

SITE DEVELOPMENT PLAN  
8035 MERIDIAN PARK DRIVE  
SECTION 1, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M.  
TOWN OF PEYTON, COUNTY OF EL PASO, STATE OF COLORADO  
DUNKIN BENT GRASS

BENCHMARK

PROJECT BENCHMARK IS A DOUGLAS COUNTY CONTROL POINT LOCATED ON THE SOUTH SIDE OF HWY 86 JUST EAST OF PROJECT SITE.

NORTHING: 22842.29, EASTING: 19721.79

BENCHMARK IS 11.215" ALUMINUM DISC SET FLUSH TO THE GROUND. THE ELEVATION IS 1994.64 M (6544.09 US SURVEY FEET) BASED ON THE NAVD 88 DATUM.

BASIS OF BEARINGS

A PORTION OF THE SOUTH LINE OF THE NORTHEAST QUARTER SECTION 1, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN EL PASO COUNTY, COLORADO BEING MONUMENTED AT THE WEST END BY THE CENTER QUARTER CORNER OF SAID SECTION 1 BY A 2 1/2" ALUMINUM SURVEYORS CAP WITH APPROPRIATE MARKING PLS 28651 AND AT THE EAST END, AT THE NORTHWESTERLY CORNER OF LOT 1 FALCON RANCHETTES RECORDED IN PLAT BOOK V-2 AT PAGE 15, RECORDS OF EL PASO COUNTY, COLORADO. BY A YELLOW PLASTIC SURVEYORS CAP STAMPED "PLS 2372" AND IS ASSUMED TO BEAR S89°49'43", A DISTANCE OF 2,285.20 FEET.

LEGAL DESCRIPTION

PARCEL A:  
LOT 1A, BENT GRASS EAST COMMERCIAL FILING NO 2A, COUNTY OF EL PASO, STATE OF COLORADO (RECEPTION NO. 214713554).

PARCEL B:  
THOSE EASEMENT RIGHT CREATED BY RECIPROCAL ACCESS EASEMENT AND TEMPORARY CONSTRUCTION AND MAINTENANCE EASEMENT AGREEMENT RECORDED JUNE 04, 2013 UNDER RECEPTION NO. 213072561 AND FIRST AMENDMENT TO RECIPROCLA ACCESS EASEMENT AND TEMPORARY CONSTRUCTION AND MAINTENANCE EASEMENT AGREEMENT RECORDED JULY 07, 2013 UNDER RECEPTION NO. 213098588.

CONSTRUCTION TIMELINE

APPROXIMATE CONSTRUCTION START DATE: SEPTEMBER 2022

PROJECT DESCRIPTION

THE PROPOSED PROJECT INCLUDES THE DEVELOPMENT OF A NEW FAST FOOD RESTAURANT BUILDING, DRIVE-THRU, AND PARKING LOT. PROPOSED WORK INCLUDES DEMOLITION, GRADING, CONCRETE AND ASPHALT INSTALLATION, SANITARY SEWER INSTALLATION, WATER LATERAL INSTALLATION, FINAL GRADING, FINAL STABILIZATION, AND REMOVAL OF TEMPORARY CONTROL MEASURES.

ZONE DISTRICT INFORMATION

PROJECT ZONING: COMMERCIAL SERVICES (CS)

PROPERTY TAX SCHEDULE NUMBER

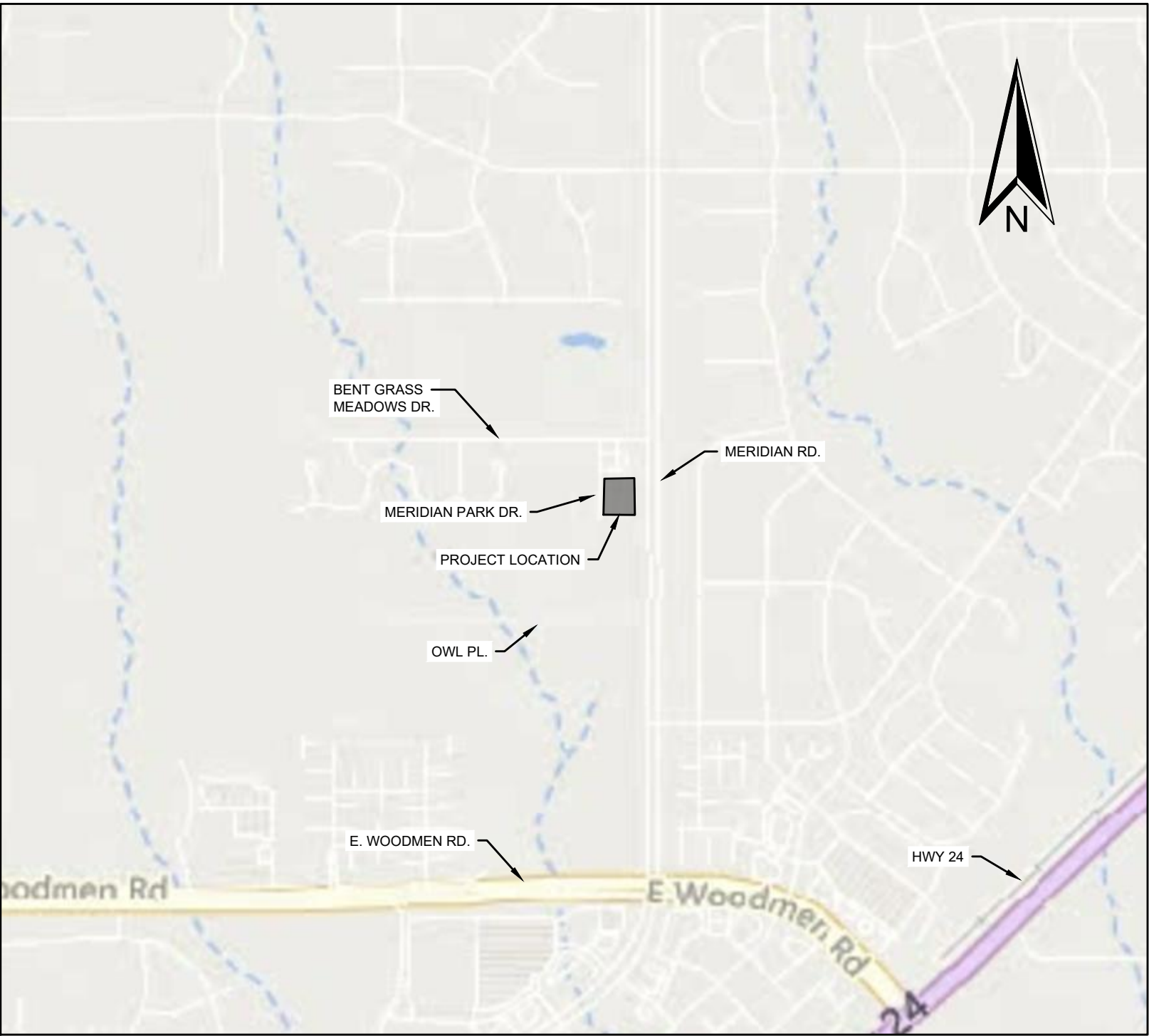
TAX SCHEDULE NUMBER: 5301104002

ADA NOTE

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

ZONING COMPARISON TABLE		
TYPE	REQUIRED	PROVIDED
USE	COMMERCIAL SERVICES (CS)	COMMERCIAL SERVICES (CS)
LOT SIZE	63,480 SF	63,480 SF
BUILDING SETBACK	25 FT	17 FT
MINIMUM PARKING	20 SPACES	28 SPACES

SITE UTILIZATION TABLE		
COVERAGE	EXISTING	PROPOSED
TOTAL LOT SIZE	63,480 SF	63,480 SF
BUILDING	0 SF	1,998 SF
PAVEMENT	0 SF	14,625 SF
% IMPERVIOUS	0%	26.2%
% OPEN SPACE / LANDSCAPING	100%	73.8%



VICINITY MAP  
NOT TO SCALE

PROJECT TEAM

<b>PROPERTY OWNER</b> FIRST CUP LLC 106 S. KYRENE RD. CHANDLER, AZ 85226 303-815-0161 BHAYENGA1@GMAIL.COM ATTN: BERT HAYENGA	<b>CIVIL ENGINEER</b> WC CIVIL, INC. 7220 W JEFFERSON AVE., STE. 204 LAKEWOOD, CO 80235 303-390-0172 ERIC_M@WCCIVIL.COM ATTN: ERIC MCKNIGHT, P.E.	<b>ARCHITECT / APPLICANT</b> ETHOS ARCHITECTURE GROUP 8025 W 25TH PL. LAKEWOOD, CO 80214 303-815-0161 JOHN@ETHOS-ARCH-GROUP.COM ATTN: JOHN SPONSELLER, NCARB
<b>SURVEYOR</b> CLASSIC CONSULTING 619 N. CASCADE AVENUE COLORADO SPRINGS, CO 80903 719-785-0790 DREINELT@CLASSICCONSULTING.NET ATTN: DOUGLAS REINELT, PLS	<b>LANDSCAPE ARCHITECT</b> STACKLOT 5639 SOUTH CURTICE ST. LITTLETON, CO 80120 303-883-2735 JUSTINHAY@STACKLOT.COM ATTN: JUSTIN HAY	<b>PHOTOMETRIC DESIGN</b> RG ENGINEERING CONSULTANTS 8811 HAMPDEN AVE., STE. 208 DENVER, CO 80231 303-355-5534 SOPHIA@RGEINC.COM ATTN: SOPHIA GISIN

PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR	DATE
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LEGEND

PROPOSED

	PARKING / WALKWAY STRIPING
	AC PAVEMENT
	SIDEWALK
	LANDSCAPING
	CURB AND GUTTER
	ADA ACCESSIBLE PATHWAY
	SEWER LATERAL
	WATER LATERAL
	GAS SERVICE LATERAL
	ELECTRICAL SERVICE LATERAL
	COMMUNICATIONS SERVICE LATERAL
	GRADE BREAK
	SILT FENCE
	GRADING LIMITS
	MAJOR CONTOUR
	MINOR CONTOUR

EXISTING

	RIGHT-OF-WAY
	PROPERTY LINE
	ELECTRICAL LINE
	TELEPHONE LINE
	GAS LINE
	WATER LINE
	SEWER LINE
	STORM DRAIN
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	SEWER MANHOLE
	STORM MANHOLE
	ELECTRICAL POLE
	ELECTRICAL BOX
	ELECTRICAL METER
	COMMUNITY ANTENNA TELEVISION
	SIGN POST

SHEET INDEX:

1	COVER SHEET
2	GENERAL NOTES
3	EXISTING CONDITIONS AND DEMOLITION PLAN
4	SITE AND HORIZONTAL CONTROL PLAN
5	GRADING AND DRAINAGE PLAN
6	PRELIMINARY UTILITY AND PUBLIC FACILITIES PLAN
7	SITE DETAILS
8	UTILITY DETAILS
9	FINAL LANDSCAPE PLAN
10	LANDSCAPE DETAILS
11	PHOTOMETRIC PLAN
12	ARCHITECTURAL ELEVATIONS
13	ARCHITECTURAL ELEVATIONS

ABBREVIATIONS:

AC	ASPHALT CONCRETE
CS	COMMERCIAL SERVICES
DWG	DRAWING
(E)	EXISTING
E	EAST
EG	EXISTING GRADE
FH	FIRE HYDRANT
FL	FLOW LINE
FG	FINISHED GRADE
FS	FINISHED SURFACE
FT	FEET
HP	HIGHT POINT
INV	INVERT
LIP	LIP OF GUTTER
ME	MATCH EXISTING
MAX	MAXIMUM
MIN	MINIMUM
(N)	NEW
N	NORTH
PSI	POUNDS PER SQUARE INCH
PVC	POLYVINYL CHLORIDE
RCP	REINFORCED CONCRETE PIPE
ROW	RIGHT OF WAY
SF	SQUARE FEET
STD	STANDARD
TC	TOP OF CURB
TYP	TYPICAL

FIRE FLOW DATA (UPDATE):

CODE USED FOR ANALYSIS: 2018 IFC WITH 2019 AMENDMENTS  
OCCUPANCY GROUP(S): B  
CONSTRUCTION TYPE(S): V-B  
FIRE FLOW CALCULATION AREA: 2,000 SF

THIS BUILDING IS NOT PROTECTED WITH AN AUTOMATIC SPRINKLER SYSTEM.

PER IFC TABLE B105.1(2):  
TOTAL REQUIRED FIRE FLOW = 1,500 GPM @ 20 PSI RESIDUAL PRESSURE  
DURATION = 2 HOURS

PER IFC TABLE C102.1:  
MINIMUM NUMBER OF HYDRANTS = 1 HYDRANT  
AVERAGE SPACING BETWEEN HYDRANTS = 500 FEET  
MAXIMUM DISTANCE FROM STREET FRONTAGE = 250 FEET

Client

CD BENT GRASS LLC  
106 S. KYRENE RD.  
CHANDLER, AZ 85226  
PHONE:  
ATTN: B. HAYENGA

DATE

03/18/22  
09/30/22

DESCRIPTION

INITIAL SUBMITTAL  
REVISED PER COUNTY COMMENTS

NO.

1

W.C. CIVIL  
7220 W. JEFFERSON AVE  
STE. 204  
LAKEWOOD, CO 80235  
PHONE: (303) 390-0172

File:

COVER SHEET  
DUNKIN BENT GRASS  
SITE DEVELOPMENT PLAN  
LOT 1A, BENT GRASS EAST COMMERCIAL FILING NO. 2A,  
LOCATED IN TOWN OF PEYTON,  
COUNTY OF EL PASO, STATE OF COLORADO

WC Civil Team:  
TS, LP  
Engineering No.:

Date:  
2022/09/21  
Scale:  
AS NOTED

Sheet No.:

1



GRADING AND EROSION CONTROL NOTES

1. STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF-SITE WATERS, INCLUDING WETLANDS.
2. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
3. A SEPARATE STORMWATER MANAGEMENT PLAN (SMWP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. MANAGEMENT OF THE SWMP DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE DESIGNATED QUALIFIED STORMWATER MANAGER OR CERTIFIED EROSION CONTROL INSPECTOR. THE SWMP SHALL BE LOCATED ON-SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
4. ONCE THE ESQCP IS APPROVED AND A "NOTICE TO PROCEED" HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE APPROVED GEC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY STAFF.
5. CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ACTIVITIES THAT COULD CONTRIBUTE POLLUTANTS TO STORMWATER. CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, AND DISTURBED LAND AREAS SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF THE DISTURBANCE.
6. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATING CONDITION UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND FINAL STABILIZATION IS ESTABLISHED. ALL PERSONS ENGAGED IN LAND DISTURBANCE ACTIVITIES SHALL ASSESS THE ADEQUACY OF CONTROL MEASURES AT THE SITE AND IDENTIFY IF CHANGES TO THOSE CONTROL MEASURES ARE NEEDED TO ENSURE THE CONTINUED EFFECTIVE PERFORMANCE OF THE CONTROL MEASURES. ALL CHANGES TO TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES MUST BE INCORPORATED INTO THE STORMWATER MANAGEMENT PLAN.
7. TEMPORARY STABILIZATION SHALL BE IMPLEMENTED ON DISTURBED AREAS AND STOCKPILES WHERE GROUND DISTURBING CONSTRUCTION ACTIVITY HAS PERMANENTLY CEASED OR TEMPORARILY CEASED FOR LONGER THAN 14 DAYS.
8. FINAL STABILIZATION MUST BE IMPLEMENTED AT ALL APPLICABLE CONSTRUCTION SITES. FINAL STABILIZATION IS ACHIEVED WHEN ALL GROUND DISTURBING ACTIVITIES ARE COMPLETE AND ALL DISTURBED AREAS EITHER HAVE A UNIFORM VEGETATIVE COVER WITH INDIVIDUAL PLANT DENSITY OF 70 PERCENT OF PRE-DISTURBANCE LEVELS ESTABLISHED OR EQUIVALENT PERMANENT ALTERNATIVE STABILIZATION METHOD IS IMPLEMENTED. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED UPON FINAL STABILIZATION AND BEFORE PERMIT CLOSURE.
9. ALL PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AS DESIGNED IN THE APPROVED PLANS. ANY PROPOSED CHANGES THAT EFFECT THE DESIGN OR FUNCTION OF PERMANENT STORMWATER MANAGEMENT STRUCTURES MUST BE APPROVED BY THE ECM ADMINISTRATOR PRIOR TO IMPLEMENTATION.
10. EARTH DISTURBANCES SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY MINIMIZE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME. PRE-EXISTING VEGETATION SHALL BE PROTECTED AND MAINTAINED WITHIN 50 HORIZONTAL FEET OF A WATERS OF THE STATE UNLESS SHOWN TO BE INFEASIBLE AND SPECIFICALLY REQUESTED AND APPROVED.
11. COMPACTION OF SOIL MUST BE PREVENTED IN AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES OR WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER. AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES SHALL ALSO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED. IF COMPACTION PREVENTION IS NOT FEASIBLE DUE TO SITE CONSTRAINTS, ALL AREAS DESIGNATED FOR INFILTRATION AND VEGETATION CONTROL MEASURES MUST BE LOOSENEED PRIOR TO INSTALLATION OF THE CONTROL MEASURE(S).
12. ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE A STABILIZED CONVEYANCE DESIGNED TO MINIMIZE EROSION AND THE DISCHARGE OF SEDIMENT OFF-SITE.
13. CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO ENTER STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES. CONCRETE WASHOUTS SHALL NOT BE LOCATED IN AN AREA WHERE SHALLOW GROUNDWATER MAY BE PRESENT, OR WITHIN 50 FEET OF A SURFACE WATER BODY, CREEK OR STREAM.
14. DURING DEWATERING OPERATIONS, UNCONTAMINATED GROUNDWATER MAY BE DISCHARGED ON-SITE, BUT SHALL NOT LEAVE THE SITE IN THE FORM OF SURFACE RUNOFF UNLESS AN APPROVED STATE DEWATERING PERMIT IS IN PLACE.
15. EROSION CONTROL BLANKETING OR OTHER PROTECTIVE COVERING SHALL BE USED ON SLOPES STEEPER THAN 3:1.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
17. WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. CONTROL MEASURES MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
18. TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFF-SITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
19. THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, SOIL, AND SAND THAT MAY ACCUMULATE IN ROADS, STORM DRAINS AND OTHER DRAINAGE CONVEYANCE SYSTEMS AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
20. THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
21. NO CHEMICAL(S) HAVING THE POTENTIAL TO BE RELEASED IN STORMWATER ARE TO BE STORED OR USED ON-SITE UNLESS PERMISSION FOR THE USE OF SUCH CHEMICAL(S) IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR. IN GRANTING APPROVAL FOR THE USE OF SUCH CHEMICAL(S), SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
22. BULK STORAGE OF ALLOWED PETROLEUM PRODUCTS OR OTHER ALLOWED LIQUID CHEMICALS IN EXCESS OF 55 GALLONS SHALL REQUIRE ADEQUATE SECONDARY CONTAINMENT PROTECTION TO CONTAIN ALL SPILLS ON-SITE AND TO PREVENT ANY SPILLED MATERIALS FROM ENTERING STATE WATERS, ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR OTHER FACILITIES.
23. NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE CURB AND GUTTER OR DITCH EXCEPT WITH APPROVED SEDIMENT CONTROL MEASURES.

24. OWNER/DEVELOPER AND THEIR AGENTS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS OF THE LAND DEVELOPMENT CODE, DCM VOLUME II AND THE ECM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (1041, NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND OTHER LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, LOCAL, OR COUNTY AGENCIES, THE MOST RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.

25. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE ONLY AT APPROVED CONSTRUCTION ACCESS POINTS.

26. PRIOR TO CONSTRUCTION THE PERMITTEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.

27. A WATER SOURCE SHALL BE AVAILABLE ON-SITE DURING EARTHWORK OPERATIONS AND SHALL BE UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.

28. THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY ENTECH ENGINEERING, INC., DATED SEPTEMBER 23, 2022 AND SHALL BE CONSIDERED A PART OF THESE PLANS.

29. AT LEAST TEN (10) DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB ONE (1) ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:

COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT  
WATER QUALITY CONTROL DIVISION  
WQCD – PERMITS  
4300 CHERRY CREEK DRIVE SOUTH  
DENVER, CO 80246-1530  
ATTN: PERMITS UNIT

ENGINEER'S STATEMENT

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATION

ENGINEER OF RECORD SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

OWNER'S STATEMENT

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN AND ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

OWNER SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

EL PASO COUNTY:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/ OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/ OR ACCURACY OF THIS DOCUMENT. FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL, AS AMENDED. IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR'S DISCRETION.

JOSHUA PALMER, P.E. \_\_\_\_\_ DATE \_\_\_\_\_  
INTERIM COUNTY ENGINEER/ECM ADMINISTRATOR

ENGINEER OF RECORD:

THE GRADING AND EROSION CONTROL PLAN WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND IS COMPLETE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. SAID PLAN HAS BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR GRADING AND EROSION CONTROL PLANS.

ENGINEER OF RECORD SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

REVIEW ENGINEER:

THE GRADING AND EROSION CONTROL PLAN WAS REVIEWED AND FOUND TO MEET THE CHECKLIST REQUIREMENTS EXCEPT WHERE OTHERWISE NOTED OR ALLOWED BY AN APPROVED DEVIATION REQUEST.

REVIEW ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

Grading and Erosion Control Plans (standalone)

Design Engineer's Statement:

This grading and erosion control plan was prepared under my direction and supervision and is correct to the best of my knowledge and belief. Said plan has been prepared according to the criteria established by the County for grading and erosion control plans. I accept responsibility for any liability caused by any negligent acts, errors or omissions on my part in preparing this plan.

[Name, P.E. # \_\_\_\_\_] \_\_\_\_\_ Date \_\_\_\_\_

Owner/Developer's Statement:

I, the owner/developer have read and will comply with the requirements of the grading and erosion control plan.

\_\_\_\_\_  
[Name, Title] \_\_\_\_\_ Date \_\_\_\_\_  
[Business Name]  
[Address]

El Paso County:

County plan review is provided only for general conformance with County Design Criteria. The County is not responsible for the accuracy and adequacy of the design, dimensions, and/ or elevations which shall be confirmed at the job site. The County through the approval of this document assumes no responsibility for completeness and/ or accuracy of this document.

Filed in accordance with the requirements of the El Paso County Land Development Code, Drainage Criteria Manual, Volumes 1 and 2, and Engineering Criteria Manual as amended.

In accordance with ECM Section 1.12, these construction documents will be valid for construction for a period of 2 years from the date signed by the El Paso County Engineer. If construction has not started within those 2 years, the plans will need to be resubmitted for approval, including payment of review fees at the Planning and Community Development Directors discretion.

County Engineer / ECM Administrator \_\_\_\_\_ Date \_\_\_\_\_

GRASS LLC
NE RD, AZ 85226
YENGA

These are for the  
GEC plan sheets

Please breakout the site dev  
plan sheets and GEC plan  
sheets.  
Please see attached std  
signature blocks for GEC plan.

Remove not needed

Remove for GEC  
Plan sheet set only

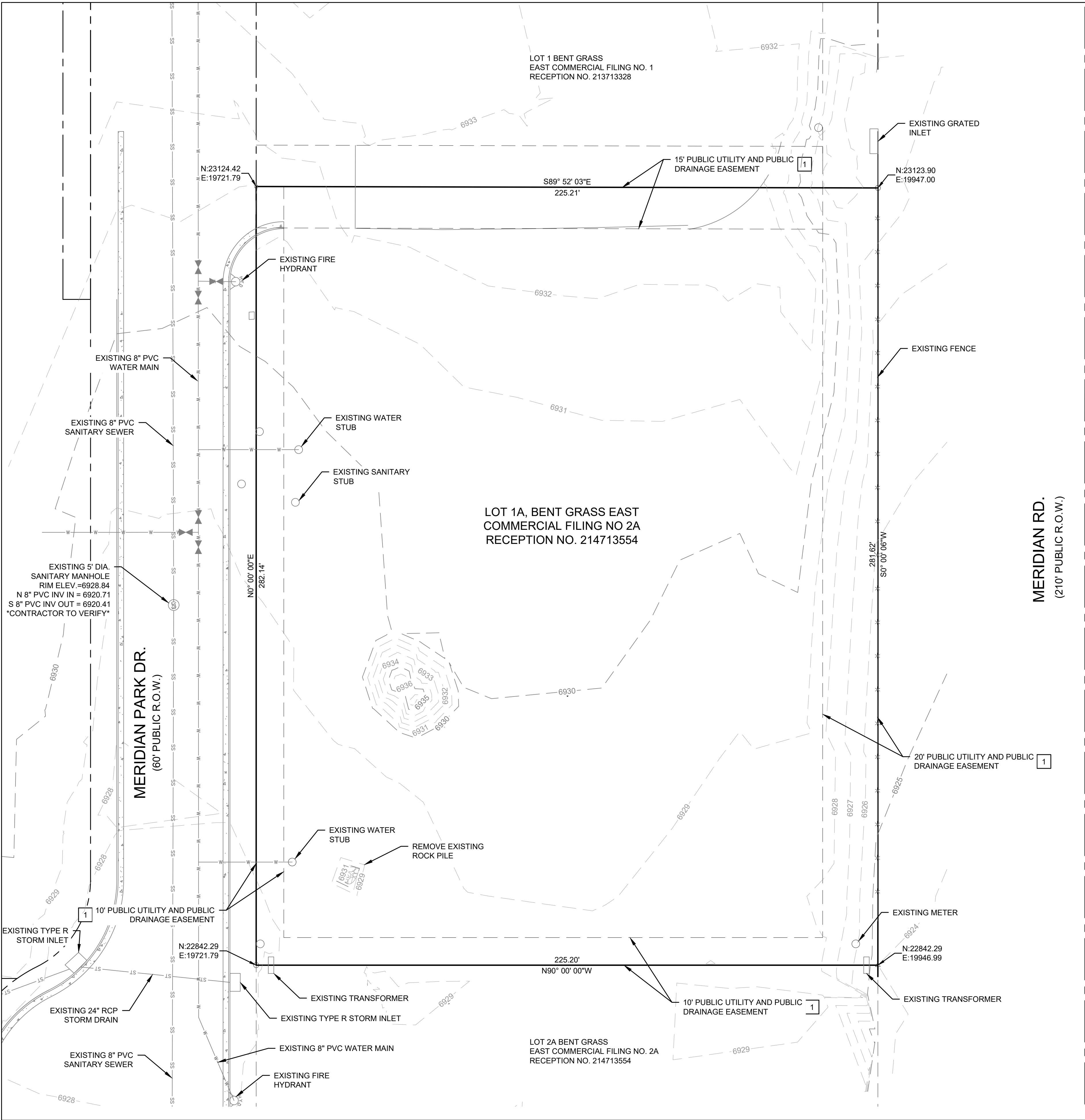


GENERAL NOTES

DUNKIN BENT GRASS  
SITE DEVELOPMENT PLAN  
LOT 1A, BENT GRASS EAST COMMERCIAL FILING NO. 2A,  
LOCATED IN TOWN OF PEYTON,  
COUNTY OF EL PASO, STATE OF COLORADO

WC Civil Team: TS, LP	Date: 2022/09/21
Engineering No.:	Scale: AS NOTED
Sheet No.:	



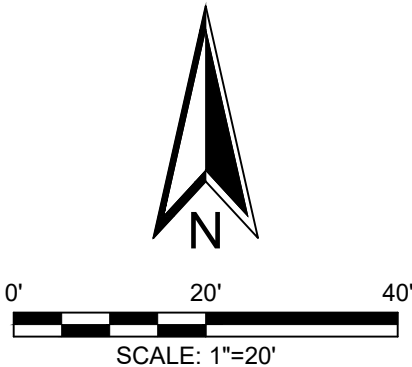


LEGEND EXISTING	
	RIGHT-OF-WAY
	PROPERTY LINE
	ELECTRICAL LINE
	TELEPHONE LINE
	GAS LINE
	WATER LINE
	SEWER LINE
	STORM DRAIN
	SEWER MANHOLE
	STORM MANHOLE
	ELECTRICAL POLE
	ELECTRICAL BOX
	ELECTRICAL METER
	COMMUNITY ANTENNA TELEVISION
	SIGN POST

NOTES

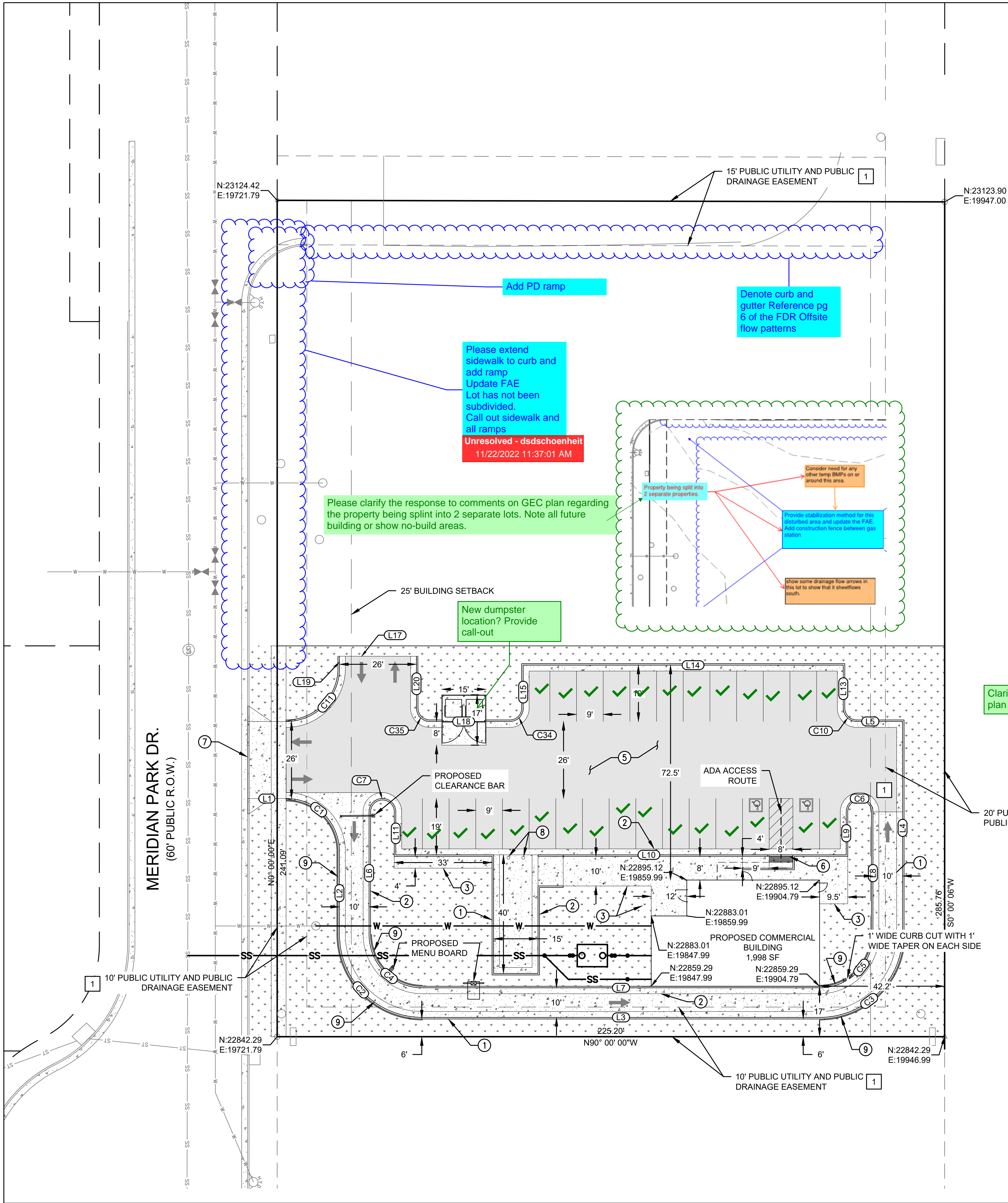
1. TOPOGRAPHIC SURVEY PERFORMED BY CLASSIC CONSULTING ON DECEMBER 10, 2021
2. OPEN TRENCH SHORING, DEWATERING, & TRAFFIC CONTROL SHALL BE PROVIDED BY CONTRACTOR.
3. SERVICE OUTAGES SHALL BE COORDINATED WITH AND APPROVED BY THE COUNTY OF EL PASO IF REQUIRED PRIOR TO START OF WORK.
4. ALL EXISTING UTILITIES SHALL BE PROTECTED IN PLACE UNLESS OTHERWISE NOTED.
5. CONTRACTOR TO POT-HOLE AND FIELD VERIFY LOCATION AND DEPTH OF EXISTING UTILITIES IN AREAS OF WORK PRIOR TO DEMOLITION AND CONSTRUCTION.
6. DEMOLITION, REMOVAL, OR RELOCATION OF EXISTING UTILITIES SHALL BE COORDINATED WITH THE UTILITY PROVIDER PRIOR TO THE START OF CONSTRUCTION.
7. FOR ALL DEMOLITION OF EXISTING CONCRETE, SAWCUT EXISTING CONCRETE AT NEAREST JOINT.

EASEMENT DATA		
EASEMENT	USE	RECEPTION No.
1	DRAINAGE	214713554



Client:		CD BENT GRASS LLC		106 S. KYRENE RD. CHANDLER, AZ 85226 PHONE: ATTN: B. HAYENGA	
DATE	03/18/22	NO.	-	DESCRIPTION	INITIAL SUBMITTAL
	09/30/22	1	1	REVISED PER COUNTY COMMENTS	
W.C. CIVIL 7220 W. JEFFERSON AVE STE. 204 LAKEWOOD, CO 80235 PHONE: (303) 390-0172		EXISTING CONDITIONS AND DEMOLITION PLAN DUNKIN BENT GRASS SITE DEVELOPMENT PLAN LOT 1A, BENT GRASS EAST COMMERCIAL FILING NO. 2A, LOCATED IN TOWN OF PEYTON, COUNTY OF EL PASO, STATE OF COLORADO		W.C. CIVIL TS, LP 2022/09/21 AS NOTED	
Sheet No.:		3		PCD FILE NO.: PPR-22-027	





EXISTING

- RIGHT-OF-WAY
- PROPERTY LINE
- ELECTRICAL LINE
- TELEPHONE LINE
- GAS LINE
- WATER LINE
- SEWER LINE
- STORM DRAIN
- SEWER MANHOLE
- STORM MANHOLE
- ELECTRICAL POLE
- ELECTRICAL BOX
- ELECTRICAL METER
- COMMUNITY ANTENNA TELEVISION
- SIGN POST

PROPOSED

- PARKING / WALKWAY STRIPING
- AC PAVEMENT
- SIDEWALK
- LANDSCAPING
- CURB AND GUTTER
- ADA ACCESSIBLE PATHWAY
- SEWER LATERAL
- WATER LATERAL
- GAS SERVICE LATERAL
- ELECTRICAL SERVICE LATERAL
- COMMUNICATIONS SERVICE LATERAL
- BUILDING SETBACK

Add PD ramp

Denote curb and gutter Reference pg 6 of the FDR Offsite flow patterns

Please extend sidewalk to curb and add ramp Update FAE Lot has not been subdivided. Call out sidewalk and all ramps

Unresolved - dsdschoenheit 11/22/2022 11:37:01 AM

Please clarify the response to comments on GEC plan regarding the property being split into 2 separate lots. Note all future building or show no-build areas.

Consider need for any other temp BMPs on or around this area

Provide stabilization method for this disturbed area and update the FAE. Add construction fence between gas station

Show some drainage flow arrows in this lot to show that it sheetflows south

Add easement line in legend and SDP

LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	12.00	S90° 00' 00.00"E
L2	27.83	S0° 00' 00.00"W
L3	134.00	N90° 00' 00.00"E
L4	71.83	N0° 00' 00.00"E
L5	15.50	N89° 59' 59.98"W
L6	41.33	S0° 00' 00.00"W
L7	134.00	N90° 00' 00.00"E
L8	41.33	N0° 00' 00.00"E
L9	14.50	S0° 00' 00.00"W
L10	152.00	N90° 00' 00.00"W
L11	14.50	N0° 00' 00.00"E

LINE TABLE		
LINE #	LENGTH	DIRECTION
L13	14.50	N0° 00' 00.06"W
L14	108.00	S89° 59' 59.94"W
L15	14.50	S0° 00' 00.06"E
L17	26.00	N89° 59' 54.09"W

CURVE TABLE			
CURVE #	LENGTH	RADIUS	DELTA
C1	28.78	18.01	91.55
C2	43.98	28.00	90.00
C3	43.98	28.00	90.00
C4	28.27	18.00	90.00
C5	28.27	18.00	90.00
C6	14.14	4.50	180.00
C7	14.14	4.50	180.00

CONSTRUCTION NOTES

- INSTALL (N) 30" CURB & GUTTER ECP TYPE A (CATCH) PER COUNTY OF EL PASO STD PLAN SD\_2-20 (SEE SHEET 7).
- INSTALL (N) 30" CURB & GUTTER ECP TYPE A (SPILL) PER COUNTY OF EL PASO STD PLAN SD\_2-20 (SEE SHEET 7).
- INSTALL (N) CONC. SIDEWALK PER DETAIL (SEE SHEET 7).
- INSTALL (N) DUMPSTER ENCLOSURE PER ARCHITECTURAL PLANS.
- INSTALL (N) AC PAVEMENT.
- INSTALL (N) CURB RAMP PER COUNTY OF EL PASO STD PLAN SD\_2-50 (SEE SHEET 7).
- INSTALL (N) CONC. DRIVEWAY PER COUNTY OF EL PASO STD. DETAIL SD\_2-25 (SEE SHEET 7).
- INSTALL (N) REMOVABLE BOLLARD PER DETAIL (SEE SHEET 7).
- INSTALL (N) 34" CURB & GUTTER ECP TYPE D PER COUNTY OF EL PASO STD PLAN SD\_2-20 (SEE SHEET 7).

NOTES

- ALL CURB, GUTTER, PEDESTRIAN RAMPS, SIDEWALKS AND DRIVEWAYS POSING A SAFETY HAZARD, EXHIBITING EXCESSIVE DETERIORATION, DAMAGED, OR DOES NOT MEET CURRENT CITY ENGINEERING STANDARDS ALONG THE PUBLIC RIGHT-OF-WAY ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY (CO). AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW DIVISION (EDRD) INSPECTOR TO DETERMINE WHAT, IF ANY, IMPROVEMENTS ARE REQUIRED. THE EDRD INSPECTOR CAN BE REACHED AT 719-385-5977.

EASEMENT DATA		
EASEMENT	USE	RECEPTION No.
1	DRAINAGE	214713554

PARKING NOTES

PER COUNTY OF EL PASO LAND DEVELOPMENT CODE TABLE 6-2

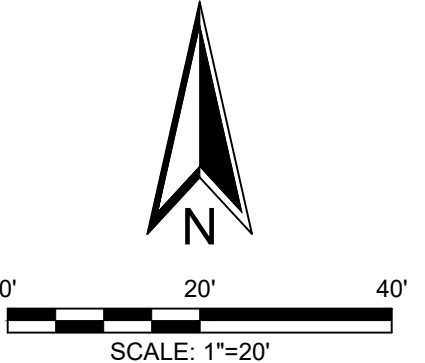
USE TYPE: FAST FOOD, FAMILY, HIGH TURNOVER

BUILDING AREA: 1,998 SF

TOTAL PARKING STALLS REQUIRED: 20

TOTAL PARKING STALLS PROVIDED: 28

# OF PARKING STALLS X



PCD FILE NO.: PPR-22-027

Client

CD BENT GRASS LLC

106 S. KYRENE RD.  
CHANDLER, AZ 85226  
PHONE:  
ATTN: B. HAYENGA

DATE

03/18/22

09/30/22

DESCRIPTION

INITIAL SUBMITTAL

REVISED PER COUNTY COMMENTS

NO.

1

W.C. CIVIL

7220 W. JEFFERSON AVE  
STE. 204  
LAKEWOOD, CO 80235  
PHONE: (303) 390-0172

FILE

SITE & HORIZONTAL CONTROL PLAN

DUNKIN BENT GRASS  
SITE DEVELOPMENT PLAN  
LOT 1A, BENT GRASS EAST COMMERCIAL FILING NO. 2A,  
LOCATED IN TOWN OF PEYTON,  
COUNTY OF EL PASO, STATE OF COLORADO

WC Civil Team:

TS, LP

2022/09/21

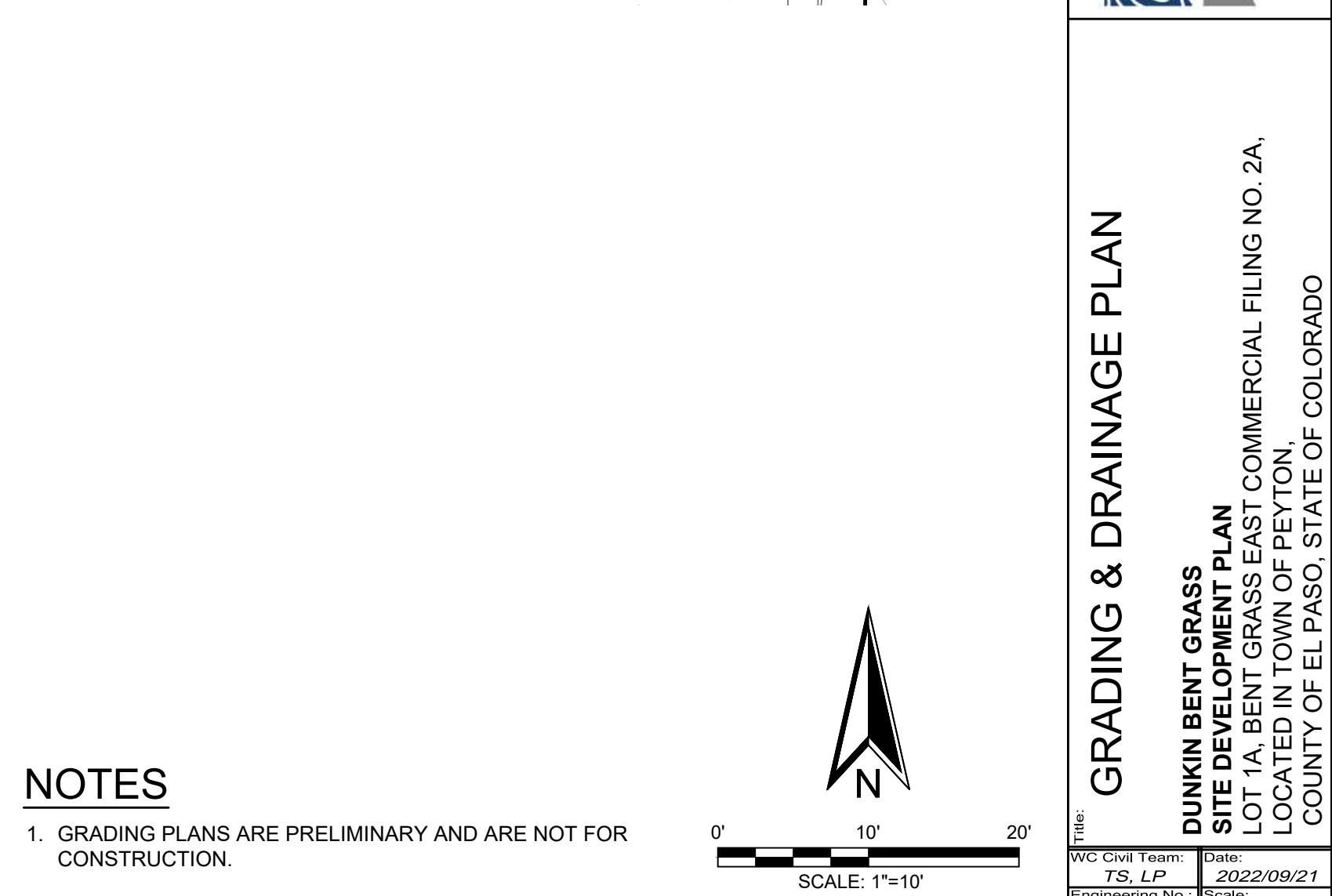
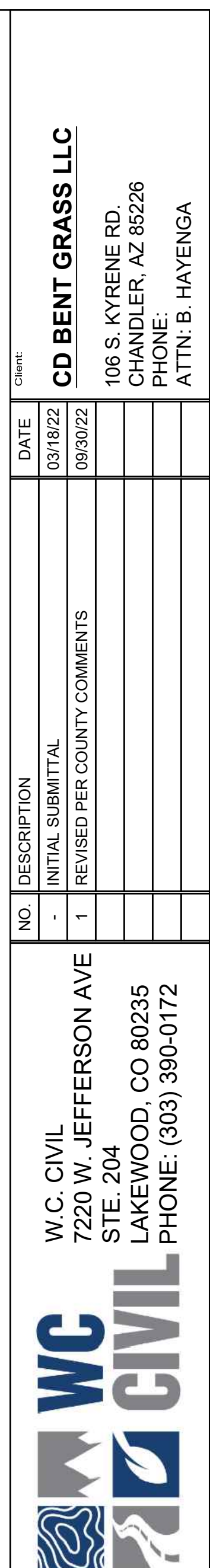
Engineering No.:

AS NOTED

Sheet No.:

4



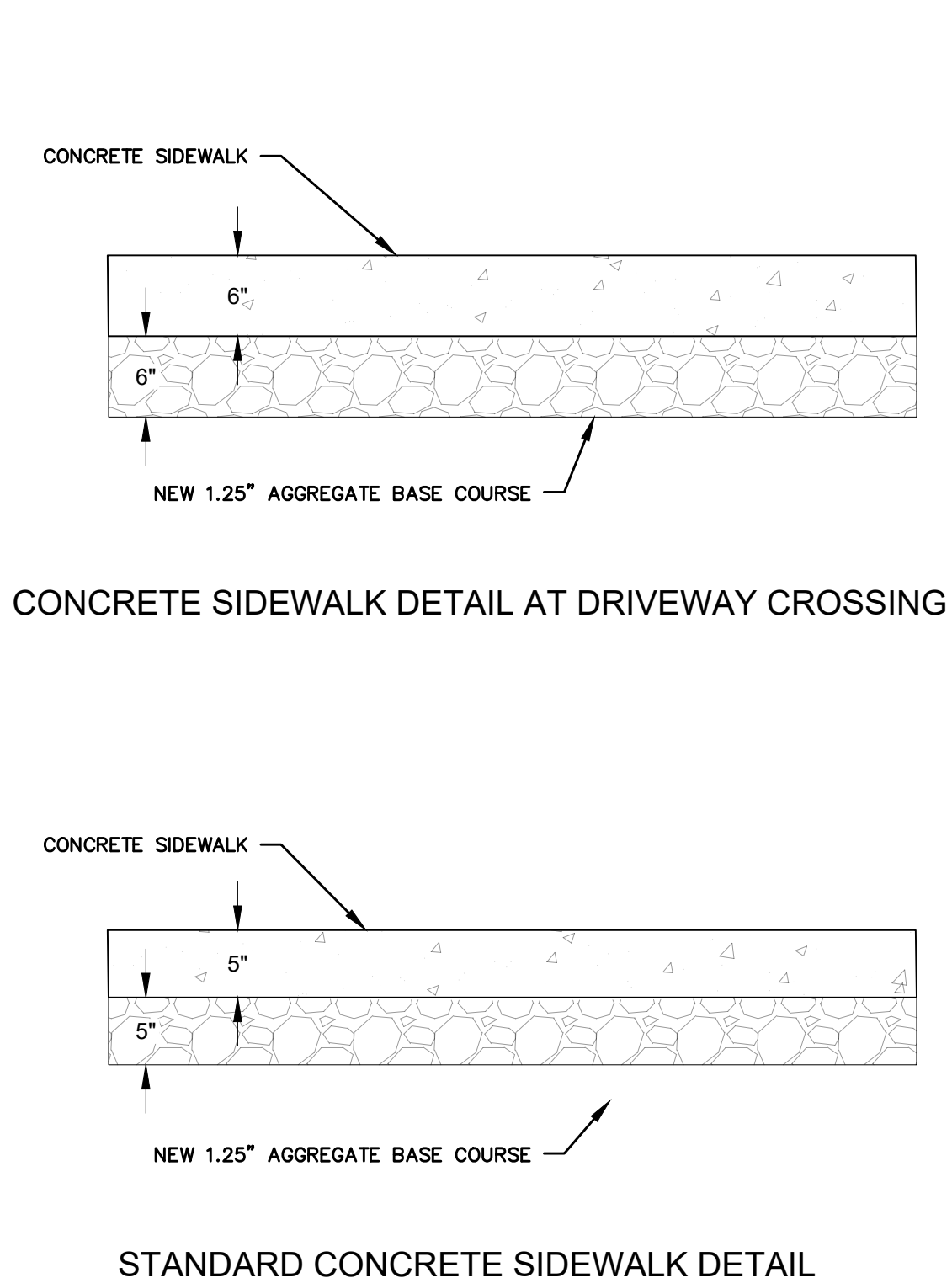
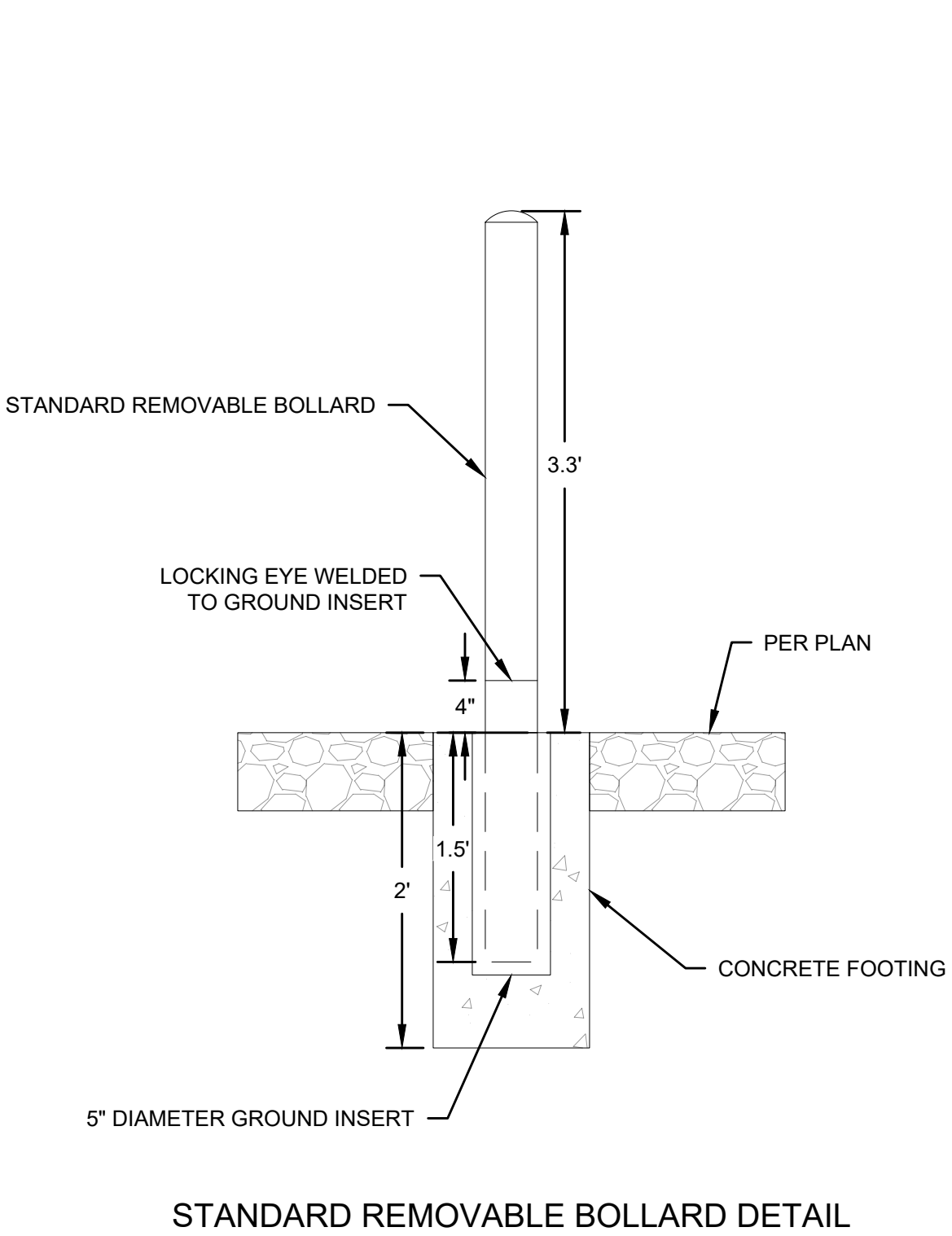
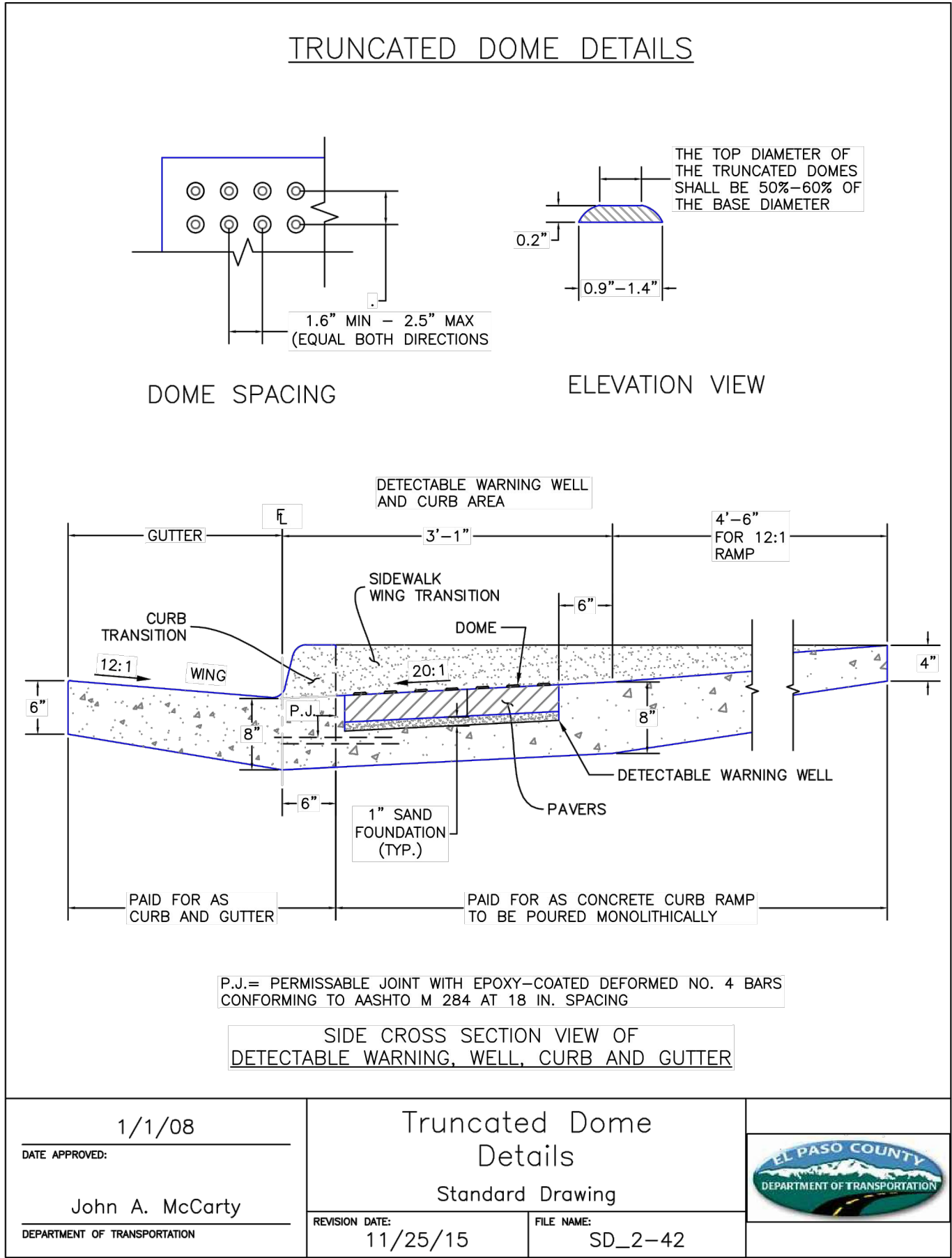
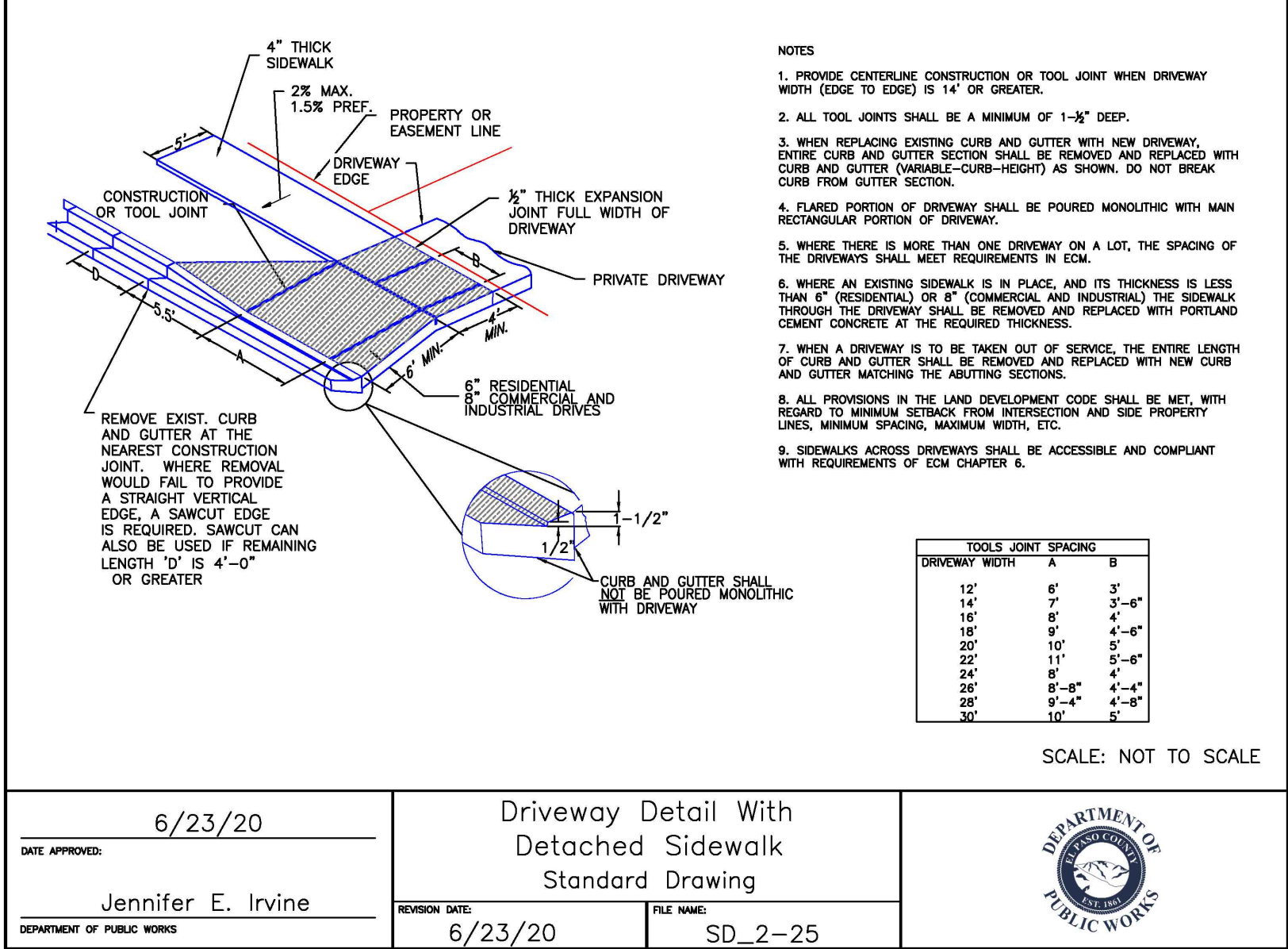
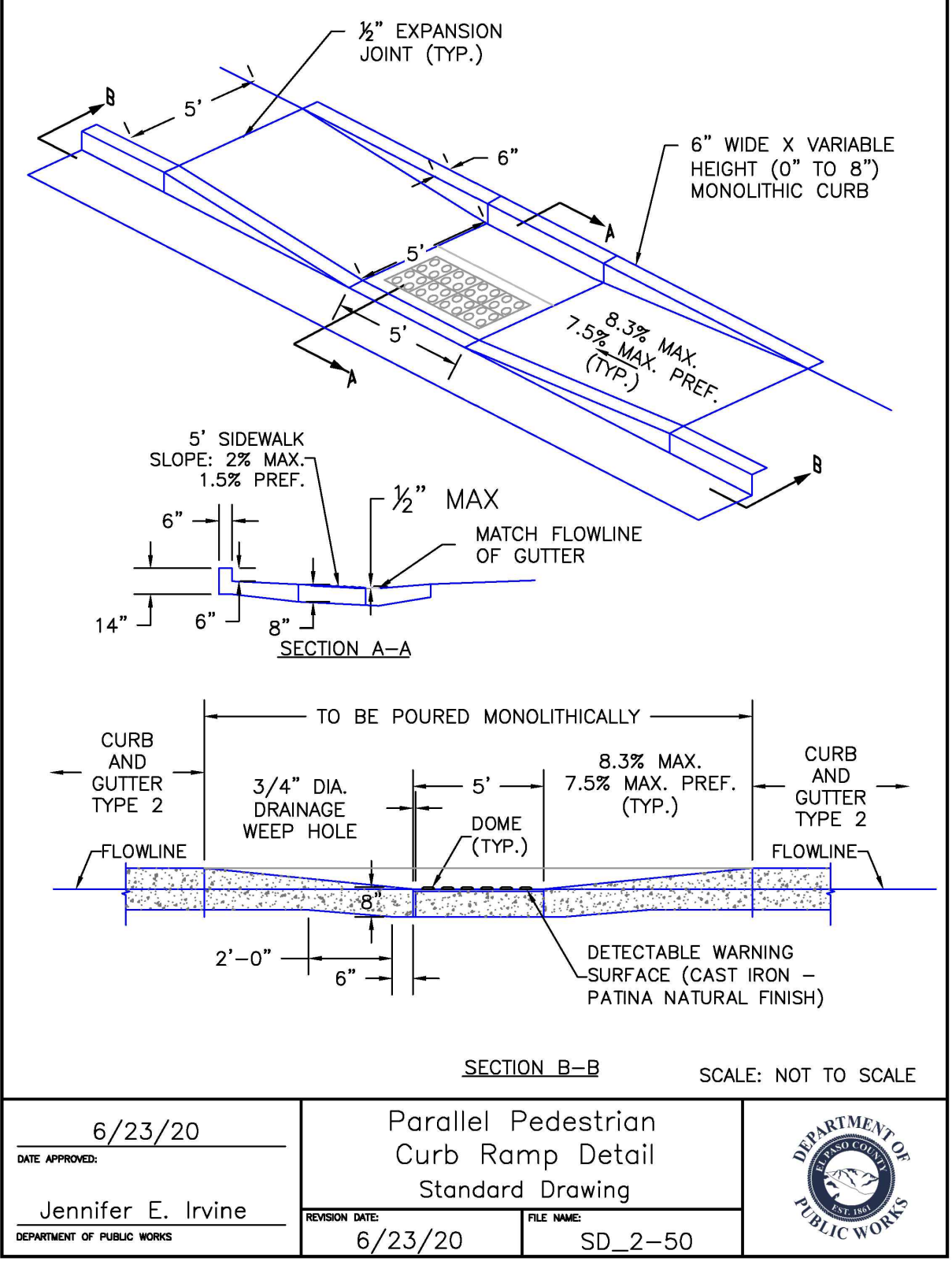
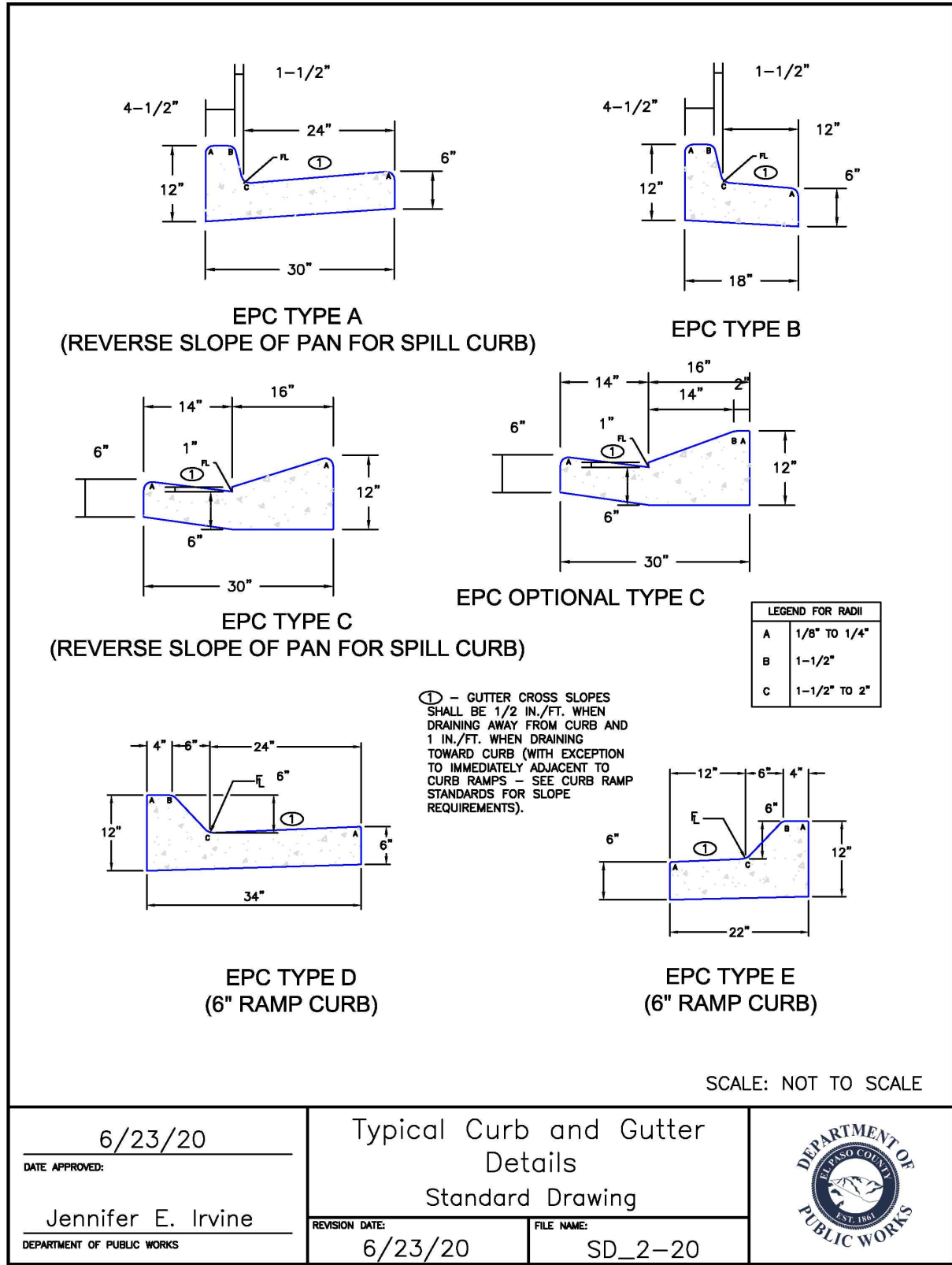


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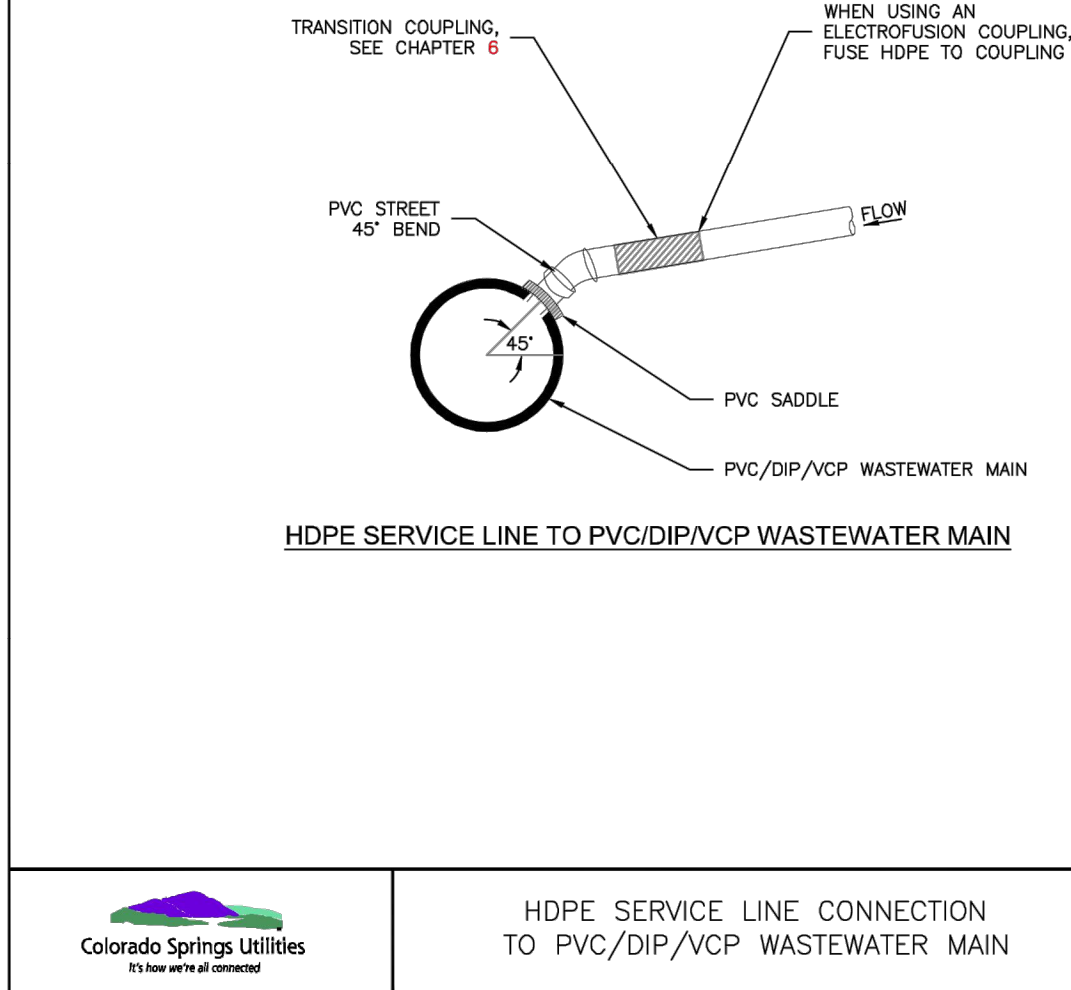
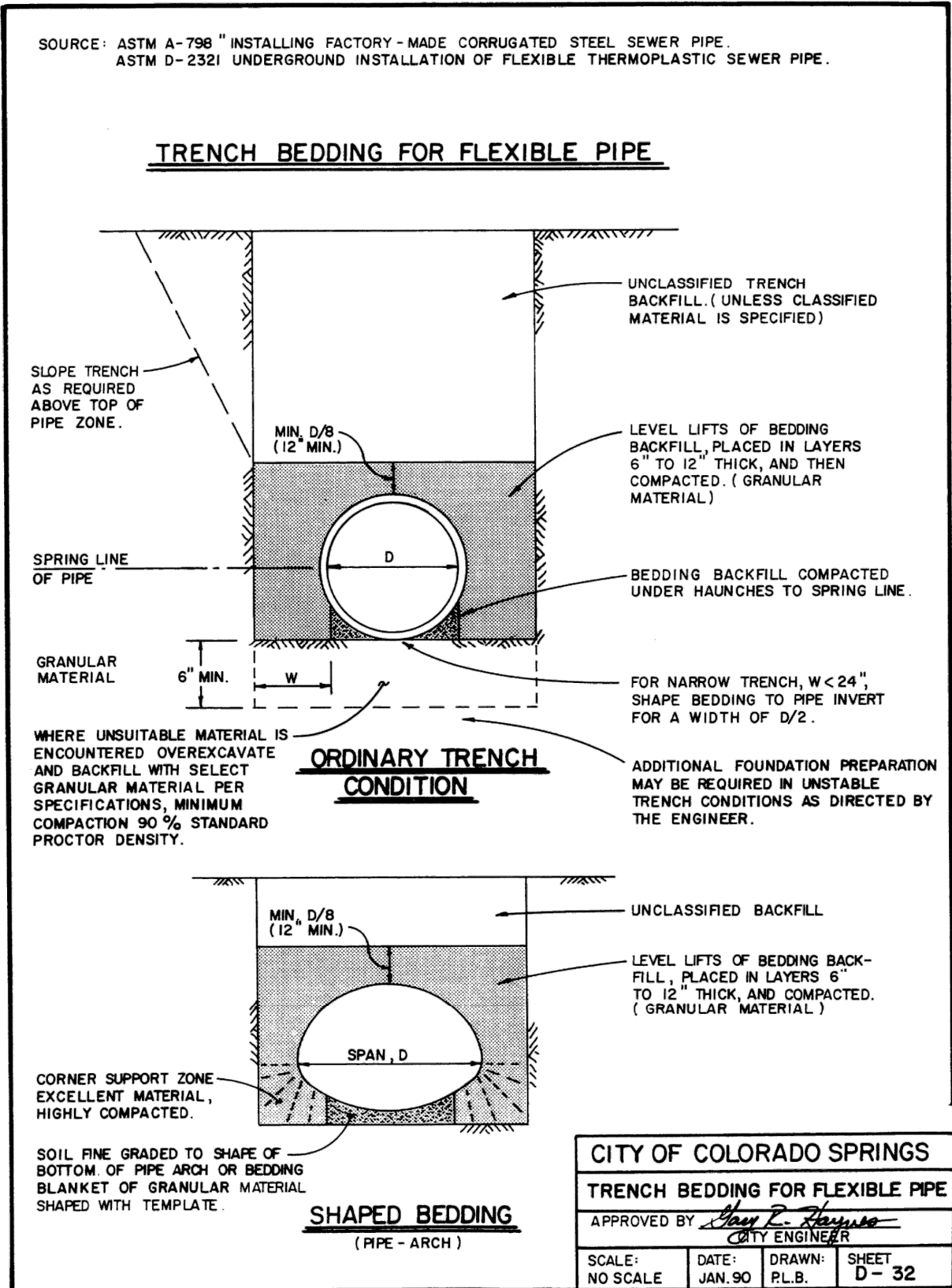
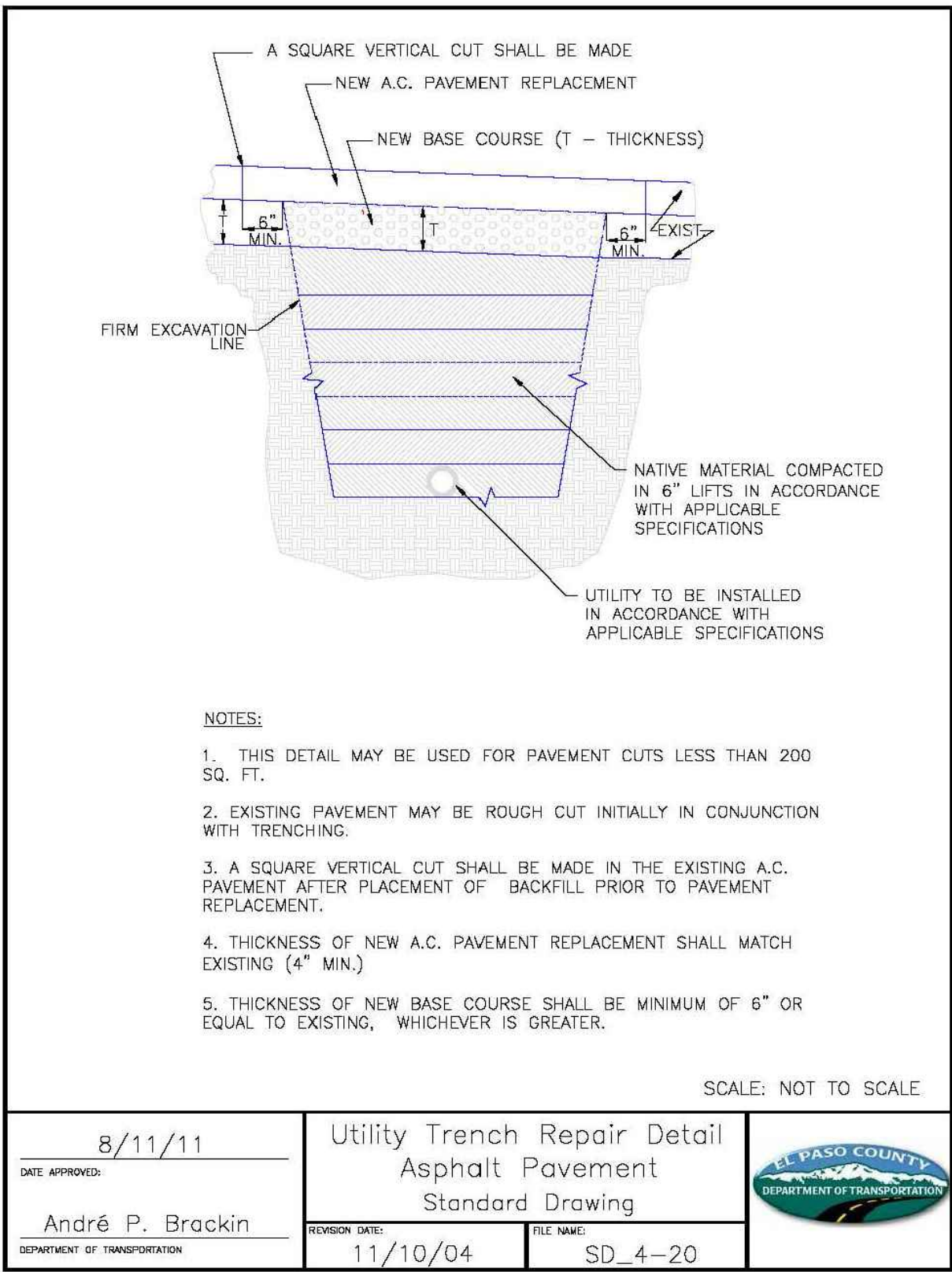




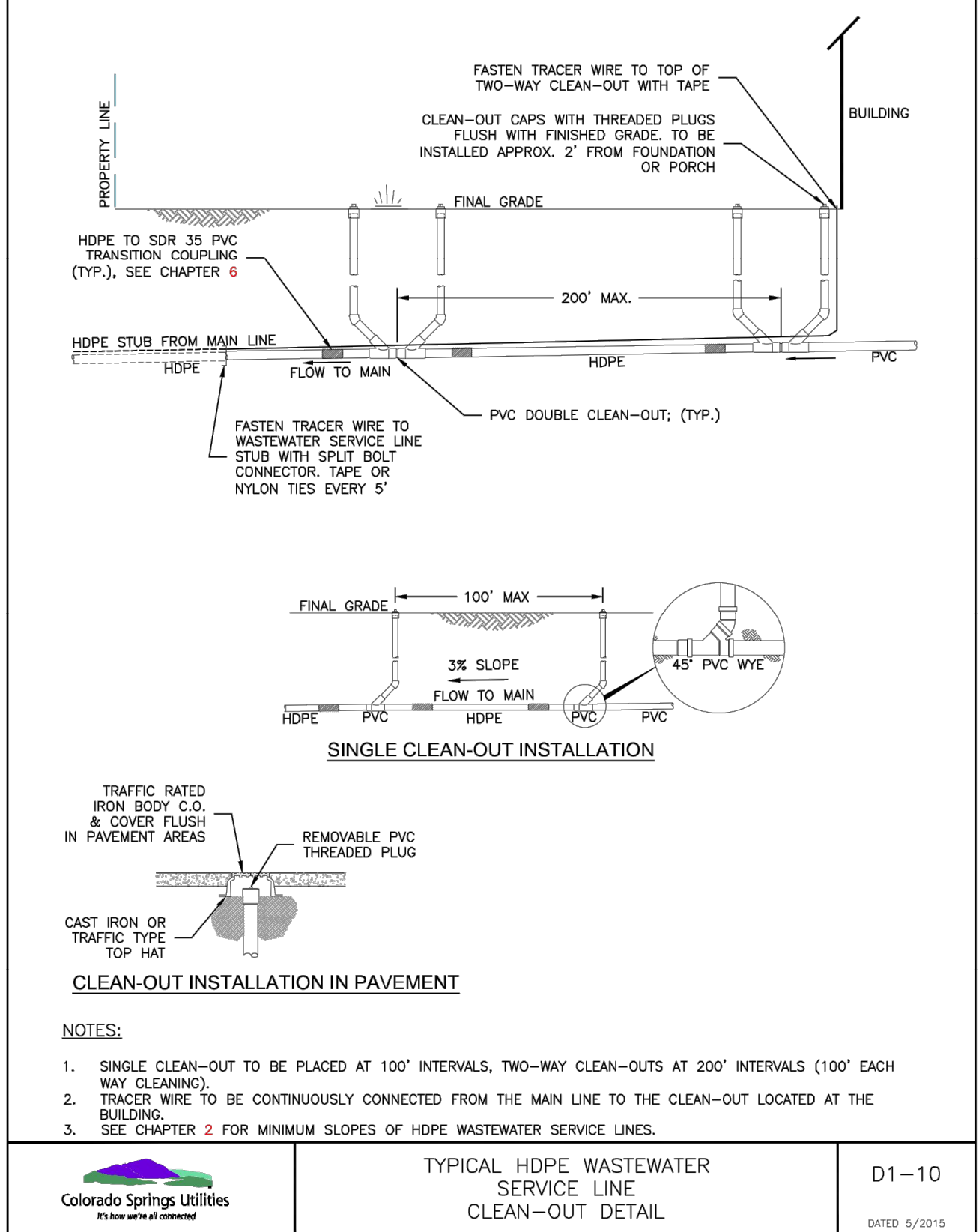




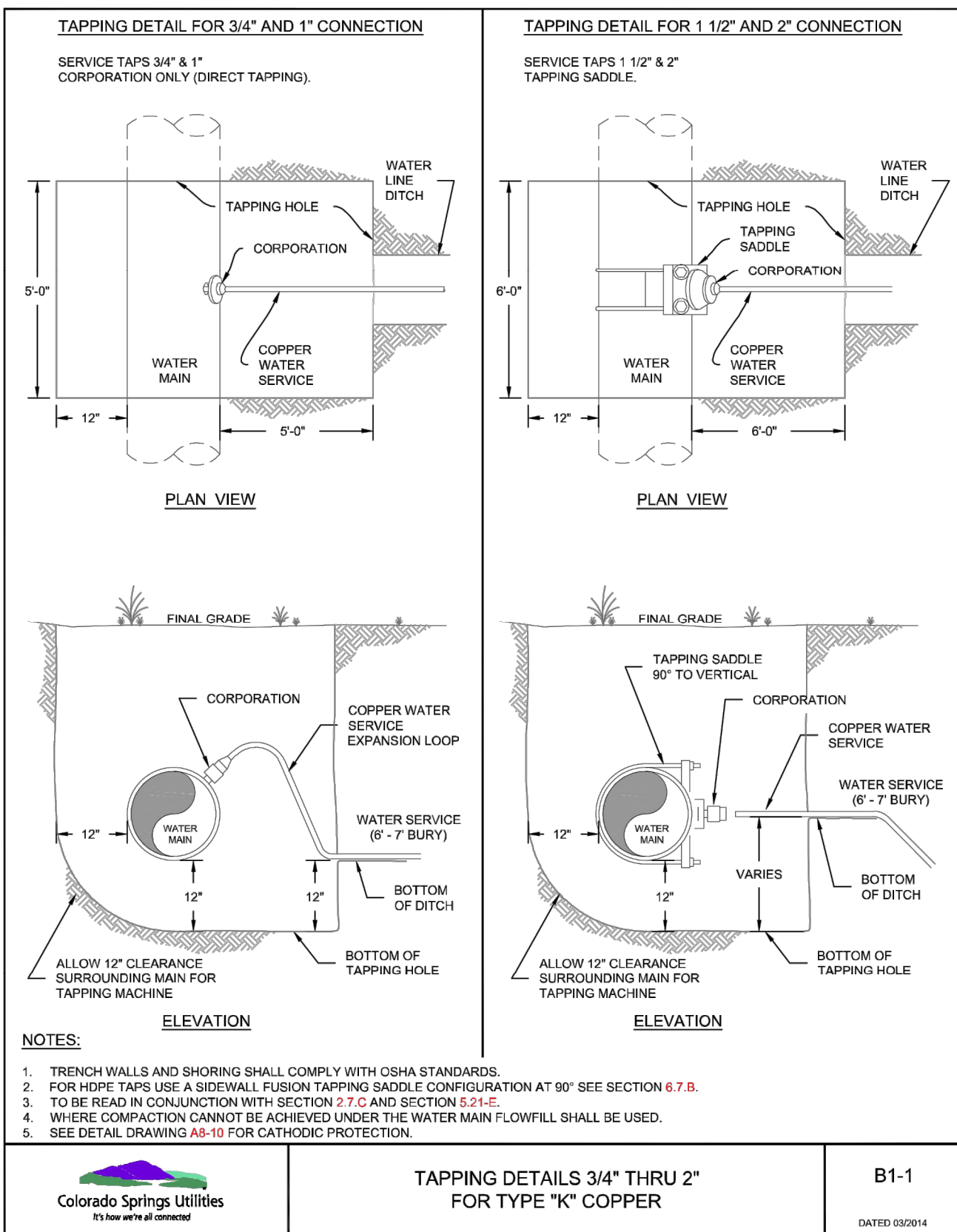




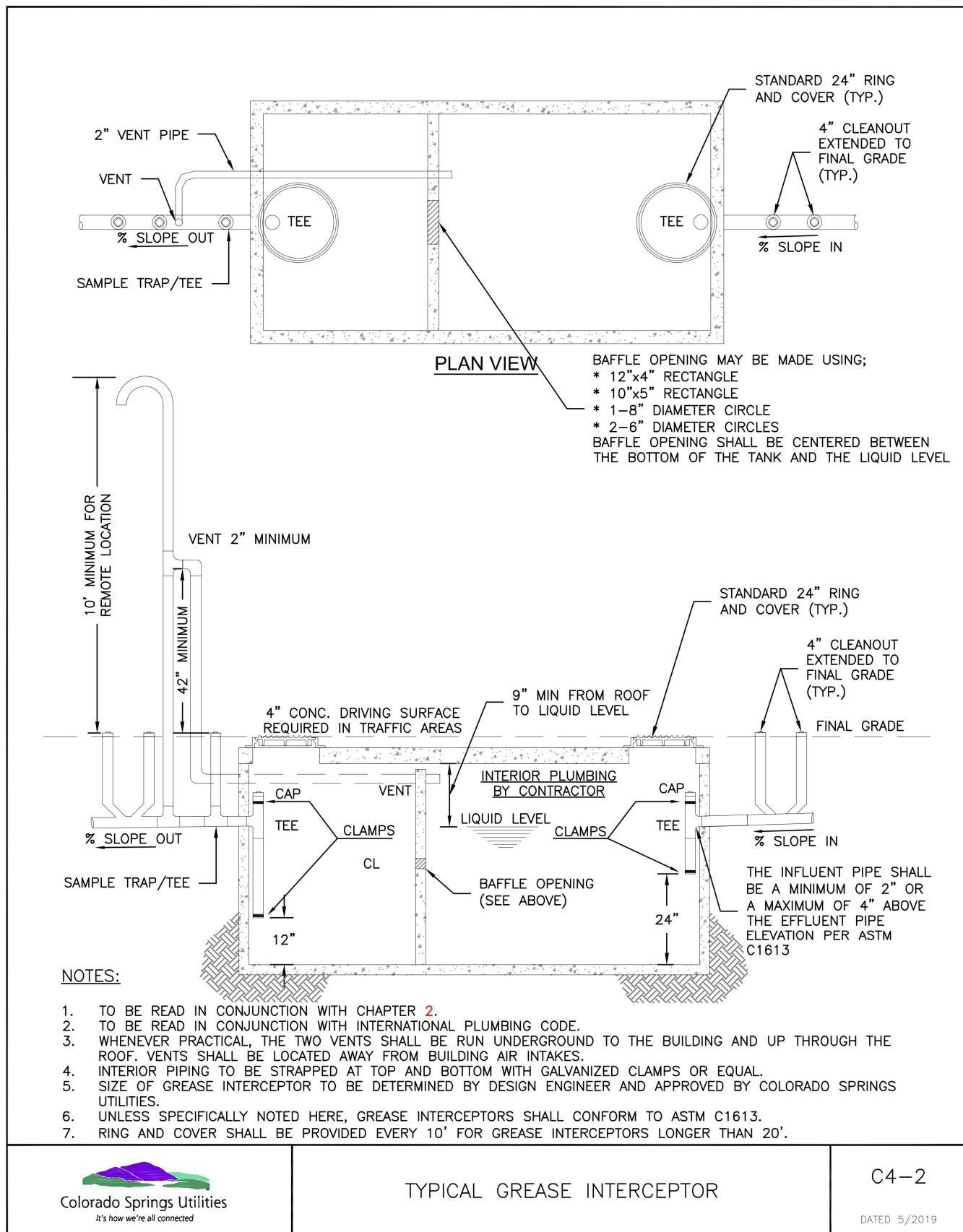
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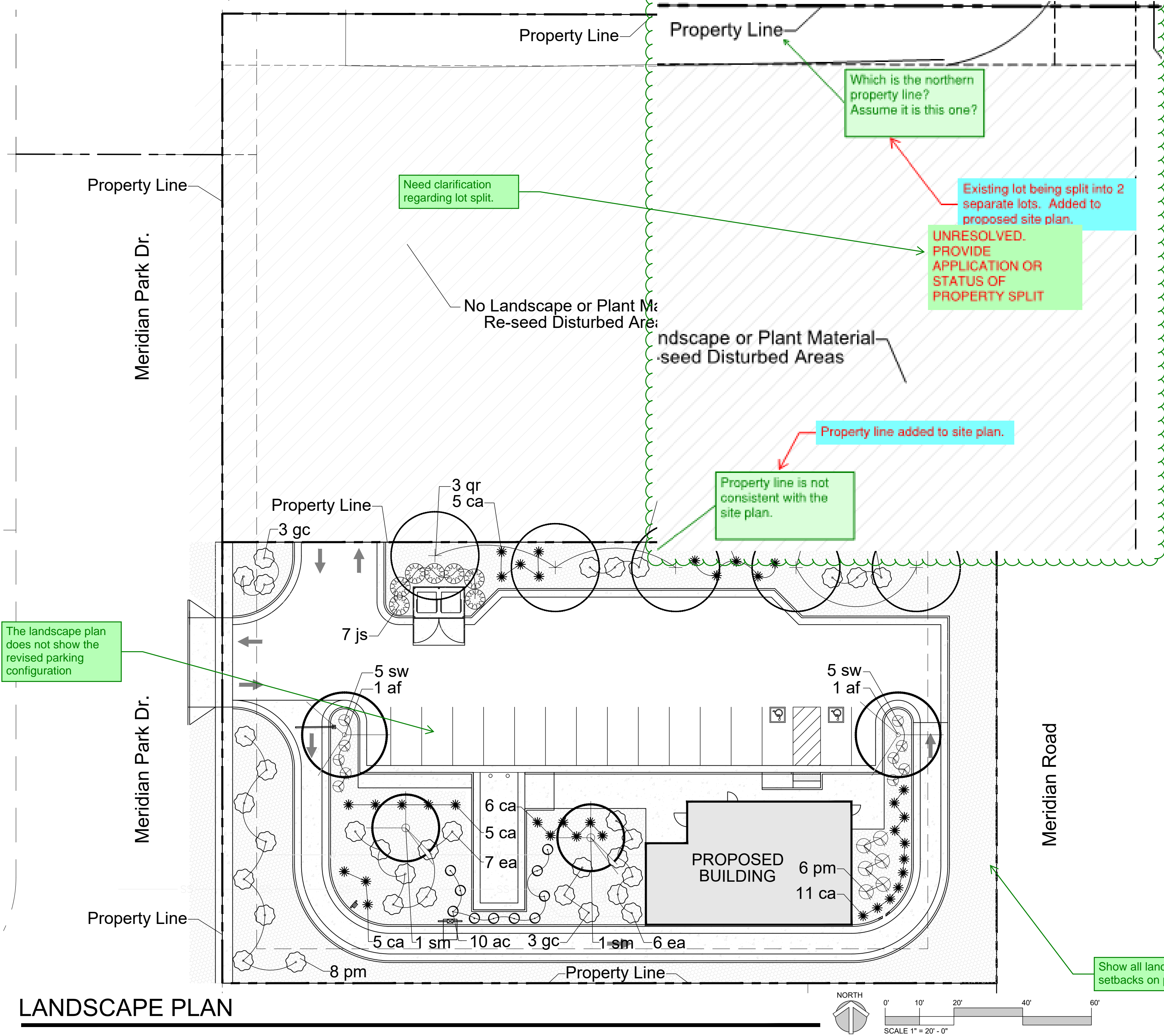
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Client:		CD BENT GRASS LLC		106 S. KYRENE RD. CHANDLER, AZ 85226 PHONE: ATTN: B. HAYENGA	
DATE	03/18/22	NO.	1	DESCRIPTION	INITIAL SUBMITTAL
DATE	09/30/22	NO.	1	DESCRIPTION	REVISED PER COUNTY COMMENTS
W.C. CIVIL		7220 W. JEFFERSON AVE		STE. 204	
DUNKIN BENT GRASS		SITE DEVELOPMENT PLAN		LOT 1A, BENT GRASS EAST COMMERCIAL FILING NO. 2A,	
SITING		LOCATED IN TOWN OF PEYTON		COUNTY OF EL PASO, STATE OF COLORADO	
W.C. Civil Team:		TS, LP		2022/09/21	
Engineering No.:		AS NOTED		Scale:	
Sheet No.:		8		PCD FILE NO.: PPR-22-027	



PLANT MATERIAL SCHEDULE:

SYMBOL	QTY	KEY	BOTANICAL NAME	COMMON NAME	MATURE WIDTH	PLANTING SIZE	NOTES
SHADE TREES							
	3	qr	QUERCUS RUBRA	NORTHERN RED OAK	40'-60'	2" CAL.	B & B
	2	af	ACER X FREMANII	AUTUMN BLAZE MAPLE	25'-30'	2" CAL.	B & B
	2	ta	TILIA AMERICANA	AMERICAN LINDEN	25'-30'	2" CAL.	B & B
ORNAMENTAL TREES							
	2	sm	MALUS SP. 'SPRINGSNOW'	SPRINGSNOW CRABAPPLE	15'-20'	2" CAL.	B & B
EVERGREEN TREES							
	7	js	JUNIPERUS SCOPULORUM 'SKYROCKET'	SKYROCKET JUNIPER	15'-20'	6' HT.	B & B
SHRUBS							
	10	sw	SPIREA JAPONICA 'ANTHONY WATERER'	ANTHONY WATERER SPIREA	3'-4'	5 GAL.	CONT.
	12	gc	RIBES AUREUM	GOLDEN CURRANT	3'-3-6"	5 GAL.	CONT.
	10	ac	RIBES ALPINUM	ALPINE CURRANT	3'-3-6"	5 GAL.	CONT.
	14	pm	PHYSOCARPUS MANOGYNUS	MOUNTAIN NINEBARK	3'-5'	5 GAL.	CONT.
	13	ea	EUONYMUS ALTATUS 'COMPACTA'	DWARF BURNING BUSH	4'-5'	5 GAL.	CONT.
ORNAMENTAL GRASS							
	37	ca	CALAMAGROSTIS ACUTIFLORA	FEATHER REED GRASS	2'-3'	5 GAL.	CONT.



LANDSCAPE PLAN

GENERAL PLANTING NOTES:

- PRIOR TO BEGINNING ANY WORK ON THE SITE THE LANDSCAPE CONTRACTOR SHALL CONTACT THE OFFICE OF THE GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.
- LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICE NECESSARY TO FURNISH AND INSTALL PLANTINGS AND MATERIALS AS SPECIFIED HEREIN AND AS SHOWN ON PLANS.
- NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE LANDSCAPE ARCHITECTS APPROVAL IN WRITING. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED.
- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REVISE PLANT MATERIAL LIST AS DEEMED NECESSARY.
- ALL PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS.
- QUANTITIES OF MATERIALS SHOWN ON THE PLANTING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT MATERIAL SCHEDULE. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFY ALL QUANTITIES ON THE PLANTING PLAN(S).
- LANDSCAPE CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE COMMENCEMENT OF WORK. VERIFY EXACT LOCATION OF ALL UTILITIES BY CONTACTING APPROPRIATE UTILITY COMPANIES. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR / REPLACEMENT FOR ANY DAMAGE CAUSED TO UTILITIES.
- FINISH GRADE SHALL BE ADJUSTED FOR TURF THICKNESS.
- ALL PLANT MATERIALS SHALL HAVE BACKFILL, CAREFULLY PLACED AROUND BASE AND IDES OF BALL TO TWO-THIRDS (2/3) DEPTH OF BALL THEN THOROUGHLY SOAKED WITH WATER TO ALLOW SETTLEMENT. ALL WIRE, BURLAP FASTENERS, TOP ONE-THIRD (1/3) OF BURLAP AND LOOSE BURLAP SHALL BE REMOVED AT THIS TIME THE REMAINDER OF HE PIT SHALL THEN BE BACKFILLED, ALLOWING FOR THE DEPTH OF THE MULCH SAUCER AND SETTLEMENT OF BACKFILL. BACKFILL SHALL THEN BE THOROUGHLY WATERED ONCE AGAIN.
- AFTER PLANTING IS COMPLETED REPAIR INJURIES TO ALL PLANTS AS REQUIRED. LIMIT AMOUNT OF PRUNING TO A MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES. PRUNE IN SUCH A MANNER AS NOT TO CHANGE THE NATURAL GROWING HABIT OR SHAPE OF THE PLANT. MAKE ALL CUTS FLUSH, LEAVING NO STUBS. CENTRAL LEADERS SHALL NOT BE REMOVED. IF THE CENTRAL LEADER OF A PLANT IS DEAD THE PLANT SHALL BE REPLACED.
- PLANT SPECIFIED GROUND COVERS WITHIN ONE FOOT OF TRUCK OF TREES AND SHRUBS PLANTED WITHIN THE AREA. PLANTING ARRANGEMENTS SHALL BE TRIANGULAR WITH PROPER SPACING BETWEEN PLANTS.
- COMMERCIAL GRADE 3/8" INCH BY 4" POWDER COATED STEEL EDGING SHALL BE USED TO SEPARATE ALL TURF AREAS FROM PLANTING BEDS. PLACE EDGING FLUSH WITH GRADE AND STAKE TO GROUND PER MANUFACTURES RECOMMENDATIONS.
- LANDSCAPE CONTRACTOR TO PROVIDE THE LANDSCAPE CONTRACTOR A SAMPLE OF PROPOSED STEEL EDGING FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- USE SHREDDED CEDAR MULCH IN ALL PLANTING BEDS AND TREE SAUCERS. LANDSCAPE CONTRACTOR SHALL PROVIDE A 1 CUBIC FOOT SAMPLE OF PROPOSED MULCH TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
- PLACE FOUR INCHES OF MULCH IN ALL SHRUB BEDS, PLACE FOUR INCHES OF MULCH IN ALL GROUND COVER, PERENNIAL BEDS AND PLACE 4 INCHES OF MULCH AT ALL TREE SAUCERS.
- PLANTING BEDS RECEIVING MULCH MULCH ARE TO BE FREE OF WEEDS AND GRASS. TREAT BEDS WITH A PRE-EMMERGENT HERBICIDE PRIOR TO PLANTING AND MULCH PLACEMENT. DO NOT APPLY HERBICIDE IN PERENNIAL OR ANNUAL BEDS.
- LANDSCAPE CONTRACTOR TO REMOVE TREE STAKES AND ALL DEAD WOOD ON TREES AND SHRUBS ONE YEAR AFTER SUBSTANTIAL COMPLETION IS GRANTED ON THE COMPLETE PROJECT.
- REPORT ANY DISCREPANCIES IN THE PLANTING PLAN TO THE LANDSCAPE ARCHITECT PRIOR TO STARTING CONSTRUCTION.
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED BY AN UNDERGROUND AUTOMATIC UNDERGROUD IRRIGATION SYSTEM. WITH SEPARATE ZONES FOR TURF AND SHRUBS / TREES / GROUNDCOVER.
- IF TRANSFORMERS, GROUND MOUNTED HVAC EQUIPMENT, UTILITY PEDESTALS, ETC. ARE NOT SHOWN ON THE SITE IMPROVEMENT PLAN, ADDITIONAL LANDSCAPE/SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DISCOVERED VIA THE SITE INSPECTION BY STAFF, MADE PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY, OR FINAL INSPECTION AS APPLICABLE.

IRRIGATION NOTE

AN IRRIGATION PLAN SHALL BE SUBMITTED AND REVIEWED CONCURRENT WITH BUILDING PERMIT SUBMITTAL AND APPROVED PRIOR TO ISSUANCE OF A BUILDING PERMIT AND BEFORE ANY IRRIGATION CONSTRUCTION.

This plan does not match the landscape plan submitted in Version 2.



5639 SOUTH CURTICE STREET  
LITTLETON, COLORADO 80120  
303.883.2735  
stacklot.com

PERMIT NO.:

Client:

CD BENT GRASS LLC

106 S. KYRENE RD.  
CHANDLER, AZ 85226  
PHONE:  
ATTN: B. HAYENGA

DATE

03/22/22

09/30/22

DESCRIPTION

INITIAL SUBMITTAL

REVISED PER COUNTY COMMENTS

NO.

1

W.C. CIVIL

7220 W. JEFFERSON AVE

STE. 204

LAKEWOOD, CO 80235

PHONE: (303) 390-0172

WC CIVIL

FINAL LANDSCAPE PLAN

DUNKIN BENT GRASS

SITE DEVELOPMENT PLAN

LOT 1A, BENT GRASS EAST COMMERCIAL FILING NO. 2A,

LOCATED IN TOWN OF PEYTON,

COUNTY OF EL PASO, STATE OF COLORADO

File:

TS, LP

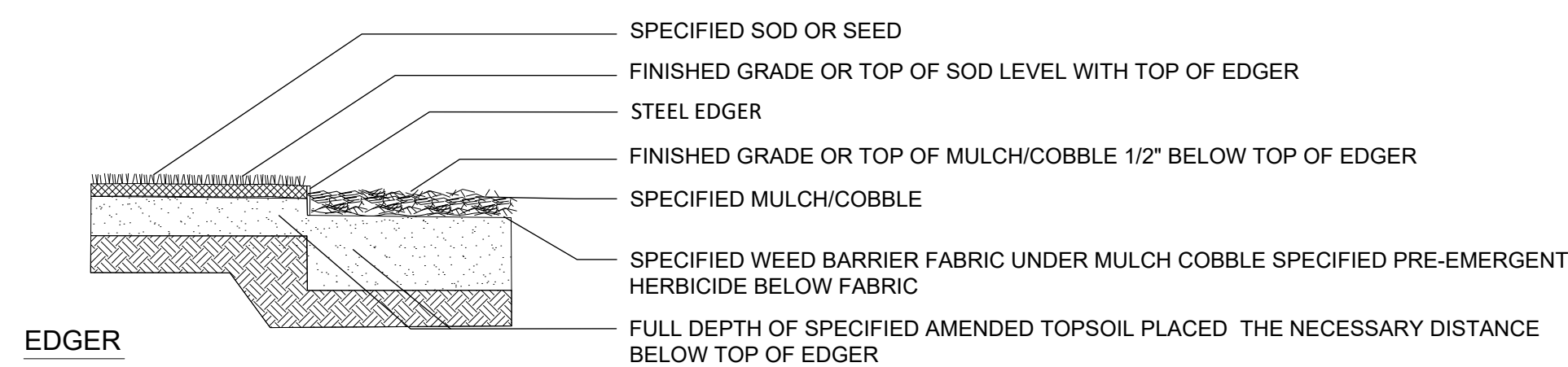
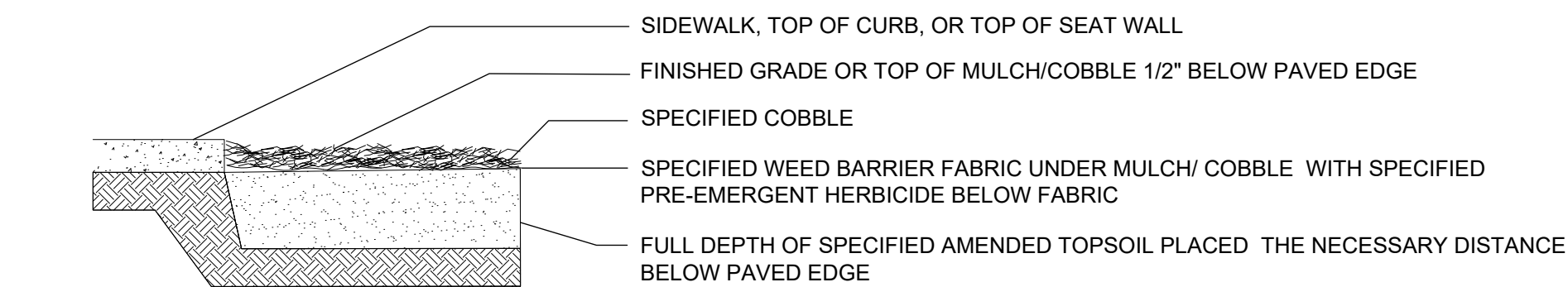
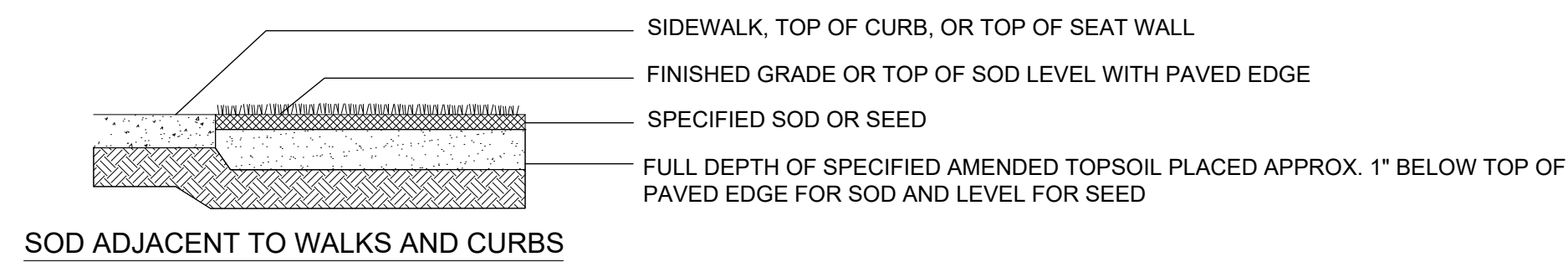
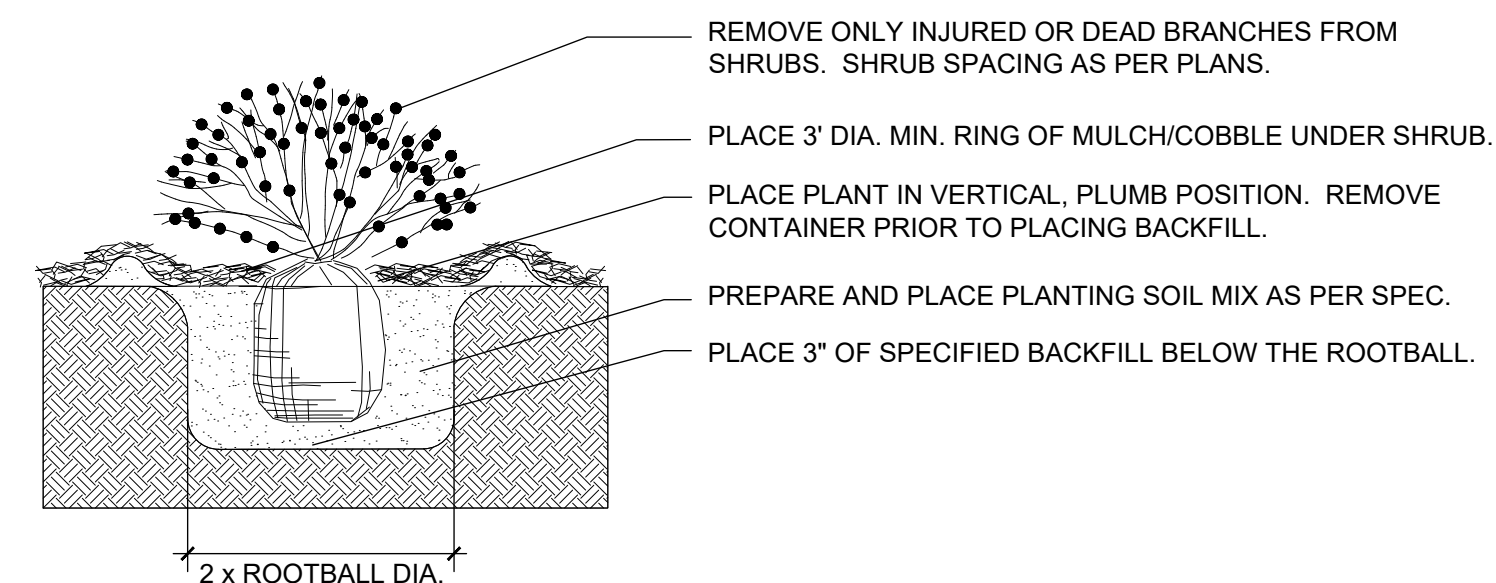
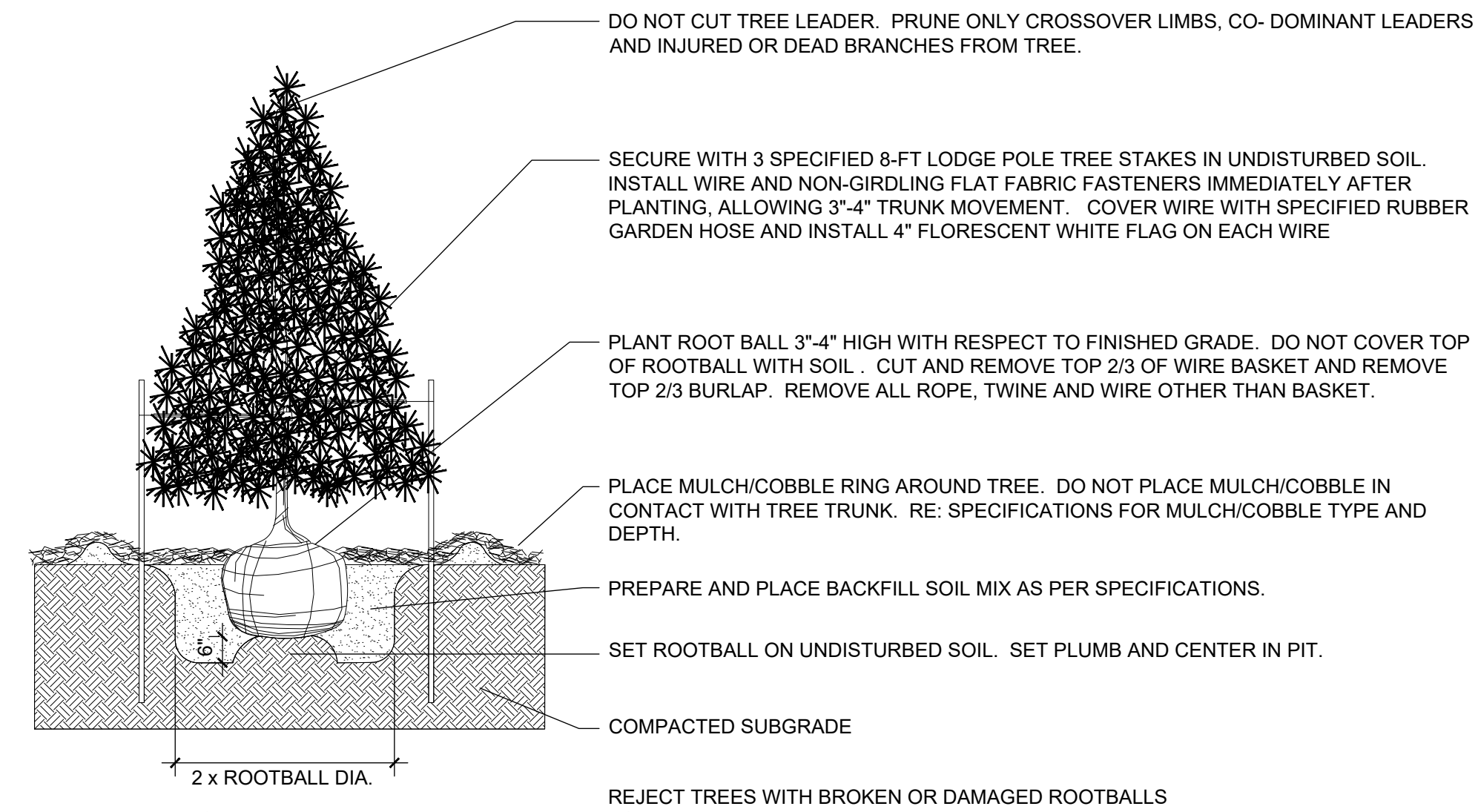
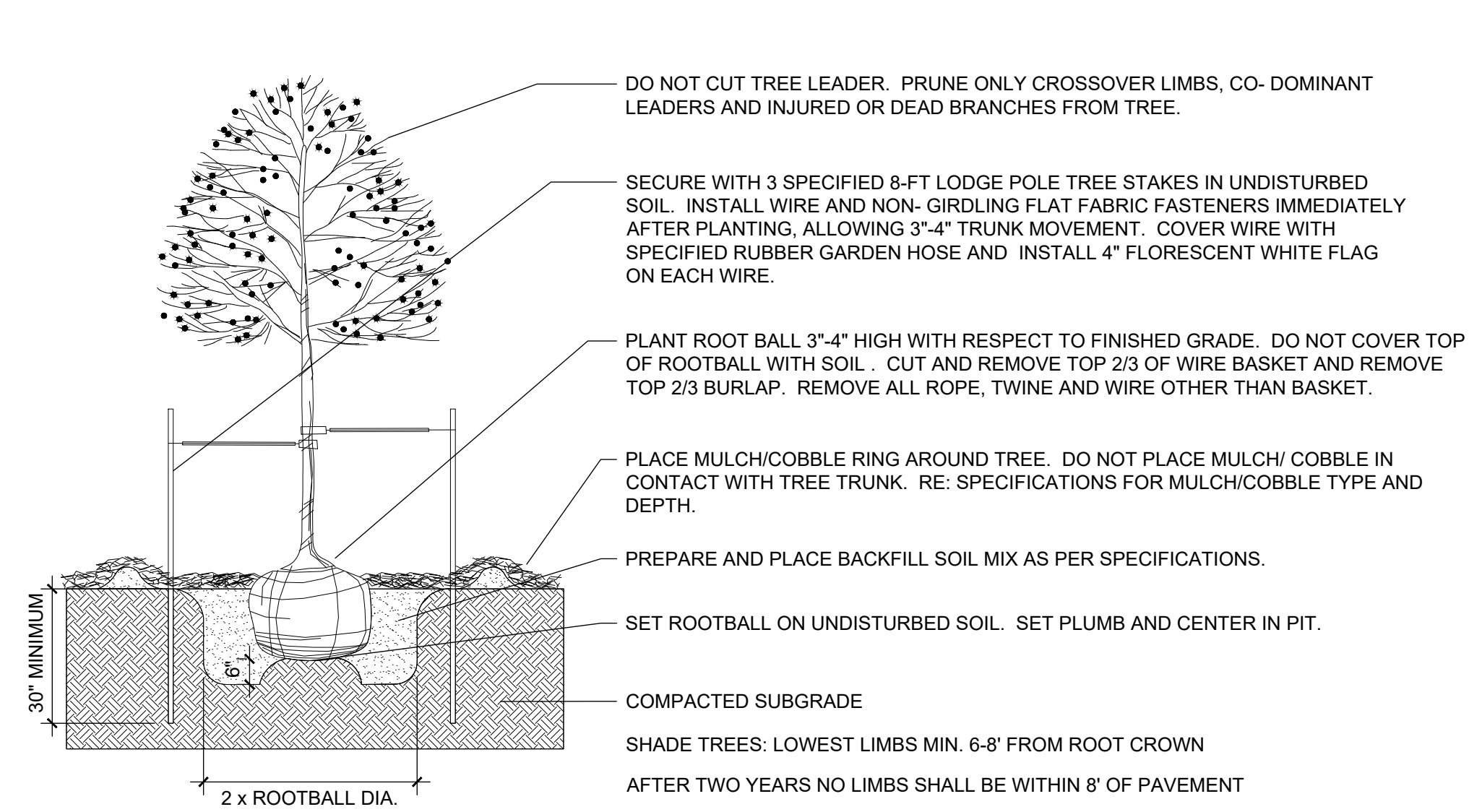
2022/09/30

AS NOTED

Sheet No.:

9





## SOIL ANALYSIS CONTRACTOR REQUIREMENT

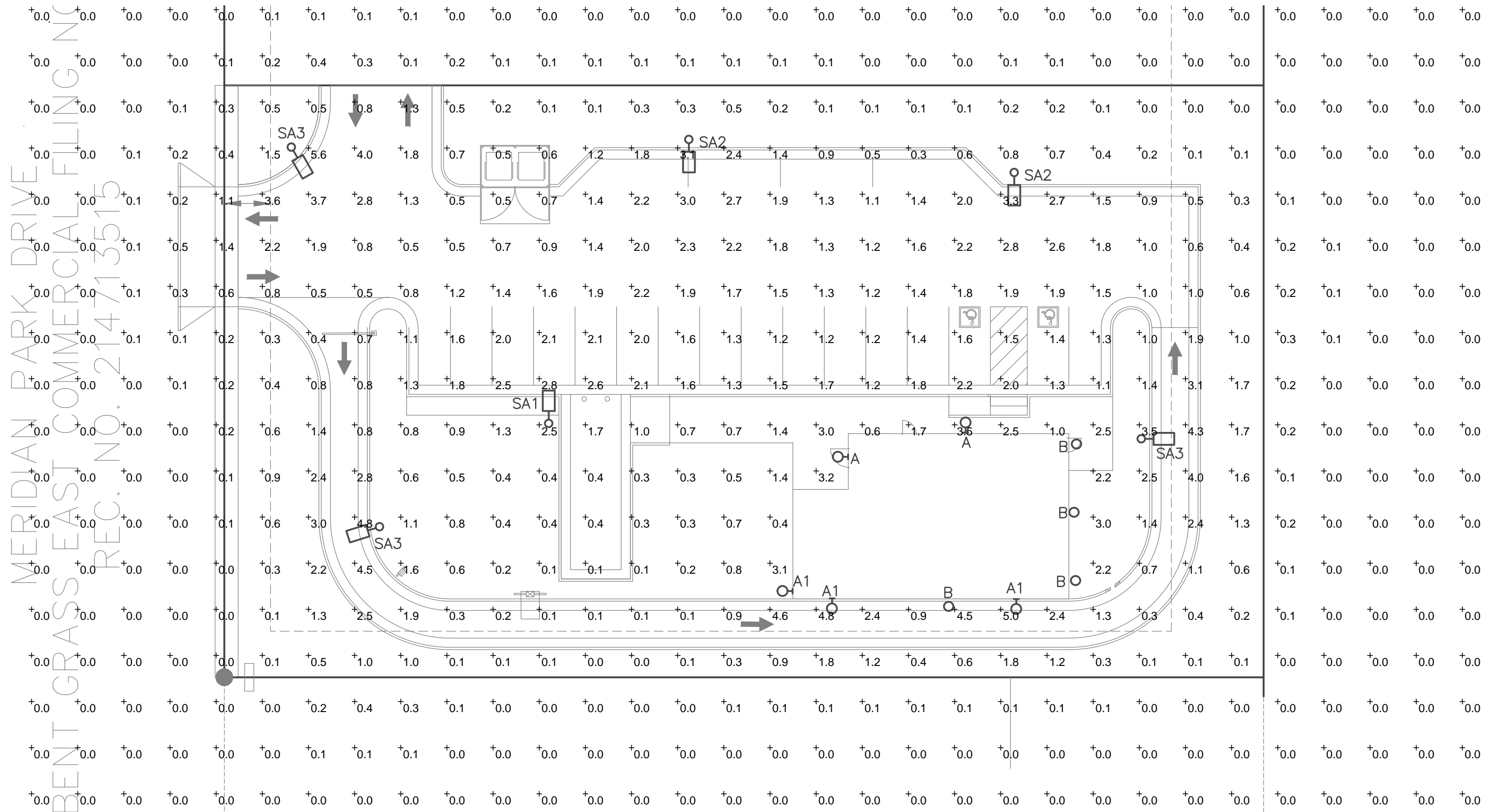
"THE REQUIRED SOIL ANALYSIS REPORT IS REQUIRED TO BE SUBMITTED AND APPROVED WITH THE IRRIGATION PLAN SUBMITTAL AND BEFORE ANY LANDSCAPE CONSTRUCTION. THIS WOULD INCLUDE COMPLETING THE SOIL SAMPLING AND SUBMITTING THE SAMPLES TO A SOILS LAB FOR TESTING. A SEPARATE LAB TEST REPORT AND SOIL PREPARATION RECOMMENDATIONS (AMENDMENT/FERTILIZER AMOUNTS AND APPLICATION RATES) FOR EACH TYPE OF PROPOSED LANDSCAPING (SHRUB BEDS/SOD/NATIVE SEED) WILL NEED TO BE PROVIDED TO CITY STAFF FOR REVIEW AND APPROVAL."

## SOIL AMENDMENTS

PRIOR TO PLANTING, ALL SITES FOR PLANTINGS SHALL INCORPORATE SOIL AMENDMENTS AT A RATE OF 3 CUBIC YARDS PER 1000 SQUARE FEET TO A MINIMUM DEPTH OF 6". A LESSER AMOUNT SHALL BE ALLOWED IF A SOIL TEST SHOWS THAT 3 CUBIC YARDS PER 1000 SQUARE FEET IS NOT NECESSARY FOR WATER RETENTION AND DEEP ROOTING OF PLANT MATERIALS. IF THE SPECIFIED PLANT MATERIAL REQUIRES LESS FERTILE SOIL, THOSE AREAS MAY HAVE LESS SOIL AMENDMENTS INSTALLED IF APPROVED BY THE COMMUNITY DEVELOPMENT DIRECTOR. THESE AREAS SHALL BE IDENTIFIED ON THE LANDSCAPE PLAN. EXISTING TOPSOIL SHALL BE SALVAGED AND STOCKPILED FOR USE AS SOIL AMENDMENTS OR TOPSOIL. NO TOPSOIL SHALL BE REMOVED FROM THE SITE UNLESS THE CITY APPROVES THE TRANSFER OF TOPSOIL TO A CITY-OWNED PARK OR OPEN SPACE AREA. A NOTE SHALL BE PLACED ON THE LANDSCAPE PLAN REFLECTING THE ABOVE REQUIREMENTS REGARDING SOIL AMENDMENTS AND TOPSOIL. EXAMPLES OF ACCEPTABLE SOIL AMENDMENTS INCLUDE COMPOST AND AGED MANURE. MOUNTAIN PEAT AND INORGANIC MATERIALS SUCH AS SAND, GYPSUM AND LIME ARE PROHIBITED SOIL AMENDMENTS. ALL SITES ARE SUBJECT TO INSPECTION BY THE CITY FOR COMPLIANCE WITH SOIL AMENDMENT REQUIREMENTS.







SITE PHOTOMETRIC PLAN

Scale: 1"=20'  
0 20 40  
FEET

SITE PHOTOMETRIC SUMMARY  
AVERAGE = 0.6 FT. CANDLE  
MAXIMUM = 5.6 FT. CANDLE  
MINIMUM = 0.0 FT. CANDLE

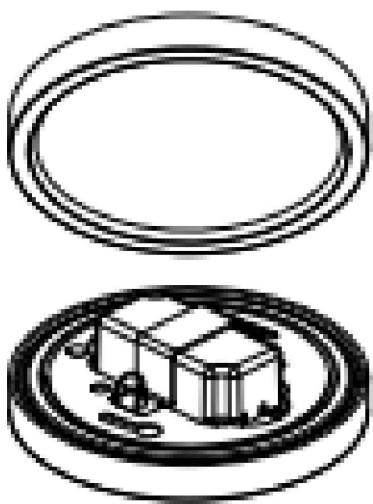
LIGHTING FIXTURE SCHEDULE						
ITEM	NO.	MANUFACTURER	CAT. NO.	LAMPS	MOUNTING	DESCRIPTION
A	2	LITHONIA LIGHTING	WPX1 LED P2 40K MVOLT DDBXD	24 WATT 3000K LED 2,900 LUMENS	WALL +14 FT	EXTERIOR WALL MOUNTED CUT OFF LIGHT
A1	3	LITHONIA LIGHTING	WDGE1 LED P1 30K VW MVOLT	11 WATT 3000K LED 1200 LUMENS	WALL +9 FT	EXTERIOR WALL MOUNTED CUT OFF LIGHT
B	4	LIGHTOLIER	S5R-840K-7	10 WATT 3000K LED 650 LUMENS	UNDER SOFFIT +8 FT	5" THIN SURFACE LED DOWN LIGHT
SA1	1	LITHONIA LIGHTING	DSX1 LED P1 40K T3M-MVOLT-SPA-HSS-DBLBXD	54 WATT 3000K LED 6,967 LUMENS	16 FT POLE	SINGLE HEAD FULL CUT OFF POLE LIGHT ON SQUARE POLE, MOUNTED AT 16 FT ABOVE GRADE TO TOP OF FIXTURE, TYPE III OPTICS,HOUSE SIDE SHIELD
SA2	2	LITHONIA LIGHTING	DSX1 LED P1 40K T4M-MVOLT-SPA-HSS-DBLBXD	54 WATT 3000K LED 6,967 LUMENS	16 FT POLE	SINGLE HEAD FULL CUT OFF POLE LIGHT ON SQUARE POLE, MOUNTED AT 16 FT ABOVE GRADE TO TOP OF FIXTURE, TYPE IV OPTICS,HOUSE SIDE SHIELD
SA3	3	LITHONIA LIGHTING	DSX0 LED P1 40K T3M-MVOLT-SPA-DBLBXD	38 WATT 3000K LED 4,700 LUMENS	10 FT POLE	SINGLE HEAD FULL CUT OFF POLE LIGHT ON SQUARE POLE, MOUNTED AT 10 FT ABOVE GRADE TO TOP OF FIXTURE, TYPE III OPTICS



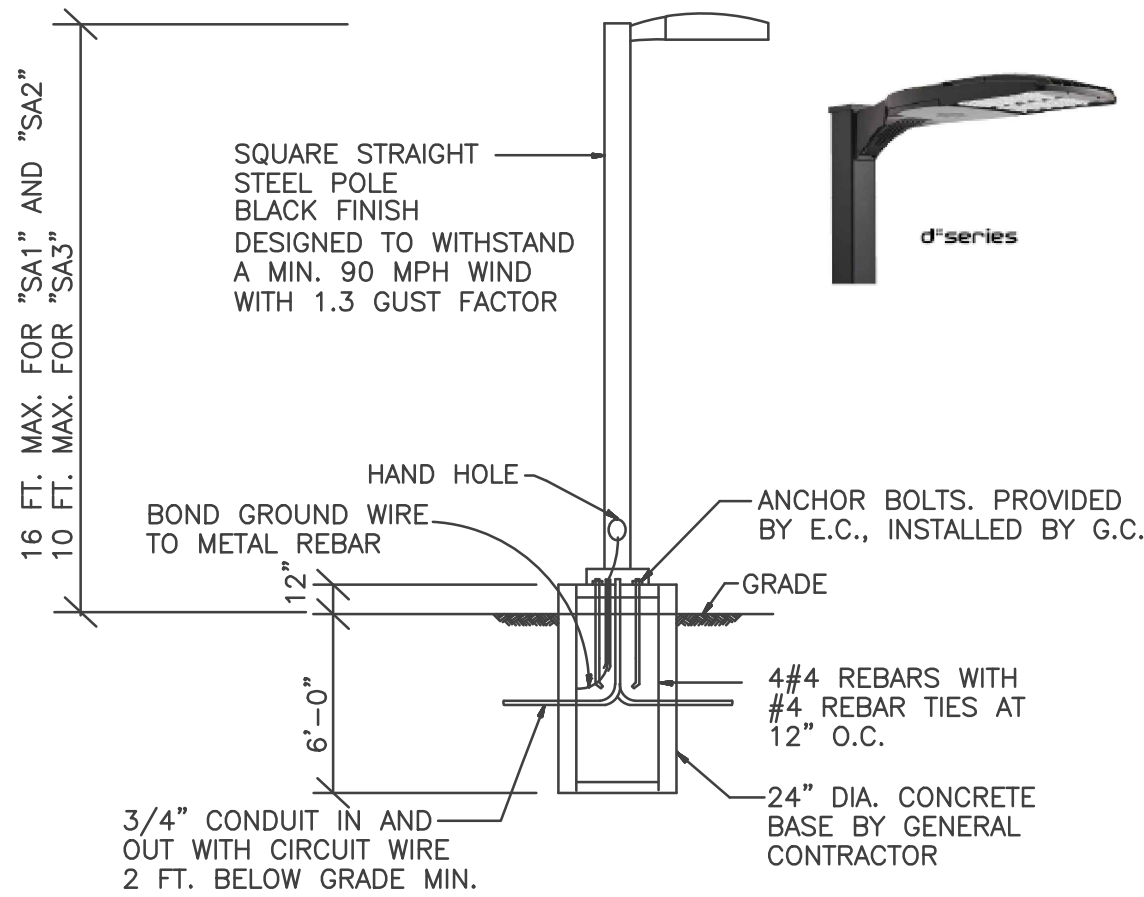
FIXTURE 'A1'



FIXTURE 'A'



FIXTURE 'B'



POLE MOUNTED FIXTURES INSTALLATION DETAIL  
FOR FIXTURES "SA1", "SA2" AND "SA3"  
NO SCALE

PERMIT NO.: \_\_\_\_\_

Client:  
CD BENT GRASS LLC  
106 S. KYRENE RD.  
CHANDLER, AZ 85226  
PHONE:  
ATTN: B. HAYENGA

DATE	03/18/22
DESCRIPTION	INITIAL SUBMITTAL
NO.	1
REVISIONS	REVISED PER COUNTY COMMENTS

ENGINEERING CONSULTANTS  
INCORPORATED  
ELECTRICAL ENGINEERS  
8811 E Hampden Ave. Ste. 208, Denver, CO 80231  
(303) 355-5534 (tel) walter@egcinc.com

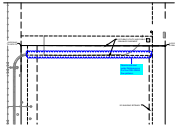
PHOTOMETRIC PLAN  
DUNKIN BENT GRASS  
SITE DEVELOPMENT PLAN  
LOT 1A, BENT GRASS EAST COMMERCIAL FILING NO. 2A,  
LOCATED IN TOWN OF PEYTON,  
COUNTY OF EL PASO, STATE OF COLORADO

WC Civil Team: TS, LP  
Date: 2022/03/04  
Engineering No.: AS NOTED  
Sheet No.: 11



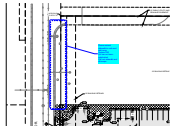
# Site Development Plan\_V2.pdf Markup Summary

eschoenheit (13)



**Subject:** Cloud+  
**Page Label:** [4] 4 HORIZONTAL CONTROL PLAN  
**Author:** eschoenheit  
**Date:** 11/22/2022 1:59:06 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Denote curb and gutter Reference pg 6 of the FDR  
Offsite flow patterns

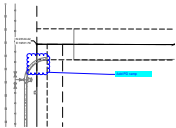


**Subject:** Cloud+  
**Page Label:** [4] 4 HORIZONTAL CONTROL PLAN  
**Author:** eschoenheit  
**Date:** 11/22/2022 10:36:59 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Please extend sidewalk to curb and add ramp  
Update FAE  
Lot has not been subdivided.  
Call out sidewalk and all ramps

Unresolved - ddschoenheit  
11/22/2022 11:37:01 AM

**Subject:** Unresolved  
**Page Label:** [4] 4 HORIZONTAL CONTROL PLAN  
**Author:** eschoenheit  
**Date:** 11/22/2022 10:37:01 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**



**Subject:** Cloud+  
**Page Label:** [4] 4 HORIZONTAL CONTROL PLAN  
**Author:** eschoenheit  
**Date:** 11/22/2022 11:19:44 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Add PD ramp

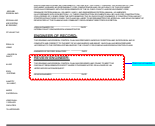



**Subject:** Cloud  
**Page Label:** [2] 2 GENERAL NOTES  
**Author:** eschoenheit  
**Date:** 11/22/2022 11:39:01 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**



**Subject:** File Attachment  
**Page Label:** [2] 2 GENERAL NOTES  
**Author:** eschoenheit  
**Date:** 11/22/2022 11:43:59 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**






**Subject:** Cloud+  
**Page Label:** [2] 2 GENERAL NOTES  
**Author:** eschoenheit  
**Date:** 11/22/2022 11:45:13 AM  
**Status:**  
**Color:**   
**Layer:**  
**Space:**

Remove not needed

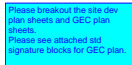



**Subject:** Cloud+  
**Page Label:** [2] 2 GENERAL NOTES  
**Author:** eschoenheit  
**Date:** 11/22/2022 11:45:38 AM  
**Status:**  
**Color:**   
**Layer:**  
**Space:**

These are for the GEC plan sheets




**Subject:** Image  
**Page Label:** [2] 2 GENERAL NOTES  
**Author:** eschoenheit  
**Date:** 11/22/2022 11:47:13 AM  
**Status:**  
**Color:**   
**Layer:**  
**Space:**



**Subject:** Text Box  
**Page Label:** [2] 2 GENERAL NOTES  
**Author:** eschoenheit  
**Date:** 11/22/2022 11:47:19 AM  
**Status:**  
**Color:**   
**Layer:**  
**Space:**


Please breakout the site dev plan sheets and GEC plan sheets.  
Please see attached std signature blocks for GEC plan.



**Subject:** Cloud+  
**Page Label:** [2] 2 GENERAL NOTES  
**Author:** eschoenheit  
**Date:** 11/22/2022 11:47:31 AM  
**Status:**  
**Color:**   
**Layer:**  
**Space:**

Remove for GEC Plan sheet set only



**Subject:** Arrow  
**Page Label:** [2] 2 GENERAL NOTES  
**Author:** eschoenheit  
**Date:** 11/22/2022 11:47:48 AM  
**Status:**  
**Color:**   
**Layer:**  
**Space:**



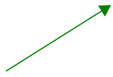
SIGN POST

Add easement line in  
legend and SDP

**Subject:** Text Box  
**Page Label:** [4] 4 HORIZONTAL CONTROL PLAN  
**Author:** eschoenheit  
**Date:** 11/22/2022 3:50:48 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Add easement line in legend and SDP

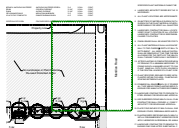
Linda.Nguyen (13)



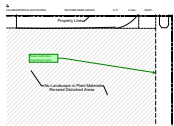
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**Page Label:** [4] 4 HORIZONTAL CONTROL PLAN  
**Author:** Linda.Nguyen  
**Date:** 11/23/2022 10:07:42 AM  
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**Layer:**  
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**Subject:** Image  
**Page Label:** [1] Layout1  
**Author:** Linda.Nguyen  
**Date:** 11/23/2022 10:18:50 AM  
**Status:**  
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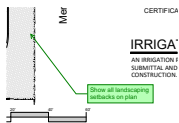


**Subject:** Cloud  
**Page Label:** [1] Layout1  
**Author:** Linda.Nguyen  
**Date:** 11/23/2022 10:19:04 AM  
**Status:**  
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**Subject:** Callout  
**Page Label:** [1] Layout1  
**Author:** Linda.Nguyen  
**Date:** 11/23/2022 10:19:11 AM  
**Status:**  
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**Layer:**  
**Space:**

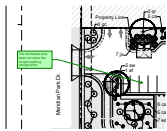
Need clarification regarding lot split.



**Subject:** Callout  
**Page Label:** [1] Layout1  
**Author:** Linda.Nguyen  
**Date:** 11/23/2022 10:19:47 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Show all landscaping setbacks on plan





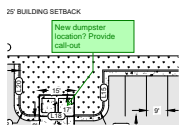
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**Page Label:** [1] Layout1  
**Author:** Linda.Nguyen  
**Date:** 11/23/2022 10:32:57 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

The landscape plan does not show the revised parking configuration



**Subject:** Callout  
**Page Label:** [4] 4 HORIZONTAL CONTROL PLAN  
**Author:** Linda.Nguyen  
**Date:** 11/23/2022 10:34:41 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Clarify location on plan



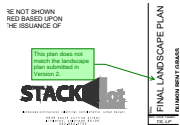
**Subject:** Callout  
**Page Label:** [4] 4 HORIZONTAL CONTROL PLAN  
**Author:** Linda.Nguyen  
**Date:** 11/23/2022 10:35:04 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

New dumpster location? Provide call-out



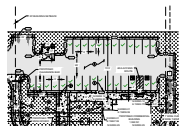
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**Author:** Linda.Nguyen  
**Date:** 11/23/2022 10:36:25 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Please clarify the response to comments on GEC plan regarding the property being split into 2 separate lots. Note all future building or show no-build areas.



**Subject:** Callout  
**Page Label:** [1] Layout1  
**Author:** Linda.Nguyen  
**Date:** 11/23/2022 12:26:02 PM  
**Status:**  
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**Layer:**  
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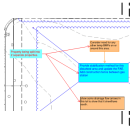
This plan does not match the landscape plan submitted in Version 2.



**Subject:** Count Measurement  
**Page Label:** [4] 4 HORIZONTAL CONTROL PLAN  
**Author:** Linda.Nguyen  
**Date:** 11/23/2022 9:54:47 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

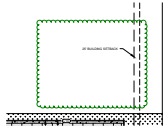
28





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**Subject:** Image  
**Page Label:** [4] 4 HORIZONTAL CONTROL PLAN  
**Author:** Linda.Nguyen  
**Date:** 11/23/2022 9:58:05 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**



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**Subject:** Cloud  
**Page Label:** [4] 4 HORIZONTAL CONTROL PLAN  
**Author:** Linda.Nguyen  
**Date:** 11/23/2022 9:58:11 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**