
	SYVU	28	COMMON LEAC	SYRINGA VULGARIS	#5 CONT.	6' X6'	LOW		
EVERGREEN SHRUBS									
	ARCP	19	PANCHITO MANZANITA	ARCTOSTAPHYLOS X COLORADENSIS 'PANCHITO'	#5 CONT.	2' X4'	MODERATE		
	JNHW	21	BLUE RUG JUNIPER	JUNIPERUS HORIZONTALIS 'WILTON'	#5 CONT.	6' X6'	VERY LOW		
	PIMU	44	BIG TUNA MUGO PINE	PINUS MUGO 'BIG TUNA'	#5 CONT.	6' X5'	LOW	SCREEN	
ORNAMENTAL GRASSES									
	PNVR	97	SHENANDOAH SWITCH GRASS	PANICUM VIRGATUM 'HOT ROD'	#1 CONT.	4' X3'	LOW	SCREEN	
SYMBOL QTY TYPE									
GROUND COVERS									
		2,874 SF	EXISTING LANDSCAPE TO REMAIN						
MULCH									
		3,915 SF	2"-4" RIVER ROCK COBBLE						
		23,974 SF	3/4" SADDLEBACK SWIRL ROCK MULCH						

LANDSCAPE MATERIALS SCHEDULE

SYMBOL	DESCRIPTION	QTY
	2'-3' SILOAM STONE LANDSCAPE BOULDER	24

PERCENT SIGNATURE PLANTS

TREES	TOTAL PROPOSED TREES:	11
	TOTAL SIGNATURE TREES:	11
	% SIGNATURE TREES:	100%
SHRUBS	TOTAL PROPOSED SHRUBS:	396
	TOTAL SIGNATURE SHRUBS:	368
	% SIGNATURE SHRUBS:	93%
GRASSES	TOTAL PROPOSED GRASSES:	97
	TOTAL SIGNATURE GRASSES:	97
	% SIGNATURE GRASSES:	100%

DEPN-25-XXXX

CITY APPROVAL STAMP:

SHEET NO.

LP-1

Sheet 9 of 15

ENGINEERING  
STAMP

REV-X  
7/7/2025  
MOC118  
DATE

TJR  
SRM  
KRG  
PM  
PRN  
DES

PRELIMINARY LANDSCAPE PLAN

MURPHY OIL USA (NTI) #6611

2870 S. CIRCLE DRIVE

COLORADO SPRINGS COLORADO

Galloway

1155 Kelly Johnson Blvd, Suite 305  
Colorado Springs, CO 80920  
719.900.7220 - GallowayUS.com

MURPHY OIL USA, INC.

200 PEACH STREET  
EL DORADO, AR 71730

MURPHY  
USA

CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.





LANDSCAPE NOTES

- GENERAL
- ALL WORK SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES, STANDARDS, AND SPECIFICATIONS.
  - LANDSCAPE DESIGN IS DIAGRAMMATIC IN NATURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN TAKEOFFS AND QUANTITY CALCULATIONS. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE LANDSCAPE LEGEND, THE PLAN QUANTITY AS SHOWN ON THE PLAN SHALL TAKE PRECEDENCE AND NOTIFY THE LANDSCAPE ARCHITECT OF THESE DISCREPANCIES. MINOR ADJUSTMENTS TO THE LANDSCAPE MATERIAL AND LOCATIONS MAY BE PROPOSED FOR CITY CONSIDERATION AT THE CONSTRUCTION DOCUMENT STAGE TO RESPOND TO MARKET AND FIELD CONDITIONS. HOWEVER, THERE SHALL BE NO REDUCTION IN THE NUMBER AND SIZE OF MATERIALS.
  - CONTRACTOR SHALL MAKE HIMSELF AWARE OF THE LOCATIONS OF EXISTING AND PROPOSED UTILITIES, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE UTILITIES AND/OR ANY INJURY TO ANY PERSON. THIS DRAWING IS PART OF A COMPLETE SET OF CONTRACT DOCUMENTS. UNDER NO CIRCUMSTANCES SHOULD THIS PLAN BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE AND REVIEW ALL RELATED PLANS AND DOCUMENTS.
  - ALL UTILITY EASEMENTS SHALL REMAIN UNOBTSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR MAINTENANCE EQUIPMENT.
  - THE CONTRACTOR SHALL TAKE EXTREME CARE NOT TO DAMAGE ANY EXISTING PLANTS INDICATED AS "TO REMAIN". ANY SUCH PLANTS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED WITH THE SAME SPECIES, SIZE, AND QUANTITY AT THE CONTRACTOR'S OWN EXPENSE, AND AS ACCEPTABLE TO THE OWNER. REFER TO THE TREE PROTECTION NOTES ON THE PLANS (AS APPLICABLE).
  - LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THEN AN APPROVAL WILL BE OBTAINED FROM THE CITY. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
  - ALL CONSTRUCTION DEBRIS AND MATERIAL SHALL BE REMOVED AND CLEANED OUT PRIOR TO INSTALLATION OF TOPSOIL, TREES, SHRUBS, AND TURF.
  - FOR ALL INFORMATION ON SURFACE MATERIAL OF WALKS, DRIVES, AND PARKING LOTS, SEE THE SITE PLAN. SEE PHOTOMETRIC PLAN FOR FREE STANDING LIGHTING INFORMATION.
  - THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT ONE WEEK PRIOR TO BEGINNING CONSTRUCTION.
  - WINTER WATERING SHALL BE AT THE EXPENSE OF THE CONTRACTOR UNTIL SUCH TIME AS FINAL ACCEPTANCE IS RECEIVED.
  - ALL LANDSCAPE CONSTRUCTION PRACTICES, WORKMANSHIP, AND ETHICS SHALL, BE IN ACCORDANCE WITH INDUSTRY STANDARDS SET FORTH IN THE CONTRACTORS HANDBOOK PUBLISHED BY THE COLORADO LANDSCAPE CONTRACTORS ASSOCIATION.
  - LANDSCAPE AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY.
- FINISH GRADING AND SOIL PREPARATION
- CONTRACTOR SHALL CONSTRUCT AND MAINTAIN FINISH GRADES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE OF 1% IN THE DIRECTION OF POTENTIAL PONDING. PONDING SHALL BE REGRADOED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.
  - AFTER FINISH GRADES HAVE BEEN ESTABLISHED, IT IS RECOMMENDED THAT THE CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: GENERAL SOIL FERTILITY, PH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ABSORPTION RATIO (SAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL. CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
  - THE CONTRACTOR SHALL RECOMMEND INSTALLATION OF SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT FOR THE THE OWNER/OWNER'S REPRESENTATIVE CONSIDERATION.
  - ALL PARKING ISLAND SOIL TO BE TILLED OR AMENDED TO A MINIMUM DEPTH OF 30".
- PLANTING
- ALL DECIDUOUS TREES SHALL HAVE FULL, WELL-SHAPED HEADS/ALL EVERGREENS SHALL BE UNSHEARED UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
  - ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE OF THE COXPRNCE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT SHALL BE THE SOLE JUDGE AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
  - ALL TREES SHALL BE GUYED AND WOOD STAKED AS PER DETAILS. NO "T-STAKES" SHALL BE USED FOR TREES.
  - ALL PLANT MATERIALS SHALL BE TRUE TO TYPE, SIZE, SPECIES, QUALITY, AND FREE OF INJURY, BROKEN ROOT BALLS, PESTS, AND DISEASES, AS WELL AS CONFORM TO THE MINIMUM REQUIREMENTS DESCRIBED IN THE "AMERICAN STANDARD FOR NURSERY STOCK". FOLLOW GREENCO TREE PLANTING RECOMMENDATIONS FOR MINIMUM QUALITY REQUIREMENTS FOR TREES.
  - ALL TREE AND SHRUB BED LOCATIONS ARE TO BE STAKED OUT ON SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
  - ALL TREES PLANTED ADJACENT TO PUBLIC AND/OR PEDESTRIAN WALKWAYS SHALL BE PRUNED CLEAR OF ALL BRANCHES BETWEEN GROUND AND A HEIGHT OF EIGHT (8) FEET FOR THAT PORTION OF THE PLAN LOCATED OVER THE SIDEWALK AND/OR ROAD.
  - ALL PLANT MATERIAL SHALL NOT BE PLANTED PRIOR TO INSTALLATION OF TOPSOIL.
  - ALL PLANT BEDS SHALL BE CONTAINED WITH STEEL EDGER. STEEL EDGER IS NOT REQUIRED ALONG CURBS, WALKS OR BUILDING FOUNDATIONS. ALL EDGING SHALL OVERLAP AT JOINTS A MINIMUM OF 6-INCHES, AND SHALL BE FASTENED WITH A MINIMUM OF 4 PINS PER EACH 10 FOOT SECTION. THE TOP OF ALL EDGING MATERIAL SHALL BE A ROLLED TOP AND 1/2 INCH ABOVE THE FINISHED GRADE OF ADJACENT LAWN OR MULCH AREAS, COLOR: GREEN.
  - THE DEVELOPER, HIS SUCCESSOR, OR ASSIGNEE SHALL BE RESPONSIBLE FOR ESTABLISHING AND CONTINUING A REGULAR PROGRAM OF MAINTENANCE FOR ALL LANDSCAPED AREAS. SEE LANDSCAPE GUARANTEE AND MAINTENANCE NOTE.
  - A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS.
  - LANDSCAPE CONTRACTOR TO SUBMIT SAMPLES OF MISCELLANEOUS LANDSCAPING MATERIALS TO THE LANDSCAPE ARCHITECTS AND OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION, I.E., MULCH, EDGER, LANDSCAPE FABRIC, ETC.
- MULCHING
- AFTER ALL PLANTING IS COMPLETE, THE CONTRACTOR SHALL INSTALL A MINIMUM 4" THICK LAYER OF MULCH AS SPECIFIED IN THE PLANTING LEGEND. INSTALL A 4" THICK RING OF DOUBLE SHREDDED CEDAR BARK MULCH AROUND ALL PLANT MATERIAL IN ROCK MULCH BEDS WHERE LANDSCAPING IS SHOWN ON THE PLANS. WOOD MULCH RING SIZE SHALL BE THE CONTAINER SIZE OF THE SHRUBS, PERENNIALS, AND ORNAMENTAL GRASSES. TREE RING SIZE SHALL A MIN OF 3" DIA.
  - ALL MULCH SHALL BE HARVESTED IN A SUSTAINABLE MANNER FROM A LOCAL SOURCE.
  - INSTALL DEWITT PRO-5 WEED BARRIER FABRIC UNDER ALL ROCK MULCH SHRUB BEDS SPECIFIED ON THE PLANS ONLY. NO LANDSCAPE FABRIC SHALL BE USED IN WOOD MULCH AREAS. NO PLASTIC WEED BARRIERS SHALL BE SPECIFIED.
  - ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.
  - ALL PLANTING AREAS WITH LESS THAN A 4:1 GRADIENT SHALL RECEIVE A LAYER OF MULCH. TYPE AND DEPTH PER PLANS. SUBMIT 1 CUBIC FOOT SAMPLE OF MULCH (ONE SAMPLE PER TYPE) TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. THE MULCH SHALL BE SPREAD EVENLY THROUGHOUT ALL PLANTING AREAS EXCEPT SLOPES 4:1 OR STEEPER, OR AS OTHERWISE DENOTED ON THE PLAN. ABSOLUTELY NO EXPOSED GROUND SHALL REMAIN IN AREAS TO RECEIVE MULCH AFTER MULCH HAS BEEN INSTALLED.
  - ALL PLANTING AREAS ON SLOPES OVER 4:1 SHALL RECEIVE COCONUT FIBER EROSION CONTROL NETTING FROM ROLLS. NETTING SHALL BE #CT-125, AS MANUFACTURED BY NORTH AMERICAN GREEN (OR EQUAL). INSTALL AND STAKE PER MANUFACTURER'S SPECIFICATIONS. SEE ALSO THE CIVIL ENGINEER'S EROSION CONTROL PLAN.

TREE PROTECTION NOTES:

- USE CITY OF COLORADO SPRINGS TREE PROTECTION NOTES (IF AVAILABLE). TREE PROTECTION NOTES BELOW SHALL BE USED FOR FURTHER INTEGRATION.
- "PROTECTED ZONE" FOR EXISTING TREES: BEFORE BEGINNING ANY DEMOTION OR CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL INSTALL TEMPORARY FENCING AROUND ALL EXISTING TREES WITHIN THE CONSTRUCTION ZONE THAT ARE TO BE SAVED. THE FENCE SHALL BE INSTALLED NO CLOSER TO THE TREE THAN THE EDGE OF THE TREE'S PROTECTED ZONE, GENERALLY DEFINED AS THE AREA BEGINNING FIVE FEET OUTSIDE OF THE TREE'S DRIPLINE AND EXTENDING TOWARDS THE TREE (OR AS FAR AWAY FROM THE TRUNK AS PRACTICABLE). THE FENCING SHALL BE OF A MATERIAL AND HEIGHT ACCEPTABLE TO THE LANDSCAPE ARCHITECT. ALL CONTRACTORS AND THEIR CREWS SHALL NOT BE ALLOWED INSIDE THIS "PROTECTED ZONE" NOR SHALL THEY BE ALLOWED TO STORE OR DUMP FOREIGN MATERIALS WITHIN THIS AREA. NO WORK OF ANY KIND, INCLUDING TRENCHING, SHALL BE ALLOWED WITHIN THE PROTECTED ZONE EXCEPT AS DESCRIBED BELOW. THE FENCING SHALL REMAIN AROUND EACH TREE TO BE SAVED UNTIL THE COMPLETION OF CONSTRUCTION OPERATIONS.
- TEMPORARY MULCH: TO ALLEVIATE SOIL COMPACTION IN ANTICIPATED AREAS OF HIGH CONSTRUCTION TRAFFIC, AND ONLY WHERE FENCING CANNOT BE SET FIVE FEET OUTSIDE OF THE DRIPLINE, THE CONTRACTOR SHALL INSTALL A LAYER OF MULCH, 9"-12" THICK, OVER ALL EXPOSED EARTH FROM THE TREE TRUNK TO 5' OUTSIDE OF THE DRIPLINE. THIS LAYER SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. WHEN PLANTING OPERATIONS ARE COMPLETED, THE MULCH SHALL BE REDISTRIBUTED THROUGHOUT ALL PLANTING AREAS IN A 3" THICK "PERMANENT" MULCH LAYER.
- NECESSARY WORK: WHEN IT BECOMES NECESSARY TO ENTER THE "PROTECTED ZONE", SUCH AS FOR FINE GRADING, IRRIGATION INSTALLATION, AND PLANTING OPERATIONS, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE FOLLOWING RULES:
  - EVERY EFFORT SHALL BE MADE TO PRESERVE THE EXISTING GRADE AROUND PROTECTED TREES IN AS WIDE AN AREA AS POSSIBLE.
  - TRENCHING WITHIN THE PROTECTED ZONE OF EXISTING TREES SHALL BE PERFORMED BY HAND, AND WITH EXTREME CARE NOT TO SEVER ROOTS 1'-12" IN DIAMETER AND LARGER. WHERE ROOTS 1'-12" IN DIAMETER AND LARGER ARE ENCOUNTERED, THE CONTRACTOR SHALL TUNNEL UNDER SAID ROOTS. EXPOSED ROOTS THAT HAVE BEEN TUNNELED UNDER SHALL BE WRAPPED IN WET BURLAP AND KEPT MOIST WHILE THE TRENCH IS OPEN.
  - WHERE ROOTS 1'-12" IN DIAMETER OR LARGER MUST BE CUT DUE TO EXTENSIVE GRADE CHANGES, THOSE ROOTS MUST BE EXPOSED BY HAND DIGGING AND CUT CLEANLY. RAGGED CUTS GENERALLY DO NOT HEAL PROPERLY, AND MAY LEAVE THE TREE OPEN TO PESTS AND PATHOGENS.
  - WHERE TRENCHING NEAR TREES HAS ALREADY OCCURRED FROM PREVIOUS CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL MAKE EVERY EFFORT TO CONFINES HIS TRENCHING OPERATIONS TO THE PREVIOUSLY-CREATED TRENCHES, WHILE ADHERING TO THE CONDITIONS SET FORTH IN 3B.
- POTENTIAL CONFLICTS: THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARBORIST SHOULD ANY POTENTIAL CONFLICTS ARISE BETWEEN THESE SPECIFICATIONS AND/OR LARGE ROOTS ENCOUNTERED IN THE FIELD, AND CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL NOT TAKE ANY ACTION IN SUCH CONFLICTS WITHOUT THE ARBORIST'S WRITTEN APPROVAL. THE ARBORIST SHALL HAVE FINAL AUTHORITY OVER ALL METHODS NECESSARY TO HELP ENSURE THE PROTECTION AND SURVIVAL OF EXISTING TREES.
- PRUNING: PRUNE ONLY THE TREES THAT ARE INDICATED ON THE PLANS AS REQUIRING PRUNING. PRUNE TREES ACCORDING TO INTERNATIONAL SOCIETY OF ARBORICULTURE / ANSI A300 STANDARDS:
  - REMOVE ALL DEAD WOOD.
  - PRUNE LIVE WOOD FOR HEALTH OR STRUCTURAL REASONS ONLY, INCLUDING THE NEED TO ELIMINATE DISEASED OR DAMAGED GROWTH, ELIMINATE STRUCTURALLY UNSOUND GROWTH, REDUCE THE POTENTIAL FOR WIND TOPPLING OR WIND DAMAGE, OR TO MAINTAIN GROWTH WITHIN LIMITED SPACE. DO NOT REMOVE MORE THAN 25% OF ANY TREE'S LIVE FOLIAGE IN ANY ONE GROWING SEASON. PRUNE ONLY TO INTERNATIONAL SOCIETY OF ARBORICULTURE/ANSI A300 STANDARDS, AND ONLY UNDER THE DIRECT SUPERVISION OF A CERTIFIED ARBORIST.
  - FINAL CUTS SHALL BE MADE JUST OUTSIDE THE SHOULDER RING AREA. EXTREMELY FLUSHED CUTS WHICH PRODUCE LARGE WOUNDS SHALL NOT BE MADE.
  - ALL TRIMMING CUTS SHALL BE PERFORMED IN SUCH A MANNER AS TO PROMOTE THE NATURAL GROWTH AND SHAPE OF EACH TREE SPECIES.
  - IMPROPER PRUNING METHODS INCLUDING, BUT NOT LIMITED TO, "TOPPING", "TIPPING", "HEADING BACK", "DEHORNING", AND "LIONTAILING" WILL NOT BE ALLOWED. THE CONTRACTOR SHALL PAY FOR ALL WORK NECESSARY TO CORRECT SUCH PRUNING WHEN PERFORMED BY HIS CREWS OR SUBCONTRACTORS.
  - SHOULD THE CONTRACTOR REQUIRE MORE INFORMATION, THE CONTRACTOR SHALL CONTACT THE ISA AT (217) 355-9411 FOR A COPY OF THE ANSI A300 PRUNING STANDARD. CONTRACTOR SHALL ADHERE TO THE METHODS AND PRACTICES SET FORTH IN THIS DOCUMENT.
- LANDSCAPE AND IRRIGATION (NATIVE TREES ONLY): ANY FUTURE LANDSCAPE AND IRRIGATION SHOULD ADHERE TO THE FOLLOWING GUIDELINES:
  - NO IRRIGATION OR PLANTING SHOULD OCCUR CLOSER THAN 8'-10' FROM THE TRUNK.
  - WHERE IRRIGATION DOES OCCUR WITHIN THE PROTECTED ZONE, DRIP IRRIGATION SHOULD BE USED WHEREVER POSSIBLE. ADDITIONALLY, ONLY PLANTS WITH LOW WATER NEEDS SHOULD BE PLANTED WITHIN THE PROTECTED ZONE. SPACES FAR AWAY FROM THE TREE, PLANTS MAY BE SPACED CLOSER TOGETHER NEAR THE EDGE OF THE PROTECTED ZONE.

CITY OF COLORADO SPRINGS STANDARD LANDSCAPE NOTES

- A FINAL LANDSCAPE AND IRRIGATION PLAN, WITH APPLICABLE SUPPORTING MATERIAL, SHALL BE SUBMITTED AT TIME OF BUILDING PERMIT APPLICATION AND SHALL BE APPROVED BEFORE ANY BUILDING PERMIT APPROVAL, ANY LANDSCAPE OR IRRIGATION CONSTRUCTION, AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ALL PROPOSED LANDSCAPING SHALL BE WATERED BY AN AUTOMATIC IRRIGATION SYSTEM WHICH WILL PROVIDE DRIP IRRIGATION TO ALL SHRUB BEDS AND TREES WITHIN NATIVE SEED AREAS AND SPRAY IRRIGATION TO ALL HIGH-WATER USE TURF AND NATIVE SEED AREAS.
- THE OWNER OR DEVELOPER IS REQUIRED TO PROVIDE INSPECTION AFFIDAVITS EXECUTED BY THE COLORADO LICENSED LANDSCAPE ARCHITECT OR CERTIFIED IRRIGATION DESIGNER OF RECORD FOR THE PROJECT, WHICH CERTIFIES THAT THE PROJECT WAS INSTALLED AND IN COMPLIANCE WITH THE APPROVED FINAL LANDSCAPE AND IRRIGATION PLAN ON FILE IN CITY PLANNING. THIS SHOULD REQUIRE LIMITED CONSTRUCTION OBSERVATION VISITS TO ACCURATELY COMPLETE THE AFFIDAVITS, WHEN READY TO CALL FOR INSPECTION AND SUBMIT AFFIDAVITS, FIRST CONTACT THE CITY PLANNER OF RECORD FOR THE PROJECT (719-385-5905) AND AS NECESSARY OUR DRE OFFICE (719-385-5982).
- COPIES OF RECEIPTS/DELIVERY TICKETS FOR SOIL AMENDMENTS INSTALLED ON THE PROJECT ARE REQUIRED TO BE PROVIDED WITH THE INSPECTION AFFIDAVITS.
- IF SOIL IN THE PARKING LOT HAS BEEN COMPACTED BY GRADING OPERATIONS, THE SOIL WITHIN THE PLANTER SHALL BE TILLED, OR REMOVED TO A DEPTH OF THIRTY (30) INCHES AND REPLACED WITH AN ACCEPTABLE GROWING MEDIUM FOR THE SPECIES BEING INSTALLED.
- TILLING OF THE EXISTING SOIL TO INCORPORATE AMENDMENTS AND COUNTER ANY COMPACTION OR SOIL CONSOLIDATION SHALL BE REQUIRED FOR ALL LANDSCAPE PLANTING AREAS.
- VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. CALL 811 FOR UTILITY LOCATES. TREE TRUNK PLACEMENT SHALL BE 6' MINIMUM DISTANCE FROM ANY GAS OR ELECTRIC AND 10' FROM GAS MAINS RATED AT 150 PSI. FOR SANITARY SEWER AND WATER MAINLINES TREES SHALL NOT BE LOCATED WITHIN EASEMENTS AND WITHIN 15' OF ANY MAINLINE. ANY CONFLICT BETWEEN TREE LOCATIONS AND UTILITIES SHOWN ON PLANS SHALL BE RESOLVED WITH GENERAL CONTRACTOR PRIOR TO PLANTING. ALL ELECTRIC VAULTS AND TRANSFORMERS SHALL BE KEPT CLEAR FROM PLANT MATERIAL PER COLORADO SPRINGS UTILITIES (CSU) GUIDELINES "LANDSCAPING AROUND ELECTRICAL EQUIPMENT". SEE CSU CONSTRUCTION STANDARDS DRAWINGS 15-302 FOR SPECIFIC CLEARANCE REQUIREMENTS. ALL SHRUBS TO BE LOCATED 3' CLEAR OF ALL FIRE HYDRANTS AT MATURE SIZE.
- TREES SHALL MAINTAIN A 15-FOOT MINIMUM SEPARATION FROM WATER AND WASTEWATER MAINS AND A 6-FOOT MINIMUM SEPARATION FROM ELECTRIC AND GAS DISTRIBUTION LINES.

LANDSCAPE GUARANTEE AND MAINTENANCE

- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOO, SEEDED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNERS ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A NEAT, CLEAN, AND HEALTHY CONDITION FOR A PERIOD OF 90 DAYS. THIS SHALL INCLUDE PROPER PRUNING, MOWING AND AERATION OF LAWNS, WEEDING, REPLACEMENT OF MULCH, REMOVAL OF LITTER, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON AND TO MAXIMIZE WATER CONSERVATION. IF SITE OPENS DURING WINTER, TO AVOID FREEZE DAMAGE ON PLANTINGS, THE 90 DAYS SHOULD BEGIN AFTER ACCEPTANCE OF THE WORK.
- DURING THE LANDSCAPE MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES IN ALL LANDSCAPE AREAS AT THE MINIMUM SLOPE SPECIFIED IN THE GEOTECHNICAL REPORT. LANDSCAPE AREAS WHICH SETTLE AND CREATE THE POTENTIAL FOR PONDING SHALL BE REPAIRED TO ELIMINATE PONDING POTENTIAL AND BLEND IN WITH THE SURROUNDING GRADES. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.

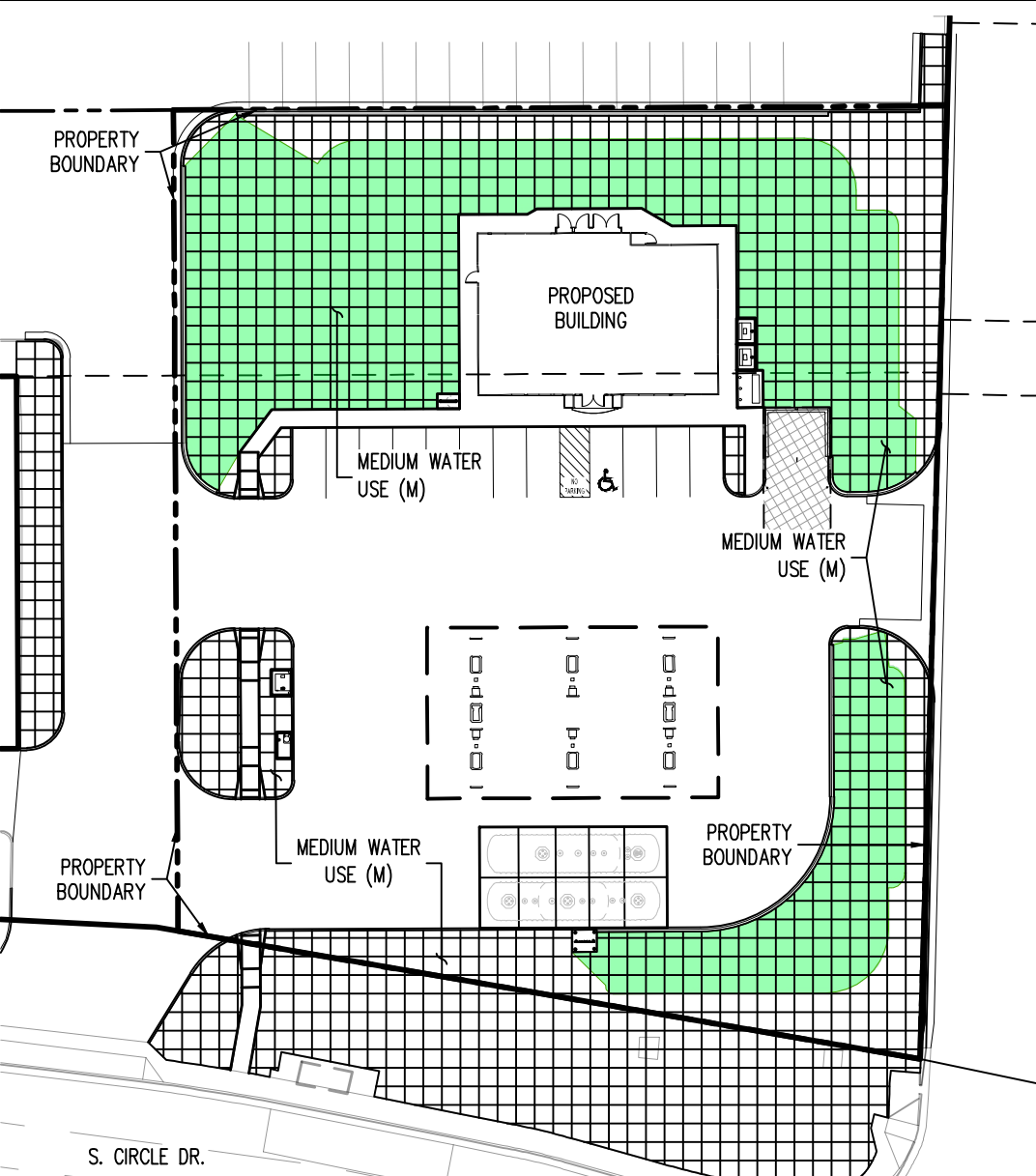
IRRIGATION CONCEPT

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE WATER SOURCE IF APPLICABLE.
- ALL NON-TURF/SEED PLANTED AREAS WILL BE DRIP IRRIGATED. TURF SOO/SEED SHALL RECEIVE POP-UP SPRAY IRRIGATION FOR HEAD TO HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND SMART MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

UTILITY NOTES

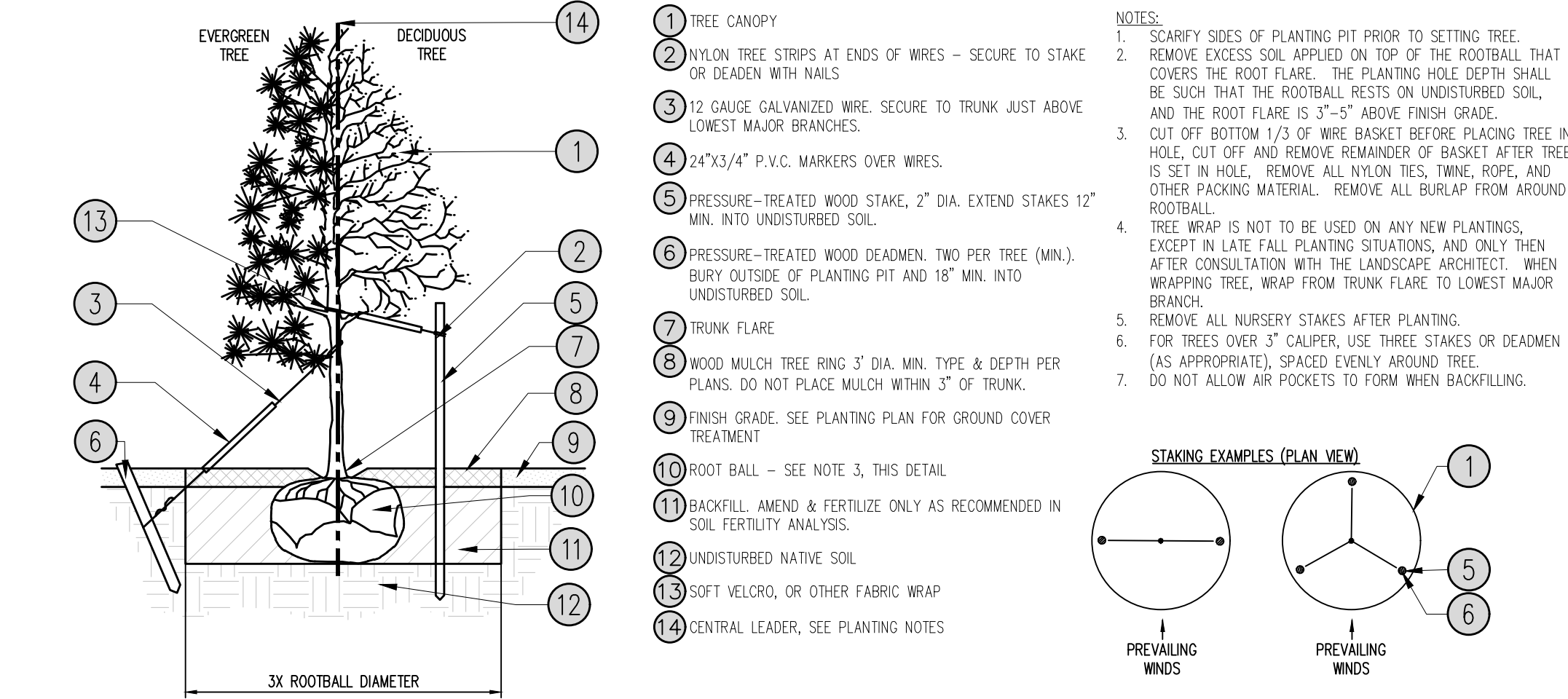
- THE LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE PUBLIC WORKS DEPARTMENT, AND ANY OTHER PUBLIC OR PRIVATE AGENCY NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION.
- THIS DRAWING IS A PART OF A COMPLETE SET OF BID DOCUMENTS, SPECIFICATIONS, ADDITIONAL DRAWINGS, AND EXHIBITS. UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE, AND REVIEWING ALL RELATED DOCUMENTS.
- THE LOCATION OF THE ALL UNDERGROUND UTILITIES ARE LOCATED ON THE ENGINEERING DRAWINGS FOR THIS PROJECT. THE MOST CURRENT REVISION IS HERE IN MADE PART OF THIS DOCUMENT. UNDERGROUND UTILITIES EXIST THROUGHOUT THIS SITE AND MUST BE LOCATED PRIOR TO ANY CONSTRUCTION ACTIVITY. WHERE UNDERGROUND UTILITIES EXIST, FIELD ADJUSTMENT MAY BE NECESSARY AND MUST BE APPROVED BY A REPRESENTATIVE OF THE OWNER. NEITHER THE OWNER NOR THE LANDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY WHATSOEVER, IN RESPECT TO THE CONTRACTORS ACCURACY IN LOCATING THE INDICATED PLANT MATERIAL, AND UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED WITHOUT REFERENCING THE ABOVE MENTIONED DOCUMENTS.

HYDROZONE DIAGRAM

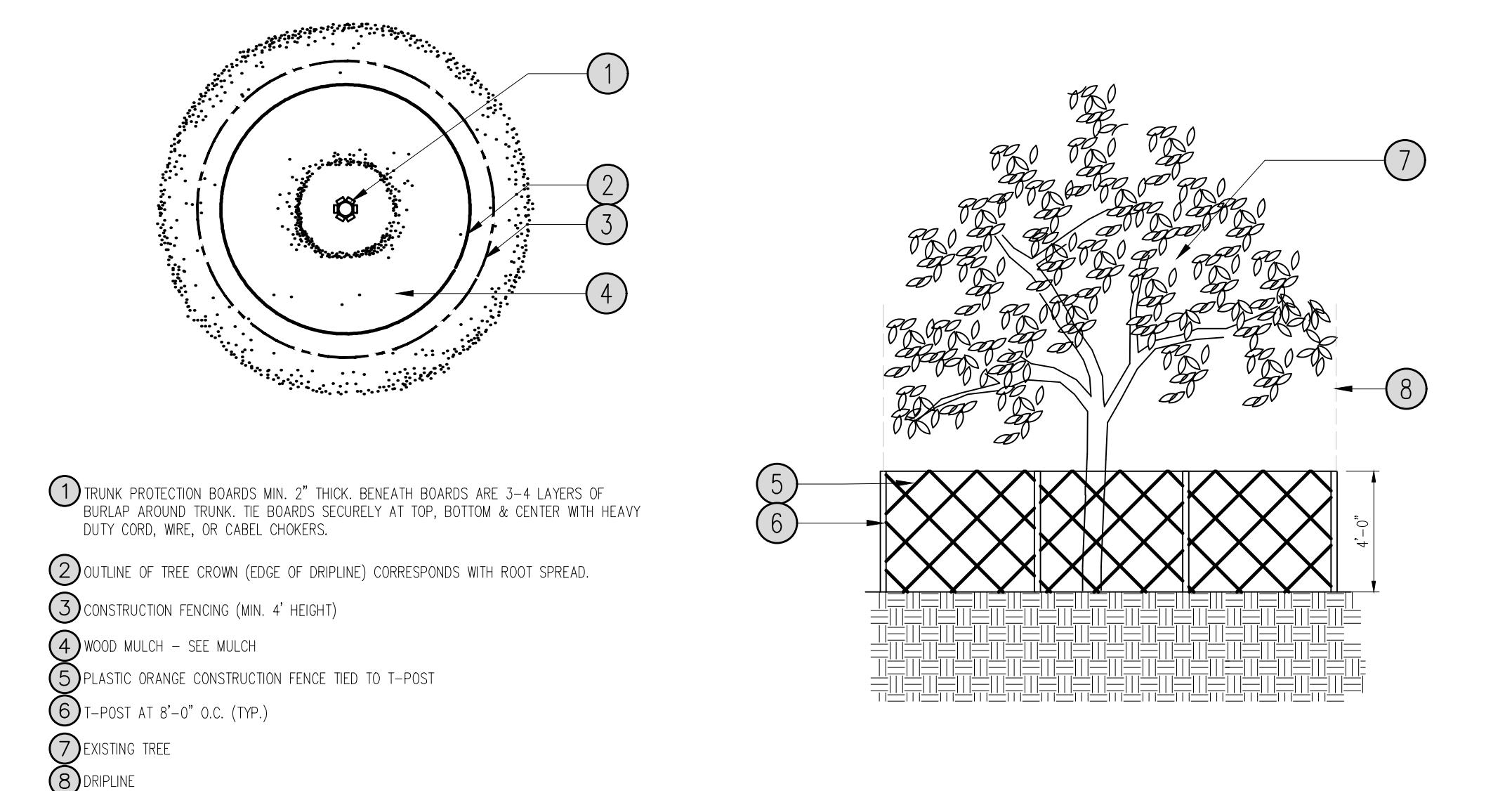


LEGEND

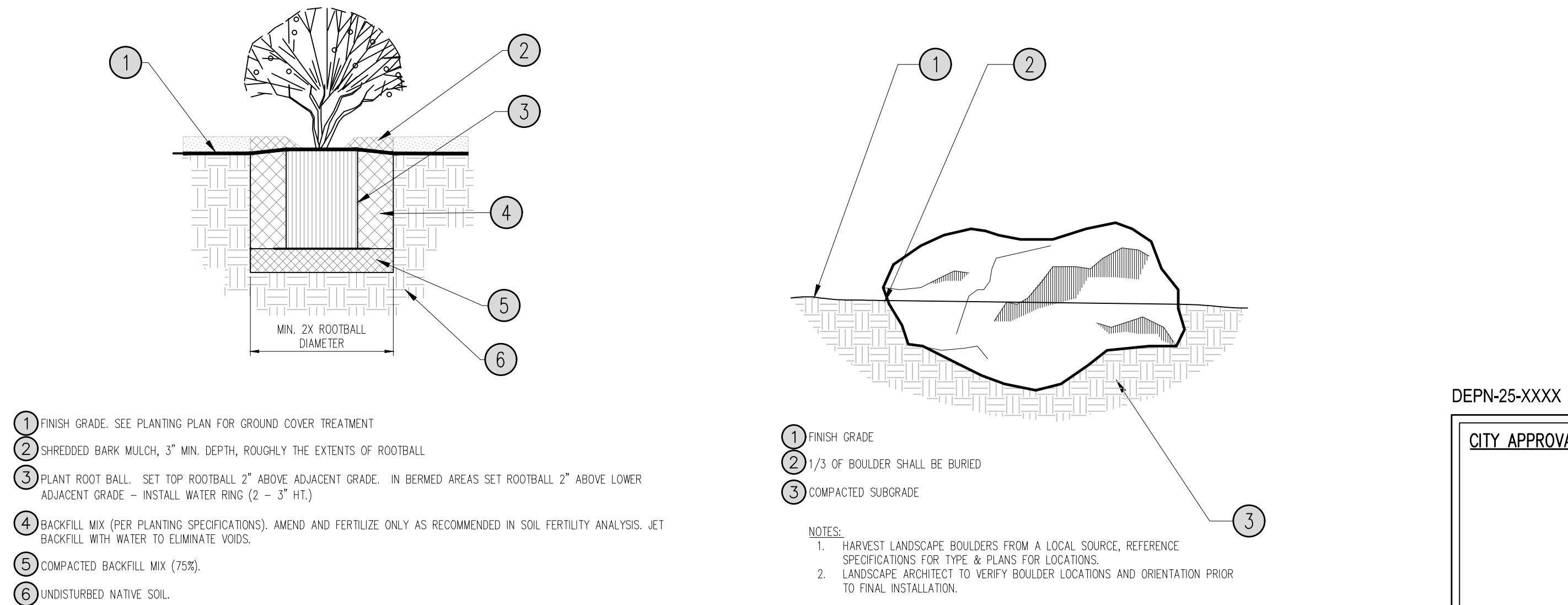
SITE/TRACT WATER USE AREA TOTALS	
	HIGH WATER USE (H) - 0 SF
	MEDIUM WATER USE (M) - 29,917 SF
	LOW WATER USE (L) - 0 SF
SUB-TOTAL - 29,917 SF	



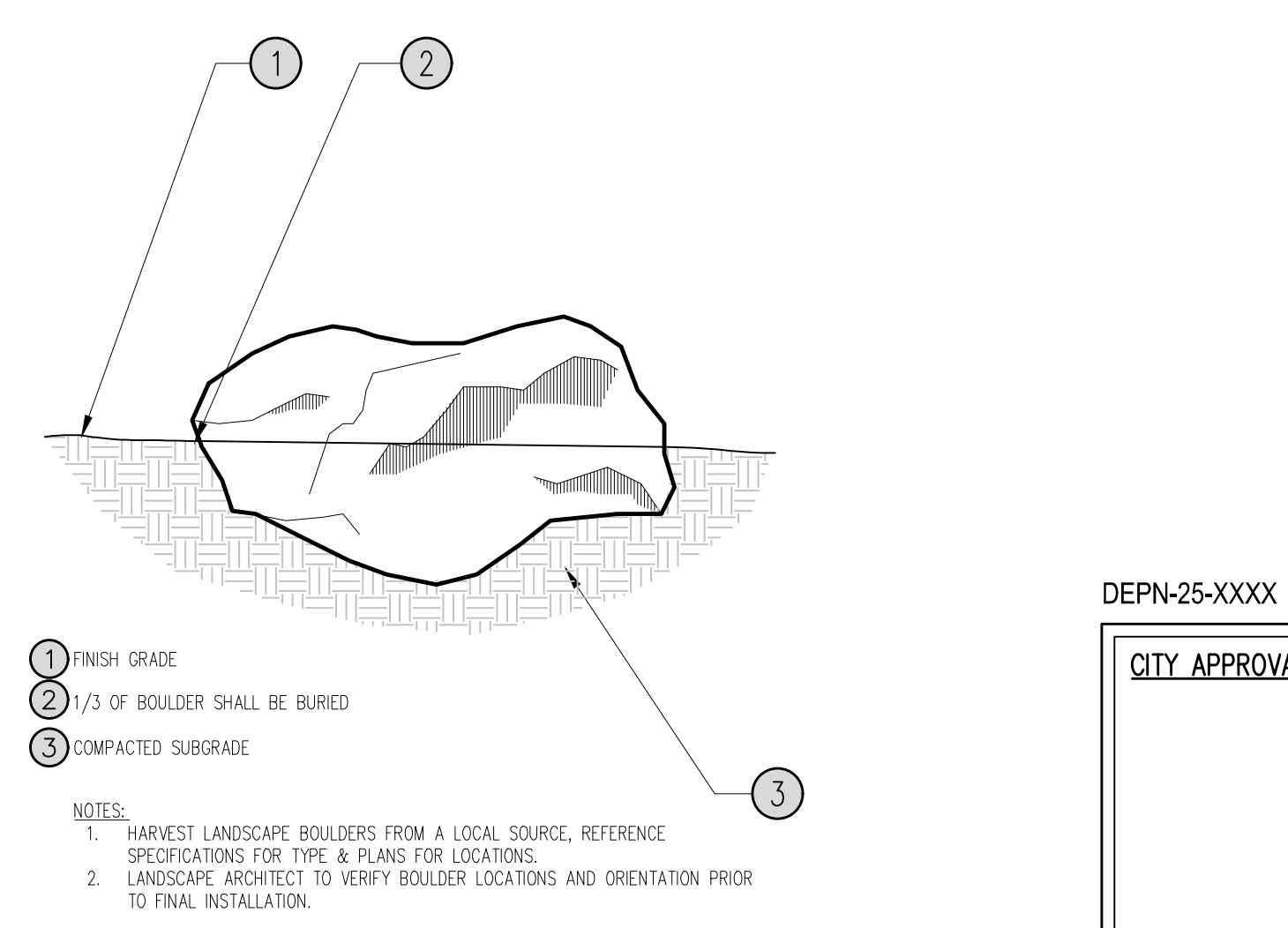
1 TREE PLANTING  
N.T.S.



2 TREE PROTECTION DETAIL  
N.T.S.



3 SHRUB/PERENNIAL PLANTING  
N.T.S.



4 LANDSCAPE BOULDER  
N.T.S.

SHEET NO.

LP-2

Sheet 10 of 15

ENGINEERING  
STAMP

REV-X 7/1/2025 MOC118 KRG PM DATE

LANDSCAPE NOTES & DETAILS  
MURPHY USA (NTI) #8611  
2870 S. CIRCLE DRIVE  
COLORADO SPRINGS COLORADO

Galloway

1155 Kelly Johnson Blvd, Suite 305  
Colorado Springs, CO 80920  
719.900.7220 - GallowayUS.com

MURPHY OIL USA, INC.

MURPHY USA



200 PEACH STREET  
EL DORADO, AR 71730

DEPN-25-XXXX  
CITY APPROVAL STAMP:



1 PHOTOMETRIC SITE PLAN  
SCALE: 1"=30'-0"

LUMINAIRE SCHEDULE							
MOUNTING CONFIG	SYMBOL	QTY	ASSEMBLY HEIGHT	POLE HEIGHT	LUMENS	TOTAL WATTS	DESCRIPTION
S		2	26'-0"	24'-0"	18904	135	SLM-18L-SIL-FU-UNV-50-70-BRZ
SI		4	26'-0"	24'-0"	18904	135	SLM-18L-SIL-FU-UNV-50-70-BRZ-IL
C		18	15'-0"	N/A	13980	93	CRUS-SC-LED-SS-50-UE-WHT
H-BB		2	8'-3"	N/A	3081	23	XMM 3 LED 03L 50 UE BRZ
M		2	8'-8"	N/A	2333	22	LC08LED25LUNVDM135WF

NOTES: ALL AREA SITE LIGHT FIXTURES AND POLES TO BE MOUNTED ON CONCRETE BASE PER DETAIL, THIS SHEET  
ALL ANCHOR BOLTS TO BE ORIENTED IN THE SAME DIRECTION (SQUARE) AT INSTALLATION PER MANUFACTURER'S SPECIFICATIONS.  
ALL PROPOSED FIXTURES ARE FULL CUT-OFF FIXTURES

POLE SCHEDULE				
MOUNTING CONFIG	SYMBOL	QTY	POLE HEIGHT	DESCRIPTION
S		2	24'-0"	45QB3-S11G-24-S-BRZ-ABC
SI		4	24'-0"	45QB3-S11G-24-S-BRZ-ABC

NOTES: ALL AREA SITE LIGHT FIXTURES AND POLES TO BE MOUNTED ON CONCRETE BASE PER DETAIL, THIS SHEET  
POLES RATED TO 130 MPH WIND VELOCITY

DEPN-25-XXXX

CITY APPROVAL STAMP:

#### NOTES:

PLAN WAS BASED ON THE INFORMATION PROVIDED. ALL DIMENSIONS, LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THE CALCULATED PHOTOMETRIC LEVELS MAY OR MAY NOT MEET CERTAIN STANDARDS OR RECOMMENDED PRACTICES OF IESNA.

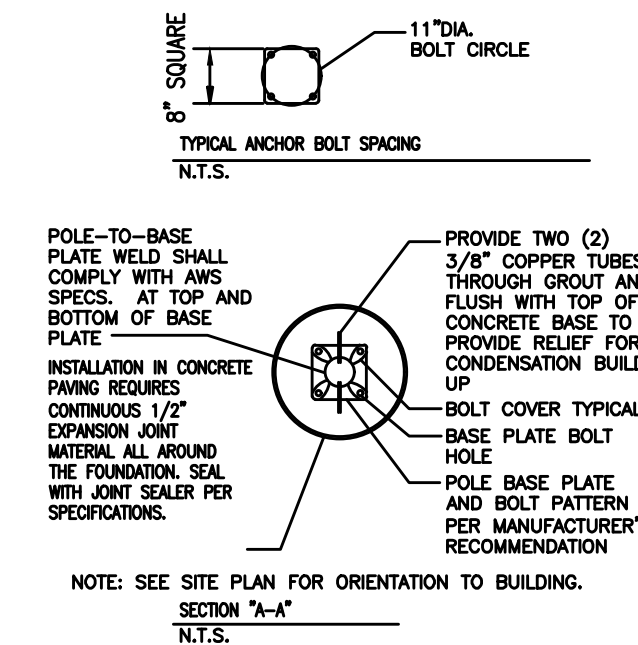
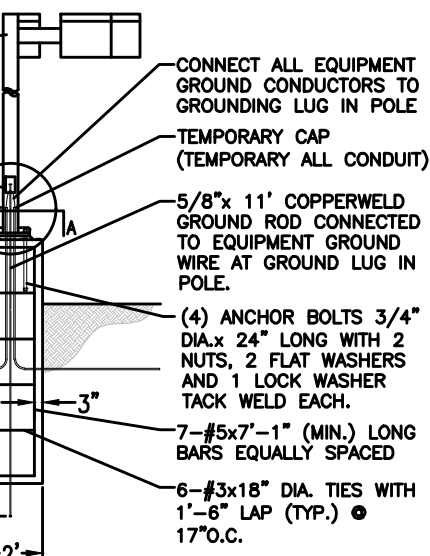
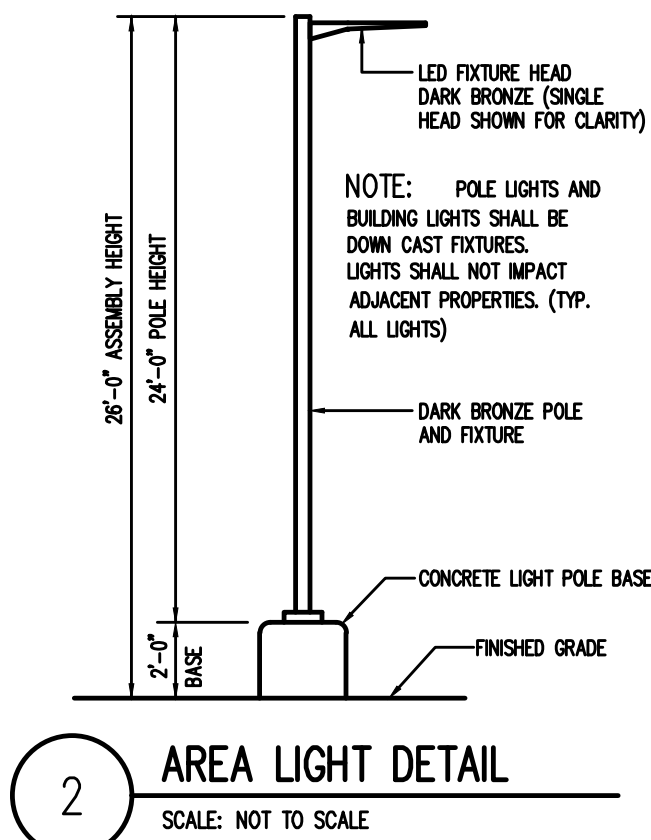
THE PHOTOMETRIC PLAN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY (IES) APPROVED METHODS. LABORATORY TESTS ARE MADE UNDER OPTIMUM CONDITIONS, WITH LAMP OUTPUT AT RATED VALUE, AND IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS.

ACTUAL ILLUMINATION LEVELS MAY DIFFER DUE TO VARIABLE FIELD CONDITIONS SUCH AS (BUT NOT LIMITED TO): VARIANCE IN LAMP LUMEN OUTPUT; LAMP TILT FACTOR; BALLAST WATTAGE OUTPUT; LINE VOLTAGE AT BALLAST; REFLECTOR SPECULARITY; LAMP LUMEN DEPRECIATION; AND LUMINAIRE DIRT DEPRECIATION.

THE 25'-0" MOUNTING HEIGHT IS THE ACTUAL ASSEMBLY (POLE, BASE, AND FIXTURE) AND MAY DIFFER FROM THE FROM THE LUMINAIRE'S LUMINOUS APERTURE.

THIS PLAN IS FOR RELATIVE LAYOUT AND SCOPE OF WORK PURPOSES ONLY. REFER TO SITE PLAN PREPARED BY LOCAL CONSULTANT FOR RELATIONSHIP OF THESE LUMINAIRES AND THEIR LOCATIONS TO EXISTING STRUCTURES AND REFERENCE.

ILLUMINATION TO BE EXTINGUISHED BETWEEN 11 P.M. AND SUNRISE OR WHEN THE BUSINESS IS CLOSED, WHICHEVER IS LATER.



SHEET NO.

PP-1

ENGINEERING STAMP

PHOTOMETRIC SITE PLAN

MURPHY OIL USA (NTI) #8611

2870 S. CIRCLE DRIVE

COLORADO SPRINGS COLORADO

MURPHY OIL USA, INC.

200 PEACH STREET

EL DORADO, AR 71730

MURPHY OIL USA

1155 Kelly Johnson Blvd, Suite 305

Colorado Springs, CO 80920

719.900.7220 • GallowayUSA.com



Catalog #:

Project:

Prepared By:

Date:

Type:

C

## Scottsdale® Legacy (CRUS) LED Canopy Luminaire



OVERVIEW	
Lumen Package	5,000 - 22,000
Wattage Range	38 - 152
Efficacy Range (LPW)	114 - 156
Weight (lbs/kg)	23 (0.4)

### FEATURES & SPECIFICATIONS

**Construction**

- Features a ultra-slim 1/16" profile die-cast housing, with flat clear or diffused tempered glass lens. Unit is water-resistant, sealed and IP66 rated. Integral designed heat sink does not trap dirt and grime, ensuring cool running performance over the life of the fixture.

Standard color is white and is finished with LSI's DuraGrip® polyester powder coat process. DuraGrip withstands extreme weather changes without cracking or peeling.

Luminaire assembly incorporates a pressure stabilizing vent breather to prevent seal fatigue and failure.

**Optical System**

- Features an array of select, mid-power, high brightness, high efficiency LED, 3000K, 4000K, 5000K color temperature, 80 CRI (nominal).

- Choice of Symmetric or Asymmetric distribution. Asymmetric provides a wider distribution pattern. Optional symmetric with diffusers also available.

- Forward Throw distribution provides an industry leading unique distribution pattern that illuminates the area under the gas canopy and beyond. The forward through optic directs the light to the forcount from the gas canopy eliminating the need for supplemental floodlights and extensive perimeter lighting.

- Diffuse lens available as an option to soften brightness of the luminaires.

- Six Lumen Packages: 5,000, 9,000, 10,000, 13,000, 18,500 and 22,000 Lumens.

### QUICK LINKS

Ordering Guide Performance Photometrics Dimensions

### Hazardous Location

- Designed for lighter than air fuel applications. Product is suitable for Class I Divisions 2 only when properly installed per LSI installation instructions. See Iscorpm.com for specific guidance. Not available on SLM.

### Installation

- One-person installation.
- Installs in a 12" or 16" deck pan. Deck penetration consists of a 4" hole, simplifying installation and water sealing. Unit is designed to quickly retrofit into existing Scottsdale (4") hole as well as openings for Encore and Encore Top Access and to reconnect wiring for the SC/ECTA without having to relocate the conduit.
- Retrofit panels are available for existing Encores as well as kits for recessed and 2x2 installations (see separate spec sheets). Support brackets are provided standard, to prevent sagging of deck.

**Warranty**

- LSI LED fixtures carry a 5-year warranty (contact your LSI representative for extended warranty options.)

### Listings

- UL and ETL listed to UL 1598, UL 8750 and other U.S. and International safety standards. Suitable for wet locations.
- DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/QLP](http://www.designlights.org/QLP) to confirm which versions are qualified.
- Meets Buy American Act requirements.
- DA compliant with 3000K or lower color temperature.

Catalog #:

Project:

Prepared By:

Date:

Type:

C

## Scottsdale® Legacy (CRUS) LED Canopy Luminaire

### ORDERING GUIDE

Back to Quick Links

TYPICAL ORDER EXAMPLE: CRUS SC LED SS 50 UE WHT											
Prefix	Distribution	Light Source	Driver	Color Temperature	Input Voltage	Finish	Options <sup>1</sup>				
CRUS - LED Canopy Luminaire	SCFF - Combination Standard Symmetric and Forward Throw	AC - Asymmetric	Y1W - 5,000 Lumens	40 - 4000K	HV - High Voltage (347 - 480V)	B02 - Bronze	RL - Hazardous Location	RFL - Diffuse Lens			
			30 - 3000K								
	SS - 11,000 Lumens <sup>2</sup>										
	90 - 9,000 Lumens <sup>2</sup>										
	Y10 - 22,000 Lumens <sup>2</sup>										
	Custom Lumen Packages <sup>3</sup>										
	Y10 - 22,000 Lumens										

Accessory Ordering Information (Accessories are field installed)	
Description	Order Number
Retrofit Panel: SC (2x3, 1/2" to CRUS, for 12" Deck Panel)	25012
Retrofit Panel: AC (3x3, 1/2" to CRUS, for 12" Deck Panel)	25031
Retrofit 2x2 Cover Panel Blank (no holes)	25032
Retrofit 3x3 Cover Panel Blank (no holes)	25034

<sup>1</sup> Options: R4 - Pole Mount, R40 - 1/2" Pole Mount, R40 - 1/2" Pole Mount and 1/2" Pole Mount

### Hazardous Location

- Designed for lighter than air fuel applications. Product is suitable for Class I Divisions 2 only when properly installed per LSI installation instructions. See Iscorpm.com for specific guidance. Not available on SLM.

### Installation

- One-person installation.
- Installs in a 12" or 16" deck pan. Deck penetration consists of a 4" hole, simplifying installation and water sealing. Unit is designed to quickly retrofit into existing Scottsdale (4") hole as well as openings for Encore and Encore Top Access and to reconnect wiring for the SC/ECTA without having to relocate the conduit.
- Retrofit panels are available for existing Encores as well as kits for recessed and 2x2 installations (see separate spec sheets). Support brackets are provided standard, to prevent sagging of deck.

**Warranty**

- LSI LED fixtures carry a 5-year warranty (contact your LSI representative for extended warranty options.)

### Listings

- UL and ETL listed to UL 1598, UL 8750 and other U.S. and International safety standards. Suitable for wet locations.
- DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/QLP](http://www.designlights.org/QLP) to confirm which versions are qualified.
- Meets Buy American Act requirements.
- DA compliant with 3000K or lower color temperature.

Accessory Ordering Information (Accessories are field installed)	
Description	Order Number
Retrofit 3x3 Cover Panel Blank (no holes)	25031
Retrofit 2x2 Cover Panel Blank (no holes)	25032
Retrofit 3x3 Cover Panel Blank (no holes)	25034

<sup>1</sup> Options: R4 - Pole Mount, R40 - 1/2" Pole Mount, R40 - 1/2" Pole Mount and 1/2" Pole Mount

Catalog #:

Project:

Prepared By:

Date:

Type:

C

## Mirada Medium Wall Sconce (XWM) Outdoor Wall Sconce

Have questions? Call us at (800) 436-7800

### ORDERING GUIDE

Back to Quick Links

TYPICAL ORDER EXAMPLE: XWM 2 LED OSL 30 UE BRZ ALSC														
Family	Distribution	Light Source	Lumen Package	Color Temperature	Options <sup>1</sup>									
XWM - Mirada Medium Wall Sconce	2 - Type 2 FT - Type 2 FT - Type 4 Forward Throw	LED	3L - 3,000 6L - 6,000 9L - 9,000 12L - 12,000 15L - 15,000 18L - 18,000 21L - 21,000	30° - 3000K 40° - 4000K 30° - 3000K 40° - 4000K 30° - 3000K 40° - 4000K 30° - 3000K	AMB - Phosphor Coated Inner Lens <sup>2</sup>									
Custom Lumen Packages <sup>3</sup>														
3L - 3,000 Lumens														
6L - 6,000 Lumens														
9L - 9,000 Lumens														
12L - 12,000 Lumens														
15L - 15,000 Lumens														
18L - 18,000 Lumens														
21L - 21,000 Lumens														

Voltage		Finish		Controls		Options	
120-277V 120-277V 120-277V		BLK - Black BRZ - Bronze R4 - Hazardous Location RFL - Diffuse Lens		Blank - None B - Battery Back-up (P/C) W - Universal Voltage (120-277V) HV - High Voltage (347-480V)		RL - Hazardous Location RFL - Diffuse Lens	

Voltage		Finish		Controls		Options	
120-277V 120-277V 120-277V		BLK - Black BRZ - Bronze R4 - Hazardous Location RFL - Diffuse Lens		Blank - None B - Battery Back-up (P/C) W - Universal Voltage (120-277V) HV - High Voltage (347-480V)		RL - Hazardous Location RFL - Diffuse Lens	

Voltage		Finish		Controls		Options	
120-277V 120-277V 120-277V		BLK - Black BRZ - Bronze R4 - Hazardous Location RFL - Diffuse Lens		Blank - None B - Battery Back-up (P/C) W - Universal Voltage (120-277V) HV - High Voltage (347-480V)		RL - Hazardous Location RFL - Diffuse Lens	

Voltage		Finish		Controls		Options	
120-277V 120-277V 120-277V		BLK - Black BRZ - Bronze R4 - Hazardous Location RFL - Diffuse Lens		Blank - None B - Battery Back-up (P/C) W - Universal Voltage (120-277V) HV - High Voltage (347-480V)		RL - Hazardous Location RFL - Diffuse Lens	

Voltage		Finish		Controls		Options	
120-277V 120-277V 120-277V		BLK - Black BRZ - Bronze R4 - Hazardous Location RFL - Diffuse Lens		Blank - None B - Battery Back-up (P/C) W - Universal Voltage (120-277V) HV - High Voltage (347-480V)		RL - Hazardous Location RFL - Diffuse Lens	

Voltage		Finish		Controls		Options	
120-277V 120-277V 120-277V		BLK - Black BRZ - Bronze R4 - Hazardous Location RFL - Diffuse Lens		Blank - None B - Battery Back-up (P/C) W - Universal Voltage (120-277V) HV - High Voltage (347-480V)		RL - Hazardous Location RFL - Diffuse Lens	

Voltage		Finish		Controls		Options	
120-277V 120-277V 120-277V		BLK - Black BRZ - Bronze R4 - Hazardous Location RFL - Diffuse Lens		Blank - None B - Battery Back-up (P/C) W - Universal Voltage (120-277V) HV - High Voltage (347-480V)		RL - Hazardous Location RFL - Diffuse Lens	

Voltage		Finish		Controls		Options	
120-277V 120-277V 120-277V		BLK - Black BRZ - Bronze R4 - Hazardous Location RFL - Diffuse Lens		Blank - None B - Battery Back-up (P/C) W - Universal Voltage (120-277V) HV - High Voltage (347-480V)		RL - Hazardous Location RFL - Diffuse Lens	

Voltage		Finish		Controls		Options	
120-277V 120-277V 120-277V		BLK - Black BRZ - Bronze R4 - Hazardous Location RFL - Diffuse Lens		Blank - None B - Battery Back-up (P/C) W - Universal Voltage (120-277V) HV - High Voltage (347-480V)		RL - Hazardous Location RFL - Diffuse Lens	

Voltage		Finish		Controls		Options	
120-277V 120-277V 120-277V		BLK - Black BRZ - Bronze R4 - Hazardous Location RFL - Diffuse Lens		Blank - None B - Battery Back-up (P/C) W - Universal Voltage (120-277V) HV - High Voltage (347-480V)		RL - Hazardous Location RFL - Diffuse Lens	

Voltage		Finish		Controls		Options	
120-277V 120-277V 120-277V		BLK - Black BRZ - Bronze R4 - Hazardous Location RFL - Diffuse Lens		Blank - None B - Battery Back-up (P/C) W - Universal Voltage (120-277V) HV - High Voltage (347-480V)		RL - Hazardous Location RFL - Diffuse Lens	

Catalog #:

Project:

Prepared By:

Date:

Type:

S & S1

## Slice Medium (SLM) Outdoor LED Area Light



OVERVIEW	
Lumen Package	9,000 - 48,000
Wattage Range	63 - 401
Efficacy Range (LPW)	112 - 156
Weight (lbs/kg)	30 (13.6)

### QUICK LINKS

Ordering Guide Performance Photometrics Dimensions

### FEATURES & SPECIFICATIONS

**Construction**

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.

- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 37 lbs in carton.

### Optical System

- State-of-the-art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated seal.

- Proprietary silicone reflector optics provide exceptional coverage and uniformity in distribution types 2, 3, 5W, FT, FTA and AM.

- Silicone optical materials does not yellow or crack with age and provides a typical light transmittance of 93%.

- Zero uplight.

- Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.377. Also available in phosphor converted amber with peak intensity at 610nm.

- Minimum CRI of 70
- Integral louvers (L) and house-side shield (H) options available for improved backlight control without sacrificing street performance. See page 3 for more details.

### Electrical

- High-performance driver features over-voltage, under-voltage, short-circuit and over temperature protection.
- 0-10V dimming (0% - 100%) standard.
- Standard Universal Voltage (120-277 VAC) Input 50/60 Hz or optional High Voltage (347-480 VAC).
- 0-10V dimming (0% - 100%) standard.
- Standard Universal Voltage (120-277 VAC) Input 50/60 Hz or optional High Voltage (347-480 VAC).
- 0-10V dimming (0% - 100%) standard.
- Standard Universal Voltage (120-277 VAC) Input 50/60 Hz or optional High Voltage (347-480 VAC).

### Warranty

- LSI luminaires carry a 5-year limited warranty. Refer to <https://www.lsiindustries.com/resources/terms-and-warranty.aspx> for more information.

### Listings

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- DA compliant, with 3000K color temperature selection.
- UL listed luminaire per IEC 60598-1.
- 3G rated for ANSI C136.31 high vibration applications.
- IP66 rated luminaire per IEC 60529.
- DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/QLP](http://www.designlights.org/QLP) to confirm which versions are qualified.
- Patented Silicone Optics (US Patent NO. 10,816,165 B2)

### Controls

- Optional integral passive infrared Bluetooth® motion and photocell sensor. Fixtures operate independently and can be commissioned via iOS or Android configuration app.
- LSI's AirLink™ wireless control system options reduce energy and maintenance costs while optimizing light quality 24/7.



### Electrical

- High-performance driver features over-voltage, under-voltage, short-circuit and over temperature protection.
- 0-10V dimming (0% - 100%) standard.
- Standard Universal Voltage (120-277 VAC) Input 50/60 Hz or optional High Voltage (347-480 VAC).
- 0-10V dimming (0% - 100%) standard.
- Standard Universal Voltage (120-277 VAC) Input 50/60 Hz or optional High Voltage (347-480 VAC).
- 0-10V dimming (0% - 100%) standard.
- Standard Universal Voltage (120-277 VAC) Input 50/60 Hz or optional High Voltage (347-480 VAC).

### Warranty

- LSI luminaires carry a 5-year limited warranty. Refer to <https://www.lsiindustries.com/resources/terms-and-warranty.aspx> for more information.

### Listings

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- DA compliant, with 3000K color temperature selection.
- UL listed luminaire per IEC 60598-1.
- 3G rated for ANSI C136.31 high vibration applications.
- IP66 rated luminaire per IEC 60529.
- DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/QLP](http://www.designlights.org/QLP) to confirm which versions are qualified.
- Patented Silicone Optics (US Patent NO. 10,816,165 B2)</