BENCHMARK

PROJECT BENCHMARK IS A DOUGLAS COUNTY CONTROL POINT LOCATED ON THE SOUTH SIDE OF HWY 86 JUST EAST OF PROJECT SITE.

NORTHING: 22842.29, EASTING: 19721.79

BENCHMARK IS 11.215" ALUMINUM DISC SET FLUSH TO THE GROUND. THE ELEVATION IS 1994.64 M (6544.09 US SURVEY FEET) BASED ON THE NAVD 88 DATUM.

BASIS OF BEARINGS

A PORTION OF THE SOUTH LINE OF THE NORTHEAST QUARTER SECTION 1, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN EL PASO COUNTY, COLORADO BEING MONUMENTED AT THE WEST END BY THE CENTER QUARTER CORNER OF SAID SECTION 1 BY A 2 ¹/₂" ALUMINUM SURVEYORS CAP WITH APPROPRIATE MARKING PLS 28651 AND AT THE EAST END, AT THE NORTHWESTERLY CORNER OF LOT 1 FALCON RANCHETTES RECORDED IN PLAT BOOK V-2 AT PAGE 15, RECORDS OF EL PASO COUNTY, COLORDO. BY A YELLOW PLASTIC SURVEYORS CAP STAMPED "PLS 2372" AND IS ASSUMED TO BEAR S89'49'43", A DISTANCE OF 2,285.20 FEET.

LEGAL DESCRIPTION

PARCEL A:

LOT 1A, BENT GRASS EAST COMMERCIAL FILING NO 2A, COUNTY OF EL PASO, STATE OF COLORADO (RECEPTION NO. 214713554).

PARCEL B: THOSE EASEMENT RIGHT CREATED BY RECIPROCAL ACCESS EASEMENT AND TEMPORARY CONSTRUCTION AND MAINTENANCE EASEMENT AGREEMENT RECORDED JUNE 04, 2013 UNDER RECEPTION NO. 213072561 AND FIRST AMENDMENT TO RECIPROCLA ACCESS EASEMENT AND TEMPORARY CONSTRUCTION AND MAINTENANCE EASEMENT AGREEMENT RECORDED JULY 07, 2013 UNDER RECEPTION NO. 213098588.

CONSTRUCTION TIMELINE

APPROXIMATE CONSTRUCTION START DATE: SEPTEMBER 2022

PROJECT DESCRIPTION

THE PROPOSED PROJECT INCLUDES THE DEVELOPMENT OF A NEW FAST FOOD RESTAURANT BUILDING, DRIVE-THRU, AND PARKING LOT. PROPOSED WORK INCLUDES DEMOLITION, GRADING, CONCRETE AND ASPHALT INSTALLATION, SANITARY SEWER INSTALLATION, WATER LATERAL INSTALLATION, FINAL GRADING, FINAL STABALIZATION, AND REMOVAL OF TEMPORARY CONTROL MEASURES.

ZONE DISTRICT INFORMATION

PROJECT ZONING: COMMERCIAL SERVICES (CS)

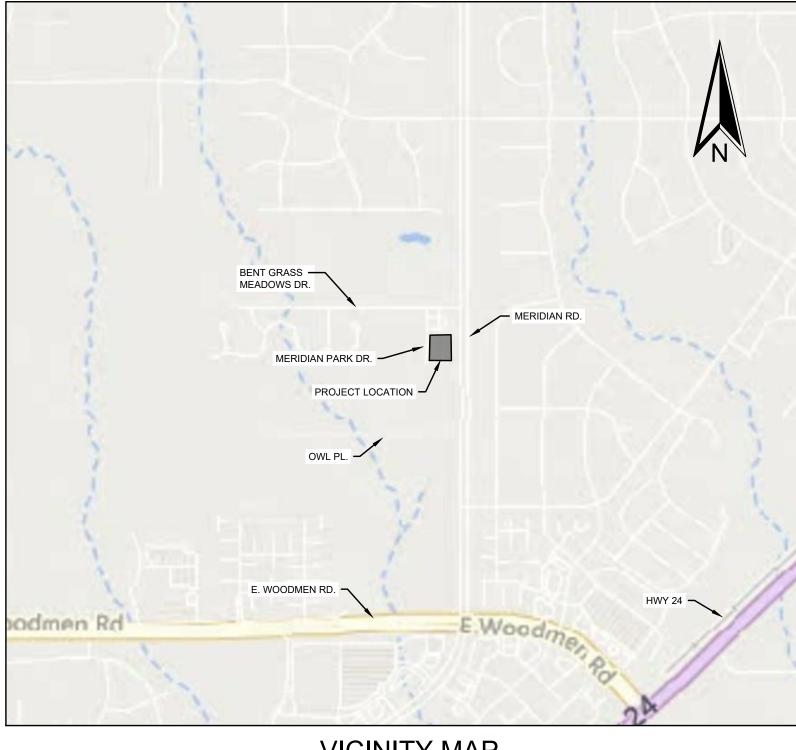
PROPERTY TAX SCHEDULE NUMBER

TAX SCHEDULE NUMBER: 5301104002

SITE UTILIZATION TABLE					
COVERAGE	EXISTING	PROPOSED			
TOTAL LOT SIZE	63,480 SF	63,480 SF			
BUILDING	0 SF	1,998 SF			
PAVEMENT	0 SF	14,625 SF			
% IMPERVIOUS	0%	26.2%			
% OPEN SPACE / LANDSCAPING	100%	73.8%			

GRADING & EROSION CONTROL PLANS 8035 MERIDIAN PARK DRIVE

SECTION 1, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M. TOWN OF PEYTON, COUNTY OF EL PASO, STATE OF COLORADO **DUNKIN BENT GRASS**



VICINITY MAP

PROJECT TEAM

PROPERTY OWNER

FIRST CUP LLC

106 S. KYRENE RD.

CHANDLER, AZ 85226

303-815-0161

BHAYENGA1@GMAIL.COM

ATTN: BERT HAYENGA

SURVEYOR

CLASSIC CONSULTING

619 N. CASCADE AVENUE

COLORADO SPRINGS, CO 80903

719-785-0790

DREINELT@CLASSICCONSULTING.NET

ATTN: DOUGLAS REINELT, PLS

CIVIL ENGINEER WC CIVIL, INC. 7220 W JEFFERSON AVE., STE. 204 LAKEWOOD, CO 80235 303-390-0172 ERIC_M@WCCIVIL.COM ATTN: ERIC MCKNIGHT, P.E.

LANDSCAPE ARCHITECT

STACKLOT 5639 SOUTH CURTICE ST. LITTLETON, CO 80120 303-883-2735 JUSTINHAY@STACKLOT.COM ATTN: JUSTIN HAY

ARCHITECT / APPLICANT

ETHOS ARCHITECTURE GROUP 8025 W 25TH PL. LAKEWOOD, CO 80214 303-815-0161 JOHN@ETHOS-ARCH-GROUP.COM ATTN: JOHN SPONSELLER, NCARB

PHOTOMETRIC DESIGN

RG ENGINEERING CONSULTANTS 8811 HAMPDEN AVE., STE. 208 DENVER, CO 80231 303-355-5534 SOPHIA@RGECINC.COM ATTN: SOPHIA GISIN

SHEET INDEX:

3

4

- COVER SHEET
- 2 GENERAL NOTES
 - EROSION CONTROL PLAN
 - EROSION CONTROL DETAILS

ABBREVIATIONS:

AC CS DWG (E) E	ASPHALT CONCRETE COMMERCIAL SERVICES DRAWING EXISTING EAST
ĒG	EXISTING GRADE
FH	FIRE HYDRANT
FL	FLOW LINE
FG	FINISHED GRADE
FS	FINISHED SURFACE
FT	FEET
HP	HIGHT POINT
INV	INVERT
LIP	LIP OF GUTTER
ME	MATCH EXISTING
MAX	MAXIMUM
MIN	MINIMUM
(N)	NEW
Ν	NORTH
PSI	POUNDS PER SQUARE INCH
PVC	POLYVINYL CHLORIDE
RCP	REINFORCED CONCRETE PIPE
ROW	RIGHT OF WAY
SF	SQUARE FEET
STD	STANDARD
тс	TOP OF CURB

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PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR	DATE

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PROP						
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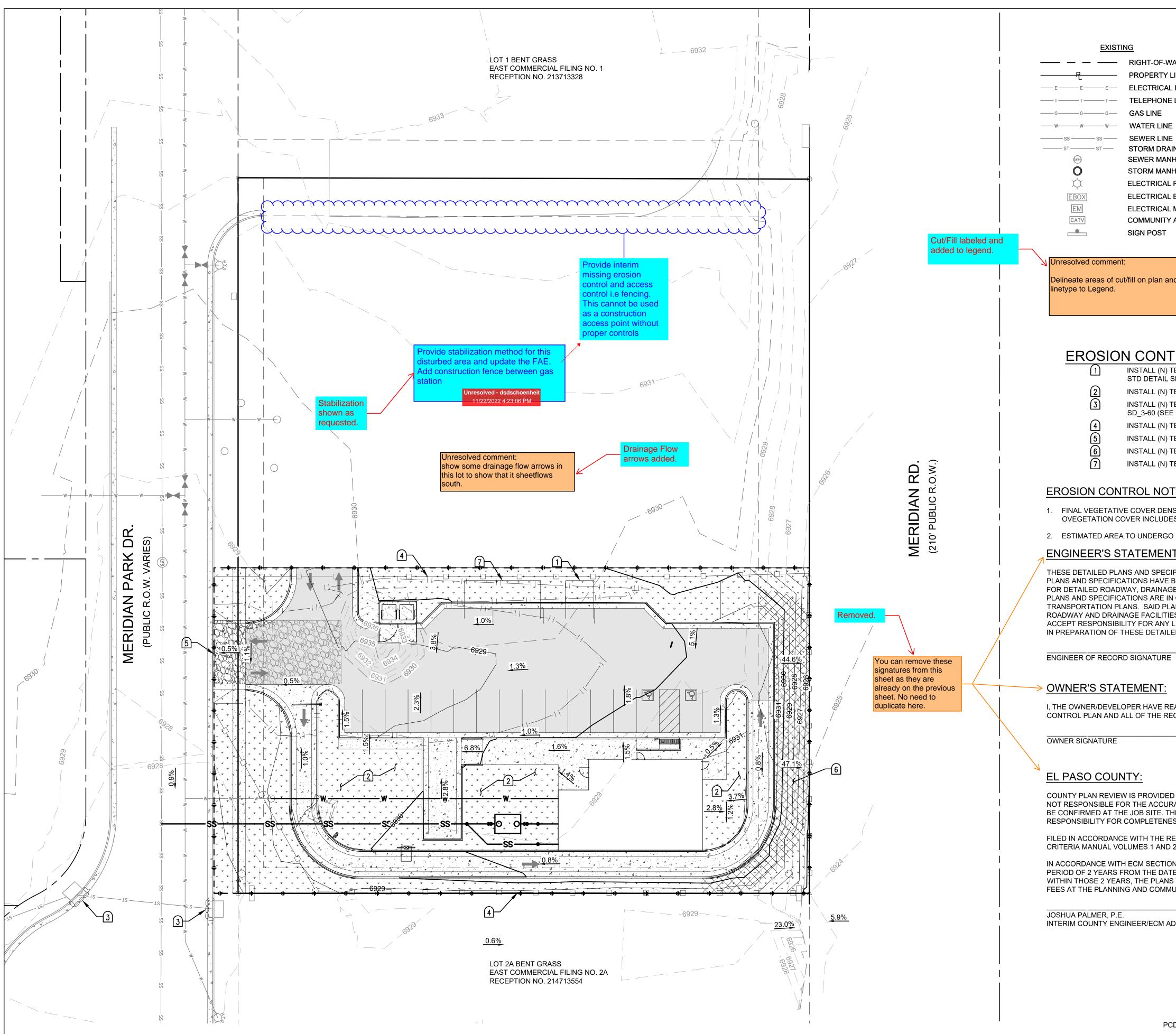
1.	STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THA MINIMIZES POLLUTION OF ANY ON-SITE OR OFF-SITE WATERS, INCLUDING WETLANDS.
2.	NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LA DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING
3.	A SEPARATE STORMWATER MANAGEMENT PLAN (SMWP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. MANAGEMENT OF THE SWI DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE DESIGNATED QUALIFIED STORMWATER MANAGER OR CERTIFIED EROSI CONTROL INSPECTOR. THE SWMP SHALL BE LOCATED ON-SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE KEPT UP T DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
4.	ONCE THE ESQCP IS APPROVED AND A "NOTICE TO PROCEED" HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE APPROVED GEC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY STAFF.
5.	CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ACTIVITIES THAT COULD CONTRIBUTE POLLUTANTS T STORMWATER. CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, AND DISTURBED LAND AREAS SHALL BE INSTALLE IMMEDIATELY UPON COMPLETION OF THE DISTURBANCE.
6.	ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATING CONDITION UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND FINAL STABILIZATION IS ESTABLISH ALL PERSONS ENGAGED IN LAND DISTURBANCE ACTIVITIES SHALL ASSESS THE ADEQUACY OF CONTROL MEASURES AT THE SIT AND IDENTIFY IF CHANGES TO THOSE CONTROL MEASURES ARE NEEDED TO ENSURE THE CONTINUED EFFECTIVE PERFORMANC OF THE CONTROL MEASURES. ALL CHANGES TO TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES MUST BE INCORPORATED INTO THE STORMWATER MANAGEMENT PLAN.
7.	TEMPORARY STABILIZATION SHALL BE IMPLEMENTED ON DISTURBED AREAS AND STOCKPILES WHERE GROUND DISTURBING CONSTRUCTION ACTIVITY HAS PERMANENTLY CEASED OR TEMPORARILY CEASED FOR LONGER THAN 14 DAYS.
8.	FINAL STABILIZATION MUST BE IMPLEMENTED AT ALL APPLICABLE CONSTRUCTION SITES. FINAL STABILIZATION IS ACHIEVED WI ALL GROUND DISTURBING ACTIVITIES ARE COMPLETE AND ALL DISTURBED AREAS EITHER HAVE A UNIFORM VEGETATIVE COVER WITH INDIVIDUAL PLANT DENSITY OF 70 PERCENT OF PRE-DISTURBANCE LEVELS ESTABLISHED OR EQUIVALENT PERMANENT ALTERNATIVE STABILIZATION METHOD IS IMPLEMENTED. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL REMOVED UPON FINAL STABILIZATION AND BEFORE PERMIT CLOSURE.
9.	ALL PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AS DESIGNED IN THE APPROVED PLANS. ANY PROPOSED CHANGES THAT EFFECT THE DESIGN OR FUNCTION OF PERMANENT STORMWATER MANAGEMENT STRUCTURES MUS BE APPROVED BY THE ECM ADMINISTRATOR PRIOR TO IMPLEMENTATION.
10.	EARTH DISTURBANCES SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY MINIMIZE ACCELERATED SOIL EROSIO AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME. PRE-EXISTING VEGETATION SHALL BE PROTECTED AND MAINTAINED WITHIN 50 HORIZONTAL FEET OF A WATERS OF THE STATE UNLESS SHOW TO BE INFEASIBLE AND SPECIFICALLY REQUESTED AND APPROVED.
11.	COMPACTION OF SOIL MUST BE PREVENTED IN AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES OR WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER. AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES SHALL ALSO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED. IF COMPACTION PREVENTION IS NOT FEASIBLE DUE TO SITE CONSTRAINTS, ALL AREAS DESIGNATED FOR INFILTRATION AND VEGETATION CONTROL MEASURES MUST BE LOOSENED PRIOR TO INSTALLATION OF THE CONTROL MEASURE(S).
12.	ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE A STABILIZED CONVEYANCE DESIGNED TO MINIMIZE EROSION A THE DISCHARGE OF SEDIMENT OFF-SITE.
13.	CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL E DISCHARGED TO OR ALLOWED TO ENTER STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTE OR FACILITIES. CONCRETE WASHOUTS SHALL NOT BE LOCATED IN AN AREA WHERE SHALLOW GROUNDWATER MAY BE PRESEN OR WITHIN 50 FEET OF A SURFACE WATER BODY, CREEK OR STREAM.
14.	DURING DEWATERING OPERATIONS, UNCONTAMINATED GROUNDWATER MAY BE DISCHARGED ON-SITE, BUT SHALL NOT LEAVE T SITE IN THE FORM OF SURFACE RUNOFF UNLESS AN APPROVED STATE DEWATERING PERMIT IS IN PLACE.
15.	EROSION CONTROL BLANKETING OR OTHER PROTECTIVE COVERING SHALL BE USED ON SLOPES STEEPER THAN 3:1.
16.	CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
17.	WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. CONTROL MEASURES MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
18.	TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFF-SITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
19.	THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, SOIL, AND SAND THAT MAY ACCUMULATE IN ROADS, STORM DRAINS AND OTHER DRAINAGE CONVEYANCE SYSTEMS AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
20.	THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
21.	NO CHEMICAL(S) HAVING THE POTENTIAL TO BE RELEASED IN STORMWATER ARE TO BE STORED OR USED ON-SITE UNLESS PERMISSION FOR THE USE OF SUCH CHEMICAL(S) IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR. IN GRANTING APPROVA FOR THE USE OF SUCH CHEMICAL(S), SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
22.	BULK STORAGE OF ALLOWED PETROLEUM PRODUCTS OR OTHER ALLOWED LIQUID CHEMICALS IN EXCESS OF 55 GALLONS SHAL REQUIRE ADEQUATE SECONDARY CONTAINMENT PROTECTION TO CONTAIN ALL SPILLS ON-SITE AND TO PREVENT ANY SPILLED MATERIALS FROM ENTERING STATE WATERS, ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR OTHER FACILITIES
23.	NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE CURB AND GUTTER OR DITCH EXCEPT WITH APPROV

24.	OWNER/DEVELOPER AND THEIR AGENTS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTIC 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS OF THE LAND DEVELOPMENT CODE, DO VOLUME II AND THE ECM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (1041, NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND OTHER LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, LOCAL, OR COUNTY AGENCIES, THE	
	MOST RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.	added to plan.
25.	5. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE ONLY AT APPROVED CONSTRUCTION ACCESS POINTS.	Input information or
26.	B. PRIOR TO CONSTRUCTION THE PERMITTEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.	replace highlighted text with "N/A" if there is not
27.	7. A WATER SOURCE SHALL BE AVAILABLE ON-SITE DURING EARTHWORK OPERATIONS AND SHALL BE UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.	a soils report for this site.
28.	3. THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY [COMPANY NAME, DATE OF REPORT] AND SHALL BE CONSIDERED A PART OF THESE PLANS.	
29.	AT LEAST TEN (10) DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB ONE (1) ACI OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATI CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:	
	COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT WATER QUALITY CONTROL DIVISION WQCD – PERMITS 4300 CHERRY CREEK DRIVE SOUTH DENVER, CO 80246-1530 ATTN: PERMITS UNIT	
	ENGINEER'S STATEMENT	
	THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION, SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, CRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR CMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATION	
	ENGINEER OF RECORD SIGNATURE DATE DATE Revise to match Item "hh" on page 2 of GEC Checklist I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN AND ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.	
	OWNER SIGNATURE DATE	
	EL PASO COUNTY: COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/ OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/ OR ACCURACY OF THIS DOCUMENT. FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL, AS AMENDED. IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR'S DISCRETION. Revised.	Move all 3 signature blocks to the first she
	JOSHUA PALMER, P.E. INTERIM COUNTY ENGINEER DATE Revise heading to	
	ENGINEER OF RECORD:	
	THE GRADING AND EROSION CONTROL PLAN WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND IS COMPLETE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. SAID PLAN HAS BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR GRADING AND EROSION CONTROL PLANS.	
	ENGINEER OF RECORD SIGNATURE DATE	/ Removed.
-	REVIEW ENGINEER:	
	THE GRADING AND EROSION CONTROL PLAN WAS REVIEWED AND FOUND TO MEET THE	

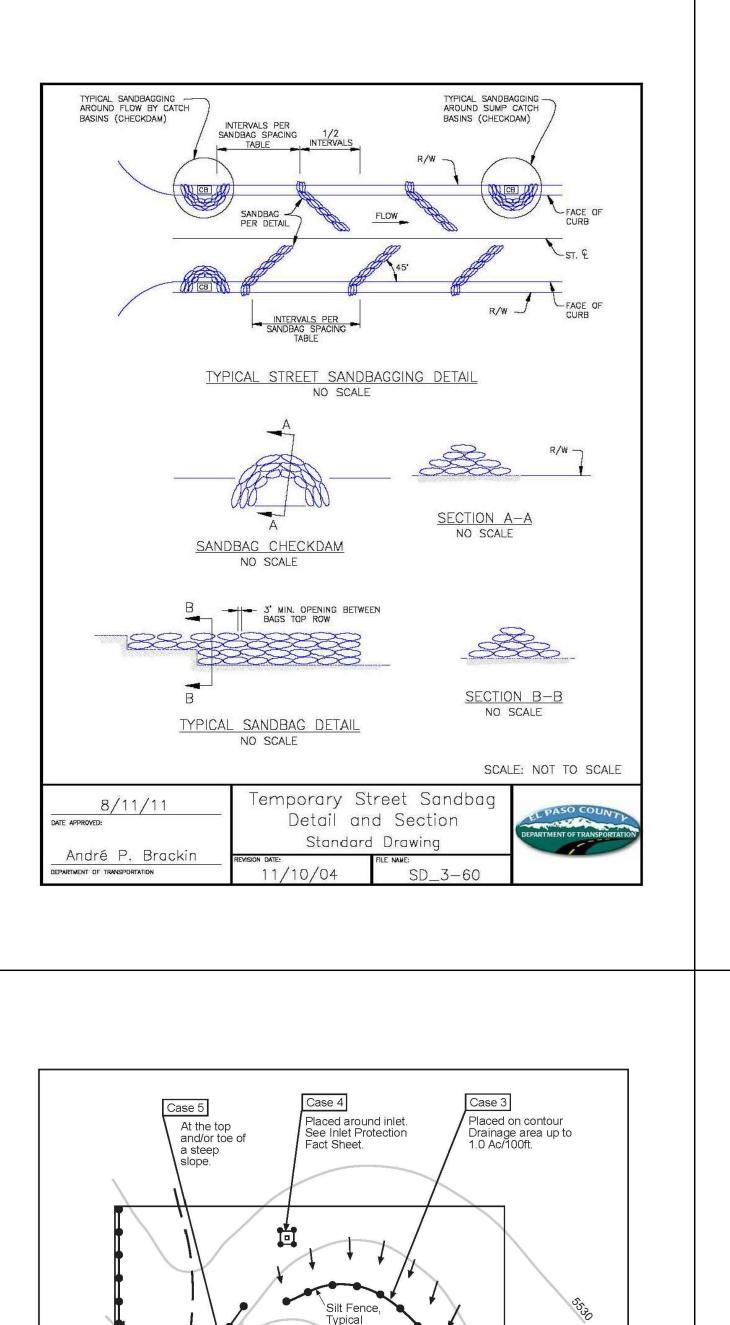
REVIEW ENGINEER

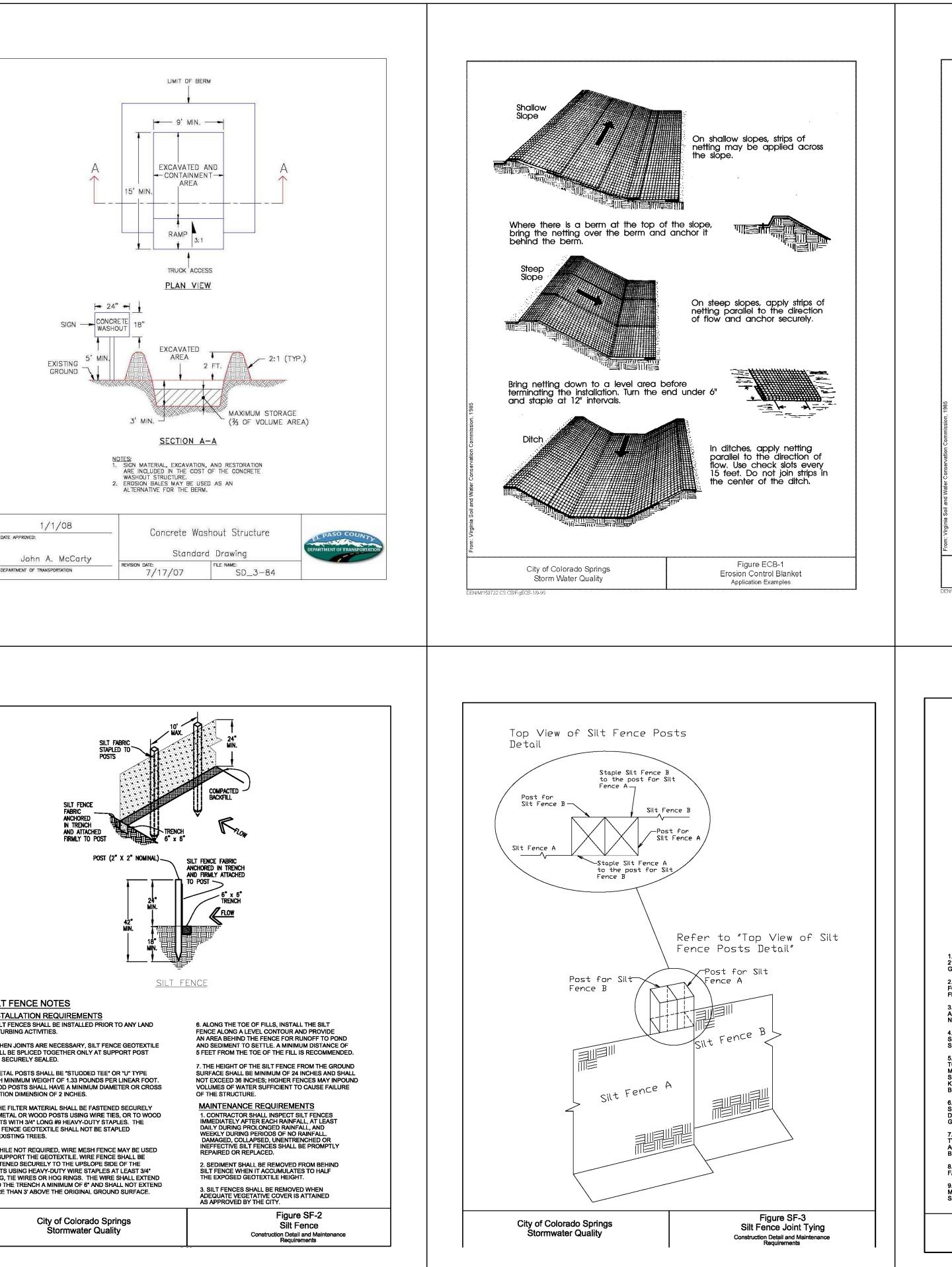
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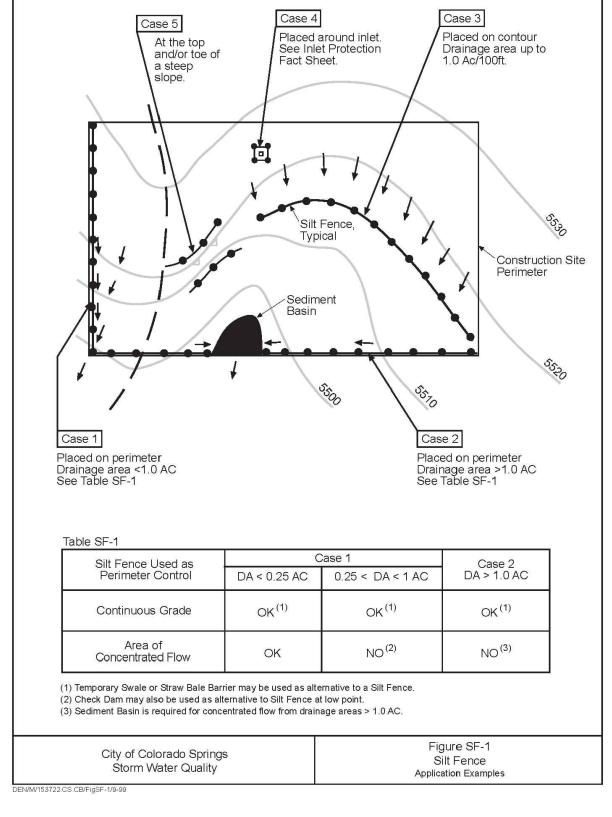
date	CD BENT GRASS LLC	106 S. KYRENE RD. CHANDLER, AZ 85226 PHONE: ATTN: B. HAYENGA
Moved to cover sheet.	C	CIVE T220 W. JEFFERSON AVE STE. 204 LAKEWOOD, CO 80235 PHONE: (303) 390-0172
	GENERAL NOTES	Team: Date: 2022/07/21 Ing No.: Scale: AS NOTED

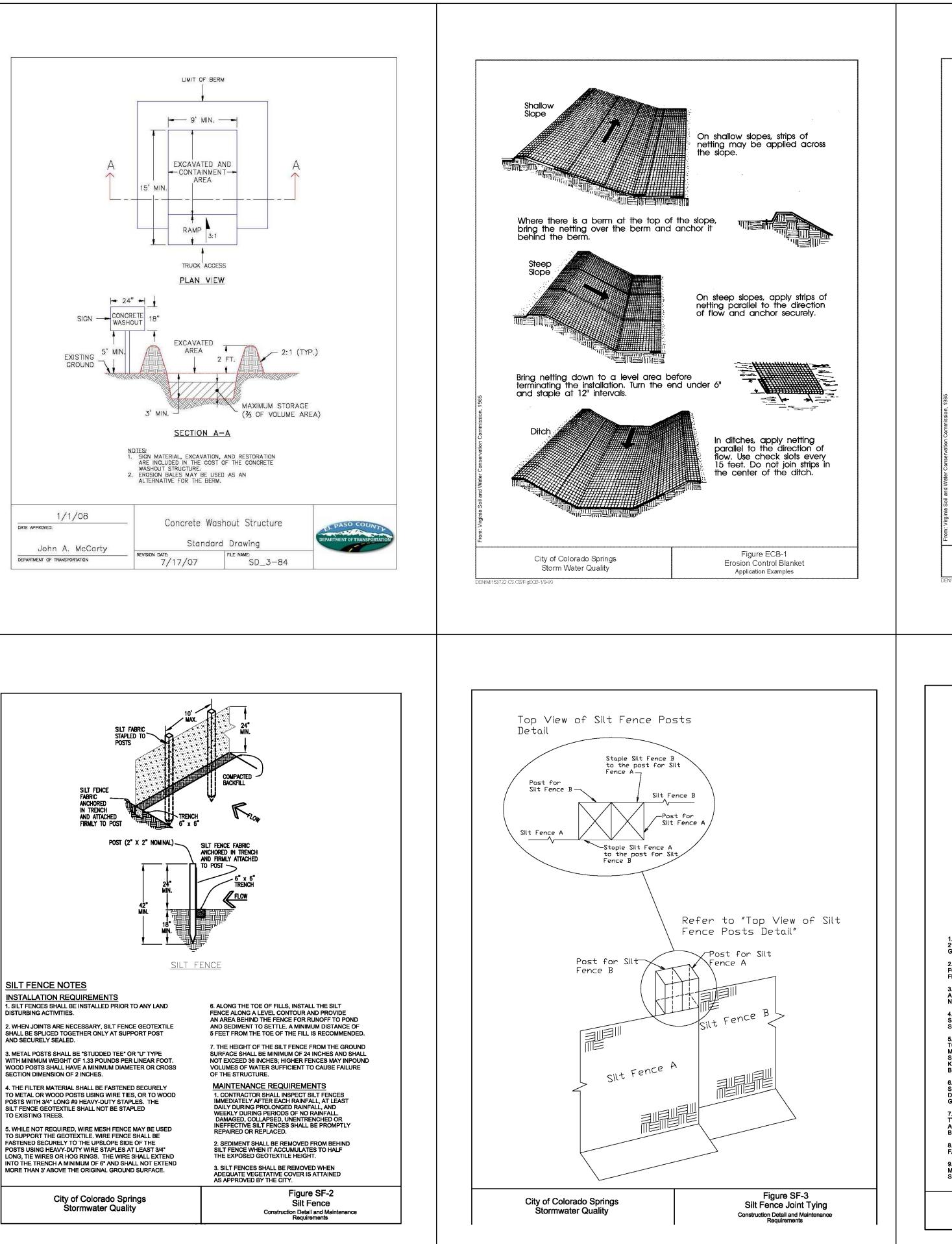


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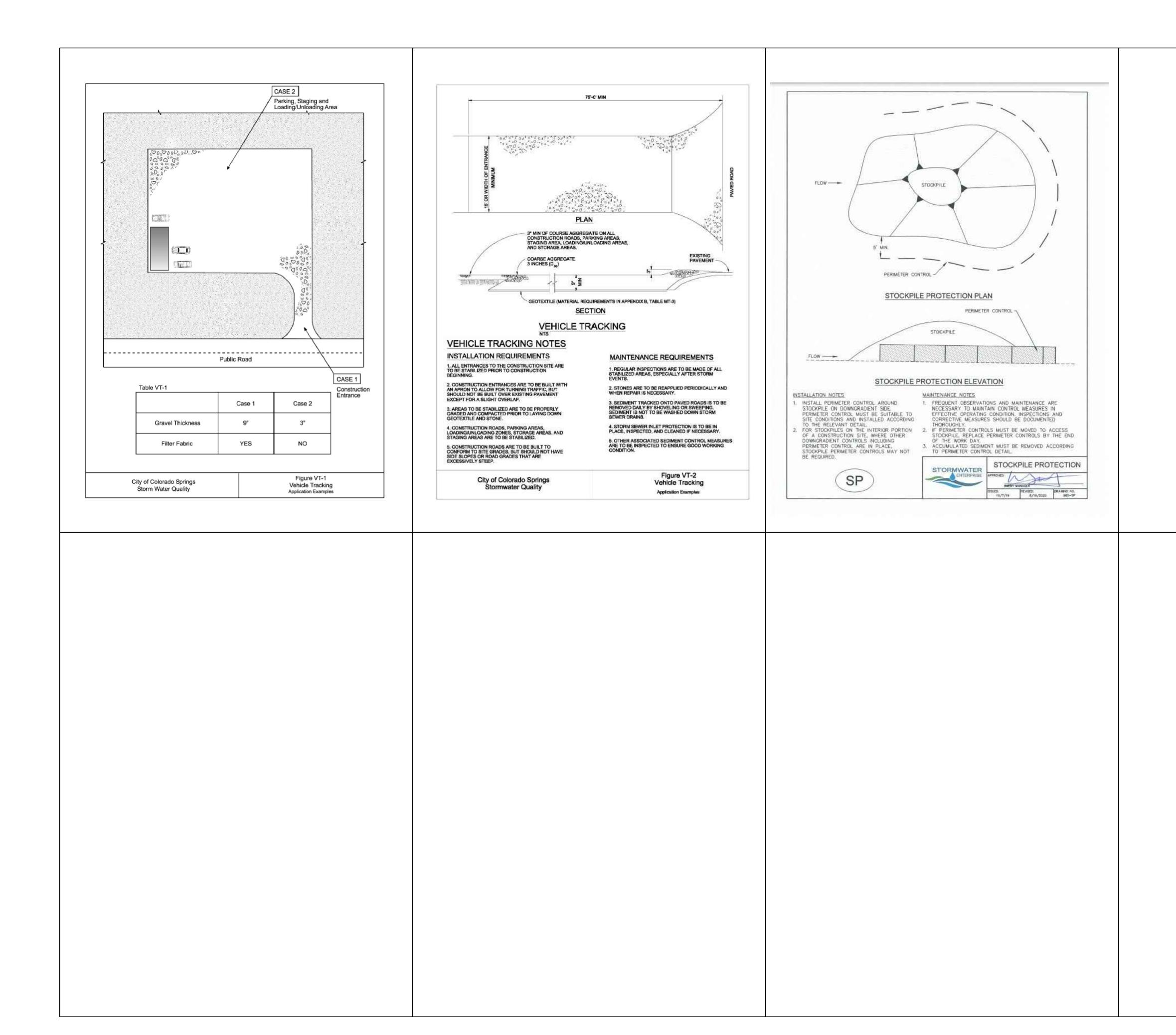








	HITE (<u>Anchor Slot:</u> Bury a 6" deep trench. ntervals across the	. Tamp the soil	l end o firmly.	f the net in Staple at 12"		BENT GRASS LLC	KYRENE RD.	LER, AZ	ATTN: B. HAYENGA
3' Center	st fe	overlap: Overlap e rips at least 4". S eet down the cer rip.	taple every 3	* 	3′ •	DATE ^{Client:}	03/18/22 CD BE	106 S. K		ATTN: B
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						 -	CIVIL	STE. 204	Õ,	PHONE: (303)
SPECIES	REC		UAL GRASSES		PLANTING	5				
1. OATS 2. SPRING WHEAT 3. SPRING BARLEY 4. ANNUAL RYEGRASS	COOL COOL COOL COOL COOL	MARCH 16 - APRIL 30 MARCH 16 - APRIL 30 MARCH 16 - APRIL 30 MARCH 16 - APRIL 30 MARCH 16 - JUNE 30	LIVE SEED (PLS/AC) 35-50) 25-38) 25-38	9 (PLS) :RE) 5 5	PDANTING DEPTH (INCHES) 1-2 1-2 1-2 1-2 1-2 1-2 1-2 1-2				2	5
5. MILLET 6. SUDANGRASS 7. SORGHUM 8. WINTER WHEAT 9. WINTER BARLEY 10. WINTER RYE	WARM WARM COOL COOL COOL	MAY 16 - JULY 15 MAY 16 - JULY 15 MAY 16 - JULY 15 SEPTEMBER 1 - 30 SEPTEMBER 1 - 30 SEPTEMBER 1 - 30	3-15 5-10 5-10 20-38 20-38 20-38	5 5 5	1/2-3/4 1/2-3/4 1/2-3/4 1-2 1-2 1-2 1-2					
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Civil T TS, L	W.C. CIVIL	- INITIAL GEC SUBMITTAL	03/18/22	CD BENT GRASS LLC
- <i>P</i> ig No.:	7220 W. JEFFERSON AVE			
	STE. 204			106 S. KYRENE RD.
	LAKEWOOD, CO 80235			CHANULER, AZ 85220 PHONE:
				ATTN: B. HAYENGA
			-	

BENCHMARK

PROJECT BENCHMARK IS A DOUGLAS COUNTY CONTROL POINT LOCATED ON THE SOUTH SIDE OF HWY 86 JUST EAST OF PROJECT SITE.

NORTHING: 22842.29, EASTING: 19721.79

BENCHMARK IS 11.215" ALUMINUM DISC SET FLUSH TO THE GROUND. THE ELEVATION IS 1994.64 M (6544.09 US SURVEY FEET) BASED ON THE NAVD 88 DATUM.

BASIS OF BEARINGS

A PORTION OF THE SOUTH LINE OF THE NORTHEAST QUARTER SECTION 1, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN EL PASO COUNTY, COLORADO BEING MONUMENTED AT THE WEST END BY THE CENTER QUARTER CORNER OF SAID SECTION 1 BY A 2 ¹/₂" ALUMINUM SURVEYORS CAP WITH APPROPRIATE MARKING PLS 28651 AND AT THE EAST END, AT THE NORTHWESTERLY CORNER OF LOT 1 FALCON RANCHETTES RECORDED IN PLAT BOOK V-2 AT PAGE 15, RECORDS OF EL PASO COUNTY, COLORDO. BY A YELLOW PLASTIC SURVEYORS CAP STAMPED "PLS 2372" AND IS ASSUMED TO BEAR S89'49'43", A DISTANCE OF 2,285.20 FEET.

LEGAL DESCRIPTION

PARCEL A:

LOT 1A, BENT GRASS EAST COMMERCIAL FILING NO 2A, COUNTY OF EL PASO, STATE OF COLORADO (RECEPTION NO. 214713554).

PARCEL B: THOSE EASEMENT RIGHT CREATED BY RECIPROCAL ACCESS EASEMENT AND TEMPORARY CONSTRUCTION AND MAINTENANCE EASEMENT AGREEMENT RECORDED JUNE 04, 2013 UNDER RECEPTION NO. 213072561 AND FIRST AMENDMENT TO RECIPROCLA ACCESS EASEMENT AND TEMPORARY CONSTRUCTION AND MAINTENANCE EASEMENT AGREEMENT RECORDED JULY 07, 2013 UNDER RECEPTION NO. 213098588.

CONSTRUCTION TIMELINE

APPROXIMATE CONSTRUCTION START DATE: SEPTEMBER 2022

PROJECT DESCRIPTION

THE PROPOSED PROJECT INCLUDES THE DEVELOPMENT OF A NEW FAST FOOD RESTAURANT BUILDING, DRIVE-THRU, AND PARKING LOT. PROPOSED WORK INCLUDES DEMOLITION, GRADING, CONCRETE AND ASPHALT INSTALLATION, SANITARY SEWER INSTALLATION, WATER LATERAL INSTALLATION, FINAL GRADING, FINAL STABALIZATION, AND REMOVAL OF TEMPORARY CONTROL MEASURES.

ZONE DISTRICT INFORMATION

PROJECT ZONING: COMMERCIAL SERVICES (CS)

PROPERTY TAX SCHEDULE NUMBER

TAX SCHEDULE NUMBER: 5301104002

ADA NOTE

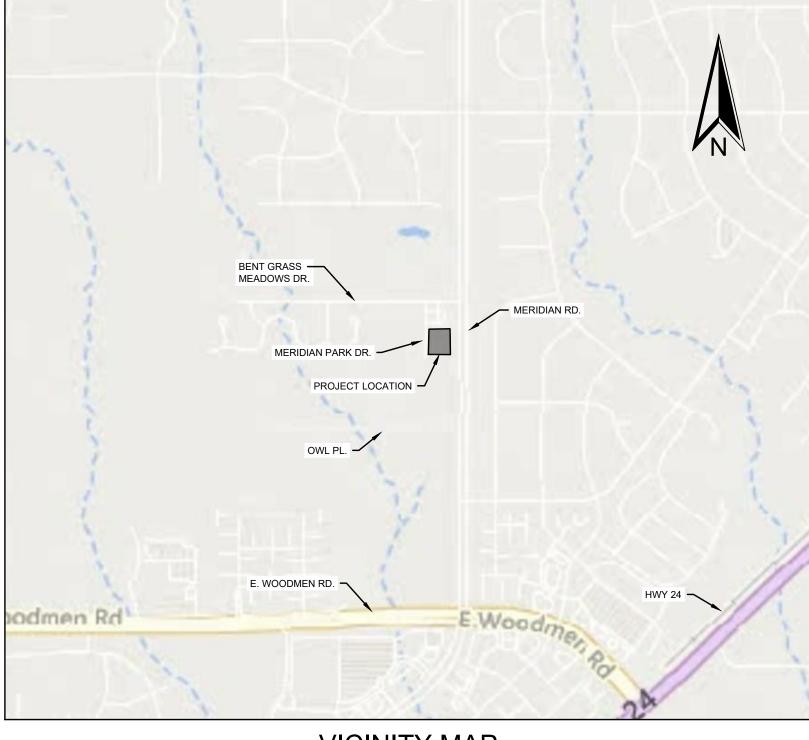
THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

ZONING COMPARISON TABLE					
TYPE	REQUIRED	PROVIDED			
USE	COMMERCIAL SERVICES (CS)	COMMERCIAL SERVICES (CS)			
LOT SIZE	63,480 SF	63,480 SF			
BUILDING SETBACK	25 FT	17 FT			
MINIMUM PARKING	20 SPACES	28 SPACES			

SITE UTILIZATION TABLE					
COVERAGE EXISTING PROPOSED					
TOTAL LOT SIZE	63,480 SF	63,480 SF			
BUILDING	0 SF	1,998 SF			
PAVEMENT	0 SF	14,625 SF			
% IMPERVIOUS	0%	26.2%			
% OPEN SPACE / LANDSCAPING	100%	73.8%			

SITE DEVELOPMENT PLAN **8035 MERIDIAN PARK DRIVE** SECTION 1, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M. TOWN OF PEYTON, COUNTY OF EL PASO, STATE OF COLORADO

DUNKIN BENT GRASS



VICINITY MAP NOT TO SCALE

PROJECT TEAM

CIVIL ENGINEER WC CIVIL, INC. 7220 W JEFFERSON AVE., STE. 204 LAKEWOOD, CO 80235 303-390-0172 ERIC_M@WCCIVIL.COM ATTN: ERIC MCKNIGHT, P.E.

LANDSCAPE ARCHITECT

STACKLOT 5639 SOUTH CURTICE ST. LITTLETON, CO 80120 303-883-2735 JUSTINHAY@STACKLOT.COM ATTN: JUSTIN HAY

ARCHITECT / APPLICANT

ETHOS ARCHITECTURE GROUP 8025 W 25TH PL. LAKEWOOD, CO 80214 303-815-0161 JOHN@ETHOS-ARCH-GROUP.COM ATTN: JOHN SPONSELLER, NCARB

PHOTOMETRIC DESIGN

RG ENGINEERING CONSULTANTS 8811 HAMPDEN AVE., STE. 208 DENVER, CO 80231 303-355-5534 SOPHIA@RGECINC.COM ATTN: SOPHIA GISIN

SHEET INDEX:

COVER SHEET
GENERAL NOTES
EXISTING CONDITIONS AN
SITE AND HORIZONTAL CO
GRADING AND DRAINAGE
PRELIMINARY UTILITY AN
SITE DETAILS
UTILITY DETAILS
FINAL LANDSCAPE PLAN

- LANDSCAPE DETAILS
- PHOTOMETRIC PLAN
- 12 ARCHITECTURAL ELEVAT 13
- ARCHITECTURAL ELEVAT

ABBREVIATIONS:

10

11

AC CS	ASPHALT CONCRETE COMMERCIAL SERVICES
DWG	DRAWING
-	EXISTING
(E) E	FAST
EG	EAST EXISTING GRADE
FH	
FL	
FG	FINISHED GRADE
FS	FINISHED SURFACE
FT	FEET
HP	HIGHT POINT
INV	INVERT
LIP	LIP OF GUTTER
ME	MATCH EXISTING
MAX	MAXIMUM
MIN	MINIMUM
(N)	NEW
Ν	NORTH
PSI	POUNDS PER SQUARE INCH
PVC	POLYVINYL CHLORIDE
RCP	REINFORCED CONCRETE PII
ROW	RIGHT OF WAY
SF	SQUARE FEET
STD	STANDARD
тс	TOP OF CURB

тс	TOP OF CUR
TYP	TYPICAL

PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR	DATE

CHANDLER, AZ 85226 303-815-0161 BHAYENGA1@GMAIL.COM ATTN: BERT HAYENGA

PROPERTY OWNER

FIRST CUP LLC

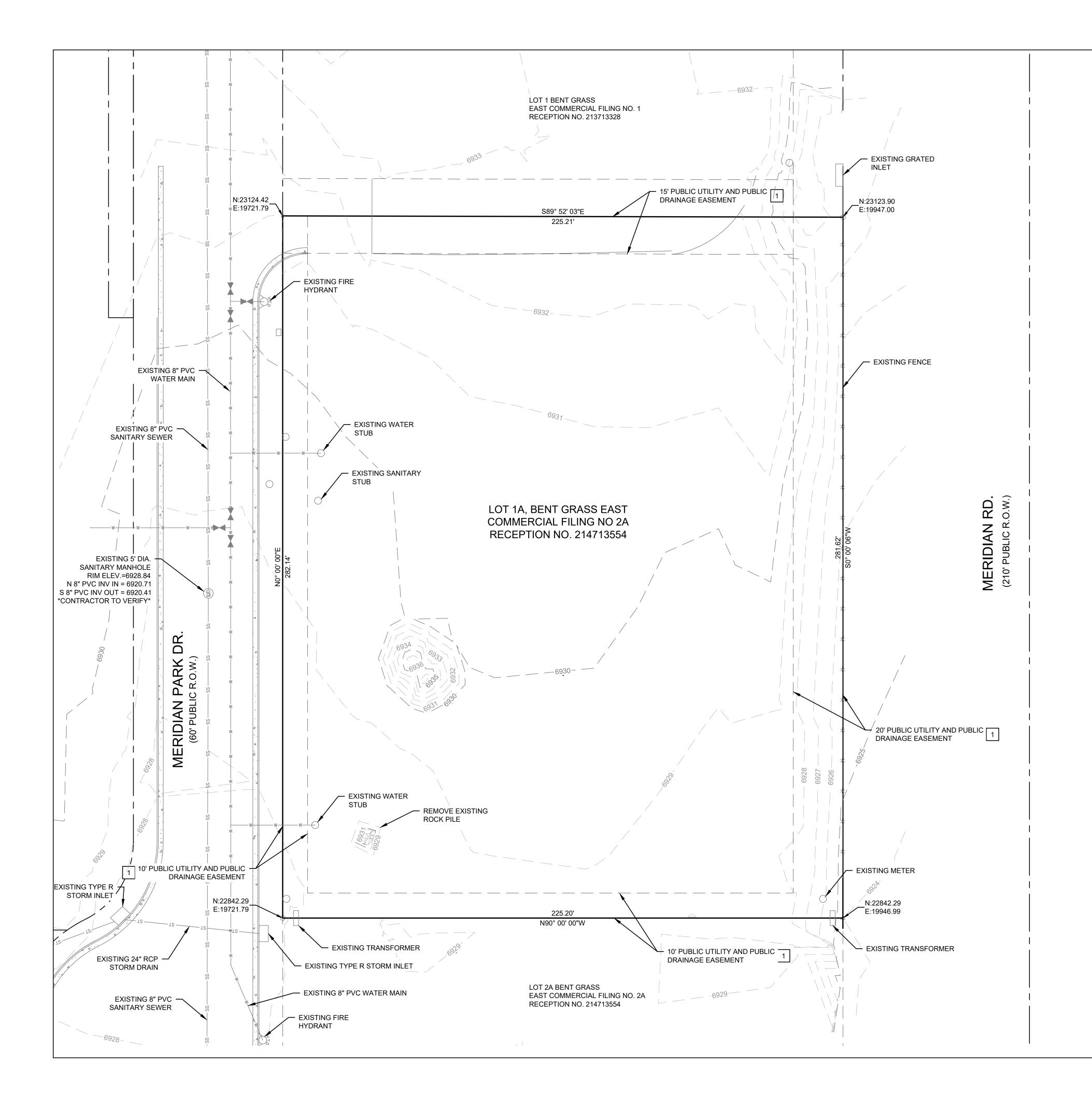
106 S. KYRENE RD.

SURVEYOR

CLASSIC CONSULTING 619 N. CASCADE AVENUE COLORADO SPRINGS, CO 80903 719-785-0790 DREINELT@CLASSICCONSULTING.NET ATTN: DOUGLAS REINELT, PLS

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GRADING AND EROSION CONTROL NOTES	24. OWNER/DEVELOPER AND THEIR AGENTS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS OF THE LAND DEVELOPMENT CODE, DCM	
1. STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT	VOLUME II AND THE ECM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (1041, NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE	C C
MINIMIZES POLLUTION OF ANY ON-SITE OR OFF-SITE WATERS, INCLUDING WETLANDS.	REQUIREMENTS AND OTHER LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, LOCAL, OR COUNTY AGENCIES, THE MOST RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.	Grading and Erosion Control Plans (standalone)
2. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND	25. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE ONLY AT APPROVED CONSTRUCTION ACCESS POINTS.	
REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.	26. PRIOR TO CONSTRUCTION THE PERMITTEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.	Design Engineer's Statement:
3. A SEPARATE STORMWATER MANAGEMENT PLAN (SMWP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND	27. A WATER SOURCE SHALL BE AVAILABLE ON-SITE DURING EARTHWORK OPERATIONS AND SHALL BE UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.	This grading and erosion control plan was prepared under my direction and supervision and is correct to the best of my knowledge and belief. Said plan has been prepared
STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. MANAGEMENT OF THE SWMP DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE DESIGNATED QUALIFIED STORMWATER MANAGER OR CERTIFIED EROSION	28. THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY ENTECH ENGINEERING, INC., DATED SEPTEMBER 23, 2022 AND SHALL BE CONSIDERED A PART OF THESE PLANS.	according to the criteria established by the County for grading and erosion control plans. I accept responsibility for any liability caused by any negligent acts, errors or omissions
CONTROL INSPECTOR. THE SWMP SHALL BE LOCATED ON-SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.	29. AT LEAST TEN (10) DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB ONE (1) ACRE	on my part in preparing this plan.
4. ONCE THE ESQCP IS APPROVED AND A "NOTICE TO PROCEED" HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE APPROVED GEC. A PRECONSTRUCTION MEETING	OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER	[Name, P.E. #] Date
BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY STAFF.	CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:	
5. CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ACTIVITIES THAT COULD CONTRIBUTE POLLUTANTS TO	COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT WATER QUALITY CONTROL DIVISION	Owner/Developer's Statement:
STORMWATER. CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, AND DISTURBED LAND AREAS SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF THE DISTURBANCE.	WATER GOALTH CONTROL DIVISION WQCD – PERMITS 4300 CHERRY CREEK DRIVE SOUTH	I, the owner/developer have read and will comply with the requirements of the grading
6. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATING CONDITION UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND FINAL STABILIZATION IS ESTABLISHED.	DENVER, CO 80246-1530 ATTN: PERMITS UNIT	and erosion control plan.
ALL PERSONS ENGAGED IN LAND DISTURBANCE ACTIVITIES SHALL ASSESS THE ADEQUACY OF CONTROL MEASURES AT THE SITE AND IDENTIFY IF CHANGES TO THOSE CONTROL MEASURES ARE NEEDED TO ENSURE THE CONTINUED EFFECTIVE PERFORMANCE	Kunninninninninninninninninninninninninni	[Name, Title] Date
OF THE CONTROL MEASURES. ALL CHANGES TO TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES MUST BE INCORPORATED INTO THE STORMWATER MANAGEMENT PLAN.	ENGINEER'S STATEMENT	[Business Name] [Address]
7. TEMPORARY STABILIZATION SHALL BE IMPLEMENTED ON DISTURBED AREAS AND STOCKPILES WHERE GROUND DISTURBING	THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR	El Paso County:
 CONSTRUCTION ACTIVITY HAS PERMANENTLY CEASED OR TEMPORARILY CEASED FOR LONGER THAN 14 DAYS. 8. FINAL STABILIZATION MUST BE IMPLEMENTED AT ALL APPLICABLE CONSTRUCTION SITES. FINAL STABILIZATION IS ACHIEVED WHEN 	DETAILED ROADWAY, DRAINAGE, GRADING AND BROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR	County plan review is provided only for general conformance with County Design
ALL GROUND DISTURBING ACTIVITIES ARE COMPLETE AND ALL DISTURBED AREAS EITHER HAVE A UNIFORM VEGETATIVE OVER	ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON	Criteria. The County is not responsible for the accuracy and adequacy of the design, dimensions, and/ or elevations which shall be confirmed at the job site. The County
ALTERNATIVE STABILIZATION METHOD IS IMPLEMENTED. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED UPON FINAL STABILIZATION AND BEFORE PERMIT CLOSURE.	MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATION	through the approval of this document assumes no responsibility for completeness and/ or
9. ALL PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AS DESIGNED IN THE APPROVED PLANS. ANY PROPOSED CHANGES THAT EFFECT THE DESIGN OR FUNCTION OF PERMANENT STORMWATER MANAGEMENT STRUCTURES MUST	ENGINEER OF RECORD SIGNATURE DATE	accuracy of this document.
BE APPROVED BY THE ECM ADMINISTRATOR PRIOR TO IMPLEMENTATION.	OWNER'S STATEMENT	Filed in accordance with the requirements of the El Paso County Land Development Code, Drainage Criteria Manual, Volumes 1 and 2, and Engineering Criteria Manual as
10. EARTH DISTURBANCES SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY MINIMIZE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE	I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION Removed and CONTROL PLAN AND ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS. Added to GEC	amended.
EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME. PRE-EXISTING VEGETATION SHALL BE PROTECTED AND MAINTAINED WITHIN 50 HORIZONTAL FEET OF A WATERS OF THE STATE UNLESS SHOWN	OWNER SIGNATURE DATE Image: constraint of the second seco	In accordance with ECM Section 1.12, these construction documents will be valid for construction for a period of 2 years from the date signed by the El Paso County
TO BE INFEASIBLE AND SPECIFICALLY REQUESTED AND APPROVED.	EL PASO COUNTY:	Engineer. If construction has not started within those 2 years, the plans will need to be resubmitted for approval, including payment of review fees at the Planning and
STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER. AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES SHALL ALSO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED. IF COMPACTION	COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE GEC plan sheets	Community Development Directors discretion.
PREVENTION IS NOT FEASIBLE DUE TO SITE CONSTRAINTS, ALL AREAS DESIGNATED FOR INFILTRATION AND VEGETATION CONTROL MEASURES MUST BE LOOSENED PRIOR TO INSTALLATION OF THE CONTROL MEASURE(S).	COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/ OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/ OR ACCURACY OF THIS DOCUMENT.	County Engineer / ECM Administrator Date
12. ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE A STABILIZED CONVEYANCE DESIGNED TO MINIMIZE EROSION AND	FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL, AS AMENDED.	
THE DISCHARGE OF SEDIMENT OFF-SITE.	IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF	
13. CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE 13. CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE 13. CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE 13. CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE 13. DISCHARGED TO OR ALLOWED TO ENTER STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM	REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR'S DISCRETION.	Removed and added to GEC
OR FACILITIES. CONCRETE WASHOUTS SHALL NOT BE LOCATED IN AN AREA WHERE SHALLOW GROUNDWATER MAY BE PRESENT, OR WITHIN 50 FEET OF A SURFACE WATER BODY, CREEK OR STREAM.	JOSHUA PALMER, P.E. DATE DATE	plan sheets.
14. DURING DEWATERING OPERATIONS, UNCONTAMINATED GROUNDWATER MAY BE DISCHARGED ON-SITE, BUT SHALL NOT LEAVE THE SITE IN THE FORM OF SURFACE RUNOFF UNLESS AN APPROVED STATE DEWATERING PERMIT IS IN PLACE.	ENGINEER OF RECORD:	
15. EROSION CONTROL BLANKETING OR OTHER PROTECTIVE COVERING SHALL BE USED ON SLOPES STEEPER THAN 3:1.		breakout the site dev
16. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING		eets and GEC plan
MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.		see attached std re blocks for GEC plan.
17. WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN A ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. CONTROL MEASURES MAY BE REQUIRED BY EL PASO COUNTY A	REVIEW ENGINEER:	40. 2k
ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.		B N N
CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.	THE GRADING AND EROSION CONTROL PLAN WAS REVIEWED AND FOUND TO MEET THE Remove not needed CHECKLIST REQUIREMENTS EXCEPT WHERE OTHERWISE NOTED OR ALLOWED BY AN CONTROL DEVIATION REQUEST.	
19. THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, SOIL, AND SAND THAT MAY ACCUMULATE IN ROADS, STORM DRAINS AND OTHER DRAINAGE CONVEYANCE SYSTEMS	REVIEW ENGINEER DATE	ERCI
AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.	(and the second	
REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.		
21. NO CHEMICAL(S) HAVING THE POTENTIAL TO BE RELEASED IN STORMWATER ARE TO BE STORED OR USED ON-SITE UNLESS		AL N NT PL SSS EL
PERMISSION FOR THE USE OF SUCH CHEMICAL(S) IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR. IN GRANTING APPROVAL FOR THE USE OF SUCH CHEMICAL(S), SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.	Removed and added to GEC	I GRA
22. BULK STORAGE OF ALLOWED PETROLEUM PRODUCTS OR OTHER ALLOWED LIQUID CHEMICALS IN EXCESS OF 55 GALLONS SHALL REQUIRE ADEQUATE SECONDARY CONTAINMENT PROTECTION TO CONTAIN ALL SPILLS ON-SITE AND TO PREVENT ANY SPILLED	plan sheets.	
MATERIALS FROM ENTERING STATE WATERS, ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR OTHER FACILITIES.	Remove for GEC	CATE A
23. NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE CURB AND GUTTER OR DITCH EXCEPT WITH APPROVED SEDIMENT CONTROL MEASURES.	Plan sheet set only	WC Civil Team: Date:
amana		TS, LP 2022/09/2 Engineering No.: Scale: AS NOTE
		PCD FILE NO.: PPR-22-027 2



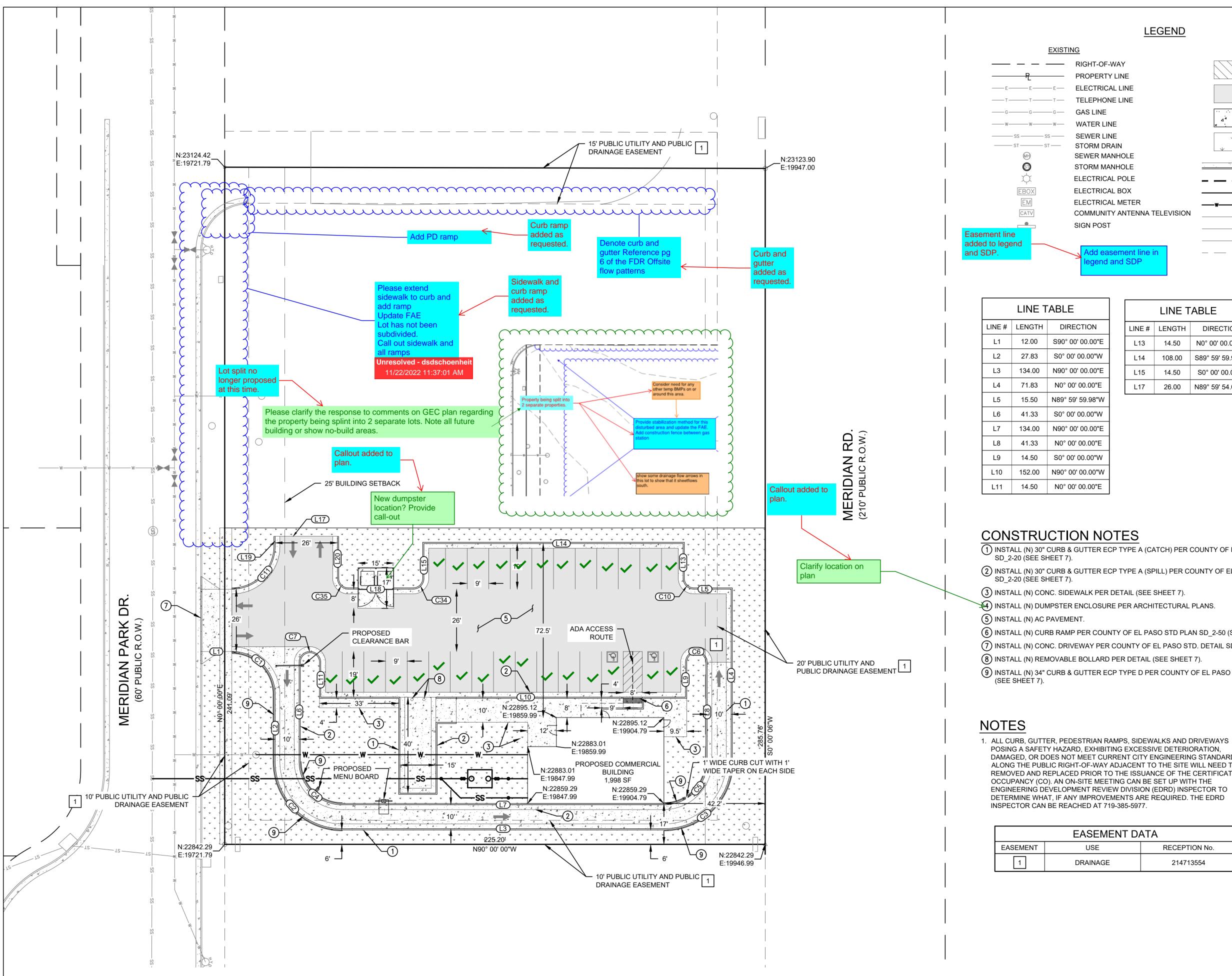
LEGEND EXISTING — — — RIGHT-OF-WAY ----- PROPERTY LINE ELECTRICAL LINE TELEPHONE LINE General General Gas Line ------ss--------seWER LINE ------ ST------ STORM DRAIN MH SEWER MANHOLE 6 STORM MANHOLE $\dot{\mathbf{x}}$ ELECTRICAL POLE EBOX ELECTRICAL BOX EM ELECTRICAL METER CATV COMMUNITY ANTENNA TELEVISION SIGN POST

NOTES

- 1. TOPOGRAPHIC SURVEY PERFORMED BY CLASSIC CONSULTING ON DECEMBER 10, 2021
- 2. OPEN TRENCH SHORING, DEWATERING, & TRAFFIC CONTROL SHALL BE PROVIDED BY CONTRACTOR.
- 3. SERVICE OUTAGES SHALL BE COORDINATED WITH AND APPROVED BY THE COUNTY OF EL PASO IF REQUIRED PRIOR TO START OF WORK.
- 4. ALL EXISTING UTILITIES SHALL BE PROTECTED IN PLACE UNLESS OTHERWISE NOTED. 5. CONTRACTOR TO POT-HOLE AND FIELD VERIFY LOCATION AND DEPTH OF
- EXISTING UTILITIES IN AREAS OF WORK PRIOR TO DEMOLITION AND CONSTRUCTION. 6. DEMOLITION, REMOVAL, OR RELOCATION OF EXISTING UTILITIES SHALL BE
- COORDINATED WITH THE UTILITY PROVIDER PRIOR TO THE START OF CONSTRUCTION.
- 7. FOR ALL DEMOLITION OF EXISTING CONCRETE, SAWCUT EXISTING CONCRETE AT NEAREST JOINT.

EASEMENT DATA				
EASEMENT USE RECEPTION No.				
1	DRAINAGE	214713554		

	ING							
E PRO E ELEC G GAS G GAS W WAT SS SEW STOF SEW STOF ELEC	HT-OF-WAY PERTY LINE CTRICAL LINE EPHONE LINE LINE ER LINE RM DRAIN ER MANHOLE RM MANHOLE CTRICAL POLE	Client:	CD RENT GRASS II C		106 S. KYRENE RD.	CHANDLER, AZ 85226	PHONE:	ALIN: B. HAYENGA
COM	TRICAL METER MUNITY ANTENNA TELEVISION POST	DATE	03/18/22	09/30/22				
/ATERING, & TRA COORDINATED V IRED PRIOR TO S BE PROTECTED ND FIELD VERIF OF WORK PRIOR ELOCATION OF E ITY PROVIDER P	SIC CONSULTING ON DECEMBER FFIC CONTROL SHALL BE WITH AND APPROVED BY THE START OF WORK. IN PLACE UNLESS OTHERWISE Y LOCATION AND DEPTH OF TO DEMOLITION AND EXISTING UTILITIES SHALL BE RIOR TO THE START OF S, SAWCUT EXISTING CONCRETE	NO. DESCRIPTION	- INITIAL SUBMITTAL	1 REVISED PER COUNTY COMMENTS				
SEMENT DA	ATA RECEPTION No. 214713554		W.C. CIVIL	7220 W. JEFFERSON AVE	STE. 204	LAKEWOOD, CO 80235	PHONE: (303) 390-0172	
PCD FIL	0' 20' 40' CCALE: 1"=20' CCALE: 1"=20'	Engi		LP ng No	5.: S	ate: <i>2022</i> cale:		/21



<u>LEGEND</u> PROPOSED PARKING / WALKWAY STRIPING AC PAVEMENT SIDEWALK \vee \vee LANDSCAPING \vee \vee CURB AND GUTTER ADA ACCESSIBLE PATHWAY SEWER LATERAL WATER LATERAL COMMUNITY ANTENNA TELEVISION GAS SERVICE LATERAL ELECTRICAL SERVICE LATERAL COMMUNICATIONS SERVICE LATERAL ld easement line ir BUILDING SETBACK _____

1		
	LINE T	ABLE

LINE #	LENGTH	DIRECTION
L13	14.50	N0° 00' 00.06"W
L14	108.00	S89° 59' 59.94"W
L15	14.50	S0° 00' 00.06"E
L17	26.00	N89° 59' 54.09"W

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA		
C1	28.78	18.01	91.55		
C2	43.98	28.00	90.00		
C3	43.98	28.00	90.00		
C4	28.27	18.00	90.00		
C5	28.27	18.00	90.00		
C6	14.14	4.50	180.00		
C7	14.14	4.50	180.00		

(1) INSTALL (N) 30" CURB & GUTTER ECP TYPE A (CATCH) PER COUNTY OF EL PASO STD PLAN

(2) INSTALL (N) 30" CURB & GUTTER ECP TYPE A (SPILL) PER COUNTY OF EL PASO STD PLAN

(6) INSTALL (N) CURB RAMP PER COUNTY OF EL PASO STD PLAN SD_2-50 (SEE SHEET 7). (7) INSTALL (N) CONC. DRIVEWAY PER COUNTY OF EL PASO STD. DETAIL SD_2-25 (SEE SHEET 7).

(9) INSTALL (N) 34" CURB & GUTTER ECP TYPE D PER COUNTY OF EL PASO STD PLAN SD_2-20

PARKING NOTES

DAMAGED, OR DOES NOT MEET CURRENT CITY ENGINEERING STANDARDS ALONG THE PUBLIC RIGHT-OF-WAY ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF

IENT DATA										
	RECEPTION No.									
Ε	214713554									

PER COUNTY OF EL PASO LAND DEVELOPMENT CODE TABLE 6-2

USE TYPE: FAST FOOD, FAMILY, HIGH TURNOVER BUILDING AREA: 1,998 SF TOTAL PARKING STALLS REQUIRED: 20

TOTAL PARKING STALLS PROVIDED: 28

OF PARKING STALLS X



106 S. KYRENE F CHANDLER, AZ 8 PHONE: ATTN: B. HAYEN BENT CD SCRIPTION FIAL SUBMIT □ Ξ 2 Ш W.C. CIVIL 7220 W. JEFFERSON AV STE. 204 LAKEWOOD, CO 80235 PHONE: (303) 390-0172 AV 63

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GRASS

RD 85.



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TS, LP

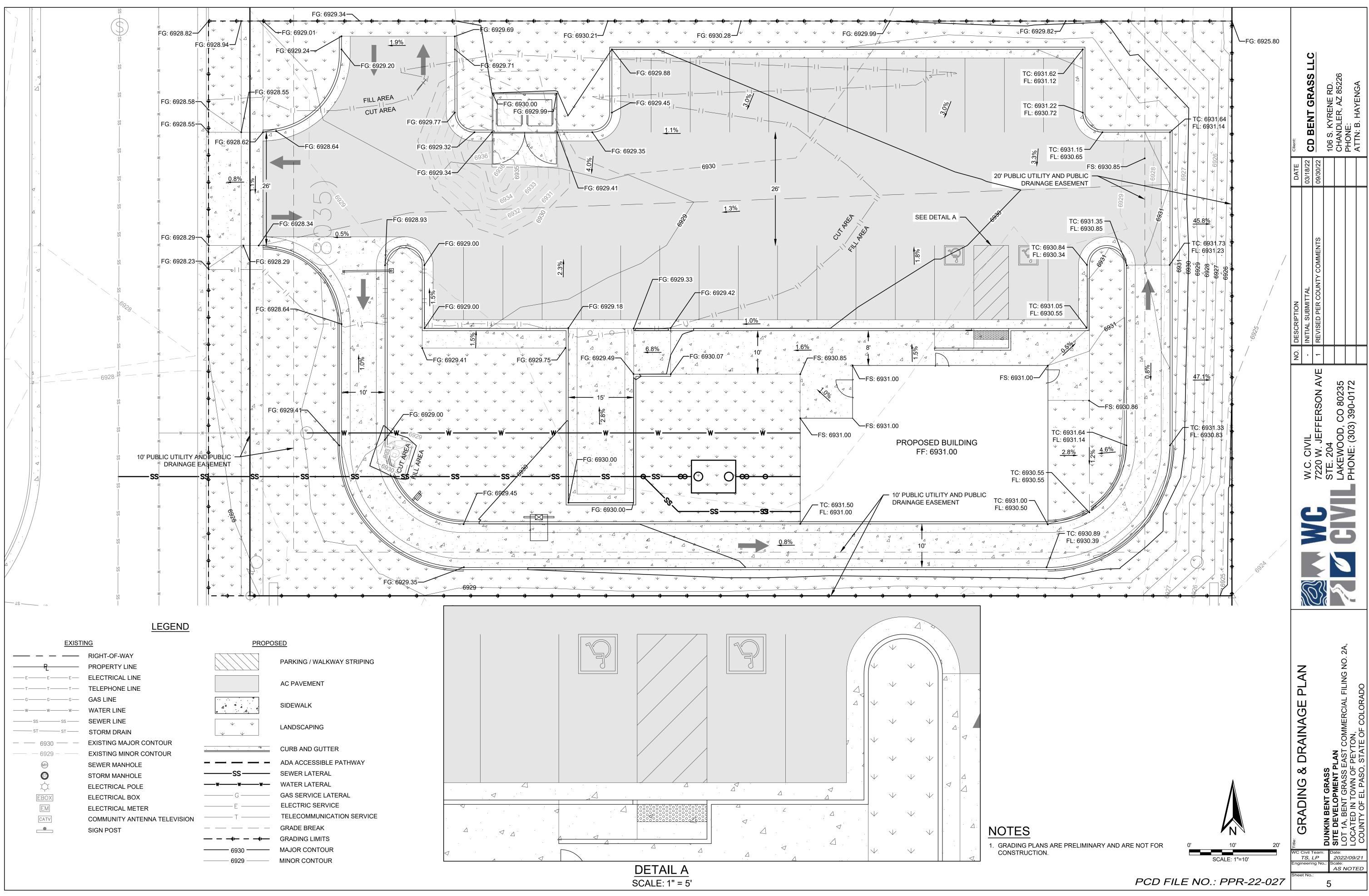
4

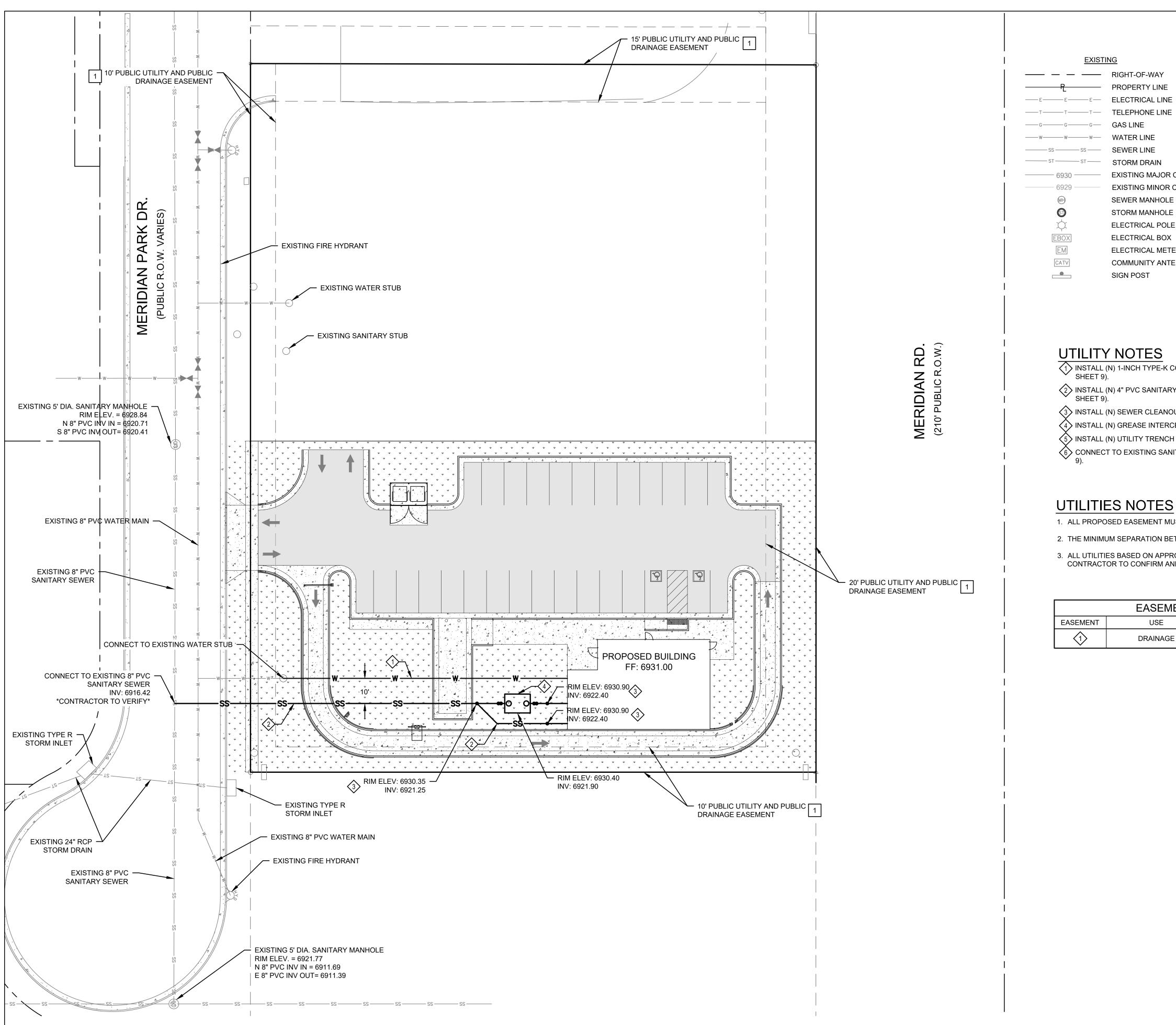
2022/09/2

AS NOTED

SCALE: 1"=20'

PCD FILE NO.: PPR-22-027





LEGEN	<u>D</u>							
	PROPOS	SED		C	N			
/AY LINE		PARKING / WALKWAY STRIPING				1		9
LINE		AC PAVEMENT			GRASS		E RD.	Z 8522
E		SIDEWALK			BENT G		106 S. KYRENE	CHANDLER, AZ
E JIN	$ \begin{array}{c c} & \psi & & \psi \\ & & \psi & & \\ \hline & \psi & & \psi & \end{array} $	LANDSCAPING		Client:			6 S. K	HANDI
AJOR CONTOUR		CURB AND GUTTER		Clie	CD)	9	ΰi
INOR CONTOUR IHOLE		ADA ACCESSIBLE PATHWAY		Ш	3/22)/22		
IHOLE	SS	SEWER LATERAL		DATE	03/18/22	09/30/22		
POLE	www	WATER LATERAL						
BOX	G	GAS SERVICE LATERAL						
METER	——————————————————————————————————————	ELECTRIC SERVICE						
ANTENNA TELEVISION	T	TELECOMMUNICATION SERVICE						
		GRADE BREAK				S		
		GRADING LIMITS				Ľ		
	6930	MAJOR CONTOUR				AIME		
	6929	MINOR CONTOUR				UTY COMMENTS		

1 INSTALL (N) 1-INCH TYPE-K COPPER WATER SERVICE PER COLORADO SPRINGS UTILITY STD B1-1 (SEE SHEET 9).

INSTALL (N) 4" PVC SANITARY SEWER SERVICE PER COUNTY OF EL PASO STD DETAIL SD_4-20 (SEE SHEET 9).

(3) INSTALL (N) SEWER CLEANOUT PER COLORADO SPRINGS UTILITY STD D1-10 (SEE SHEET 9). (4) INSTALL (N) GREASE INTERCEPTOR PER COLORADO SPRINGS UTILITIES STD C4-2 (SEE SHEET 9). (5) INSTALL (N) UTILITY TRENCH PER COUNTY OF EL PASO STD DETAIL SD_4-20 (SEE SHEET 9). CONNECT TO EXISTING SANITARY MAIN PER COLORADO SPRING UTILITIES STD DETAIL D1-9 (SEE SHEET 9).

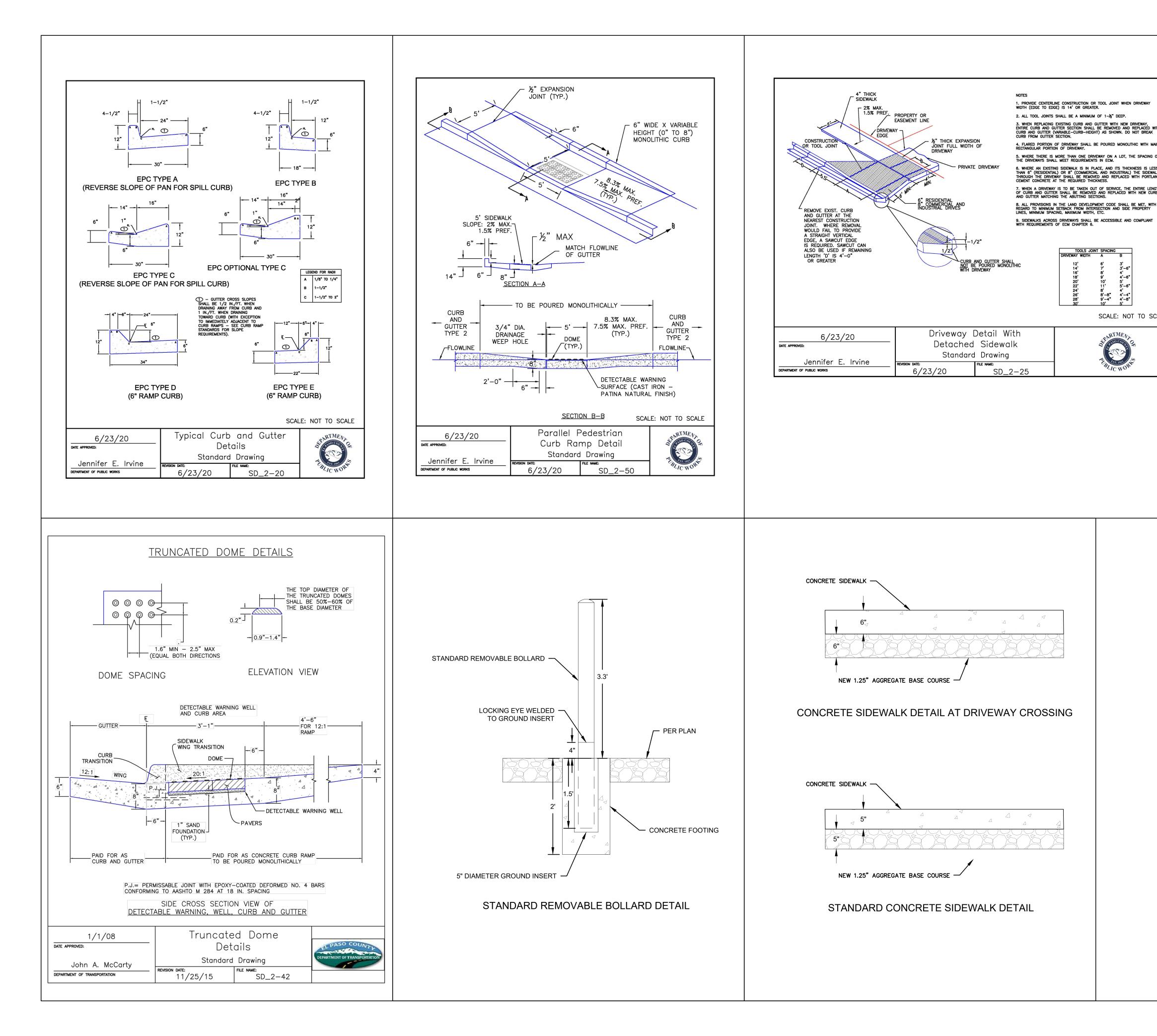
1. ALL PROPOSED EASEMENT MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.

2. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.

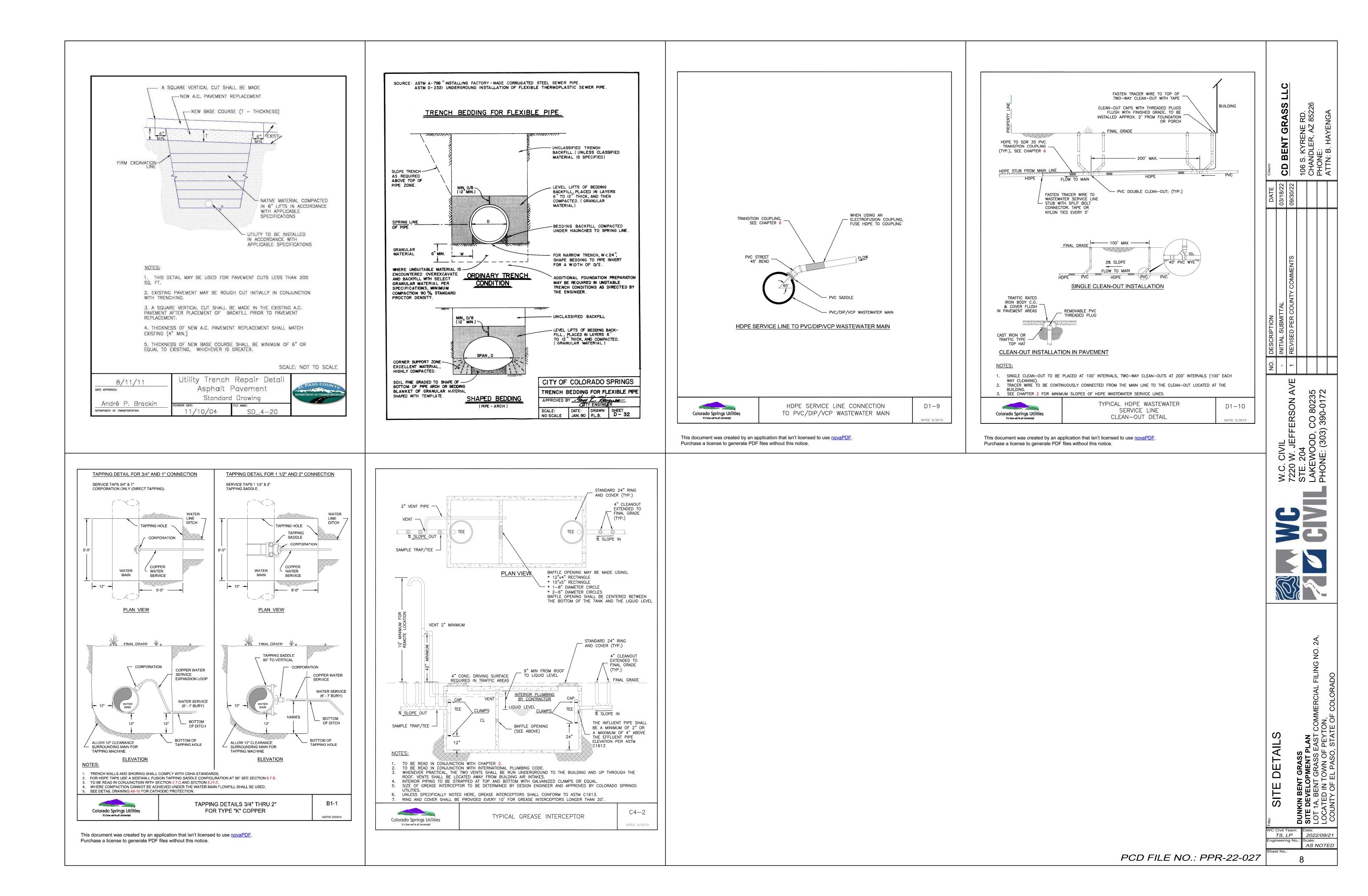
3. ALL UTILITIES BASED ON APPROVED PLANS FOR BENT GRASS EAST COMMERCIAL DEVELOPMENTS. CONTRACTOR TO CONFIRM AND VERIFY ALL ELEVATIONS PRIOR TO CONSTRUCTION.

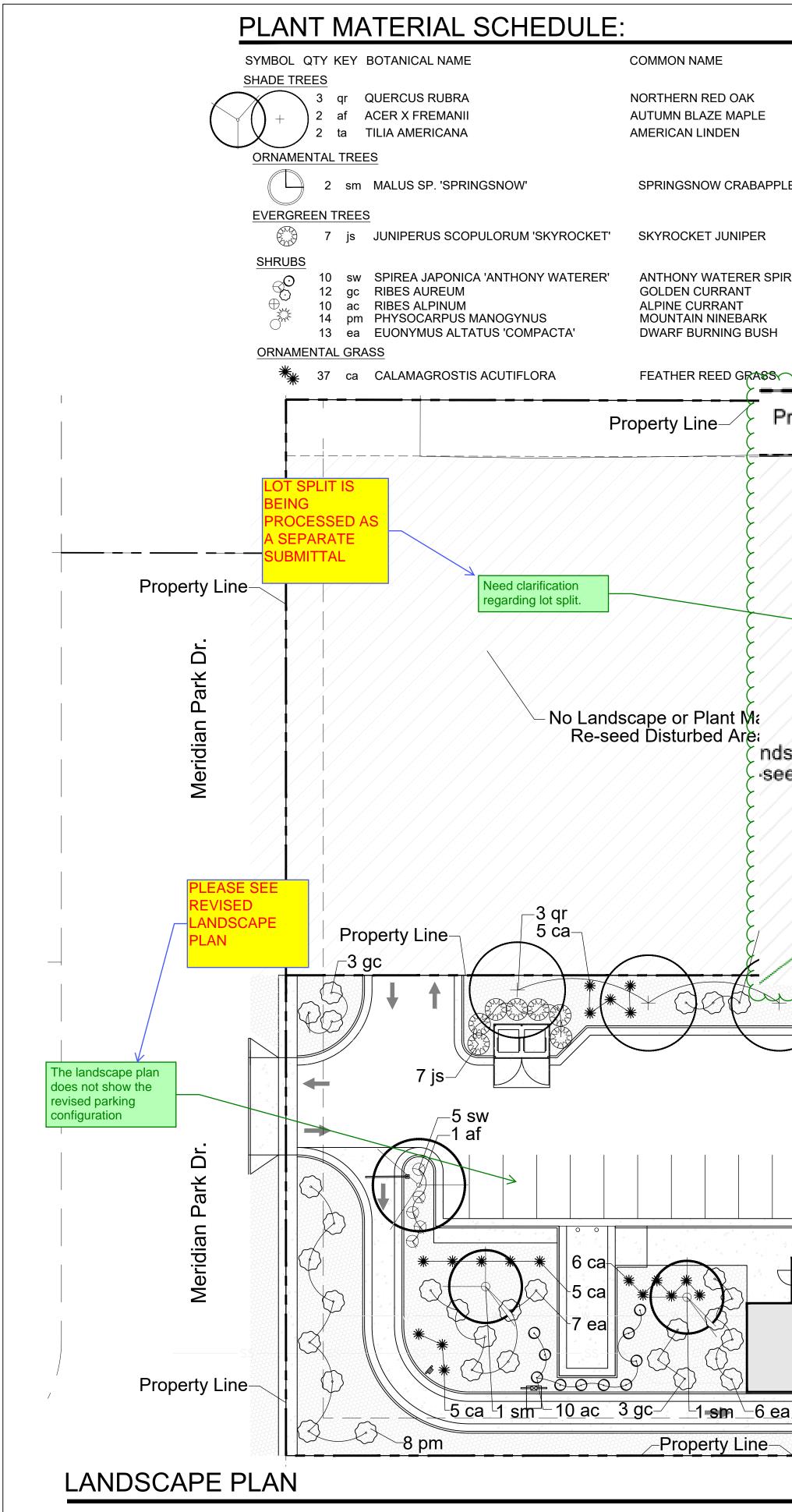
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	PARKING / WALKWAY STRIPING			2		26		
	AC PAVEMENT		RAS 2		E RD.	Z 85226		19N1
۲ ۹	SIDEWALK		CD RENT GRASS 11 C		KYREN	CHANDLER, AZ 852		ALIN: B. HAYENGA
V	LANDSCAPING	Client:	2	נ	06 S. I	HAND		 N
4	CURB AND GUTTER		-	-	5	ວ 		٢
	ADA ACCESSIBLE PATHWAY SEWER LATERAL	DATE	03/18/22	09/30/22				
 W	WATER LATERAL GAS SERVICE LATERAL		0	0				
	ELECTRIC SERVICE TELECOMMUNICATION SERVICE							
	GRADE BREAK			လု				
	GRADING LIMITS MAJOR CONTOUR			MENT				
	MINOR CONTOUR			COM				
			AL	OUNTY COMMENTS				
		NC		Ũ				
RADO SP	RINGS UTILITY STD B1-1 (SEE	DESCRIPTION	L SUBMIT	REVISED PER				
EL PASO	STD DETAIL SD_4-20 (SEE	DESC	INITIAL	REVIS				L
	-10 (SEE SHEET 9).	NO.	I	-				
	STD C4-2 (SEE SHEET 9). -20 (SEE SHEET 9).			ЧE	STE. 204			
UTILITIE	S STD DETAIL D1-9 (SEE SHEET			⊿ NC		0235	0172	
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ICE OF C EET.	ONSTRUCTION PERMITS.		С О	N O	1.20	KEV	UNE	
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			5		UNKIN BENT GRASS	TIE DEVELOPMENT PLAN Det 1a bent grass fast commerciai filing no 2a	CATE	COUNTY OF EL PASO, STATE OF COLORADO
	0' 20' 40'	Title:	Civil ⁻		ס			ŭ
	SCALE: 1"=20'		<i>TS,</i> neeri	LP	5.: So	2 <i>022</i> ale: 4 <i>S</i> N		
PCL	D FILE NO.: PPR-22-027	Shee	et No.	.:	6			



WTH K MIN G OF LESS WALK T T	DATE Client:	03/18/22 CD BENT GRASS LLC	09/30/22	106 S. KYRENE RD.		ATTN: B. HAYENGA	
	NO	- INITIAL SUBMITTAL					
PCD FILE NO.: PPR-22-027					IDDIE: ICT 1A, BENT GRASS EAST COMMERCIAL FILING NO. 2A,	D IZ 60 LOCATED IN TOWN OF PEYTON, COUNTY OF EL PASO. STATE OF COLORADO	





	MATURE WIDTH	PLANTING SIZE	NOTES
	40'-60' 25'-30' 25'-30'	2" CAL. 2" CAL. 2" CAL.	B & B B & B B & B
LE	15'-20'	2" CAL.	B & B
	15'-20'	6' HT.	B & B
REA	3'-4' 3'-3-6" 3'-3-6" 3'-5' 4'-5'	5 GAL. 5 GAL. 5 GAL. 5 GAL. 5 GAL.	CONT. CONT. CONT. CONT. CONT.

FEATHER REED GRASS Property Line-Which is the northern property line? Assume it is this one? Existing lot being split into 2 separate lots. Added to proposed site plan. UNRESOLVED. PROVIDE **APPLICATION OR** STATUS OF PROPERTY SPLIT ndscape or Plant Materialseed Disturbed Areas ---- Property line added to site plan. Property line is not consistent with the site plan. mm 5 sw-1 af Road ** eridia \geq PROPOSED 6 pm-BUILDING 11 ca-

NORTH

SCALE 1" = 20' - 0

GENERAL PLANTING NOTES:

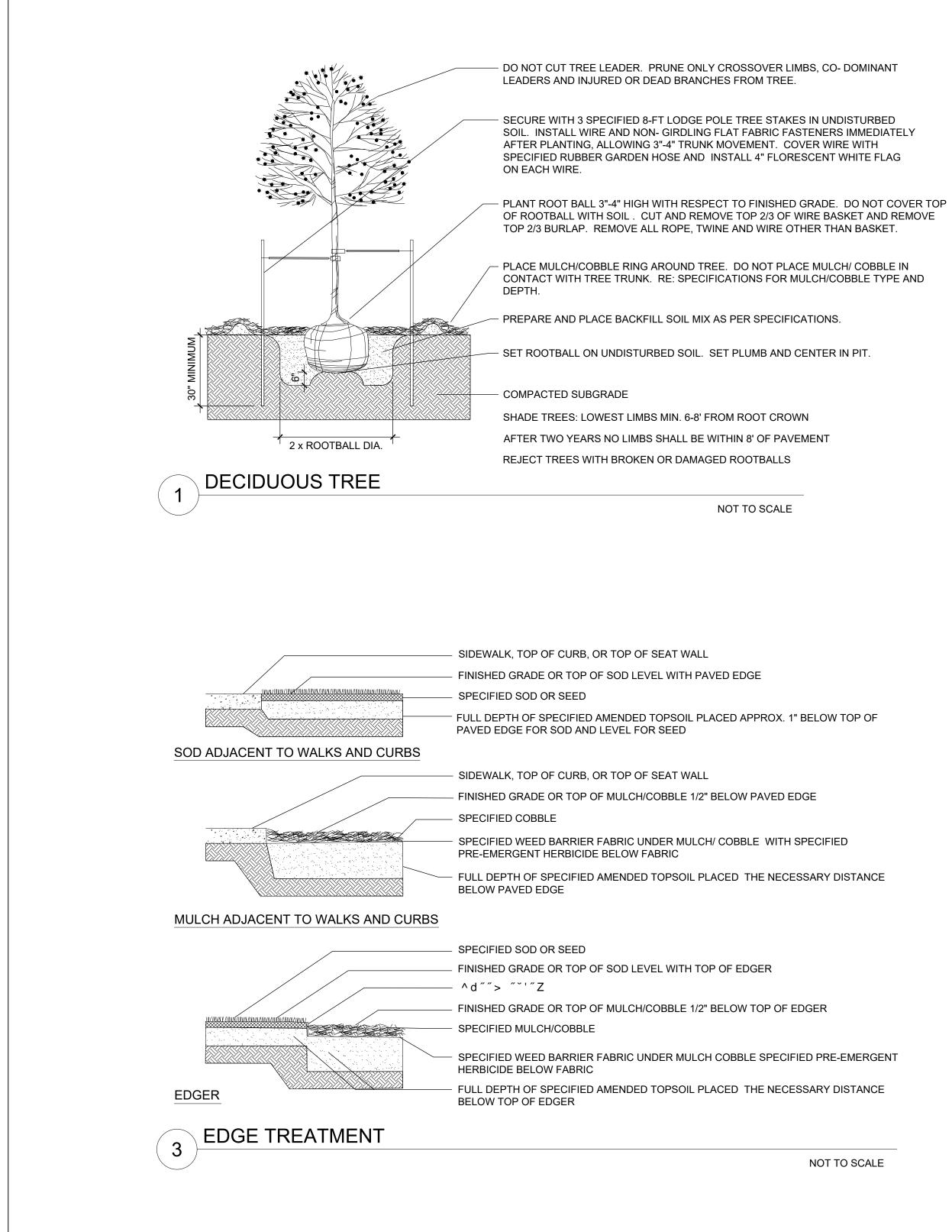
- PRIOR TO BEGINNING ANY WORK ON THE SITE THE LANDS OFFICE OF THE GENERAL CONTRACTOR AND LANDSCAPE RELEVANT TO THE SEQUENCING OF WORK.
- 2. LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, M FURNISH AND INSTALL PLANTINGS AND MATERIALS AS SP PLANS.
- 3. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT T IN WRITING. ALTERNATE MATERIALS OF SIMILAR SIZE AND SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED.
- 4. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REVIS NECESSARY.
- 5. ALL PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS N
- 6. QUANTITIES OF MATERIALS SHOWN ON THE PLANTING PLA SHOWN ON THE PLANT MATERIAL SCHEDULE. THE LANDS RESPONSIBLE FOR VERIFY ALL QUANTITIES ON THE PLANT
- 7. LANDSCAPE CONTRACTOR SHALL LOCATE ALL UTILITIES E VERIFY EXACT LOCATION OF ALL UTILITIES BY CONTACTIN LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE REP CAUSED TO UTILITIES.
- 8. FINISH GRADE SHALL BE ADJUSTED FOR TURF THICKNESS
- 9. ALL PLANT MATERIALS SHALL HAVE BACKFILL, CAREFULLY BALL TO TWO-THIRDS (⅔) DEPTH OF BALL THEN THOROUGH SETTLEMENT. ALL WIRE, BURLAP FASTENERS, TOP ONE-SHALL BE REMOVED AT THIS TIME THE REMAINDER OF HE ALLOWING FOR THE DEPTH OF THE MULCH SAUCER AND S SHALL THEN BE THOROUGHLY WATERED ONCE AGAIN.
- 10. AFTER PLANTING IS COMPLETED REPAIR INJURIES TO ALL OF PRUNING TO A MINIMUM NECESSARY TO REMOVE DEA PRUNE IN SUCH A MANNER AS NOT TO CHANGE THE NATU PLANT. MAKE ALL CUTS FLUSH, LEAVING NO STUBS. CEN IF THE CENTRAL LEADER OF A PLANT IS DEAD THE PLANT
- 11. PLANT SPECIFIED GROUND COVERS WITHIN ONE FOOT OF PLANTED WITHIN THE AREA. PLANTING ARRANGEMENTS S SPACING BETWEEN PLANTS.
- 12. COMMERCIAL GRADE ³/₁₆ INCH BY 4" POWDER COATED STEE ALL TURF AREAS FROM PLANTING BEDS. PLACE EDGING F GROUND PER MANUFACTURES RECOMMENDATIONS.
- 13. LANDSCAPE CONTRACTOR TO PROVIDE THE LANDSCAPE O STEEL EDGING FOR REVIEW AND APPROVAL PRIOR TO INS
- 14. USE SHREDDED CEDAR MULCH IN ALL PLANTING BEDS AND CONTRACTOR SHALL PROVIDE A 1 CUBIC FOOT SAMPLE O ARCHITECT FOR REVIEW AND APPROVAL.
- 15. PLACE FOUR INCHES OF MULCH IN ALL SHRUB BEDS, PLACE GROUND COVER, PERENNIAL BEDS AND PLACE 4 INCHES (
- 16. PLANTING BEDS RECEIVING MULCH MULCH ARE TO BE FRE WITH A PRE-EMMERGENT HERBICIDE PRIOR TO PLANTING APPLY HERBICIDE IN PERENNIAL OR ANNUAL BEDS.
- 17. LANDSCAPE CONTRACTOR TO REMOVE TREE STAKES AND SHRUBS ONE YEAR AFTER SUBSTANTIAL COMPLETION IS (
- 18. REPORT ANY DISCREPANCIES IN THE PLANTING PLAN TO T STARTING CONSTRUCTION.
- 19. ALL LANDSCAPE AREAS SHALL BE IRRIGATED BY AN UNDE SYSTEM. WITH SEPARATE ZONES FOR TURF AND SHRUBS
- 20. IF TRANSFORMERS, GROUND MOUNTED HVAC EQUIPMENT ON THE SITE IMPROVEMENT PLAN, ADDITIONAL LANDSCAF FIELD CONDITIONS DISCOVERED VIA THE SITE INSPECTION CERTIFICATE OF OCCUPANCY, OR FINAL INSPECTION AS A

AN IRRIGATION PLAN SHALL BE SUBMITTED AND REVIEWED CONCURRENT SUBMITTAL AND APPROVED PRIOR TO ISSUANCE OF A BUILDING PERMIT CONSTRUCTION.

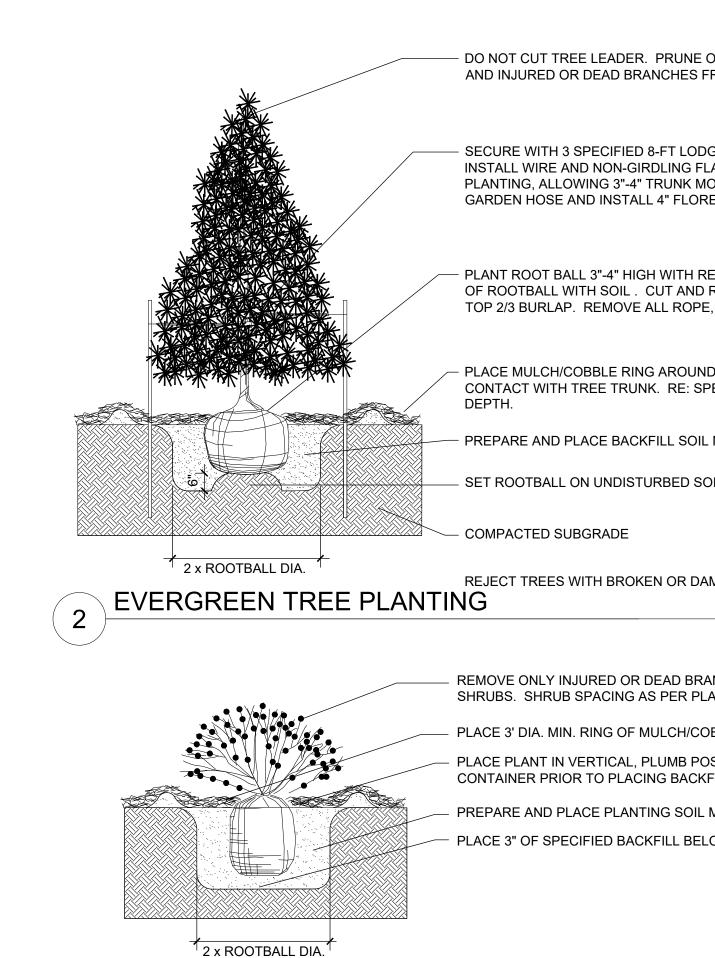
Show all landscaping setbacks on plan



SCAPE CONTRACTOR SHALL CONTACT THE E ARCHITECT FOR SPECIFIC INSTRUCTIONS		GRASS LLC		К U . 85236	0440	GA
MATERIALS AND SERVICE NECESSARY TO PECIFIED HEREIN AND AS SHOWN ON		BENT GR				B. HAYENGA
THE LANDSCAPE ARCHITECTS APPROVAL	Client:	CD		TU6 S. KYKE CHANDIER	PHONE:	ATTN:
SE PLANT MATERIAL LIST AS DEEMED	DATE	03/22/22	09/30/22			
NECESSARY TO AVOID CONFLICTS.						
LAN TAKE PRECEDENCE OVER QUANTITIES DSCAPE CONTRACTOR SHALL BE NTING PLAN(S).			ITS			
BEFORE COMMENCEMENT OF WORK. ING APPROPRIATE UTILITY COMPANIES. PAIR / REPLACEMENT FOR ANY DAMAGE			COUNTY COMMENTS			
SS.	TION	-IBMI	PER			
LY PLACED AROUND BASE AND IDES OF GHLY SOAKED WITH WATER TO ALLOW E-THIRD () OF BURLAP AND LOOSE BURLAP	DESCRIPTION	INITIAL SI	REVISED			
E PIT SHALL THEN BE BACKFILLED, DISETTLEMENT OF BACKFILL. BACKFILL	N	I	<u>-</u> Ш			
L PLANTS AS REQUIRED. LIMIT AMOUNT AD OR INJURED TWIGS AND BRANCHES. TURAL GROWING HABIT OR SHAPE OF THE NTRAL LEADERS SHALL NOT BE REMOVED. T SHALL BE REPLACED.			JEFFERSON AVE		100, 00 00233 (303) 390-0172	
OF TRUCK OF TREES AND SHRUBS S SHALL BE TRIANGULAR WITH PROPER		C. CIVIL	20 W. JEI - 201		PHONE (303	, , , , , , , , , , , , , , , , , , ,
EEL EDGING SHALL BE USED TO SEPARATE FLUSH WITH GRADE AND STAKE TO		W.6	722			
E CONTRACTOR A SAMPLE OF PROPOSED ISTALLATION.						
ND TREE SAUCERS. LANDSCAPE OF PROPOSED MULCH TO LANDSCAPE						
ACE FOUR INCHES OF MULCH IN ALL S OF MULCH AT ALL TREE SAUCERS.		R	22	3		
REE OF WEEDS AND GRASS. TREAT BEDS G AND MULCH PLACEMENT. DO NOT					<u> </u>	
ND ALL DEAD WOOD ON TREES AND S GRANTED ON THE COMPLETE PROJECT.					2A,	
THE LANDSCAPE ARCHITECT PRIOR TO					NG NO.	
ERGROUND AUTOMATIC UNDERGROUD IRRIGATION S / TREES / GROUNDCOVER.					OMMERCIAL FILING NO. 2A	COLORADO
NT, UTILITY PEDESTALS, ETC. ARE NOT SHOWN APE/SCREENING MAY BE REQUIRED BASED UPON ON BY STAFF, MADE PRIOR TO THE ISSUANCE OF APPLICABLE. REVISED		PE PLAN		AN	AST COMMEF	STATE OF CO
This plan does not match the landscape plan submitted in Version 2.		ANDSCAPE	T GRASS	₽	T GRASS E	EL PASO, (
NT WITH BUILDING PERMIT T AND BEFORE ANY IRRIGATION STACK ot		INAL LA			DT 1A, BENT	
[landscape architecture] [planning] [entitlements] [urban design] 5639 south curtice street littleton, colorado 80120 303.883.2735 stacklot.com	Engir	Civil Te TS, L neering	Р	Scale	22/09	
PERMIT NO.:			ç)		



NOT TO SCALE





SOIL ANALYSIS CONTRACTOR REQUIREMENT

"THE REQUIRED SOIL ANALYSIS REPORT IS REQUIRED TO BE SUBMITTED AND APPROVED WITH BEFORE ANY LANDSCAPE CONSTRUCTION. THIS WOULD INCLUDE COMPLETING THE SOIL SAMP SOILS LAB FOR TESTING. A SEPARATE LAB TEST REPORT AND SOIL PREPARATION RECOMMEND AND APPLICATION RATES) FOR EACH TYPE OF PROPOSED LANDSCAPING (SHRUB BEDS/SOD/NA CITY STAFF FOR REVIEW AND APPROVAL."

SOIL AMENDMENTS

PRIOR TO PLANTING, ALL SITES FOR PLANTINGS SHALL INCORPORATE SOIL AMENDMENTS AT A CUBIC YARDS PER 1000 SQUARE FEET TO A MINIMUM DEPTH OF 6". A LESSER AMOUNT SHALL B ALLOWED IF A SOIL TEST SHOWS THAT 3 CUBIC YARDS PER 1000 SQUARE FEET IS NOT NECESS. WATER RETENTION AND DEEP ROOTING OF PLANT MATERIALS. IF THE SPECIFIED PLANT MATER REQUIRES LESS FERTILE SOIL, THOSE AREAS MAY HAVE LESS SOIL AMENDMENTS INSTALLED IF APPROVED BY THE COMMUNITY DEVELOPMENT DIRECTOR. THESE AREAS SHALL BE IDENTIFIED LANDSCAPE PLAN. EXISTING TOPSOIL SHALL BE SALVAGED AND STOCKPILED FOR USE AS SOIL AMENDMENTS OR TOPSOIL. NO TOPSOIL SHALL BE REMOVED FROM THE SITE UNLESS THE CITY APPROVES THE TRANSFER OF TOPSOIL TO A CITY-OWNED PARK OR OPEN SPACE AREA. A NOT PLACED ON THE LANDSCAPE PLAN REFLECTING THE ABOVE REQUIREMENTS REGARDING SOIL AMENDMENTS AND TOPSOIL. EXAMPLES OF ACCEPTABLE SOIL AMENDMENTS INCLUDE COMPO AGED MANURE. MOUNTAIN PEAT AND INORGANIC MATERIALS SUCH AS SAND, GYPSUM AND LIM PROHIBITED SOIL AMENDMENTS. ALL SITES ARE SUBJECT TO INSPECTION BY THE CITY FOR COMPLIANCE WITH SOIL AMENDMENT REQUIREMENTS.

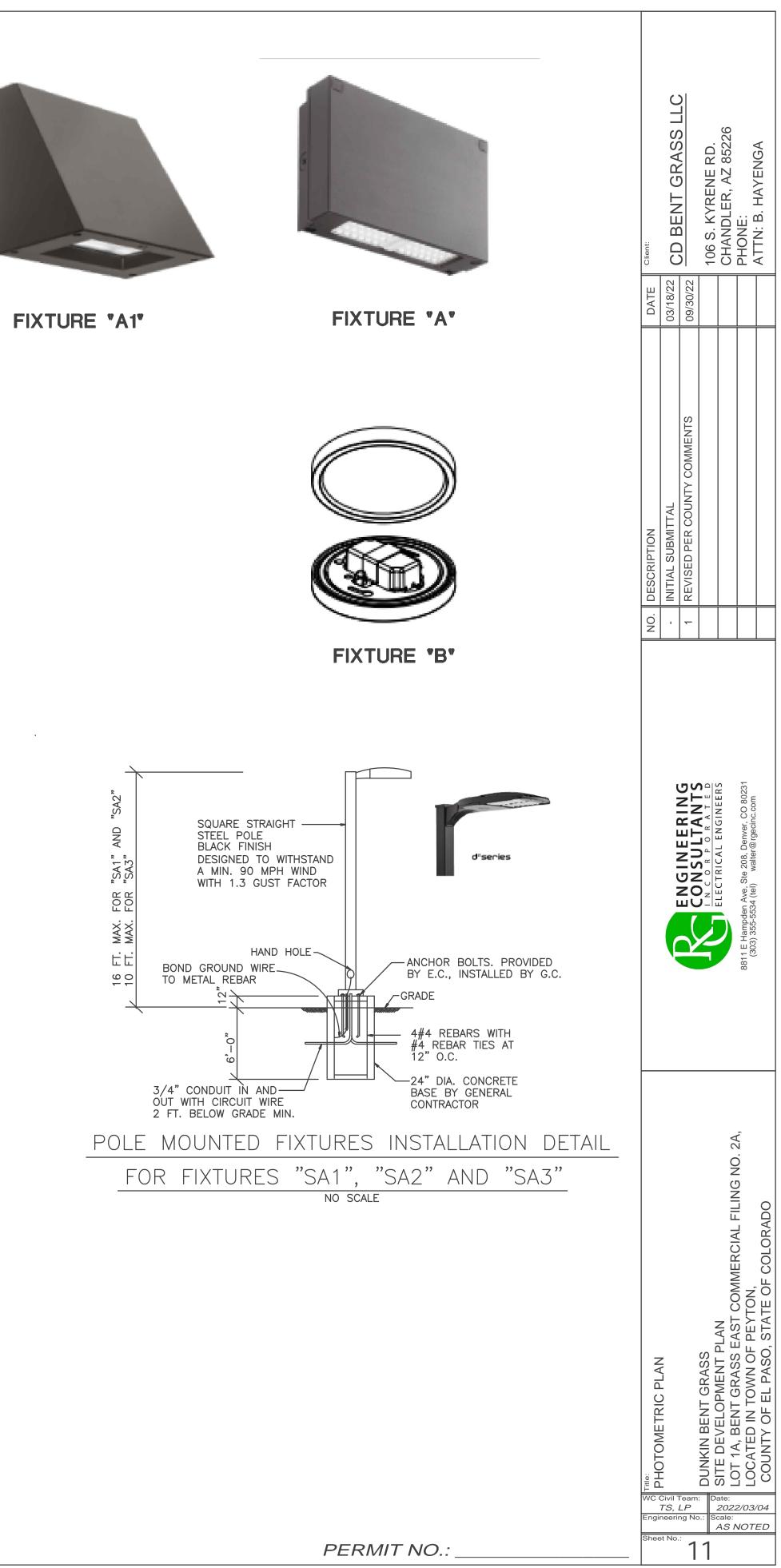
NE ONLY CROSSOVER LIMBS, CO- DOMINAN ES FROM TREE. ODGE POLE TREE STAKES IN UNDISTURBEI G FLAT FABRIC FASTENERS IMMEDIATELY A K MOVEMENT. COVER WIRE WITH SPECIFIE LORESCENT WHITE FLAG ON EACH WIRE	D SOIL. FTER	E Client:	²² & ' % (17 * 5 \$ 6 6 / / &		106 S. KYRENE RD.	CHANDLER, AZ 85226	ATTN: B. HAYENGA
H RESPECT TO FINISHED GRADE. DO NOT (ND REMOVE TOP 2/3 OF WIRE BASKET AND OPE, TWINE AND WIRE OTHER THAN BASKE ⁻	REMOVE	DATE	03/22/22	09/30/22			
OUND TREE. DO NOT PLACE MULCH/COBBLE SPECIFICATIONS FOR MULCH/COBBLE TYP				OMMENTS			
OIL MIX AS PER SPECIFICATIONS.				S			
O SOIL. SET PLUMB AND CENTER IN PIT.		DESCRIPTION	AL SUBMITTAL	REVISED PER COUNTY			
R DAMAGED ROOTBALLS		DES	INITIAL	REV			
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BRANCHES FROM ₹ PLANS.				AVE		ы С	N
I/COBBLE UNDER SHRUB.				NO		023!	017
POSITION. REMOVE				ERS		$\overset{\circ}{\overset{\circ}{\overset{\circ}{\overset{\circ}{\overset{\circ}{\overset{\circ}{\overset{\circ}}{\overset{\circ}{\overset{\circ}{\overset{\circ}{\overset{\circ}}{\overset{\circ}{\overset{\circ}}{\overset{\circ}{\overset{\circ}}{\overset{\circ}{\overset{\circ}}{\overset{\circ}{\overset{\circ}}{\overset{\circ}{\overset{\circ}}{\overset{\circ}{\overset{\circ}}{\overset{\circ}{\overset{\circ}}{\overset{\circ}{\overset{\circ}}{\overset{\circ}{\overset{\circ}}{\overset{\circ}}{\overset{\circ}{\overset{\circ}}{\overset{\circ}{\overset{\circ}}{\overset{\circ}}{\overset{\circ}{\overset{\circ}}{\overset{\circ}}{\overset{\circ}{\overset{\circ}}{\overset{\circ}}{\overset{\circ}}{\overset{\circ}{\overset{\circ}}{\overset{\circ}}{\overset{\circ}}{\overset{\circ}{\overset{\circ}$	-065
ACKFILL. OIL MIX AS PER SPEC.						0,0 20,0	<u>(</u> 23)
BELOW THE ROOTBALL.			W.C. CIV		STE. 204		
NOT TO SCALE							
PLING AND SUBMITTING THE SAMP IDATIONS (AMENDMENT/FERTILIZE IATIVE SEED) WILL NEED TO BE PR	R AMOUNTS					ING NO. 2A,	
A RATE OF 3 BE SARY FOR ERIAL IF ED ON THE IL Y TE SHALL BE OST AND ME ARE			DSCAPE DETAILS		,1 %(17 *5\$66 '/9//230/17 3/\$1	ENT GRASS EAST	TED IN TOWN OF PEYTON, NTY OF EL PASO, STATE OF COLORADO
PEF	Indscape architecture] [planning] [entitlements] [urban design] 5639 south curtice street 1ittleton, colorado 80120 303.883.2735 stacklot.com	Engi	Civil T TS, I neerir	LP ng No	2 .: Sca	2022/0 ale: AS NO	

+0.0,	+0.0	+0.0	+d.0	+0.1	+0.1	+0.1	+0.1	+0.0	+0.0	+0.0	+0.0	+0.0	+0.0	+0.0	+0.0	+0.0	+0.0	+0.0	+0.0	+0.0	+0.0	+0.0	+0.0	+0.0	+0.0	+0.0	+0.0	+0.0	+0.0	+0.0
+0.0 +0.0	⁺ 0.0	⁺ 0.0	+0.1	+0.2	+0.4	⁺ 0.3	+0.1	+0.2	+0.1	+0.1	+0.1	⁺ 0.1	⁺ 0.1	+0.1	+0.1	+0.1	+0.0	+0.0	+0.0	⁺ 0.1	+0.1	+0.0	+0.0	+0.0	+0.0	+0.0	+0.0	+0.0	+0.0	+0.0
+0.0+0.0	+0.0	+0.1	+0.3	+0.5	+0.5	+0.8	⁺ 1.3	+0.5	+0.2	+0.1	+0.1	+0.3	+0.3	⁺ 0.5	+0.2	+0.1	+0.1	+0.1	+0.1	+0.2	+0.2	⁺ 0.1	+0.0	⁺ 0.0	+0.0	+0.0	+0.0	+0.0	+0.0	+0.0
+0.0+0.0	+0.1	+0.2	+0.4	1	A3 *5.6	+4.0	⁺ 1.8	+0.7	0.5	⁺ 0.6	+1.2	+1.8	+ ♀ S 3.1	A22.4	+1.4	+0.9	+0.5	+0.3	+0.6			+0.4	+0.2	⁺ 0.1	+0.1	+0.0	+0.0	+0.0	+0.0	+0.0
	+ ⁺ 0.1	+0.2	+1.1	+3.6	+3.7	+2.8	⁺ 1.3	+0.5	+0.5	+0.7	+1.4	+2.2	⊤ ⁺3.0	⁺ 2.7	⁺ 1.9	⁺ 1.3	 ⁺ 1.1	⁺ 1.4	+2.0	+ 	+2.7	+ 1.5	+0.9	+0.5	+0.3	+0.1	+0.0	+0.0	+0.0	+0.0
		+0.5	+1.4	+2.2	⁺ 1.9	⁺ 0.8	+0.5	⁺ 0.5	+0.7	+0.9	⁺ 1.4	⁺ 2.0	+2.3	+2.2	⁺ 1.8	⁺ 1.3	⁺ 1.2	⁺ 1.6	+2.2	⁺ 2.8	⁺ 2.6	⁺ 1.8	+1.0	⁺ 0.6	+0.4	+0.2	+0.1	+0.0	+0.0	+0.0
		+0.3	⁺ 0.6	+0.8	+0.5	+0.5	+0.8	+1.2	⁺ 1.4	+1.6	⁺ 1.9	+2.2	⁺ 1.9	⁺ 1.7	⁺ 1.5	+1.3	+1.2	⁺ 1.4	+1.8	+1.9	⁺ 1.9	⁺ 1.5	+1.0	⁺ 1.0	+0.6	+0.2	+0.1	+0.0	+0.0	+0.0
	+ 0.1	+0.1	+0.2	+0.3	+0.4	0.7	+1.1	⁺ 1.6	⁺ 2.0	+2.1	+2.1	+2.0	⁺ 1.6	⁺ 1.3	+1.2	⁺ 1.2	⁺ 1.2	⁺ 1.4	+1.6	+1.5	+ 1.4	+1.3	+1.0	+1.9	⁺ 1.0	+0.3	⁺ 0.1	+0.0	+0.0	⁺ 0.0
	\searrow	⁺ 0.1	+0.2	+0.4	+0.8	+0.8	+1.3	+1.8			+2.6	+2.1	+1.6	+1.3	+1.5	+1.7	+1.2	+1.8	+2.2	/t _{2.0}	+1.3	+1.1	+1.4	+3.1	⁺ 1.7	+0.2	+0.0	+0.0	+0.0	+0.0
	+	+0.0	+0.2	+0.6	⁺ 1.4	⁺ 0.8	+0.8	+0.9		A1 + 0 2.5	+1.7	+1.0	+0.7	+0.7	+1.4	⁺ 3.0	+0.6	⁺ 1.7	+0 315 A	+2.5	+1.0	+2.5	+3.5 0-1 SA	, ⁺ 4.3	⁺ 1.7	+0.2	+0.0	+0.0	+0.0	+0.0
	+0.0	⁺ 0.0	+0.1	+0.9	+2.4	⁺ 2.8	⁺ 0.6	+0.5	⁺ 0.4	+0.4	+0.4	0.3	+0.3	⁺ 0.5	+1.4	+3.2			\cap		B	+	+2.5		⁺ 1.6	+0.1	+0.0	+0.0	+0.0	+0.0
) +0.0	⁺ 0.0	⁺ 0.1	+0.6	+3.0	+480 S	⁺ 1.1	⁺ 0.8	⁺ 0.4	+0.4	+0.4	+0.3	+0.3	⁺ 0.7	+0.4						во	+3.0	+14	+2.4	⁺ 1.3	+0.2	+0.0	+0.0	+0.0	+0.0
	└── └── + _{0.0}	+0.0	⁺ 0.0	+0.3	+2.2	+4.5	A3	⁺ 0.6	+0.2	+0.1	+0.1	0.1	⁺ 0.2	⁺ 0.8	+3.1	. 1						+2.2	⁺ 0.7	+1.1	+0.6	+0.1	+0.0	+0.0	+0.0	+0.0
← ()) +0.0(),0.0															OÍ	<u>`` A1</u>	+2.4	+0.9	B 0- 4.5	A1 +	+ 2.4	/		//	+0.2	+0.1	+0.0	+0.0	+0.0	+0.0
																			+0.6				<i>_/_</i>							
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⁺ 0.0 ⁺ 0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	'0.0 N		0.0	0.0	́0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
															1									. 1						

SITE PHOTOMETRIC PLAN

Scale: 1"=20'

	LIGHTING FIXTURE SCHEDULE									
ITEM	NO.	MANUFACTURER	CAT. NO.	LAMPS	MOUNTING	DESCRIPTION				
A	2	LITHONIA LIGHTING	WPX1 LED P2 40K MVOLT DDBXD	24 WATT 3000K LED 2,900 LUMENS	WALL +14 FT	EXTERIOR WALL MOUNTED CUT OFF LIGHT				
A1	3	LITHONIA LIGHTING	WDGE1 LED P1 30K VW MVOLT	11 WATT 3000K LED 1200 LUMENS	WALL +9 FT	EXTERIOR WALL MOUNTED CUT OFF LIGHT				
В	4	LIGHTOLIER	S5R-840K-7	10 WATT 3000K LED 650 LUMENS	UNDER SOFFIT +8 FT	5" THIN SURFACE LED DOWN LIGHT				
SA1	1	LITHONIA LIGHTING	DSX1 LED P1 40K T3M-MVOLT-SPA- HSS-DBLBXD	54 WATT 3000K LED 6,967 LUMENS	16 FT POLE	SINGLE HEAD FULL CUT OFF POLE LIGHT ON SQUARE POLE, MOUNTED AT 16 FT ABOVE GRADE TO TOP OF FIXTURE, TYPE III OPTICS,HOUSE SIDE SHIELD				
SA2	2	LITHONIA LIGHTING	DSX1 LED P1 40K T4M-MVOLT-SPA- HSS-DBLBXD	54 WATT 3000K LED 6,967 LUMENS	16 FT POLE	SINGLE HEAD FULL CUT OFF POLE LIGHT ON SQUARE POLE, MOUNTED AT 16 FT ABOVE GRADE TO TOP OF FIXTURE, TYPE IV OPTICS,HOUSE SIDE SHIELD				
SA3	3	LITHONIA LIGHTING	DSX0 LED P1 40K T3M-MVOLT-SPA- DBLBXD	38 WATT 3000K LED 4,700 LUMENS	10 FT POLE	SINGLE HEAD FULL CUT OFF POLE LIGHT ON SQUARE POLE, MOUNTED AT 10 FT ABOVE GRADE TO TOP OF FIXTURE, TYPE III OPTICS				



SITE PHOTOME	TRIC SUMMARY
AVERAGE =	0.6 FT. CANDLE
MAXIMUM =	5.6 FT. CANDLE
MINIMUM = 0.	0 FT. CANDLE

"SA2
AND
"SA1" "SA3"
FOR
MAX. MAX.
16 FT. 10 FT.
16 10