

SITE DEVELOPMENT PLAN
8035 MERIDIAN PARK DRIVE
SECTION 1, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M.
TOWN OF PEYTON, COUNTY OF EL PASO, STATE OF COLORADO
DUNKIN BENT GRASS

BENCHMARK

PROJECT BENCHMARK IS A DOUGLAS COUNTY CONTROL POINT LOCATED ON THE SOUTH SIDE OF HWY 86 JUST EAST OF PROJECT SITE.

NORTHING: 22842.29, EASTING: 19721.79

BENCHMARK IS 11.215" ALUMINUM DISC SET FLUSH TO THE GROUND. THE ELEVATION IS 1994.64 M (6544.09 US SURVEY FEET) BASED ON THE NAVD 88 DATUM.

BASIS OF BEARINGS

A PORTION OF THE SOUTH LINE OF THE NORTHEAST QUARTER SECTION 1, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN EL PASO COUNTY, COLORADO BEING MONUMENTED AT THE WEST END BY THE CENTER QUARTER CORNER OF SAID SECTION 1 BY A 2 1/2" ALUMINUM SURVEYORS CAP WITH APPROPRIATE MARKING PLS 28651 AND AT THE EAST END, AT THE NORTHWESTERLY CORNER OF LOT 1 FALCON RANCHETTES RECORDED IN PLAT BOOK V-2 AT PAGE 15, RECORDS OF EL PASO COUNTY, COLORDO. BY A YELLOW PLASTIC SURVEYORS CAP STAMPED "PLS 2372" AND IS ASSUMED TO BEAR S89°49'43", A DISTANCE OF 2,285.20 FEET.

LEGAL DESCRIPTION

PARCEL A:
LOT 1A, BENT GRASS EAST COMMERCIAL FILING NO 2A, COUNTY OF EL PASO, STATE OF COLORADO (RECEPTION NO. 214713554).

PARCEL B:
THOSE EASEMENT RIGHT CREATED BY RECIPROCAL ACCESS EASEMENT AND TEMPORARY CONSTRUCTION AND MAINTENANCE EASEMENT AGREEMENT RECORDED JUNE 04, 2013 UNDER RECEPTION NO. 213072561 AND FIRST AMENDMENT TO RECIPROCLA ACCESS EASEMENT AND TEMPORARY CONSTRUCTION AND MAINTENANCE EASEMENT AGREEMENT RECORDED JULY 07, 2013 UNDER RECEPTION NO. 213098588.

CONSTRUCTION TIMELINE

APPROXIMATE CONSTRUCTION START DATE: SEPTEMBER 2022

PROJECT DESCRIPTION

THE PROPOSED PROJECT INCLUDES THE DEVELOPMENT OF A NEW FAST FOOD RESTAURANT BUILDING, DRIVE-THRU, AND PARKING LOT. PROPOSED WORK INCLUDES DEMOLITION, GRADING, CONCRETE AND ASPHALT INSTALLATION, SANITARY SEWER INSTALLATION, WATER LATERAL INSTALLATION, FINAL GRADING, FINAL STABILIZATION, AND REMOVAL OF TEMPORARY CONTROL MEASURES.

ZONE DISTRICT INFORMATION

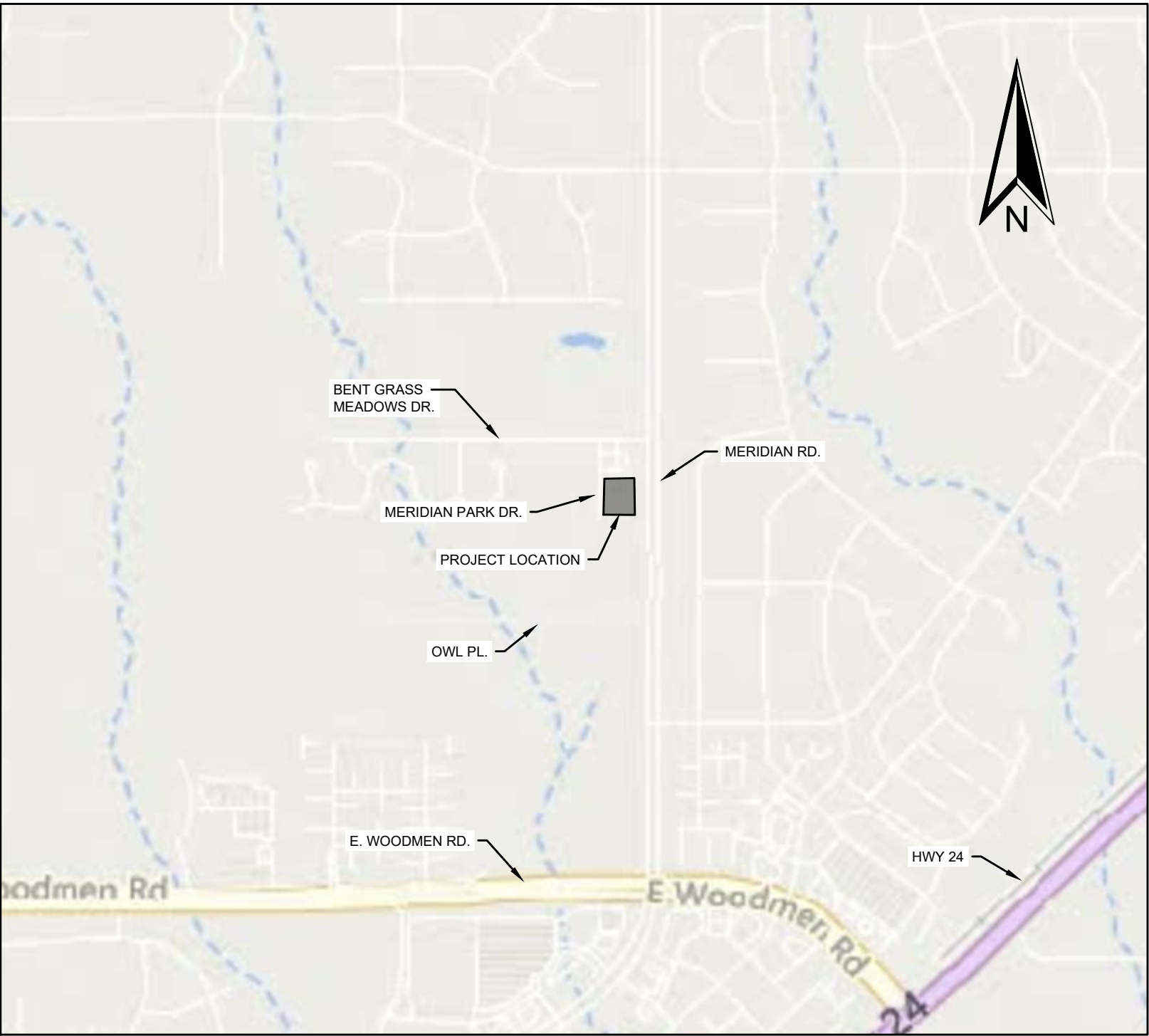
PROJECT ZONING: COMMERCIAL SERVICES (CS)

PROPERTY TAX SCHEDULE NUMBER

TAX SCHEDULE NUMBER: 5301104002

ZONING COMPARISON TABLE		
TYPE	REQUIRED	PROVIDED
USE	COMMERCIAL SERVICES (CS)	COMMERCIAL SERVICES (CS)
LOT SIZE	63,480 SF	63,480 SF
BUILDING SETBACK	25 FT	17 FT
MINIMUM PARKING	20 SPACES	16 SPACES

SITE UTILIZATION TABLE		
COVERAGE	EXISTING	PROPOSED
TOTAL LOT SIZE	63,480 SF	63,480 SF
BUILDING	0 SF	1,998 SF
PAVEMENT	0 SF	14,625 SF
% IMPERVIOUS	0%	26.2%



VICINITY MAP
NOT TO SCALE

PROPERTY OWNER

FIRST CUP LLC
106 S. KYRENE RD.
CHANDLER, AZ 85226

ATTN: BERT HAYENGA

SURVEYOR

CLASSIC CONSULTING
619 N. CASCADE AVENUE
COLORADO SPRINGS, CO 80903
719-785-0790

ATTN: DOUGLAS REINELT, PLS

PROJECT TEAM

CIVIL ENGINEER

WC CIVIL, INC.
7220 W JEFFERSON AVE., STE. 204
LAKEWOOD, CO 80235

303-390-0172
ATTN: ERIC MCKNIGHT, P.E.

LANDSCAPE ARCHITECT

STACKLOT
5639 SOUTH CURTICE ST.
LITTLETON, CO 80120

303-883-2735
ATTN: JUSTIN HAY

ARCHITECT

ETHOS ARCHITECTURE GROUP
8025 W 25TH PL.
LAKEWOOD, CO 80214

303-815-0161
ATTN: JOHN SPONSELLER, NCARB

PHOTOMETRIC DESIGN

RG ENGINEERING CONSULTANTS
8811 HAMPDEN AVE., STE. 208
DENVER, CO 80231

303-355-5534
ATTN: SOPHIA GISIN

LEGEND

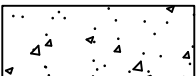
PROPOSED



PARKING / WALKWAY STRIPING



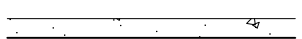
AC PAVEMENT



SIDEWALK



LANDSCAPING



CURB AND GUTTER



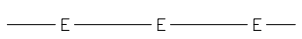
ADA ACCESSIBLE PATHWAY



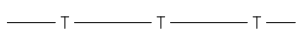
SEWER LATERAL



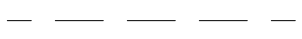
WATER LATERAL



GAS SERVICE LATERAL



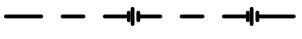
ELECTRICAL SERVICE LATERAL



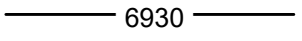
COMMUNICATIONS SERVICE LATERAL



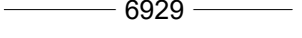
GRADE BREAK



SILT FENCE



GRADING LIMITS

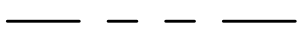


MAJOR CONTOUR

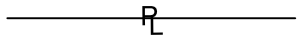


MINOR CONTOUR

EXISTING



RIGHT-OF-WAY



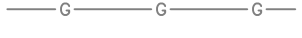
PROPERTY LINE



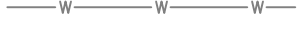
ELECTRICAL LINE



TELEPHONE LINE



GAS LINE



WATER LINE



SEWER LINE



STORM DRAIN



EXISTING MAJOR CONTOUR



EXISTING MINOR CONTOUR



SEWER MANHOLE



STORM MANHOLE



ELECTRICAL POLE



ELECTRICAL BOX



ELECTRICAL METER



COMMUNITY ANTENNA TELEVISION



SIGN POST

FIRE FLOW DATA (UPDATE):

CODE USED FOR ANALYSIS: 2018 IFC WITH 2019 AMENDMENTS
OCCUPANCY GROUP(S): B
CONSTRUCTION TYPE(S): V-B
FIRE FLOW CALCULATION AREA: 2,000 SF

THIS BUILDING IS NOT PROTECTED WITH AN AUTOMATIC SPRINKLER SYSTEM.

PER IFC TABLE B105.1(2):
TOTAL REQUIRED FIRE FLOW = 1,500 GPM @ 20 PSI RESIDUAL PRESSURE
DURATION = 2 HOURS

PER IFC TABLE C102.1:
MINIMUM NUMBER OF HYDRANTS = 1 HYDRANT
AVERAGE SPACING BETWEEN HYDRANTS = 500 FEET
MAXIMUM DISTANCE FROM STREET FRONTAGE = 250 FEET

PERMIT NO.: _____

File:

WC Civil Team: TS, LP
Date: 2022/03/04
Engineering No.:
Scale: AS NOTED

Sheet No.:

1

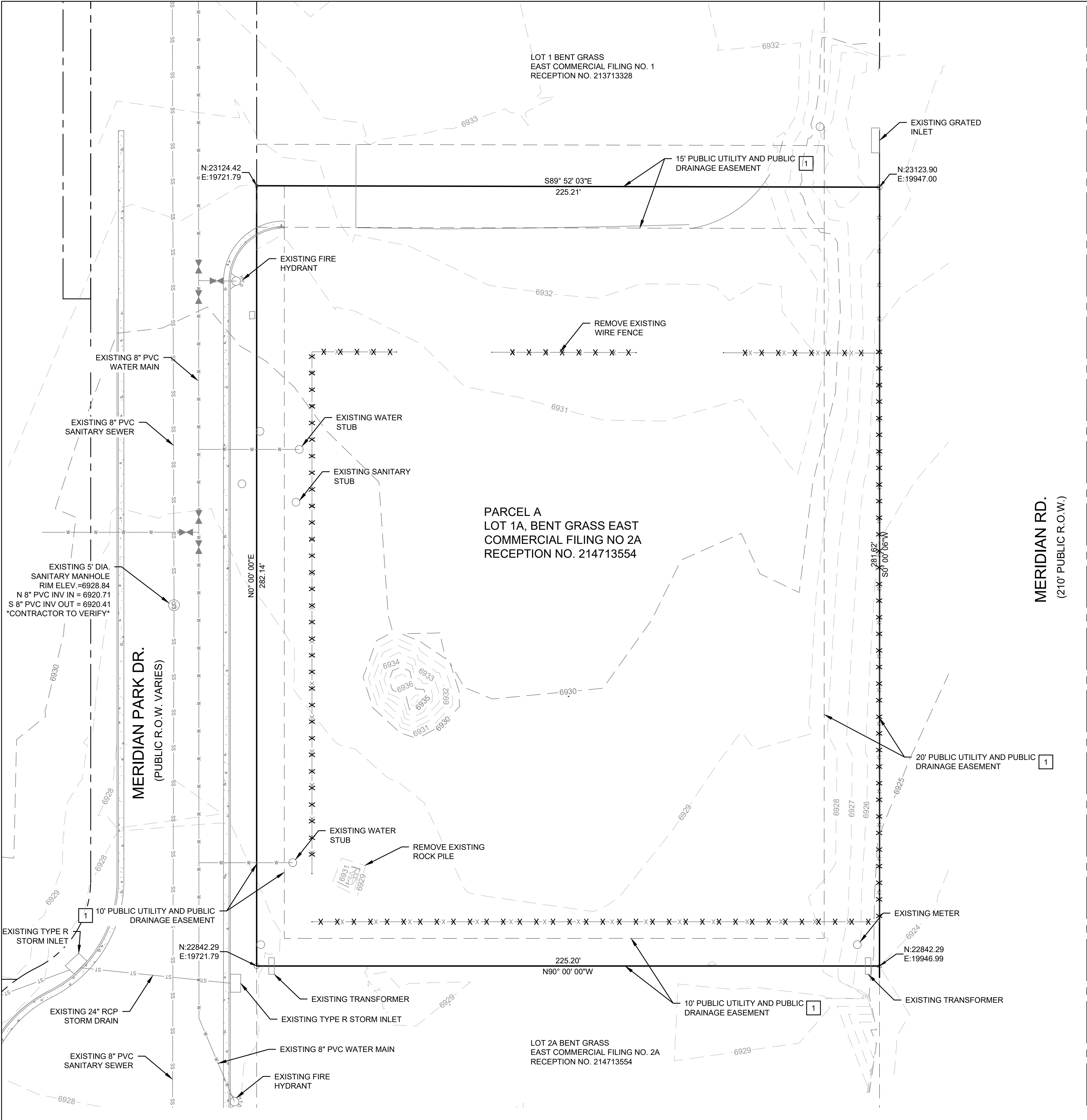
COVER SHEET

DUNKIN BENT GRASS
SITE DEVELOPMENT PLAN
LOT 1A, BENT GRASS EAST COMMERCIAL FILING NO. 2A,
LOCATED IN TOWN OF PEYTON,
COUNTY OF EL PASO, STATE OF COLORADO

W.C. CIVIL
7220 W. JEFFERSON AVE
STE. 204
LAKEWOOD, CO 80235
PHONE: (303) 390-0172



Client:
CD BENT GRASS LLC
106 S. KYRENE RD.
CHANDLER, AZ 85226
PHONE:
ATTN: B. HAYENGA

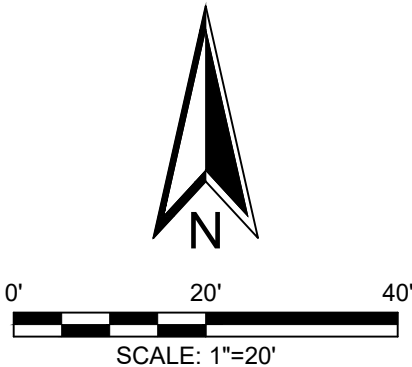


LEGEND EXISTING	
	RIGHT-OF-WAY
	PROPERTY LINE
	ELECTRICAL LINE
	TELEPHONE LINE
	GAS LINE
	WATER LINE
	SEWER LINE
	STORM DRAIN
	SEWER MANHOLE
	STORM MANHOLE
	ELECTRICAL POLE
	ELECTRICAL BOX
	ELECTRICAL METER
	COMMUNITY ANTENNA TELEVISION
	SIGN POST

NOTES

1. TOPOGRAPHIC SURVEY PERFORMED BY CLASSIC CONSULTING ON DECEMBER 10, 2021
2. OPEN TRENCH SHORING, DEWATERING, & TRAFFIC CONTROL SHALL BE PROVIDED BY CONTRACTOR.
3. SERVICE OUTAGES SHALL BE COORDINATED WITH AND APPROVED BY THE COUNTY OF EL PASO IF REQUIRED PRIOR TO START OF WORK.
4. ALL EXISTING UTILITIES SHALL BE PROTECTED IN PLACE UNLESS OTHERWISE NOTED.
5. CONTRACTOR TO POT-HOLE AND FIELD VERIFY LOCATION AND DEPTH OF EXISTING UTILITIES IN AREAS OF WORK PRIOR TO DEMOLITION AND CONSTRUCTION.
6. DEMOLITION, REMOVAL, OR RELOCATION OF EXISTING UTILITIES SHALL BE COORDINATED WITH THE UTILITY PROVIDER PRIOR TO THE START OF CONSTRUCTION.
7. FOR ALL DEMOLITION OF EXISTING CONCRETE, SAWCUT EXISTING CONCRETE AT NEAREST JOINT.

EASEMENT DATA		
EASEMENT	USE	RECEPTION No.
1	DRAINAGE	214713554



PERMIT NO.: _____

Client:

CD BENT GRASS LLC

106 S. KYRENE RD.
CHANDLER, AZ 85226
PHONE:
ATTN: B. HAYENGA

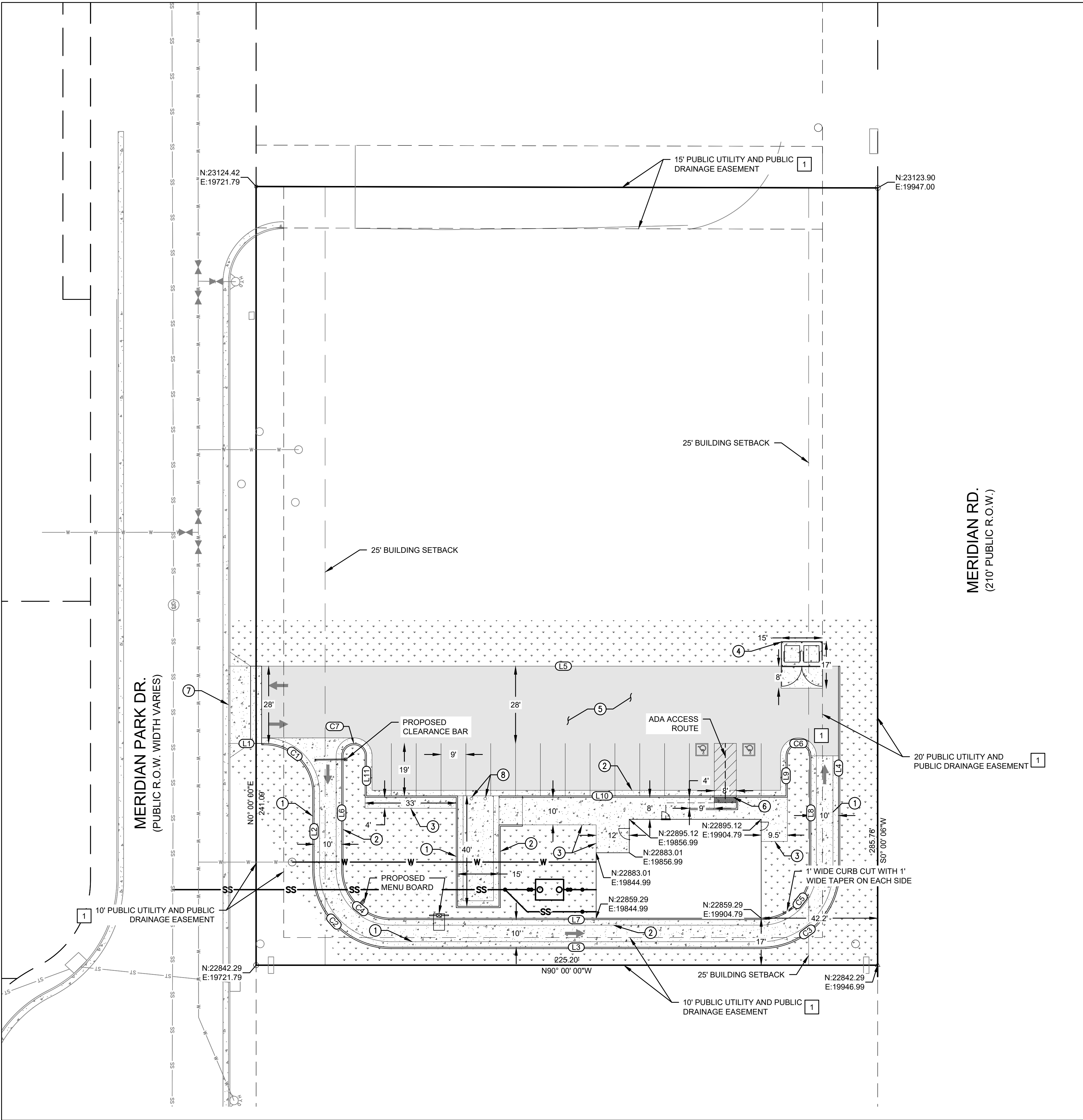
W.C. CIVIL

7220 W. JEFFERSON AVE
STE. 204
LAKEWOOD, CO 80235
PHONE: (303) 390-0172

EXISTING CONDITIONS
AND DEMOLITION PLAN

DUNKIN BENT GRASS
SITE DEVELOPMENT PLAN
LOT 1A, BENT GRASS EAST COMMERCIAL FILING NO. 2A,
LOCATED IN TOWN OF PEYTON,
COUNTY OF EL PASO, STATE OF COLORADO

File: WC Civil Team: TS, LP Date: 2022/03/04 Engineering No.: Scale: AS NOTED Sheet No.: 3



EXISTING

RIGHT-OF-WAY

PROPERTY LINE

ELECTRICAL LINE

TELEPHONE LINE

GAS LINE

WATER LINE

SEWER LINE

STORM DRAIN

SEWER MANHOLE

STORM MANHOLE

ELECTRICAL POLE

ELECTRICAL BOX

ELECTRICAL METER

COMMUNITY ANTENNA TELEVISION

SIGN POST

PROPOSED

PARKING / WALKWAY STRIPING

AC PAVEMENT

SIDEWALK

LANDSCAPING

CURB AND GUTTER

ADA ACCESSIBLE PATHWAY

SEWER LATERAL

WATER LATERAL

GAS SERVICE LATERAL

ELECTRICAL SERVICE LATERAL

COMMUNICATIONS SERVICE LATERAL

BUILDING SETBACK

LINE TABLE

LINE #	LENGTH	DIRECTION
L1	12.00	S90° 00' 00.00"E
L2	27.83	S0° 00' 00.00"W
L3	134.00	N90° 00' 00.00"E
L4	73.83	N0° 00' 00.00"E
L5	221.00	N90° 00' 00.00"W
L6	41.33	S0° 00' 00.00"W
L7	134.00	N90° 00' 00.00"E
L8	41.33	N0° 00' 00.00"E
L8	100.33	N79° 38' 20.64"W
L9	14.50	S0° 00' 00.00"W
L9	10.87	S9° 17' 37.02"W

LINE TABLE

LINE #	LENGTH	DIRECTION
L10	152.00	N90° 00' 00.00"W
L10	40.20	S9° 17' 37.02"W
L11	14.50	N0° 00' 00.00"E
L11	12.99	N10° 21' 39.37"E
L12	99.00	N79° 38' 20.63"W
L13	15.00	S10° 21' 39.37"W
L14	14.82	N10° 25' 07.10"E
L15	100.33	S79° 38' 20.64"E

CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA
C1	28.78	18.01	91.55
C2	43.98	28.00	90.00
C3	43.98	28.00	90.00
C4	28.27	18.00	90.00
C5	28.27	18.00	90.00
C6	14.14	4.50	180.00
C6	15.30	8.00	109.55
C7	14.14	4.50	180.00
C8	34.49	32.01	61.72
C9	5.30	2.00	151.93
C10	31.54	20.01	90.30
C11	15.71	5.00	180.00
C12	4.76	3.00	90.89
C13	46.69	30.00	89.17
C14	31.40	20.00	89.94

CONSTRUCTION NOTES

- INSTALL (N) 30" CURB & GUTTER ECP TYPE A (CATCH) PER COUNTY OF EL PASO STD PLAN SD_2-20 (SEE SHEET 8).
- INSTALL (N) 30" CURB & GUTTER ECP TYPE A (SPILL) PER COUNTY OF EL PASO STD PLAN SD_2-20 (SEE SHEET 8).
- INSTALL (N) CONC. SIDEWALK PER DETAIL (SEE SHEET 8).
- INSTALL (N) DUMPSTER ENCLOSURE PER ARCHITECTURAL PLANS.
- INSTALL (N) AC PAVEMENT.
- INSTALL (N) CURB RAMP PER COUNTY OF EL PASO STD PLAN SD_2-50 (SEE SHEET 8).
- INSTALL (N) CONC. DRIVEWAY PER COUNTY OF EL PASO STD. DETAIL SD_2-25 (SEE SHEET 8).
- INSTALL (N) REMOVABLE BOLLARD PER DETAIL (SEE SHEET 8).

NOTES

- ALL CURB, GUTTER, PEDESTRIAN RAMPS, SIDEWALKS AND DRIVEWAYS POSING A SAFETY HAZARD, EXHIBITING EXCESSIVE DETERIORATION, DAMAGED, OR DOES NOT MEET CURRENT CITY ENGINEERING STANDARDS ALONG THE PUBLIC RIGHT-OF-WAY ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY (CO). AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW DIVISION (EDRD) INSPECTOR TO DETERMINE WHAT, IF ANY IMPROVEMENTS ARE REQUIRED. THE EDRD INSPECTOR CAN BE REACHED AT 719-385-5977.

PARKING NOTES

PER COUNTY OF EL PASO LAND DEVELOPMENT CODE TABLE 6-2

USE TYPE: FAST FOOD, FAMILY, HIGH TURNOVER

BUILDING AREA: 1,998 SF

TOTAL PARKING STALLS REQUIRED: 20

TOTAL PARKING STALLS PROVIDED: 16

OF PARKING STALLS ☒

EASEMENT DATA		
EASEMENT	USE	RECEPTION No.
1	DRAINAGE	214713554

PERMIT NO.: _____

Client

CD BENT GRASS LLC

106 S. KYRENE RD.

CHANDLER, AZ 85226

PHONE:

ATTN: B. HAYENGA

W.C. CIVIL

7220 W. JEFFERSON AVE

STE. 204

LAKEWOOD, CO 80235

PHONE: (303) 390-0172

WC CIVIL

SITE & HORIZONTAL CONTROL PLAN

DUNKIN BENT GRASS

SITE DEVELOPMENT PLAN

LOT 1A, BENT GRASS EAST COMMERCIAL FILING NO. 2A,

LOCATED IN TOWN OF PEYTON,

COUNTY OF EL PASO, STATE OF COLORADO

WC Civil Team:

TS, LP

Engineering No.:

AS NOTED

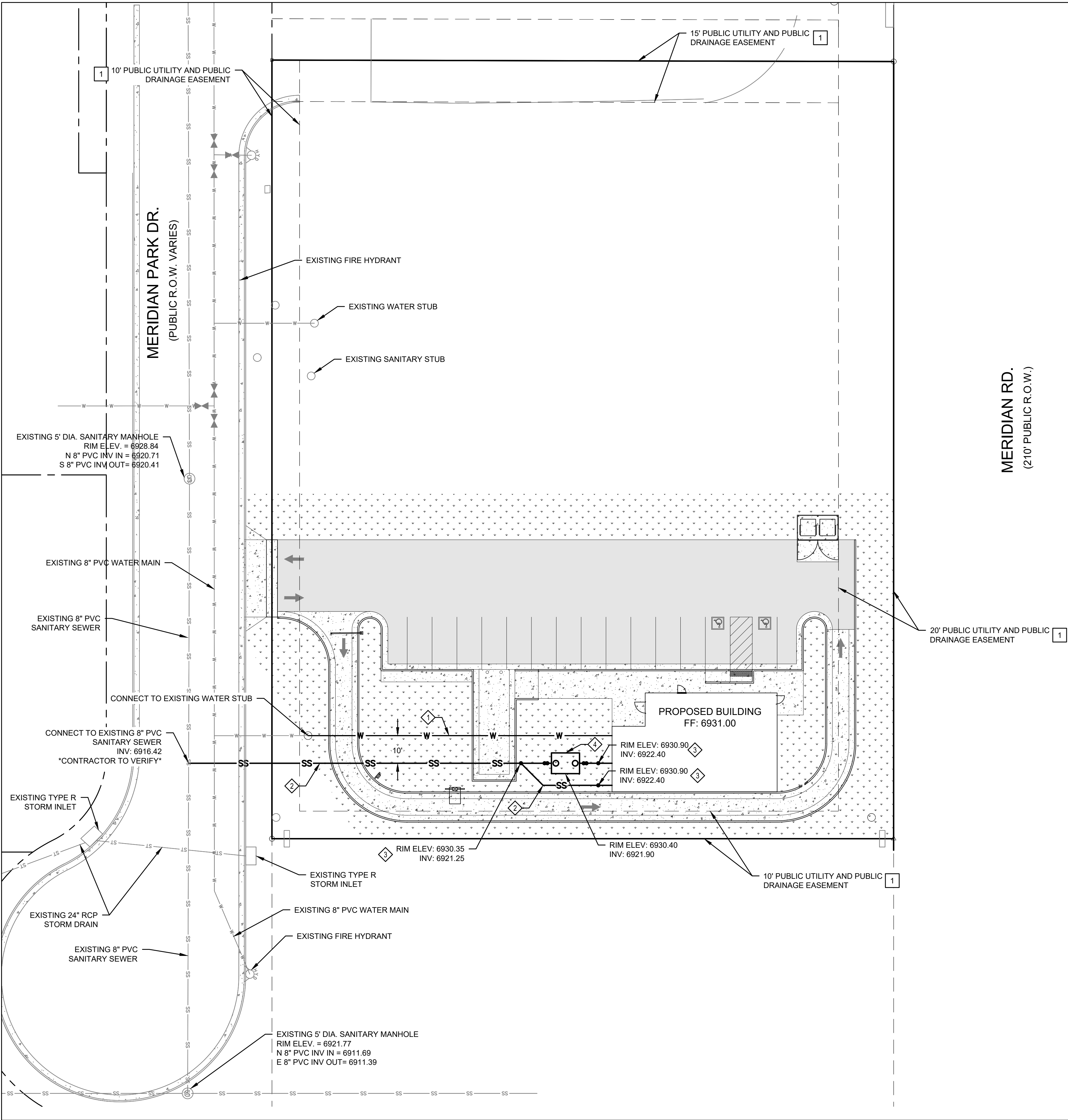
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4

WC CIVIL



EXISTING

RIGHT-OF-WAY

PROPERTY LINE

ELECTRICAL LINE

TELEPHONE LINE

GAS LINE

WATER LINE

SEWER LINE

STORM DRAIN

EXISTING MAJOR CONTOUR

EXISTING MINOR CONTOUR

SEWER MANHOLE

STORM MANHOLE

ELECTRICAL POLE

ELECTRICAL BOX

ELECTRICAL METER

COMMUNITY ANTENNA TELEVISION

SIGN POST

PROPOSED

PARKING / WALKWAY STRIPING

AC PAVEMENT

SIDEWALK

LANDSCAPING

CURB AND GUTTER

ADA ACCESSIBLE PATHWAY

SEWER LATERAL

WATER LATERAL

GAS SERVICE LATERAL

ELECTRIC SERVICE

TELECOMMUNICATION SERVICE

GRADE BREAK

GRADING LIMITS

MAJOR CONTOUR

MINOR CONTOUR

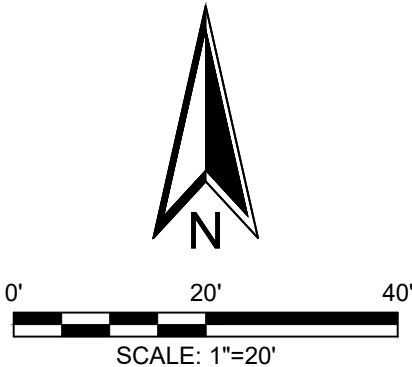
UTILITY NOTES

- INSTALL (N) 1-INCH TYPE-K COPPER WATER SERVICE PER COLORADO SPRINGS UTILITY STD B1-1 (SEE SHEET 9).
- INSTALL (N) 4" PVC SANITARY SEWER SERVICE PER COUNTY OF EL PASO STD DETAIL SD_4-20 (SEE SHEET 9).
- INSTALL (N) SEWER CLEANOUT PER COLORADO SPRINGS UTILITY STD D1-10 (SEE SHEET 9).
- INSTALL (N) GREASE INTERCEPTOR PER COLORADO SPRINGS UTILITIES STD C4-2 (SEE SHEET 9).
- INSTALL (N) UTILITY TRENCH PER COUNTY OF EL PASO STD DETAIL SD_4-20 (SEE SHEET 9).
- CONNECT TO EXISTING SANITARY MAIN PER COLORADO SPRING UTILITIES STD DETAIL D1-9 (SEE SHEET 9).

UTILITIES NOTES

- ALL PROPOSED EASEMENT MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
- THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
- ALL UTILITIES BASED ON APPROVED PLANS FOR BENT GRASS EAST COMMERCIAL DEVELOPMENTS. CONTRACTOR TO CONFIRM AND VERIFY ALL ELEVATIONS PRIOR TO CONSTRUCTION.

EASEMENT DATA		
EASEMENT	USE	RECEPTION No.
1	DRAINAGE	214713554



PERMIT NO.: _____

Client

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106 S. KYRENE RD.
CHANDLER, AZ 85226
PHONE:
ATTN: B. HAYENGA

W.C. CIVIL
7220 W. JEFFERSON AVE
STE. 204
LAKEWOOD, CO 80235
PHONE: (303) 390-0172

UTILITY PLAN

DUNKIN BENT GRASS
SITE DEVELOPMENT PLAN
LOT 1A, BENT GRASS EAST COMMERCIAL FILING NO. 2A,
LOCATED IN TOWN OF PEYTON,
COUNTY OF EL PASO, STATE OF COLORADO

WC Civil Team:
TS, LP

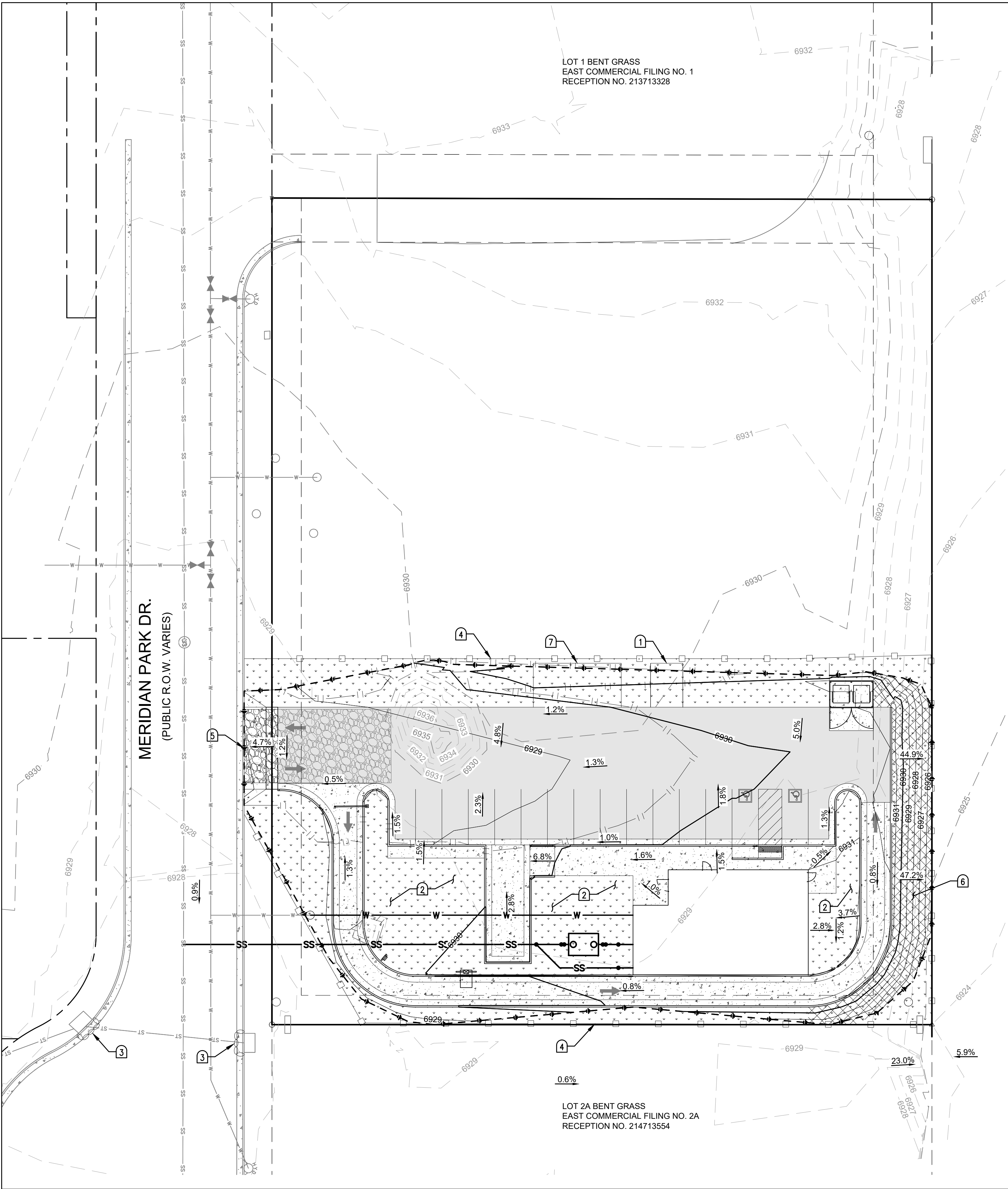
Date:
2022/03/04

Engineering No.:

Scale:
AS NOTED

Sheet No.:

6



MERIDIAN RD.
(210' PUBLIC R.O.W.)

EXISTING		PROPOSED	
	RIGHT-OF-WAY		PARKING / WALKWAY STRIPING
	PROPERTY LINE		AC PAVEMENT
	ELECTRICAL LINE		SIDEWALK
	TELEPHONE LINE		LANDSCAPING
	GAS LINE		EROSION BLANKET
	WATER LINE		CURB AND GUTTER
	SEWER LINE		ADA ACCESSIBLE PATHWAY
	STORM DRAIN		SEWER LATERAL
	SEWER MANHOLE		WATER LATERAL
	STORM MANHOLE		GAS SERVICE LATERAL
	ELECTRICAL POLE		ELECTRICAL SERVICE LATERAL
	ELECTRICAL BOX		COMMUNICATIONS SERVICE LATERAL
	ELECTRICAL METER		GRADING LIMITS
	COMMUNITY ANTENNA TELEVISION		GRADE BREAK
	SIGN POST		SILT FENCE

EROSION CONTROL NOTES

1. INSTALL (N) TEMPORARY INTERIM CONCRETE WASHOUT STRUCTURE PER COUNTY OF EL PASO STD DETAIL SD_3-84 (SEE SHEET 10).
2. INSTALL (N) TEMPORARY FINAL SEEDING AND MULCHING PER DETAIL (SEE SHEET 10).
3. INSTALL (N) TEMPORARY INITIAL INLET PROTECTION PER COUNTY OF EL PASO STD DETAIL SD_3-60 (SEE SHEET 10).
4. INSTALL (N) TEMPORARY INITIAL SILT FENCE PER DETAIL (SEE SHEET 10).
5. INSTALL (N) TEMPORARY INITIAL VEHICLE TRACKING CONTROL PER DETAIL (SEE SHEET 10).
6. INSTALL (N) TEMPORARY FINAL EROSION CONTROL BLANKET PER DETAIL (SEE SHEET 10).
7. INSTALL (N) TEMPORARY INTERIM STOCKPILE AREA PER DETAIL (SEE SHEET 10).

EROSION CONTROL NOTES:

1. FINAL VEGETATIVE COVER DENSITY TO BE AT LEAST 70% OF PRE-DISTURBED LEVELS.
2. ESTIMATED AREA TO UNDERGO DISTURBANCE: 27,930 SF

ENGINEER'S STATEMENT:

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.

ENGINEER OF RECORD SIGNATURE _____ DATE _____

OWNER'S STATEMENT:

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN AND ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

OWNER SIGNATURE _____ DATE _____

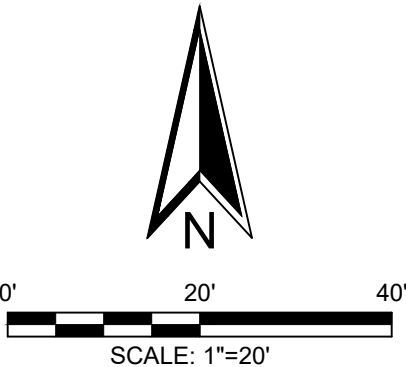
EL PASO COUNTY:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/ OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/ OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL, AS AMENDED.

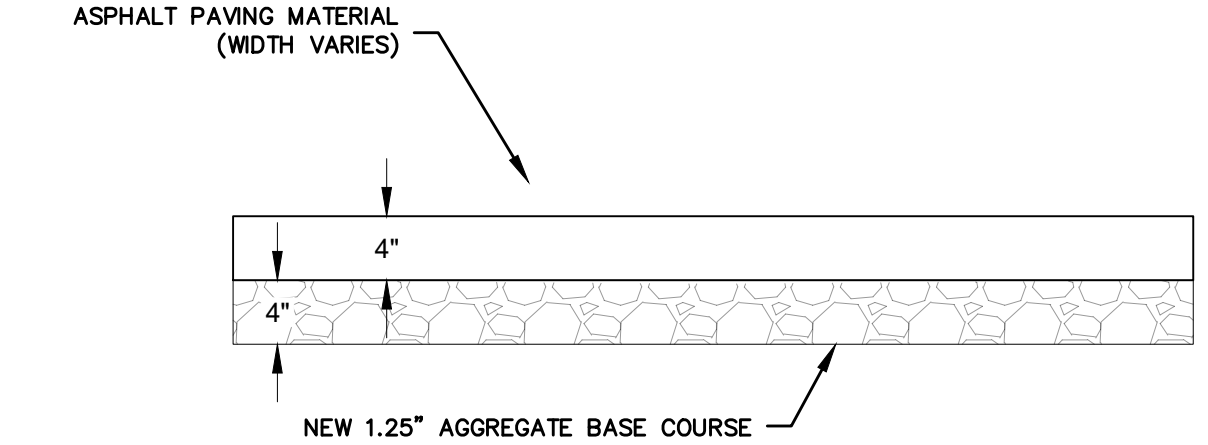
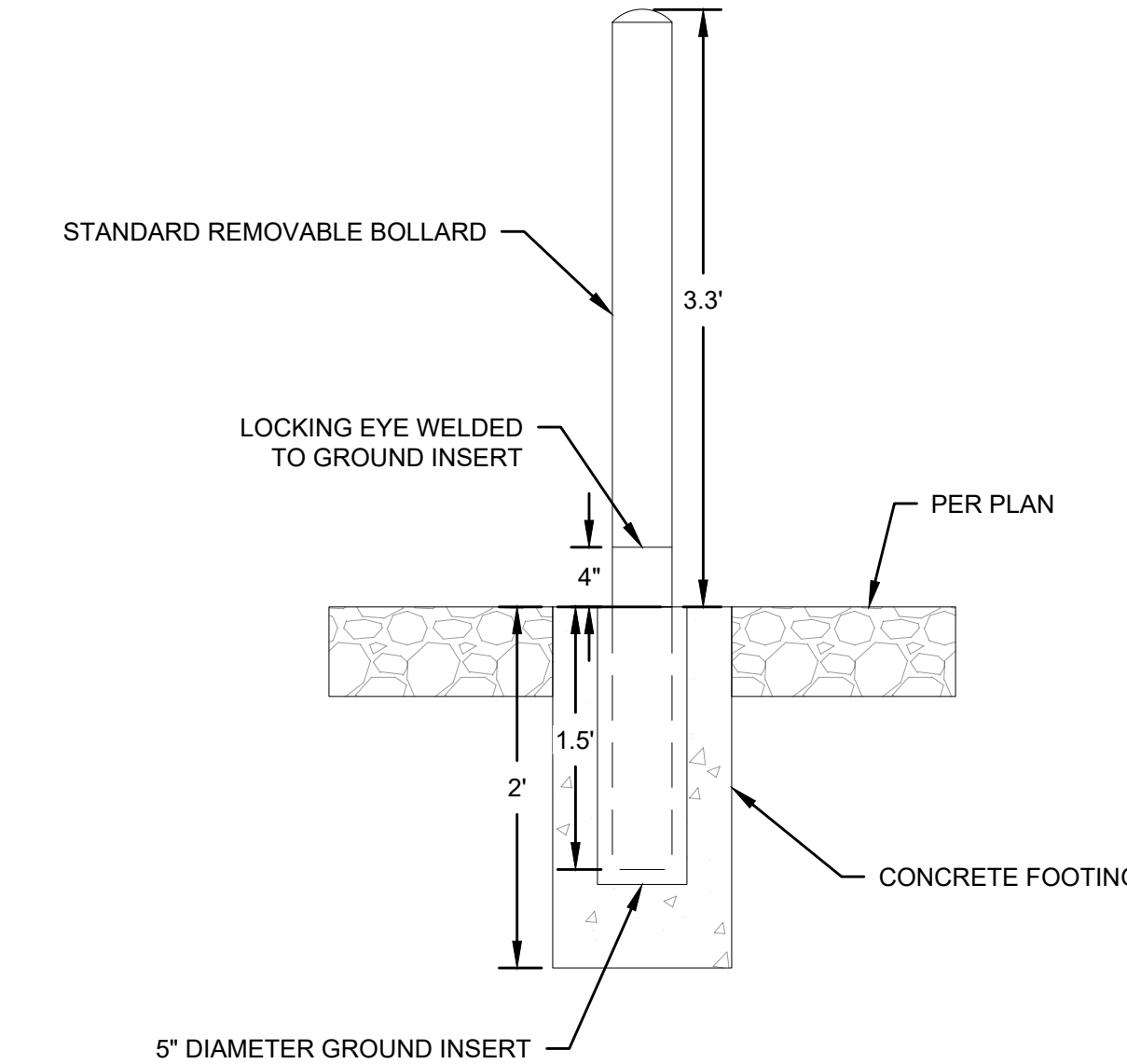
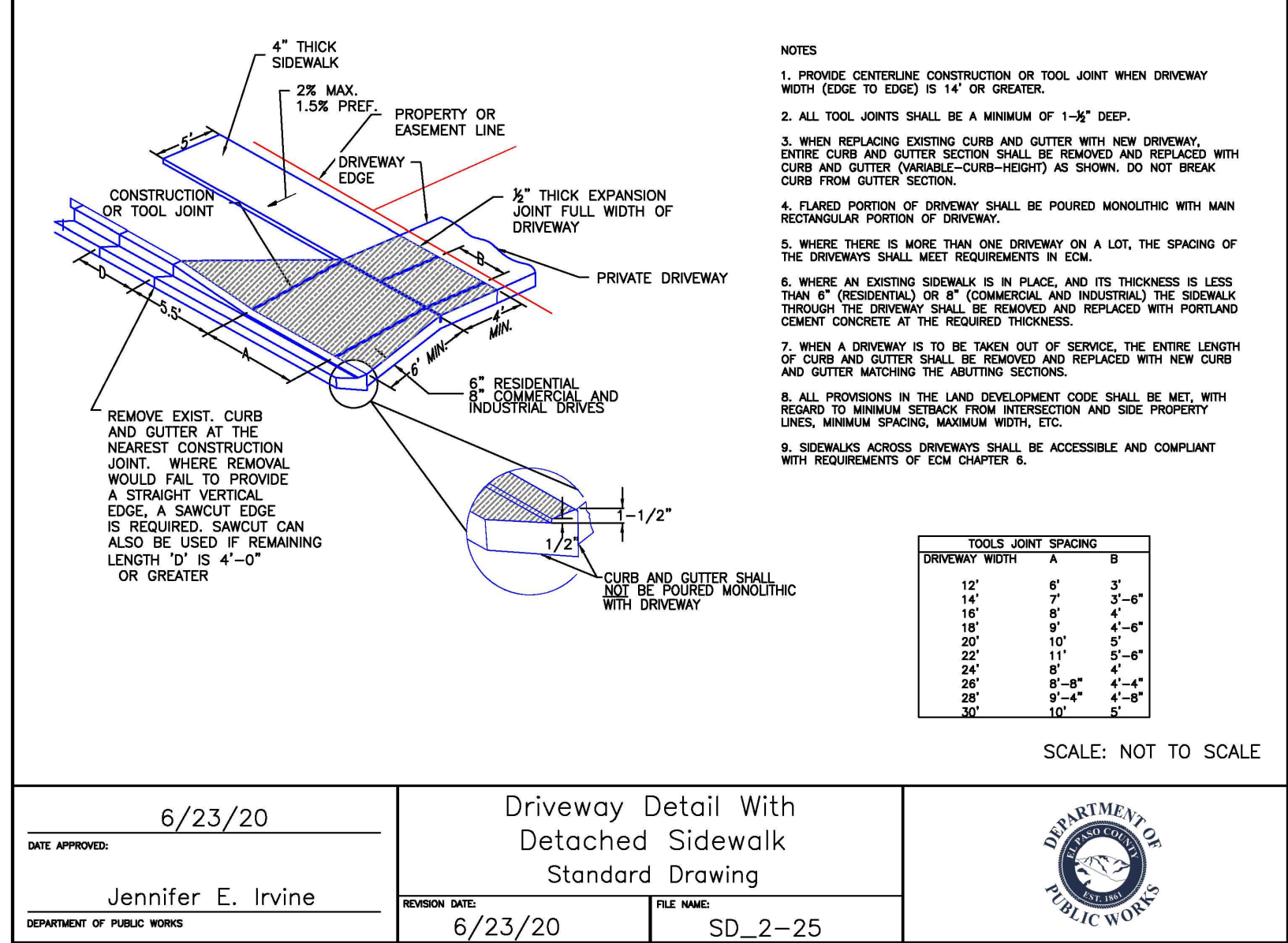
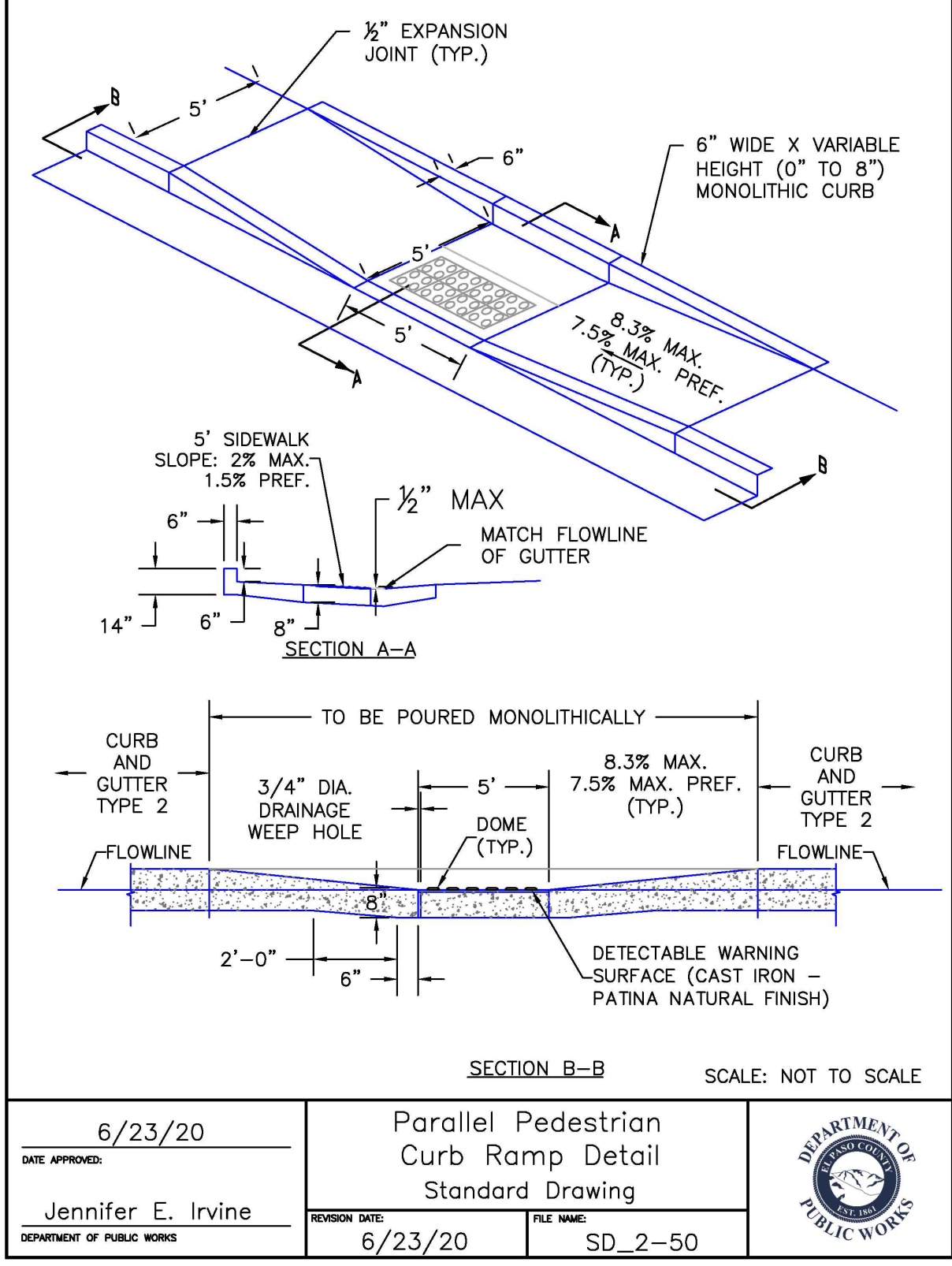
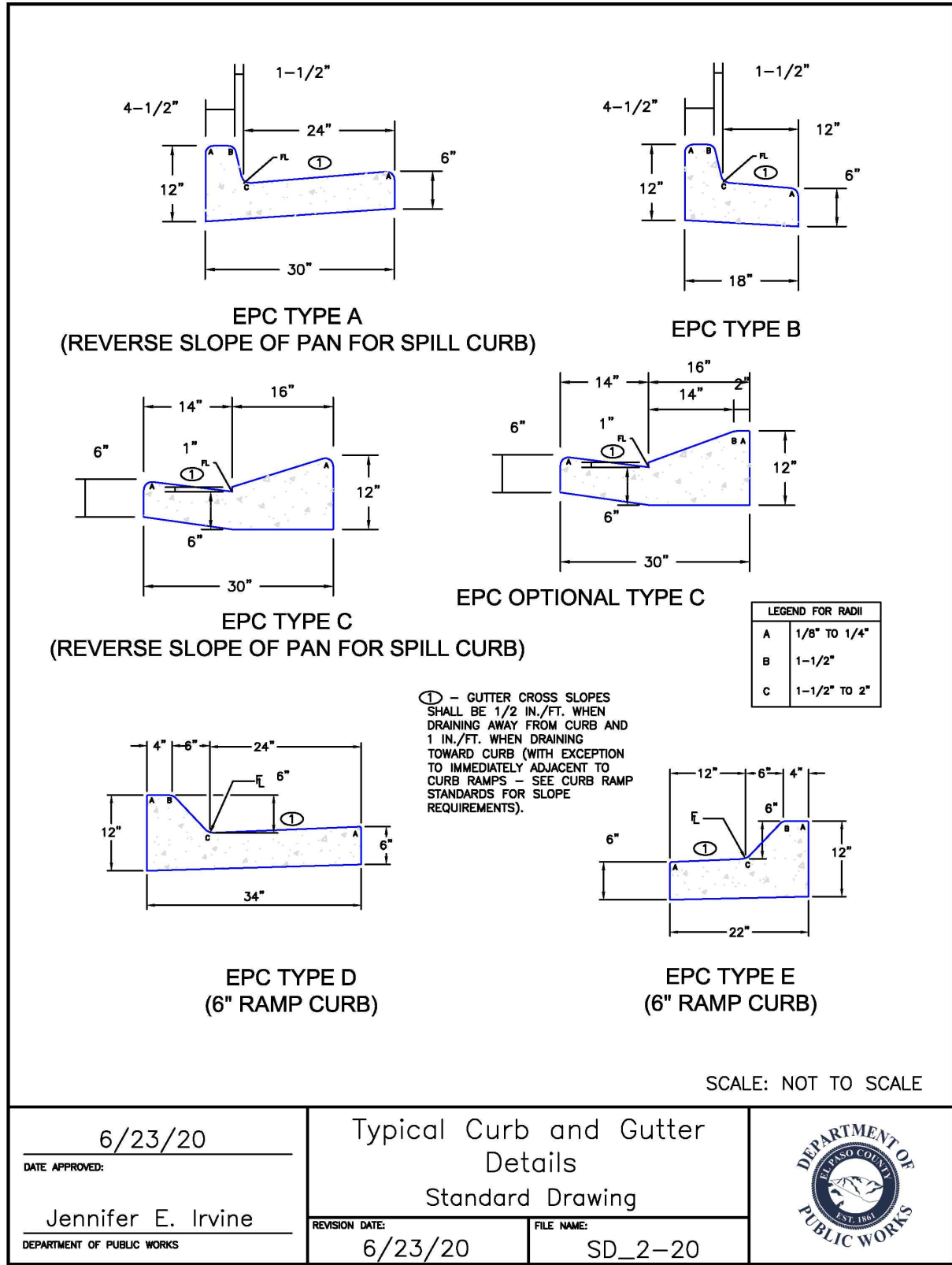
IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR'S DISCRETION.

JENNIFER IRVINE, P.E. _____ DATE _____
COUNTY ENGINEER/ECM ADMINISTRATOR



PERMIT NO.: _____

<div>WC CIVIL</div> <div>W.C. CIVIL 7220 W. JEFFERSON AVE STE. 204 LAKEWOOD, CO 80235 PHONE: (303) 390-0172</div>																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																															
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Client:

CD BENT GRASS LLC
106 S. KYRENE RD.
CHANDLER, AZ 85226
PHONE:
ATTN: B. HAYENGA

DATE	03/18/22
DESCRIPTION	INITIAL SUBMITTAL
NO.	-

W.C. CIVIL
7220 W. JEFFERSON AVE
STE. 204
LAKEWOOD, CO 80235
PHONE: (303) 390-0172

WC CIVIL

FILE:

SITE DETAILS
DUNKIN BENT GRASS
SITE DEVELOPMENT PLAN
LOT 1A, BENT GRASS EAST COMMERCIAL FILING NO. 2A,
LOCATED IN TOWN OF PEYTON,
COUNTY OF EL PASO, STATE OF COLORADO

WC Civil Team:

TS, LP

Date:

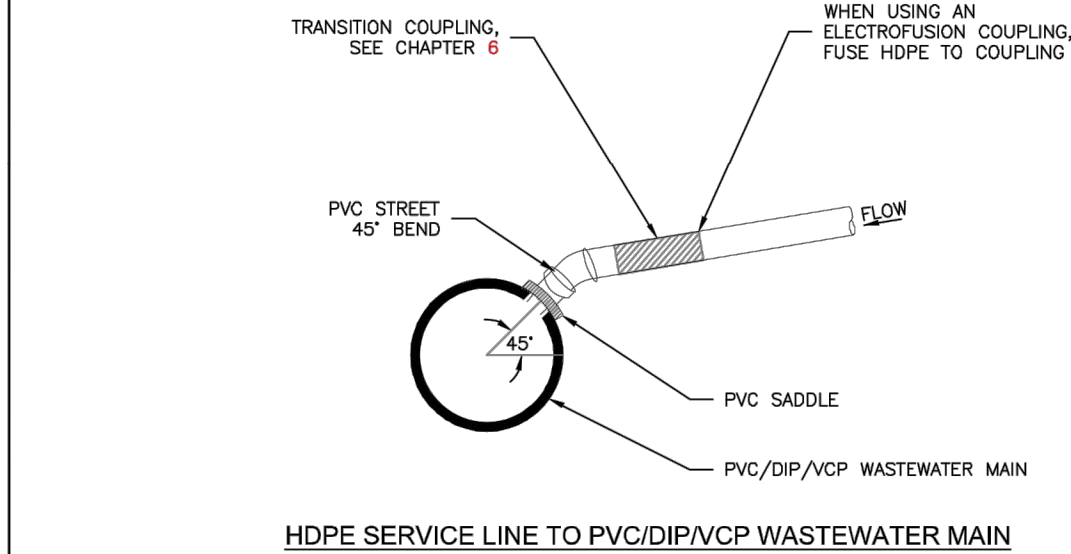
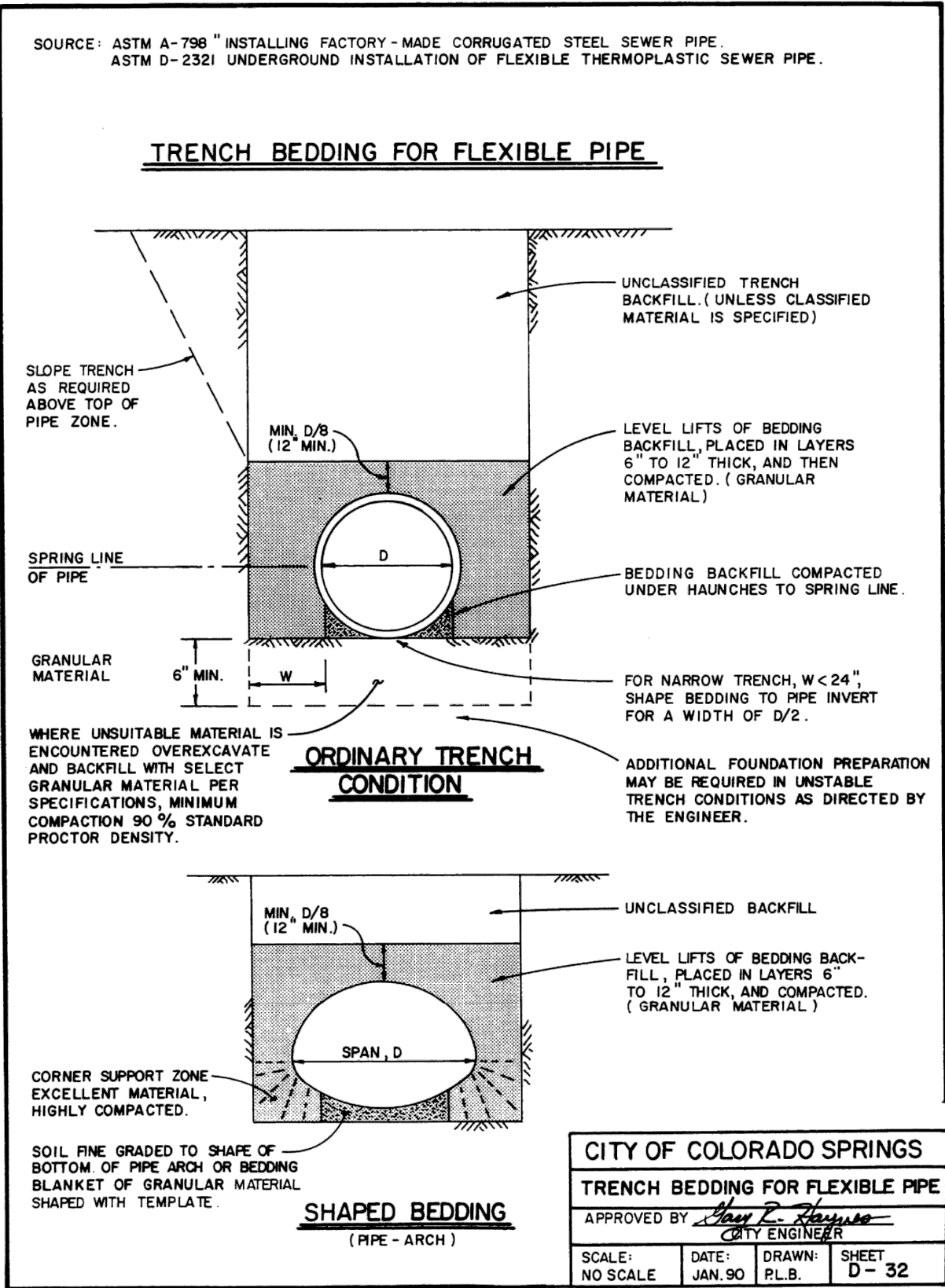
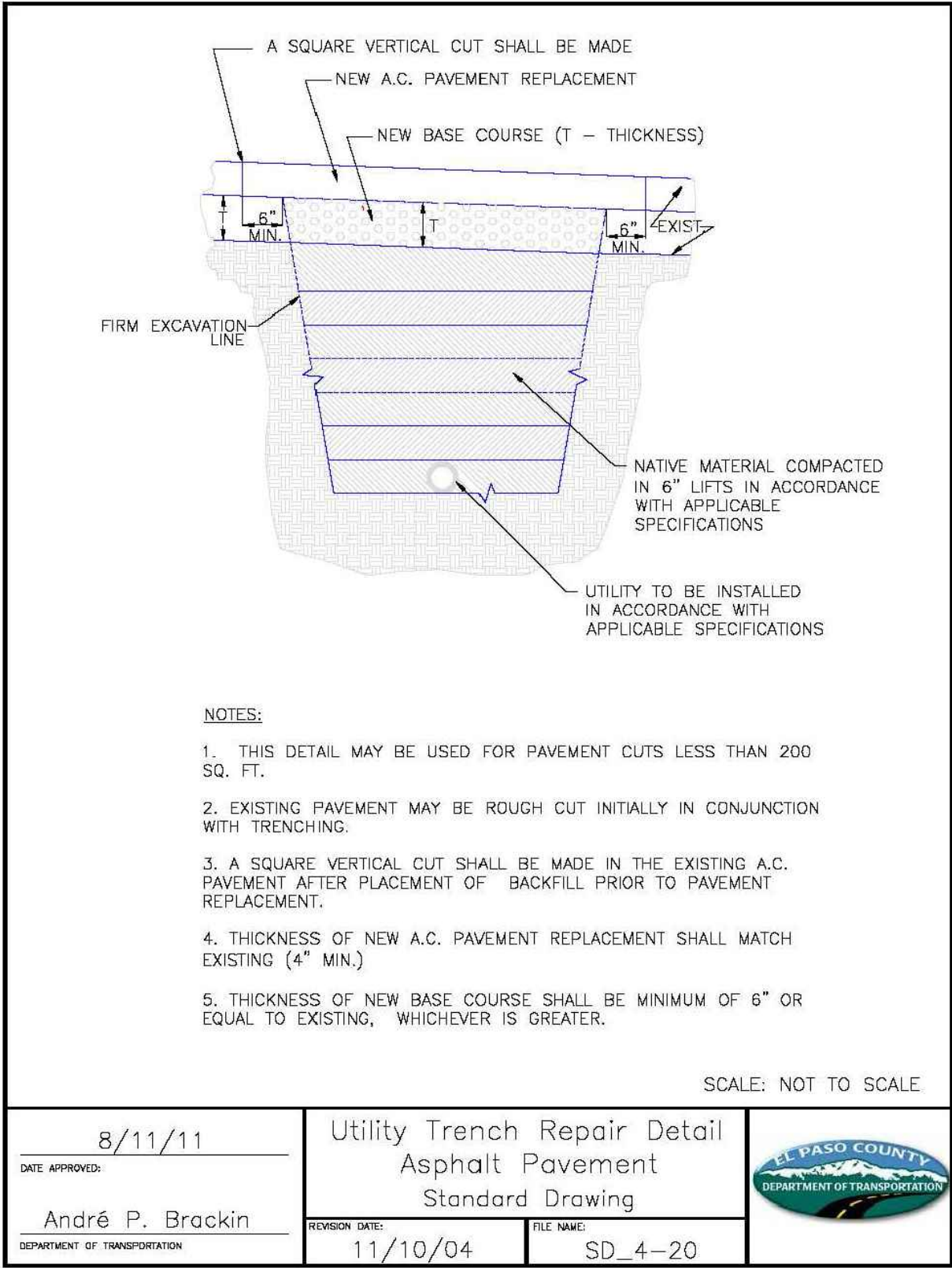
2022/03/04

Engineering No.:

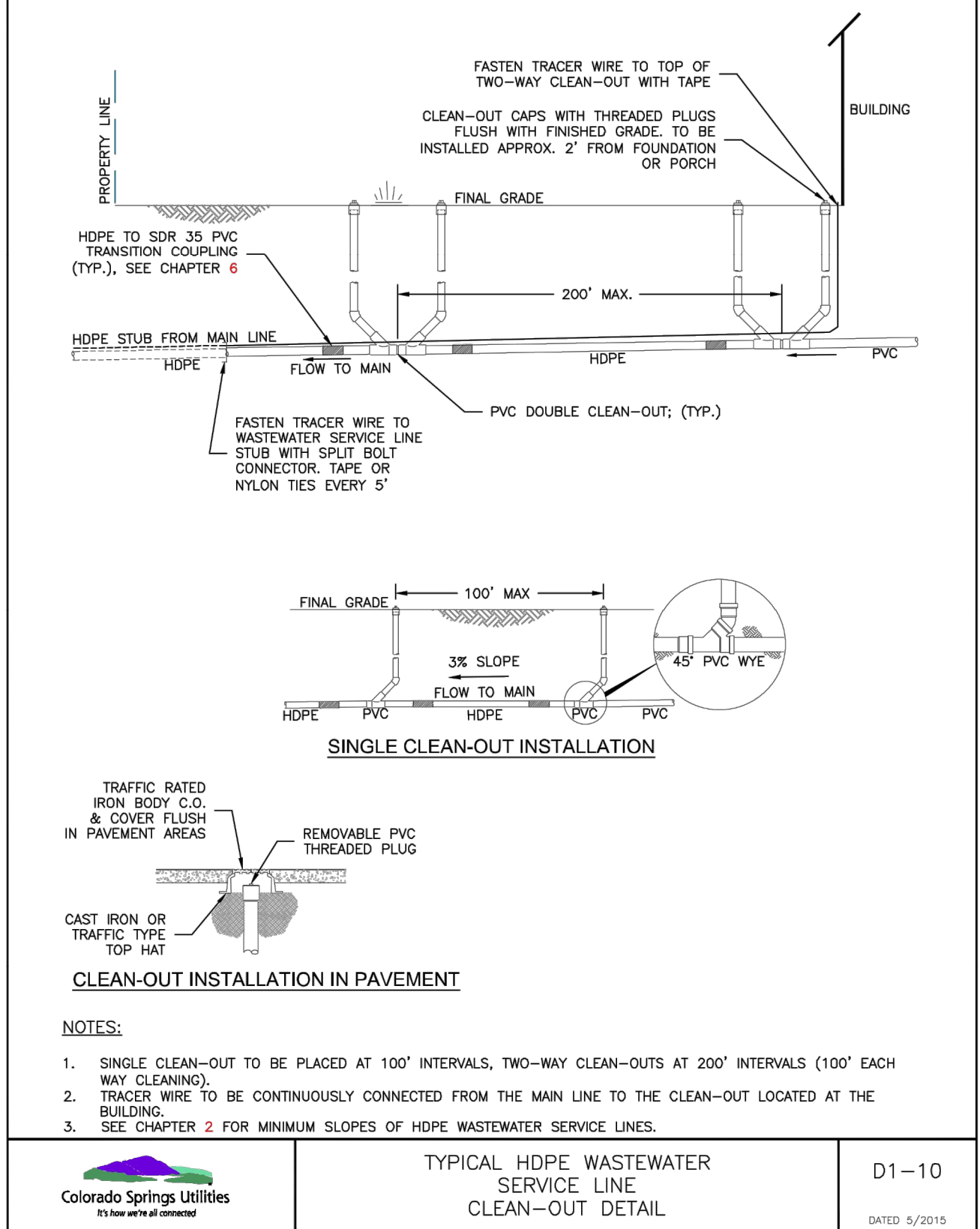
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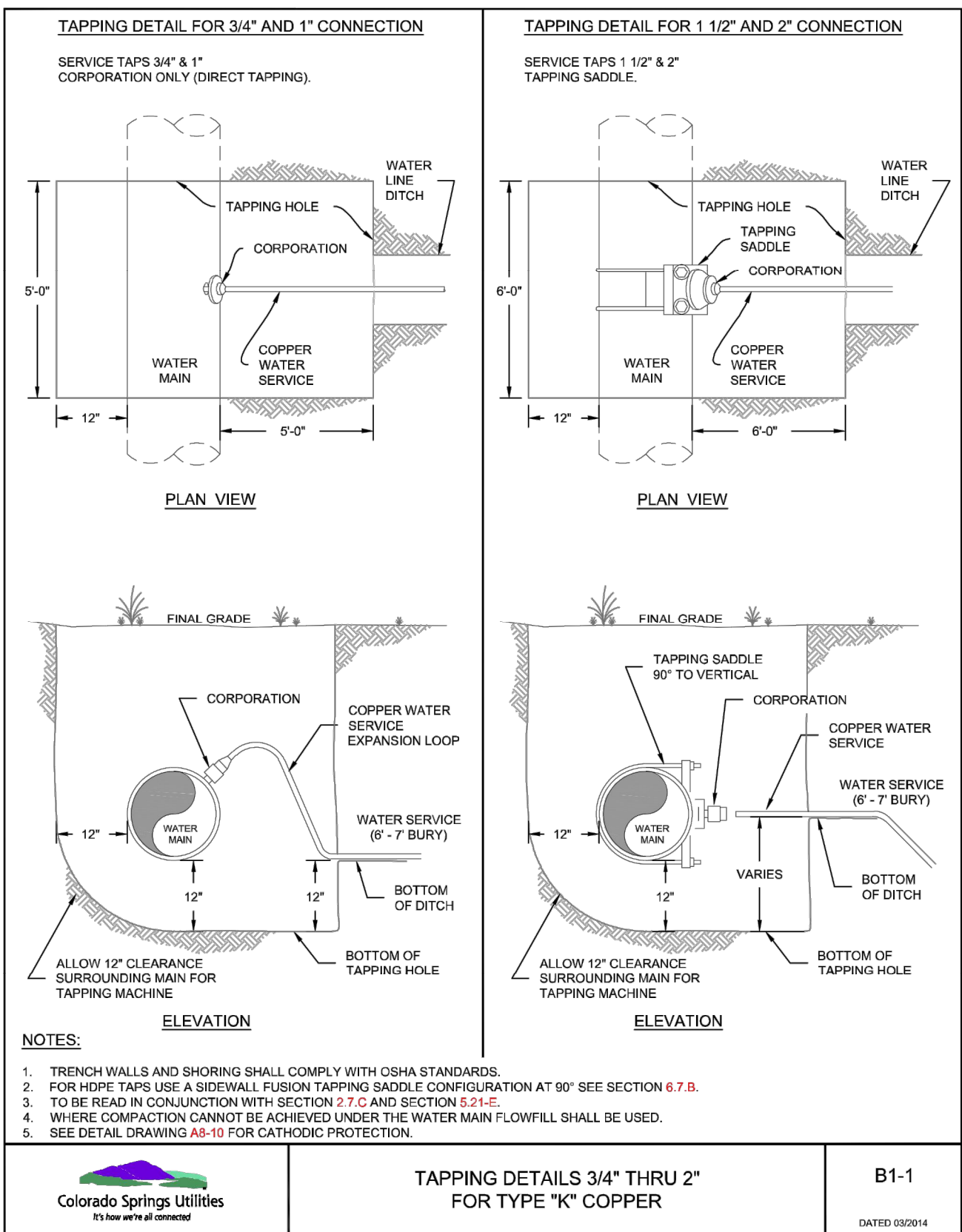
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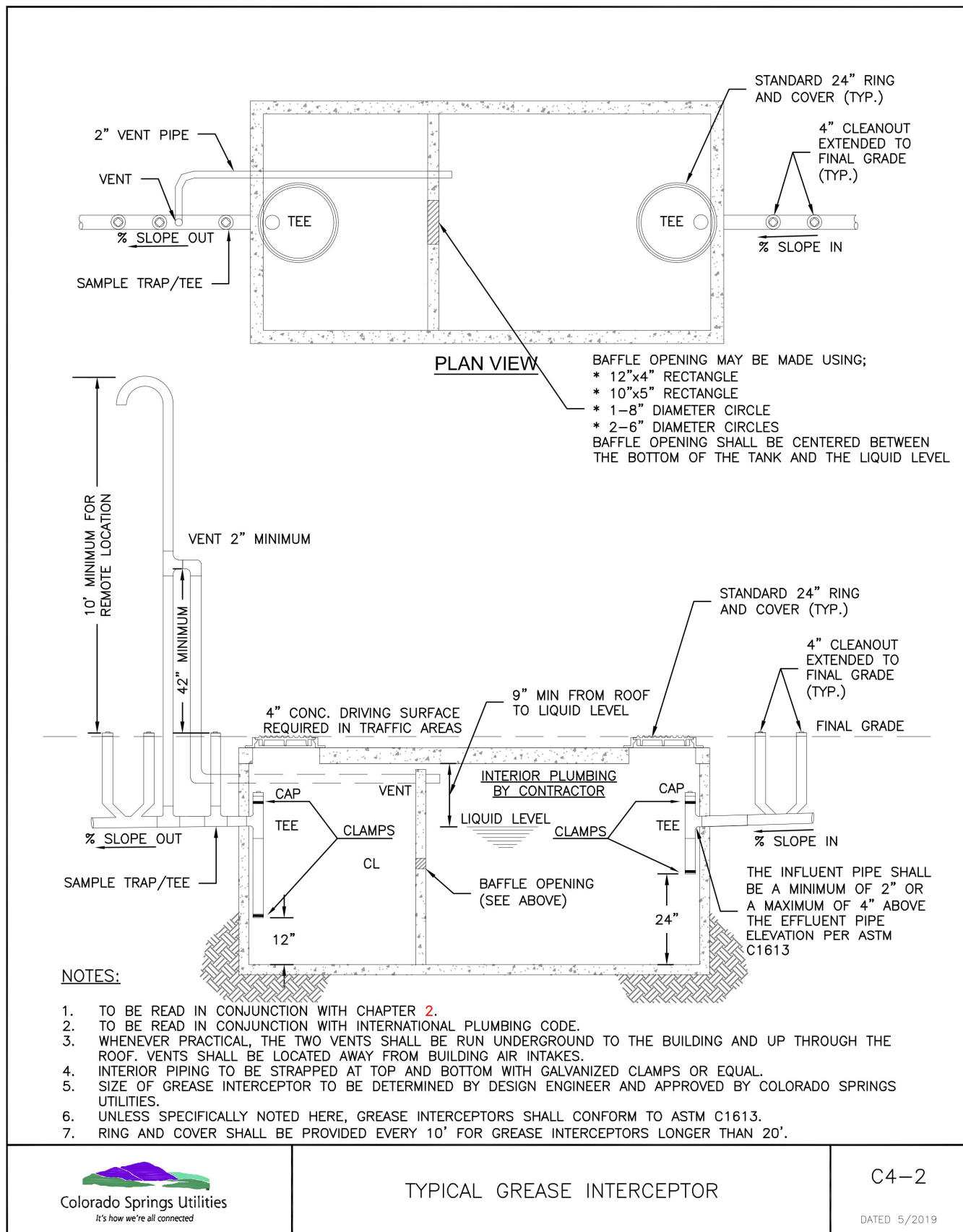
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W.C. CIVIL
7220 W. JEFFERSON AVE
STE. 204
LAKEWOOD, CO 80235
PHONE: (303) 390-0172

WC CIVIL

SITE DETAILS

DUNKIN BENT GRASS
SITE DEVELOPMENT PLAN
LOT 1A, BENT GRASS EAST COMMERCIAL FILING NO. 2A,
LOCATED IN TOWN OF PEYTON,
COUNTY OF EL PASO, STATE OF COLORADO

W.C. Civil Team: TS, LP
Date: 2022/03/04
Engineering No.: AS NOTED
Scale:

Sheet No.: 9

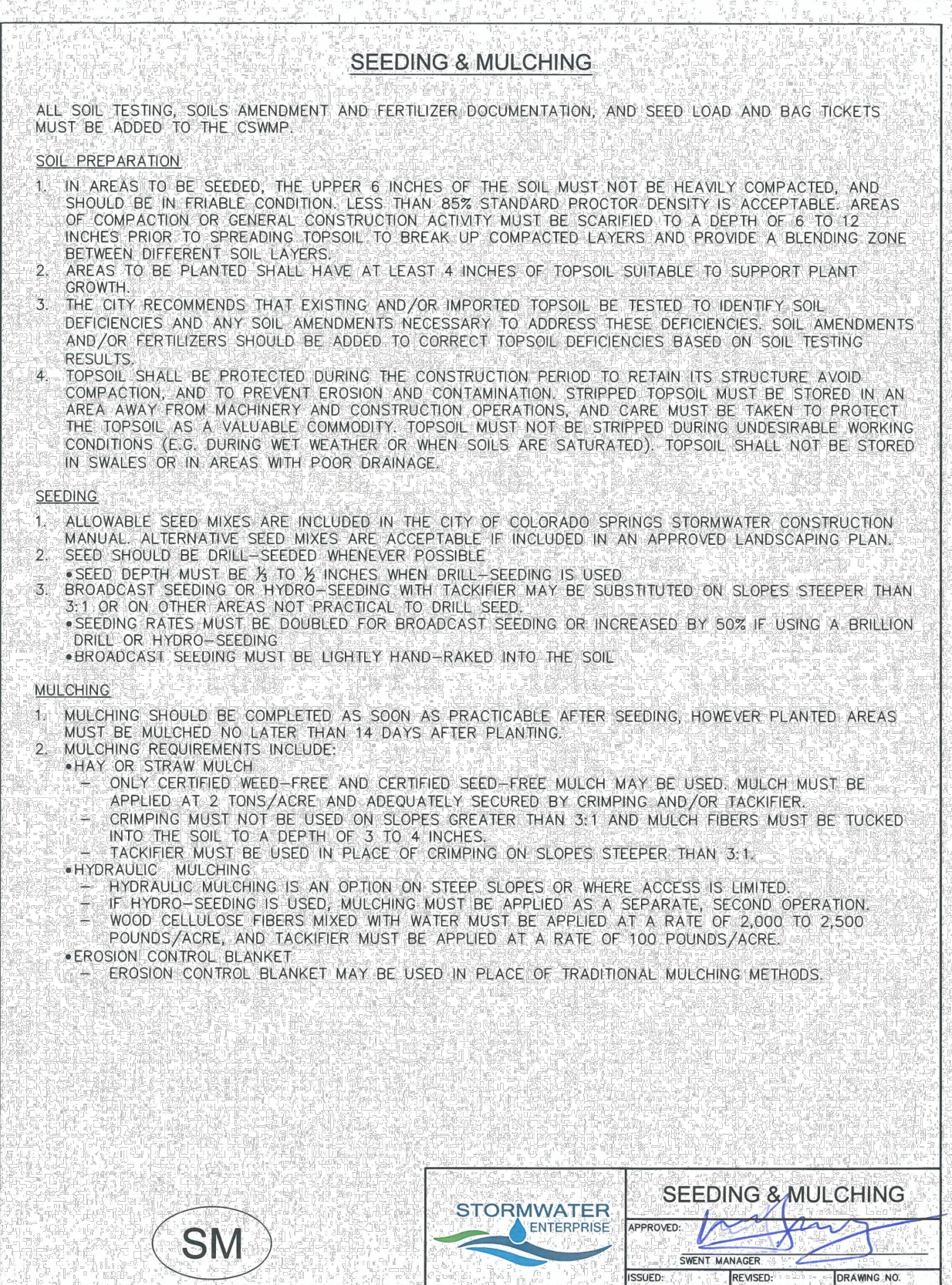
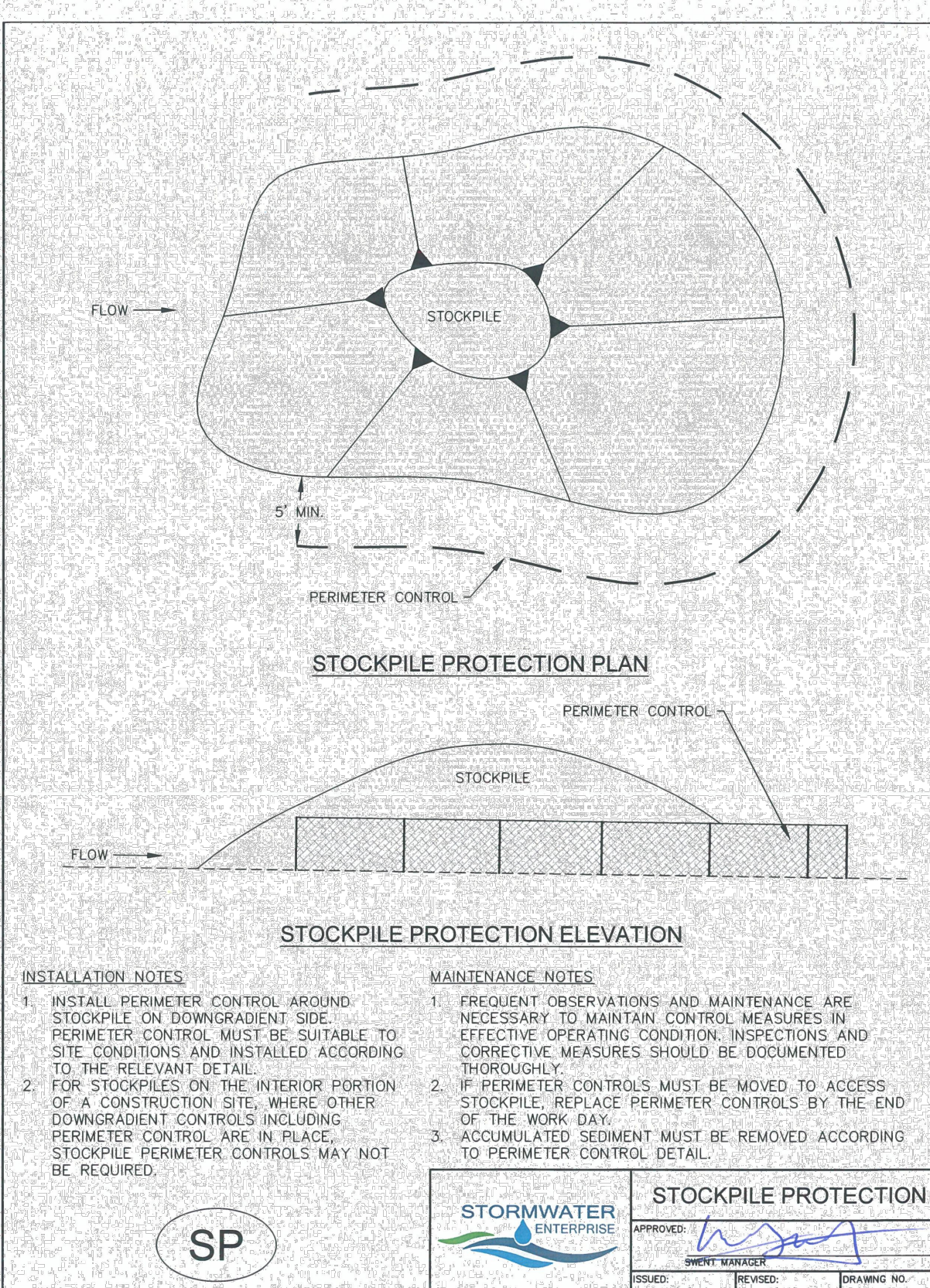
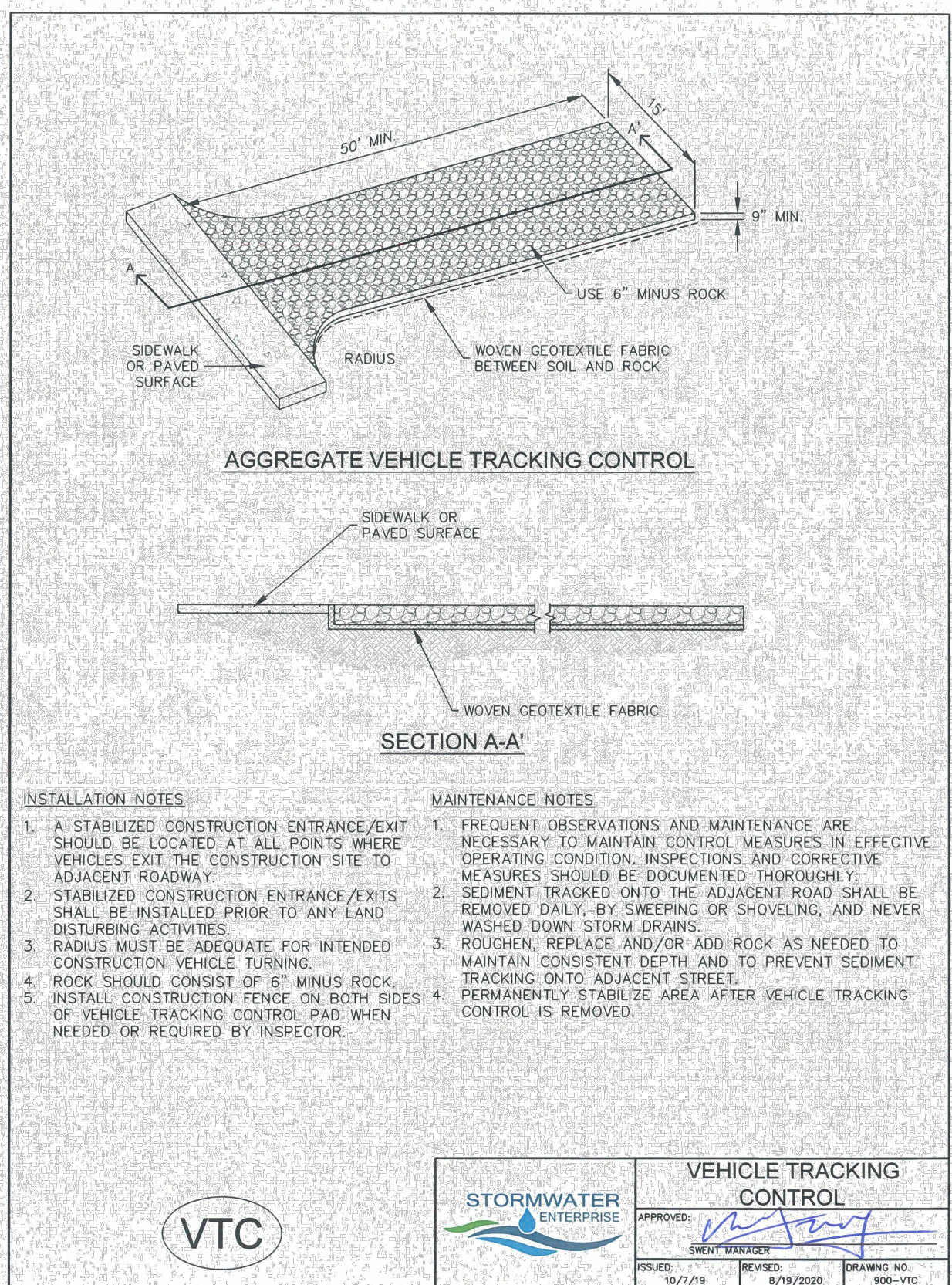
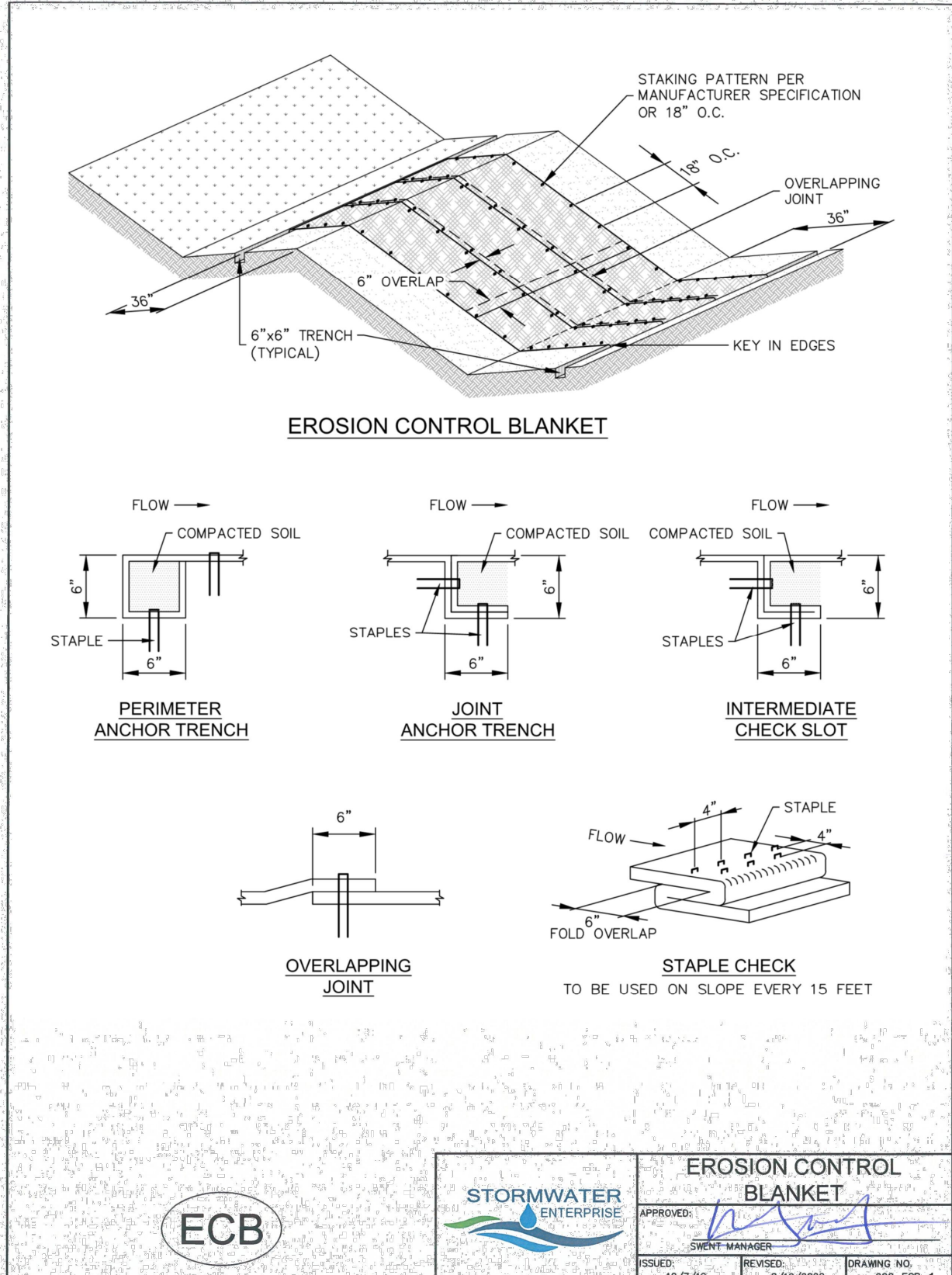
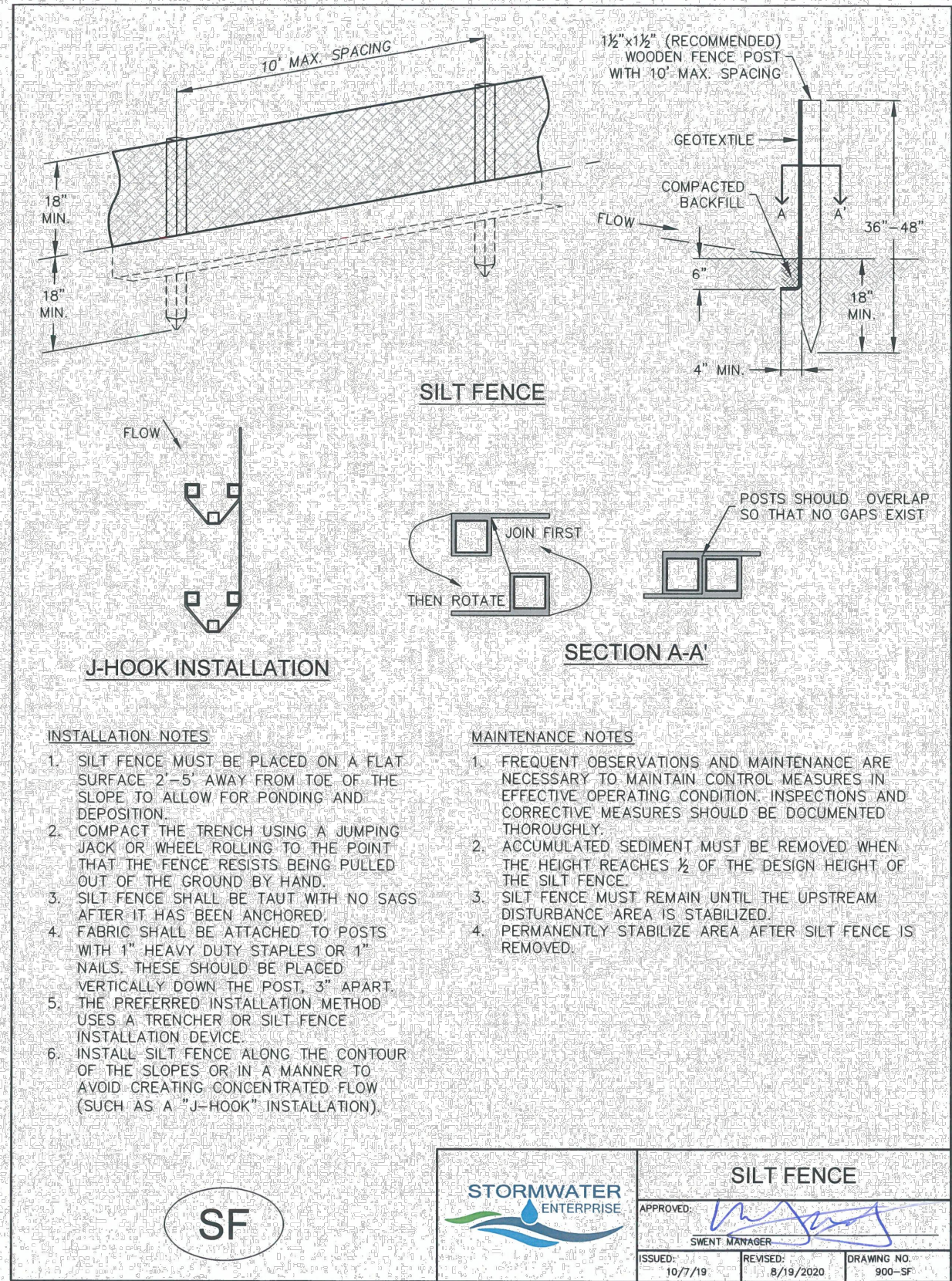
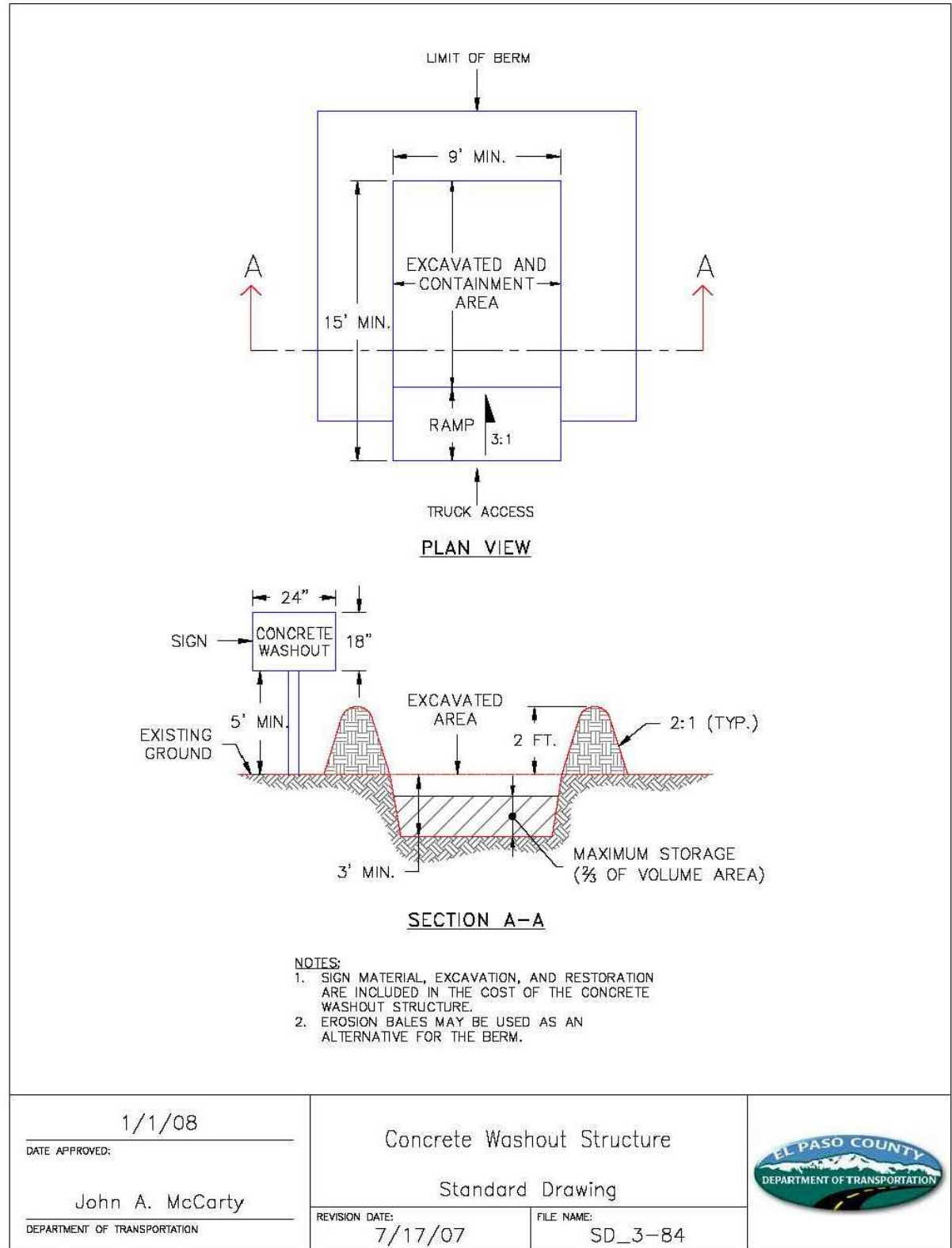
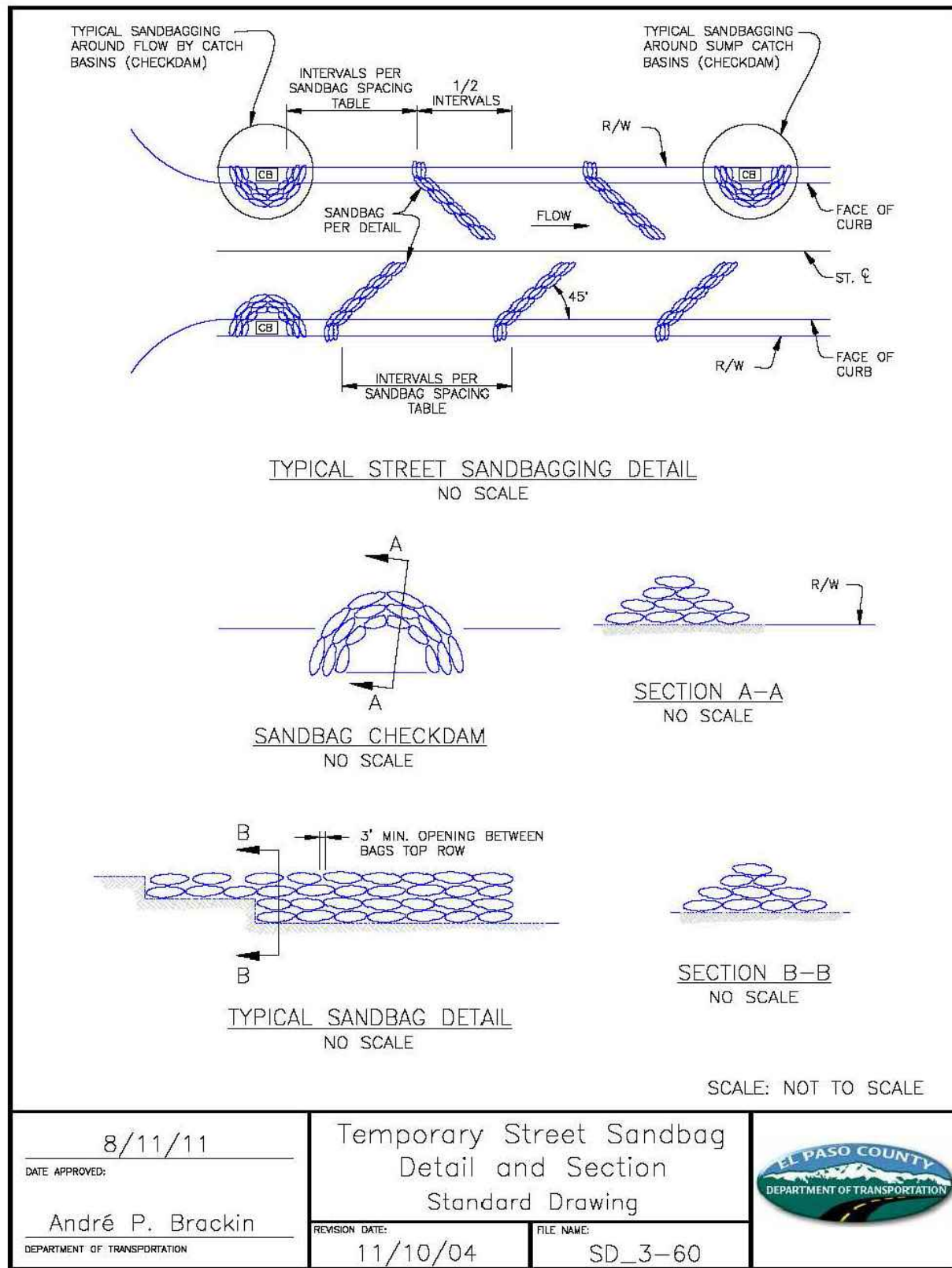
Client: **CD BENT GRASS LLC**
106 S. KYRENE RD.
CHANDLER, AZ 85226
PHONE:
ATTN: B. HAYENGA

DATE: 03/18/22

NO. INITIAL SUBMITAL

DESCRIPTION

PERMIT NO.: _____



W.C. CIVIL
7220 W. JEFFERSON AVE
STE. 204
LAKEWOOD, CO 80235
PHONE: (303) 390-0172

WC CIVIL

SITE DETAILS

DUNKIN BENT GRASS
SITE DEVELOPMENT PLAN
LOT 1A, BENT GRASS EAST COMMERCIAL FILING NO. 2A,
LOCATED IN TOWN OF PEYTON,
COUNTY OF EL PASO, STATE OF COLORADO

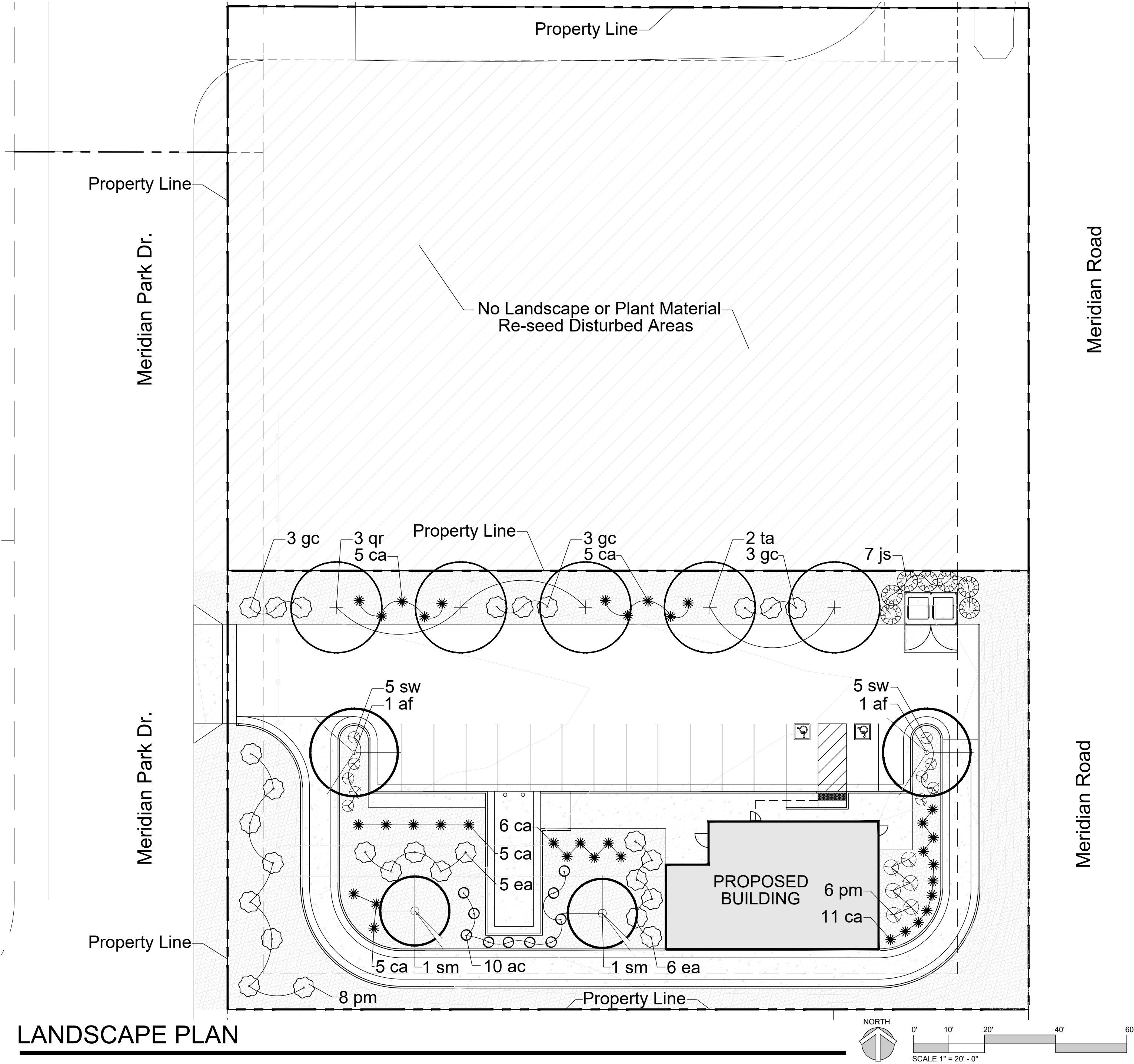
Client: CD BENT GRASS LLC
106 S. KYRENE RD.
CHANDLER, AZ 85226
PHONE:
ATTN: B. HAYENGA

NO.	DESCRIPTION	DATE
-	INITIAL SUBMITTAL	03/18/22

PERMIT NO.:

PLANT MATERIAL SCHEDULE:

SYMBOL	QTY	KEY	BOTANICAL NAME	COMMON NAME	MATURE WIDTH	PLANTING SIZE	NOTES
SHADE TREES							
	3	qr	QUERCUS RUBRA	NORTHERN RED OAK	40'-60'	2" CAL.	B & B
	2	af	ACER X FREMANII	AUTUMN BLAZE MAPLE	25'-30'	2" CAL.	B & B
	2	ta	TILIA AMERICANA	AMERICAN LINDEN	25'-30'	2" CAL.	B & B
ORNAMENTAL TREES							
	2	sm	MALUS SP. 'SPRINGSNOW'	SPRINGSNOW CRABAPPLE	15'-20'	2" CAL.	B & B
EVERGREEN TREES							
	7	js	JUNIPERUS SCOPULORUM 'SKYROCKET'	SKYROCKET JUNIPER	15'-20'	6' HT.	B & B
SHRUBS							
	10	sw	SPIREA JAPONICA 'ANTHONY WATERER'	ANTHONY WATERER SPIREA	3'-4'	5 GAL.	CONT.
	9	gc	RIBES AUREUM	GOLDEN CURRANT	3'-3-6"	5 GAL.	CONT.
	10	ac	RIBES ALPINUM	ALPINE CURRANT	3'-3-6"	5 GAL.	CONT.
	14	pm	PHYSOCARPUS MANOGYNUS	MOUNTAIN NINEBARK	3'-5'	5 GAL.	CONT.
	11	ea	EUONYMUS ALTATUS 'COMPACTA'	DWARF BURNING BUSH	4'-5'	5 GAL.	CONT.
ORNAMENTAL GRASS							
	37	ca	CALAMAGROSTIS ACUTIFLORA	FEATHER REED GRASS	2'-3'	5 GAL.	CONT.



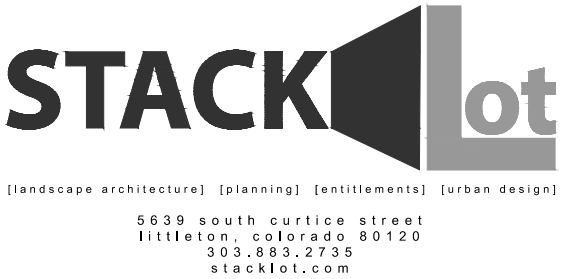
LANDSCAPE PLAN

GENERAL PLANTING NOTES:

1. PRIOR TO BEGINNING ANY WORK ON THE SITE THE LANDSCAPE CONTRACTOR SHALL CONTACT THE OFFICE OF THE GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.
2. LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICE NECESSARY TO FURNISH AND INSTALL PLANTINGS AND MATERIALS AS SPECIFIED HEREIN AND AS SHOWN ON PLANS.
3. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE LANDSCAPE ARCHITECTS APPROVAL IN WRITING. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED.
4. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REVISE PLANT MATERIAL LIST AS DEEMED NECESSARY.
5. ALL PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS.
6. QUANTITIES OF MATERIALS SHOWN ON THE PLANTING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT MATERIAL SCHEDULE. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFY ALL QUANTITIES ON THE PLANTING PLAN(S).
7. LANDSCAPE CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE COMMENCEMENT OF WORK. VERIFY EXACT LOCATION OF ALL UTILITIES BY CONTACTING APPROPRIATE UTILITY COMPANIES. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR / REPLACEMENT FOR ANY DAMAGE CAUSED TO UTILITIES.
8. FINISH GRADE SHALL BE ADJUSTED FOR TURF THICKNESS.
9. ALL PLANT MATERIALS SHALL HAVE BACKFILL, CAREFULLY PLACED AROUND BASE AND IDES OF BALL TO TWO-THIRDS (2/3) DEPTH OF BALL THEN THOROUGHLY SOAKED WITH WATER TO ALLOW SETTLEMENT. ALL WIRE, BURLAP FASTENERS, TOP ONE-THIRD (1/3) OF BURLAP AND LOOSE BURLAP SHALL BE REMOVED AT THIS TIME THE REMAINDER OF HE PIT SHALL THEN BE BACKFILLED, ALLOWING FOR THE DEPTH OF THE MULCH SAUCER AND SETTLEMENT OF BACKFILL. BACKFILL SHALL THEN BE THOROUGHLY WATERED ONCE AGAIN.
10. AFTER PLANTING IS COMPLETED REPAIR INJURIES TO ALL PLANTS AS REQUIRED. LIMIT AMOUNT OF PRUNING TO A MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES. PRUNE IN SUCH A MANNER AS NOT TO CHANGE THE NATURAL GROWING HABIT OR SHAPE OF THE PLANT. MAKE ALL CUTS FLUSH, LEAVING NO STUBS. CENTRAL LEADERS SHALL NOT BE REMOVED. IF THE CENTRAL LEADER OF A PLANT IS DEAD THE PLANT SHALL BE REPLACED.
11. PLANT SPECIFIED GROUND COVERS WITHIN ONE FOOT OF TRUCK OF TREES AND SHRUBS PLANTED WITHIN THE AREA. PLANTING ARRANGEMENTS SHALL BE TRIANGULAR WITH PROPER SPACING BETWEEN PLANTS.
12. COMMERCIAL GRADE 3/8" INCH BY 4" POWDER COATED STEEL EDGING SHALL BE USED TO SEPARATE ALL TURF AREAS FROM PLANTING BEDS. PLACE EDGING FLUSH WITH GRADE AND STAKE TO GROUND PER MANUFACTURES RECOMMENDATIONS.
13. LANDSCAPE CONTRACTOR TO PROVIDE THE LANDSCAPE CONTRACTOR A SAMPLE OF PROPOSED STEEL EDGING FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
14. USE SHREDDED CEDAR MULCH IN ALL PLANTING BEDS AND TREE SAUCERS. LANDSCAPE CONTRACTOR SHALL PROVIDE A 1 CUBIC FOOT SAMPLE OF PROPOSED MULCH TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
15. PLACE FOUR INCHES OF MULCH IN ALL SHRUB BEDS, PLACE FOUR INCHES OF MULCH IN ALL GROUND COVER, PERENNIAL BEDS AND PLACE 4 INCHES OF MULCH AT ALL TREE SAUCERS.
16. PLANTING BEDS RECEIVING MULCH MULCH ARE TO BE FREE OF WEEDS AND GRASS. TREAT BEDS WITH A PRE-EMMERGENT HERBICIDE PRIOR TO PLANTING AND MULCH PLACEMENT. DO NOT APPLY HERBICIDE IN PERENNIAL OR ANNUAL BEDS.
17. LANDSCAPE CONTRACTOR TO REMOVE TREE STAKES AND ALL DEAD WOOD ON TREES AND SHRUBS ONE YEAR AFTER SUBSTANTIAL COMPLETION IS GRANTED ON THE COMPLETE PROJECT.
18. REPORT ANY DISCREPANCIES IN THE PLANTING PLAN TO THE LANDSCAPE ARCHITECT PRIOR TO STARTING CONSTRUCTION.
19. ALL LANDSCAPE AREAS SHALL BE IRRIGATED BY AN UNDERGROUND AUTOMATIC UNDERGROUD IRRIGATION SYSTEM. WITH SEPARATE ZONES FOR TURF AND SHRUBS / TREES / GROUND COVER.
20. IF TRANSFORMERS, GROUND MOUNTED HVAC EQUIPMENT, UTILITY PEDESTALS, ETC. ARE NOT SHOWN ON THE SITE IMPROVEMENT PLAN, ADDITIONAL LANDSCAPE/SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DISCOVERED VIA THE SITE INSPECTION BY STAFF, MADE PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY, OR FINAL INSPECTION AS APPLICABLE.

IRRIGATION NOTE

AN IRRIGATION PLAN SHALL BE SUBMITTED AND REVIEWED CONCURRENT WITH BUILDING PERMIT SUBMITTAL AND APPROVED PRIOR TO ISSUANCE OF A BUILDING PERMIT AND BEFORE ANY IRRIGATION CONSTRUCTION.



PERMIT NO.:

Client:
CD BENT GRASS LLC
106 S. KYRENE RD.
CHANDLER, AZ 85226
PHONE:
ATTN: B. HAYENGA

DATE
03/22/22

DESCRIPTION
INITIAL SUBMITTAL

NO.
-

W.C. CIVIL
7220 W. JEFFERSON AVE
STE. 204
LAKEWOOD, CO 80235
PHONE: (303) 390-0172

WC CIVIL

File:
FINAL LANDSCAPE PLAN
DUNKIN BENT GRASS
SITE DEVELOPMENT PLAN
LOT 1A, BENT GRASS EAST COMMERCIAL FILING NO. 2A,
LOCATED IN TOWN OF PEYTON,
COUNTY OF EL PASO, STATE OF COLORADO

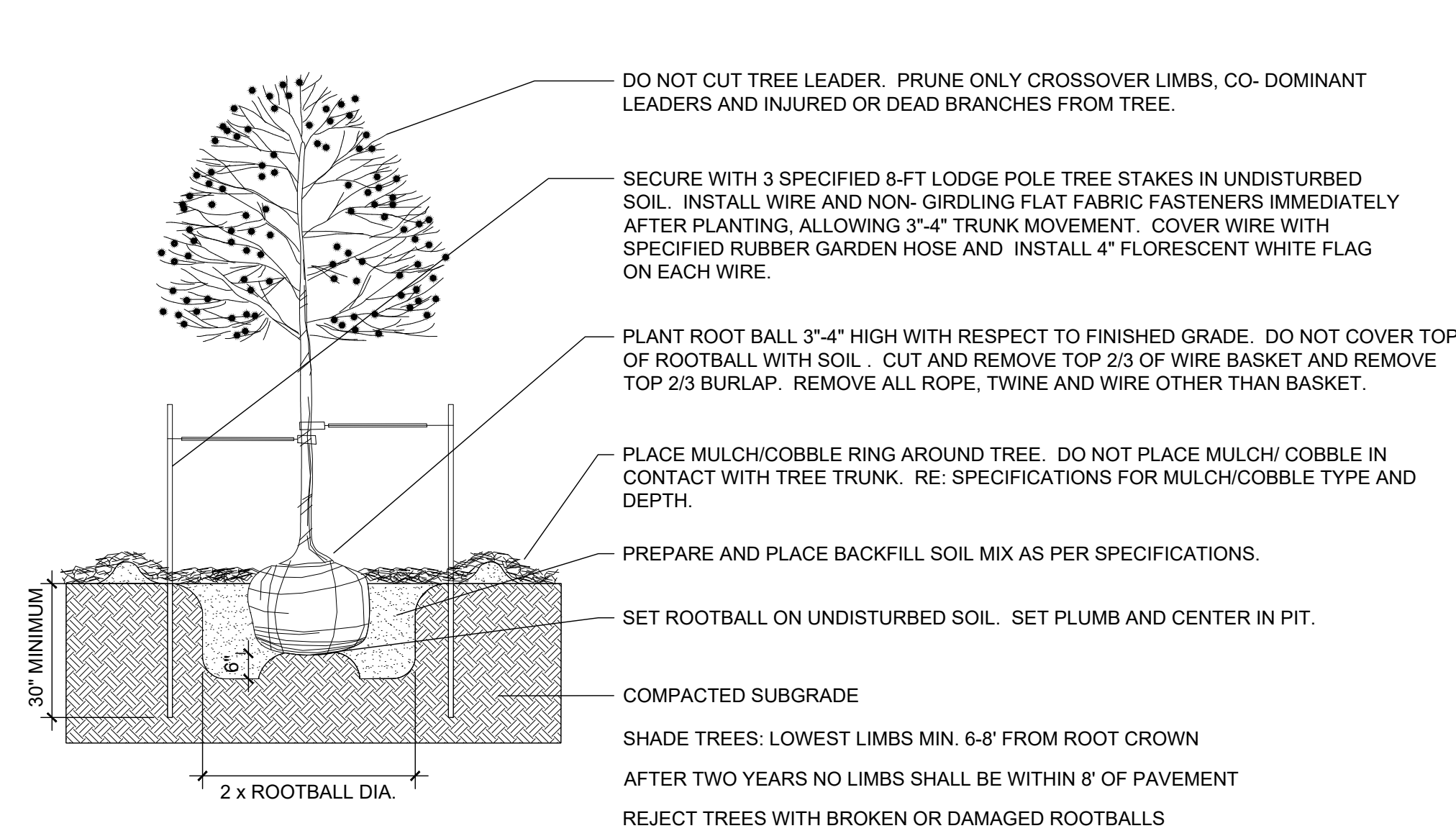
WC Civil Team:
TS, LP

Date:
2022/05/06

Engineering No.:
AS NOTED

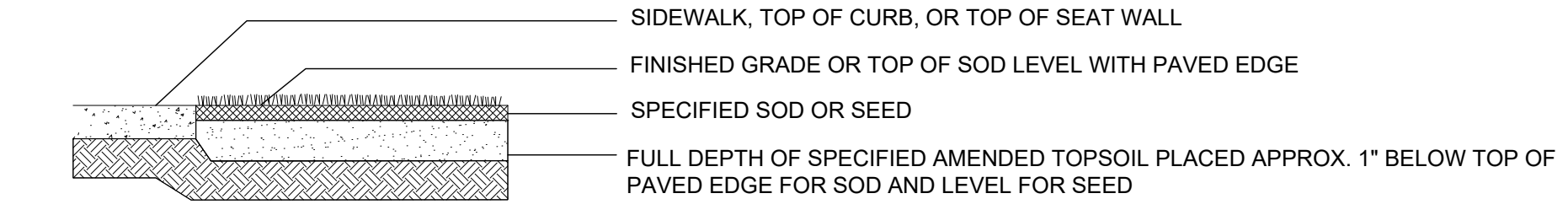
Scale:

Sheet No.:
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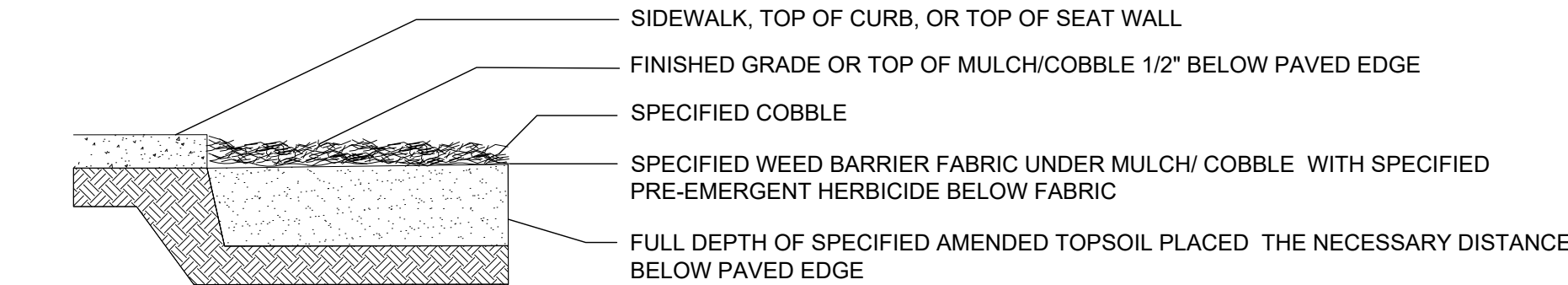


1 DECIDUOUS TREE

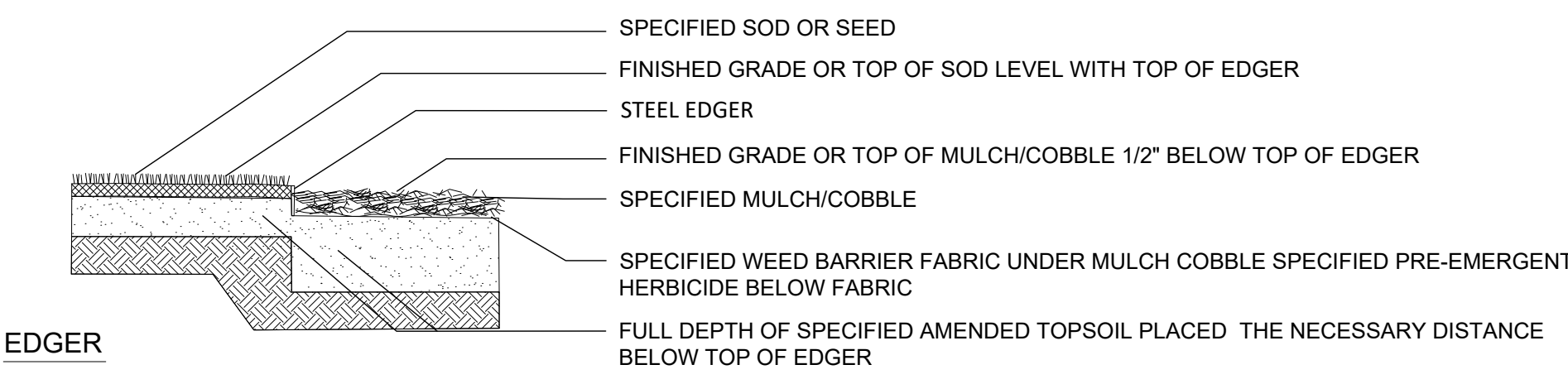
NOT TO SCALE



SOD ADJACENT TO WALKS AND CURBS

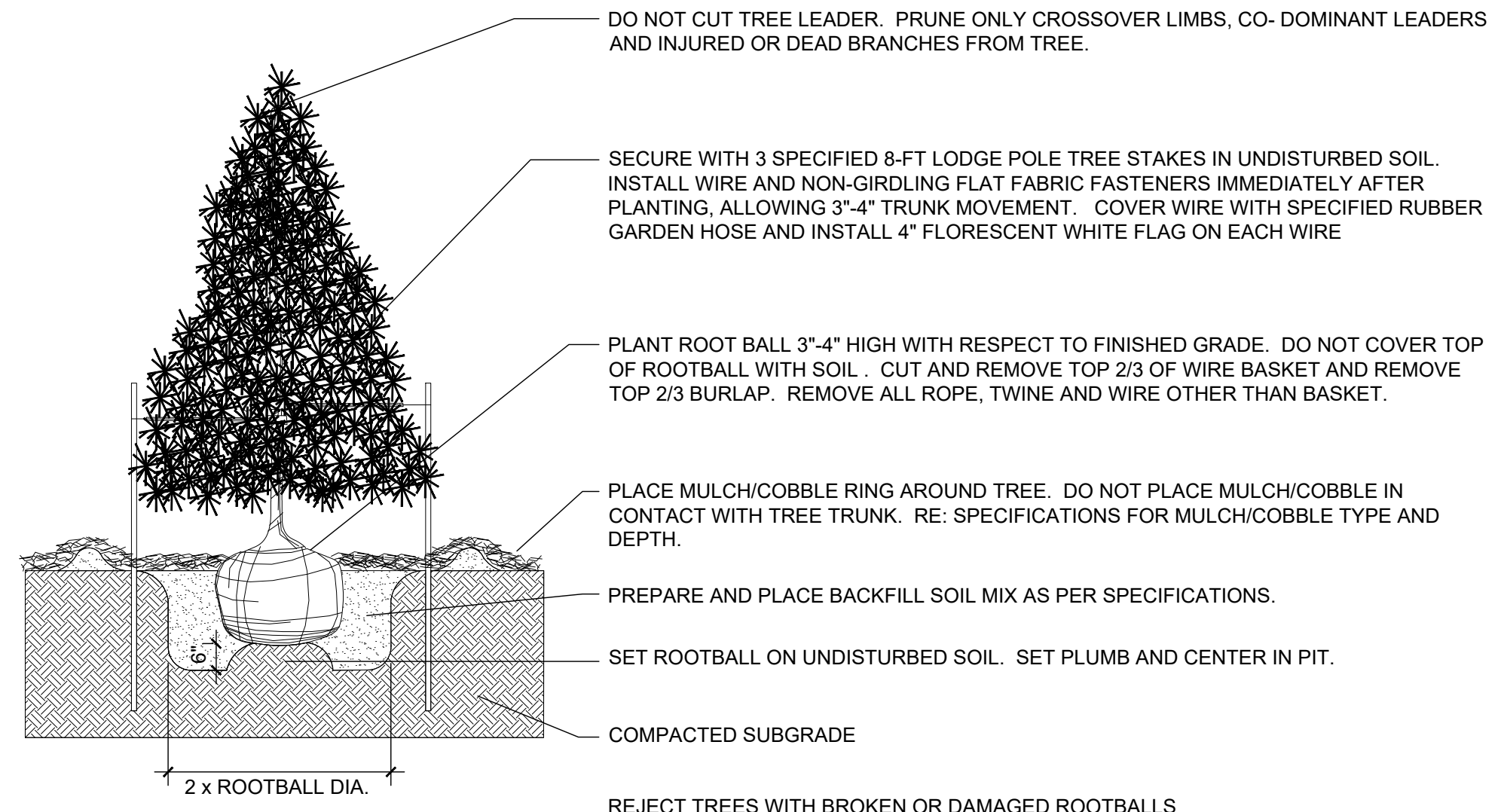


MULCH ADJACENT TO WALKS AND CURBS



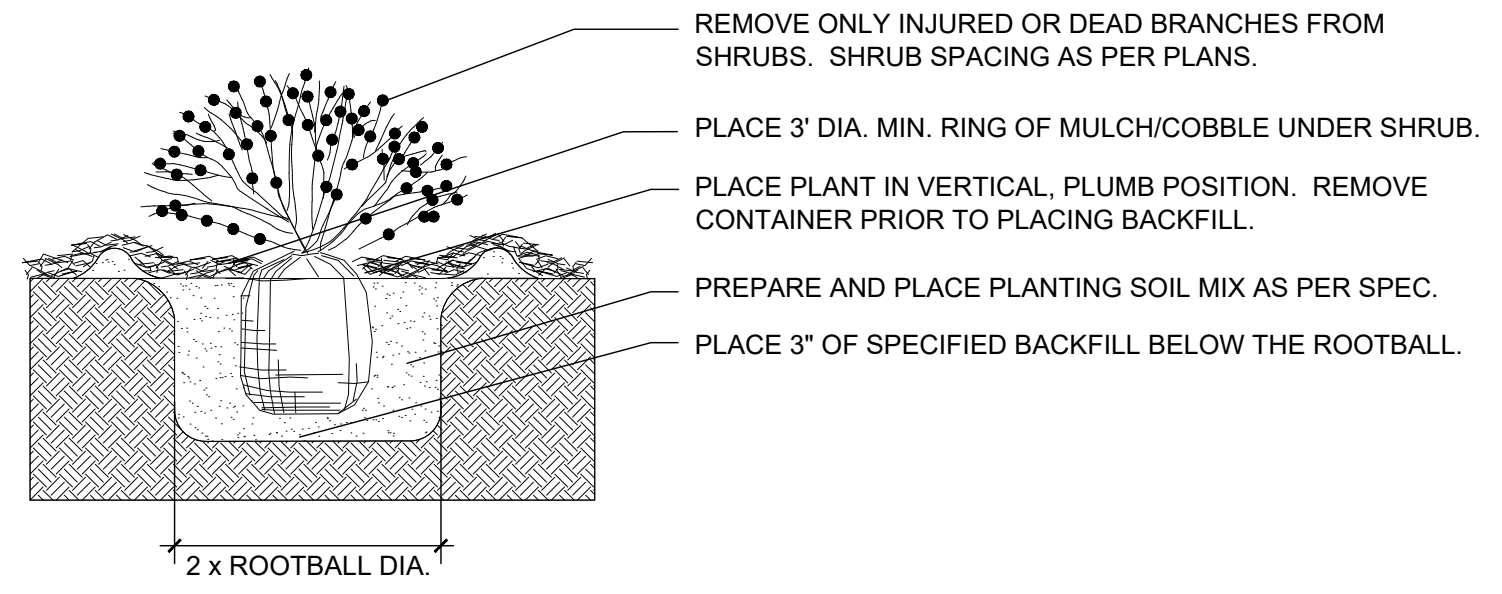
EDGE TREATMENT

NOT TO SCALE



2 EVERGREEN TREE PLANTING

NOT TO SCALE



4 SHRUB PLANTING

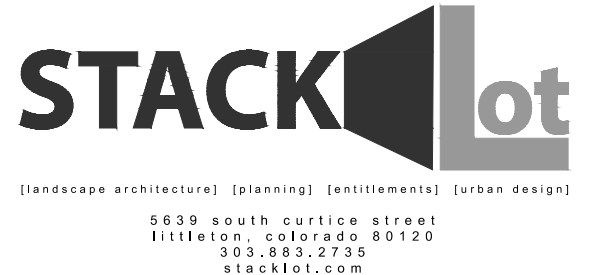
NOT TO SCALE

SOIL ANALYSIS CONTRACTOR REQUIREMENT


"THE REQUIRED SOIL ANALYSIS REPORT IS REQUIRED TO BE SUBMITTED AND APPROVED WITH THE IRRIGATION PLAN SUBMITTAL AND BEFORE ANY LANDSCAPE CONSTRUCTION. THIS WOULD INCLUDE COMPLETING THE SOIL SAMPLING AND SUBMITTING THE SAMPLES TO A SOILS LAB FOR TESTING. A SEPARATE LAB TEST REPORT AND SOIL PREPARATION RECOMMENDATIONS (AMENDMENT/FERTILIZER AMOUNTS AND APPLICATION RATES) FOR EACH TYPE OF PROPOSED LANDSCAPING (SHRUB BEDS/SOD/NATIVE SEED) WILL NEED TO BE PROVIDED TO CITY STAFF FOR REVIEW AND APPROVAL."

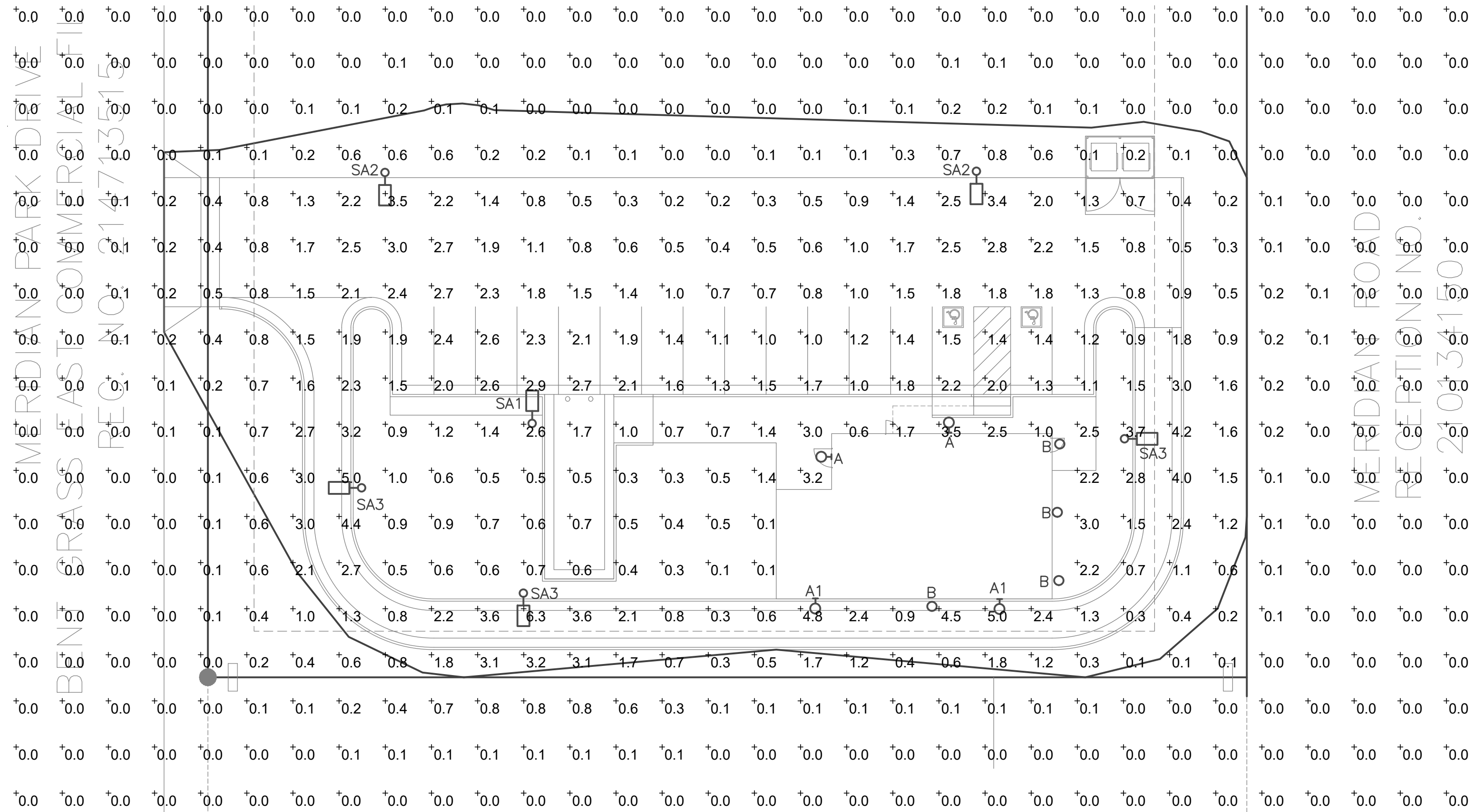
SOIL AMENDMENTS

PRIOR TO PLANTING, ALL SITES FOR PLANTINGS SHALL INCORPORATE SOIL AMENDMENTS AT A RATE OF 3 CUBIC YARDS PER 1000 SQUARE FEET TO A MINIMUM DEPTH OF 6". A LESSER AMOUNT SHALL BE ALLOWED IF A SOIL TEST SHOWS THAT 3 CUBIC YARDS PER 1000 SQUARE FEET IS NOT NECESSARY FOR WATER RETENTION AND DEEP ROOTING OF PLANT MATERIALS. IF THE SPECIFIED PLANT MATERIAL REQUIRES LESS FERTILE SOIL, THOSE AREAS MAY HAVE LESS SOIL AMENDMENTS INSTALLED IF APPROVED BY THE COMMUNITY DEVELOPMENT DIRECTOR. THESE AREAS SHALL BE IDENTIFIED ON THE LANDSCAPE PLAN. EXISTING TOPSOIL SHALL BE SALVAGED AND STOCKPILED FOR USE AS SOIL AMENDMENTS OR TOPSOIL. NO TOPSOIL SHALL BE REMOVED FROM THE SITE UNLESS THE CITY APPROVES THE TRANSFER OF TOPSOIL TO A CITY-OWNED PARK OR OPEN SPACE AREA. A NOTE SHALL BE PLACED ON THE LANDSCAPE PLAN REFLECTING THE ABOVE REQUIREMENTS REGARDING SOIL AMENDMENTS AND TOPSOIL. EXAMPLES OF ACCEPTABLE SOIL AMENDMENTS INCLUDE COMPOST AND AGED MANURE. MOUNTAIN PEAT AND INORGANIC MATERIALS SUCH AS SAND, GYPSUM AND LIME ARE PROHIBITED SOIL AMENDMENTS. ALL SITES ARE SUBJECT TO INSPECTION BY THE CITY FOR COMPLIANCE WITH SOIL AMENDMENT REQUIREMENTS.



PERMIT NO.: _____

<div><div><div><div>WC</div><div>CIVIL</div></div></div><div><div>LANDSCAPE DETAILS</div><div>DUNKIN BENT GRASS</div><div>SITE DEVELOPMENT PLAN</div><div>LOT 1A, BENT GRASS EAST COMMERCIAL FILING NO. 2A,</div><div>LOCATED IN TOWN OF PEYTON,</div><div>COUNTY OF EL PASO, STATE OF COLORADO</div></div></div>		W.C. CIVIL 7220 W. JEFFERSON AVE STE. 204 LAKEWOOD, CO 80235 PHONE: (303) 390-0172		NO.		DESCRIPTION		DATE		Client:	
				-		INITIAL SUBMITTAL		03/22/22		CD BENT GRASS LLC	
WC Civil Team: TS, LP		Date: 2022/03/22		Engineering No.:		Scale: AS NOTED					
Sheet No.:											



SITE PHOTOMETRIC PLAN

Scale: 1"=20'
0 20 40
FEET

SITE PHOTOMETRIC SUMMARY	
AVERAGE	= 0.6 FT. CANDLE
MAXIMUM	= 6.3 FT. CANDLE
MINIMUM	= 0.0 FT. CANDLE

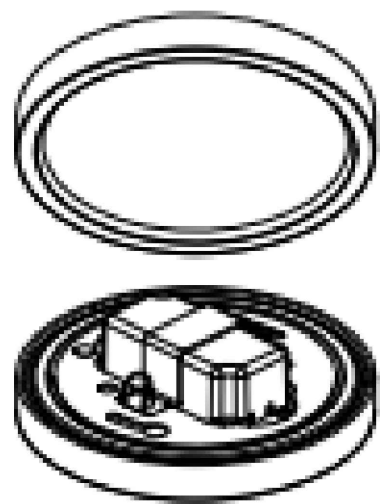
LIGHTING FIXTURE SCHEDULE						
ITEM	NO.	MANUFACTURER	CAT. NO.	LAMPS	MOUNTING	DESCRIPTION
A	2	LITHONIA LIGHTING	WPX1 LED P2 40K MVOLT DDBXD	24 WATT 3000K LED 2,900 LUMENS	WALL +14 FT	EXTERIOR WALL MOUNTED CUT OFF LIGHT
A1	3	LITHONIA LIGHTING	WDGE1 LED P1 30K VW MVOLT	11 WATT 3000K LED 1200 LUMENS	WALL +9 FT	EXTERIOR WALL MOUNTED CUT OFF LIGHT
B	4	LIGHTOLIER	S5R-840K-7	10 WATT 3000K LED 650 LUMENS	UNDER SOFFIT +8 FT	5" THIN SURFACE LED DOWN LIGHT
SA1	1	LITHONIA LIGHTING	DSX1 LED P1 40K T3M-MVOLT-SPA-HSS-DBLBXD	54 WATT 3000K LED 6,967 LUMENS	16 FT POLE	SINGLE HEAD FULL CUT OFF POLE LIGHT ON SQUARE POLE, MOUNTED AT 16 FT ABOVE GRADE TO TOP OF FIXTURE, TYPE III OPTICS,HOUSE SIDE SHIELD
SA2	2	LITHONIA LIGHTING	DSX1 LED P1 40K T4M-MVOLT-SPA-HSS-DBLBXD	54 WATT 3000K LED 6,967 LUMENS	16 FT POLE	SINGLE HEAD FULL CUT OFF POLE LIGHT ON SQUARE POLE, MOUNTED AT 16 FT ABOVE GRADE TO TOP OF FIXTURE, TYPE IV OPTICS,HOUSE SIDE SHIELD
SA3	1	LITHONIA LIGHTING	DSX0 LED P1 40K T3M-MVOLT-SPA-DBLBXD	38 WATT 3000K LED 4,700 LUMENS	10 FT POLE	SINGLE HEAD FULL CUT OFF POLE LIGHT ON SQUARE POLE, MOUNTED AT 10 FT ABOVE GRADE TO TOP OF FIXTURE, TYPE III OPTICS



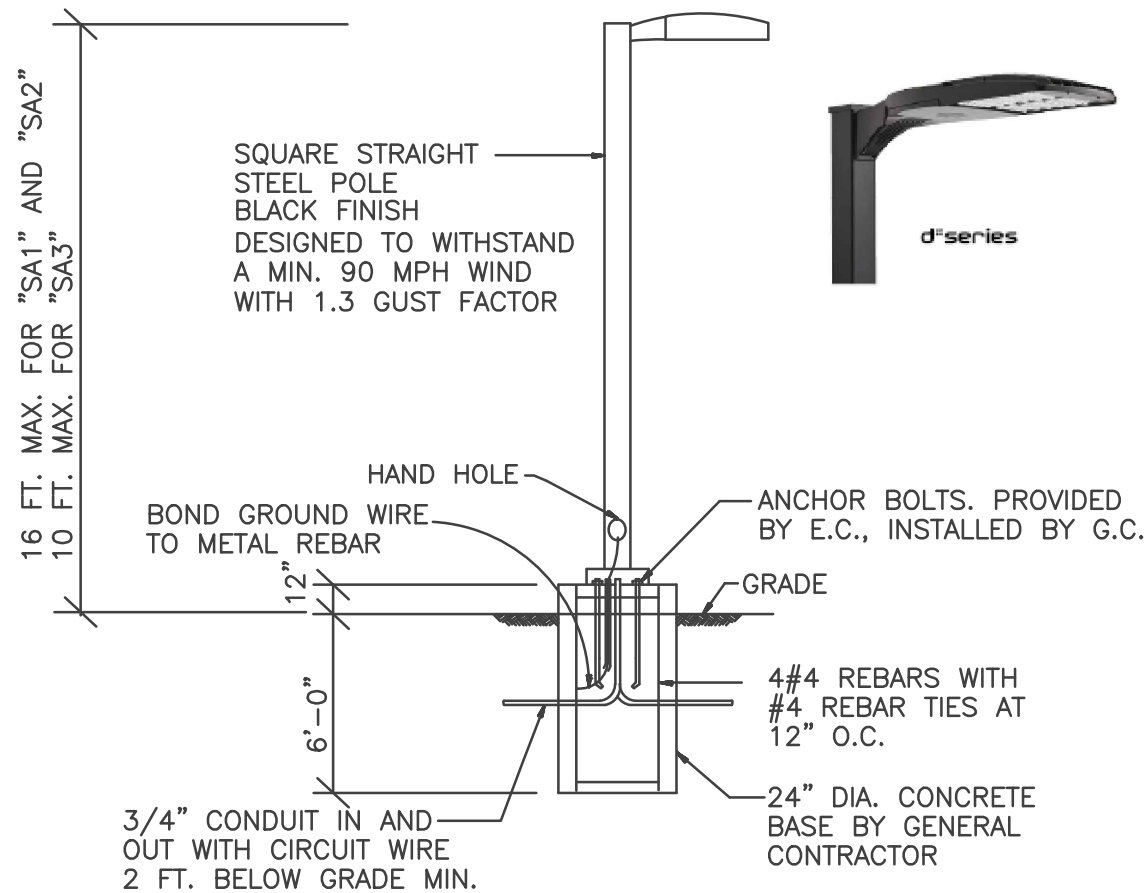
FIXTURE 'A1'



FIXTURE 'A'



FIXTURE 'B'



POLE MOUNTED FIXTURES INSTALLATION DETAIL
FOR FIXTURES "SA1", "SA2" AND "SA3"
NO SCALE

PERMIT NO.: _____

Client:

CD BENT GRASS LLC

DATE

03/18/22

DESCRIPTION

INITIAL SUBMITTAL

NO.

-

ENGINEERING CONSULTANTS INCORPORATED

8811 E Hampden Ave. Ste. 208, Denver, CO 80231
(303) 355-5534 (tel) walter@geptic.com

PHOTOMETRIC PLAN

DUNKIN BENT GRASS
SITE DEVELOPMENT PLAN
LOT 1A, BENT GRASS EAST COMMERCIAL FILING NO. 2A,
LOCATED IN TOWN OF PEYTON,
COUNTY OF EL PASO, STATE OF COLORADO

WC Civil Team:
TS, LP

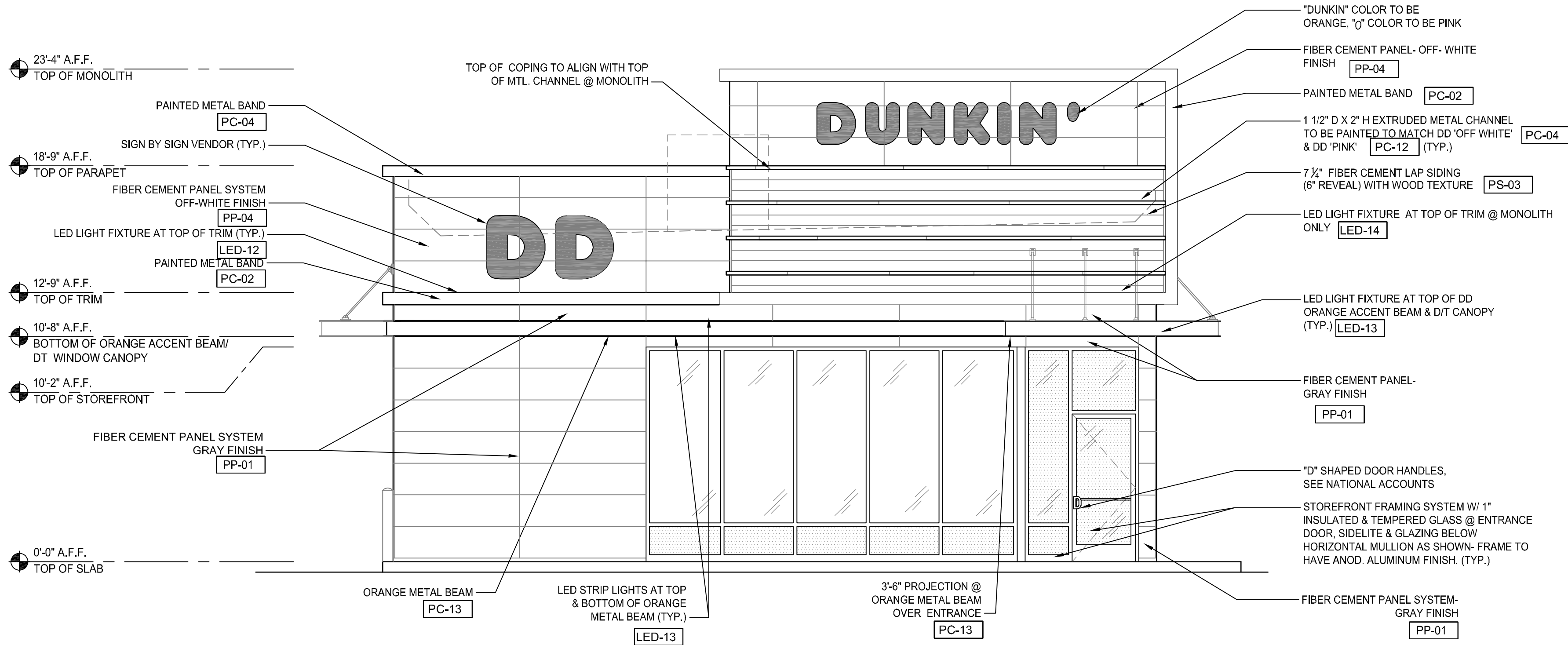
Date:
2022/03/04

Engineering No.:

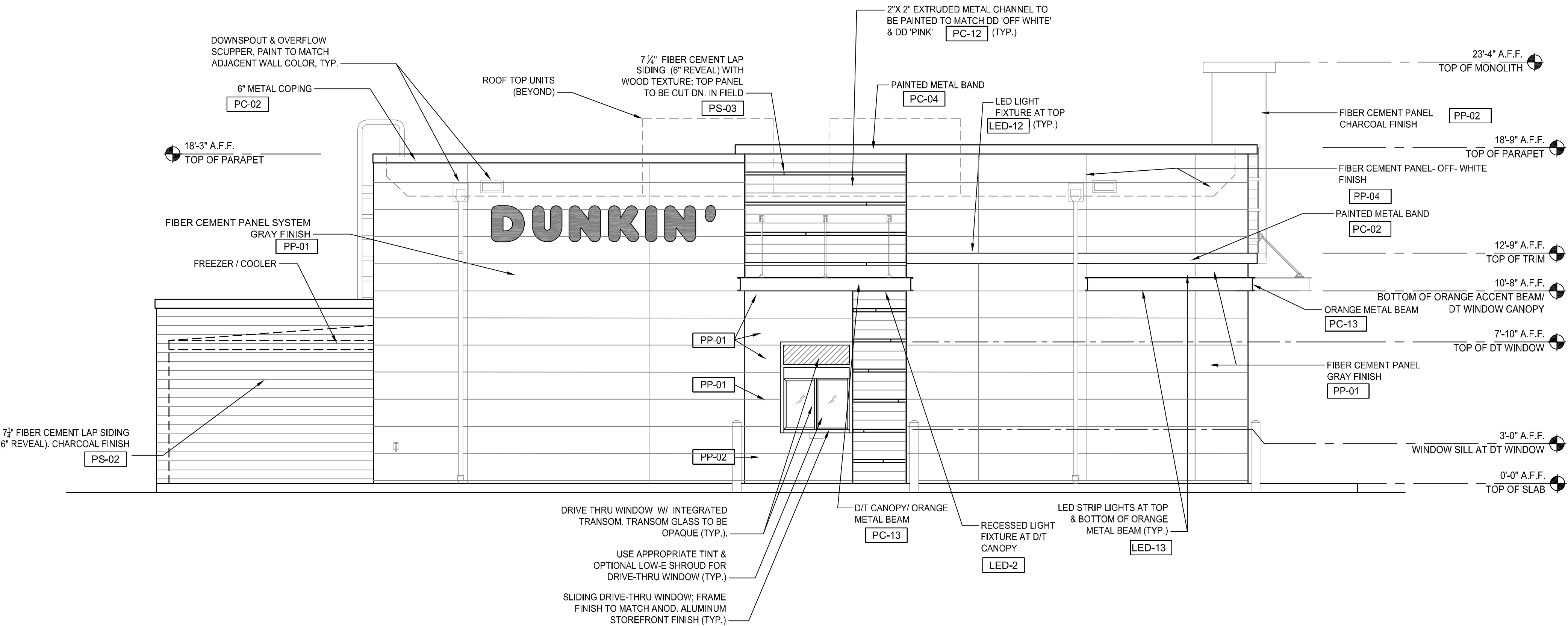
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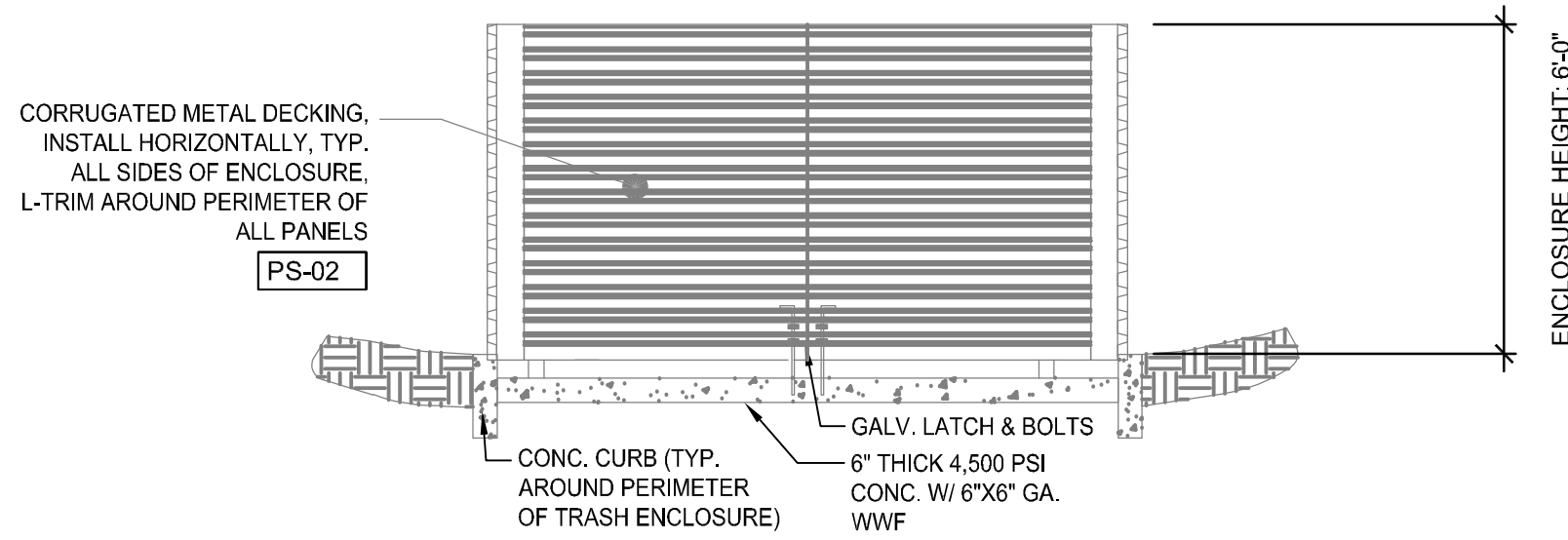
13



EAST ELEVATION (FRONT)
1/4"=1'-0"



SOUTH ELEVATION (DRIVE THRU)
1/4"=1'-0"



TRASH ENCLOSURE (FRONT)
1/4"=1'-0"

GENERAL NOTES

- SIGNAGE IS NOT APPROVED PER THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT THE DEVELOPMENT REVIEW ENTERPRISE AT 719 385-5982 TO BEGIN A SIGN PERMIT APPLICATION.

MATERIAL SCHEDULE			
CODE	MATERIAL	MANUFACTURER	PRODUCT #
PP-01	FIBER-CEMENT CLADDING	NICHIHA	GRAY FINISH TUFFBLOCK "PEWTER" EPF641F
PP-02	FIBER-CEMENT CLADDING	NICHIHA	CHARCOAL FINISH TUFFBLOCK "STEEL" EPF644F
PP-04	FIBER-CEMENT CLADDING	NICHIHA	OFF WHITE FINISH MIRAIA SNOW - EDM1014SUS AWP 18X18 SMOOTH
PS-02	FIBER CEMENT SIDING	JAMES HARDIE	CHARCOAL FINISH WOOD FINISH RUSTIC SERIES WOODTONE
PS-03	FIBER CEMENT SIDING	WOODTONE	WOOD FINISH RUSTIC SERIES WOODTONE
PC-02	PAINTED COATING	SHERWIN WILLIAMS	CHARCOAL FINISH SW 7069 "IRON ORE"
PC-04	PAINTED COATING	POWDER COAT	OFF WHITE FINISH SW 7063 "NEBULOUS WHITE"
PC-12	PAINTED COATING	SHERWIN WILLIAMS	DD PINK FINISH-COLOR MATCH PMS 219 C
PC-13	PAINTED COATING	SHERWIN WILLIAMS	DD ORANGE FINISH COLOR # 5059990

Client

CD BENT GRASS LLC

106 S. KYRENE RD.
CHANDLER, AZ 85226
PHONE:
ATTN: B. HAYENGA

DATE

03/18/22

DESCRIPTION

INITIAL SUBMITTAL

NO.

-

W.C. CIVIL

7220 W. JEFFERSON AVE
STE. 204
LAKEWOOD, CO 80235
PHONE: (303) 390-0172

Architectural Elevations

DUNKIN BENT GRASS
SITE DEVELOPMENT PLAN
LOT 1A, BENT GRASS EAST COMMERCIAL FILING NO. 2A,
LOCATED IN TOWN OF PEYTON,
COUNTY OF EL PASO, STATE OF COLORADO

File:

TS, LP

Date:

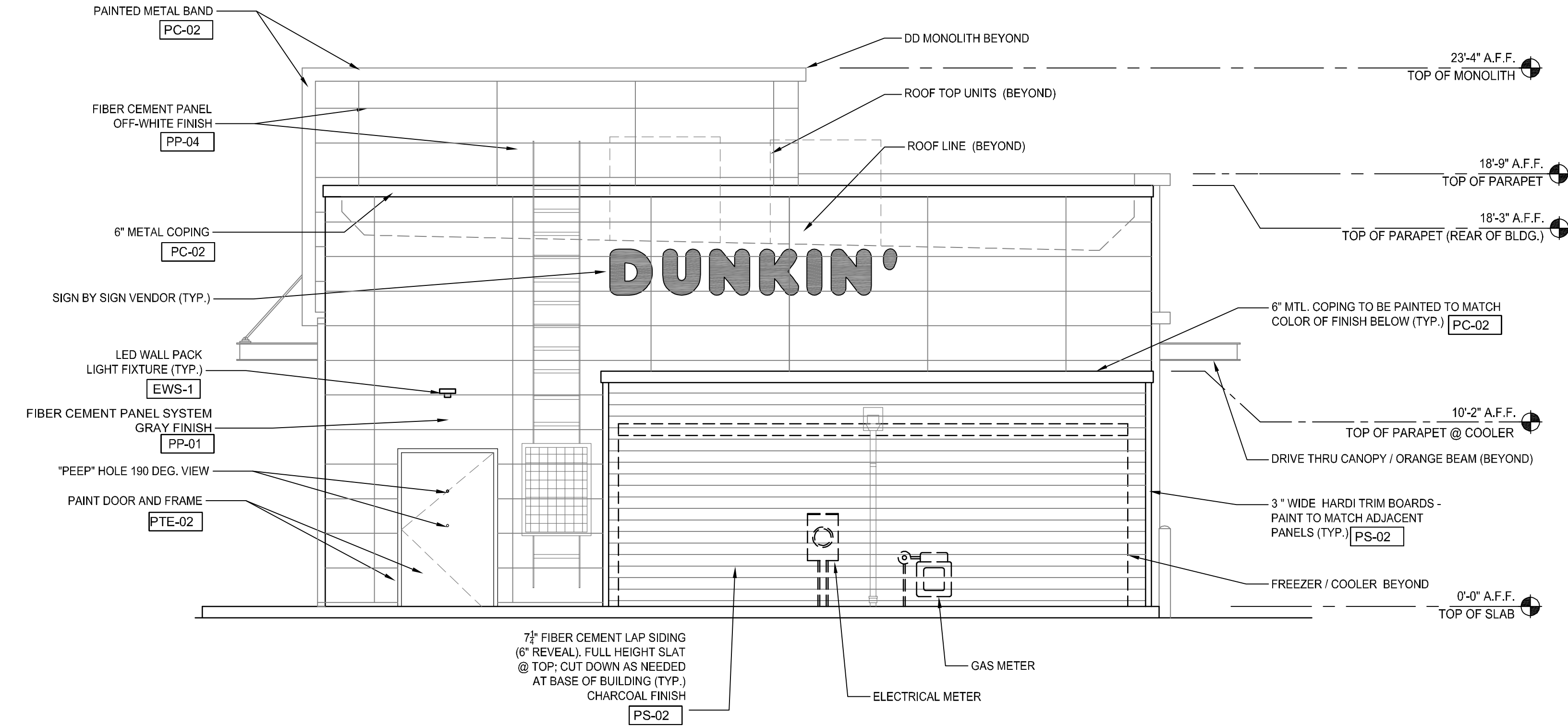
2022/03/04

Engineering No.:

AS NOTED

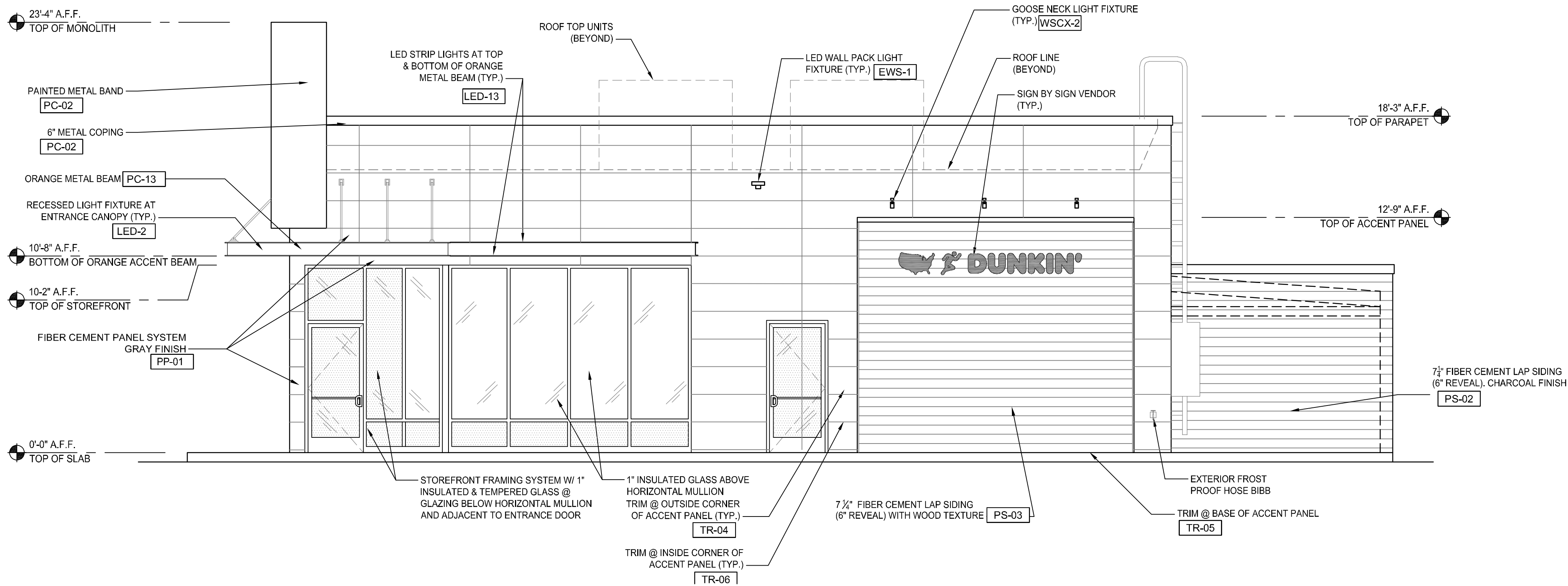
Sheet No.:

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WEST ELEVATION (BACK)

1/4"=1'-0"



NORTH ELEVATION (PARKING LOT)

1/4"=1'-0"

GENERAL NOTES

- SIGNAGE IS NOT APPROVED PER THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT THE DEVELOPMENT REVIEW ENTERPRISE AT 719 385-5982 TO BEGIN A SIGN PERMIT APPLICATION.

MATERIAL SCHEDULE			
CODE	MATERIAL	MANUFACTURER	PRODUCT #
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PS-03	FIBER CEMENT SIDING	WOODTONE	WOOD FINISH RUSTIC SERIES WOODTONE
PC-02	PAINTED COATING	SHERWIN WILLIAMS	CHARCOAL FINISH SW 7069 "IRON ORE"
PC-04	PAINTED COATING	POWDER COAT	OFF WHITE FINISH SW 7063 "NEBULOUS WHITE"
PC-12	PAINTED COATING	SHERWIN WILLIAMS	DD PINK FINISH- COLOR MATCH PMS 219 C
PC-13	PAINTED COATING	SHERWIN WILLIAMS	DD ORANGE FINISH COLOR # 5059990

ARCHITECTURAL ELEVATIONS		W.C. CIVIL 7220 W. JEFFERSON AVE STE. 204 LAKEWOOD, CO 80235 PHONE: (303) 390-0172		CD BENT GRASS LLC 106 S. KYRENE RD. CHANDLER, AZ 85226 PHONE: ATTN: B. HAYENGA	
DUNKIN BENT GRASS SITE DEVELOPMENT PLAN LOT 1A, BENT GRASS EAST COMMERCIAL FILING NO. 2A, LOCATED IN TOWN OF PEYTON, COUNTY OF EL PASO, STATE OF COLORADO		-		-	
TS, LP		-		INITIAL SUBMITTAL	
2022/03/04		-		03/18/22	
AS NOTED		-		-	
15		-		-	

PERMIT NO.: _____