

GRADING & EROSION CONTROL PLANS

8035 MERIDIAN PARK DRIVE

SECTION 1, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M.

TOWN OF PEYTON, COUNTY OF EL PASO, STATE OF COLORADO

DUNKIN BENT GRASS

BENCHMARK

PROJECT BENCHMARK IS A DOUGLAS COUNTY CONTROL POINT LOCATED ON THE SOUTH SIDE OF HWY 86 JUST EAST OF PROJECT SITE.

NORTHING: 22842.29, EASTING: 19721.79

BENCHMARK IS 11.215" ALUMINUM DISC SET FLUSH TO THE GROUND. THE ELEVATION IS 1994.64 M (6544.09 US SURVEY FEET) BASED ON THE NAVD 88 DATUM.

BASIS OF BEARINGS

A PORTION OF THE SOUTH LINE OF THE NORTHEAST QUARTER SECTION 1, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN EL PASO COUNTY, COLORADO BEING MONUMENTED AT THE WEST END BY THE CENTER QUARTER CORNER OF SAID SECTION 1 BY A 2 1/2" ALUMINUM SURVEYORS CAP WITH APPROPRIATE MARKING PLS 28651 AND AT THE EAST END, AT THE NORTHWESTERLY CORNER OF LOT 1 FALCON RANCHETTES RECORDED IN PLAT BOOK V-2 AT PAGE 15, RECORDS OF EL PASO COUNTY, COLORADO. BY A YELLOW PLASTIC SURVEYORS CAP STAMPED "PLS 2372" AND IS ASSUMED TO BEAR S89°49'43", A DISTANCE OF 2,285.20 FEET.

LEGAL DESCRIPTION

PARCEL A:
LOT 1A, BENT GRASS EAST COMMERCIAL FILING NO 2A, COUNTY OF EL PASO, STATE OF COLORADO (RECEPTION NO. 214713554).

PARCEL B:
THOSE EASEMENT RIGHT CREATED BY RECIPROCAL ACCESS EASEMENT AND TEMPORARY CONSTRUCTION AND MAINTENANCE EASEMENT AGREEMENT RECORDED JUNE 04, 2013 UNDER RECEPTION NO. 213072561 AND FIRST AMENDMENT TO RECIPROCAL ACCESS EASEMENT AND TEMPORARY CONSTRUCTION AND MAINTENANCE EASEMENT AGREEMENT RECORDED JULY 07, 2013 UNDER RECEPTION NO. 213098588.

CONSTRUCTION TIMELINE

APPROXIMATE CONSTRUCTION START DATE: SEPTEMBER 2022

PROJECT DESCRIPTION

THE PROPOSED PROJECT INCLUDES THE DEVELOPMENT OF A NEW FAST FOOD RESTAURANT BUILDING, DRIVE-THRU, AND PARKING LOT. PROPOSED WORK INCLUDES DEMOLITION, GRADING, CONCRETE AND ASPHALT INSTALLATION, SANITARY SEWER INSTALLATION, WATER LATERAL INSTALLATION, FINAL GRADING, FINAL STABILIZATION, AND REMOVAL OF TEMPORARY CONTROL MEASURES.

ZONE DISTRICT INFORMATION

PROJECT ZONING: COMMERCIAL SERVICES (CS)

PROPERTY TAX SCHEDULE NUMBER

TAX SCHEDULE NUMBER: 5301104002

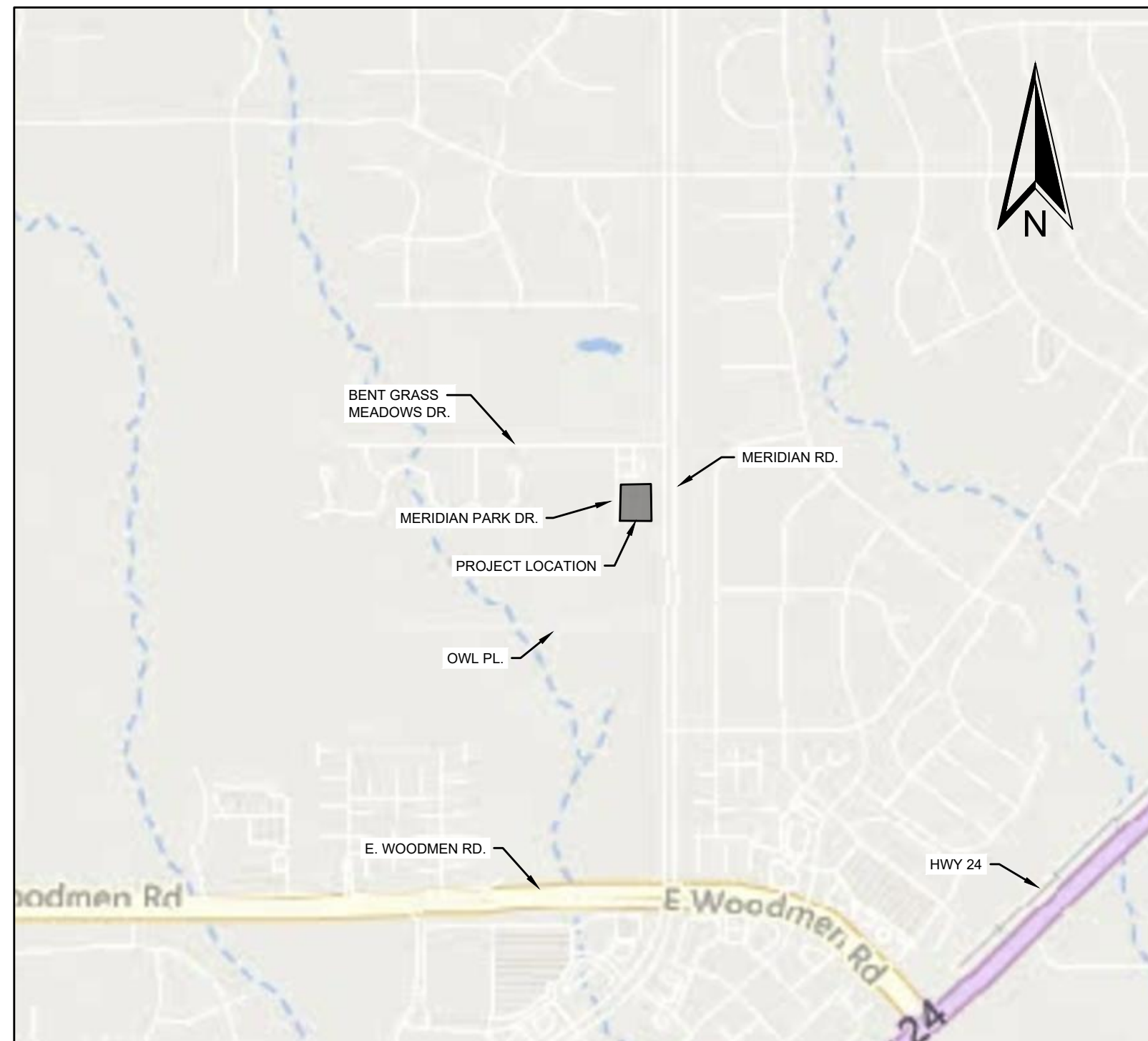
OWNER'S STATEMENT

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN.

OWNER SIGNATURE _____

DATE _____

SITE UTILIZATION TABLE		
COVERAGE	EXISTING	PROPOSED
TOTAL LOT SIZE	63,480 SF	63,480 SF
BUILDING	0 SF	1,998 SF
PAVEMENT	0 SF	14,625 SF
% IMPERVIOUS	0%	26.2%
% OPEN SPACE / LANDSCAPING	100%	73.8%



VICINITY MAP

NOT TO SCALE

PROJECT TEAM

PROPERTY OWNER

FIRST CUP LLC
106 S. KYRENE RD.
CHANDLER, AZ 85226
303-815-0161
BHAYENGA1@GMAIL.COM
ATTN: BERT HAYENGA

CIVIL ENGINEER

WC CIVIL, INC.
7220 W JEFFERSON AVE., STE. 204
LAKEWOOD, CO 80235
303-390-0172
ERIC_M@WCCIVIL.COM
ATTN: ERIC MCKNIGHT, P.E.

ARCHITECT / APPLICANT

ETHOS ARCHITECTURE GROUP
8025 W 25TH PL.
LAKEWOOD, CO 80214
303-815-0161
JOHN@ETHOS-ARCH-GROUP.COM
ATTN: JOHN SPONSELLER, NCARB

SURVEYOR

CLASSIC CONSULTING
619 N. CASCADE AVENUE
COLORADO SPRINGS, CO 80903
719-785-0790
DREINELT@CLASSICCONSULTING.NET
ATTN: DOUGLAS REINELT, PLS

LANDSCAPE ARCHITECT

STACKLOT
5639 SOUTH CURTICE ST.
LITTLETON, CO 80120
303-883-2735
JUSTINHAY@STACKLOT.COM
ATTN: JUSTIN HAY

PHOTOMETRIC DESIGN

RG ENGINEERING CONSULTANTS
8811 HAMPDEN AVE., STE. 208
DENVER, CO 80231
303-355-5534
SOPHIA@RGEINC.COM
ATTN: SOPHIA GISIN

PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR _____

DATE _____

LEGEND

PROPOSED

- PARKING / WALKWAY STRIPING
- AC PAVEMENT
- SIDEWALK
- LANDSCAPING

- CURB AND GUTTER
- ADA ACCESSIBLE PATHWAY
- SEWER LATERAL
- WATER LATERAL
- GAS SERVICE LATERAL
- ELECTRICAL SERVICE LATERAL
- COMMUNICATIONS SERVICE LATERAL
- GRADE BREAK
- SILT FENCE
- GRADING LIMITS
- MAJOR CONTOUR
- MINOR CONTOUR

EXISTING

- RIGHT-OF-WAY
- PROPERTY LINE
- ELECTRICAL LINE
- TELEPHONE LINE
- GAS LINE
- WATER LINE
- SEWER LINE
- STORM DRAIN
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- SEWER MANHOLE
- STORM MANHOLE
- ELECTRICAL POLE
- ELECTRICAL BOX
- ELECTRICAL METER
- COMMUNITY ANTENNA TELEVISION
- SIGN POST

SHEET INDEX:

- 1 COVER SHEET
- 2 GENERAL NOTES
- 3 EROSION CONTROL PLAN
- 4 EROSION CONTROL DETAILS

ABBREVIATIONS:

- AC ASPHALT CONCRETE
- CS COMMERCIAL SERVICES
- DWG DRAWING
- (E) EXISTING
- E EAST
- EG EXISTING GRADE
- FH FIRE HYDRANT
- FL FLOW LINE
- FG FINISHED GRADE
- FS FINISHED SURFACE
- FT FEET
- HP HIGH POINT
- INV INVERT
- LIP LIP OF GUTTER
- ME MATCH EXISTING
- MAX MAXIMUM
- MIN MINIMUM
- (N) NEW
- N NORTH
- PSI POUNDS PER SQUARE INCH
- PVC POLYVINYL CHLORIDE
- RCP REINFORCED CONCRETE PIPE
- ROW RIGHT OF WAY
- SF SQUARE FEET
- STD STANDARD
- TC TOP OF CURB
- TYP TYPICAL

EL PASO COUNTY:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT. FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL, AS AMENDED. IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR'S DISCRETION.

JOSHUA PALMER, P.E.
INTERIM COUNTY ENGINEER

DATE _____

ENGINEER'S STATEMENT:

THE GRADING AND EROSION CONTROL PLAN WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND IS COMPLETE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. SAID PLAN HAS BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR GRADING AND EROSION CONTROL PLANS. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARING THIS PLAN.

ENGINEER OF RECORD SIGNATURE _____

DATE _____

CLIENT
CD BENT GRASS LLC
 106 S. KYRENE RD.
 CHANDLER, AZ 85226
 PHONE:
 ATTN: B. HAYENGA

W.C. CIVIL
 7220 W. JEFFERSON AVE
 STE. 204
 LAKEWOOD, CO 80235
 PHONE: (303) 390-0172



COVER SHEET
 DUNKIN BENT GRASS
 GRADING & EROSION CONTROL PLANS
 LOT 1A, BENT GRASS EAST COMMERCIAL FILING NO. 2A,
 LOCATED IN TOWN OF PEYTON,
 COUNTY OF EL PASO, STATE OF COLORADO

W.C. Civil Team: Date: 2022/07/21
 TS, LP
 Engineering No.: Scale:
 AS NOTED

Sheet No.: 1

GRADING AND EROSION CONTROL NOTES

1. STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF-SITE WATERS, INCLUDING WETLANDS.
2. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
3. A SEPARATE STORMWATER MANAGEMENT PLAN (SMWP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. MANAGEMENT OF THE SWMP DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE DESIGNATED QUALIFIED STORMWATER MANAGER OR CERTIFIED EROSION CONTROL INSPECTOR. THE SWMP SHALL BE LOCATED ON-SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
4. ONCE THE ESQCP IS APPROVED AND A "NOTICE TO PROCEED" HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE APPROVED GEC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY STAFF.
5. CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ACTIVITIES THAT COULD CONTRIBUTE POLLUTANTS TO STORMWATER. CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, AND DISTURBED LAND AREAS SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF THE DISTURBANCE.
6. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATING CONDITION UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND FINAL STABILIZATION IS ESTABLISHED. ALL PERSONS ENGAGED IN LAND DISTURBANCE ACTIVITIES SHALL ASSESS THE ADEQUACY OF CONTROL MEASURES AT THE SITE AND IDENTIFY IF CHANGES TO THOSE CONTROL MEASURES ARE NEEDED TO ENSURE THE CONTINUED EFFECTIVE PERFORMANCE OF THE CONTROL MEASURES. ALL CHANGES TO TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES MUST BE INCORPORATED INTO THE STORMWATER MANAGEMENT PLAN.
7. TEMPORARY STABILIZATION SHALL BE IMPLEMENTED ON DISTURBED AREAS AND STOCKPILES WHERE GROUND DISTURBING CONSTRUCTION ACTIVITY HAS PERMANENTLY CEASED OR TEMPORARILY CEASED FOR LONGER THAN 14 DAYS.
8. FINAL STABILIZATION MUST BE IMPLEMENTED AT ALL APPLICABLE CONSTRUCTION SITES. FINAL STABILIZATION IS ACHIEVED WHEN ALL GROUND DISTURBING ACTIVITIES ARE COMPLETE AND ALL DISTURBED AREAS EITHER HAVE A UNIFORM VEGETATIVE COVER WITH INDIVIDUAL PLANT DENSITY OF 70 PERCENT OF PRE-DISTURBANCE LEVELS ESTABLISHED OR EQUIVALENT PERMANENT ALTERNATIVE STABILIZATION METHOD IS IMPLEMENTED. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED UPON FINAL STABILIZATION AND BEFORE PERMIT CLOSURE.
9. ALL PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AS DESIGNED IN THE APPROVED PLANS. ANY PROPOSED CHANGES THAT EFFECT THE DESIGN OR FUNCTION OF PERMANENT STORMWATER MANAGEMENT STRUCTURES MUST BE APPROVED BY THE ECM ADMINISTRATOR PRIOR TO IMPLEMENTATION.
10. EARTH DISTURBANCES SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY MINIMIZE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME. PRE-EXISTING VEGETATION SHALL BE PROTECTED AND MAINTAINED WITHIN 50 HORIZONTAL FEET OF A WATERS OF THE STATE UNLESS SHOWN TO BE INFEASIBLE AND SPECIFICALLY REQUESTED AND APPROVED.
11. COMPACTION OF SOIL MUST BE PREVENTED IN AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES OR WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER. AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES SHALL ALSO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED. IF COMPACTION PREVENTION IS NOT FEASIBLE DUE TO SITE CONSTRAINTS, ALL AREAS DESIGNATED FOR INFILTRATION AND VEGETATION CONTROL MEASURES MUST BE LOOSENEED PRIOR TO INSTALLATION OF THE CONTROL MEASURE(S).
12. ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE A STABILIZED CONVEYANCE DESIGNED TO MINIMIZE EROSION AND THE DISCHARGE OF SEDIMENT OFF-SITE.
13. CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO ENTER STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES. CONCRETE WASHOUTS SHALL NOT BE LOCATED IN AN AREA WHERE SHALLOW GROUNDWATER MAY BE PRESENT, OR WITHIN 50 FEET OF A SURFACE WATER BODY, CREEK OR STREAM.
14. DURING DEWATERING OPERATIONS, UNCONTAMINATED GROUNDWATER MAY BE DISCHARGED ON-SITE, BUT SHALL NOT LEAVE THE SITE IN THE FORM OF SURFACE RUNOFF UNLESS AN APPROVED STATE DEWATERING PERMIT IS IN PLACE.
15. EROSION CONTROL BLANKETING OR OTHER PROTECTIVE COVERING SHALL BE USED ON SLOPES STEEPER THAN 3:1.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
17. WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. CONTROL MEASURES MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
18. TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFF-SITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
19. THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, SOIL, AND SAND THAT MAY ACCUMULATE IN ROADS, STORM DRAINS AND OTHER DRAINAGE CONVEYANCE SYSTEMS AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
20. THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
21. NO CHEMICAL(S) HAVING THE POTENTIAL TO BE RELEASED IN STORMWATER ARE TO BE STORED OR USED ON-SITE UNLESS PERMISSION FOR THE USE OF SUCH CHEMICAL(S) IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR. IN GRANTING APPROVAL FOR THE USE OF SUCH CHEMICAL(S), SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
22. BULK STORAGE OF ALLOWED PETROLEUM PRODUCTS OR OTHER ALLOWED LIQUID CHEMICALS IN EXCESS OF 55 GALLONS SHALL REQUIRE ADEQUATE SECONDARY CONTAINMENT PROTECTION TO CONTAIN ALL SPILLS ON-SITE AND TO PREVENT ANY SPILLED MATERIALS FROM ENTERING STATE WATERS, ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR OTHER FACILITIES.
23. NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE CURB AND GUTTER OR DITCH EXCEPT WITH APPROVED SEDIMENT CONTROL MEASURES.

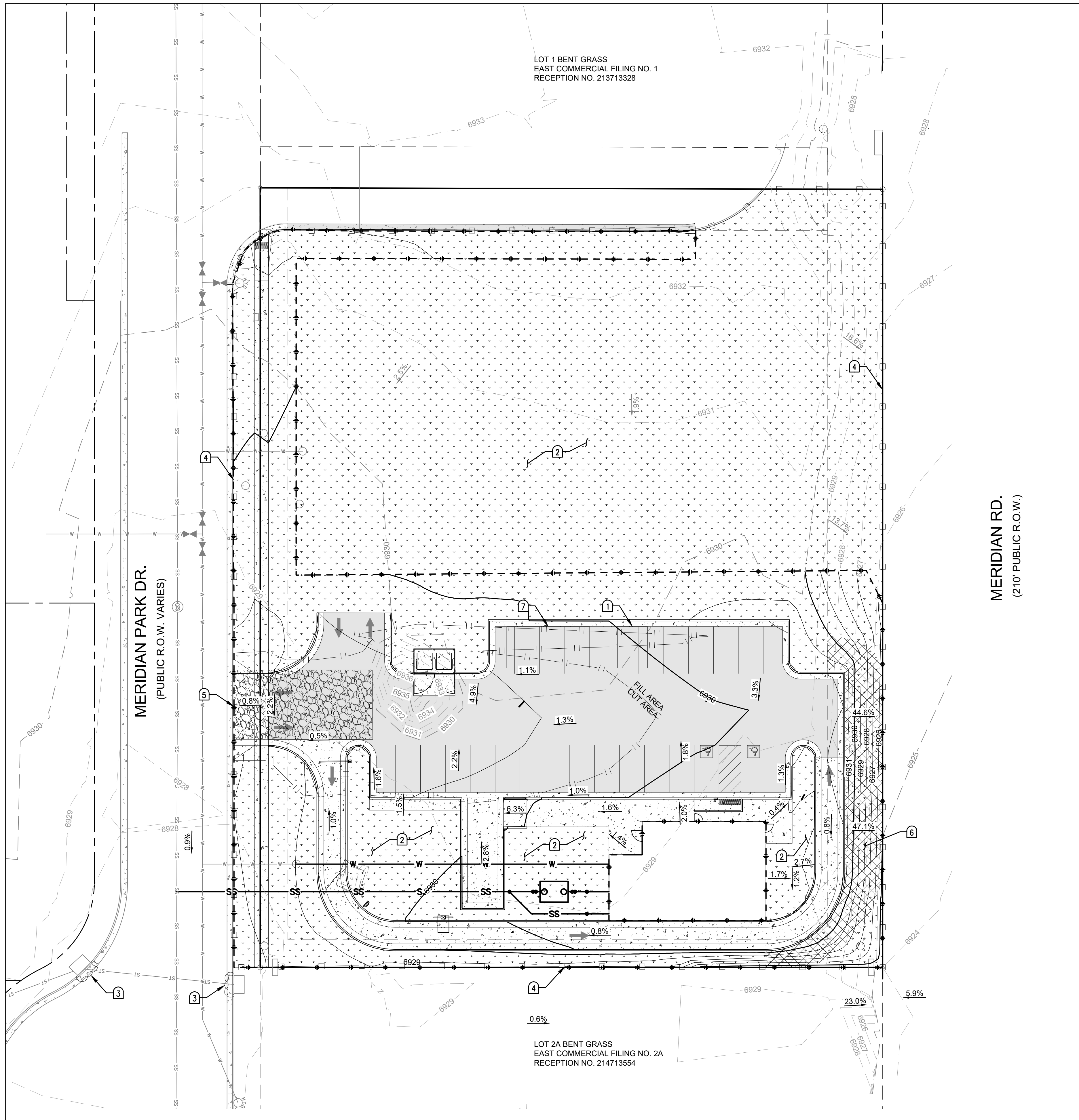
24. OWNER/DEVELOPER AND THEIR AGENTS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS OF THE LAND DEVELOPMENT CODE, DCM VOLUME II AND THE ECM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (1041, NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND OTHER LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, LOCAL, OR COUNTY AGENCIES, THE MOST RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
25. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE ONLY AT APPROVED CONSTRUCTION ACCESS POINTS.
26. PRIOR TO CONSTRUCTION THE PERMITTEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
27. A WATER SOURCE SHALL BE AVAILABLE ON-SITE DURING EARTHWORK OPERATIONS AND SHALL BE UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
28. THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY ENTECH ENGINEERING, INC., DATED SEPTEMBER 23,2022 AND SHALL BE CONSIDERED A PART OF THESE PLANS.
29. AT LEAST TEN (10) DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB ONE (1) ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:

COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT
 WATER QUALITY CONTROL DIVISION
 WQCD – PERMITS
 4300 CHERRY CREEK DRIVE SOUTH
 DENVER, CO 80246-1530
 ATTN: PERMITS UNIT

Client:	CD BENT GRASS LLC 106 S. KYRENE RD. CHANDLER, AZ 85226 PHONE: ATTN: B. HAYENGA
Title:	GENERAL NOTES DUNKIN BENT GRASS GRADING & EROSION CONTROL PLANS LOT 1A, BENT GRASS EAST COMMERCIAL FILING NO. 2A, LOCATED IN TOWN OF PEYTON, COUNTY OF EL PASO, STATE OF COLORADO
WC Civil Team:	TS, LP
Date:	2022/07/21
Engineering No.:	AS NOTED
Scale:	AS NOTED
Sheet No.:	2

W.C. CIVIL
7220 W. JEFFERSON AVE
STE. 204
LAKEWOOD, CO 80235
PHONE: (303) 390-0172





LOT 1 BENT GRASS
EAST COMMERCIAL FILING NO. 1
RECEPTION NO. 213713328

LOT 2A BENT GRASS
EAST COMMERCIAL FILING NO. 2A
RECEPTION NO. 214713554

MERIDIAN RD.
(210' PUBLIC R.O.W.)

MERIDIAN PARK DR.
(PUBLIC R.O.W. VARIES)

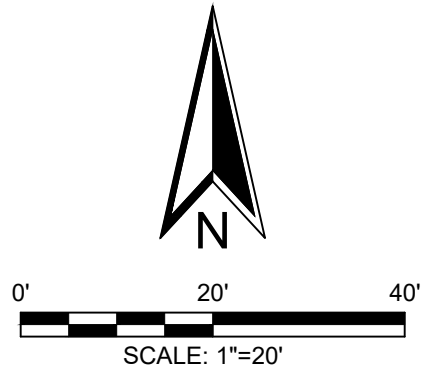
EXISTING		PROPOSED	
---	RIGHT-OF-WAY	[Hatched Box]	PARKING / WALKWAY STRIPING
---	PROPERTY LINE	[Solid Grey Box]	AC PAVEMENT
---E---	ELECTRICAL LINE	[Dotted Box]	SIDEWALK
---T---	TELEPHONE LINE	[Downward Arrow Box]	LANDSCAPING
---G---	GAS LINE	[Cross-hatched Box]	EROSION BLANKET
---W---	WATER LINE	[Double Line]	CURB AND GUTTER
---SS---	SEWER LINE	---	ADA ACCESSIBLE PATHWAY
---ST---	STORM DRAIN	---	SEWER LATERAL
[Circle]	SEWER MANHOLE	---	WATER LATERAL
[Circle]	STORM MANHOLE	---	GAS SERVICE LATERAL
[Circle]	ELECTRICAL POLE	---	ELECTRICAL SERVICE LATERAL
[Box]	ELECTRICAL BOX	---	COMMUNICATIONS SERVICE LATERAL
[Box]	ELECTRICAL METER	---	LIMITS OF CONSTRUCTION/DISTURBANCE
[Box]	COMMUNITY ANTENNA TELEVISION	---	GRADE BREAK
[Post]	SIGN POST	---	SILT FENCE
		---	CUT/FILL BOUNDARY
		---	DRAINAGE FLOW ARROW

EROSION CONTROL NOTES

- 1. INSTALL (N) TEMPORARY INTERIM CONCRETE WASHOUT STRUCTURE PER COUNTY OF EL PASO STD DETAIL SD_3-84 (SEE SHEET 10).
- 2. INSTALL (N) TEMPORARY FINAL SEEDING AND MULCHING PER DETAIL (SEE SHEET 4).
- 3. INSTALL (N) TEMPORARY INITIAL INLET PROTECTION PER COUNTY OF EL PASO STD DETAIL SD_3-60 (SEE SHEET 4).
- 4. INSTALL (N) TEMPORARY INITIAL SILT FENCE PER DETAIL (SEE SHEET 4).
- 5. INSTALL (N) TEMPORARY INITIAL VEHICLE TRACKING CONTROL PER DETAIL (SEE SHEET 4).
- 6. INSTALL (N) TEMPORARY FINAL EROSION CONTROL BLANKET PER DETAIL (SEE SHEET 4).
- 7. INSTALL (N) TEMPORARY INTERIM STOCKPILE AREA PER DETAIL (SEE SHEET 4).

EROSION CONTROL NOTES:

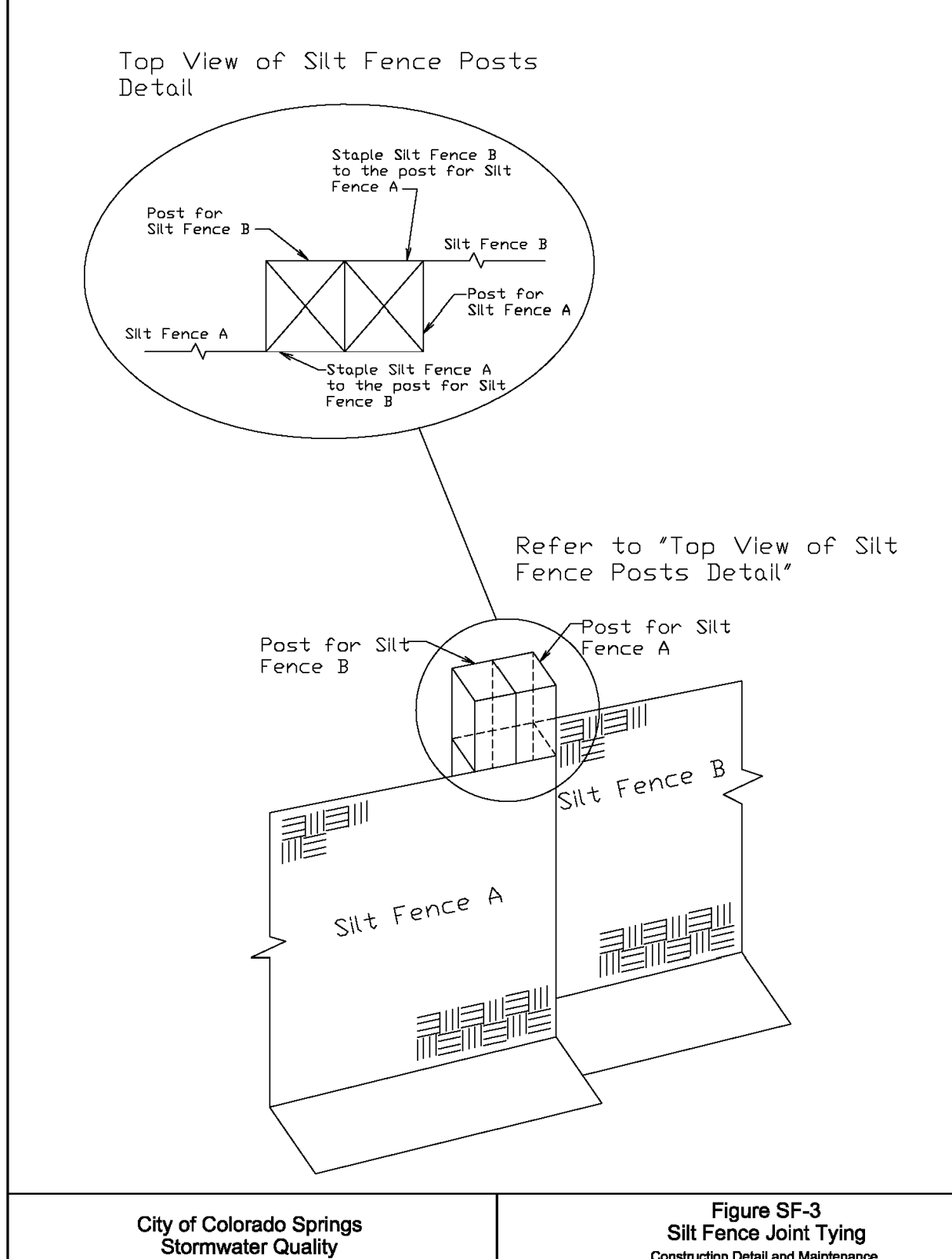
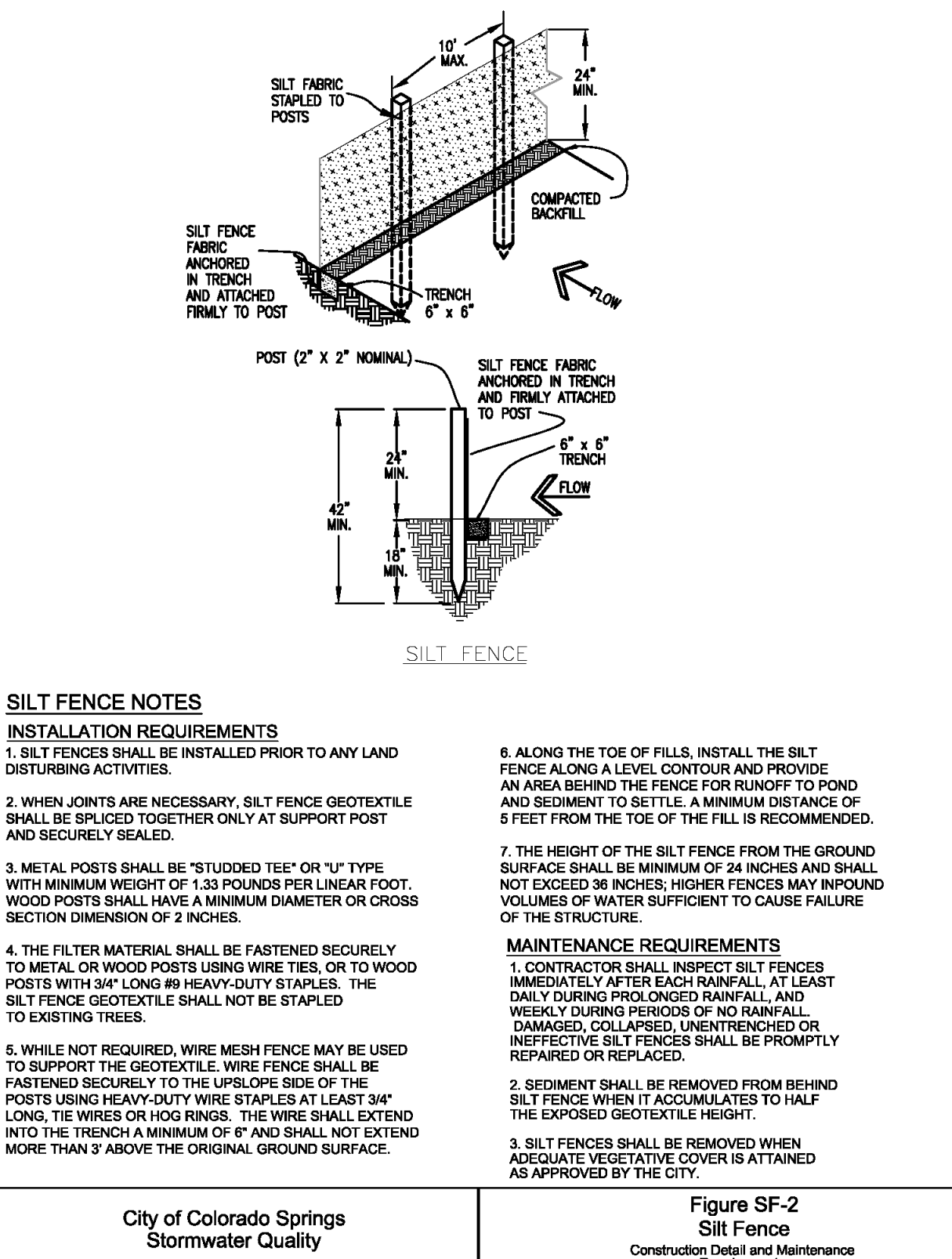
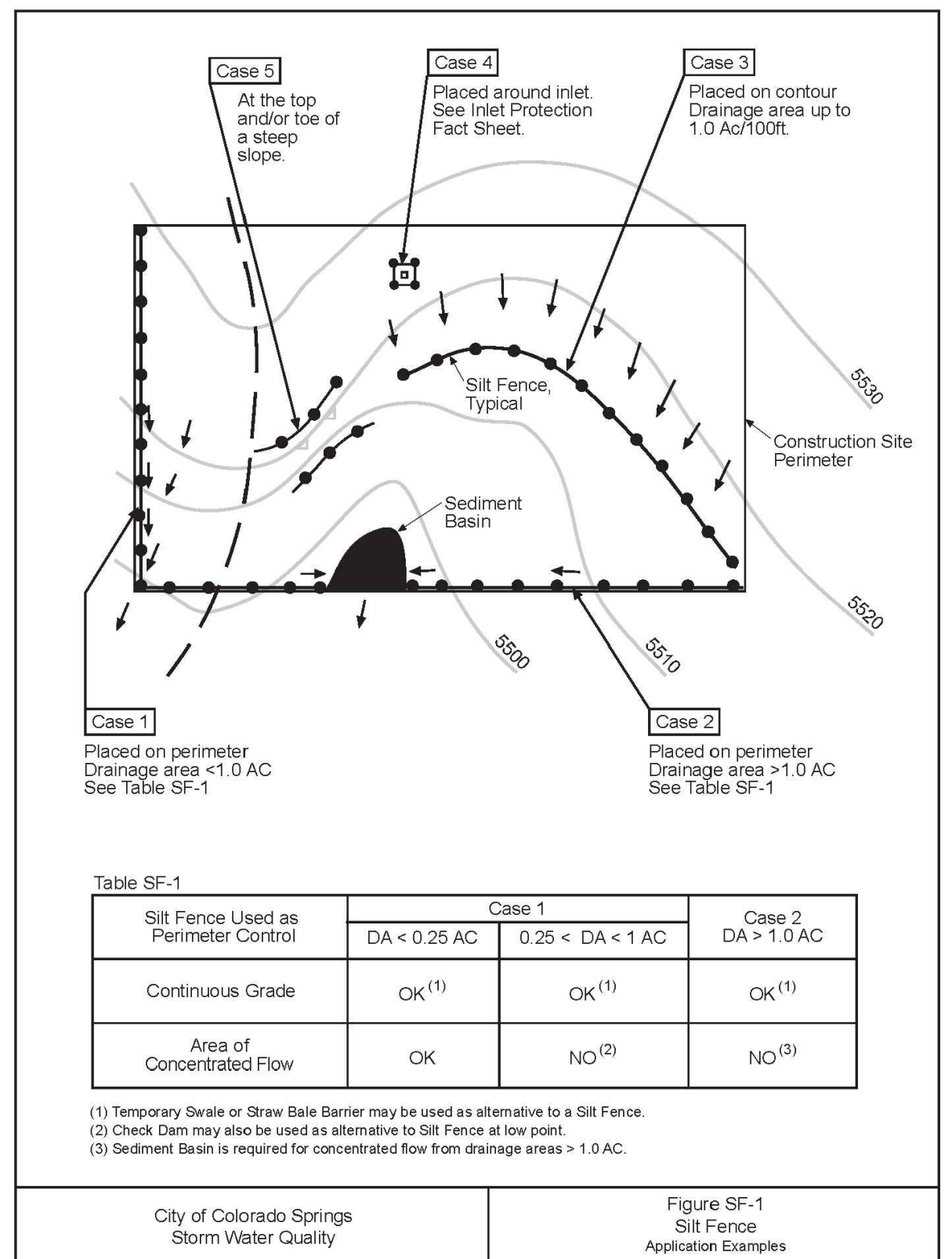
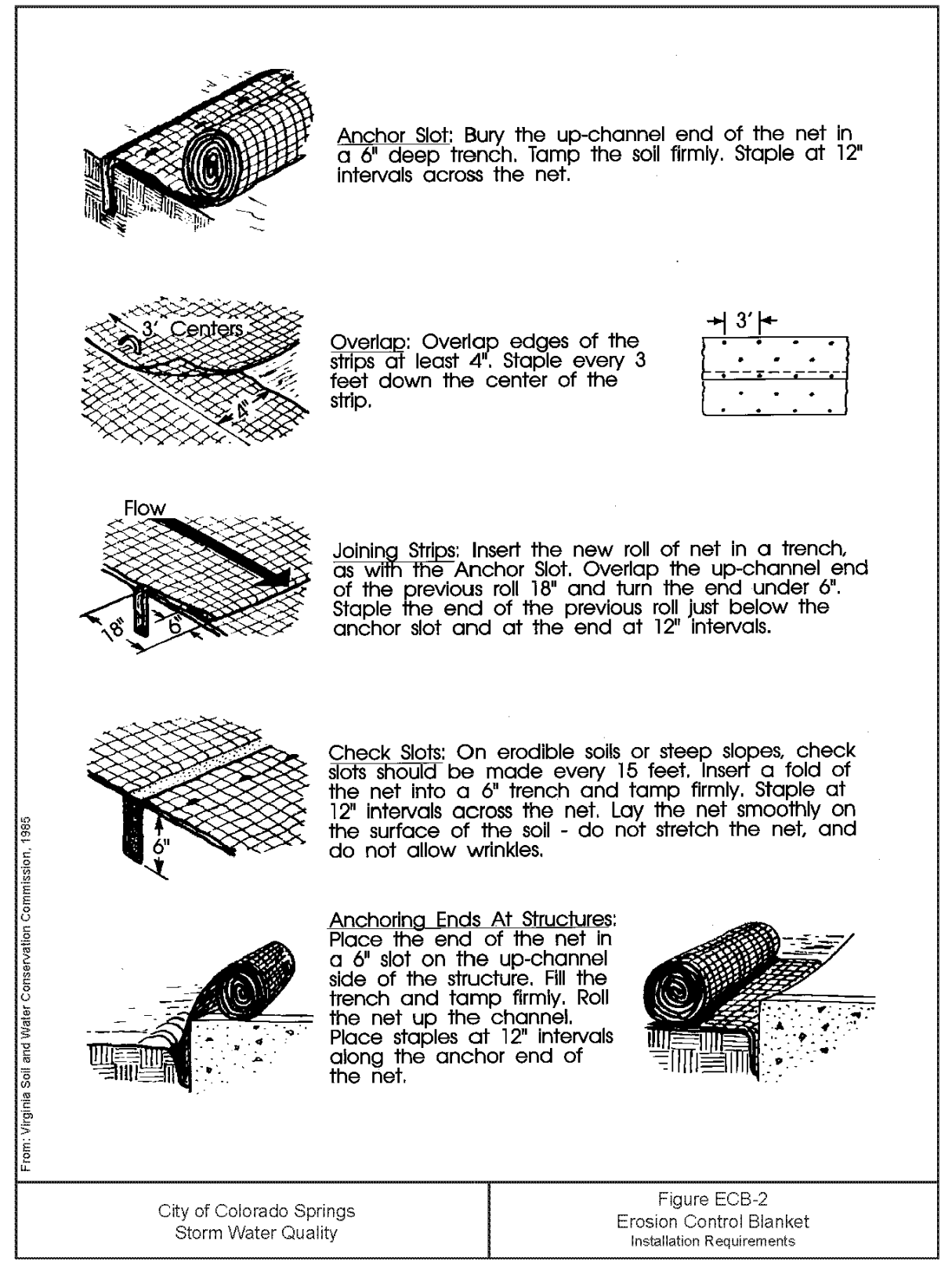
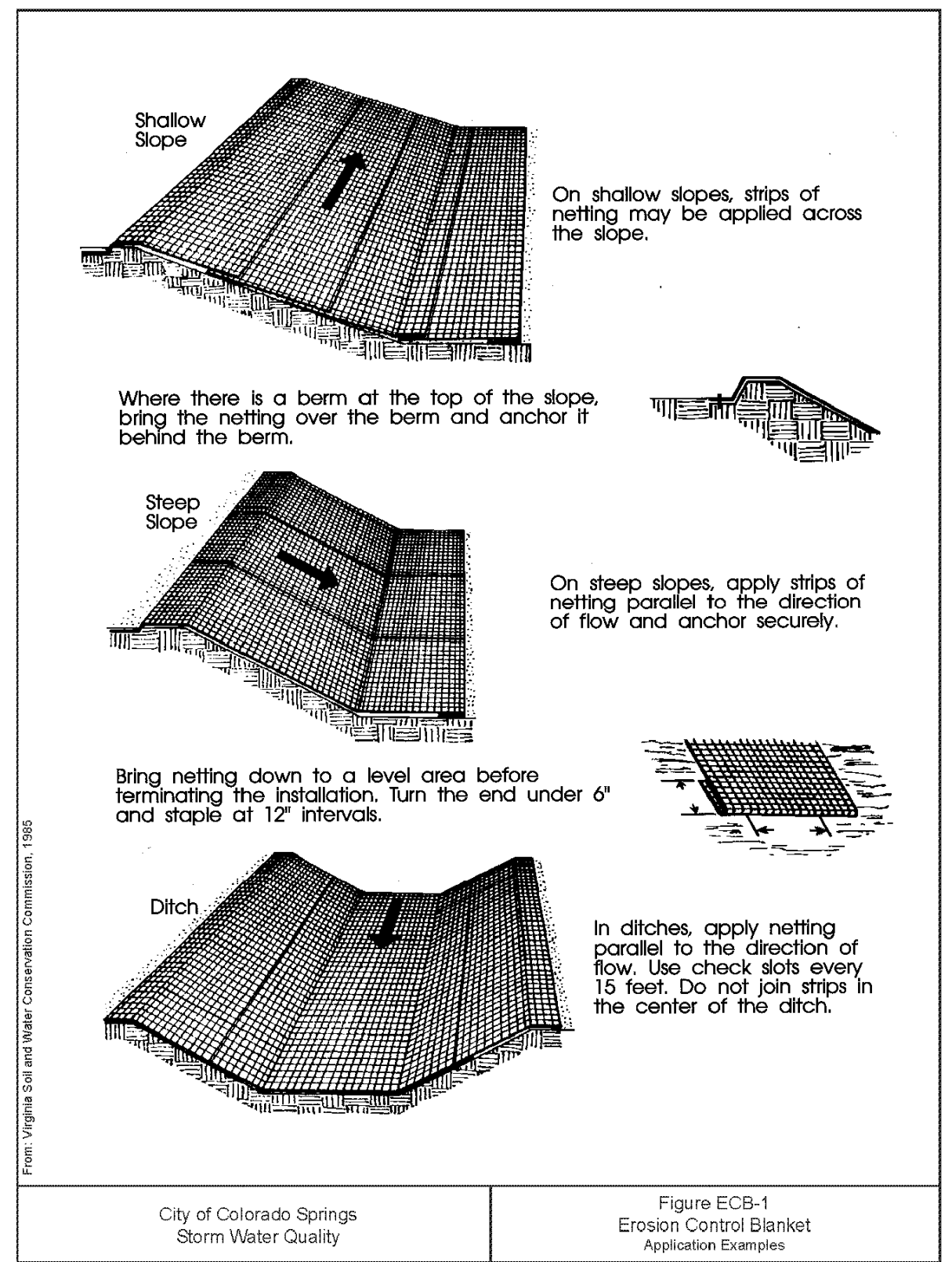
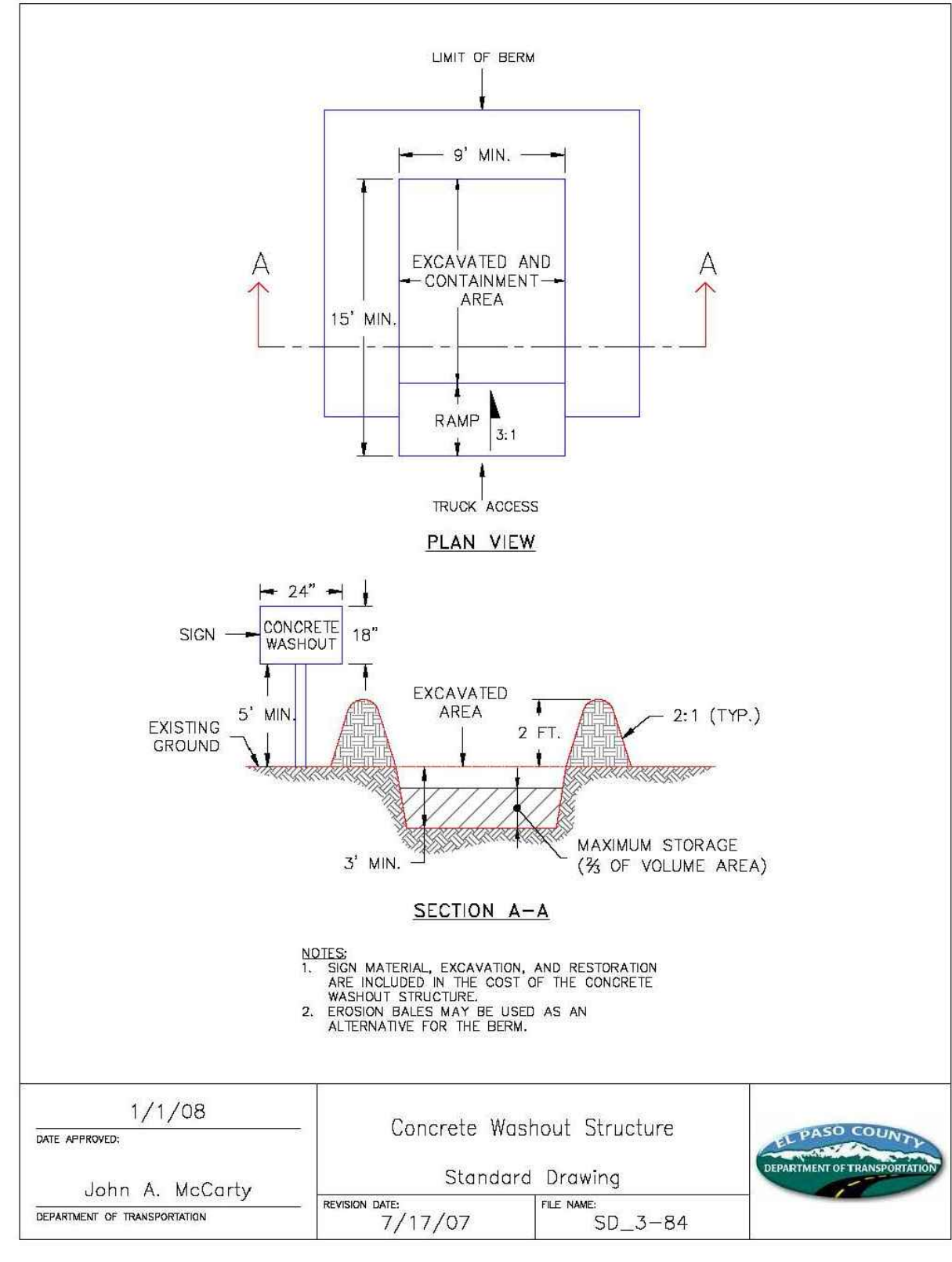
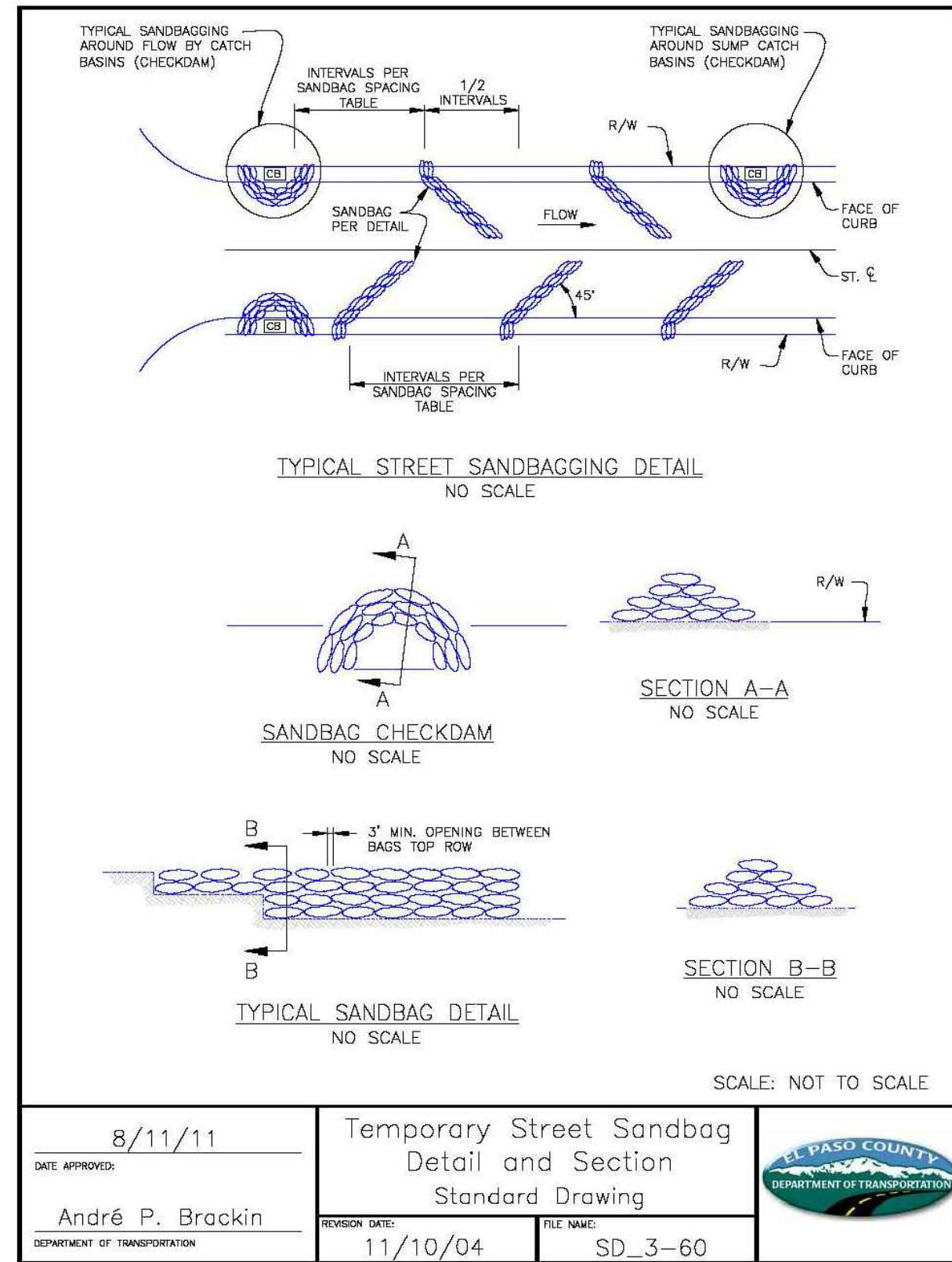
- 1. FINAL VEGETATIVE COVER DENSITY TO BE AT LEAST 70% OF PRE-DISTURBED LEVELS. EXISTING CONDITION OVEGETATION COVER INCLUDES LIGHT GRASS ACROSS LOT.
- 2. ESTIMATED AREA TO UNDERGO DISTURBANCE: 27,930 SF



PCD FILE #: PPR-22-027

PCD FILE #: PPR-22-27

<p>Client:</p> <p>CD BENT GRASS LLC 106 S. KYRENE RD. CHANDLER, AZ 85226 PHONE: ATTN: B. HAYENGA</p>	<p>W.C. CIVIL 7220 W. JEFFERSON AVE STE. 204 LAKEWOOD, CO 80235 PHONE: (303) 390-0172</p>
<p>TEMPORARY EROSION CONTROL AND SEDIMENT PLAN</p> <p>DUNKIN BENT GRASS GRADING & EROSION CONTROL PLANS LOT 1A, BENT GRASS EAST COMMERCIAL FILING NO. 2A, LOCATED IN TOWN OF PEYTON, COUNTY OF EL PASO, STATE OF COLORADO</p>	
<p>W.C. Civil Team: TS, LP Engineering No: AS NOTED</p>	<p>Date: 2022/07/21 Scale: AS NOTED</p>
<p>Sheet No.:</p>	<p>3</p>



RECOMMENDED ANNUAL GRASSES

SPECIES (COMMON NAME)	GROWTH SEASON	SEEDING DATE	POUNDS OF PURE LIVE SEED (PLS) (PLS/ACRE)	PLANTING DEPTH (INCHES)
1. OATS	COOL	MARCH 16 - APRIL 30	35-50	1-2
2. SPRING WHEAT	COOL	MARCH 16 - APRIL 30	25-35	1-2
3. SPRING BARLEY	COOL	MARCH 16 - APRIL 30	25-35	1-2
4. ANNUAL RYEGRASS	COOL	MARCH 16 - JUNE 30	10-15	1/2
5. MILLET	WARM	MAY 16 - JULY 15	3-15	1/2-3/4
6. SUDANGRASS	WARM	MAY 16 - JULY 15	5-10	1/2-3/4
7. SORGHUM	WARM	MAY 16 - JULY 15	5-10	1/2-3/4
8. WINTER WHEAT	COOL	SEPTEMBER 1 - 30	20-35	1-2
9. WINTER BARLEY	COOL	SEPTEMBER 1 - 30	20-35	1-2
10. WINTER RYE	COOL	SEPTEMBER 1 - 30	20-35	1-2
11. TRITICALE	COOL	SEPTEMBER 1 - 30	25-40	1-2

TABLE TS-1

TEMPORARY SEEDING NOTES

INSTALLATION REQUIREMENTS

- DISTURBED AREAS ARE TO BE SEED WITHIN 21 DAYS AFTER CONSTRUCTION ACTIVITY OR GRADING ENDS IF SEASON ALLOWS.
- IF NECESSARY, SOIL IS TO BE CONDITIONED FOR PLANT GROWTH BY APPLYING TOPSOIL, FERTILIZER, OR LIME.
- SOIL IS TO BE TILLED IMMEDIATELY PRIOR TO APPLYING SEEDS. COMPACT SOILS ESPECIALLY NEED TO BE LOOSENED.
- SEEDBED DEPTH IS TO BE 4 INCHES FOR SLOPES FLATTER THAN 2:1, AND 1 INCH FOR SLOPES STEEPER THAN 2:1.
- ANNUAL GRASSES LISTED IN TABLE TS-1 ARE TO BE USED FOR TEMPORARY SEEDING. SEED MIXES ARE NOT TO CONTAIN ANY NOXIOUS WEED SEEDS INCLUDING RUSSIAN OR CANADIAN THISTLE, KNAWEED, PURPLE LOOSESTRIFE, EUROPEAN BINDWEED, JOHNSON GRASS, AND LEAFY STURGE.
- TABLE TS-1 ALSO PROVIDES REQUIREMENTS FOR SEEDING RATES, SEEDING DATES, AND PLANTING DEPTHS FOR THE APPROVED TYPES OF ANNUAL GRASSES.
- SEEDING IS TO BE APPLIED USING MECHANICAL TYPE DRILLS EXCEPT WHERE SLOPES ARE STEEP OR ACCESS IS LIMITED THEN HYDRAULIC SEEDING MAY BE USED.
- ALL SEEDING AREAS ARE TO BE MULCHED (SEE FACTSHEET ON MULCHING).
- IF HYDRAULIC SEEDING IS USED THEN HYDRAULIC MULCHING SHALL BE DONE SEPARATELY TO AVOID SEEDS BECOMING ENCAPSULATED IN THE MULCH.

Maintenance Requirements

- REGULAR INSPECTIONS ARE TO BE MADE OF ALL SEEDING AREAS TO ENSURE GROWTH.
- AREAS WHERE GROWTH IS NOT OCCURRING QUICKLY OR THE MULCH HAS BEEN REMOVED SHALL BE RE-SEED AS SOON AS POSSIBLE AND RE-MULCHED IF NEEDED.
- SEEDING AREAS ARE NOT TO BE DRIVEN OVER WITH CONSTRUCTION EQUIPMENT OR VEHICLES.

City of Colorado Springs Stormwater Quality

Figure TS-1 Temporary Seeding Construction Detail and Maintenance Requirements

Client: CD BENT GRASS LLC
106 S. KYRENE RD.
CHANDLER, AZ 85226
PHONE: [REDACTED]
ATTN: B. HAYENGA

DATE: 03/18/22

DESCRIPTION: INITIAL GEC SUBMITTAL

NO. [REDACTED]

W.C. CIVIL
7220 W. JEFFERSON AVE
STE. 204
LAKEWOOD, CO 80235
PHONE: (303) 390-0172

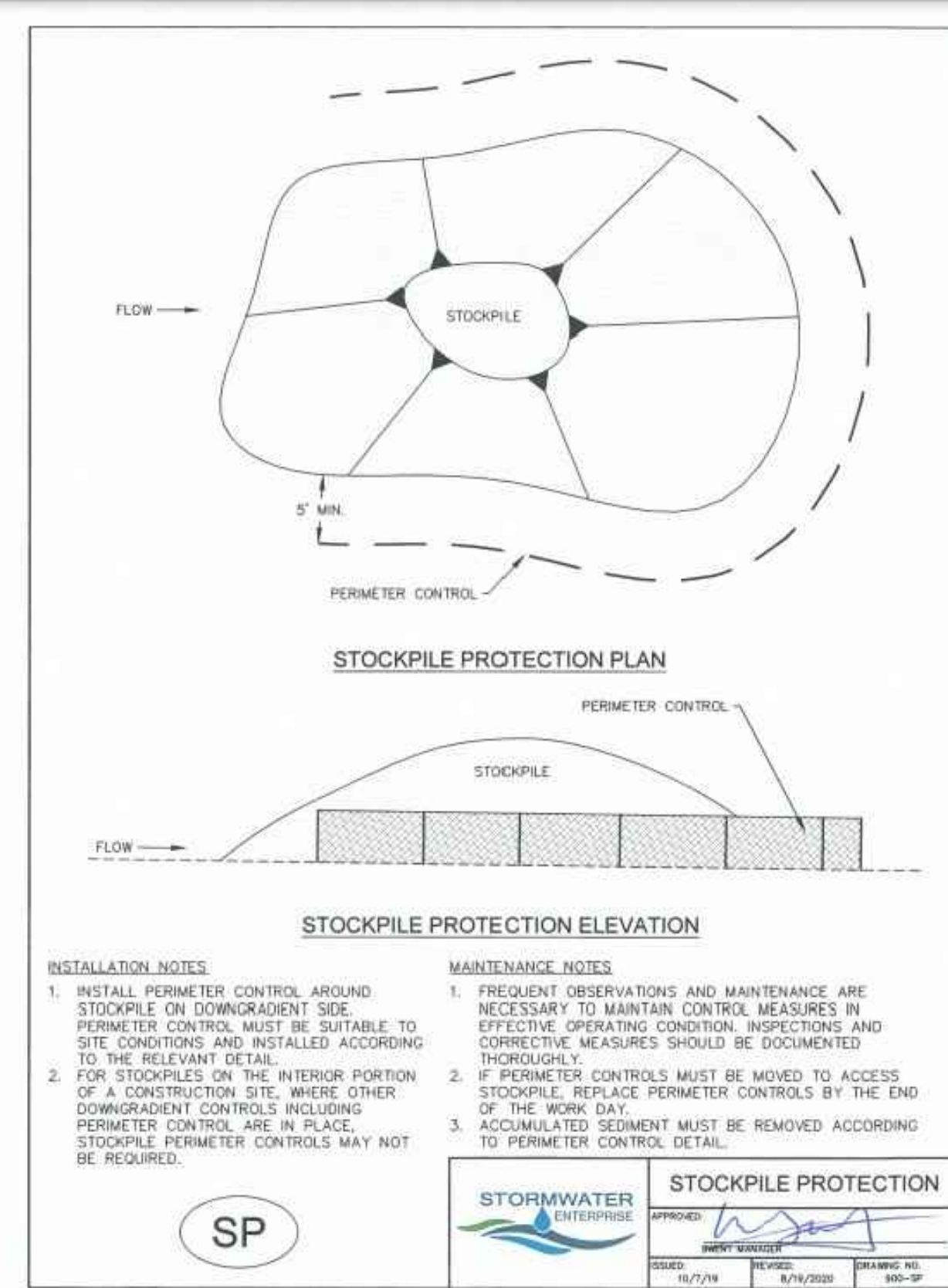
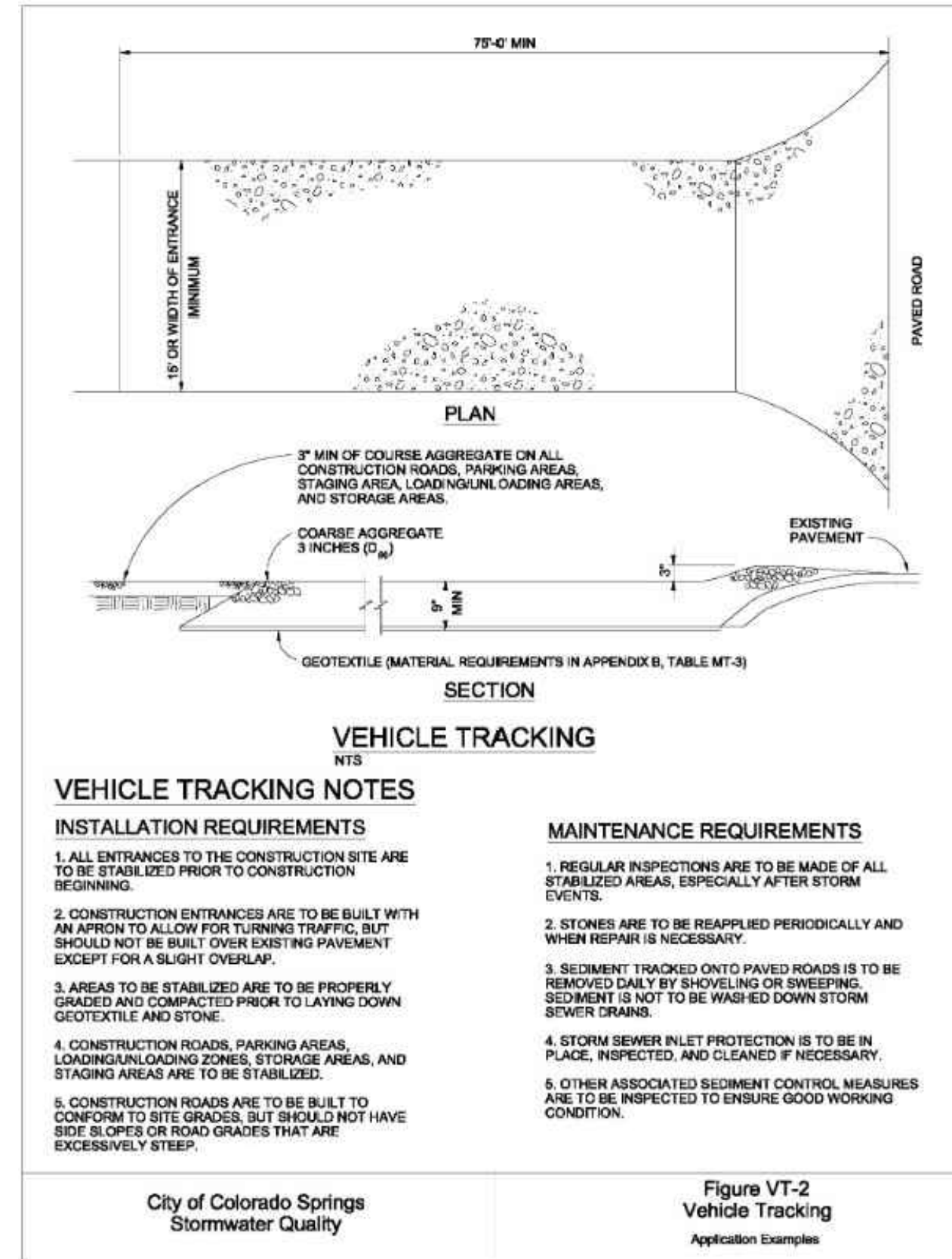
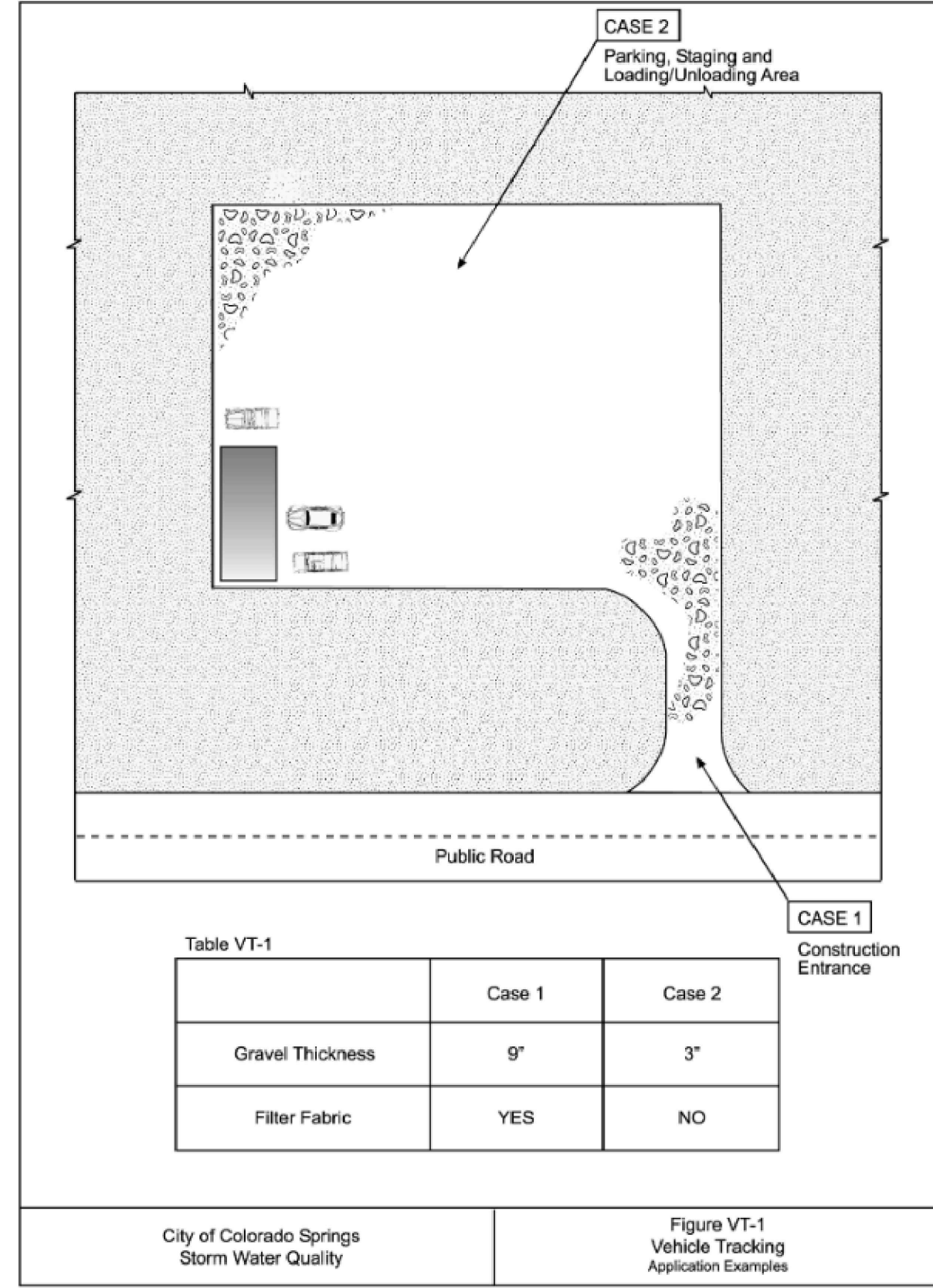
WC CIVIL

SITE DETAILS

DUNKIN BENT GRASS
GRADING & EROSION CONTROL PLANS
LOT 1A, BENT GRASS EAST COMMERCIAL FILING NO. 2A,
LOCATED IN TOWN OF PEYTON,
COUNTY OF EL PASO, STATE OF COLORADO

WC Civil Team: Date: 2022/07/21
TS, LP
Engineering No.: Scale:
AS NOTED

Sheet No.: 4



SITE DETAILS

DUNKIN BENT GRASS
GRADING & EROSION CONTROL PLANS
 LOT 1A, BENT GRASS EAST COMMERCIAL FILING NO. 2A,
 LOCATED IN TOWN OF PEYTON,
 COUNTY OF EL PASO, STATE OF COLORADO

WC Civil Team: TS, LP Date: 2022/07/21
 Engineering No.: AS NOTED Scale:

Sheet No.: 5

WC CIVIL
 W.C. CIVIL
 7220 W. JEFFERSON AVE
 STE. 204
 LAKEWOOD, CO 80235
 PHONE: (303) 390-0172

NO.	DESCRIPTION	DATE	Client
-	INITIAL GEC SUBMITTAL	03/18/22	CD BENT GRASS LLC
			106 S. KYRENE RD. CHANDLER, AZ 85226 PHONE: ATTN: B. HAYENGA