

SITE DEVELOPMENT PLAN

8035 MERIDIAN PARK DRIVE

SECTION 1, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M. TOWN OF PEYTON, COUNTY OF EL PASO, STATE OF COLORADO

DUNKIN' BENT GRASS

BENCHMARK

PROJECT BENCHMARK IS A DOUGLAS COUNTY CONTROL POINT LOCATED ON THE SOUTH SIDE OF HWY 86 JUST EAST OF PROJECT SITE.

NORTHING: 22842.29, EASTING: 19721.79

BENCHMARK IS 11.215" ALUMINUM DISC SET FLUSH TO THE GROUND. THE ELEVATION IS 1994.64 M (6544.09 US SURVEY FEET) BASED ON THE NAVD 88 DATUM.

BASIS OF BEARINGS

A PORTION OF THE SOUTH LINE OF THE NORTHEAST QUARTER SECTION 1, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN EL PASO COUNTY, COLORADO BEING MONUMENTED AT THE WEST END BY THE CENTER QUARTER CORNER OF SAID SECTION 1 BY A 2 1/2" ALUMINUM SURVEYORS CAP WITH APPROPRIATE MARKING PLS 28651 AND AT THE EAST END, AT THE NORTHWESTERLY CORNER OF LOT 1 FALCON RANCHETTES RECORDED IN PLAT BOOK V-2 AT PAGE 15, RECORDS OF EL PASO COUNTY, COLORADO, BY A YELLOW PLASTIC SURVEYORS CAP STAMPED "PLS 2372" AND IS ASSUMED TO BEAR S89°49'43", A DISTANCE OF 2,285.20 FEET.

LEGAL DESCRIPTION

PARCEL A:
LOT 1A, BENT GRASS EAST COMMERCIAL FILING NO 2A, COUNTY OF EL PASO, STATE OF COLORADO (RECEPTION NO. 214713554).

PARCEL B:
THOSE EASEMENT RIGHT CREATED BY RECIPROCAL ACCESS EASEMENT AND TEMPORARY CONSTRUCTION AND MAINTENANCE EASEMENT AGREEMENT RECORDED JUNE 04, 2013 UNDER RECEPTION NO. 213072561 AND FIRST AMENDMENT TO RECIPROCAL ACCESS EASEMENT AND TEMPORARY CONSTRUCTION AND MAINTENANCE EASEMENT AGREEMENT RECORDED JULY 07, 2013 UNDER RECEPTION NO. 213098588.

CONSTRUCTION TIMELINE

APPROXIMATE CONSTRUCTION START DATE: SEPTEMBER 2022

PROJECT DESCRIPTION

THE PROPOSED PROJECT INCLUDES THE DEVELOPMENT OF A NEW FAST FOOD RESTAURANT BUILDING, DRIVE-THRU, AND PARKING LOT. PROPOSED WORK INCLUDES DEMOLITION, GRADING, CONCRETE AND ASPHALT INSTALLATION, SANITARY SEWER INSTALLATION, WATER LATERAL INSTALLATION, FINAL GRADING, FINAL STABILIZATION, AND REMOVAL OF TEMPORARY CONTROL MEASURES.

ZONE DISTRICT INFORMATION

PROJECT ZONING: COMMERCIAL SERVICES (CS)

PROPERTY TAX SCHEDULE NUMBER

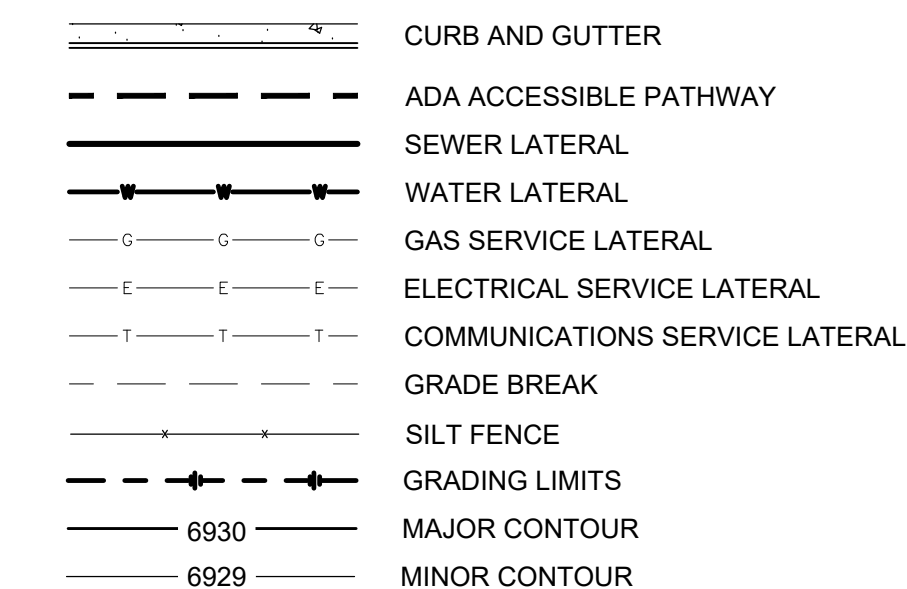
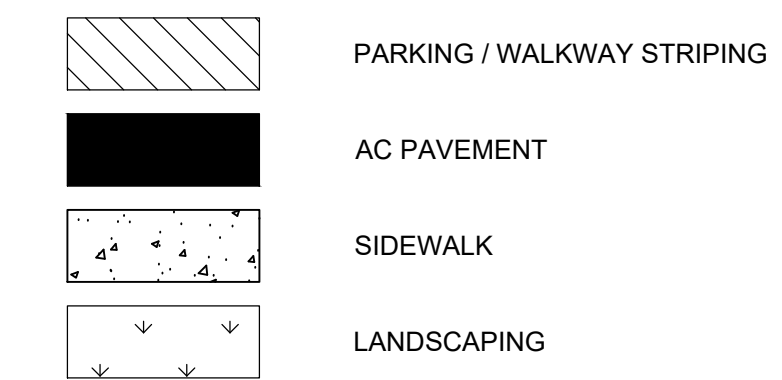
TAX SCHEDULE NUMBER: 5301104002

ADA NOTE

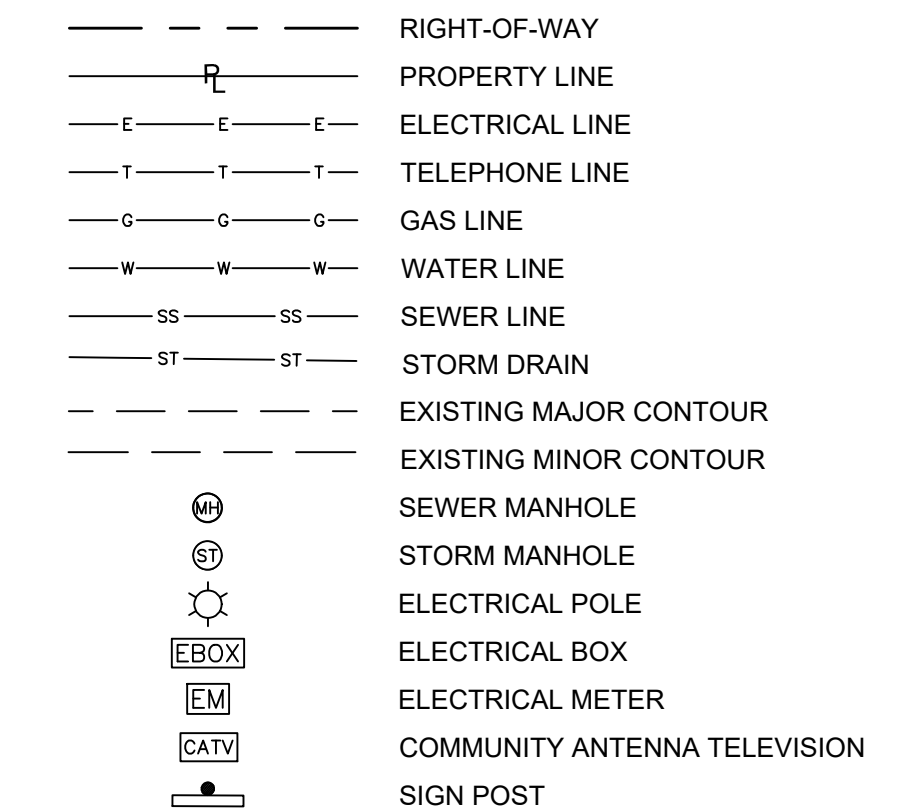
THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

LEGEND

PROPOSED



EXISTING

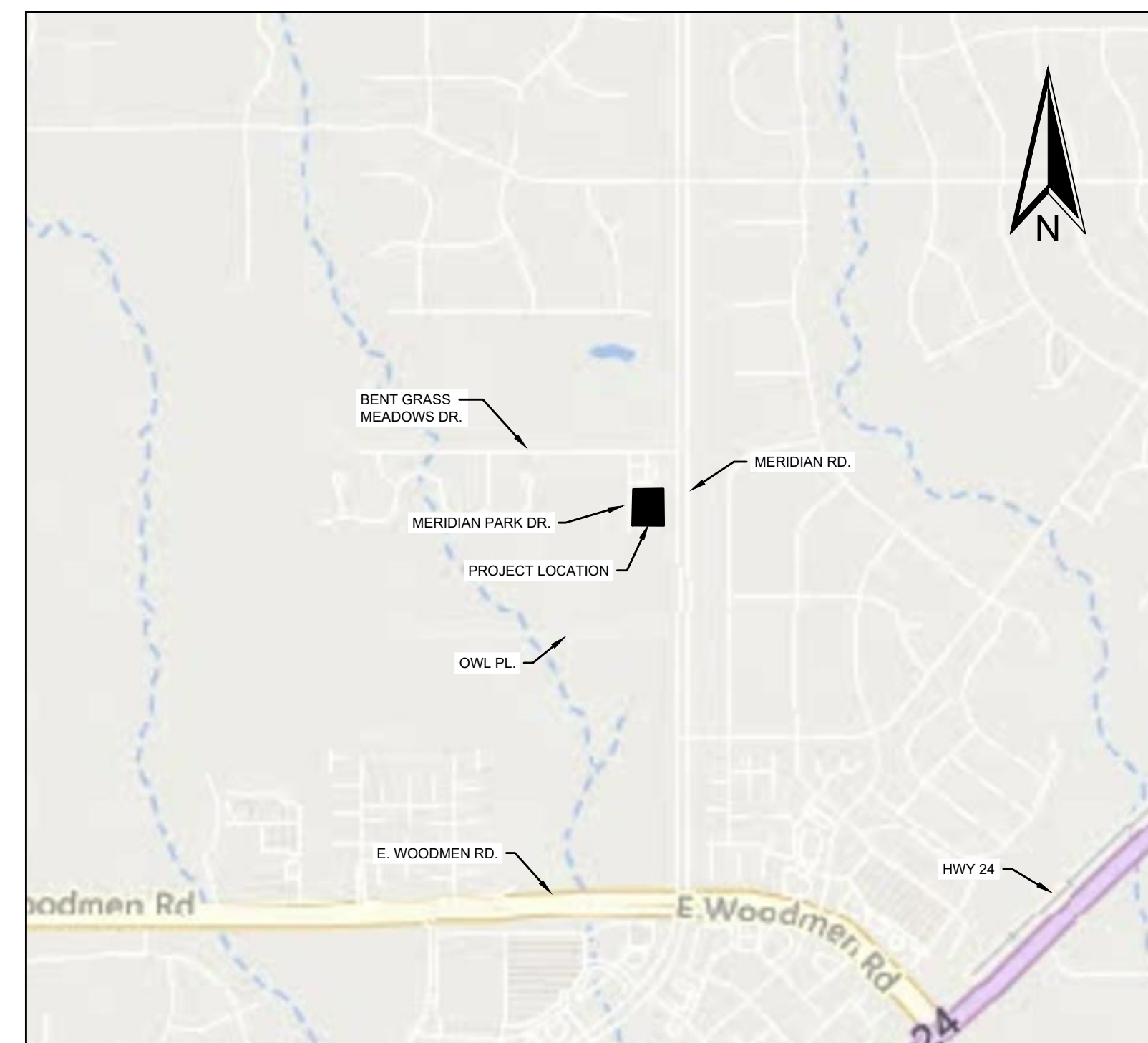


SHEET INDEX:

- 1 COVER SHEET
- 2 EXISTING CONDITIONS AND DEMOLITION PLAN
- 3 SITE AND HORIZONTAL CONTROL PLAN
- 4 GRADING AND DRAINAGE PLAN
- 5 PRELIMINARY UTILITY AND PUBLIC FACILITIES PLAN
- 6 SITE DETAILS
- 7 UTILITY DETAILS
- 8 FINAL LANDSCAPE PLAN
- 9 LANDSCAPE DETAILS
- 10 PHOTOMETRIC PLAN
- 11 ARCHITECTURAL ELEVATIONS
- 12 ARCHITECTURAL ELEVATIONS

ABBREVIATIONS:

- AC ASPHALT CONCRETE
- CS COMMERCIAL SERVICES
- DWG DRAWING
- (E) EXISTING
- E EAST
- EG EXISTING GRADE
- FH FIRE HYDRANT
- FL FLOW LINE
- FG FINISHED GRADE
- FS FINISHED SURFACE
- FT FEET
- HP HEIGHT POINT
- INV INVERT
- LIP LIP OF GUTTER
- ME MATCH EXISTING
- MAX MAXIMUM
- MIN MINIMUM
- (N) NEW
- N NORTH
- PSI POUNDS PER SQUARE INCH
- PVC POLYVINYL CHLORIDE
- RCP REINFORCED CONCRETE PIPE
- ROW RIGHT OF WAY
- SF SQUARE FEET
- STD STANDARD
- TC TOP OF CURB
- TYP TYPICAL



VICINITY MAP
NOT TO SCALE

PROJECT TEAM

<p>PROPERTY OWNER CD MERIDIAN & BENT GRASS LLC 106 S. KYRENE RD. CHANDLER, AZ 85226 480-313-2724 BRIAN@DOUBLETREEVENTURES.COM ATTN: BRIAN ZUREK</p>	<p>CIVIL ENGINEER / APPLICANT M&S CIVIL CONSULTANTS, INC. 212 N. WAHSATCH AVE., STE. 305 COLORADO SPRINGS, CO 80903 719-491-0818 VIRGILS@MSCIVIL.COM ATTN: VIRGIL A. SANCHEZ, P.E.</p>	<p>ARCHITECT ETHOS ARCHITECTURE GROUP 8025 W 25TH PL. LAKEWOOD, CO 80214 303-815-0161 JOHN@ETHOS-ARCH-GROUP.COM ATTN: JOHN SPONSELLER, NCARB</p>
<p>SURVEYOR M&S CIVIL CONSULTANTS, INC. 212 N. WAHSATCH AVE., STE. 305 COLORADO SPRINGS, CO 80903 719-440-9596 VERN@MSCIVIL.COM ATTN: VERN P. TAYLOR, P.L.S.</p>	<p>LANDSCAPE ARCHITECT STACKLOT 5639 SOUTH CURTICE ST. LITTLETON, CO 80120 303-883-2735 JUSTINHAY@STACKLOT.COM ATTN: JUSTIN HAY</p>	<p>PHOTOMETRIC DESIGN RG ENGINEERING CONSULTANTS 8811 HAMPDEN AVE., STE. 208 DENVER, CO 80231 303-355-5534 SOPHIA@RGEINC.COM ATTN: SOPHIA GISIN</p>

ZONING COMPARISON TABLE		
TYPE	REQUIRED	PROVIDED
USE	COMMERCIAL SERVICES (CS)	COMMERCIAL SERVICES (CS)
LOT SIZE	63,480 SF	63,480 SF
BUILDING SETBACK	25 FT	17 FT
MINIMUM PARKING	20 SPACES	28 SPACES

SITE UTILIZATION TABLE		
COVERAGE	EXISTING	PROPOSED
TOTAL LOT SIZE	63,480 SF	63,480 SF
BUILDING	0 SF	1,998 SF
PAVEMENT	0 SF	14,625 SF
% IMPERVIOUS	0%	26.2%
% OPEN SPACE / LANDSCAPING	100%	73.8%

PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR	DATE
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FIRE FLOW DATA (UPDATE):

CODE USED FOR ANALYSIS: 2018 IFC WITH 2019 AMENDMENTS
OCCUPANCY GROUP(S): B
CONSTRUCTION TYPE(S): V-B
FIRE FLOW CALCULATION AREA: 2,000 SF

THIS BUILDING IS NOT PROTECTED WITH AN AUTOMATIC SPRINKLER SYSTEM.

PER IFC TABLE B105.1(2):
TOTAL REQUIRED FIRE FLOW = 1,500 GPM @ 20 PSI RESIDUAL PRESSURE
DURATION = 2 HOURS

PER IFC TABLE C102.1:
MINIMUM NUMBER OF HYDRANTS = 1 HYDRANT
AVERAGE SPACING BETWEEN HYDRANTS = 500 FEET
MAXIMUM DISTANCE FROM STREET FRONTAGE = 250 FEET



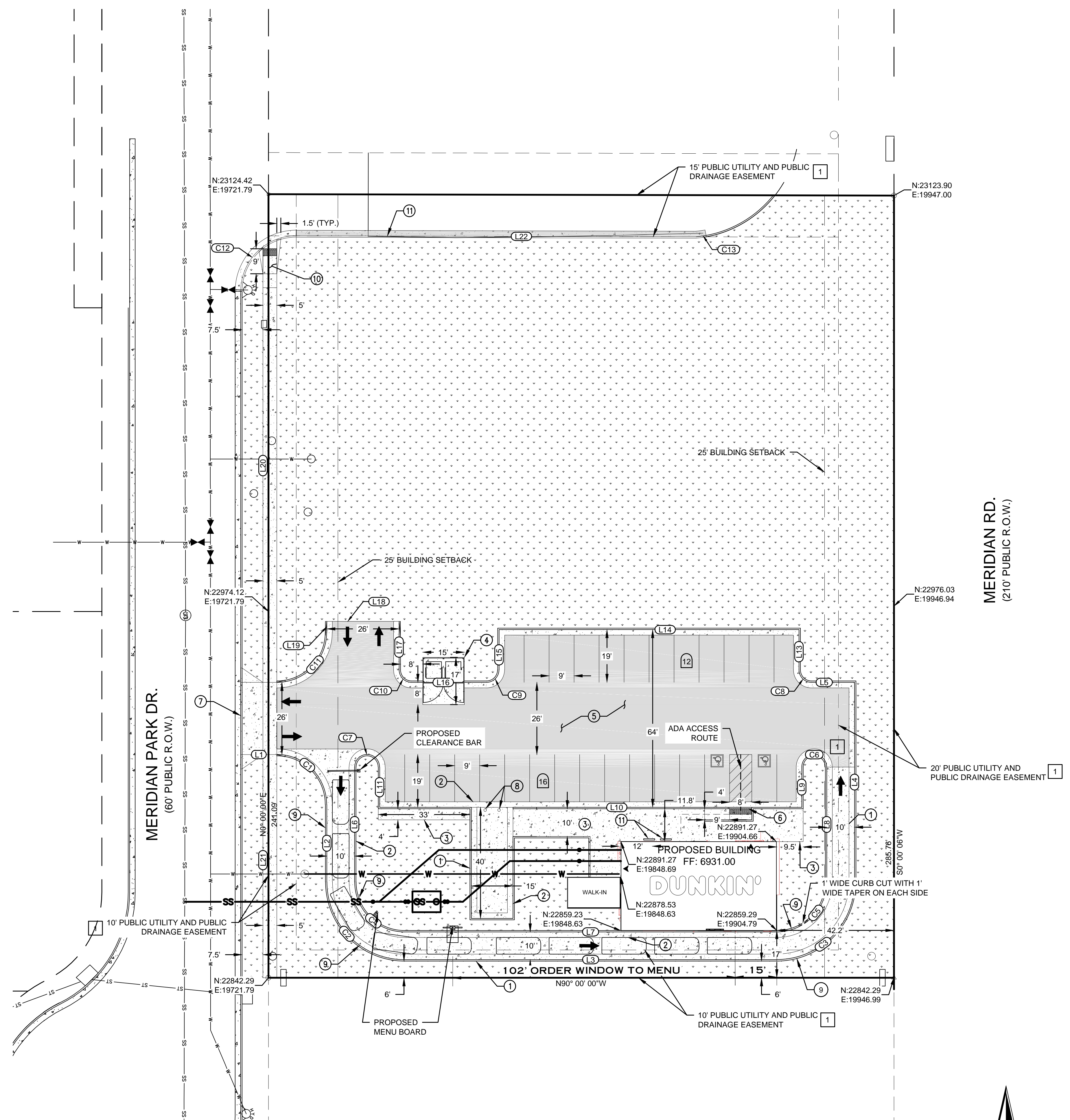
DUNKIN' 8035 MERIDIAN PARK DRIVE
LOT 1A - BENT GRASS EAST COMMERCIAL FIL. NO. 2A
JOB NO.: 70-110
DATE PREPARED: JUNE 2023
DATE REVISED:



CITY FILE NO. PPR-22-027

CIVIL CONSULTANTS, INC. SHEET 1 OF 12

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LEGEND

EXISTING		PROPOSED	
---	RIGHT-OF-WAY	[Hatched Box]	PARKING / WALKWAY STRIPING
---	PROPERTY LINE	[Solid Grey Box]	AC PAVEMENT
---	ELECTRICAL LINE	[Dotted Box]	SIDEWALK
---	TELEPHONE LINE	[Stippled Box]	LANDSCAPING
---	GAS LINE	[Double Line]	CURB AND GUTTER
---	WATER LINE	[Line with 'SS']	ADA ACCESSIBLE PATHWAY
---	SEWER LINE	[Line with 'E']	SEWER LATERAL
---	STORM DRAIN	[Line with 'T']	WATER LATERAL
[Symbol]	SEWER MANHOLE	[Line with 'G']	GAS SERVICE LATERAL
[Symbol]	STORM MANHOLE	[Line with 'E']	ELECTRICAL SERVICE LATERAL
[Symbol]	ELECTRICAL POLE	[Line with 'T']	COMMUNICATIONS SERVICE LATERAL
[Symbol]	ELECTRICAL BOX	[Dashed Line]	BUILDING SETBACK
[Symbol]	ELECTRICAL METER	[Dashed Line]	PROPOSED EASEMENT
[Symbol]	COMMUNITY ANTENNA TELEVISION		
[Symbol]	SIGN POST		

LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	12.00	S90° 00' 00.00"E
L2	27.83	S0° 00' 00.00"W
L3	134.00	N90° 00' 00.00"E
L4	71.83	N0° 00' 00.00"E
L5	15.50	N89° 59' 59.98"W
L6	41.33	S0° 00' 00.00"W
L7	134.00	N90° 00' 00.00"E
L8	41.33	N0° 00' 00.00"E
L9	14.50	S0° 00' 00.00"W
L10	152.00	N90° 00' 00.00"W
L11	14.50	N0° 00' 00.00"E

LINE TABLE		
LINE #	LENGTH	DIRECTION
L13	14.50	N0° 00' 00.06"W
L14	108.00	S89° 59' 59.94"W
L15	14.50	S0° 00' 00.06"E
L16	27.00	S89° 59' 59.80"W
L17	17.50	N0° 00' 05.91"W
L18	26.00	N89° 59' 54.09"W
L19	4.00	S0° 00' 05.91"W
L20	147.15	N0° 00' 00.00"W
L21	80.33	S0° 00' 00.00"E

CURVE TABLE			
CURVE #	LENGTH	RADIUS	DELTA
C1	28.78	18.01	91.55
C2	43.98	28.00	90.00
C3	43.98	28.00	90.00
C4	28.27	18.00	90.00
C5	28.27	18.00	90.00
C6	14.14	4.50	180.00
C7	14.14	4.50	180.00
C8	7.07	4.50	90.00
C9	7.07	4.50	90.00
C10	7.07	4.50	90.00
C11	28.27	18.00	90.00
C12	31.46	20.00	90.13
C13	3.59	40.22	5.11

CONSTRUCTION NOTES

- INSTALL (N) 30" CURB & GUTTER ECP TYPE A (CATCH) PER COUNTY OF EL PASO STD PLAN SD_2-20 (SEE SHEET 7).
- INSTALL (N) 30" CURB & GUTTER ECP TYPE A (SPILL) PER COUNTY OF EL PASO STD PLAN SD_2-20 (SEE SHEET 7).
- INSTALL (N) CONC. SIDEWALK PER DETAIL (SEE SHEET 7).
- INSTALL (N) DUMPSTER ENCLOSURE PER ARCHITECTURAL PLANS.
- INSTALL (N) AC PAVEMENT.
- INSTALL (N) CURB RAMP PER COUNTY OF EL PASO STD PLAN SD_2-50 (SEE SHEET 7).
- INSTALL (N) CONC. DRIVEWAY PER COUNTY OF EL PASO STD. DETAIL SD_2-25 (SEE SHEET 7).
- INSTALL (N) REMOVABLE BOLLARD PER DETAIL (SEE SHEET 7).
- INSTALL (N) 34" CURB & GUTTER ECP TYPE D PER COUNTY OF EL PASO STD PLAN SD_2-20 (SEE SHEET 7).
- INSTALL (N) ADA PEDESTRIAN RAMP PER EL PASO COUNTY SDD_2-41. (SEE SHEET 7).
- INSTALL (N) BIKE RACK PER ARCHITECTURAL PLANS.

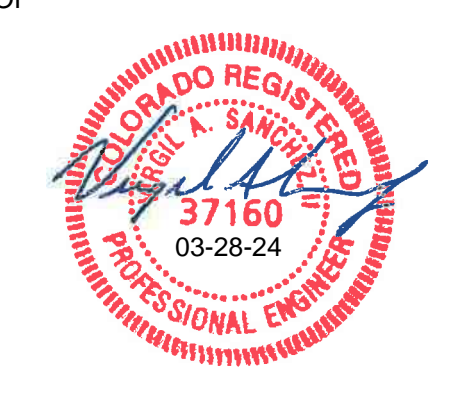
NOTES

1. ALL CURB, GUTTER, PEDESTRIAN RAMPS, SIDEWALKS AND DRIVEWAYS POSING A SAFETY HAZARD, EXHIBITING EXCESSIVE DETERIORATION, DAMAGED, OR DOES NOT MEET CURRENT CITY ENGINEERING STANDARDS ALONG THE PUBLIC RIGHT-OF-WAY ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY (CO). AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW DIVISION (EDRD) INSPECTOR TO DETERMINE WHAT, IF ANY IMPROVEMENTS ARE REQUIRED. THE EDRD INSPECTOR CAN BE REACHED AT 719-385-5977.

PARKING NOTES

PER COUNTY OF EL PASO LAND DEVELOPMENT CODE TABLE 6-2
 USE TYPE: FAST FOOD, FAMILY, HIGH TURNOVER
 BUILDING AREA: 1,998 SF
 TOTAL PARKING STALLS REQUIRED: 20
 TOTAL PARKING STALLS PROVIDED: 28
 # OF PARKING STALLS

EASEMENT DATA		
EASEMENT	USE	RECEPTION No.
1	DRAINAGE	214713554



SITE & HORIZONTAL CONTROL PLAN

DUNKIN' 8035 MERIDIAN PARK DRIVE
 LOT 1A - BENT GRASS EAST COMMERCIAL FIL. NO. 2A
 JOB NO. 70-110
 DATE PREPARED: JUNE 2023
 DATE REVISED:

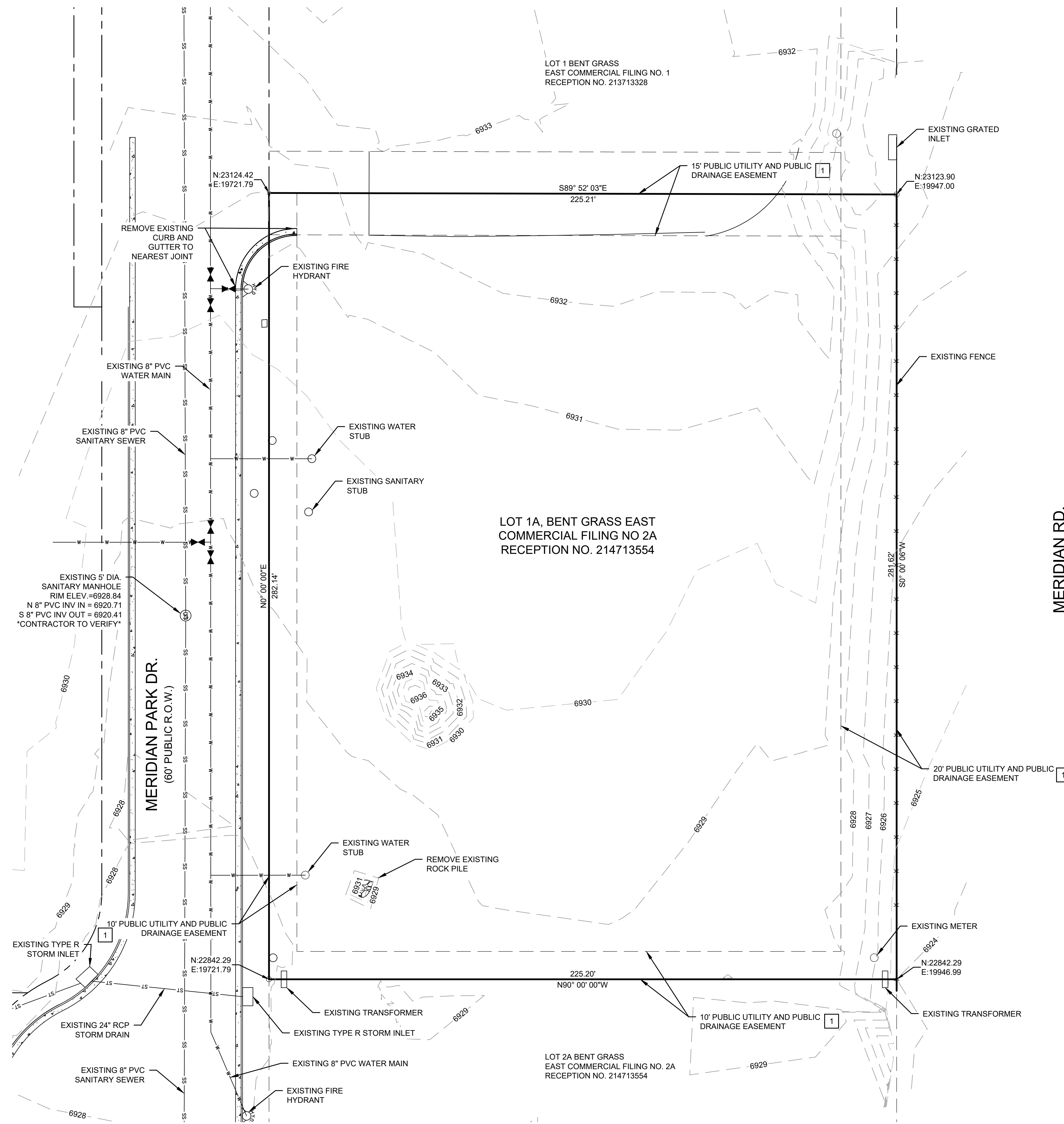


212 N. WAHSATCH AVE., STE. 305
 COLORADO SPRINGS, CO 80903
 PHONE: 719.955.5485

CITY FILE NO. PPR-22-027

SHEET 2 OF 12

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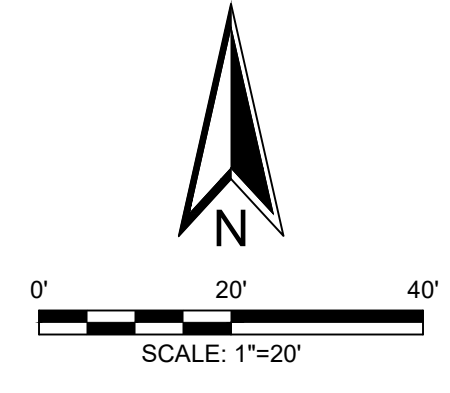
LEGEND EXISTING

---	RIGHT-OF-WAY
---	PROPERTY LINE
---	ELECTRICAL LINE
---	TELEPHONE LINE
---	GAS LINE
---	WATER LINE
---	SEWER LINE
---	STORM DRAIN
⊙	SEWER MANHOLE
⊙	STORM MANHOLE
⊙	ELECTRICAL POLE
⊙	ELECTRICAL BOX
⊙	ELECTRICAL METER
⊙	COMMUNITY ANTENNA TELEVISION
⊙	SIGN POST

- NOTES**
1. TOPOGRAPHIC SURVEY PERFORMED BY CLASSIC CONSULTING ON DECEMBER 10, 2021
 2. OPEN TRENCH SHORING, DEWATERING, & TRAFFIC CONTROL SHALL BE PROVIDED BY CONTRACTOR
 3. SERVICE OUTAGES SHALL BE COORDINATED WITH AND APPROVED BY THE COUNTY OF EL PASO IF REQUIRED PRIOR TO START OF WORK.
 4. ALL EXISTING UTILITIES SHALL BE PROTECTED IN PLACE UNLESS OTHERWISE NOTED.
 5. CONTRACTOR TO POT-HOLE AND FIELD VERIFY LOCATION AND DEPTH OF EXISTING UTILITIES IN AREAS OF WORK PRIOR TO DEMOLITION AND CONSTRUCTION.
 6. DEMOLITION, REMOVAL, OR RELOCATION OF EXISTING UTILITIES SHALL BE COORDINATED WITH THE UTILITY PROVIDER PRIOR TO THE START OF CONSTRUCTION.
 7. FOR ALL DEMOLITION OF EXISTING CONCRETE, SAWCUT EXISTING CONCRETE AT NEAREST JOINT.

EASEMENT DATA

EASEMENT	USE	RECEPTION NO.
1	DRAINAGE	214713554



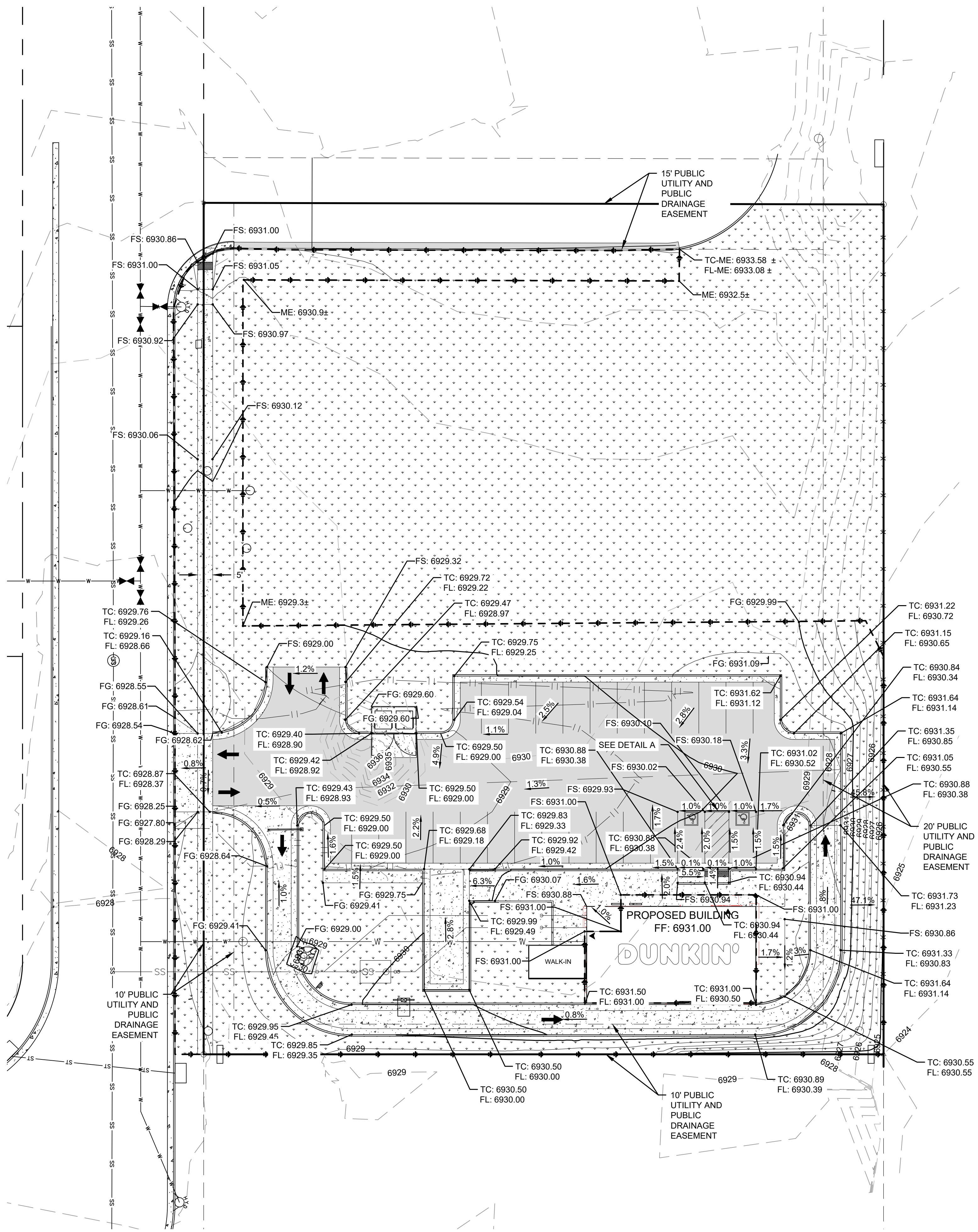
EXISTING CONDITIONS AND DEMOLITION PLAN

DUNKIN' 8035 MERIDIAN PARK DRIVE
 LOT 1A - BENT GRASS EAST COMMERCIAL FIL. NO. 2A
 JOB NO. 70-110
 DATE PREPARED: JUNE 2023
 DATE REVISED:

CITY FILE NO. PPR-22-027

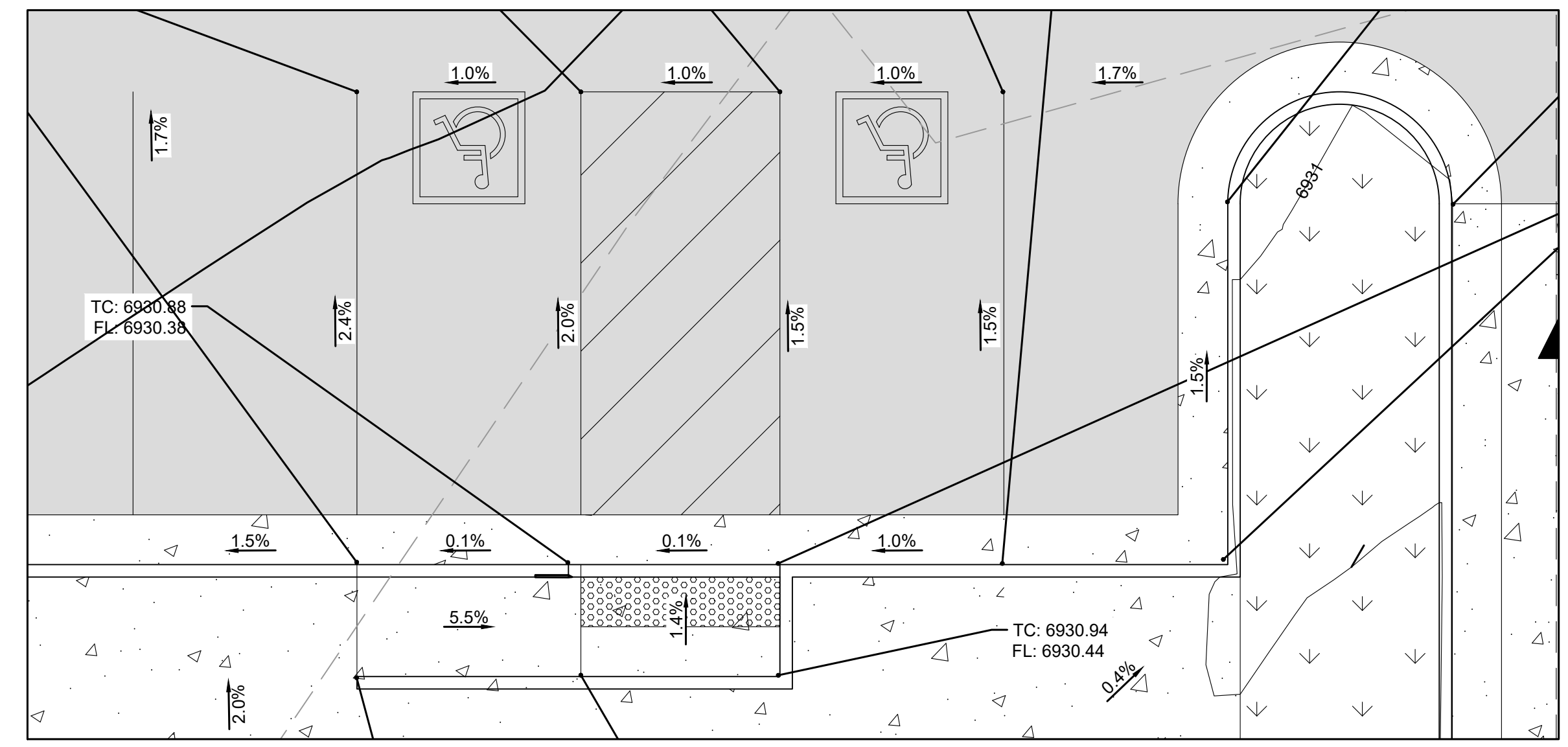


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LEGEND

EXISTING	PROPOSED	
---		PARKING / WALKWAY STRIPING
---		AC PAVEMENT
---		SIDEWALK
---		LANDSCAPING
---		CURB AND GUTTER
---		ADA ACCESSIBLE PATHWAY
---		SEWER LATERAL
---		WATER LATERAL
---		GAS SERVICE LATERAL
---		ELECTRIC SERVICE
---		TELECOMMUNICATION SERVICE
---		GRADE BREAK
---		GRADING LIMITS
---		MAJOR CONTOUR
---		MINOR CONTOUR
		SEWER MANHOLE
		STORM MANHOLE
		ELECTRICAL POLE
		ELECTRICAL BOX
		ELECTRICAL METER
		COMMUNITY ANTENNA TELEVISION
		SIGN POST



DETAIL A
SCALE: 1" = 5'

NOTES
1. GRADING PLANS ARE PRELIMINARY AND ARE NOT FOR CONSTRUCTION.

DEVELOPER'S STATEMENT:
I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN.

BRIAN ZUREK, MANAGER
CD MERIDIAN & BENT GRASS, LLC
DATE: 07/11/2023

ENGINEER'S STATEMENT:
THIS GRADING AND EROSION CONTROL PLAN WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. SAID PLAN HAS BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR GRADING AND EROSION CONTROL PLANS. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARING THIS PLAN.



VIRGIL A. SANCHEZ, COLORADO P.E. NO. 37160
FOR AND ON BEHALF OF M&S CIVIL CONSULTANTS, INC.

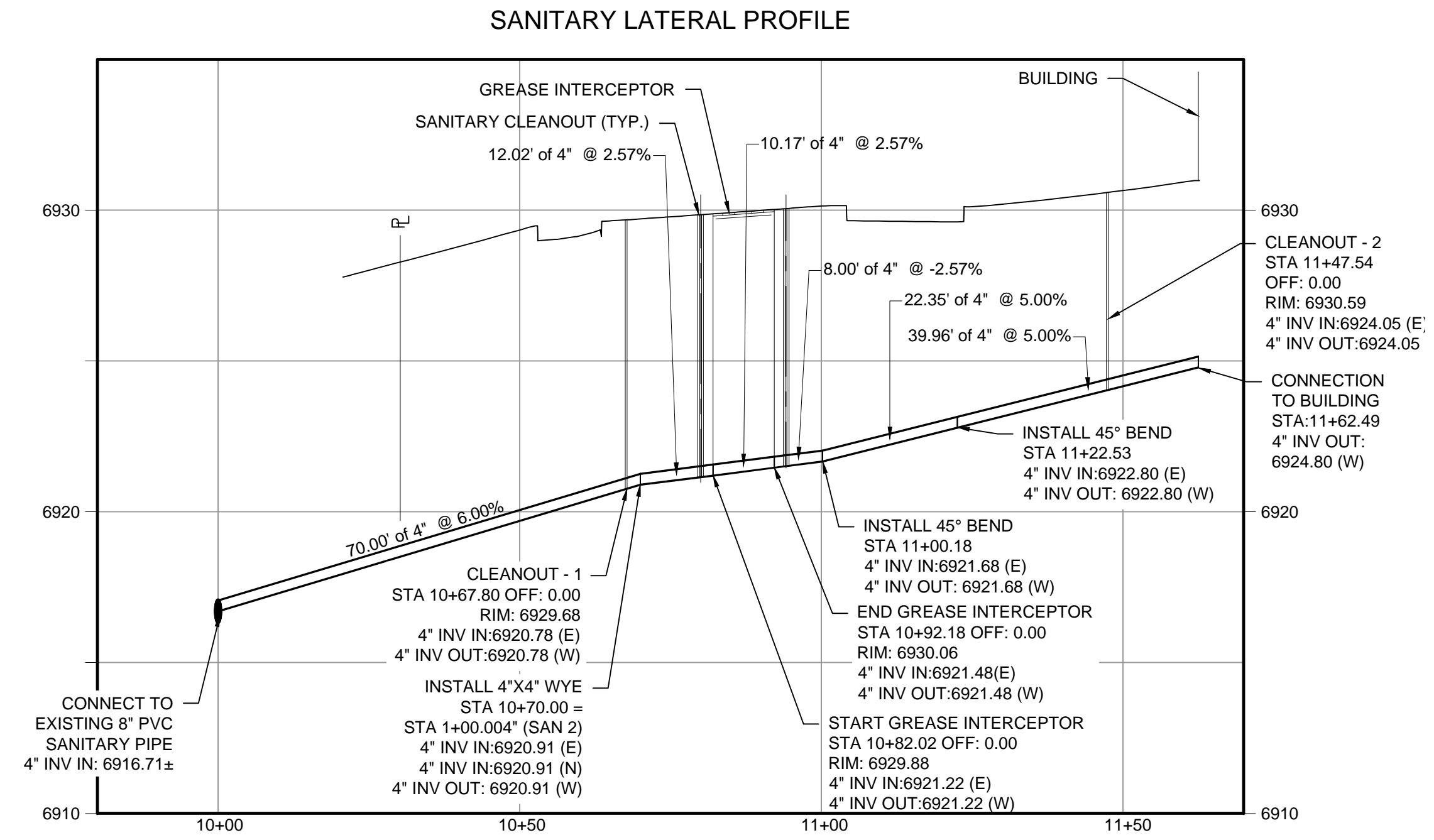
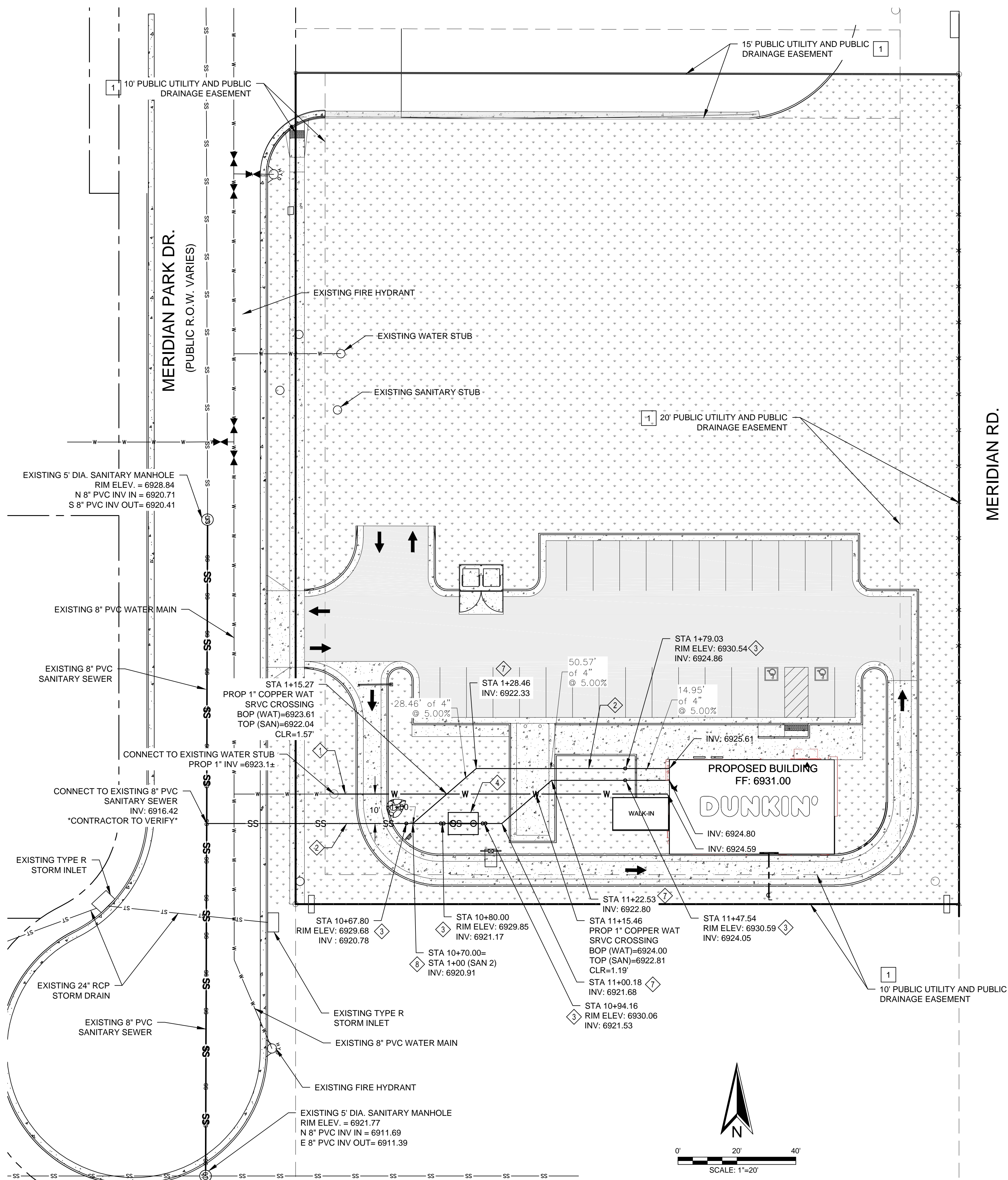
GRADING & DRAINAGE PLAN

DUNKIN' 8035 MERIDIAN PARK DRIVE
LOT 1A - BENT GRASS EAST COMMERCIAL FIL. NO. 2A
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DATE PREPARED: JUNE 2023
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CIVIL CONSULTANTS, INC.
212 N. WAHSATCH AVE., STE. 305
COLORADO SPRINGS, CO 80903
PHONE: 719.955.5485

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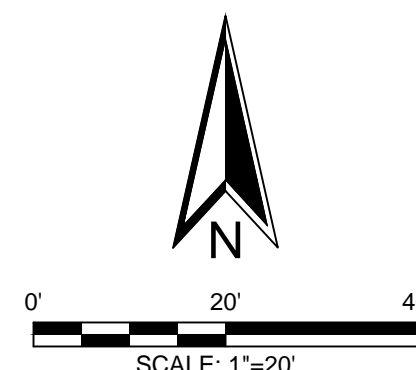
LEGEND

EXISTING	PROPOSED		
— — — — —	RIGHT-OF-WAY		PARKING / WALKWAY STRIPING
— — — — —	PROPERTY LINE		AC PAVEMENT
— — — — —	ELECTRICAL LINE		SIDEWALK
— — — — —	TELEPHONE LINE		LANDSCAPING
— — — — —	GAS LINE		CURB AND GUTTER
— — — — —	WATER LINE		ADA ACCESSIBLE PATHWAY
— — — — —	SEWER LINE		SEWER LATERAL
— — — — —	STORM DRAIN		WATER LATERAL
— — — — —	EXISTING MAJOR CONTOUR		GAS SERVICE LATERAL
— — — — —	EXISTING MINOR CONTOUR		ELECTRIC SERVICE
	SEWER MANHOLE		TELECOMMUNICATION SERVICE
	STORM MANHOLE		GRADE BREAK
	ELECTRICAL POLE		GRADING LIMITS
	ELECTRICAL BOX		6930 MAJOR CONTOUR
	ELECTRICAL METER		6929 MINOR CONTOUR
	COMMUNITY ANTENNA TELEVISION		
	SIGN POST		

- ### UTILITY NOTES
- INSTALL (N) 1-INCH TYPE-K COPPER WATER SERVICE PER WOODMEN HILLS METROPOLITAN DISTRICT W-36 (SEE SHEET 9).
 - INSTALL (N) 4" PVC SANITARY SEWER SERVICE PER WOODMEN HILLS METROPOLITAN DISCRICT DETAIL W-14 (SEE SHEET 9).
 - INSTALL (N) SEWER CLEANOUT PER WOODMEN HILLS METROPOLITAN DISTRICT WW-3 (SEE SHEET 9).
 - INSTALL (N) GREASE INTERCEPTOR PER WOODMEN HILLS METROPOLITAN DISTRICT DETAIL WW-12 (SEE SHEET 9).
 - INSTALL (N) UTILITY TRENCH PER WOODMEN HILLS METROPOLITAN DISCRICT DETAIL W-14 (SEE SHEET 9).
 - CONNECT TO EXISTING SANITARY MAIN.
 - INSTALL 45° BEND
 - INSTALL 4"x4" WYE

- ### UTILITIES NOTES
- ALL PROPOSED EASEMENT MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
 - THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
 - ALL UTILITIES BASED ON APPROVED PLANS FOR BENT GRASS EAST COMMERCIAL DEVELOPMENTS. CONTRACTOR TO CONFIRM AND VERIFY ALL ELEVATIONS PRIOR TO CONSTRUCTION.

EASEMENT DATA		
EASEMENT	USE	RECEPTION No.
1	DRAINAGE	214713554

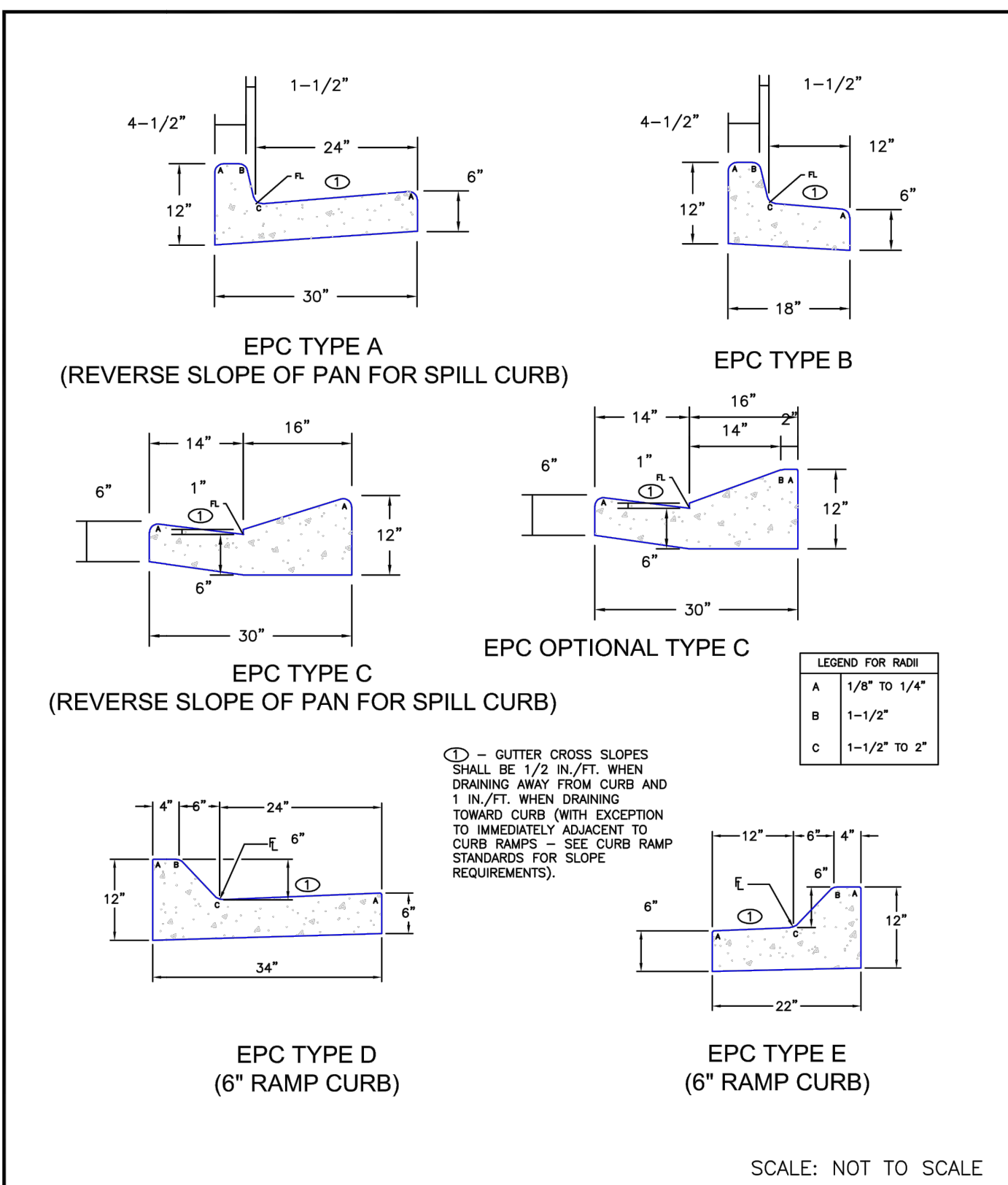


UTILITY PLAN
 DUNKIN' 8035 MERIDIAN PARK DRIVE
 LOT 1A - BENT GRASS EAST COMMERCIAL FIL. NO. 2A
 JOB NO.: 70-110
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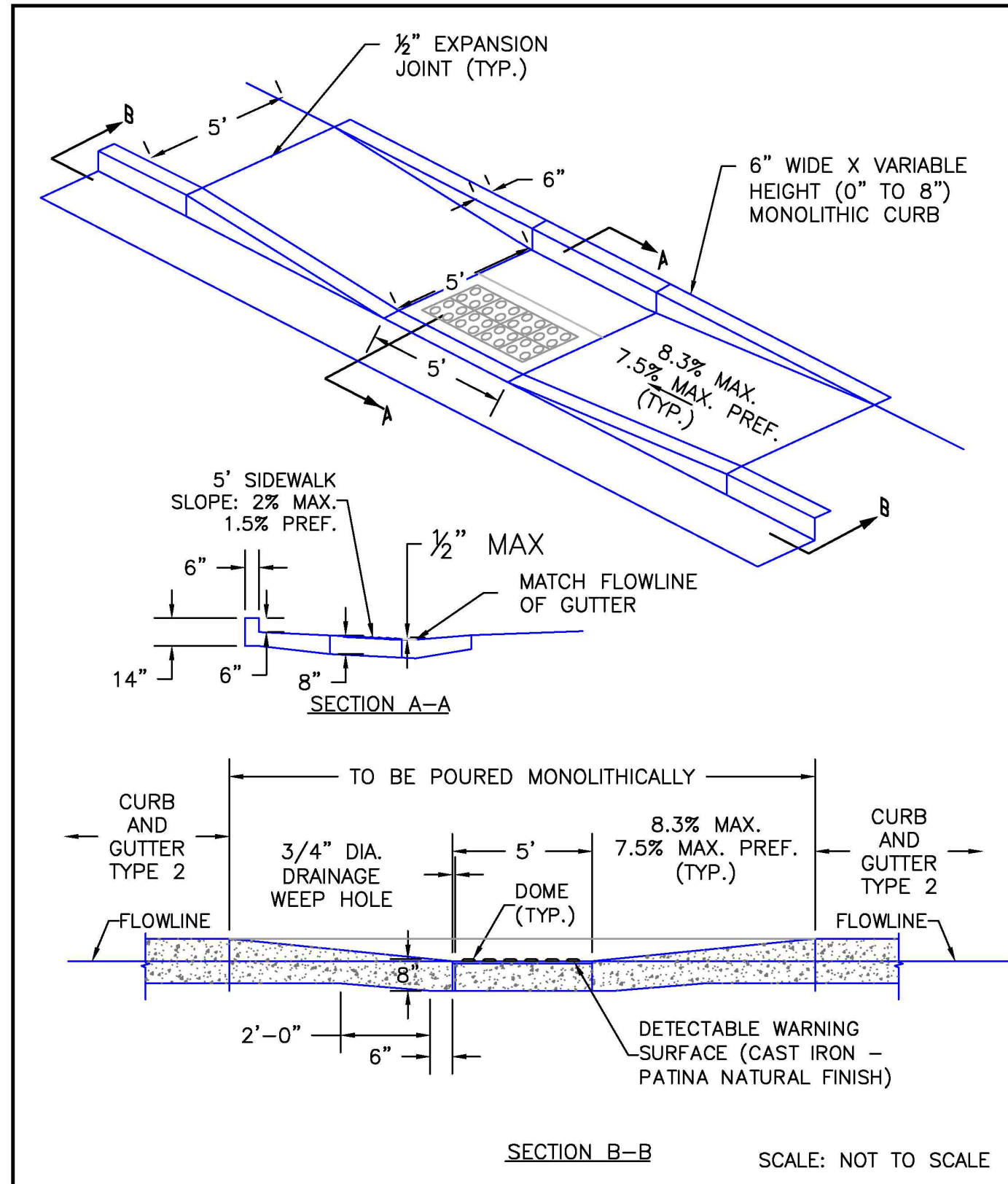


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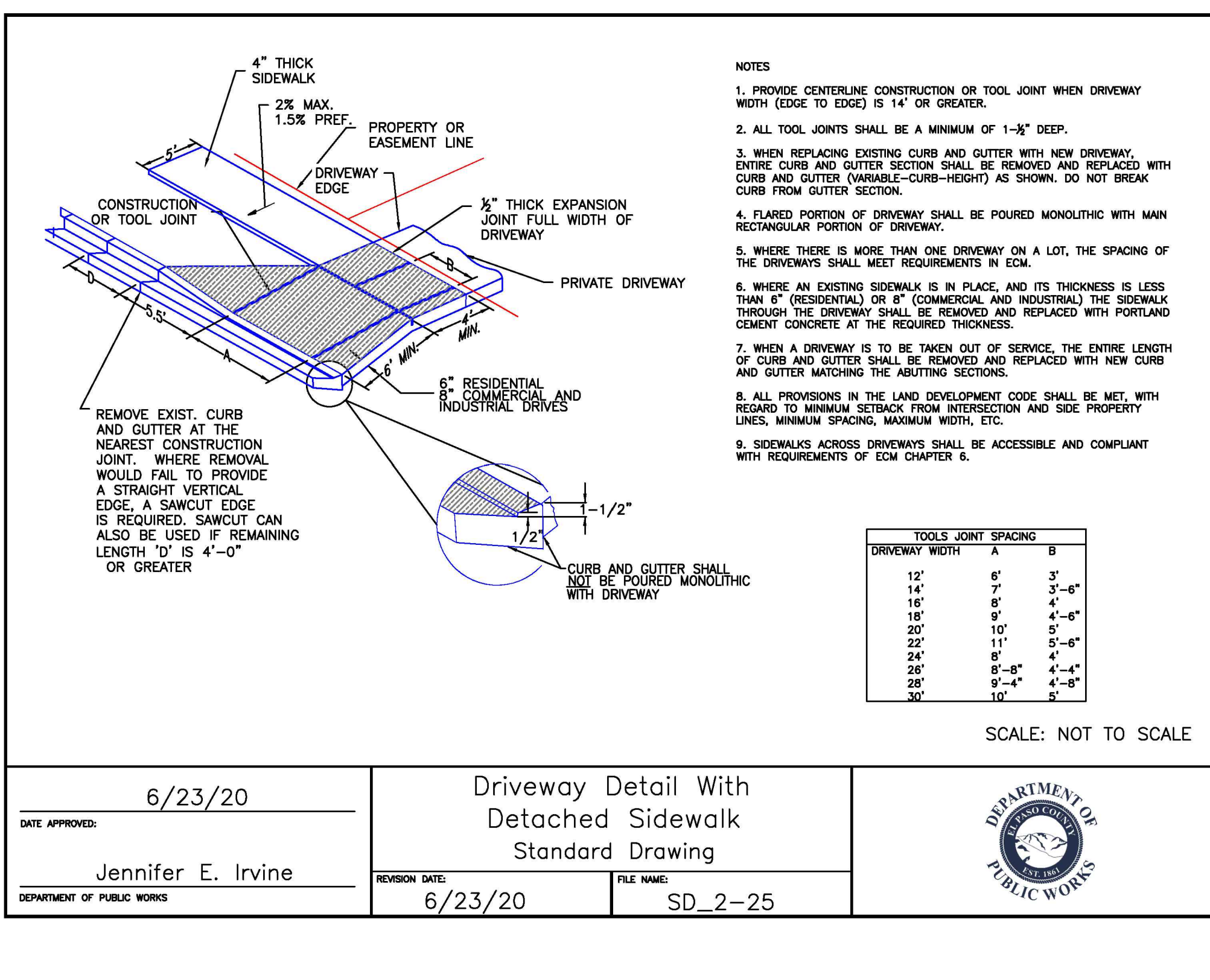
SHEET 5 OF 12



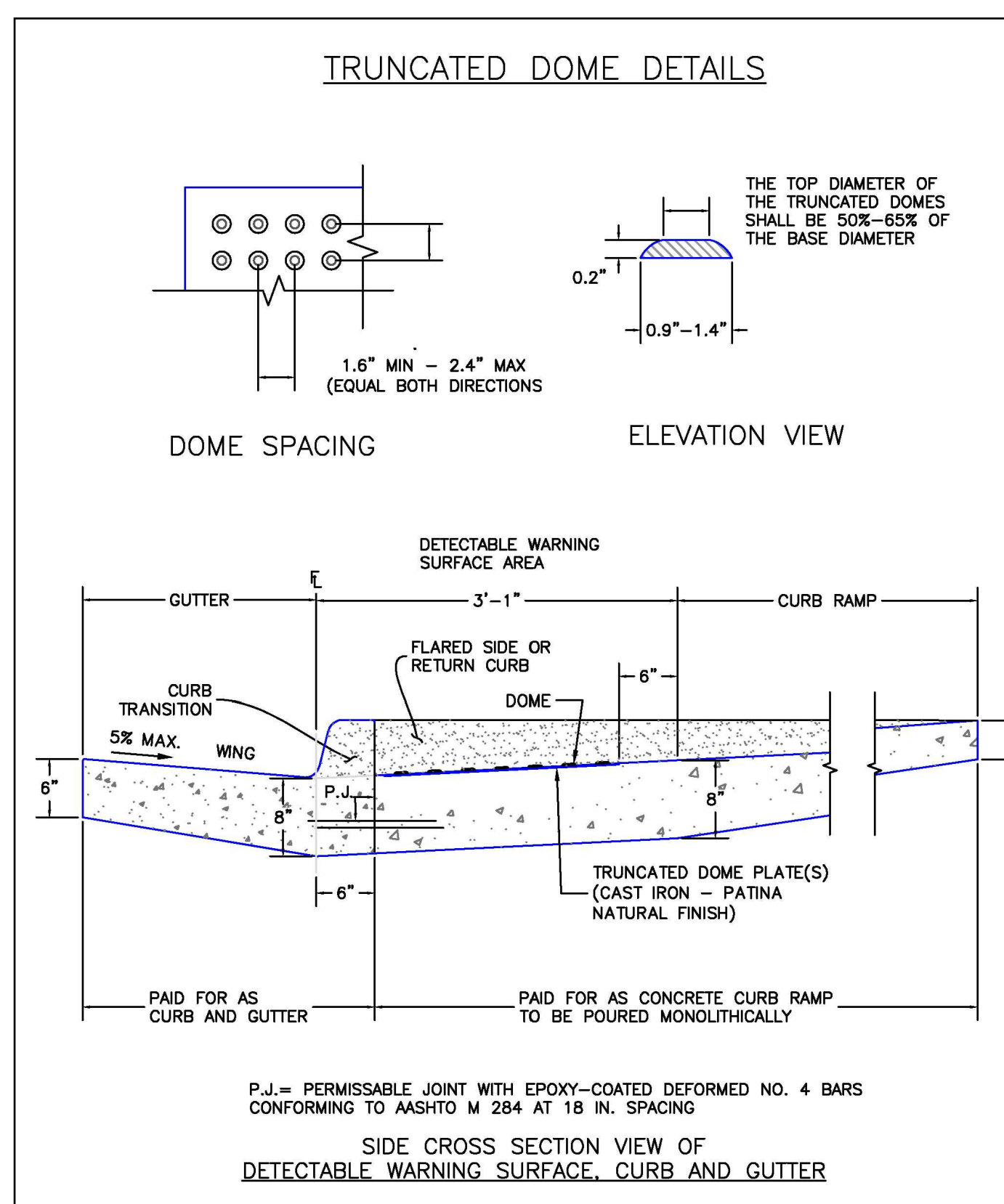
DATE APPROVED: 6/23/20	Typical Curb and Gutter Details	
Jennifer E. Irvine	Standard Drawing	
REVISION DATE: 6/23/20	FILE NAME: SD_2-20	



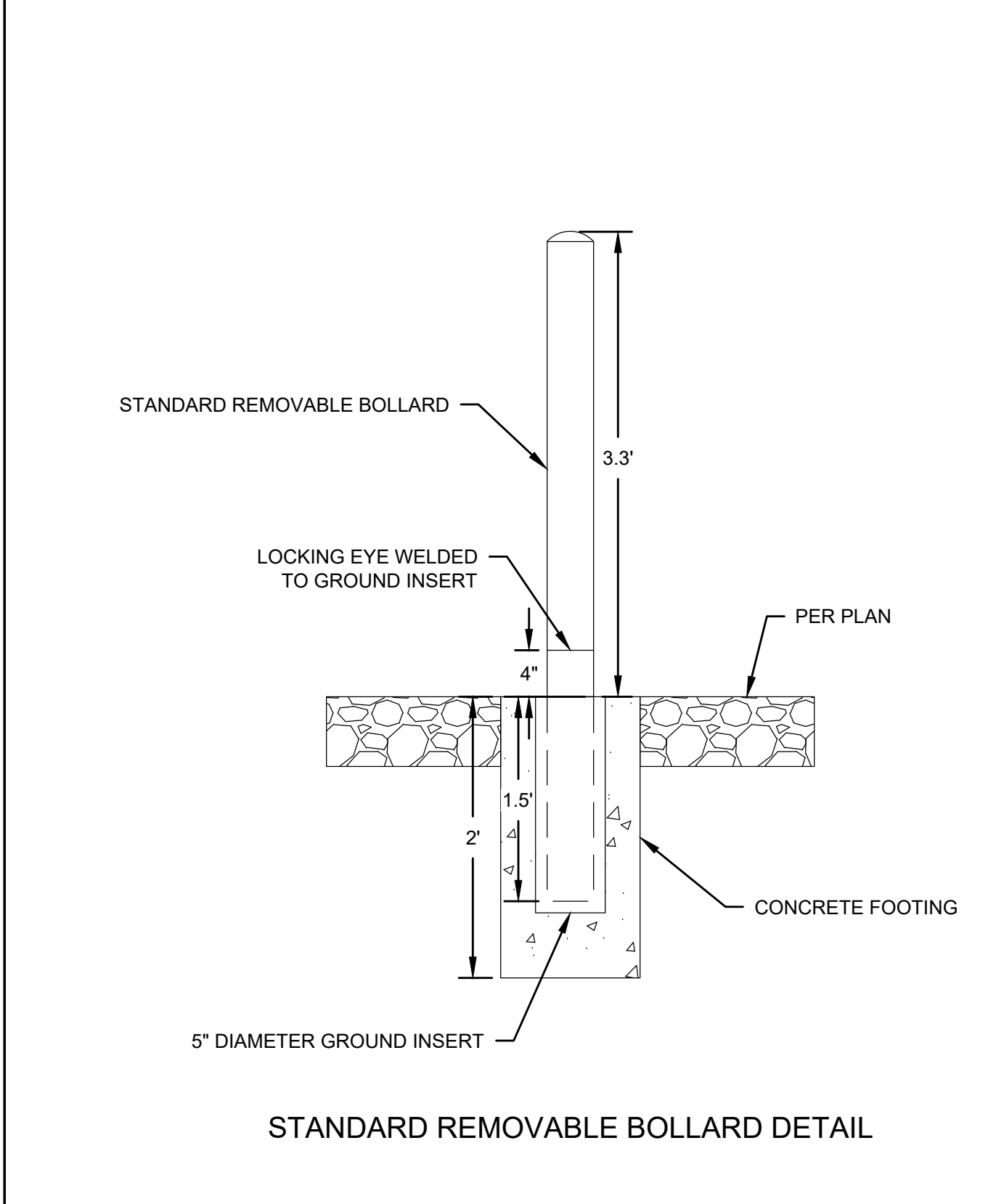
DATE APPROVED: 6/23/20	Parallel Pedestrian Curb Ramp Detail	
Jennifer E. Irvine	Standard Drawing	
REVISION DATE: 6/23/20	FILE NAME: SD_2-50	



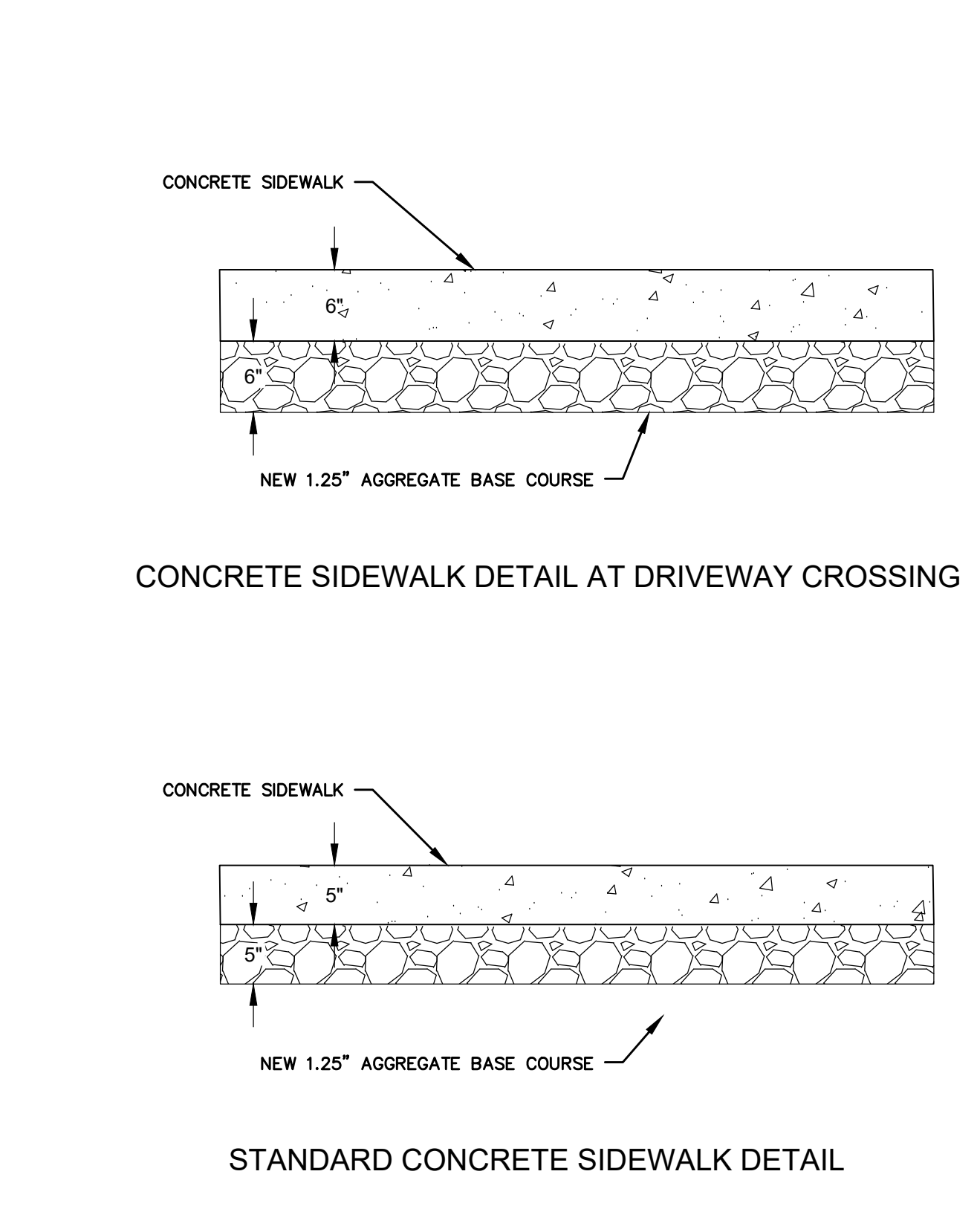
DATE APPROVED: 6/23/20	Driveway Detail With Detached Sidewalk	
Jennifer E. Irvine	Standard Drawing	
REVISION DATE: 6/23/20	FILE NAME: SD_2-25	



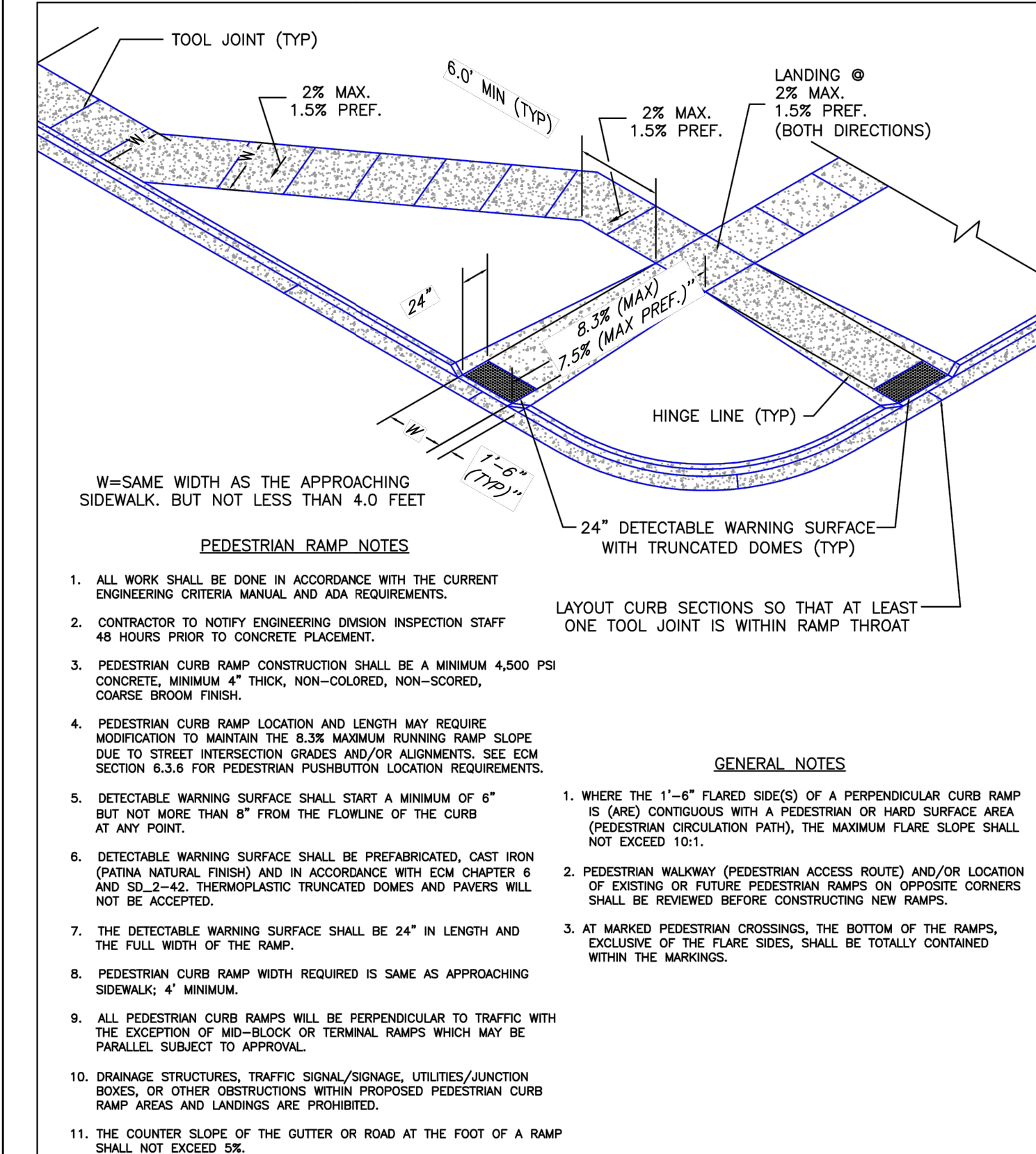
DATE APPROVED: 6/23/20	Detectable Warning Surface Details	
Jennifer E. Irvine	Standard Drawing	
REVISION DATE: 6/23/20	FILE NAME: SD_2-42	



DATE APPROVED: 6/23/20	Standard Removable Bollard Detail	
Jennifer E. Irvine	Standard Drawing	
REVISION DATE: 6/23/20	FILE NAME: SD_2-50	

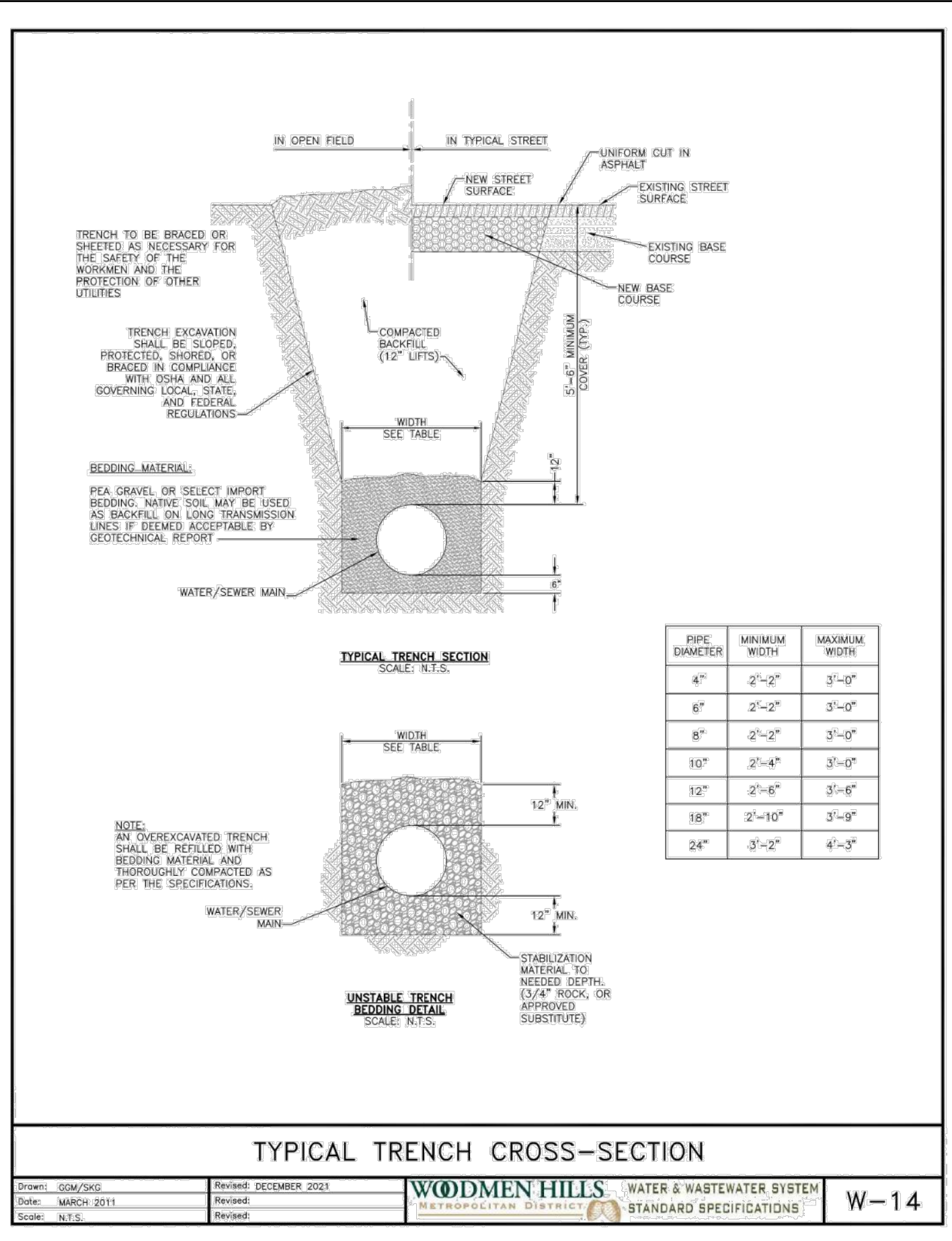


DATE APPROVED: 6/23/20	Concrete Sidewalk Details	
Jennifer E. Irvine	Standard Drawing	
REVISION DATE: 6/23/20	FILE NAME: SD_2-25	

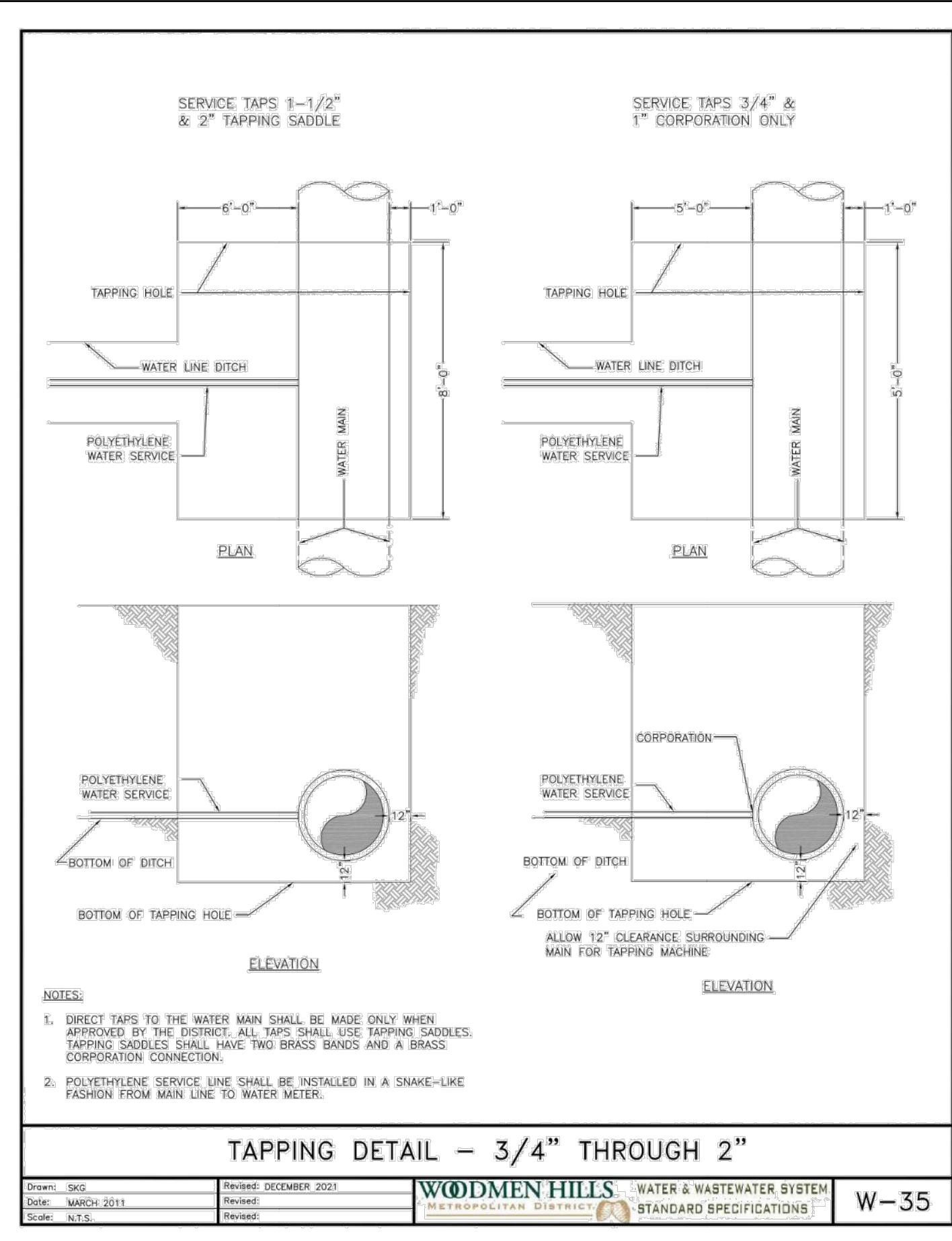


DATE APPROVED: 6/23/20	Pedestrian Curb Ramp Detail	
Jennifer E. Irvine	Standard Drawing	
REVISION DATE: 6/23/20	FILE NAME: SD_2-41	

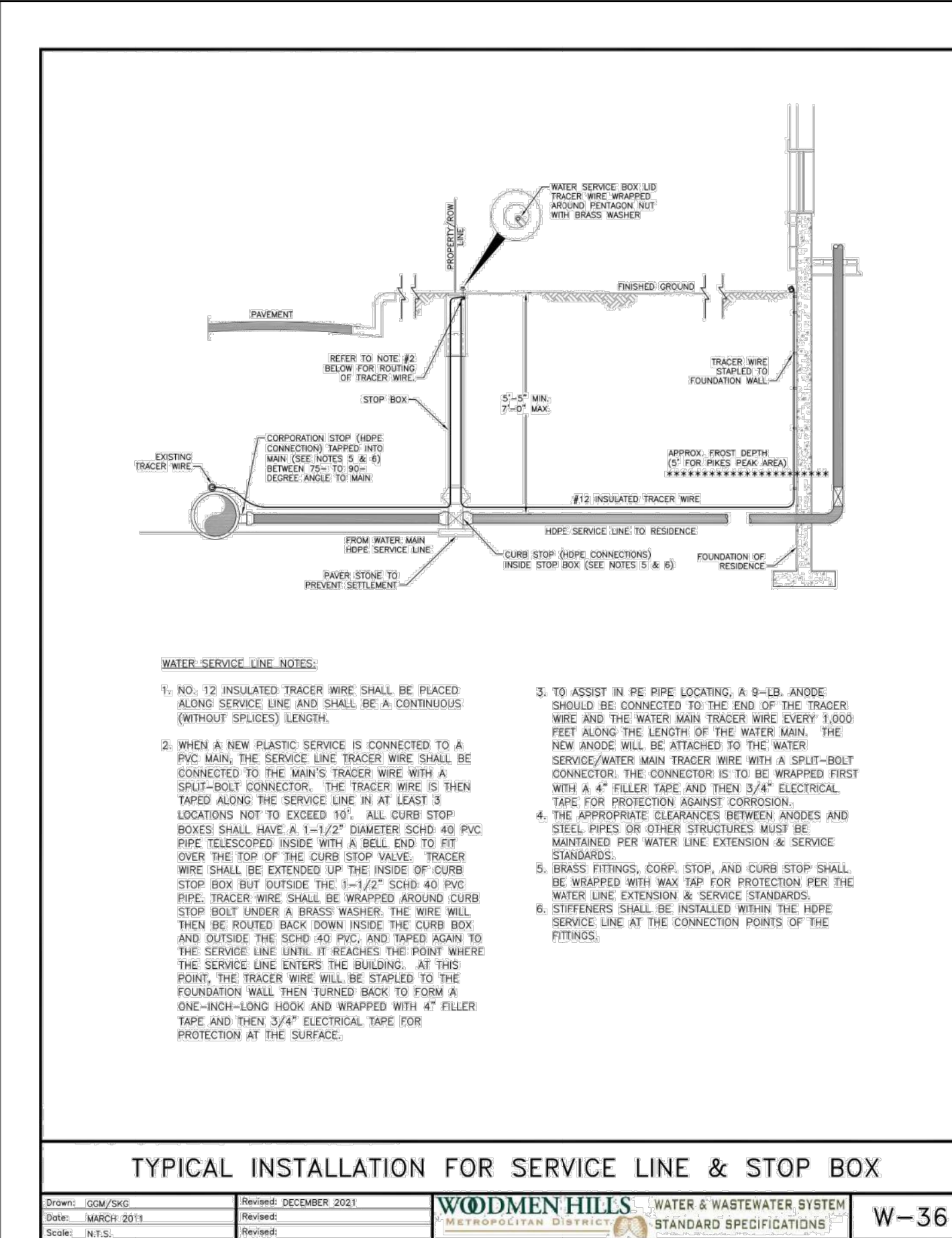




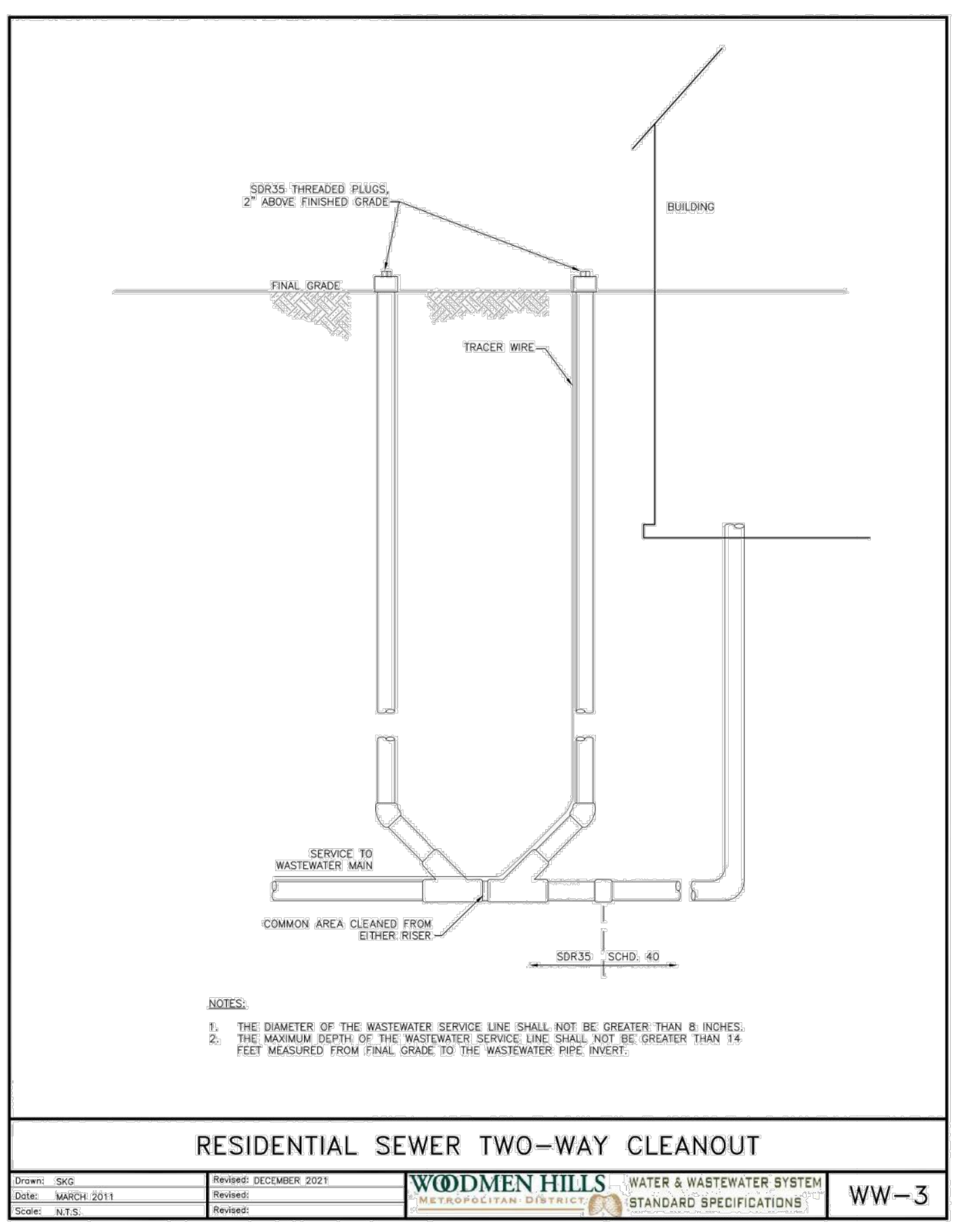
TYPICAL TRENCH CROSS-SECTION
 Drawn: GJM/SJS | Revised: DECEMBER 2022 | WOODMEN HILLS WATER & WASTEWATER SYSTEM | W-14
 Date: MARCH 2011 | Scale: N.T.S.



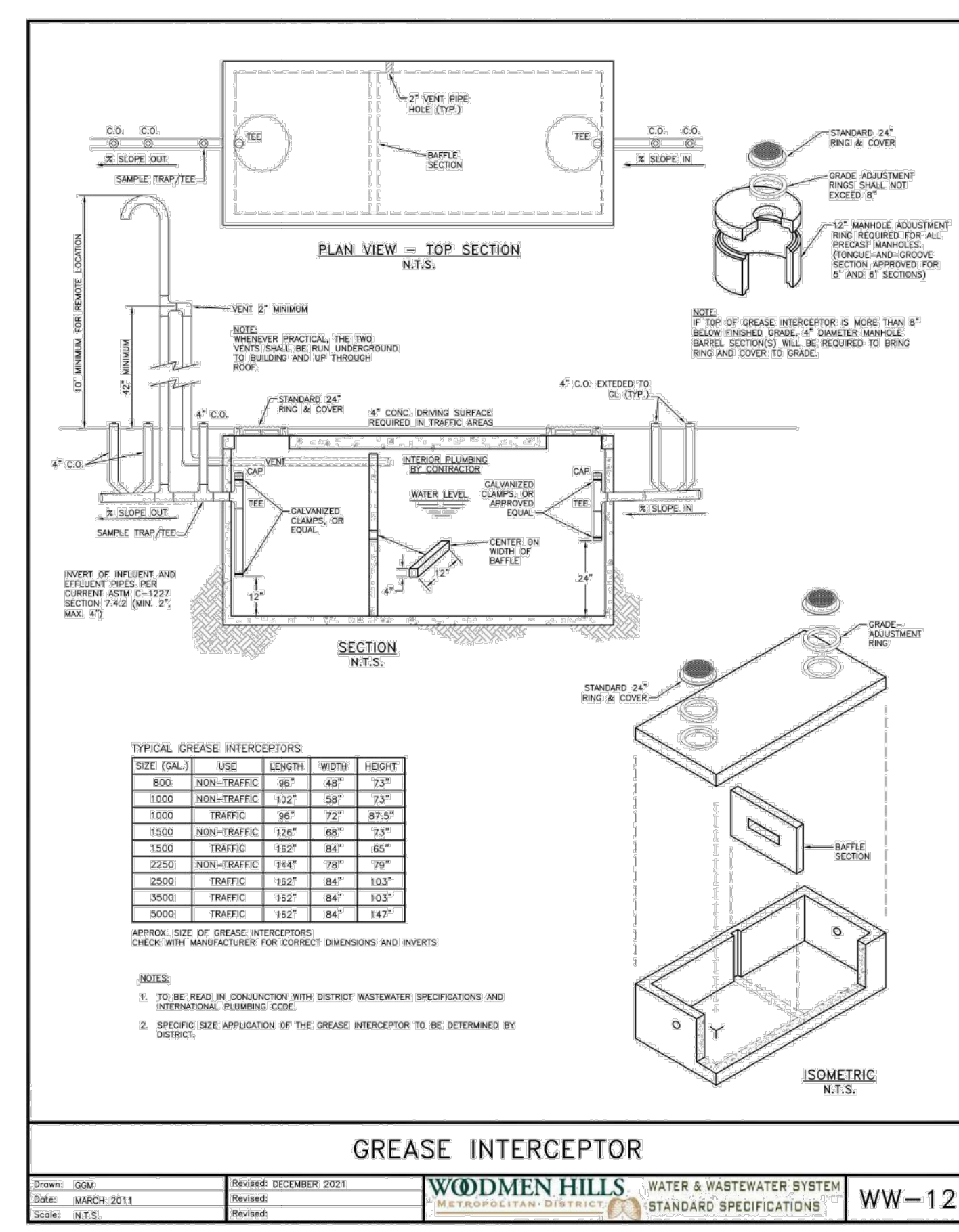
TAPPING DETAIL - 3/4" THROUGH 2"
 Drawn: SJS | Revised: DECEMBER 2022 | WOODMEN HILLS WATER & WASTEWATER SYSTEM | W-35
 Date: MARCH 2011 | Scale: N.T.S.



TYPICAL INSTALLATION FOR SERVICE LINE & STOP BOX
 Drawn: GJM/SJS | Revised: DECEMBER 2022 | WOODMEN HILLS WATER & WASTEWATER SYSTEM | W-36
 Date: MARCH 2011 | Scale: N.T.S.



RESIDENTIAL SEWER TWO-WAY CLEANOUT
 Drawn: SJS | Revised: DECEMBER 2022 | WOODMEN HILLS WATER & WASTEWATER SYSTEM | WW-3
 Date: MARCH 2011 | Scale: N.T.S.



GREASE INTERCEPTOR
 Drawn: SJS | Revised: DECEMBER 2022 | WOODMEN HILLS WATER & WASTEWATER SYSTEM | WW-12
 Date: MARCH 2011 | Scale: N.T.S.

SITE DETAILS

DUNKIN' 8035 MERIDIAN PARK DRIVE
 LOT 1A - BENT GRASS EAST COMMERCIAL FIL. NO. 2A
 JOB NO. 70-110
 DATE PREPARED: JUNE 2023
 DATE REVISED:

212 N. WAHSATCH AVE., STE 305
 COLORADO SPRINGS, CO 80903
 PHONE: 719.955.5485

CIVIL CONSULTANTS, INC. SHEET 7 OF 12

PLANT MATERIAL SCHEDULE:

SYMBOL	QTY	KEY	BOTANICAL NAME	COMMON NAME	MATURE WIDTH	PLANTING SIZE	NOTES
SHADE TREES							
	3	qr	QUERCUS RUBRA	NORTHERN RED OAK	40'-60'	2' CAL.	B & B
	2	af	ACER X FREMANII	AUTUMN BLAZE MAPLE	25'-30'	2' CAL.	B & B
	2	ta	TILIA AMERICANA	AMERICAN LINDEN	25'-30'	2' CAL.	B & B
ORNAMENTAL TREES							
	2	sm	MALUS SP. 'SPRINGSNOW'	SPRINGSNOW CRABAPPLE	15'-20'	2' CAL.	B & B
EVERGREEN TREES							
	7	js	JUNIPERUS SCOPULORUM 'SKYROCKET'	SKYROCKET JUNIPER	15'-20'	6' HT.	B & B
SHRUBS							
	10	sw	SPIREA JAPONICA 'ANTHONY WATERER'	ANTHONY WATERER SPIREA	3'-4'	5 GAL.	CONT.
	12	gc	RIBES AUREUM	GOLDEN CURRANT	3'-3-6"	5 GAL.	CONT.
	10	ac	RIBES ALPINUM	ALPINE CURRANT	3'-3-6"	5 GAL.	CONT.
	16	pm	PHYSOCARPUS MANOGYNUS	MOUNTAIN NINEBARK	3'-5'	5 GAL.	CONT.
	11	ea	EUONYMUS ALTATUS 'COMPACTA'	DWARF BURNING BUSH	4'-5'	5 GAL.	CONT.
ORNAMENTAL GRASS							
	37	ca	CALAMAGROSTIS ACUTIFLORA	FEATHER REED GRASS	2'-3'	5 GAL.	CONT.

LEGEND

NATIVE SEED:

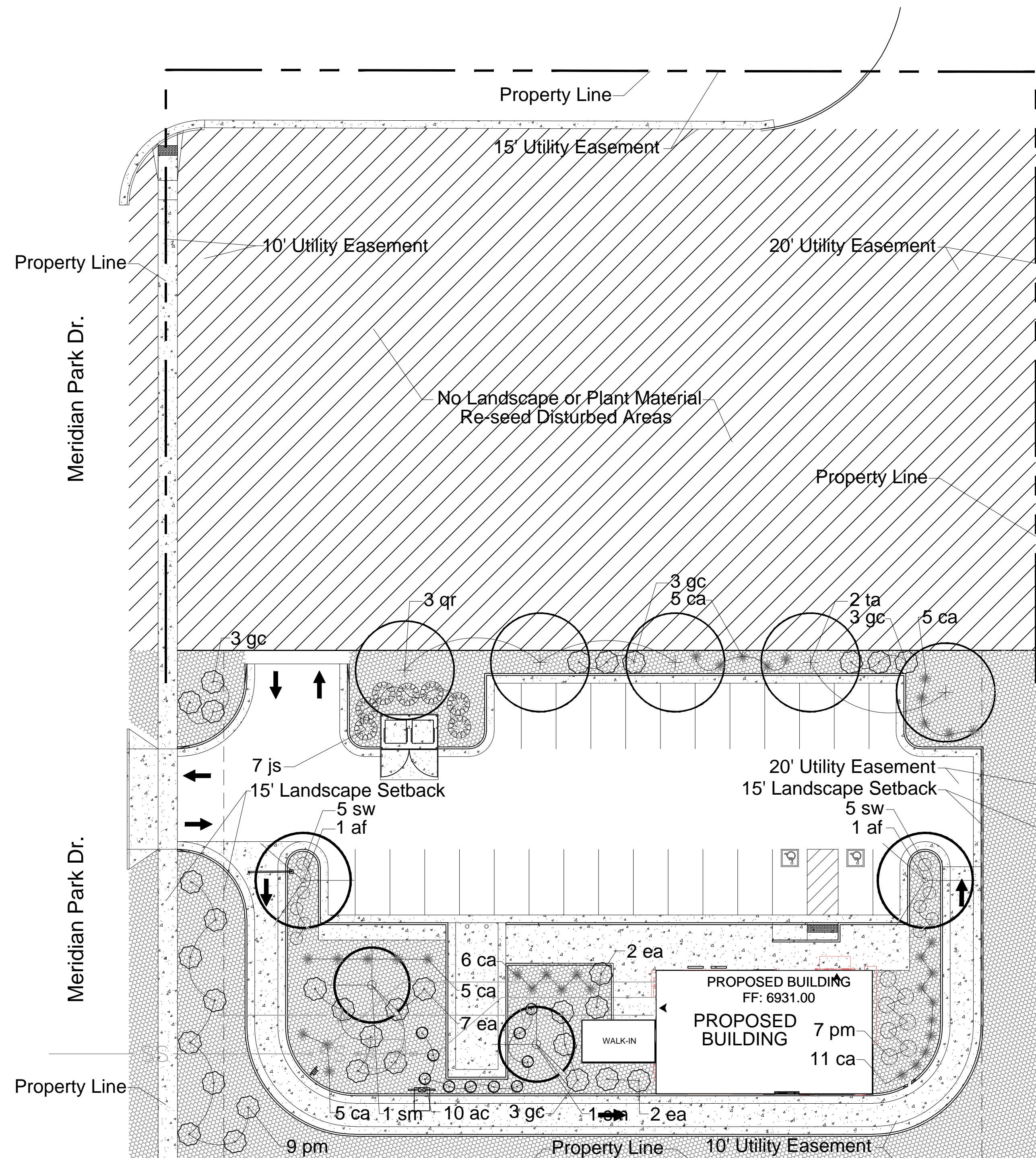
NATIVE SEED W/ EROSION CONTROL BLANKET (WHERE NECESSARY)
NOTE: EROSION CONTROL BLANKET TO BE INSTALLED WHERE APPLICABLE

MIX RATIO: SEEDING RATE - 20lbs/acre
 10% ALKALI SACATON - Sporobolus airoides
 10% INLAND SALTGRASS - Distichlis spicata
 10% NUTTALL'S ALKALIGRASS - Puccinellia nuttalliana
 10% PRAIRIE CORDGRASS - Spartina pectinata
 10% SLENDER WHEATGRASS - Elymus trachycaulus spp.
 10% WESTERN WHEATGRASS - Pascopyrum smithii
 10% FOWL MANNAGRASS - Glycyeria striata
 10% HARDSTEM BULRUSH - Scirpus acutus
 10% BALTIC RUSH - Juncus balticus
 10% CREEPING SPIKERUSH - Eleocharis palustris

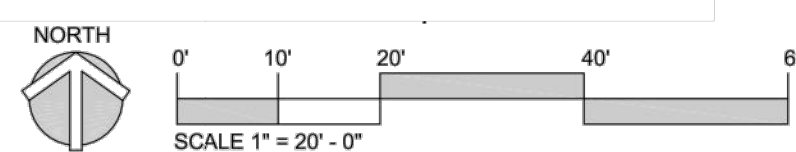
1-3" LOCAL RIVER ROCK:

GENERAL PLANTING NOTES:

- PRIOR TO BEGINNING ANY WORK ON THE SITE THE LANDSCAPE CONTRACTOR SHALL CONTACT THE OFFICE OF THE GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.
- LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICE NECESSARY TO FURNISH AND INSTALL PLANTINGS AND MATERIALS AS SPECIFIED HEREIN AND AS SHOWN ON PLANS.
- NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE LANDSCAPE ARCHITECTS APPROVAL IN WRITING. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED.
- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REVISE PLANT MATERIAL LIST AS DEEMED NECESSARY.
- ALL PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS.
- QUANTITIES OF MATERIALS SHOWN ON THE PLANTING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT MATERIAL SCHEDULE. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFY ALL QUANTITIES ON THE PLANTING PLAN(S).
- LANDSCAPE CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE COMMENCEMENT OF WORK. VERIFY EXACT LOCATION OF ALL UTILITIES BY CONTACTING APPROPRIATE UTILITY COMPANIES. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR / REPLACEMENT FOR ANY DAMAGE CAUSED TO UTILITIES.
- FINISH GRADE SHALL BE ADJUSTED FOR TURF THICKNESS.
- ALL PLANT MATERIALS SHALL HAVE BACKFILL, CAREFULLY PLACED AROUND BASE AND IDES OF BALL TO TWO-THIRDS (2/3) DEPTH OF BALL THEN THOROUGHLY SOAKED WITH WATER TO ALLOW SETTLEMENT. ALL WIRE, BURLAP FASTENERS, TOP ONE-THIRD (1/3) OF BURLAP AND LOOSE BURLAP SHALL BE REMOVED AT THIS TIME THE REMAINDER OF HE PIT SHALL THEN BE BACKFILLED, ALLOWING FOR THE DEPTH OF THE MULCH SAUCER AND SETTLEMENT OF BACKFILL. BACKFILL SHALL THEN BE THOROUGHLY WATERED ONCE AGAIN.
- AFTER PLANTING IS COMPLETED REPAIR INJURIES TO ALL PLANTS AS REQUIRED. LIMIT AMOUNT OF PRUNING TO A MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES. PRUNE IN SUCH A MANNER AS NOT TO CHANGE THE NATURAL GROWING HABIT OR SHAPE OF THE PLANT. MAKE ALL CUTS FLUSH, LEAVING NO STUBS. CENTRAL LEADERS SHALL NOT BE REMOVED. IF THE CENTRAL LEADER OF A PLANT IS DEAD THE PLANT SHALL BE REPLACED.
- PLANT SPECIFIED GROUND COVERS WITHIN ONE FOOT OF TRUNK OF TREES AND SHRUBS PLANTED WITHIN THE AREA. PLANTING ARRANGEMENTS SHALL BE TRIANGULAR WITH PROPER SPACING BETWEEN PLANTS.
- COMMERCIAL GRADE 3/16 INCH BY 4" POWDER COATED STEEL EDGING SHALL BE USED TO SEPARATE ALL TURF AREAS FROM PLANTING BEDS. PLACE EDGING FLUSH WITH GRADE AND STAKE TO GROUND PER MANUFACTURES RECOMMENDATIONS.
- LANDSCAPE CONTRACTOR TO PROVIDE THE LANDSCAPE CONTRACTOR A SAMPLE OF PROPOSED STEEL EDGING FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- USE SHREDDED CEDAR MULCH IN ALL PLANTING BEDS AND TREE SAUCERS. LANDSCAPE CONTRACTOR SHALL PROVIDE A 1 CUBIC FOOT SAMPLE OF PROPOSED MULCH TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
- PLACE FOUR INCHES OF MULCH IN ALL SHRUB BEDS, PLACE FOUR INCHES OF MULCH IN ALL GROUND COVER, PERENNIAL BEDS AND PLACE 4 INCHES OF MULCH AT ALL TREE SAUCERS.
- PLANTING BEDS RECEIVING MULCH MULCH ARE TO BE FREE OF WEEDS AND GRASS. TREAT BEDS WITH A PRE-EMMERGENT HERBICIDE PRIOR TO PLANTING AND MULCH PLACEMENT. DO NOT APPLY HERBICIDE IN PERENNIAL OR ANNUAL BEDS.
- LANDSCAPE CONTRACTOR TO REMOVE TREE STAKES AND ALL DEAD WOOD ON TREES AND SHRUBS ONE YEAR AFTER SUBSTANTIAL COMPLETION IS GRANTED ON THE COMPLETE PROJECT.
- REPORT ANY DISCREPANCIES IN THE PLANTING PLAN TO THE LANDSCAPE ARCHITECT PRIOR TO STARTING CONSTRUCTION.
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED BY AN UNDERGROUND AUTOMATIC UNDERGROUD IRRIGATION SYSTEM. WITH SEPARATE ZONES FOR TURF AND SHRUBS / TREES / GROUNDCOVER.
- IF TRANSFORMERS, GROUND MOUNTED HVAC EQUIPMENT, UTILITY PEDESTALS, ETC. ARE NOT SHOWN ON THE SITE IMPROVEMENT PLAN, ADDITIONAL LANDSCAPE/SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DISCOVERED VIA THE SITE INSPECTION BY STAFF, MADE PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY, OR FINAL INSPECTION AS APPLICABLE.



LANDSCAPE PLAN



IRRIGATION NOTE

AN IRRIGATION PLAN SHALL BE SUBMITTED AND REVIEWED CONCURRENT WITH BUILDING PERMIT SUBMITTAL AND APPROVED PRIOR TO ISSUANCE OF A BUILDING PERMIT AND BEFORE ANY IRRIGATION CONSTRUCTION.

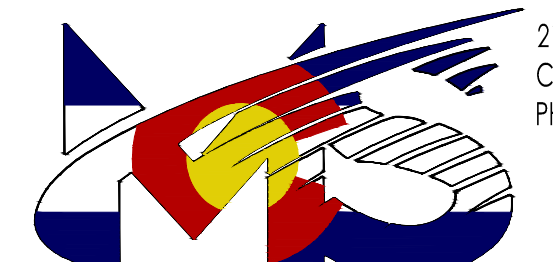
FINAL LANDSCAPE PLAN

DUNKIN' 8035 MERIDIAN PARK DRIVE
 LOT 1A - BENT GRASS EAST COMMERCIAL FIL. NO. 2A
 JOB NO. 70-110
 DATE PREPARED: JUNE 2023
 DATE REVISED:

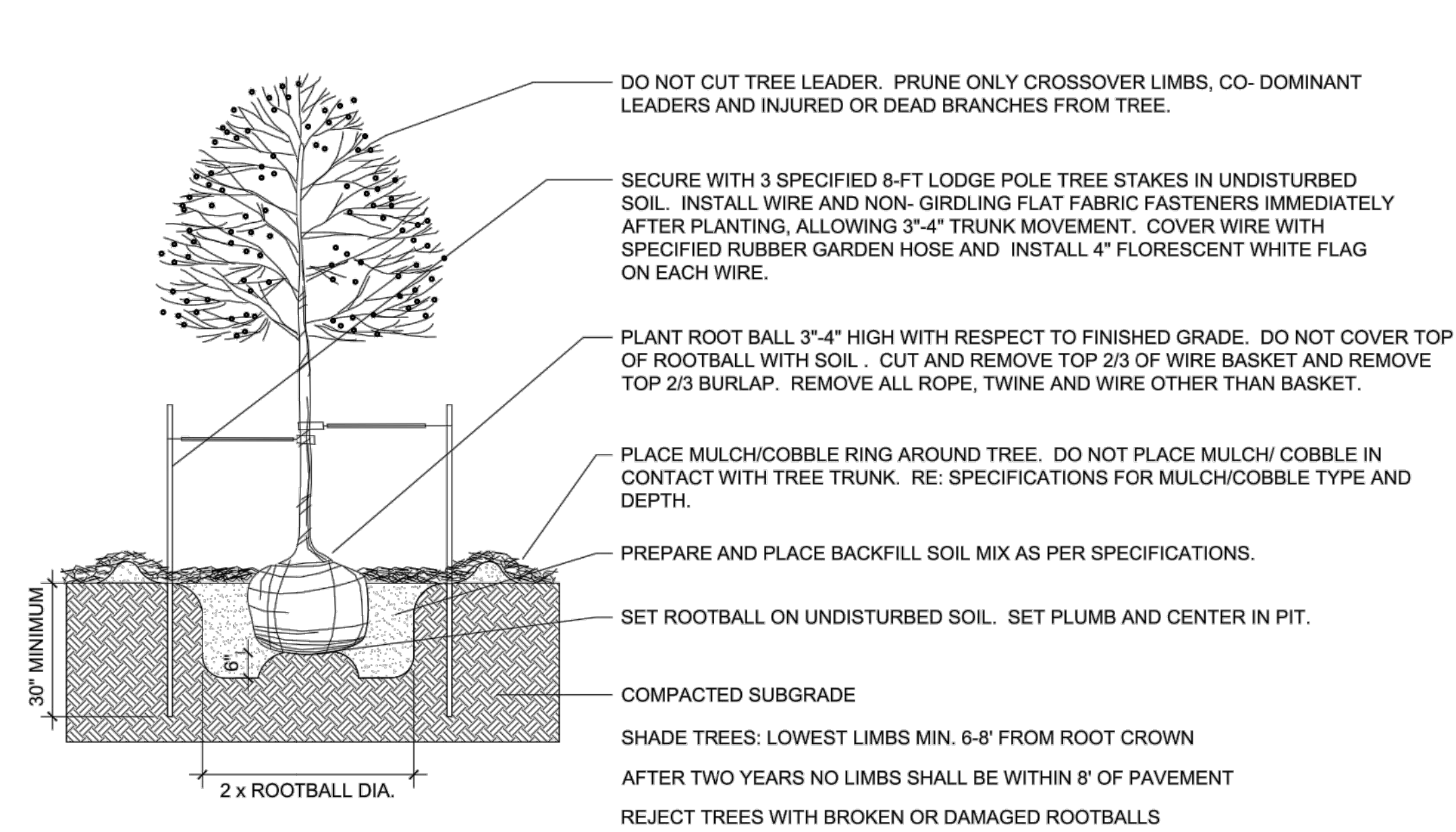
CITY FILE NO. PPR-22-027



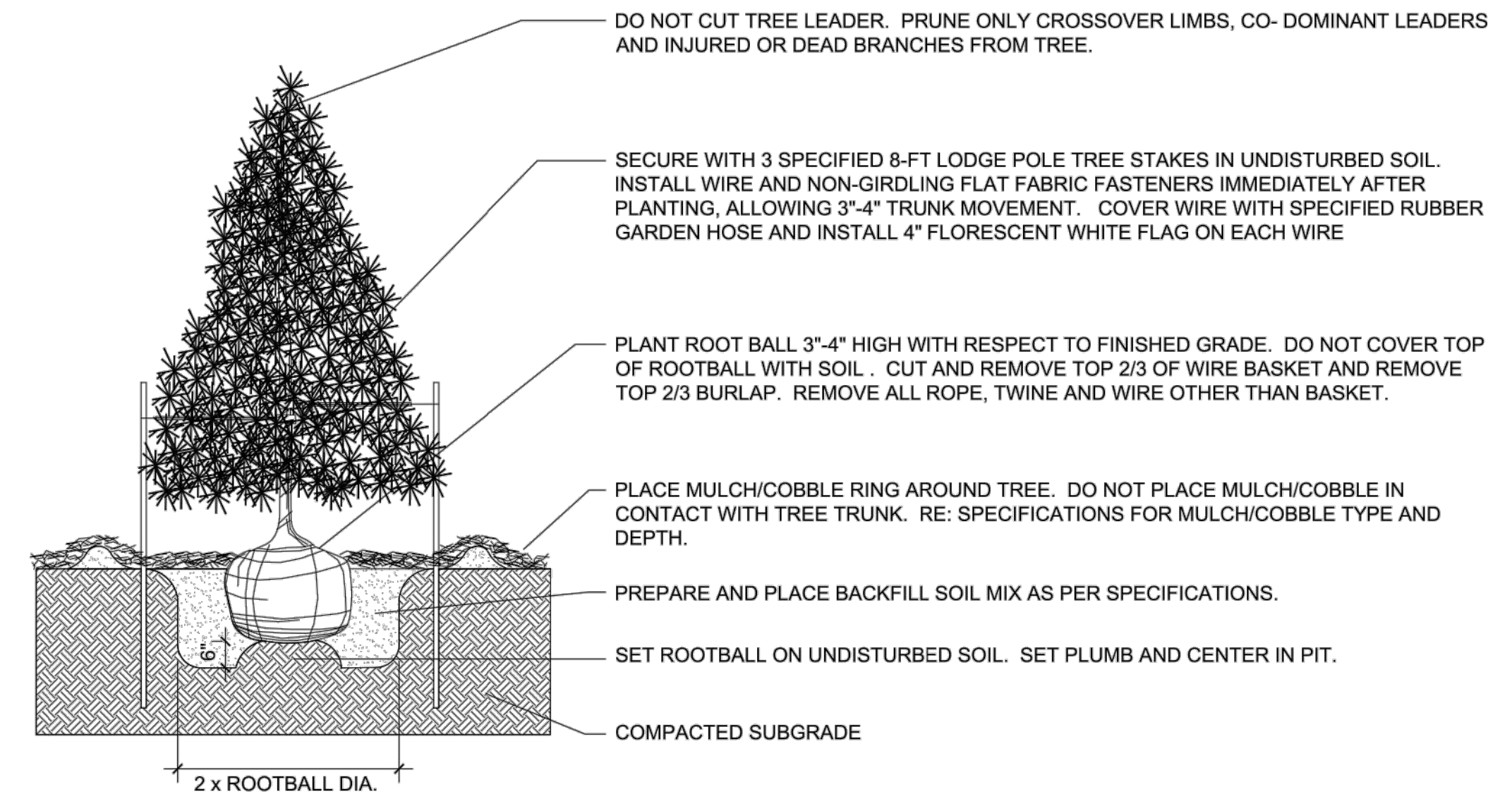
5839 south curtice street
 littleton, colorado 80120
 303.883.2736
 stacklot.com



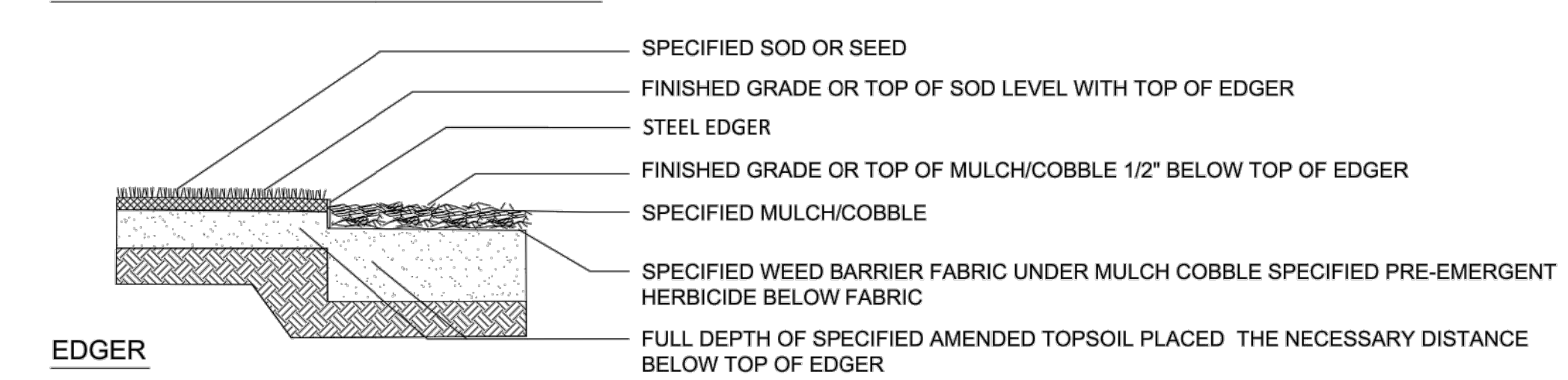
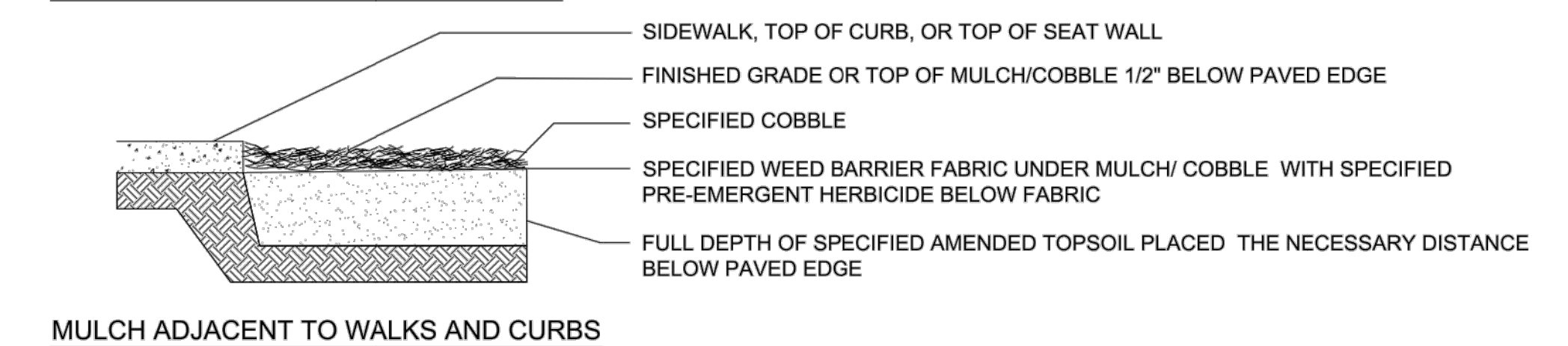
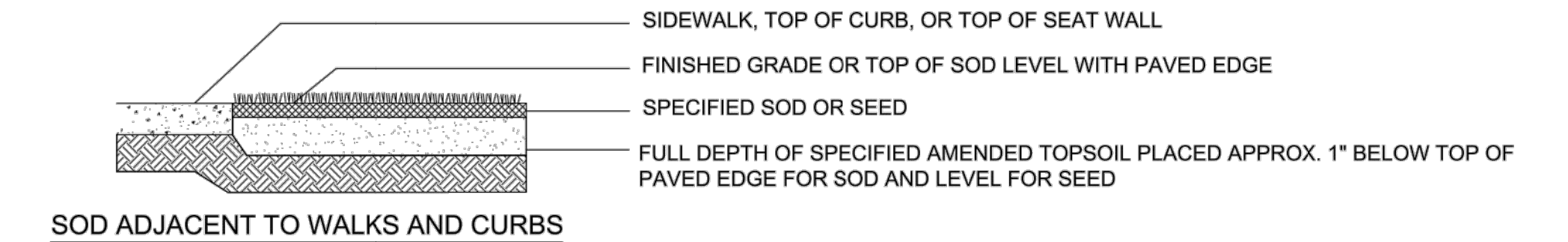
212 N. WAHSATCH AVE., STE 305
 COLORADO SPRINGS, CO 80903
 PHONE: 719.955.5485



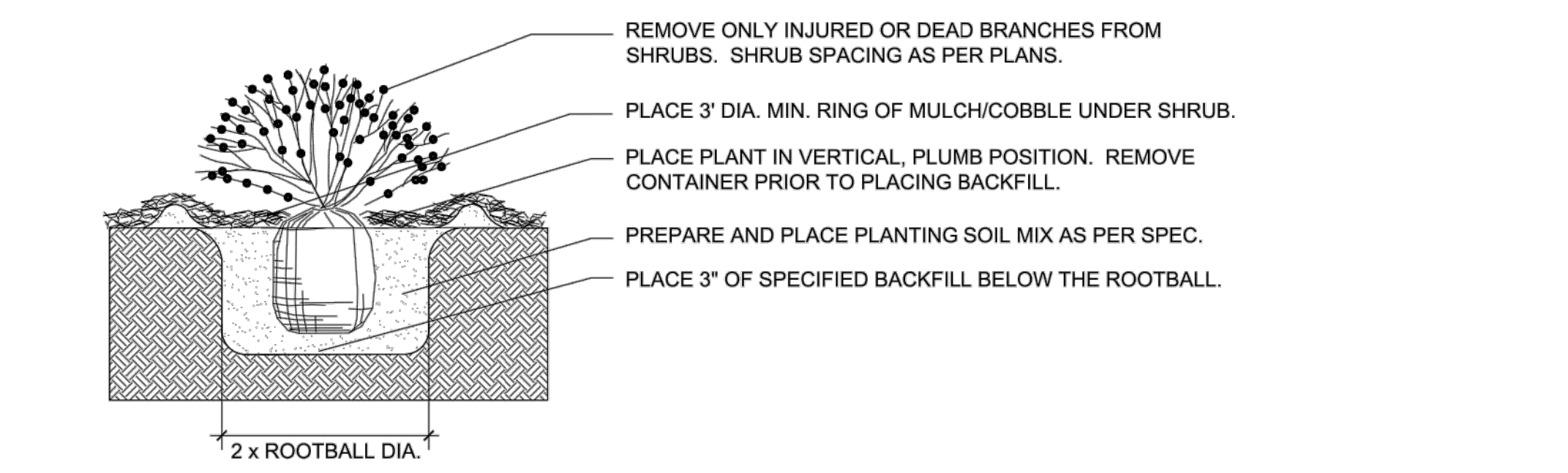
1 DECIDUOUS TREE NOT TO SCALE



2 EVERGREEN TREE PLANTING NOT TO SCALE



3 EDGE TREATMENT NOT TO SCALE



4 SHRUB PLANTING NOT TO SCALE

SOIL ANALYSIS CONTRACTOR REQUIREMENT

"THE REQUIRED SOIL ANALYSIS REPORT IS REQUIRED TO BE SUBMITTED AND APPROVED WITH THE IRRIGATION PLAN SUBMITTAL AND BEFORE ANY LANDSCAPE CONSTRUCTION. THIS WOULD INCLUDE COMPLETING THE SOIL SAMPLING AND SUBMITTING THE SAMPLES TO A SOILS LAB FOR TESTING. A SEPARATE LAB TEST REPORT AND SOIL PREPARATION RECOMMENDATIONS (AMENDMENT/FERTILIZER AMOUNTS AND APPLICATION RATES) FOR EACH TYPE OF PROPOSED LANDSCAPING (SHRUB BEDS/SOD/NATIVE SEED) WILL NEED TO BE PROVIDED TO CITY STAFF FOR REVIEW AND APPROVAL."

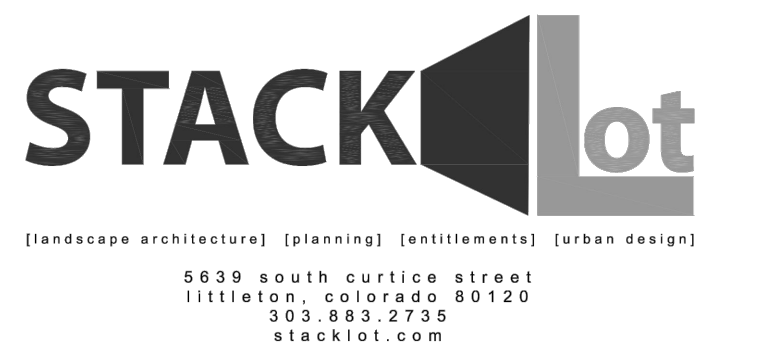
SOIL AMENDMENTS

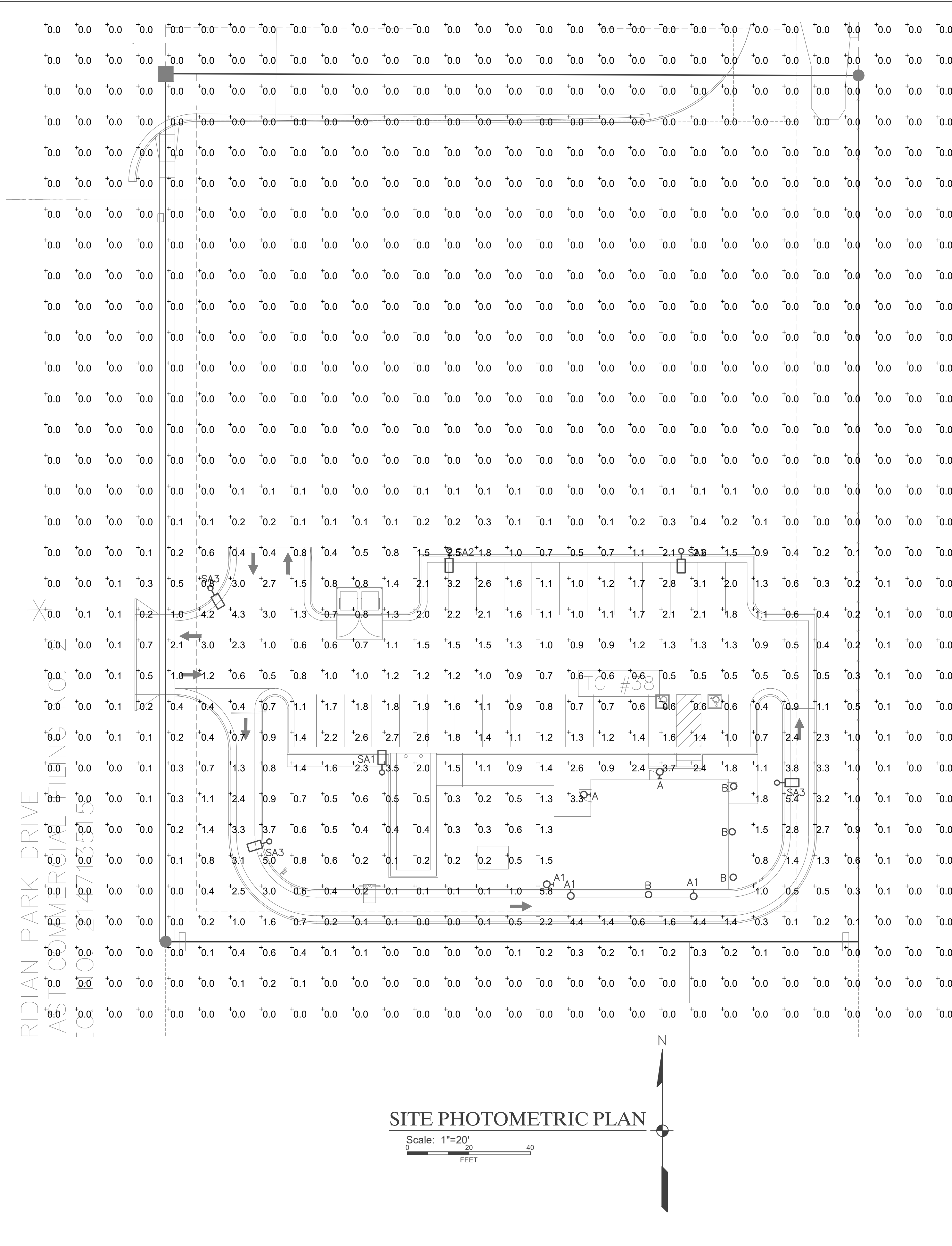
PRIOR TO PLANTING, ALL SITES FOR PLANTINGS SHALL INCORPORATE SOIL AMENDMENTS AT A RATE OF 3 CUBIC YARDS PER 1000 SQUARE FEET TO A MINIMUM DEPTH OF 6". A LESSER AMOUNT SHALL BE ALLOWED IF A SOIL TEST SHOWS THAT 3 CUBIC YARDS PER 1000 SQUARE FEET IS NOT NECESSARY FOR WATER RETENTION AND DEEP ROOTING OF PLANT MATERIALS. IF THE SPECIFIED PLANT MATERIAL REQUIRES LESS FERTILE SOIL, THOSE AREAS MAY HAVE LESS SOIL AMENDMENTS INSTALLED IF APPROVED BY THE COMMUNITY DEVELOPMENT DIRECTOR. THESE AREAS SHALL BE IDENTIFIED ON THE LANDSCAPE PLAN. EXISTING TOPSOIL SHALL BE SALVAGED AND STOCKPILED FOR USE AS SOIL AMENDMENTS OR TOPSOIL. NO TOPSOIL SHALL BE REMOVED FROM THE SITE UNLESS THE CITY APPROVES THE TRANSFER OF TOPSOIL TO A CITY-OWNED PARK OR OPEN SPACE AREA. A NOTE SHALL BE PLACED ON THE LANDSCAPE PLAN REFLECTING THE ABOVE REQUIREMENTS REGARDING SOIL AMENDMENTS AND TOPSOIL. EXAMPLES OF ACCEPTABLE SOIL AMENDMENTS INCLUDE COMPOST AND AGED MANURE. MOUNTAIN PEAT AND INORGANIC MATERIALS SUCH AS SAND, GYPSUM AND LIME ARE PROHIBITED SOIL AMENDMENTS. ALL SITES ARE SUBJECT TO INSPECTION BY THE CITY FOR COMPLIANCE WITH SOIL AMENDMENT REQUIREMENTS.

LANDSCAPE DETAILS

DUNKIN' 8035 MERIDIAN PARK DRIVE
 LOT 1A - BENT GRASS EAST COMMERCIAL FIL. NO. 2A
 JOB NO. 70-110
 DATE PREPARED: JUNE 2023
 DATE REVISED:

CITY FILE NO. PPR-22-027

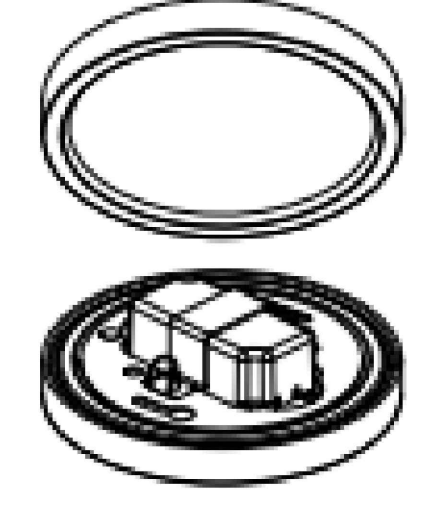




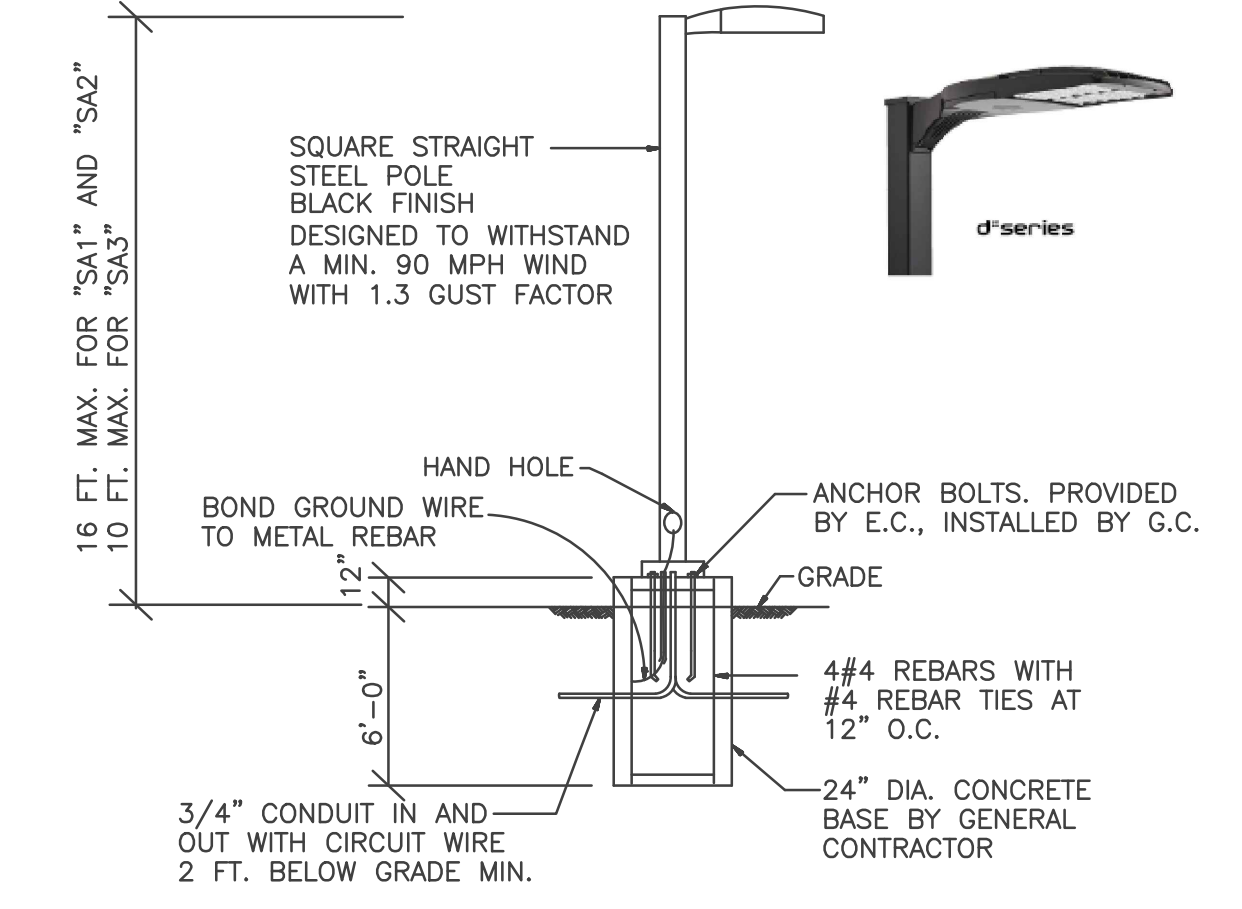
FIXTURE 'A1'



FIXTURE 'A'



FIXTURE 'B'



POLE MOUNTED FIXTURES INSTALLATION DETAIL
FOR FIXTURES "SA1", "SA2" AND "SA3"
NO SCALE

SITE PHOTOMETRIC SUMMARY
 AVERAGE = 0.3 FT. CANDLE
 MAXIMUM = 5.8 FT. CANDLE
 MINIMUM = 0.0 FT. CANDLE

LIGHTING FIXTURE SCHEDULE

ITEM	NO.	MANUFACTURER	CAT. NO.	LAMPS	MOUNTING	DESCRIPTION
A	2	LITHONIA LIGHTING	WPX1 LED P2 40K MVOLT DDBXD	24 WATT 3000K LED 2,900 LUMENS	WALL +14 FT	EXTERIOR WALL MOUNTED CUT OFF LIGHT
A1	3	LITHONIA LIGHTING	WDGE1 LED P1 30K VW MVOLT	11 WATT 3000K LED 1200 LUMENS	WALL +9 FT	EXTERIOR WALL MOUNTED CUT OFF LIGHT
B	4	LIGHTOLIER	SSR-840K-7	10 WATT 3000K LED 650 LUMENS	UNDER SOFFIT +8 FT	5" THIN SURFACE LED DOWN LIGHT
SA1	1	LITHONIA LIGHTING	DSX1 LED P1 40K T3M-MVOLT-SPA-HSS-DBLBXD	54 WATT 3000K LED 6,967 LUMENS	16 FT POLE	SINGLE HEAD FULL CUT OFF POLE LIGHT ON SQUARE POLE, MOUNTED AT 16 FT ABOVE GRADE TO TOP OF FIXTURE, TYPE III OPTICS, HOUSE SIDE SHIELD
SA2	2	LITHONIA LIGHTING	DSX1 LED P1 40K T4M-MVOLT-SPA-HSS-DBLBXD	54 WATT 3000K LED 6,967 LUMENS	16 FT POLE	SINGLE HEAD FULL CUT OFF POLE LIGHT ON SQUARE POLE, MOUNTED AT 16 FT ABOVE GRADE TO TOP OF FIXTURE, TYPE IV OPTICS, HOUSE SIDE SHIELD
SA3	3	LITHONIA LIGHTING	DSX0 LED P1 40K T3M-MVOLT-SPA-DBLBXD	38 WATT 3000K LED 4,700 LUMENS	10 FT POLE	SINGLE HEAD FULL CUT OFF POLE LIGHT ON SQUARE POLE, MOUNTED AT 10 FT ABOVE GRADE TO TOP OF FIXTURE, TYPE III OPTICS

SITE PHOTOMETRIC PLAN

Scale: 1"=20'
0 20 40
FEET



RIDIAN PARK DRIVE
AST COMMERCIAL FILING NO. 214713555

Client: CD BENT GRASS LLC
 106 S. KYRENE RD.
 CHANDLER, AZ 85226
 PHONE:
 ATTN: B. HAYENGA

DATE: 03/18/22
 09/30/22

DESCRIPTION: INITIAL SUBMITTAL
 REVISED PER COUNTY COMMENTS

NO. 1

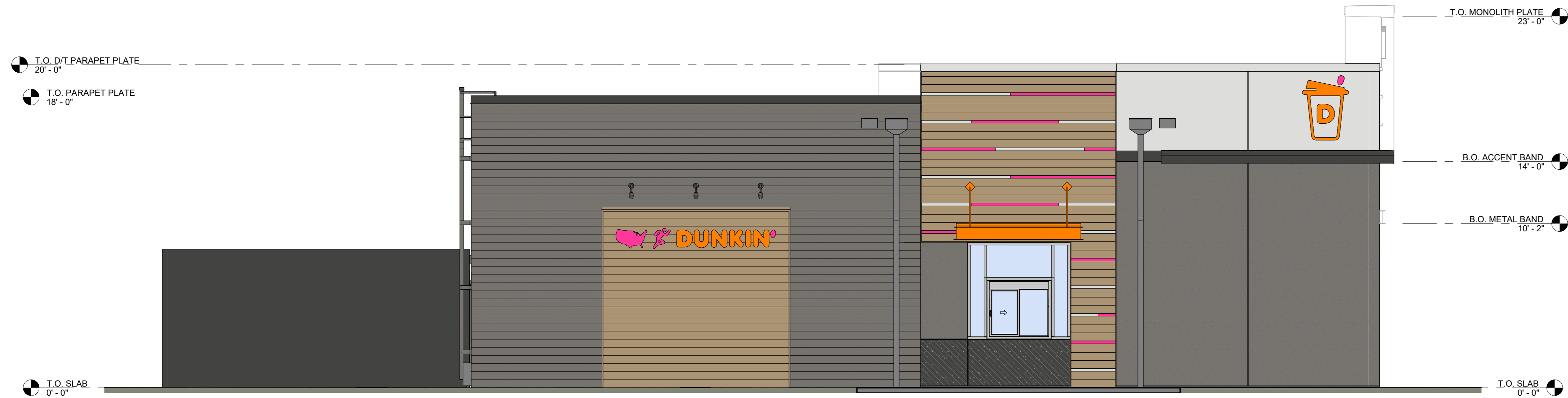
PHOTOMETRIC PLAN
 DUNKIN BENT GRASS
 SITE DEVELOPMENT PLAN
 LOT 1A, BENT GRASS EAST COMMERCIAL FILING NO. 2A,
 LOCATED IN TOWN OF PEYTON,
 COUNTY OF EL PASO, STATE OF COLORADO

WC Civil Team: Date: 2022/03/04
 TS, LP
 Engineering No: Scale:
 AS NOTED

Sheet No.: 10

PERMIT NO.:





1 EXTERIOR ELEVATION - SOUTH
1/4" = 1'-0"



2 EXTERIOR ELEVATION - WEST
1/4" = 1'-0"

CITY SIGN CODE	
EL PASO COUNTY, CO LAND DEVELOPMENT CODE	
6.2.10 SIGNS, ON-REMISE	
(2) COMMERCIAL AND INDUSTRIAL ZONING DISTRICTS, (c) ATTACHED SIGNS	
(i) Maximum Sign Area Per Building Wall. The total area of attached signs per building wall including wall signs, fascia signs, awning signs, canopy signs, hanging and projecting signs shall conform to the following requirements:	
• Building Walls within 300 Feet of Lot Line in Commercial Zoning Districts or Industrial Zoning Districts. For building walls located within 300 feet of a lot, parcel, or tract line in commercial or industrial zoning districts, 1½ square feet of attached signage is allowed per linear foot of building wall, or 300 square feet, whichever is less.	
NORTH FACADE (ENTRY)	
PROPOSED: 32.2 SQFT	ALLOWED: 84 SQFT
SOUTH FACADE (DRIVE-THRU)	
PROPOSED: 19.31 SQFT	ALLOWED: 84 SQFT
EAST FACADE	
PROPOSED: 12.2 SQFT	ALLOWED: 48 SQFT
WEST FACADE (SERVICE)	
PROPOSED: 0 SQFT	ALLOWED: 48 SQFT


 Quick Service Restaurant | Retail
Design Group, LLC
584 Bellerive Road, Suite 3D Annapolis, MD 21409
 Ph. No. (301) 364-9880



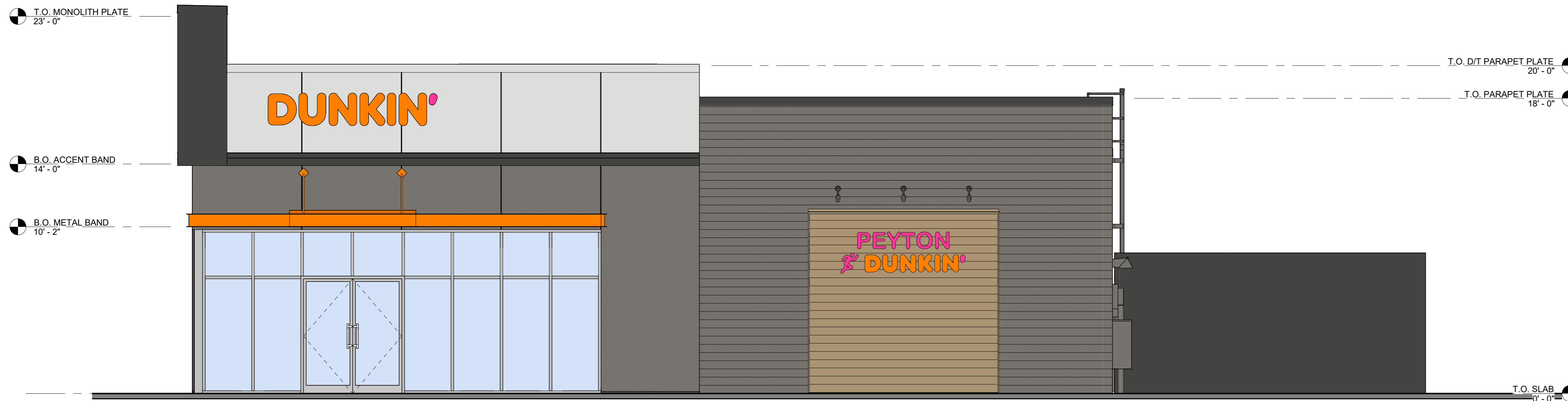


FLAVOR PALETTE
 COOL
 STORE NUMBER
 STORE # 363940

REVISION		
No.	Date	Description
1	1/29/24	SIGNAGE REQUIREMENTS

DUNKIN' NEW BUILD
 8090 MERIDIAN ROAD
 PEYTON, CO 80831
PRELIMINARY LAYOUT | SCALE: As indicated

SHEET No:
EER 1
DATE: 1/29/24



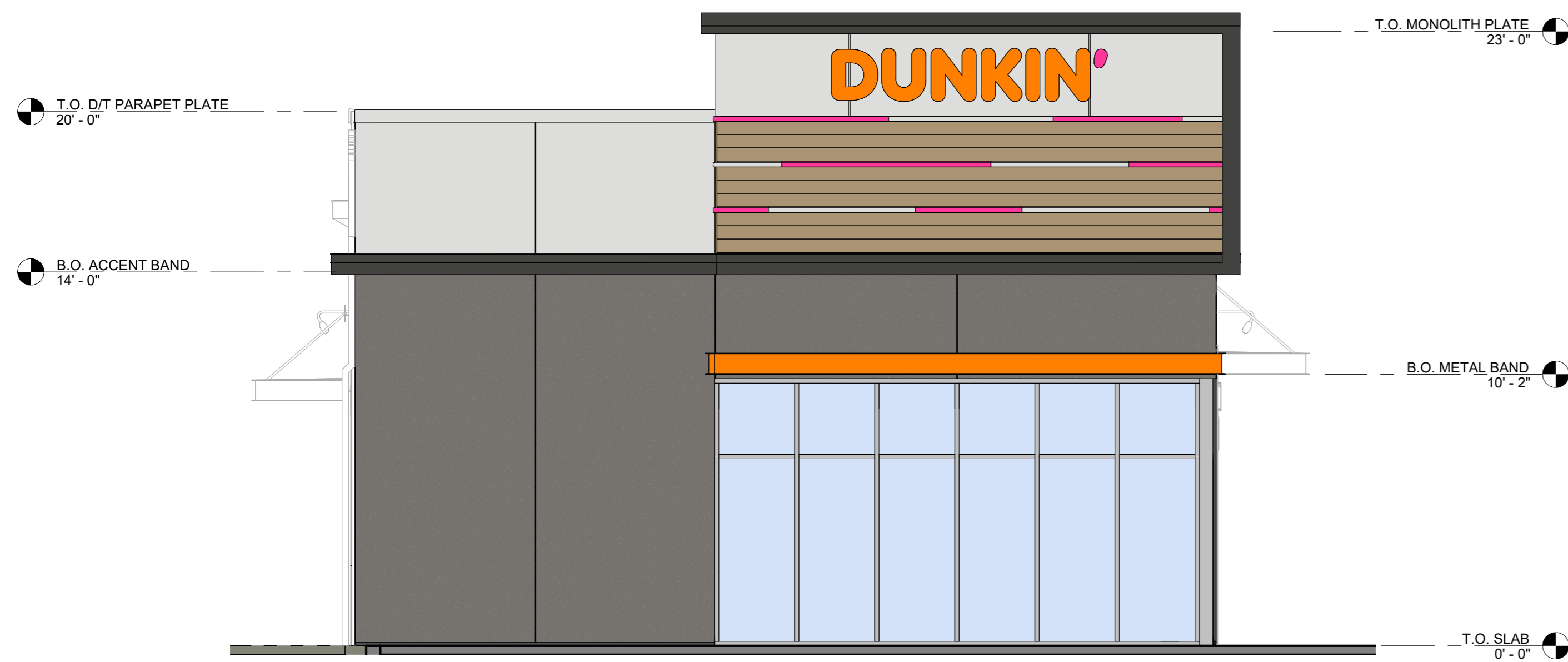
1 EXTERIOR ELEVATION - NORTH
1/4" = 1'-0"



PERSPECTIVE - ENTRY



PERSPECTIVE - DRIVE THRU



2 EXTERIOR ELEVATION - EAST
1/4" = 1'-0"

REVISION		
No.	Date	Description
1	1/29/24	SIGNAGE REQUIREMENTS