

Challenger Hynes Inc/CO, El Paso County-CLH00018-Bert Grass Filing 3/CADD/3-CDPUB/CLH18_O1_0_Cover/Notes-Sentences.dwg - Caleb Johnson - 7/19/2021

1. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK. THE OMISSION FROM THE PLANS OF ANY UTILITIES OR LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OF OR A DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES.
2. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES FROM DAMAGE DUE TO THIS OPERATION. ANY DAMAGE TO THE UTILITIES WILL BE REPLACED AT THE CONTRACTORS EXPENSE AND ANY SERVICE DISRUPTION WILL BE SETTLED BY THE CONTRACTOR.
3. ADDITIONAL EROSION CONTROL STRUCTURES MAY BE REQUIRED AT THE TIME OF CONSTRUCTION.
4. ALL BACKFILL, SUB-BASE AND / OR BASE COURSE (CLASS C) MATERIAL SHALL BE COMPACTED TO THE SOILS ENGINEERS RECOMMENDATIONS, AND APPROVED BY EL PASO COUNTY DEVELOPMENT SERVICES ENGINEERING DIVISION.
5. ALL STATIONING IS CONTINUING UNLESS OTHERWISE INDICATED. ALL ELEVATIONS ARE FLOW LINE UNLESS OTHERWISE INDICATED.
6. ALL DISTURBED PAVEMENT EDGES SHALL BE CUT TO NEAT LINES. REPAIR SHALL CONFORM TO THE EPC COM APPENDIX K - 1.2C.
7. ALL INTERSECTION AREAS SHALL BE TO CONSTRUCTED WITH A 25 FOOT SIGHT VISIBILITY TRIANGLES AND THERE SHALL BE NO OBSTRUCTIONS GREATER THAN 18" IN THIS AREA.
8. ALL CULVERT AND STORM PIPES SHALL BE SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE (HDPE), OR REINFORCED CONCRETE PIPE (RCP). ALL CULVERTS SHALL BE PLACED CONFORM TO THE FLARED END SECTIONS. ADEQUACY OF MATERIAL THICKNESS FOR ANY CSP INSTALLED SHALL BE VERIFIED BY OWNERS GEOLOGICAL ENGINEER TO SUPPORT MINIMUM 50 YEAR DESIGN LIFE. CULVERTS MUST CONFORM TO EPC COM SECTION 3.32 - CULVERTS.
9. ASPHALT THICKNESS AND BASE COURSE THICKNESS (COMPACTED) FOR ROADS SHALL BE PER DESIGN SPECIFICATION BY OWNERS GEOLOGICAL ENGINEER. OWNERS GEOLOGICAL ENGINEER TO BE ON SITE AT THE END OF ROAD CONSTRUCTION TO EVALUATE SOIL CONDITIONS AND DETERMINE IF ADDITIONAL MEASURES ARE NECESSARY TO ASSURE STABILITY OF THE NEW ROADS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY DEVELOPMENT SERVICES ENGINEERING DIVISION PRIOR TO CONSTRUCTION.
10. TYPE M RIP-RAP WITH 4" OF TYPE II GRANULAR BEDDING AND MARIACHI 180N OR EQUAL MAY BE SUBSTITUTED WHERE TYPE I RIP-RAP WITH MARIACHI 700 OR EQUAL IS SPECIFIED.
11. ALL MATERIALS AND INSTALLATION PROCEDURES SHALL BE IN COMPLIANCE WITH ANY AND ALL APPLICABLE EL PASO COUNTY STANDARDS AND WITH WOODMAN HILLS METRO DISTRICT CONSULTING ENGINEER APPROVAL.
12. ALL POTABLE WATER MAINS SHALL BE AWWA C900-SDR18 PIPE WITH PUSH-ON SINGLE GASKET TYPE JOINTS AND SHALL MEET THE REQUIREMENTS OF AAS / NSF 61.
13. ALL POTABLE WATER FITTINGS SHALL BE MADE FROM GRAY-IRON OR DUCTILE IRON AND FURNISHED WITH MECHANICAL JOINT ENDS. ALL FITTINGS SHALL HAVE A PRESSURE RATING OF 250 PSI AND SHALL MEET THE REQUIREMENTS OF AAS / NSF 61.
14. ALL WATER LINE BENDS, TEES, BLOW-OFFS AND PIGS AT DEAD-END MAINS SHALL BE PROTECTED FROM THRUST BY USING CONCRETE THROST BLOCKS AND / OR RODDING AND RESTRAINED PIPE PER THE PAINT BRUSH HILLS METRO DISTRICT CONSULTING ENGINEER APPROVAL.
15. MAXIMUM DEFLECTION OF 8" OR 12" PVC WATER MAIN JOINTS IS 4 DEGREES. CORRESPONDING MINIMUM CURVE RADIUS IS 286'. ADDITIONAL 11.25" OR 22.5" BENDS MAY BE REQUIRED FOR PORTAL ALIGNMENT.
16. CONTRACTOR IS RESPONSIBLE FOR PROVIDING DETAILED AS-BUILTS OF ALL WATER MAIN, STORM SEWER AND SANITARY SEWER MAIN INSTALLATIONS, INCLUDING ACCURATE DISTANCES OF MAN LINES, VALVES, FITTINGS, MANHOLES AND LOCATIONS OF WATER AND SEWER SERVICES.
17. SANITARY SEWER PIPE AND FITTINGS: PVC 4" - 8" ASTM D3034, TYPE PSN, SDR 35; PUSH-ON JOINTS AND MOLDED RUBBER GASKETS MAXIMUM HORIZONTAL DEFLECTIONS, AFTER INSTALLATION AND BACK FILLING SHALL NOT EXCEED 3% OF THE PIPE DIAMETER. (MINIMUM CURVE RADIUS IS 100' FOR 8" PVC SANITARY SEWER MAIN)

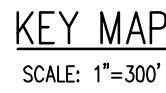
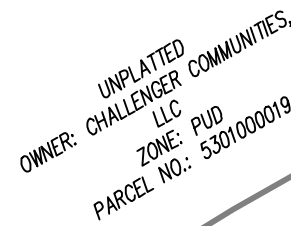
- ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. THE LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
- CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
 - A. EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
 - B. CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
 - C. COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
 - D. CDOT M & S STANDARDS
- NOTWITHSTANDING ANYTHING DELETED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARD, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL, VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (PCD) – INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS–JESSED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
- CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
- ALL STORM DRAIN PIPE SHALL BE CLASS I RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
- CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER PCD REQUIREMENTS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
- SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DOT AND MUTCD CRITERIA. [IF APPLICABLE, ADDITIONAL SIGNING AND STRIPING NOTES WILL BE PROVIDED.]
- CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DOT, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
- THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

















1. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY WILL NOT BE VISIBLE UNDER DAY OR NIGHT CONDITIONS. AT NO TIME WILL IT BE ACCEPTABLE TO POSE UNDER EXISTING PAVEMENT MARKINGS.
3. ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT.
4. ALL SIGNS SHOWN ON THE SIGNING AND STRIPING PLAN SHALL BE NEW SIGNS. EXISTING SIGNS MAY REMAIN OR BE REUSED IF THEY MEET CURRENT EL PASO COUNTY AND MUTCD STANDARDS.
5. STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.
6. ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR.
7. ALL STREET NAME SIGNS SHALL HAVE 'D'SERIES LETTERS, WITH LOCAL ROADWAY SIGNS BEING 4"UPPER-LOWER CASE LETTERING ON B-BLANK AND NON-LOCAL ROADWAY SIGNS BEING 6"UPPER-LOWER CASE LETTERING ON B-BLANK WITH A WHITE BORDER THAT IS NOT RECESSED. MULTI-LANE ROADWAYS WITH SPEED LIMITS OF 40 MPH OR HIGHER SHALL HAVE 8"UPPER-LOWER CASE LETTERING ON B-BLANK WITH A WHITE BORDER THAT IS NOT RECESSED. THE WIDTH OF THE 'D-SERIES SIGNS SHALL MATCH PACE 235 OF THE 2012 MUTCD "STANDARD HIGHWAY SIGNS".
8. ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.
9. ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75"x 1.75" SQUARE TUBE SIGN POST AND SUB POST BASE. FOR OTHER APPLICATIONS, REFER TO THE CDD STANDARD S-614-B REGARDING USE OF THE P2 TUBULAR SIGN POST SUBPASTE DISCREION.
10. ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.100" MINIMUM THICKNESS.
11. ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 125 MIL THICKNESS PREFORMED THERMOPLASTIC PAVEMENT MARKINGS WITH TAPERED LEADING EDGES PER CDD STANDARD S-627-1. WORD AND SYMBOL MARKINGS SHALL BE 12" MINIMUM TYPE. STOP BARS SHALL BE 24"-WIDE. CROSSWALK MARKINGS SHALL BE 12" DEGREE AND 6" LONG PER CDD S-627-1.
12. ALL LONGITUDINAL SIGNS SHALL BE A MINIMUM 150MIL THICKNESS EPOXY PAINT. ALL NON-LOCAL RESIDENTIAL ROADWAYS SHALL INCLUDE BOTH RIGHT AND LEFT EDGE LINE STRIPING AND ANY ADDITIONAL STRIPING AS REQUIRED BY CDD S-627-1.
13. THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (791) 520-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING.
14. THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT FOR ANY SIGNAGE OR STRIPING WORK WITHIN AN EXISTING EL PASO COUNTY ROADWAY.



Project No:	CLH000018
Drawn By:	CMWJ
Checked By:	RGD
Date:	06/23/2021

C0.1
Sheet 2 of 17



	EXISTING PROPERTY LINE (PROJECT BOUNDARY)
	EXISTING PROPERTY LINE
	EXISTING CENTER LINE
	PROPOSED CENTER LINE
	EXISTING RIGHT OF WAY LINE
	PROPOSED RIGHT OF WAY LINE
	EXISTING LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	SIGHT DISTANCE LINE
	EXISTING DRAINAGE FEATURE OUTLINE
	PROPOSED DRAINAGE FEATURE OUTLINE
	EXISTING SWALE WITH FLOW DIRECTION
	PROPOSED SWALE WITH FLOW DIRECTION
	100-YR FEMA FLOODPLAIN
	PROPOSED LOT NUMBER
	EXISTING LOT NUMBER

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, T13S, R65W AND THE WEST QUARTER CORNER SECTION 1, T13S, R65W IS N00°13'46"W AND MONUMENTED AS SHOWN:

THE SOUTHWESTERLY CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4, MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR LS# 24954 ELEVATION = 6947.67

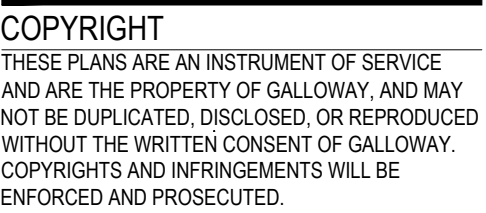
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Know what's **below**.
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2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

EPC 9/28/2021

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Colorado Springs, CO 80920
719.900.7220
GallowayUS.com



CHALLENGER HOMES

CHALLENGER COMMUNITIES, LLC

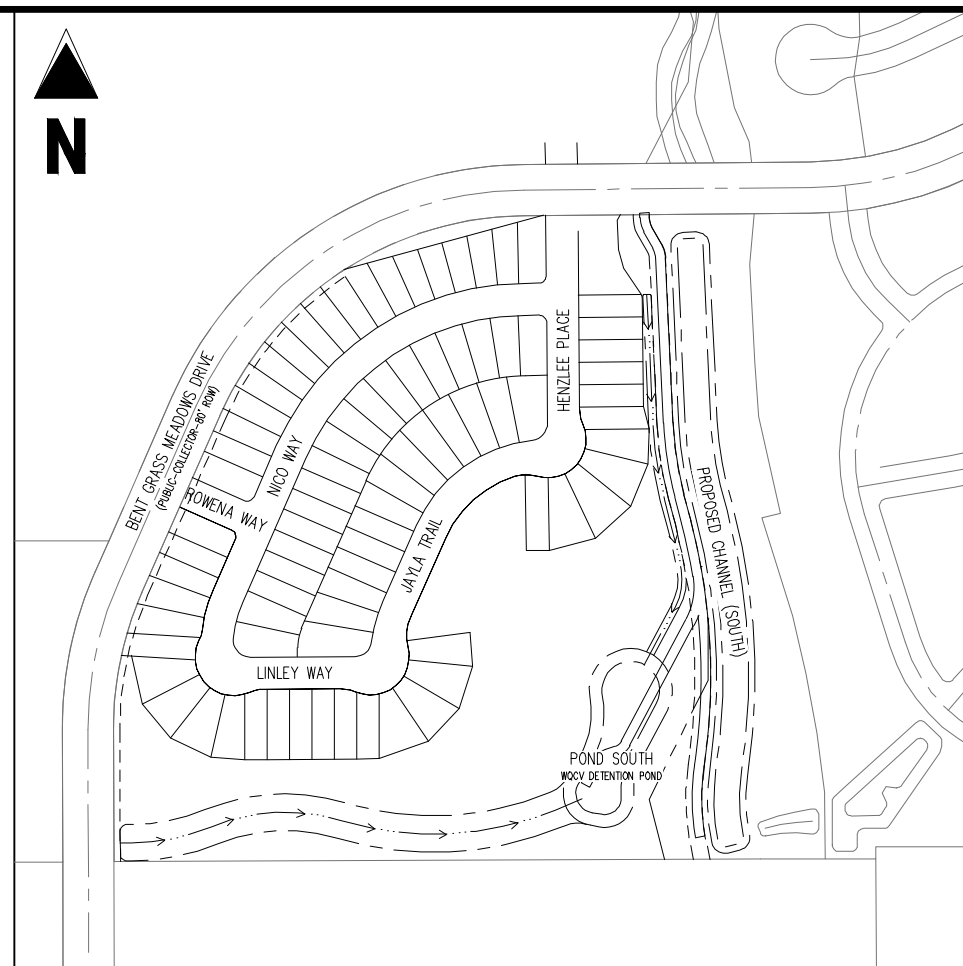
BENT GRASS MEADOWS DRIVE & MERDIAN ROAD
FALCON, CO 80831 - EL PASO COUNTY

Project No:	CLH000018
Drawn By:	CMWJ
Checked By:	RGD
Date:	07/16/2021

HORIZONTAL CONTROL

Sheet 3 of 17

p:\Challenger Homes Inc\CO, El Paso County\CLH000018 Bent Grass Filing 3\CADD\3-CD\PUBLIC\HLS_C1_0_Overall Site Plan.dwg - Caleb Johnson - 7/15/2021



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CHALLENGER HOMES

CONSTRUCTION DOCUMENTS
FALCON MEADOWS AT BENT GRASS FILING NO. 1
FOR
CHALLENGER COMMUNITIES, LLC

BENT GRASS MEADOWS DRIVE & MERDIAN ROAD
FALCON, CO 80831 - EL PASO COUNTY

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Project No:	CLH000018
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Checked By:	RGD
Date:	06/23/2021

PHASING PLAN

C1.1

Sheet 4 of 17

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, T13S, R65W AND THE WEST QUARTER CORNER SECTION 1, T13S, R65W IS N00°13'46"W AND MONUMENTED AS SHOWN:

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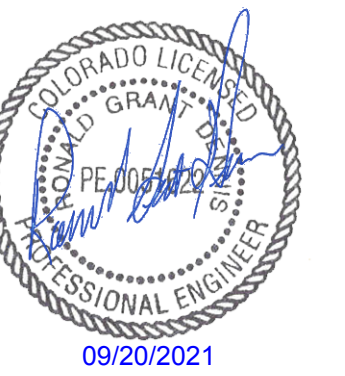
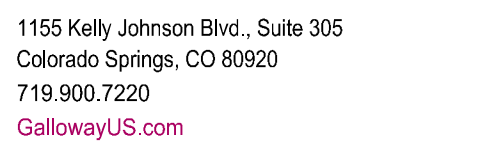
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Challenger Homes Inc CO, El Paso County-CH10018-Sant Grass Flng 3/CAD03-CDPUB/CH18 C1.0 Overall Site Plan dwg - 7/16/2021



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FALCON MEADOWS AT BENT GRASS FILING NO. 1

CHALLENGER COMMUNITIES, LLC

BENT GRASS MEADOWS DRIVE & MERDIAN ROAD
FALCON, CO 80831 - EL PASO COUNTY

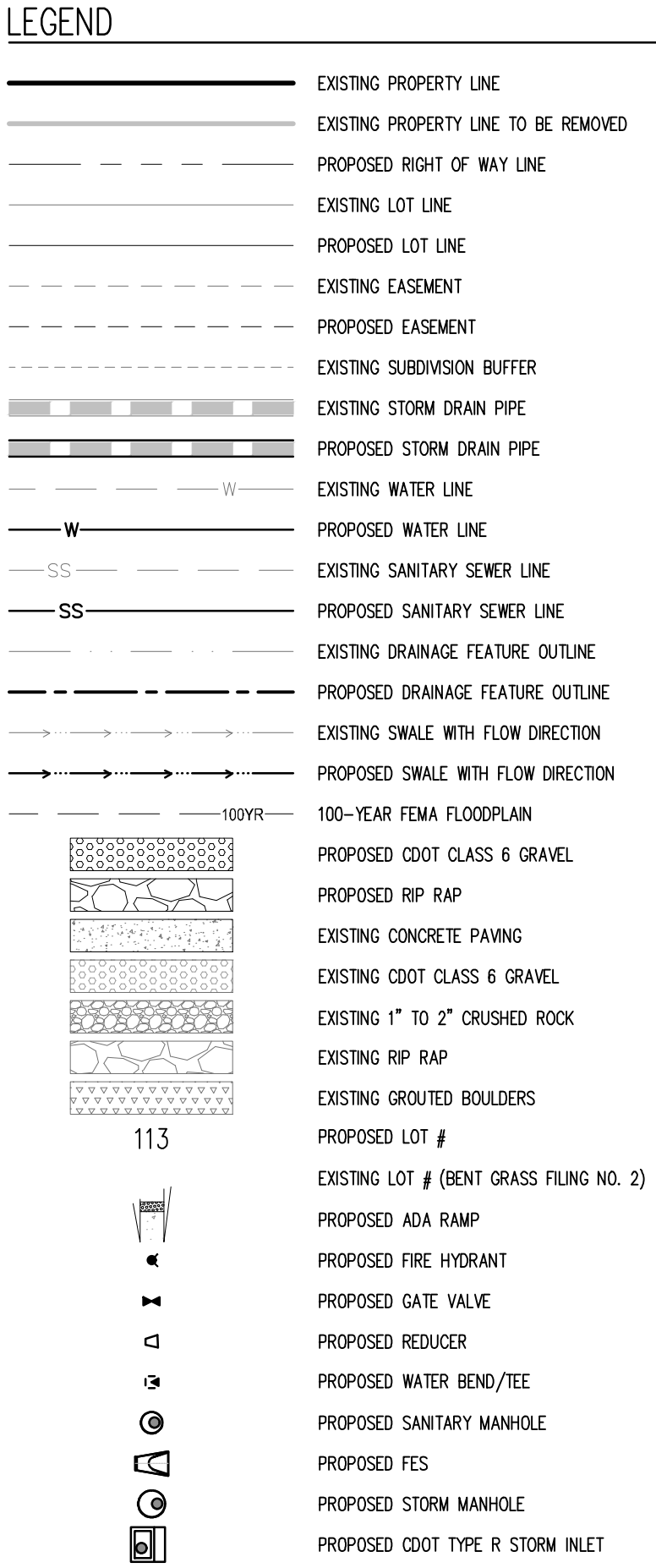
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DEMO PLAN

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Sheet 5 of 17



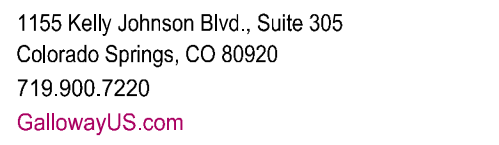
CAUTION – NOTICE TO CONTRACTOR

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BENT GRASS MEADOWS DRIVE & MERIDIAN ROAD
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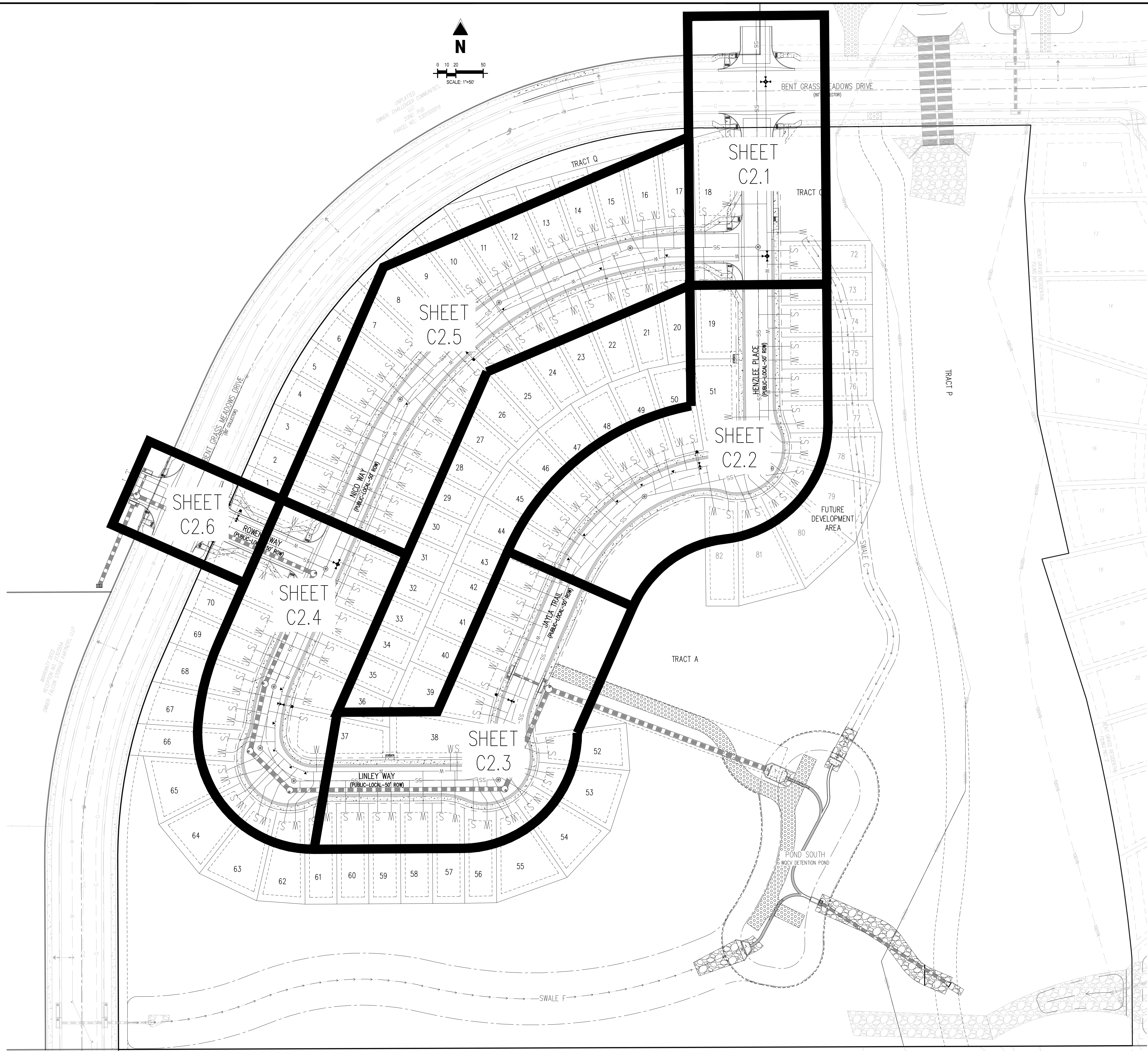
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Drawn By:	CMWJ
Checked By:	RGD
Date:	06/23/2021

ROADWAY PLAN & PROFILE

KEY MAP

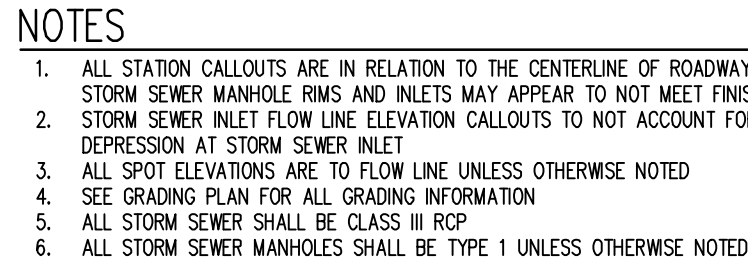
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Sheet 6 of 17






















EPC 9/28/2021

1:Challenger Homes Inc/CO, El Paso County=CUH100018-Bart Grass Filing 3/CAD013-CD/PUBLIC/H-C2.0_Key Map.dwg - Brad Bishop - 7/15/2021



LEGEND

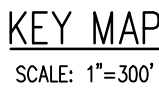
—————	EXISTING PROPERTY LINE
—————	EXISTING RIGHT OF WAY TO BE REMOVED
—————	PROPOSED RIGHT OF WAY LINE
—————	EXISTING LOT LINE
—————	PROPOSED LOT LINE
—————	EXISTING EASEMENT
—————	PROPOSED EASEMENT
—————	PROPOSED PIE EASEMENT
—————	SIGHT DISTANCE
—————	EXISTING SUBDIVISION BUFFER
	EXISTING STORM DRAIN PIPE
	PROPOSED STORM DRAIN PIPE
————— W —————	EXISTING WATER LINE
————— W —————	PROPOSED WATER LINE
—— SS ———	EXISTING SANITARY SEWER LINE
—— SS ———	PROPOSED SANITARY SEWER LINE
—————	EXISTING DRAINAGE FEATURE OUTLINE
—————	PROPOSED DRAINAGE FEATURE OUTLINE
—————	EXISTING SWALE WITH FLOW DIRECTION
—————	PROPOSED SWALE WITH FLOW DIRECTION
————— 100YR —————	100-YEAR FEMA FLOODPLAIN
	PROPOSED CDOT CLASS 6 GRAVEL
	PROPOSED RIP RAP
	EXISTING CONCRETE PAVING
	EXISTING CDOT CLASS 6 GRAVEL
	EXISTING 1" TO 2" CRUSHED ROCK
	EXISTING RIP RAP
	EXISTING GROUTED BOULDERS
113	PROPOSED LOT #
	EXISTING LOT # (EXISTING GRASS FILING NO.)
	PROPOSED ADA RAMP
	PROPOSED FIRE HYDRANT
	PROPOSED GATE VALVE
	PROPOSED REDUCER
	PROPOSED WATER BEND/TEE
	PROPOSED SANITARY MANHOLE
	PROPOSED FES
	PROPOSED STORM MANHOLE
	PROPOSED CDOT TYPE R STORM INLET

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CHALLENGER HOMES

CONSTRUCTION DOCUMENTS
FALCON MEADOWS AT BENT GRASS FILING NO. 1
FOR
CHALLENGER COMMUNITIES, LLC

BENT GRASS MEADOWS DRIVE & MERIDIAN ROAD
FALCON, CO 80831 - EL PASO COUNTY

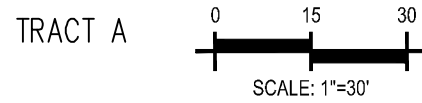
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Project No:	CLH000018
Drawn By:	CMWJ
Checked By:	RGD
Date:	06/23/2021

HENZLEE PLACE STREET IMPROVEMENT PLAN

C2.1

Sheet 7 of 17



Profile view of the proposed road grade and existing ground. The vertical axis shows elevation in feet (6930 to 6955) and the horizontal axis shows stationing (4+25 to 8+25). The proposed grade is a solid black line with a -0.80% slope. The existing ground is a dashed black line. A vertical curve is shown with a 100-foot length. The existing ground elevation at station 6+00 is 6940.75 feet.

Station	Proposed Grade (ft)	Existing Ground (ft)
4+25	6944.50	6941.80
5+00	6943.80	6940.50
6+00	6943.10	6940.75
7+00	6942.40	6940.50
8+25	6941.50	6939.50

NOTES

1. ALL STATION CALLOUTS ARE IN RELATION TO THE CENTERLINE OF ROADWAY, THEREFORE
2. STORM SEWER MANHOLE RIMS AND INLETS MAY APPEAR TO NOT MEET FINISH GRADE
3. STORM SEWER INLET FLOW LINE ELEVATION CALLOUTS TO NOT ACCOUNT FOR FLOW LINE
4. DEPRESSION AT STORM SEWER INLET
5. ALL SPOT ELEVATIONS ARE TO FLOW LINE UNLESS OTHERWISE NOTED
6. SEE GRADING PLAN FOR ALL GRADING INFORMATION
7. ALL STORM SEWER SHALL BE CLASS III RCP
8. ALL STORM SEWER MANHOLES SHALL BE TYPE 1 UNLESS OTHERWISE NOTED

(C1) CURVE TABLE 10

- (A) PEDESTRIAN RAMP, SEE DETAILS (EPC SD_2-40 & SD_2-41)
- (B) PROPOSED 10' CURB TRANSITION
- (C) PROPOSED 5' CURB TRANSITION

[illegible]

KEY MAP

SCALE: 1"=300'

LEGEND

- | | |
|--|--|
| | EXISTING PROPERTY LINE |
| | EXISTING PROPERTY LINE TO BE REMOVED |
| | PROPOSED RIGHT OF WAY LINE |
| | EXISTING LOT LINE |
| | PROPOSED LOT LINE |
| | EXISTING EASEMENT |
| | PROPOSED EASEMENT |
| | PROPOSED PIE EASEMENT |
| | SIGHT DISTANCE |
| | EXISTING SUBDIVISION BUFFER |
| | EXISTING STORM DRAIN PIPE |
| | PROPOSED STORM DRAIN PIPE |
| | EXISTING WATER LINE |
| | PROPOSED WATER LINE |
| | EXISTING SANITARY SEWER LINE |
| | PROPOSED SANITARY SEWER LINE |
| | EXISTING DRAINAGE FEATURE OUTLINE |
| | PROPOSED DRAINAGE FEATURE OUTLINE |
| | EXISTING SWALE WITH FLOW DIRECTION |
| | PROPOSED SWALE WITH FLOW DIRECTION |
| | 100-YR FEMA FLOODPLAIN |
| | PROPOSED CDOT CLASS 6 GRAVEL |
| | PROPOSED RIP RAP |
| | EXISTING CONCRETE PAVING |
| | EXISTING CDOT CLASS 6 GRAVEL |
| | EXISTING 1" TO 2" CRUSHED ROCK |
| | EXISTING RIP RAP |
| | EXISTING GROUTED BOULDERS |
| | PROPOSED LOT # |
| | EXISTING LOT # (BENT GRASS FILING NO.) |
| | PROPOSED ADA RAMP |
| | PROPOSED FIRE HYDRANT |
| | PROPOSED GATE VALVE |
| | PROPOSED REDUCER |
| | PROPOSED WATER BEND/TEE |
| | PROPOSED SANITARY MANHOLE |
| | PROPOSED FES |
| | PROPOSED STORM MANHOLE |
| | PROPOSED CDOT TYPE R STORM INLET |

CONTRACTOR MUST COORDINATE WORK WITH WOODMEN HILLS METROPOLITAN DISTRICT PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

LENGTHS OF STORM SEWER ARE THE HORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED. THEREFORE LENGTHS SHOWN ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND STRUCTURE WIDTHS.

MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION BETWEEN STORM SEWER AND POTABLE WATER OR WASTEWATER. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

BASIS OF BEARINGS

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, T13S, R65W AND THE WEST QUARTER CORNER SECTION 1, T13S, R65W IS N00°13'46"W AND MONUMENTED AS SHOWN:

BENCHMARK

THE SOUTHWESTERLY CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4. MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR IS# 24954 ELEVATION = 6947.67

CAUTION – NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, EITHER BEFORE OR AFTER THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLES OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



EPC 9/28/2021

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09/20/2021

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CHALLENGER HOMES

CONSTRUCTION DOCUMENTS
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CHALLENGER COMMUNITIES, LLC

BENT GRASS MEADOWS DRIVE & MERDIAN ROAD
FALCON, CO 80831 - EL PASO COUNTY

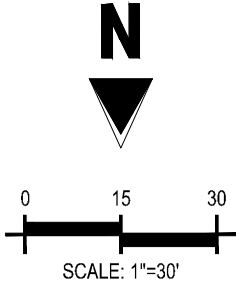
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Project No:	CLH000018
Drawn By:	CMWJ
Checked By:	RGD
Date:	06/23/2021

JAYLA TRAIL STREET IMPROVEMENT PLAN

C2.2

Sheet 8 of 17

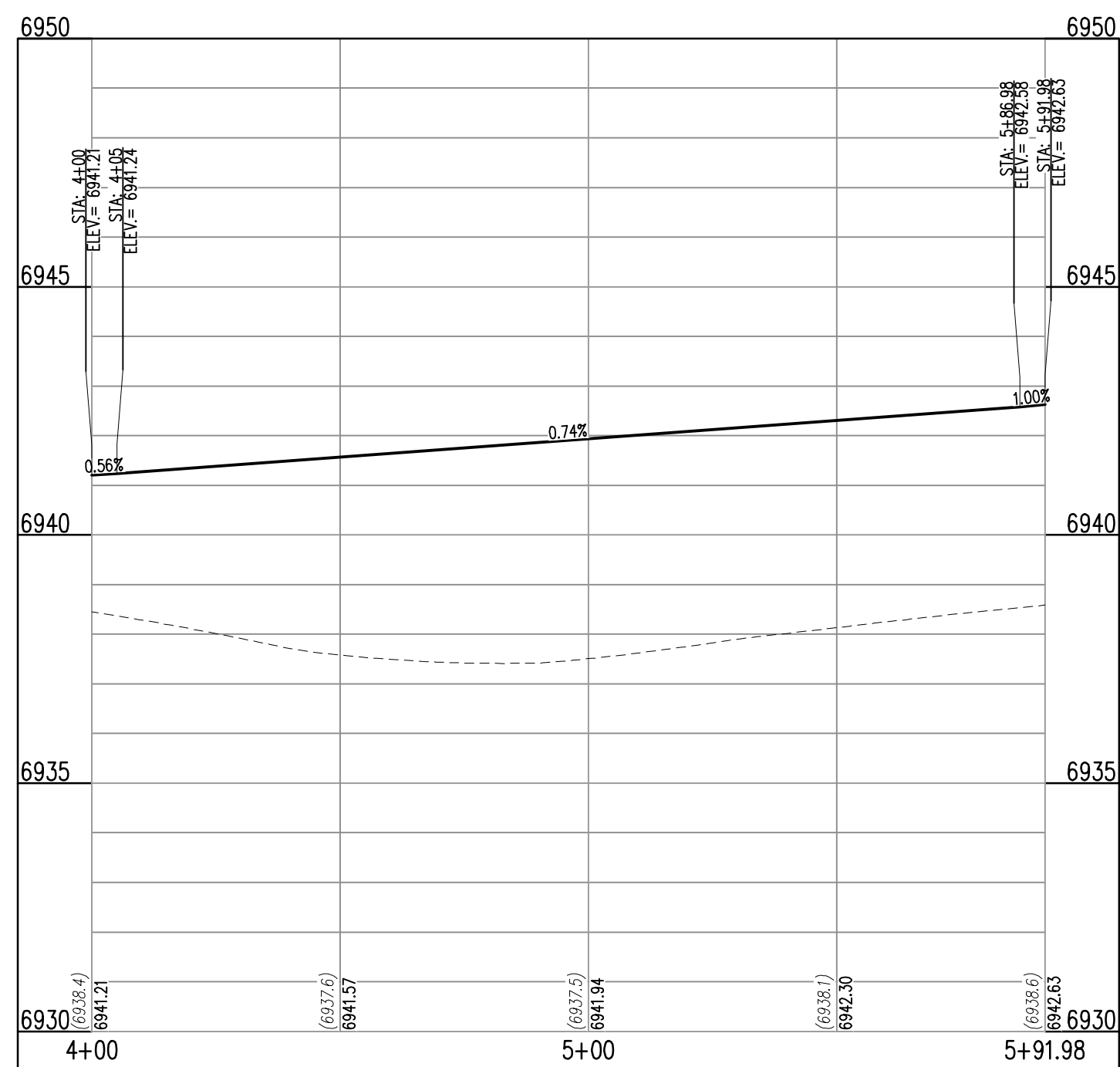


NOTES

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2. STORM SEWER INLET FLOW LINE ELEVATION CALLOUTS TO NOT ACCOUNT FOR FLOW LINE DEPRESSION AT STORM SEWER INLET
3. ALL SPOT ELEVATIONS ARE TO FLOW LINE UNLESS OTHERWISE NOTED
4. SEE GRADING PLAN FOR ALL GRADING INFORMATION
5. ALL STORM SEWER SHALL BE CLASS III RCP
6. ALL STORM SEWER MANHOLES SHALL BE TYPE 1 UNLESS OTHERWISE NOTED

- (C) CURVE TABLE ID
- (A) PEDESTRIAN RAMP, SEE DETAILS (EPC SD_2-40 & SD_2-41)
- (B) PROPOSED 10' CURB TRANSITION
- (C) PROPOSED 5' CURB TRANSITION

CURVE TABLE					
CURVE TAG #	DELTA	LENGTH (FT)	RADIUS (FT)	CHORD BEARING	CHORD LENGTH (FT)
C9	33°33'26"	41.00	70.00	N12°54'3"E	40.41
C10	128°34'32"	112.20	50.00	N48°56'15"E	90.10
C11	2°33'23"	28.78	70.00	S78°33'10"E	28.58

[illegible]

KEY MAP
SCALE: 1"=300'

	EXISTING PROPERTY LINE
	EXISTING PROPERTY LINE TO BE REMOVED
	PROPOSED RIGHT OF WAY LINE
	EXISTING LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	PROPOSED PIE EASEMENT
	SIGHT DISTANCE
	EXISTING SUBDIVISION BUFFER
	EXISTING STORM DRAIN PIPE
	PROPOSED STORM DRAIN PIPE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER LINE
	PROPOSED SANITARY SEWER LINE
	EXISTING DRAINAGE FEATURE OUTLINE
	PROPOSED DRAINAGE FEATURE OUTLINE
	EXISTING SWALE WITH FLOW DIRECTION
	PROPOSED SWALE WITH FLOW DIRECTION
	100-YR FEMA FLOODPLAIN
	PROPOSED CDOT CLASS 6 GRAVEL
	PROPOSED RIP RAP
	EXISTING CONCRETE PAVING
	EXISTING CDOT CLASS 6 GRAVEL
	EXISTING 1" TO 2" CRUSHED ROCK
	EXISTING RIP RAP
	EXISTING GROUTED BOULDERS
113	PROPOSED LOT #
	EXISTING LOT # (BENT GRASS FILING NO.)
	PROPOSED ADA RAMP
	PROPOSED FIRE HYDRANT
	PROPOSED GATE VALVE
	PROPOSED REDUCER
	PROPOSED WATER BEND/TEE
	PROPOSED SANITARY MANHOLE
	PROPOSED FES
	PROPOSED STORM MANHOLE
	PROPOSED CDOT TYPE R STORM INLET

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CHALLENGER HOMES

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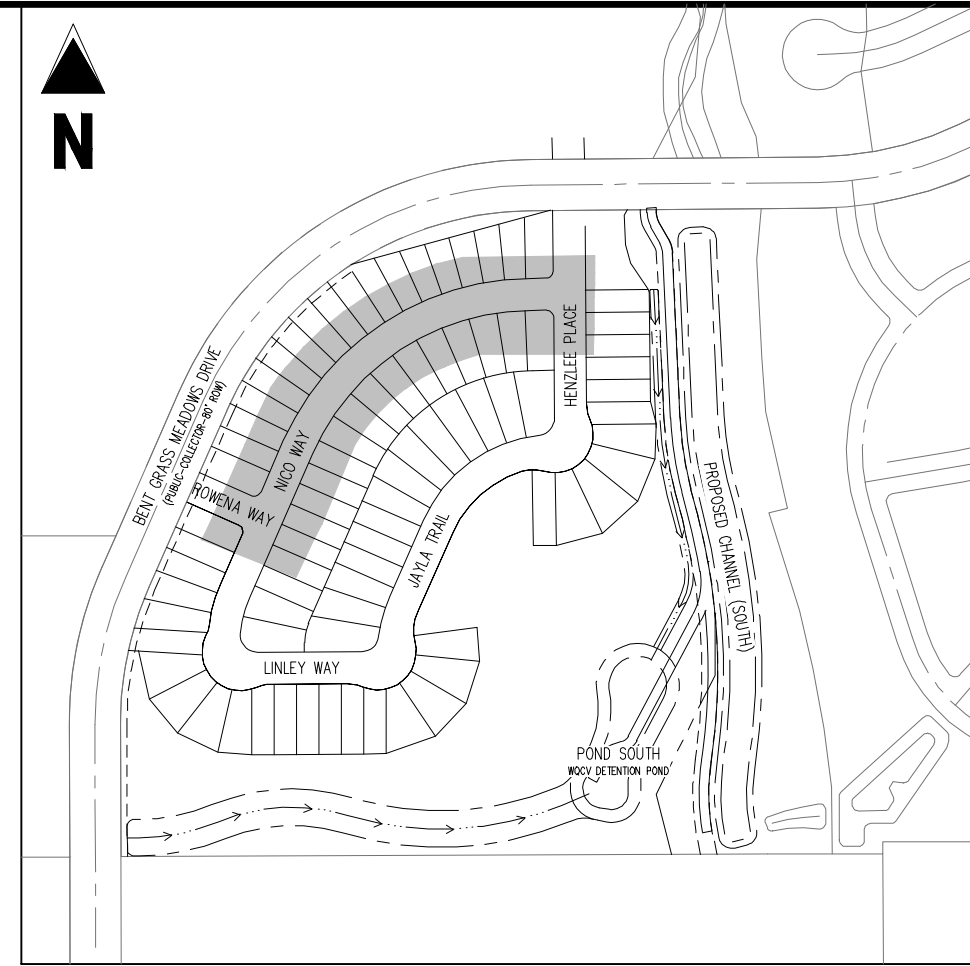
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Project No:	CLH000018
Drawn By:	CMWJ
Checked By:	RGD
Date:	06/23/2021

LINLEY WAY STREET IMPROVEMENT PLAN

Sheet 9 of 17

EPC 9/28/2021



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FOR
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BENT GRASS MEADOWS DRIVE & MERIDIAN ROAD
FALCON, CO 80831 - EL PASO COUNTY

LEGEND	
	EXISTING PROPERTY LINE
	EXISTING PROPERTY LINE TO BE REMOVED
	PROPOSED RIGHT OF WAY LINE
	EXISTING LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	PROPOSED PIE EASEMENT
	SIGHT DISTANCE
	EXISTING SUBDIVISION BUFFER
	EXISTING STORM DRAIN PIPE
	PROPOSED STORM DRAIN PIPE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER LINE
	PROPOSED SANITARY SEWER LINE
	EXISTING DRAINAGE FEATURE OUTLINE
	PROPOSED DRAINAGE FEATURE OUTLINE
	EXISTING SWALE WITH FLOW DIRECTION
	PROPOSED SWALE WITH FLOW DIRECTION
	100-YEAR FEMA FLOODPLAIN
	PROPOSED CDOT CLASS 6 GRAVEL
	PROPOSED RIP RAP
	EXISTING CONCRETE PAVING
	EXISTING CDOT CLASS 6 GRAVEL
	EXISTING 1" TO 2" CRUSHED ROCK
	EXISTING RIP RAP
	EXISTING GROUTED BOULDERS
	PROPOSED LOT #
	EXISTING LOT # (BEST GRASS FILING NO.)
	PROPOSED ADA RAMP
	PROPOSED FIRE HYDRANT
	PROPOSED GATE VALVE
	PROPOSED REDUCER
	PROPOSED WATER BEND/TEE
	PROPOSED SANITARY MANHOLE
	PROPOSED FES
	PROPOSED STORM MANHOLE
	PROPOSED CDOT TYPE R STORM INLET

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BENCHMARK

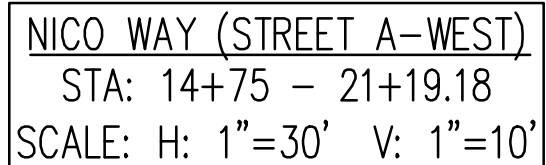
THE SOUTHWESTERLY CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4, MONUMENTED BY A YELLOW PLASTIC SURVEYOR'S CAP. CN. NO. 4 REBAR L/SZ 24954 ELEVATION = 6947.67

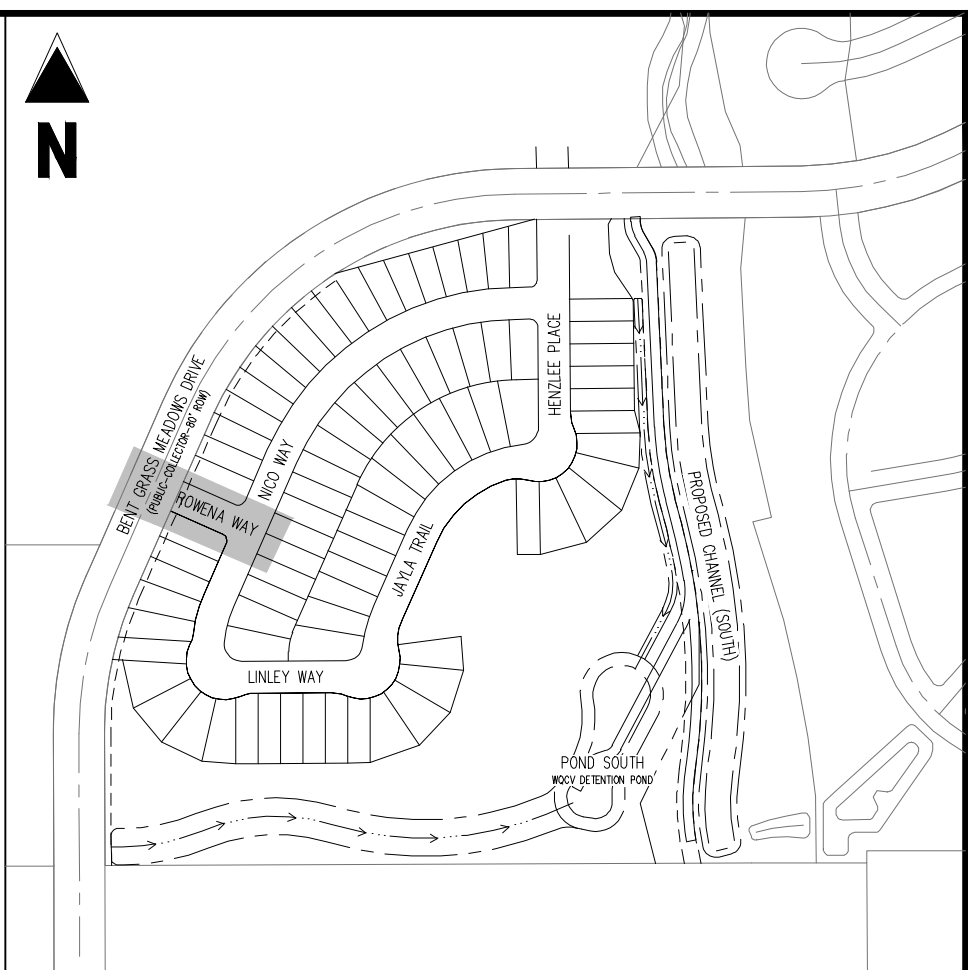
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	EXISTING PROPERTY LINE
	EXISTING PROPERTY LINE TO BE REMOVED
	PROPOSED RIGHT OF WAY LINE
	EXISTING LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EXISTING SUBDIVISION BUFFER
	EXISTING STORM DRAIN PIPE
	PROPOSED STORM DRAIN PIPE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER LINE
	PROPOSED SANITARY SEWER LINE
	EXISTING DRAINAGE FEATURE OUTLINE
	PROPOSED DRAINAGE FEATURE OUTLINE
	EXISTING SWALE WITH FLOW DIRECTION
	PROPOSED SWALE WITH FLOW DIRECTION
	100-YEAR FEMA FLOODPLAIN

PROPOSED CDOT CLASS 6 GRAVEL
PROPOSED RIP RAP
EXISTING CONCRETE PAVING
EXISTING CDOT CLASS 6 GRAVEL
EXISTING 1" TO 2" CRUSHED ROCK
EXISTING RIP RAP
EXISTING GROUNDED BOULDERS
PROPOSED LOT #
EXISTING LOT # (BENT GRASS FILL)
PROPOSED ADA RAMP
PROPOSED FIRE HYDRANT
PROPOSED GATE VALVE
PROPOSED REDUCER
PROPOSED WATER BEND/TEE
PROPOSED SANITARY MANHOLE
PROPOSED FEES
PROPOSED STORM MANHOLE
PROPOSED CDOT TYPE R STORM I

XX.XX	PROPOSED SPOT ELEVATION
FL	FLOWLINE
LIP	LIP OF GUTTER
SW	EDGE OF SIDEWALK
TR	TOP OF PED RAMP
BR	BOTTOM OF PED RAMP
CL	ROADWAY CENTER LINE
TBC	TOP BACK OF CURB
GB	GRADE BREAK
XXX	PROPOSED SLOPE ARROW

CONTRACTOR MUST COORDINATE WORK WITH WOODMEN HILLS METROPOLITAN DISTRICT PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

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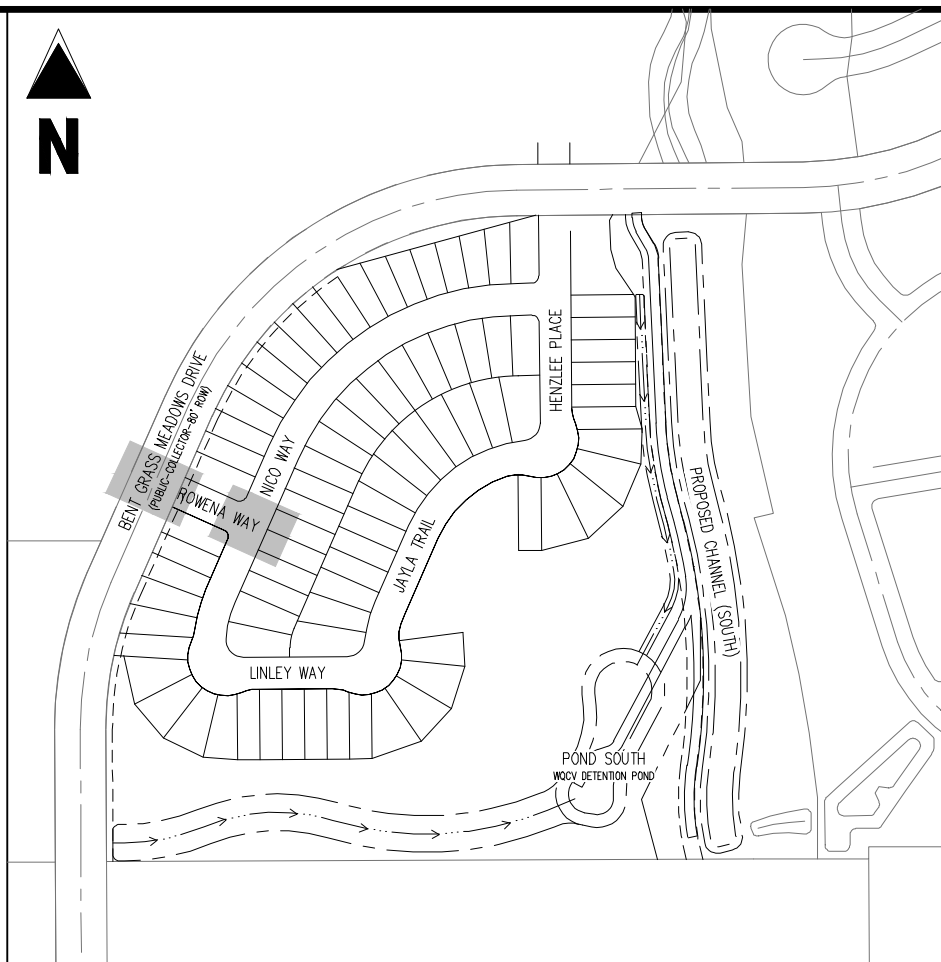
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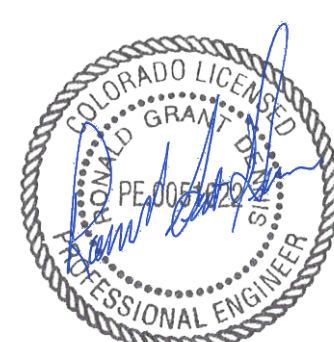


KEY MAP

SCALE: 1"=300'



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CHALLENGER COMMUNITIES, LLC

BENT GRASS MEADOWS DRIVE & MERDIAN ROAD
FALCON, CO 80831 - EL PASO COUNTY

[illegible]

Project No:	CLH000018
Drawn By:	TPT
Checked By:	RGD
Date:	09/10/2021

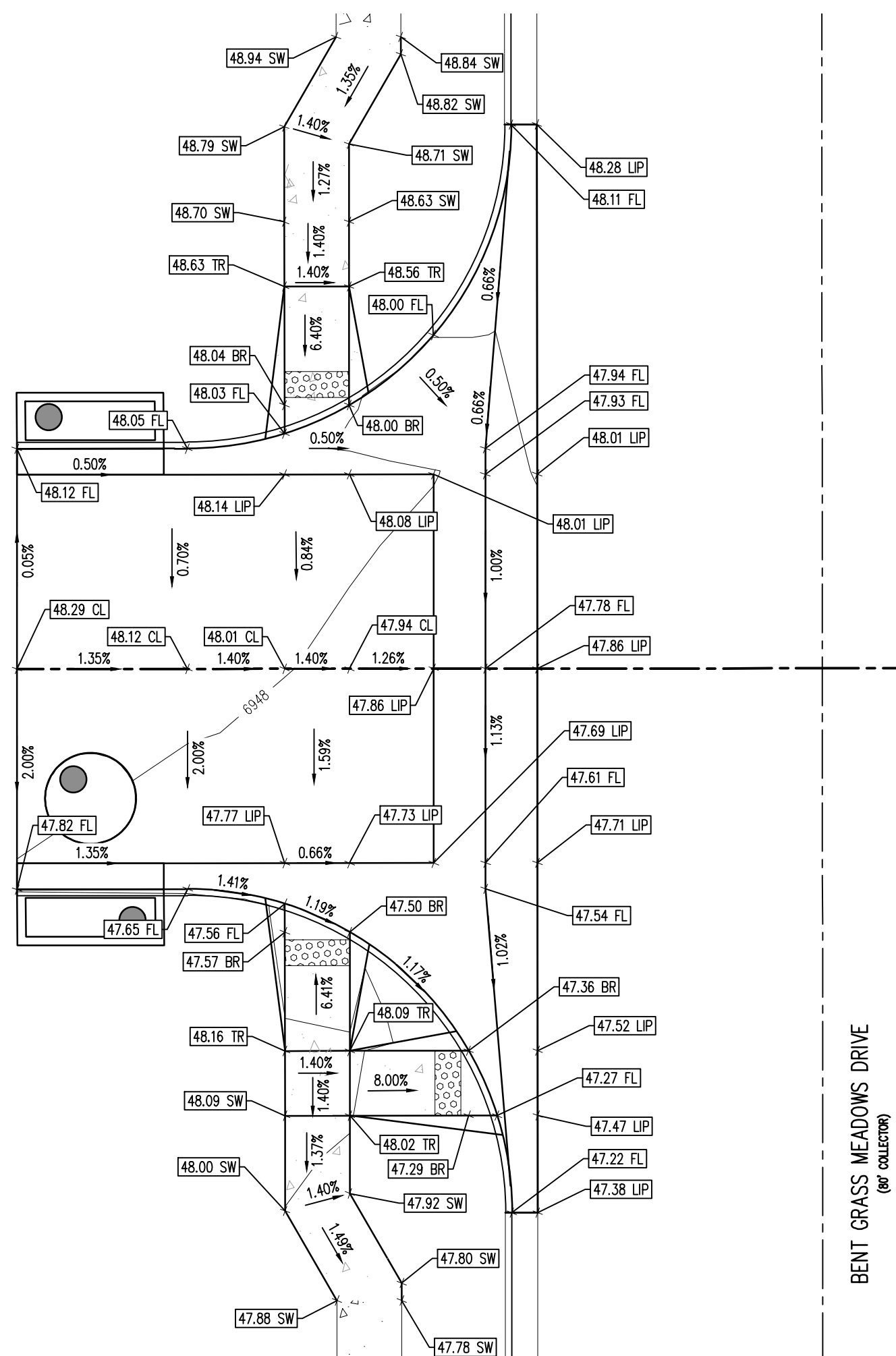
INTERSECTION DETAILS

C2.7

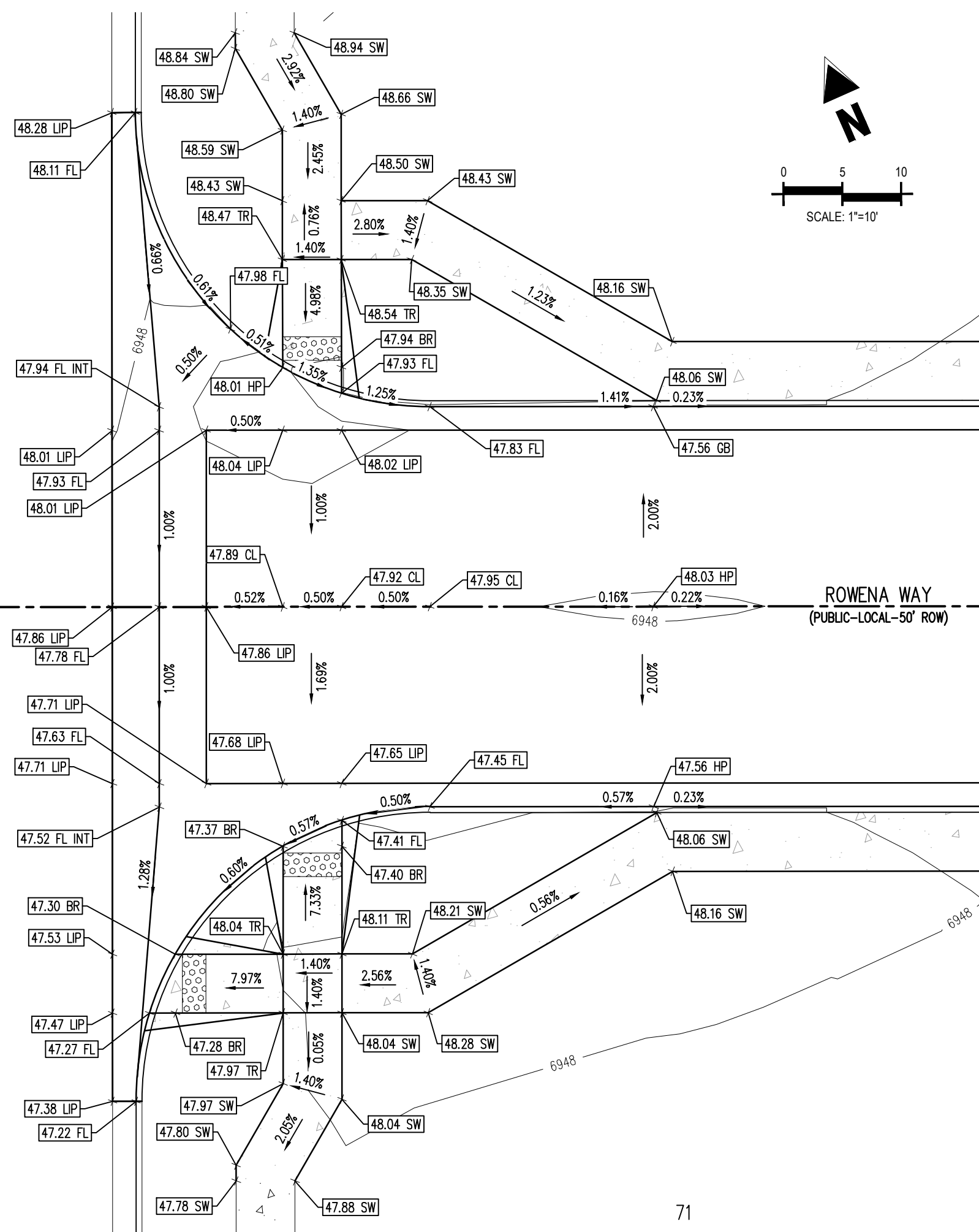
Sheet 13 of 17

EPC 9/28/2021

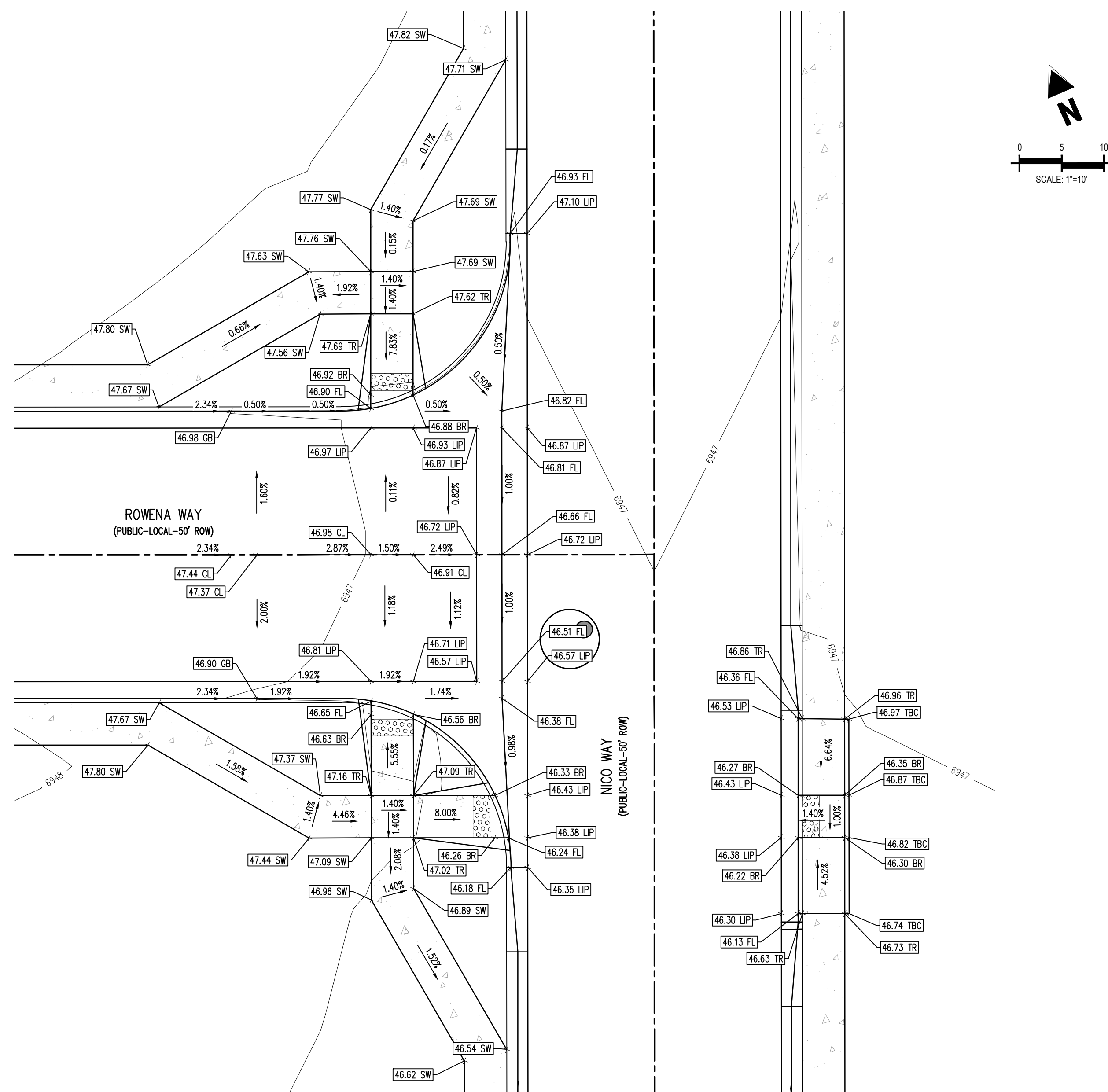
(Challenge) Hornes Inc CO, El Paso County-CLH00018-Bent Grass Filing 3/CAD/D/3-CD/PUBL/CLH8_C2_6_Intersections.dwg - Caleb Johnson - 9/10/2021



BENT GRASS MEADOWS DR. & ROWENA WAY DETAIL GRADING



NICO WAY & ROWENA WAY DETAIL GRADING



	EXISTING PROPERTY LINE
	EXISTING PROPERTY LINE TO BE REMOVED
	PROPOSED RIGHT OF WAY LINE
	EXISTING LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EXISTING SUBDIVISION BUFFER
	EXISTING STORM DRAIN PIPE
	PROPOSED STORM DRAIN PIPE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER LINE
	PROPOSED SANITARY SEWER LINE
	EXISTING DRAINAGE FEATURE OUTLINE
	PROPOSED DRAINAGE FEATURE OUTLINE
	EXISTING SWALE WITH FLOW DIRECTION
	PROPOSED SWALE WITH FLOW DIRECTION
	100-YEAR FEMA FLOODPLAIN

113

PROPOSED CDOT CLASS 6 GRAVEL
PROPOSED RIP RAP
EXISTING CONCRETE PAVING
EXISTING CDOT CLASS 6 GRAVEL
EXISTING 1" TO 2" CRUSHED ROCK
EXISTING RIP RAP
EXISTING GROUTED BOULDERS
PROPOSED LOT #
EXISTING LOT # (BENT GRASS FILING NO. 2)
PROPOSED ADA RAMP
PROPOSED FIRE HYDRANT
PROPOSED GATE VALVE
PROPOSED REDUCER
PROPOSED WATER BEND/TEE
PROPOSED SANITARY MANHOLE
PROPOSED FES
PROPOSED STORM MANHOLE
PROPOSED CDOT TYPE R STORM INLET

XX.XX	PROPOSED SPOT ELEVATION
FL	FLOWLINE
LIP	LIP OF GUTTER
SW	EDGE OF SIDEWALK
TR	TOP OF PED RAMP
BR	BOTTOM OF PED RAMP
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TBC	TOP BACK OF CURB
GB	GRADE BREAK
XXX	PROPOSED SLOPE ARROW

LENGTHS OF STORM SEWER ARE THE HORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED. THEREFORE LENGTHS SHOWN ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND STRUCTURE WIDTHS.

MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION BETWEEN STORM SEWER AND POTABLE WATER OR WASTEWATER. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

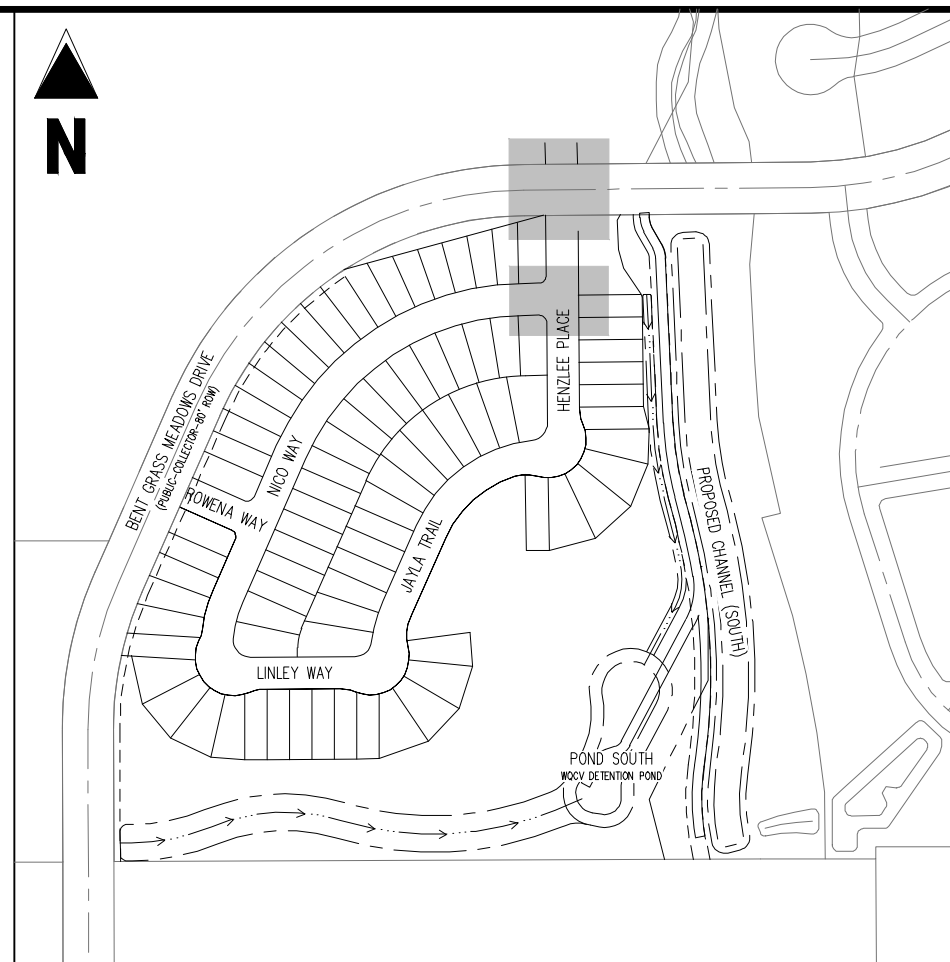
ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN SECTION 1, T13S, R65W AND THE WEST QUARTER CORNER SECTION 1, T13S, R65W IS N00°13'46"W AND MONUMENTED AS SHOWN:

THE SOUTHWESTERLY CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4, MONUMENTED BY A
YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR L_S# 24954 ELEVATION = 6947.67

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.



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KEY MAP
SCALE: 1"=300'

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09/20/202

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CHALLENGER HOMES

CONSTRUCTION DOCUMENTS
FALCON MEADOWS AT BENT GRASS FILING NO. 1

FOR
CHALLENGER COMMUNITIES, LLC

BENT GRASS MEADOWS DRIVE & MERIDIAN ROAD
FALCON, CO 80831 - EL PASO COUNTY

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Project No:	CLH000018
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Date:	09/10/2021

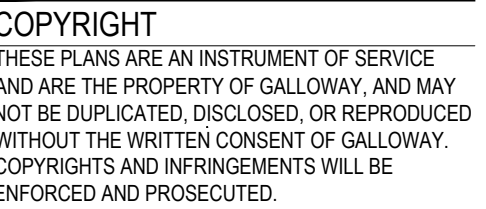
INTERSECTION DETAILS

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Sheet 14 of 17

EPC 9/28/2021

Challenger Homes IncCO, El Paso County-CLH000018-Best Grass Fling 3CADD3-CDPUBICLH18_C2_7_Intersection.sdiag - Cateb Johnson - 9/10/2021



CONSTRUCTION DOCUMENTS
FALCON MEADOWS AT BENT GRASS FILING NO. 1
FOR
CHALLENGER COMMUNITIES, LLC

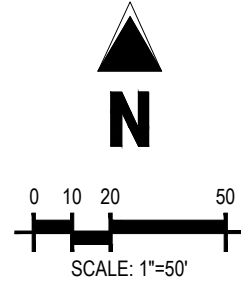
BENT GRASS MEADOWS DRIVE & MERDIAN ROAD
FALCON, CO 80831 - EL PASO COUNTY

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Project No:	CLH000018
Drawn By:	CMWJ
Checked By:	RGD
Date:	07/16/2021

SIGNAGE PLAN

Sheet 15 of 17



EXISTING PROPERTY LINE (PROJECT BOUNDARY)
EXISTING PROPERTY LINE
EXISTING RIGHT OF WAY LINE
PROPOSED RIGHT OF WAY LINE
EXISTING LOT LINE
PROPOSED LOT LINE
PROPOSED EASEMENT
PROPOSED LOT NUMBER

- ① PROPOSED STOP SIGN, MUTCD SIGN R1-1
- ② PROPOSED STREET NAME SIGN, MUTCD SIGN D3-
- ③ PROPOSED TYPE III BARRICADE W/ MUTCD R11-2

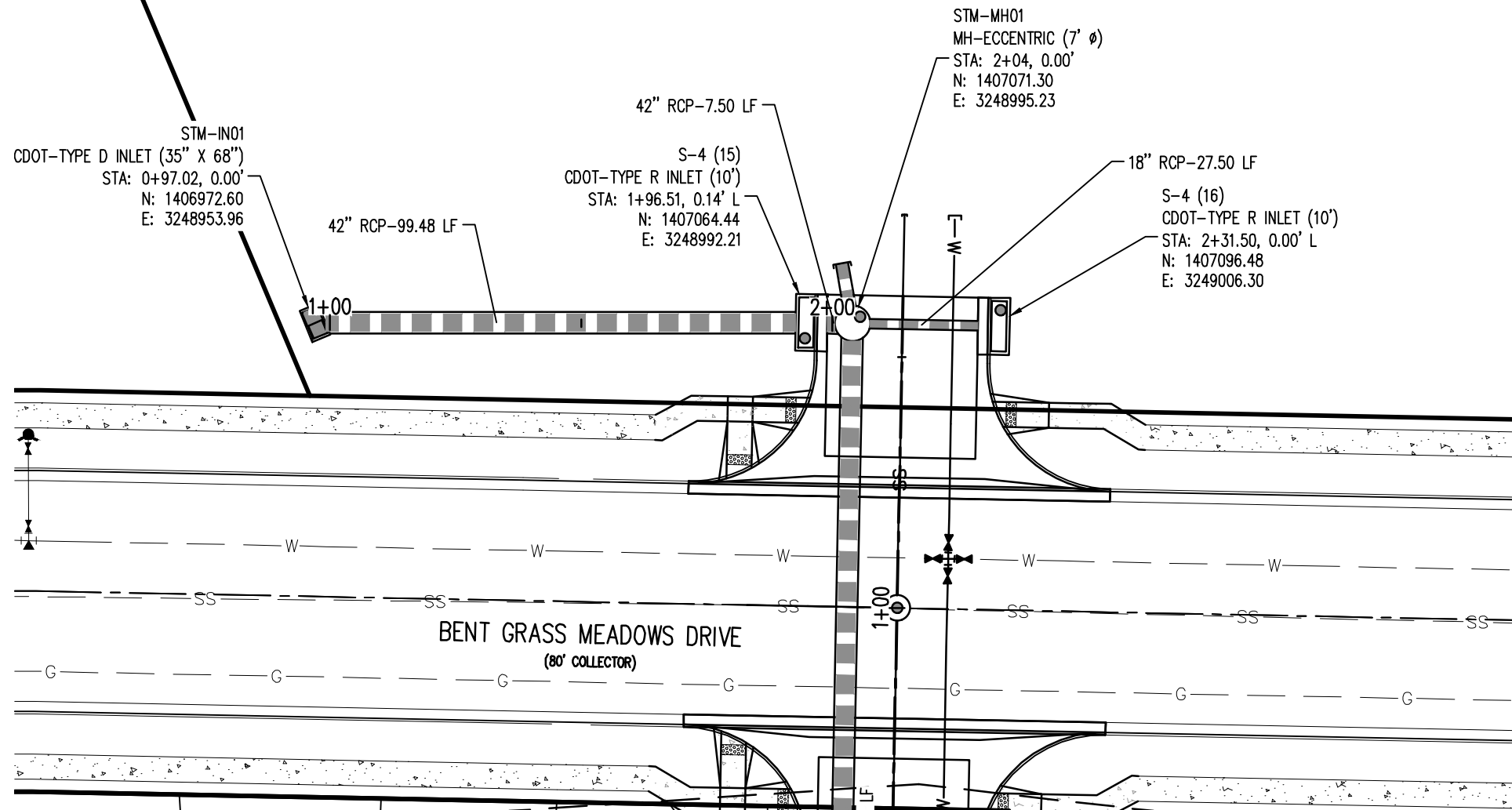
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THE SOUTHWESTERLY CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4, MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR LS# 24954 ELEVATION = 6947.67

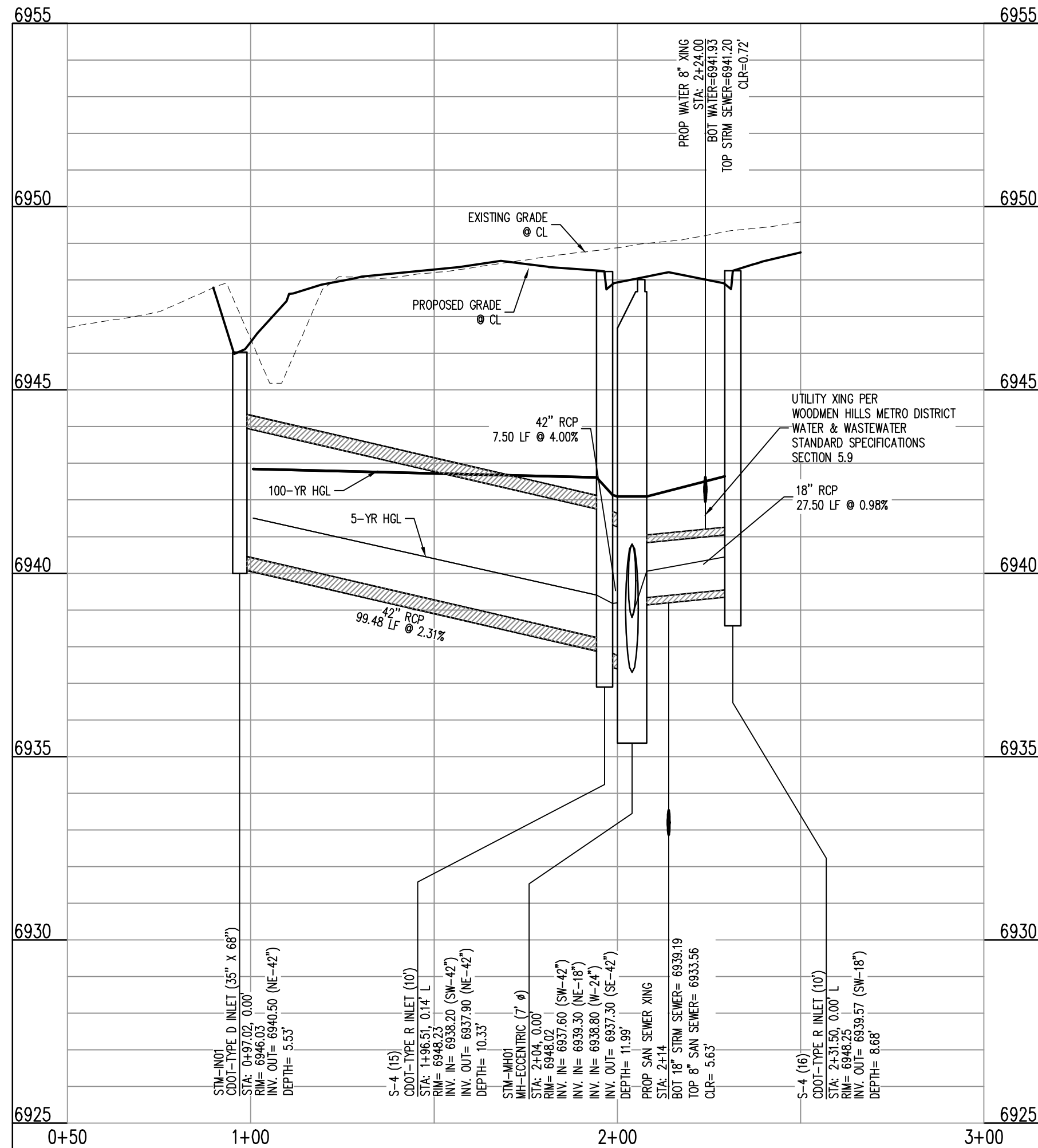
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2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

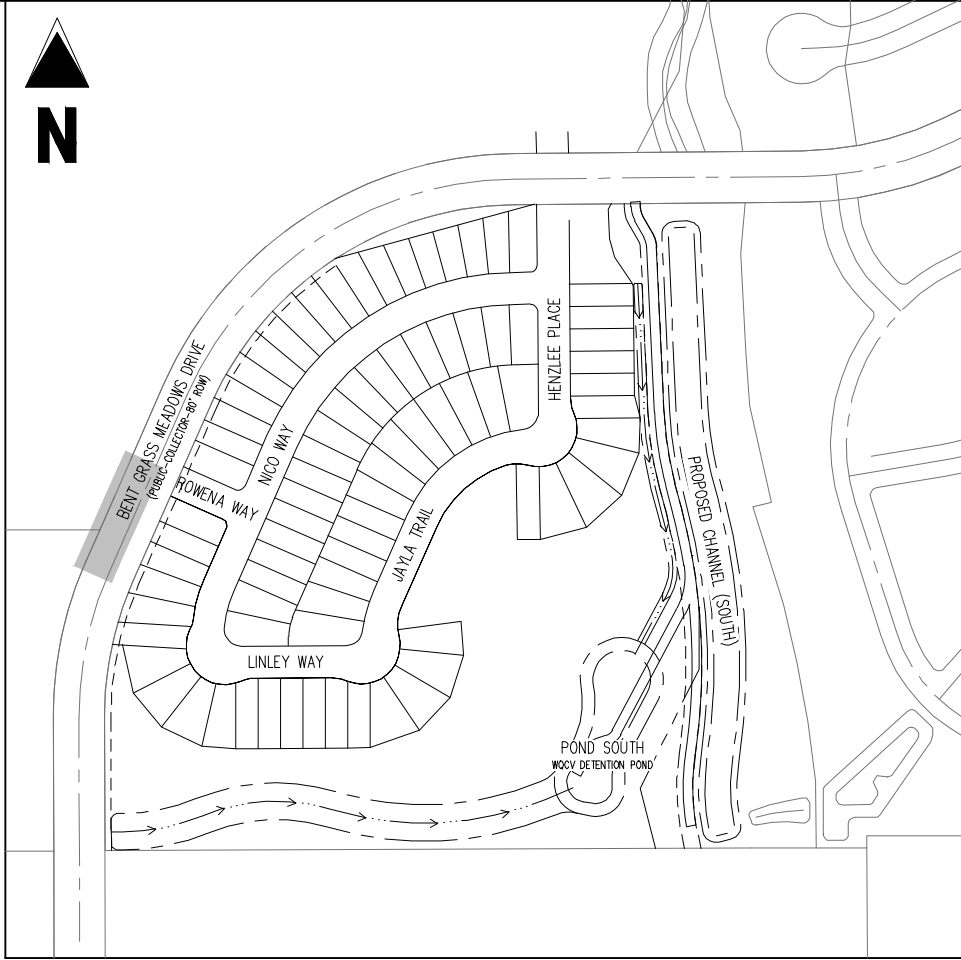
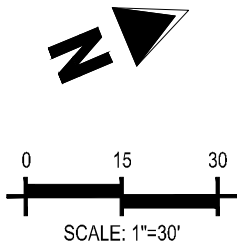




PLAN: STORM SEWER (STM C)
STA:1+00.00 - 3+00.00



STM C
STA: 0+50 - 3+00
SCALE: H: 1"=30' V: 1"=3'



KEY MAP
SCALE: 1"=300'

- LEGEND**
- EXISTING PROPERTY LINE
 - EXISTING PROPERTY LINE TO BE REMOVED
 - PROPOSED RIGHT OF WAY LINE
 - EXISTING LOT LINE
 - PROPOSED LOT LINE
 - EXISTING EASEMENT
 - PROPOSED EASEMENT
 - EXISTING SUBDIVISION BUFFER
 - EXISTING STORM DRAIN PIPE
 - PROPOSED STORM DRAIN PIPE
 - EXISTING WATER LINE
 - PROPOSED WATER LINE
 - EXISTING SANITARY SEWER LINE
 - PROPOSED SANITARY SEWER LINE
 - EXISTING DRAINAGE FEATURE OUTLINE
 - PROPOSED DRAINAGE FEATURE OUTLINE
 - EXISTING SWALE WITH FLOW DIRECTION
 - PROPOSED SWALE WITH FLOW DIRECTION
 - 100-YR FEMA FLOODPLAIN
 - PROPOSED CDOT CLASS 6 GRAVEL
 - PROPOSED RIP RAP
 - EXISTING CONCRETE PAVING
 - EXISTING CDOT CLASS 6 GRAVEL
 - EXISTING 1" TO 2" CRUSHED ROCK
 - EXISTING RIP RAP
 - EXISTING GROUTED BOULDERS
 - PROPOSED LOT #
 - EXISTING LOT # (BENT GRASS FILING NO. 2)
 - PROPOSED ADA RAMP
 - PROPOSED FIRE HYDRANT
 - PROPOSED GATE VALVE
 - PROPOSED REDUCER
 - PROPOSED WATER BEND/TIE
 - PROPOSED SANITARY MANHOLE
 - PROPOSED FES
 - PROPOSED STORM MANHOLE
 - PROPOSED CDOT TYPE R STORM INLET

CONTRACTOR MUST COORDINATE WORK WITH WOODMEN HILLS METROPOLITAN DISTRICT PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

LENGTHS OF STORM SEWER ARE THE HORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED. THEREFORE LENGTHS SHOWN ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND STRUCTURE WIDTHS.

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BASIS OF BEARINGS

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, 113S, R65W AND THE WEST QUARTER CORNER SECTION 1, 113S, R65W IS N007°13'46"W AND MONUMENTED AS SHOWN:

BENCHMARK

THE SOUTHWESTERLY CORNER OF LOT 1, WOODMEN HILLS FILING NO. 4, MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR L#8 24954 ELEVATION = 6947.67

CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



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**CHALLENGER
HOMES**

CONSTRUCTION DOCUMENTS
FALCON MEADOWS AT BENT GRASS FILING NO. 1
FOR
CHALLENGER COMMUNITIES, LLC

BENT GRASS MEADOWS DRIVE & MERIDIAN ROAD
FALCON, CO 80831 - EL PASO COUNTY

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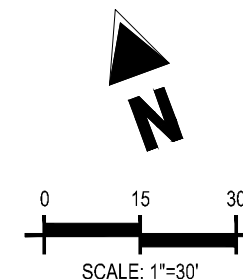
Project No:	CLH000018
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Checked By:	RGD
Date:	06/23/2021

STORM SEWER PLAN &
PROFILE

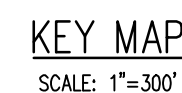
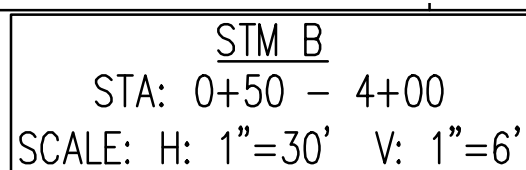
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Sheet 16 of 17

EPC 9/28/2021



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	EXISTING PROPERTY LINE
	EXISTING PROPERTY LINE TO BE REMOVED
	PROPOSED RIGHT OF WAY LINE
	EXISTING LOT LINE
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	EXISTING EASEMENT
	PROPOSED EASEMENT
	EXISTING SUBDIVISION BUFFER
	EXISTING STORM DRAIN PIPE
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	PROPOSED GATE VALVE
	PROPOSED REDUCER
	PROPOSED WATER BEND/TEE
	PROPOSED SANITARY MANHOLE
	PROPOSED FES
	PROPOSED STORM MANHOLE
	PROPOSED CDOT TYPE R STORM INLET

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CHALLENGER HOMES

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CHALLENGER COMMUNITIES, LLC

BENT GRASS MEADOWS DRIVE & MERIDIAN ROAD
FALCON, CO 80831 - EL PASO COUNTY

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Checked By:	RGD
Date:	06/23/2021

STORM SEWER PLAN & PROFILE

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Sheet 17 of 17