



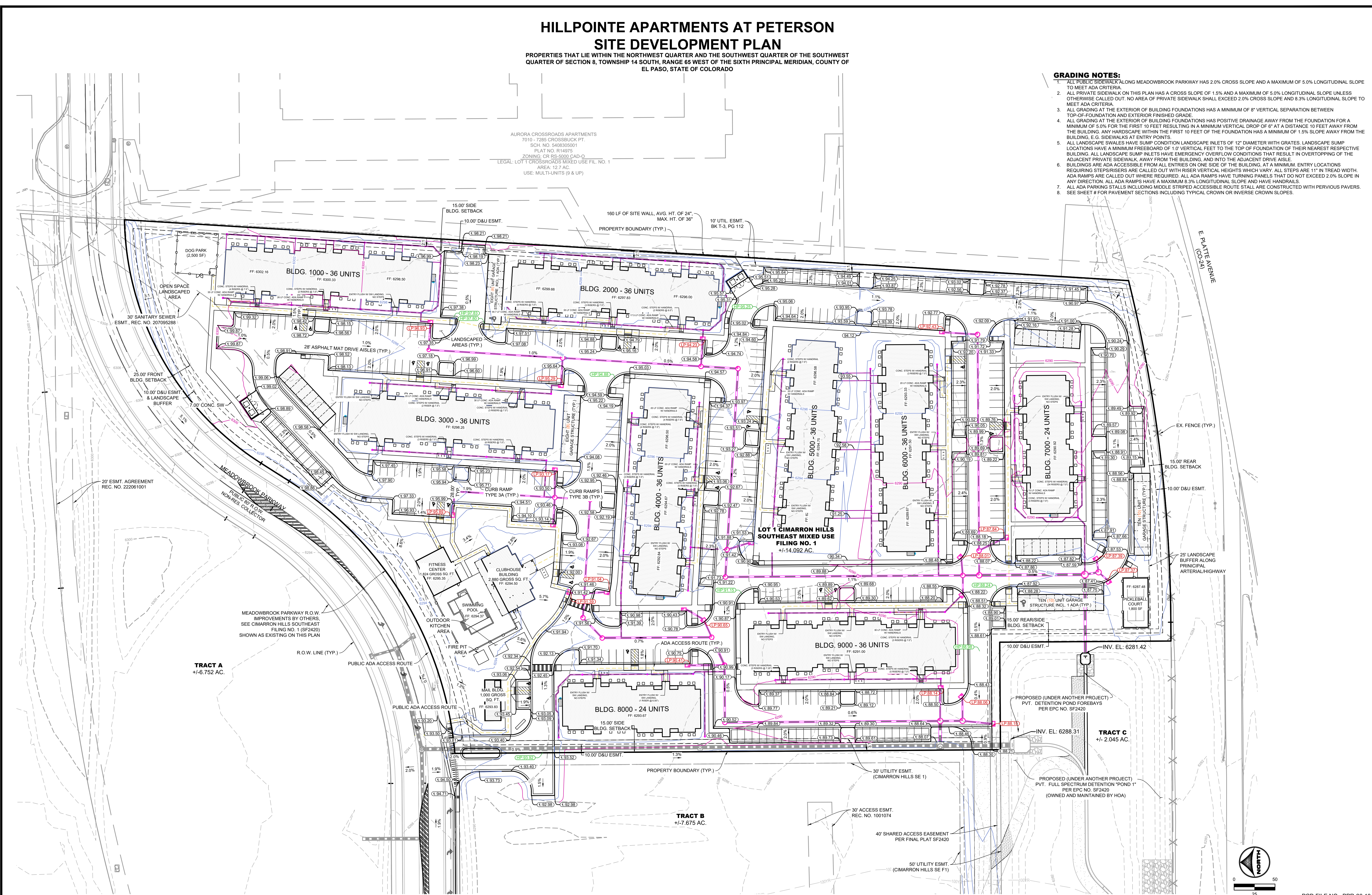


# HILLPOINTE APARTMENTS AT PETERSON SITE DEVELOPMENT PLAN

PROPERTIES THAT LIE WITHIN THE NORTHWEST QUARTER AND THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

AURORA CROSSROADS APARTMENTS  
7010, 7285 CROSSBUCK PT.  
SCH. NO. 5408305001  
PLAT NO. R14975  
ZONING: CR RS-5000 CAD-0  
LEGAL: LOT T CROSSROADS MIXED USE FIL. NO. 1  
AREA: 12.7 AC.  
USE: MULTI-UNITS (9 & UP)

- GRADING NOTES:**
- ALL PUBLIC SIDEWALK ALONG MEADOWBROOK PARKWAY HAS 2.0% CROSS SLOPE AND A MAXIMUM OF 5.0% LONGITUDINAL SLOPE TO MEET ADA CRITERIA.
  - ALL PRIVATE SIDEWALK ON THIS PLAN HAS A CROSS SLOPE OF 1.5% AND A MAXIMUM OF 5.0% LONGITUDINAL SLOPE UNLESS OTHERWISE CALLED OUT. NO AREA OF PRIVATE SIDEWALK SHALL EXCEED 2.0% CROSS SLOPE AND 8.3% LONGITUDINAL SLOPE TO MEET ADA CRITERIA.
  - ALL GRADING AT THE EXTERIOR OF BUILDING FOUNDATIONS HAS A MINIMUM OF 8" VERTICAL SEPARATION BETWEEN TOP OF FOUNDATION AND EXTERIOR FINISHED GRADE.
  - ALL GRADING AT THE EXTERIOR OF BUILDING FOUNDATIONS HAS POSITIVE DRAINAGE AWAY FROM THE FOUNDATION FOR A MINIMUM OF 5.0% FOR THE FIRST 10 FEET RESULTING IN A MINIMUM VERTICAL DROP OF 6" AT A DISTANCE 10 FEET AWAY FROM THE BUILDING. ANY HARDSCAPE WITHIN THE FIRST 10 FEET OF THE FOUNDATION HAS A MINIMUM OF 1.5% SLOPE AWAY FROM THE BUILDING. E.G. SIDEWALKS AT ENTRY POINTS.
  - ALL LANDSCAPE SWALES HAVE SUMP CONDITION LANDSCAPE INLETS OF 12" DIAMETER WITH GRATES. LANDSCAPE SUMP LOCATIONS HAVE A MINIMUM FREEBOARD OF 1.0' VERTICAL FEET TO THE TOP OF FOUNDATION OF THEIR NEAREST RESPECTIVE BUILDING. ALL LANDSCAPE SUMP INLETS HAVE EMERGENCY OVERFLOW CONDITIONS THAT RESULT IN OVERTOPPING OF THE ADJACENT PRIVATE SIDEWALK, AWAY FROM THE BUILDING, AND INTO THE ADJACENT DRIVE AISLE.
  - BUILDINGS ARE ADA ACCESSIBLE FROM ALL ENTRIES ON ONE SIDE OF THE BUILDING. AT A MINIMUM, ENTRY LOCATIONS REQUIRING STEPS/RISERS ARE CALLED OUT WITH RISER VERTICAL HEIGHTS WHICH VARY. ALL STEPS ARE 11" TREAD WIDTH. ADA RAMPS ARE CALLED OUT WHERE REQUIRED. ALL ADA RAMPS HAVE TURNING PANELS THAT DO NOT EXCEED 2.0% SLOPE IN ANY DIRECTION. ALL ADA RAMPS HAVE A MAXIMUM 8.3% LONGITUDINAL SLOPE AND HAVE HANDRAILS.
  - ALL ADA PARKING STALLS INCLUDING MIDDLE STRIPED ACCESSIBLE ROUTE STALL ARE CONSTRUCTED WITH PERVIOUS PAVERS.
  - SEE SHEET # FOR PAVEMENT SECTIONS INCLUDING TYPICAL CROWN OR INVERSE CROWN SLOPES.



**TRACT A**  
+/- 6.752 AC.

**TRACT B**  
+/- 7.675 AC.

**TRACT C**  
+/- 2.045 AC.

DRAWN BY: CMD JOB DATE: 6/19/2026  
APPROVED: RDL JOB NUMBER: 2502477  
CAD DATE: 6/19/2026  
CAD FILE: J:\2025\2502477\CAD\DWG\CSDPI\Grading Plan

BAR IS ONE INCH ON OFFICIAL DRAWINGS.  
IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.

NO.	DATE	BY	REVISION DESCRIPTION

**HRGreen**  
HR GREEN - COLORADO SPRINGS  
1975 RESEARCH PARKWAY SUITE 160  
COLORADO SPRINGS, CO 80920  
PHONE: 719.300.4140  
FAX: 713.965.0044

**HILLPOINTE APARTMENTS AT PETERSON**  
HILLPOINTE, LLC.  
COLORADO SPRINGS, EL PASO COUNTY, COLORADO

SITE DEVELOPMENT PLAN  
PRELIMINARY GRADING PLAN

SHEET **GR** 3

PCD FILE NO.: PPR-26-13

OTTERBY, ADELLA, 6/19/2026 1:39 PM

HR GREEN Xref: 00-XC-ROW, 00-XC-DSGN, 01-XC-ROW, 01-XC-DSGN, 01-XC-ROW, 00-XV-SURVEY, 00-XV-UTIL, TB\_24x36\_2502477\_SDP, 01-XC-UTIL, 00-XC-UTIL



# HILLPOINTE APARTMENTS AT PETERSON SITE DEVELOPMENT PLAN

PROPERTIES THAT LIE WITHIN THE NORTHWEST QUARTER AND THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

AURORA CROSSROADS APARTMENTS  
7010 - 7285 CROSSBUCK PT.  
SCH. NO. 540830501  
PLAT NO. R14975  
ZONING: CR RS-5000 CAD-O  
LEGAL: LOT 1 CROSSROADS MIXED USE FIL. NO. 1  
AREA: 12.7 AC.  
USE: MULTI-UNITS (9 & UP)

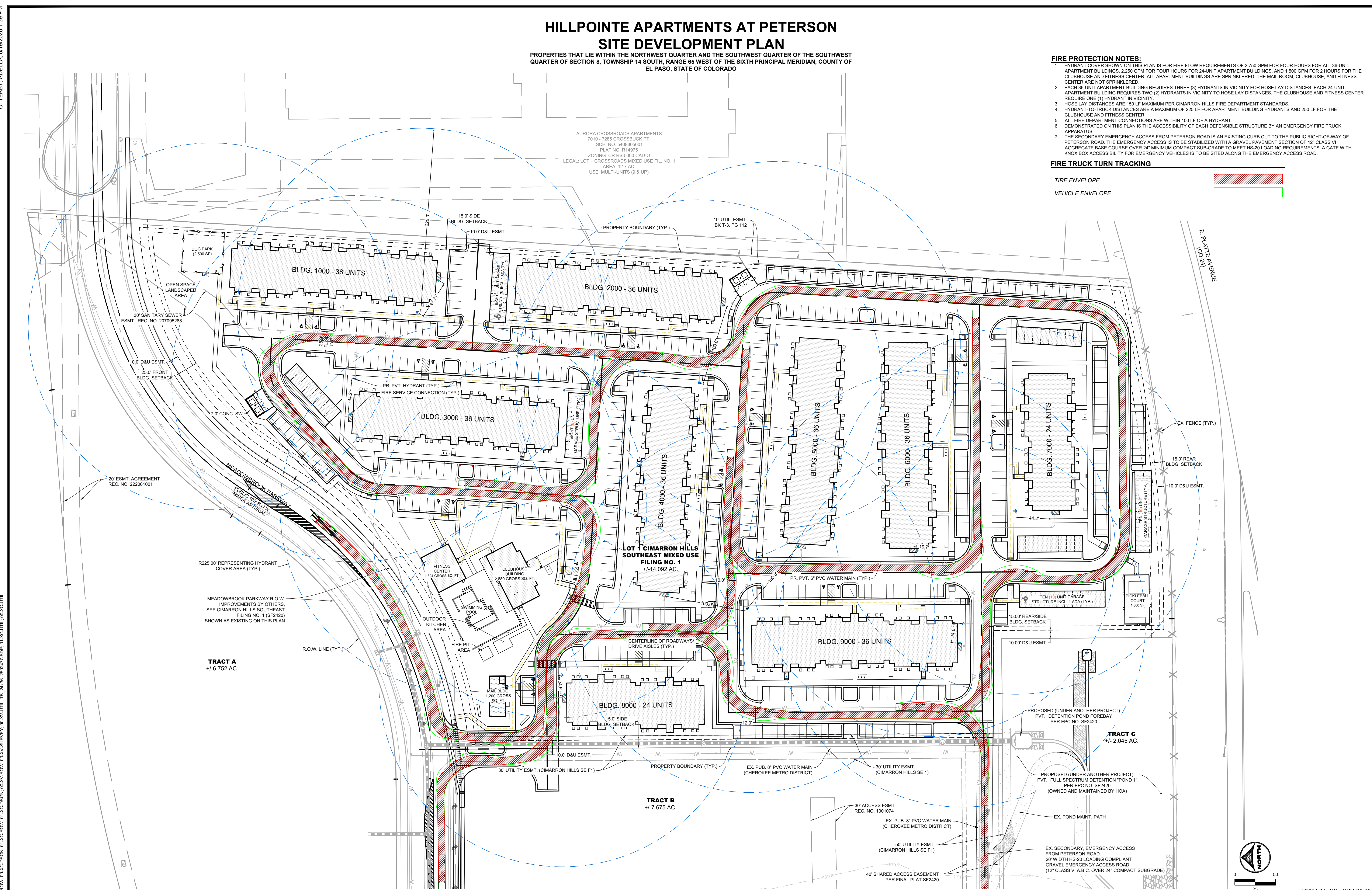
## FIRE PROTECTION NOTES:

- HYDRANT COVER SHOWN ON THIS PLAN IS FOR FIRE FLOW REQUIREMENTS OF 2,750 GPM FOR FOUR HOURS FOR ALL 36-UNIT APARTMENT BUILDINGS, 2,250 GPM FOR FOUR HOURS FOR 24-UNIT APARTMENT BUILDINGS, AND 1,500 GPM FOR TWO HOURS FOR THE CLUBHOUSE AND FITNESS CENTER. ALL APARTMENT BUILDINGS ARE SPRINKLERED. THE MAIL ROOM, CLUBHOUSE, AND FITNESS CENTER ARE NOT SPRINKLERED.
- EACH 36-UNIT APARTMENT BUILDING REQUIRES THREE (3) HYDRANTS IN VICINITY FOR HOSE LAY DISTANCES. EACH 24-UNIT APARTMENT BUILDING REQUIRES TWO (2) HYDRANTS IN VICINITY TO HOSE LAY DISTANCES. THE CLUBHOUSE AND FITNESS CENTER REQUIRE ONE (1) HYDRANT IN VICINITY.
- HOSE LAY DISTANCES ARE 150 LF MAXIMUM PER CIMARRON HILLS FIRE DEPARTMENT STANDARDS.
- HYDRANT-TO-TRUCK DISTANCES ARE A MAXIMUM OF 225 LF FOR APARTMENT BUILDING HYDRANTS AND 250 LF FOR THE CLUBHOUSE AND FITNESS CENTER.
- ALL FIRE DEPARTMENT CONNECTIONS ARE WITHIN 100 LF OF A HYDRANT.
- DEMONSTRATED ON THIS PLAN IS THE ACCESSIBILITY OF EACH DEFENSIBLE STRUCTURE BY AN EMERGENCY FIRE TRUCK APPARATUS.
- THE SECONDARY EMERGENCY ACCESS FROM PETERSON ROAD IS AN EXISTING CURB CUT TO THE PUBLIC RIGHT-OF-WAY OF PETERSON ROAD. THE EMERGENCY ACCESS IS TO BE STABILIZED WITH A GRAVEL PAVEMENT SECTION OF 12" CLASS VI AGGREGATE BASE COURSE OVER 24" MINIMUM COMPACT SUB-GRADE TO MEET HS-20 LOADING REQUIREMENTS. A GATE WITH KNOX BOX ACCESSIBILITY FOR EMERGENCY VEHICLES IS TO BE SITED ALONG THE EMERGENCY ACCESS ROAD.

## FIRE TRUCK TURN TRACKING

TIRE ENVELOPE

VEHICLE ENVELOPE



OTTERBY, ADELLA, 6/19/2026 1:39 PM  
 HR GREEN Xref: 00-XC-ROW; 00-XC-ROW; 01-XC-DSGN; 01-XC-ROW; 00-XV-SURVEY; 00-XV-UTIL; 00-XC-UTIL; 00-XC-UTIL  
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DRAWN BY: CVW      JOB DATE: 6/19/2026  
 APPROVED: RDL      JOB NUMBER: 2502477  
 CAD DATE: 6/19/2026  
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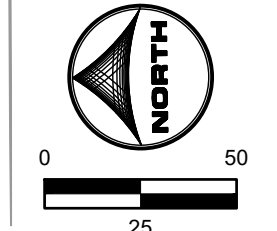
NO.	DATE	BY	REVISION DESCRIPTION

HR GREEN - COLORADO SPRINGS  
 1975 RESEARCH PARKWAY SUITE 160  
 COLORADO SPRINGS, CO 80920  
 PHONE: 719.300.4140  
 FAX: 713.965.0044

HILLPOINTE APARTMENTS AT PETERSON  
 HILLPOINTE, LLC.  
 COLORADO SPRINGS, EL PASO COUNTY, COLORADO

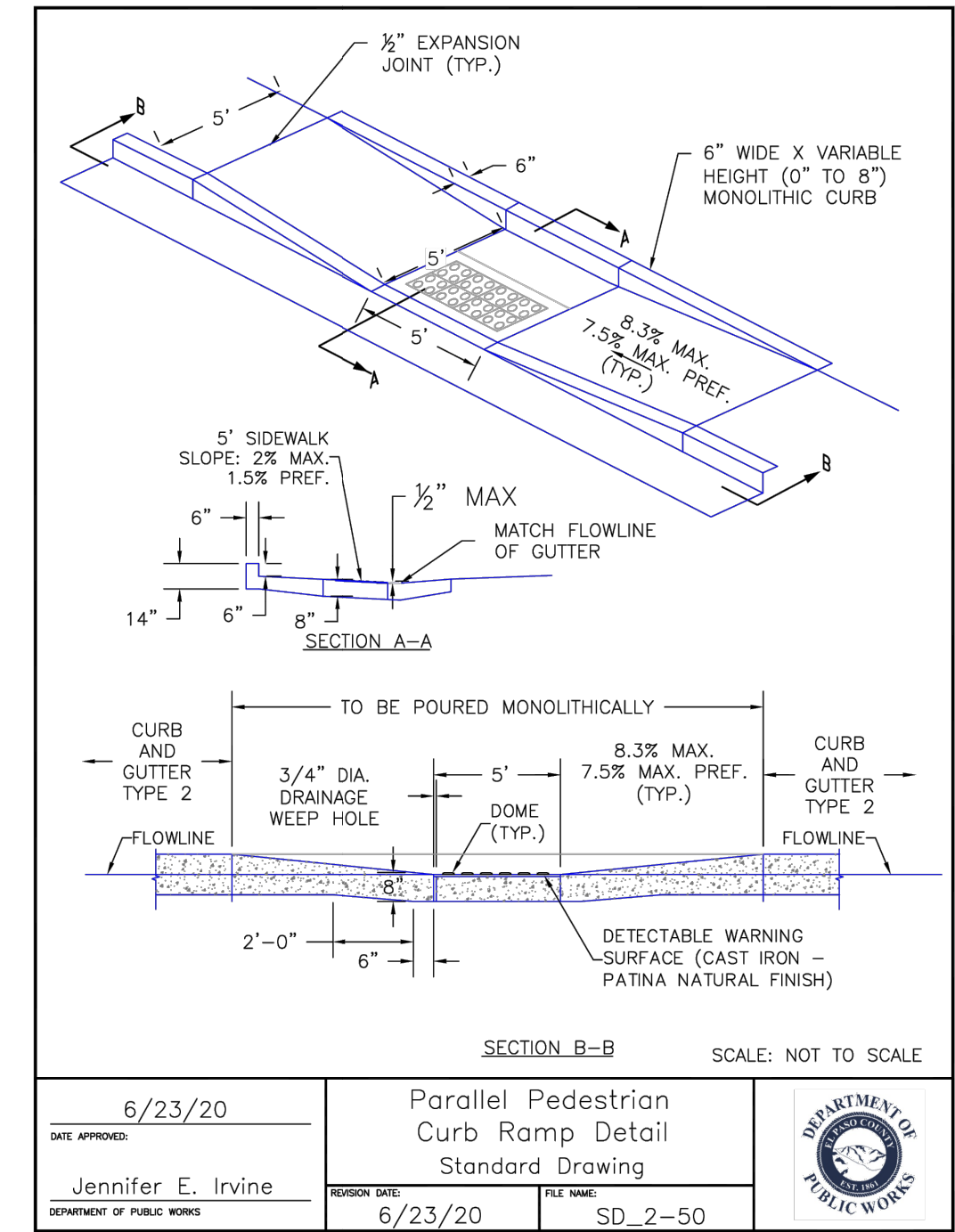
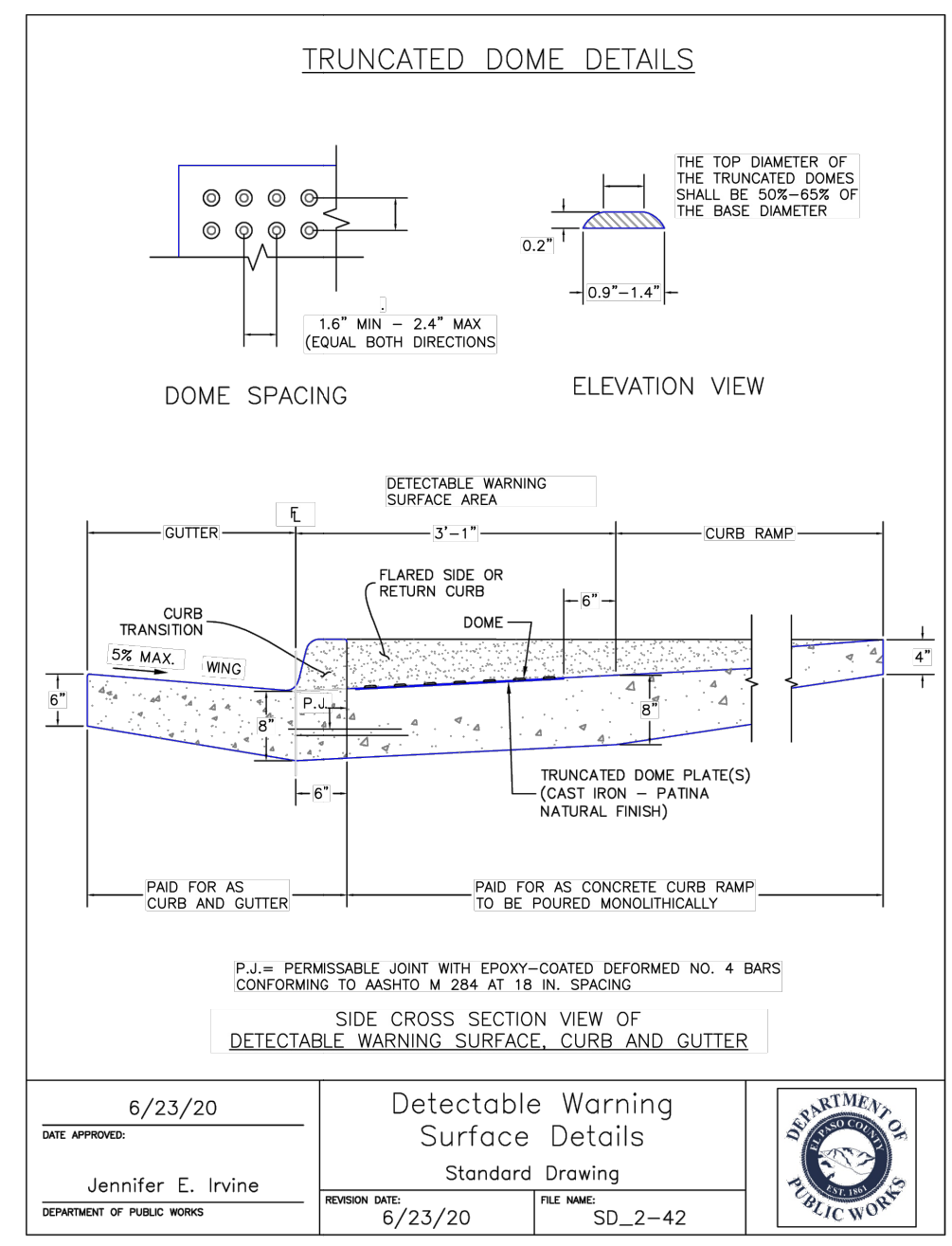
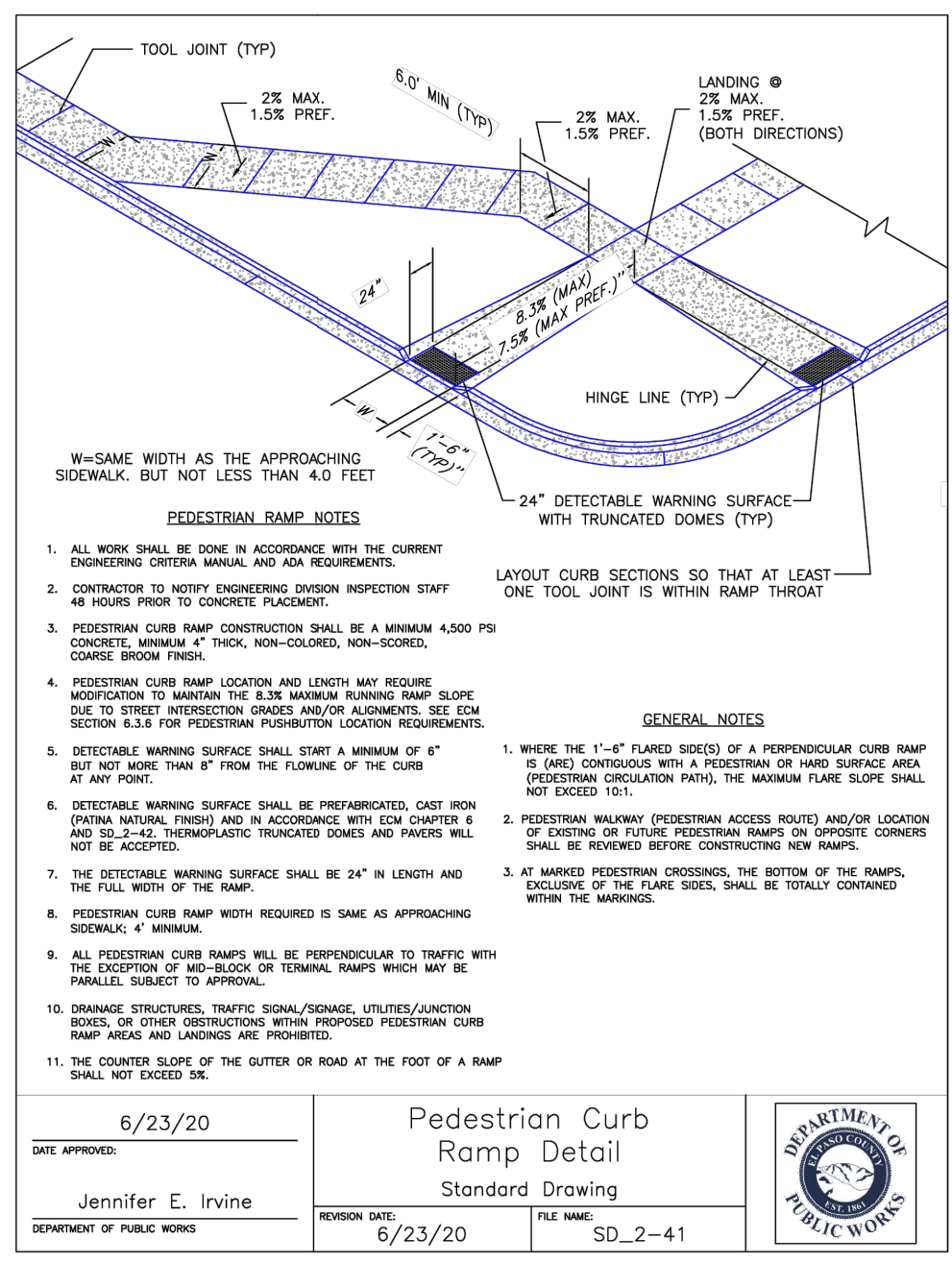
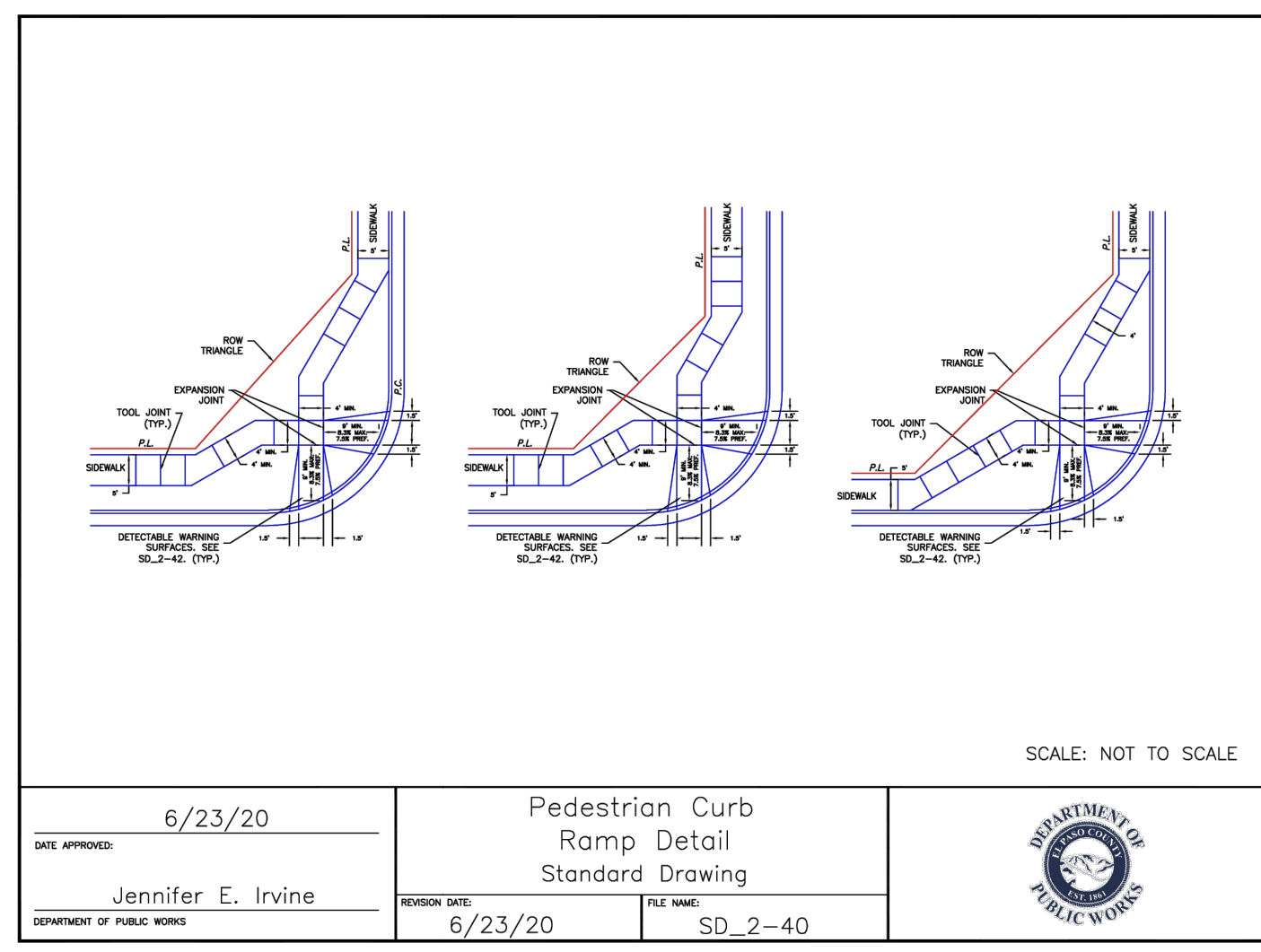
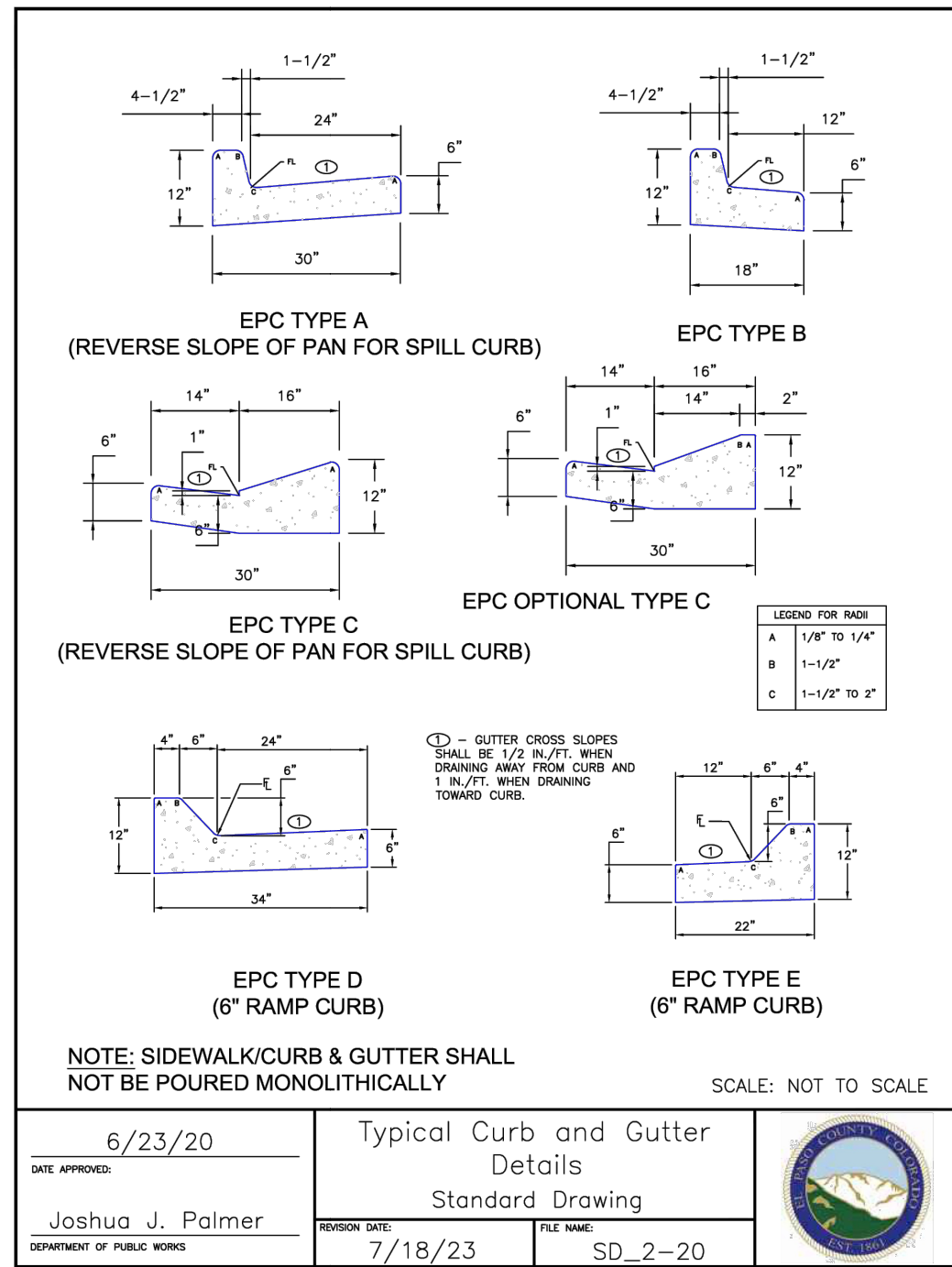
SITE DEVELOPMENT PLAN  
 FIRE PROTECTION PLAN

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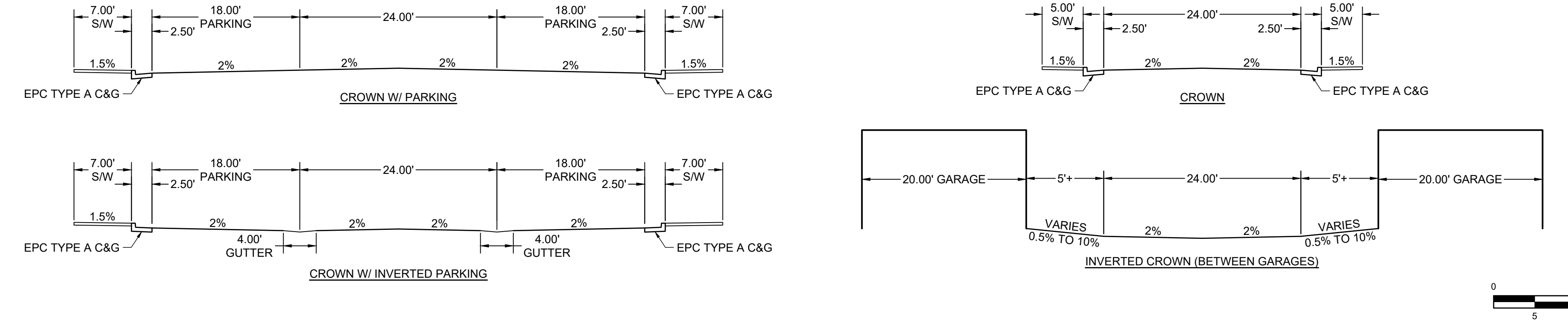


PCD FILE NO.: PPR-26-13





TYPICAL ROADWAY SECTIONS:



NOTE: SECTIONS MAY BE A MIX OF TYPICAL SECTIONS, JOINED AT ROADWAY CENTERLINE

ALL ROADWAY SECTIONS ARE ONE OF THE FOLLOWING:

**SECTION 1:**  
 4" HMA (2 - 2" LIFTS) OVER 6" CLASS 6 AGGREGATE BASE COURSE OVER MIN. 12" COMPACTED SUBGRADE

**SECTION 2:**  
 3" PORTLAND CEMENT CONCRETE PAVEMENT OVER 6" CLASS 6 AGGREGATE BASE COURSE OVER MIN. 12" COMPACT SUBGRADE

**SECTION 3:**  
 ADA COMPLIANT CONCRETE PAVERS (UNI-LOCK OR EQUIV.) (TYP. 2.75" THICKNESS), OVER MANUFACTURER'S RECOMMENDED SECTION (SAND AND AGGREGATE), OVER 6" CLASS 6 AGGREGATE BASE COURSE, OVER MIN. 12" COMPACTED SUB-GRADE

DRAWN BY: CMD	JOB DATE: 6/18/2026	BAR IS ONE INCH ON OFFICIAL DRAWINGS.
APPROVED: RDL	JOB NUMBER: 2502477	0
CAD DATE: 6/19/2026		IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.
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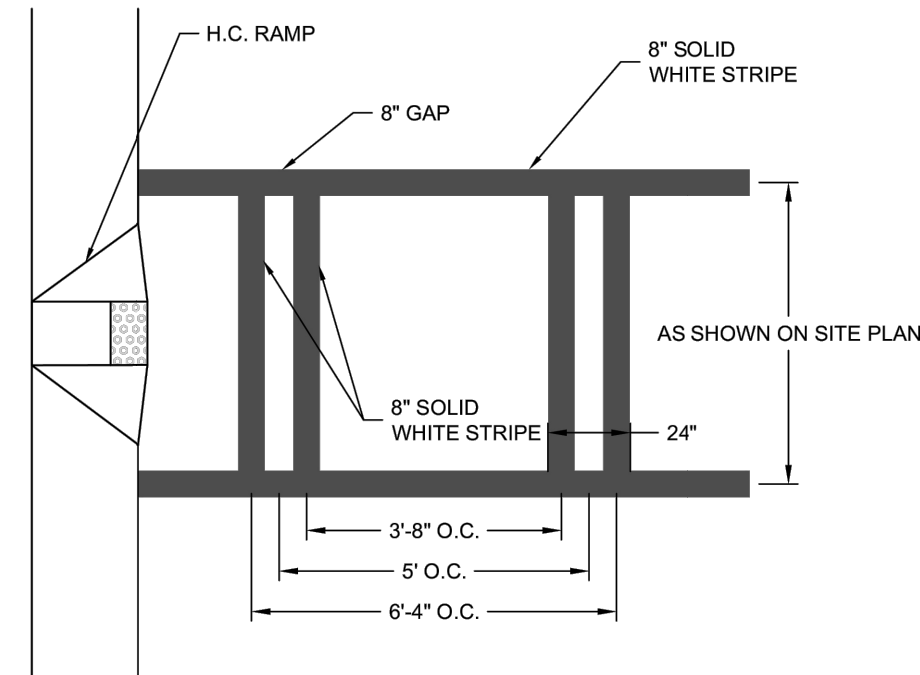
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 1975 RESEARCH PARKWAY SUITE 160  
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HILLPOINTE APARTMENTS AT PETERSON  
 HILLPOINTE, LLC.  
 COLORADO SPRINGS, EL PASO COUNTY, COLORADO

SITE DEVELOPMENT PLAN  
 SITE DETAILS I



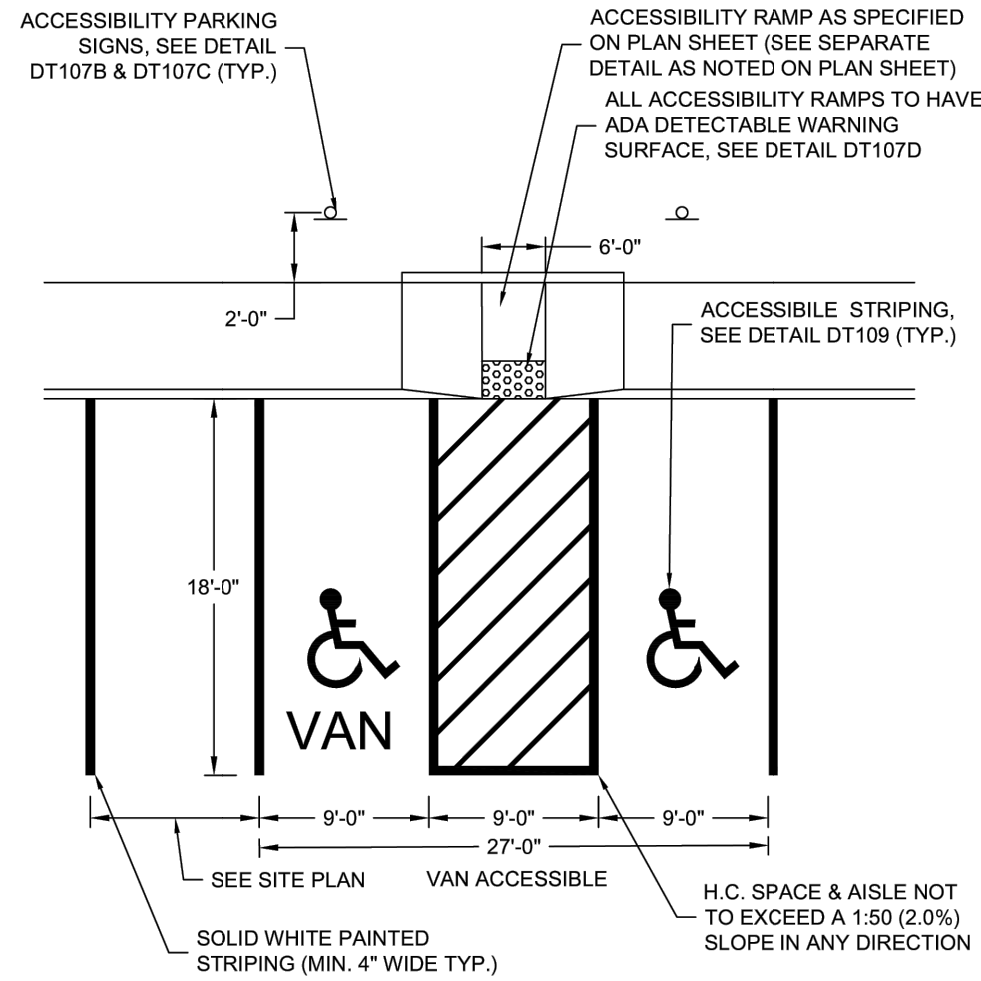
- NOTES:
- DO NOT APPLY PAINT TO AREAS OF PAVEMENT WHEN THE SURFACE IS MOIST OR COVERED WITH FOREIGN MATTER OR AIR TEMPERATURE IN THE SHADE IS BELOW 40 °F (5 °C).
  - APPLY TRAFFIC STRIPE PAINT BY MACHINE.
  - WITHIN ROW ALL PEDESTRIAN CROSSWALKS SHALL MEET DOT STANDARDS

SCALE: NTS    DETAIL NAME: PRIVATE CROSSWALK STRIPING

DATE: 07/01/2025

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HILLPOINTE HP-200



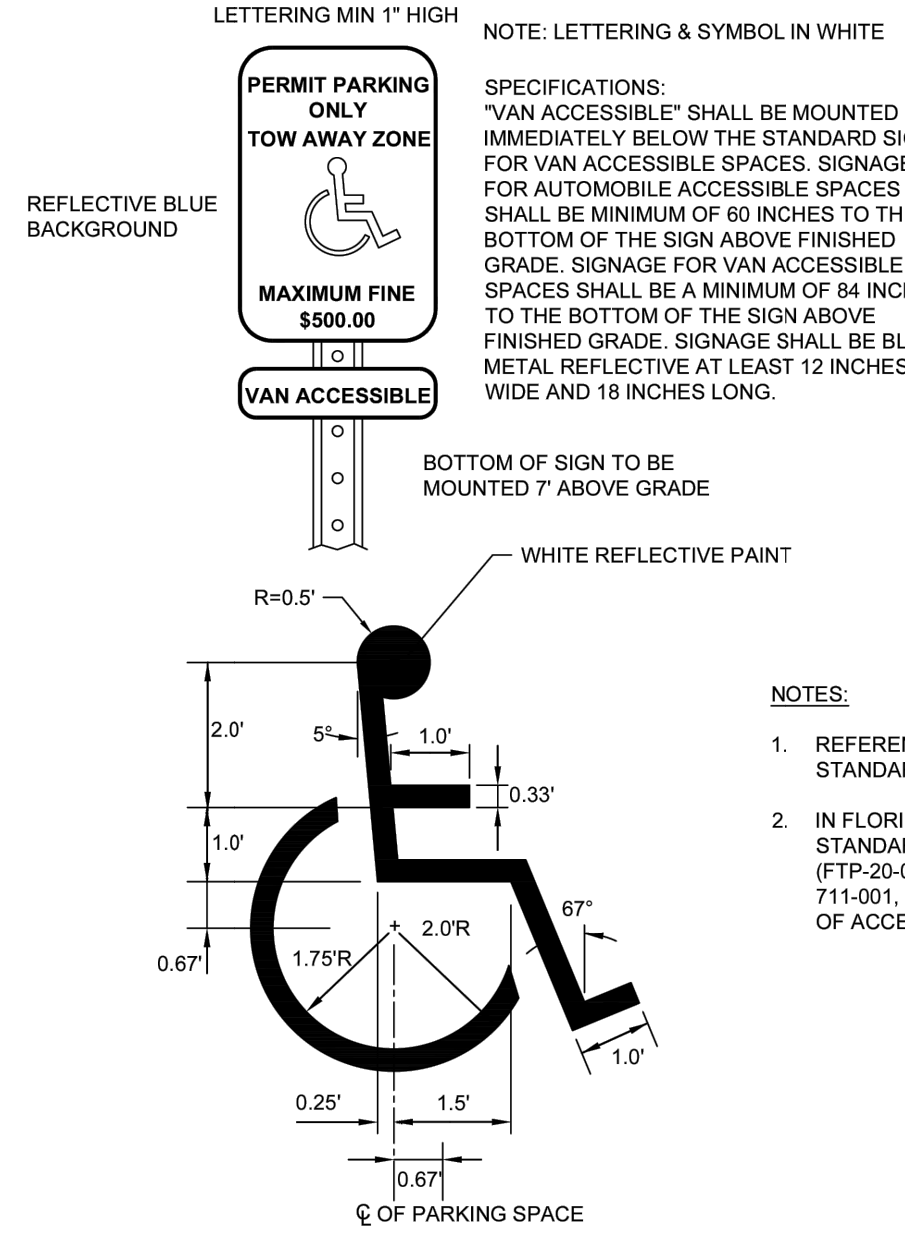
- NOTES:
- FOR FLORIDA, REFERENCE FDOT STANDARD PLANS 711-001, SHEET 11 FOR ADA PARKING SIZE & STRIPING REQUIREMENTS.
  - ACCESSIBILITY SIGNS MAY NOT BE INSTALLED WITHIN THE LIMITS OF AN ACCESSIBILITY RAMP OR SIDEWALK UNLESS OTHERWISE SPECIFIED.
  - CONTRACTOR MAY ELECT TO HAVE SIGN PLACED DIRECTLY ON BUILDING ONLY IF APPROVED BY INSPECTOR.
  - ACCESSIBLE SPACE AND AISLE NOT TO EXCEED 1:50 (2.0%) SLOPE IN ANY DIRECTION.
  - TO BE PROVIDED AT A RATE OF (2) PER APARTMENT BUILDING

SCALE: NTS    DETAIL NAME: ADA PARKING 9X9X9

DATE: 07/01/2025

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HILLPOINTE HP-204B



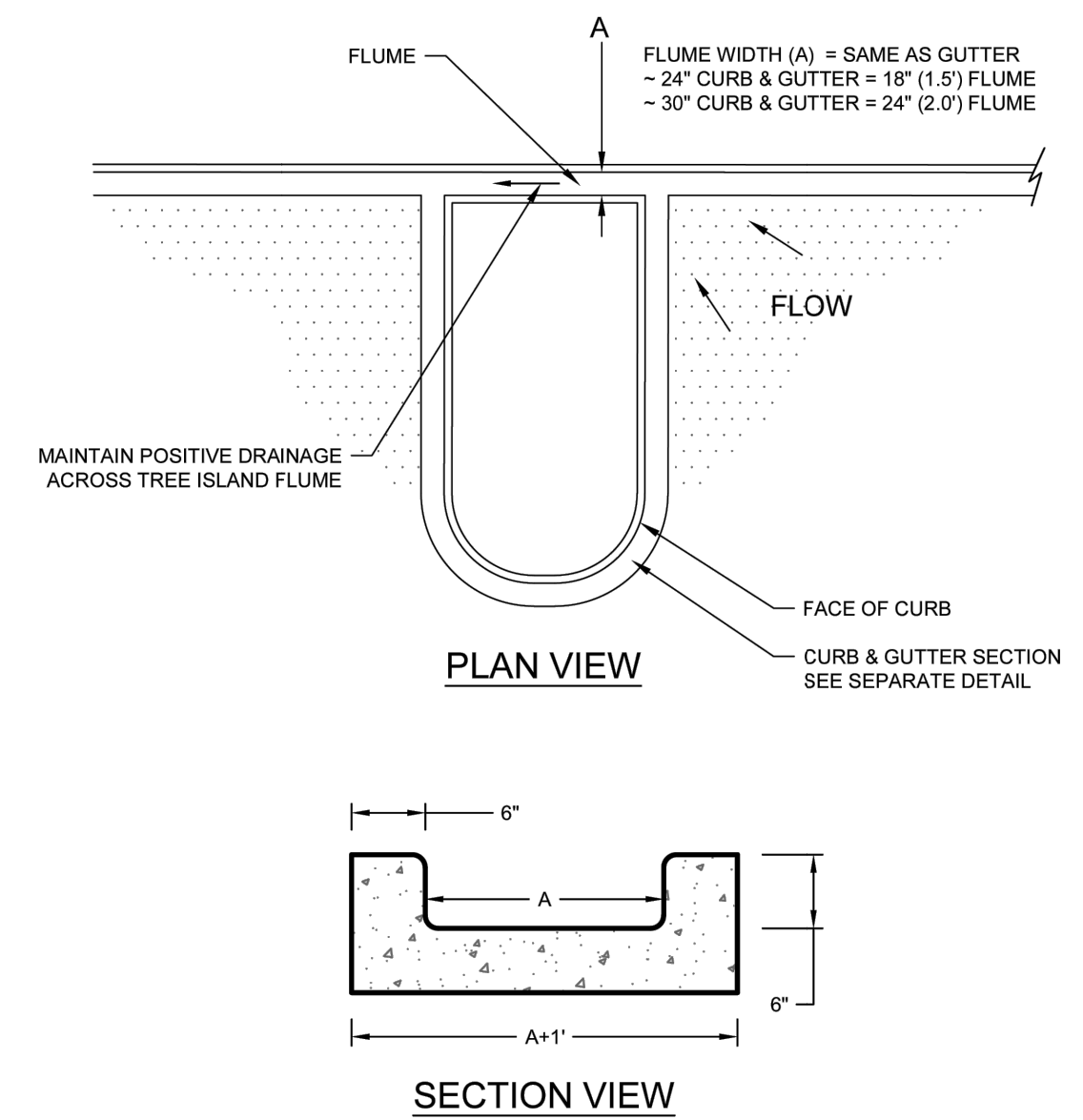
- NOTES:
- REFERENCE AHJ FOR APPLICABLE STANDARDS
  - IN FLORIDA, REFERENCE FDOT STANDARD PLAN 700-102, SHEET 4 (FTP-20-08 & FTP-22-09) FOR SIGNAGE & 711-001, SHEET 11 FOR PAINTED SYMBOL OF ACCESSIBILITY

SCALE: NTS    DETAIL NAME: ADA MARKING & SIGNAGE

DATE: 07/01/2025

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HILLPOINTE HP-204D



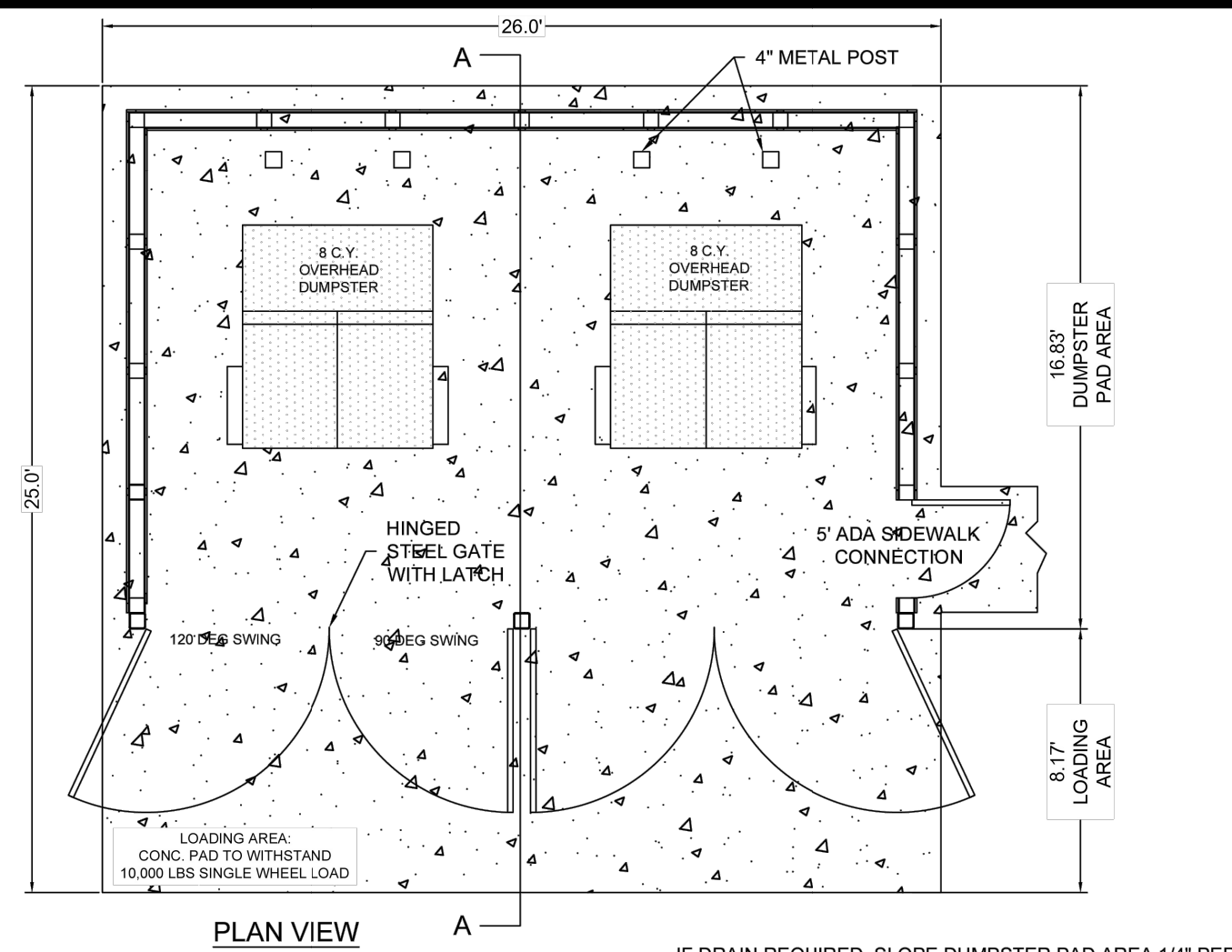
- NOTES:
- FLUME TO BE CONSTRUCTED WITH CLASS A, 3000 PSI CONCRETE.
  - REFER TO GRADING PLAN SPOTS FOR FLUME LONGITUDINAL SLOPE. AT MINIMUM CONTRACTOR SHALL MAINTAIN POSITIVE SLOPE FOR PROPER DRAINAGE.
  - FLUME TO BE BROOM FINISHED. FLUME TO HAVE 1/4" WIDE BY 1/2" DEEP CONTRACTION JOINT EVERY 10 FEET.

SCALE: NTS    DETAIL NAME: TREE ISLAND FLUME

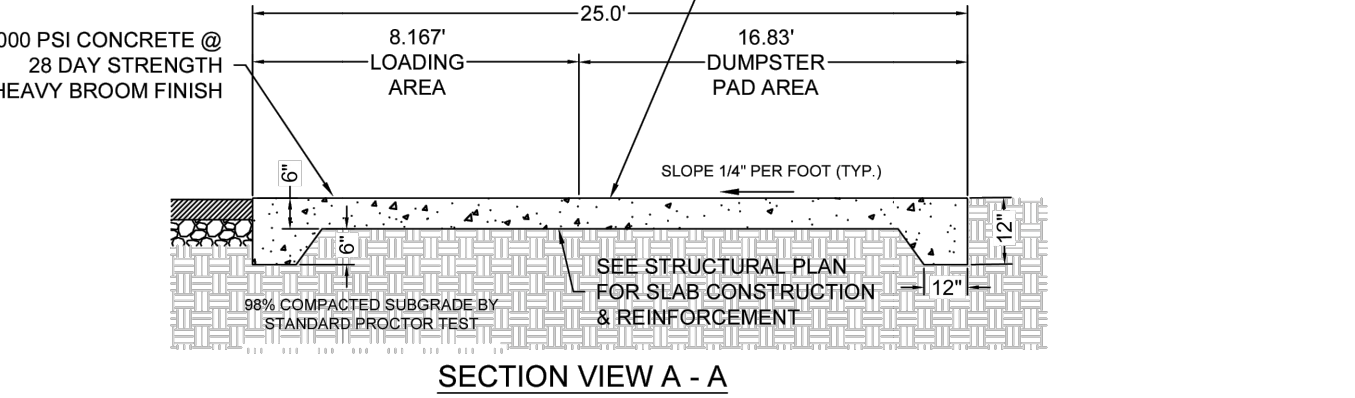
DATE: 07/01/2025

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HILLPOINTE HP-205



IF DRAIN REQUIRED, SLOPE DUMPSTER PAD AREA 1/4" PER FOOT TO DRAIN. IF DRAIN NOT REQUIRED, SLOPE 1/4" PER FOOT FROM BACK OF PAD TO FRONT. SEE CIVIL PLANS.

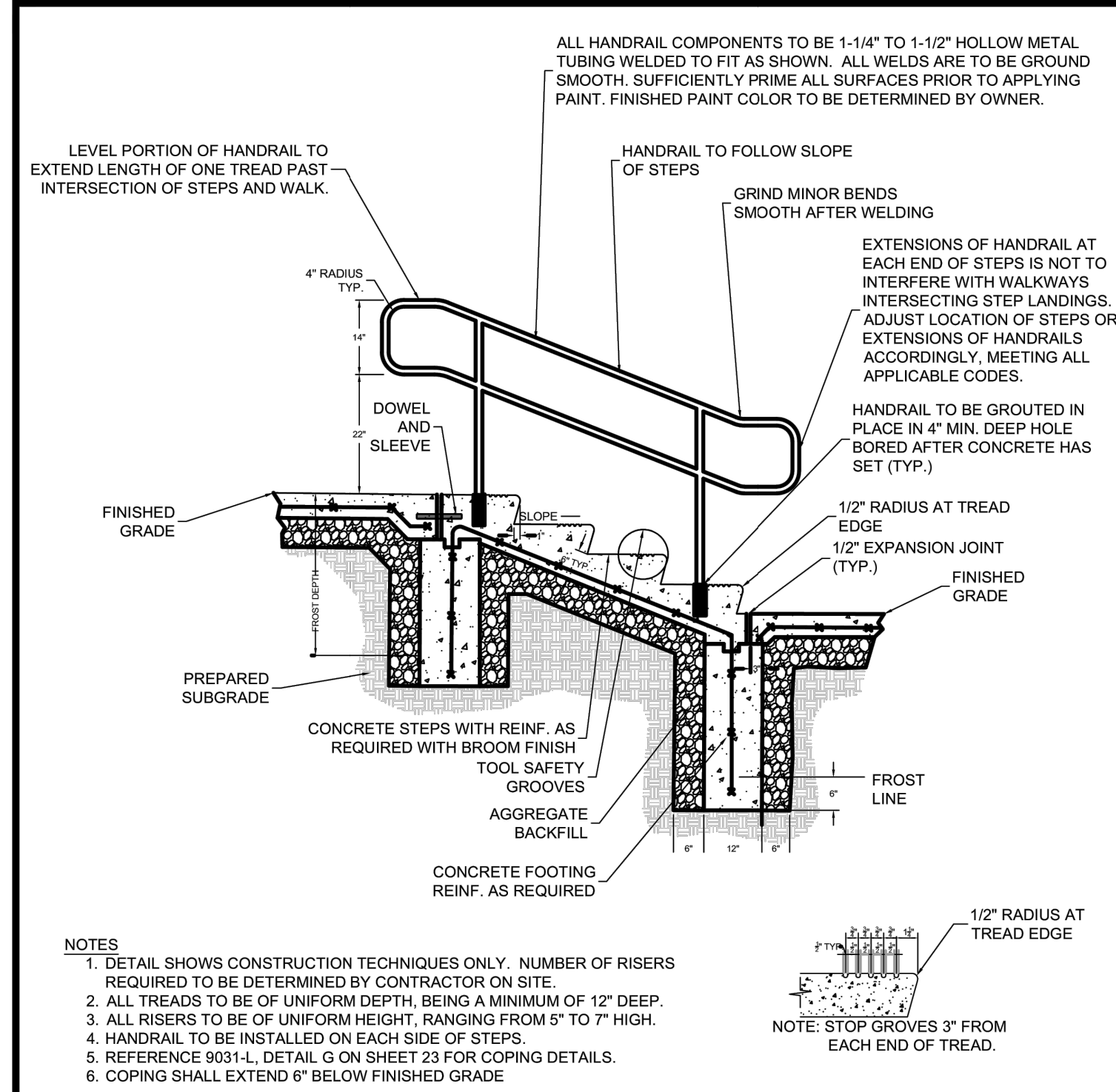


SCALE: NTS    DETAIL NAME: DUMPSTER PAD

DATE: 07/01/2025

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HILLPOINTE HP-206



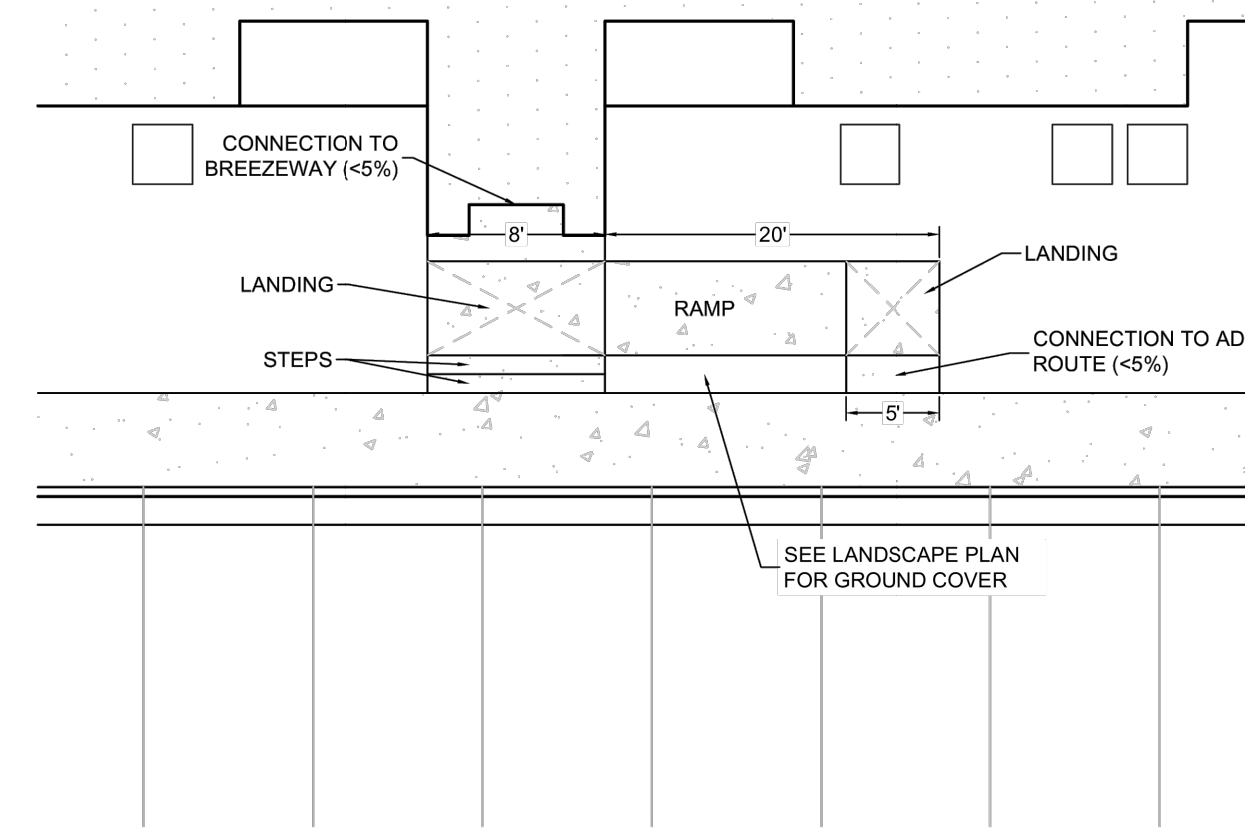
- NOTES:
- DETAIL SHOWS CONSTRUCTION TECHNIQUES ONLY. NUMBER OF RISERS REQUIRED TO BE DETERMINED BY CONTRACTOR ON SITE.
  - ALL TREADS TO BE OF UNIFORM DEPTH, BEING A MINIMUM OF 12" DEEP.
  - ALL RISERS TO BE OF UNIFORM HEIGHT, RANGING FROM 5" TO 7" HIGH.
  - HANDRAIL TO BE INSTALLED ON EACH SIDE OF STEPS.
  - REFERENCE 9031-L, DETAIL G ON SHEET 23 FOR COPING DETAILS.
  - COPING SHALL EXTEND 6" BELOW FINISHED GRADE

SCALE: NTS    DETAIL NAME: STEPS + HANDRAIL DETAIL

DATE: 07/01/2025

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HILLPOINTE HP-207



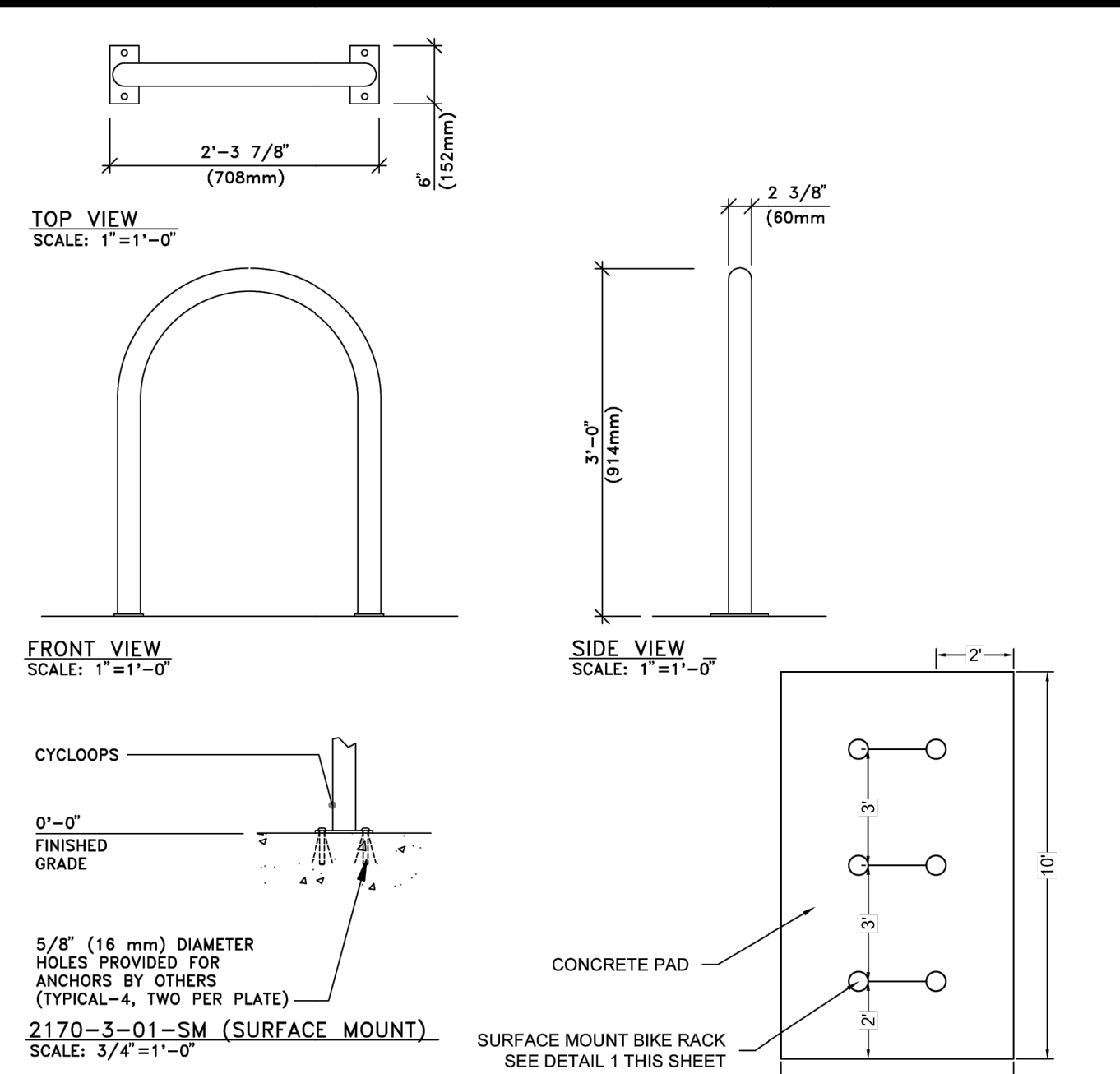
- NOTES:
- STEPS SHALL BE INSTALLED PER STEPS & HANDRAIL DETAIL
  - LANDINGS MUST MEET ADA STANDARDS: 5'x5' LANDING WITH MAX 2% SLOPE IN ANY DIRECTION
  - RAMPS:
    - UNDER 5% IDEAL
    - OVER 5% - HANDRAIL REQUIRED
    - OVER 8.33% INCREASE LENGTH OF RAMP
    - SIGNIFICANTLY UNDER 5% - REDUCE LENGTH

SCALE: NTS    DETAIL NAME: BREEZEWAY RAMPS

DATE: 07/01/2025

#	REVISION DATE
1	09/22/2025
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HILLPOINTE HP-208



- NOTES:
- EACH BIKE PAD TO PROVIDE (6) 6"X2" BIKE SPACES AS NOTED ABOVE
  - CONCRETE TO BE PLACED 4" THICK (EXCEPT WHERE OTHERWISE SPECIFIED) AND FINISHED WITH TAMPS, WOOD FLOATS AND STIFF-BRISTLE BROOMS.
  - MAXIMUM RUNNING SLOPE NOT TO EXCEED 8.33%
  - MAXIMUM CROSS-SLOPE NOT TO EXCEED 2.00%

SCALE: NTS    DETAIL NAME: BIKE RACK

DATE: 07/01/2025

#	REVISION DATE
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HILLPOINTE HP-212

DRAWN BY: CMD    JOB DATE: 6/18/2026    BAR IS ONE INCH ON OFFICIAL DRAWINGS.

APPROVED: RDL    JOB NUMBER: 2502477    0" = 1"

CAD DATE: 6/19/2026    IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.

CAD FILE: J:\2025\2502477\CAD\DWG\IC\SDP\Details

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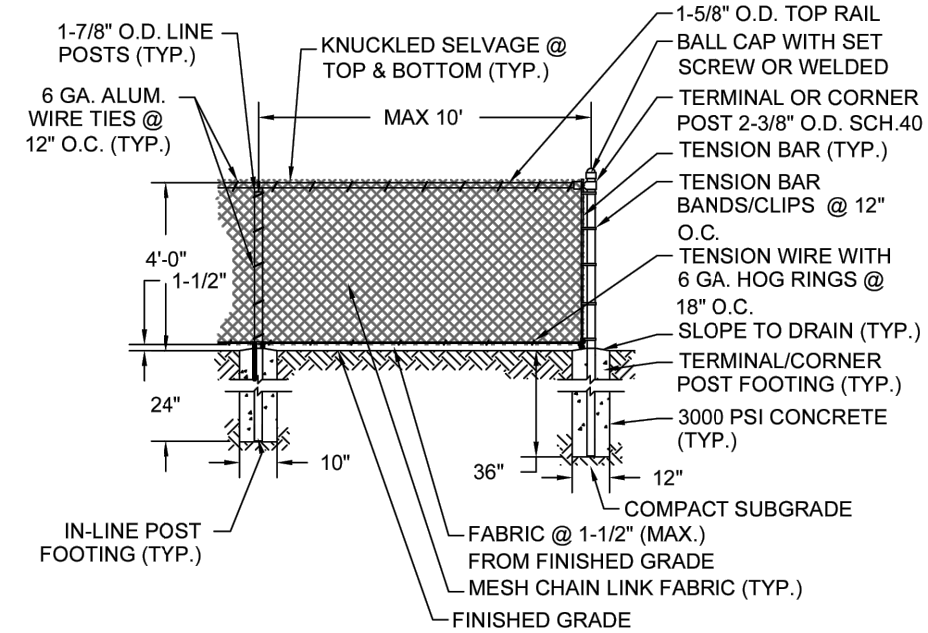


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HILLPOINTE, LLC.  
COLORADO SPRINGS, EL PASO COUNTY, COLORADO

SITE DEVELOPMENT PLAN  
SITE DETAILS II

PCD FILE NO.: PPR-26-13  
SHEET  
8



FENCE HEIGHT	USE
4'	POND / DOG PARK / RETAINING WALL
6'	
8'	PICKLE BALL COURT

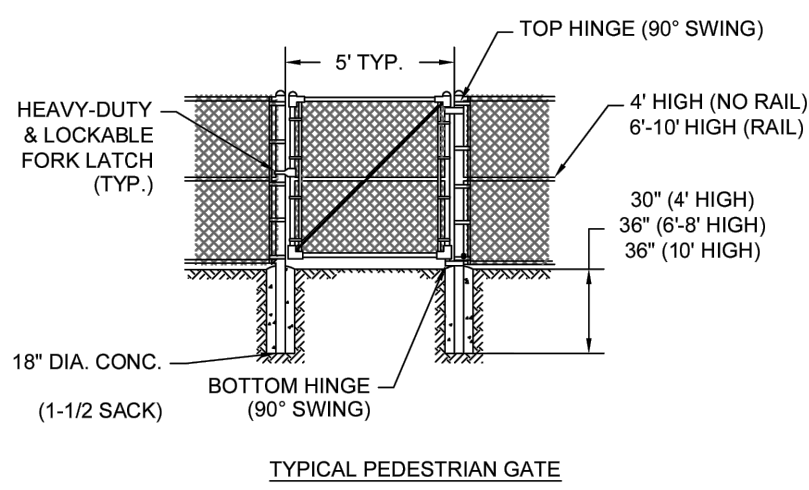
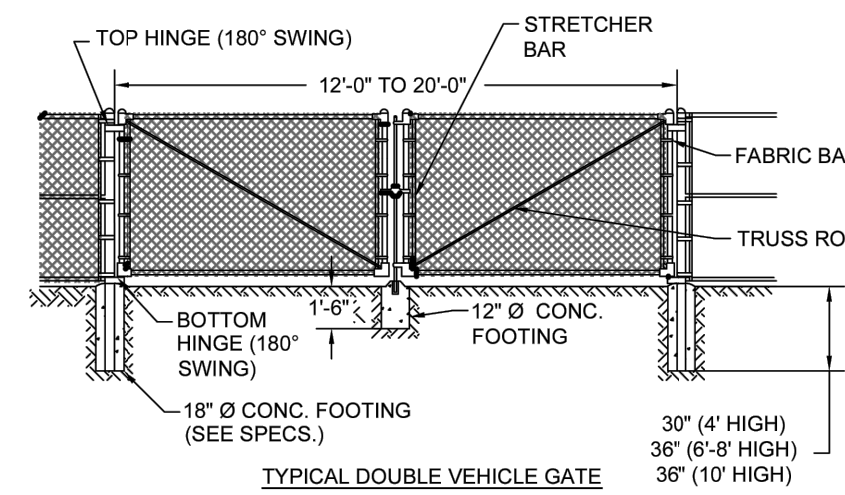
- NOTES:
- FABRIC SHALL BE 9 GA, 2" WEAVE AND WITH TOP AND BOTTOM SELVAGES KNUCKLED.
  - ALL CONCRETE FOOTINGS AROUND POSTS AT GROUND LINE SHALL BE MOUNDED & SLOPED FOR POSITIVE DRAINAGE.
  - FRAMING MEMBERS (INCLUDING POST, RAILS, BRACES, GATE FRAMES) SHALL BE TYPE 1 PIPE, SCHEDULE 40. POSTS AND RAILS SHALL HAVE CAPS TO EXCLUDE MOISTURE; RAILS SHALL BE ATTACHED TO POSTS W/ MALLEABLE RAIL END CAPS W/ 7/8" BEVELED STEEL BRACE BAND.
  - ALL MATERIALS (POSTS, RAILS, CAPS, TENSION BARS, BANDS, FABRIC, ETC.) SHALL HAVE AN OUTER PVC COATING IN ACCORDANCE WITH ASTM F 1043, 7. COLOR TO BE BLACK.

SCALE: NTS    DETAIL NAME: CHAIN LINK FENCE

DATE: 07/01/2025

#	REVISION DATE
1	09/22/2025
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**HILLPOINTE** HP-213A



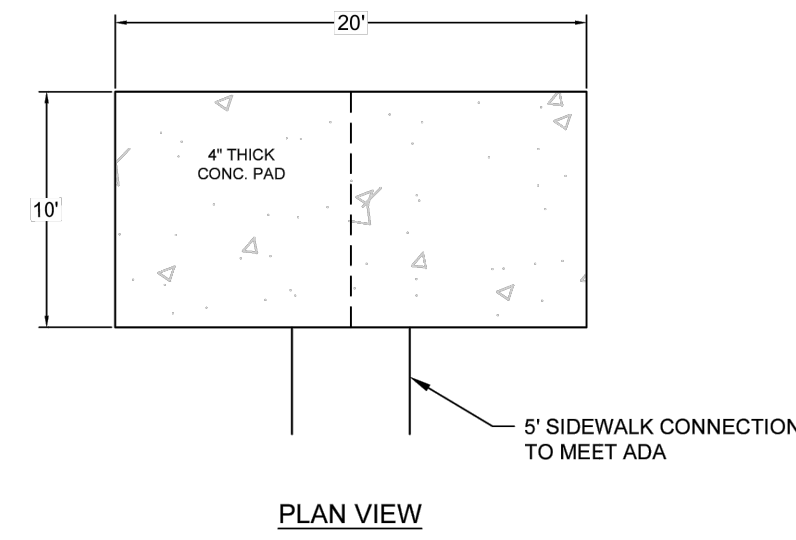
- NOTES:
- FENCE FABRIC SHALL BE SECURED TO GATE FRAMES WITH KNUCKLED SELVAGE ALONG ALL EDGES FOR ALL TYPES CHAIN LINK FENCE INSTALLATIONS.
  - ALL CONCRETE FOOTINGS AROUND POSTS AT GROUND LINE SHALL BE MOUNDED & SLOPED FOR POSITIVE DRAINAGE.
  - GATES TO BE PROVIDED WITH A LOCKABLE LATCH & LOCK. KEY COPIES TO PROVIDED TO THE PUBLIC WORKS DEPARTMENT FOR STORMWATER MANAGEMENT FACILITY INSPECTION AND MAINTENANCE.

SCALE: NTS    DETAIL NAME: CHAIN LINK GATE

DATE: 07/01/2025

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**HILLPOINTE** HP-213B



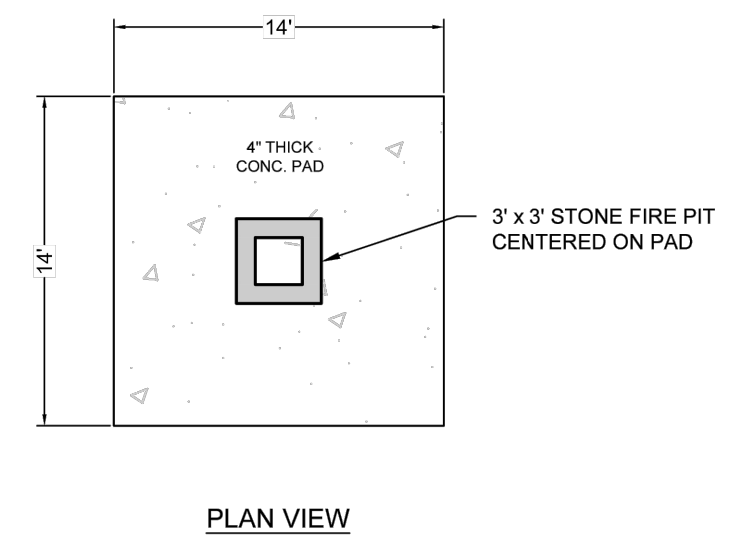
- NOTES:
- OUTDOOR KITCHEN SHALL BE LOCATED NEAR THE CLUBHOUSE.
  - KITCHEN PAD MUST BE A MINIMUM OF 15' FROM ANY BUILDING STRUCTURE.
  - KITCHEN MUST BE LOCATED ON AN ACCESSIBLE ROUTE.
  - THE 5' SIDEWALK CONNECTION MAY BE ADJUSTED AS NEEDED.
  - GRILL WITH COUNTER IS TYPICALLY CENTERED ALONG THE SHORT SIDE (EITHER SIDE).
  - BLACK COATED, METAL PERGOLA TO BE PROVIDED OVER PAD.

SCALE: NTS    DETAIL NAME: AMENITY - OUTDOOR KITCHEN

DATE: 07/01/2025

#	REVISION DATE
1	09/22/2025
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**HILLPOINTE** HP-215



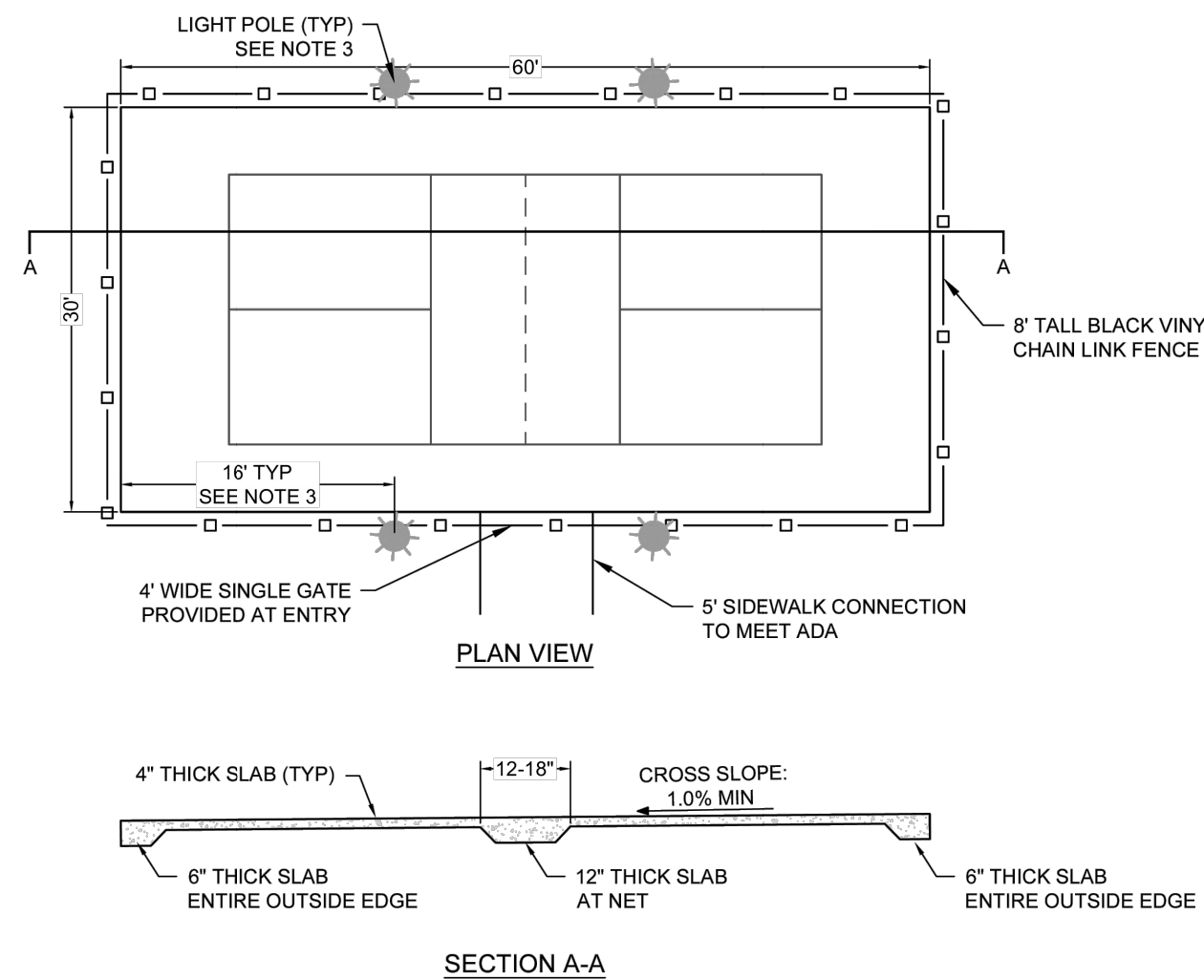
- NOTES:
- OUTDOOR FIRE PIT SHALL BE LOCATED IN AN OPEN AREA NEAR THE CLUBHOUSE.
  - CENTER OF FIRE PIT MUST BE A MINIMUM OF 15' FROM ANY BUILDING STRUCTURE, 15' FROM PAD PREFERRED.
  - NO SIDEWALK TO THE PIT AREA IS NECESSARY PER HILLPOINTE STANDARDS.

SCALE: NTS    DETAIL NAME: AMENITY - OUTDOOR FIRE PIT

DATE: 07/01/2025

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**HILLPOINTE** HP-216



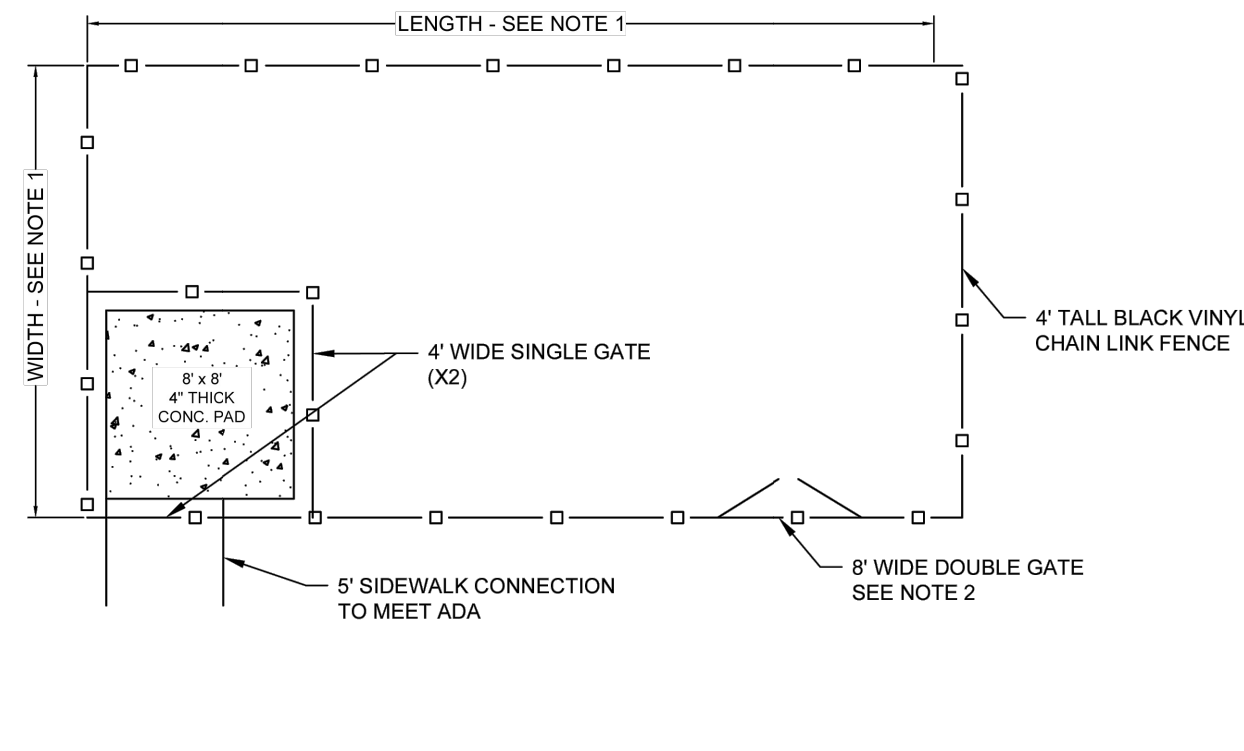
- NOTES:
- PICKLEBALL COURT IS A 30'x60' CONC. PAD WITH A 20'x44' PLAY AREA.
  - A 5' SIDEWALK CONNECTION MUST BE PROVIDED ON AN ACCESSIBLE ROUTE AND CAN CONNECT ANYWHERE ALONG THE PAD.
  - A MINIMUM OF 4 LIGHT POLES SHALL BE PROVIDED. REFER TO LIGHTING PLAN FOR FINAL LOCATION.
  - COURTS ARE TYPICALLY PLACED NEAR THE CLUBHOUSE AREA, BUT IS NOT REQUIRED.
  - COURTS TYPICALLY PLACED RUNNING NORTH/SOUTH DUE TO THE SUN BUT SHALL BE ROTATED BASED ON SITE CONSTRAINTS.
  - COURT TO BE SLOPED 1% ANY DIRECTION. SLOPE MUST BE CONSISTENT ACROSS COURT.

SCALE: NTS    DETAIL NAME: AMENITY - PICKLEBALL COURT

DATE: 07/01/2025

#	REVISION DATE
1	09/22/2025
2	
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**HILLPOINTE** HP-217



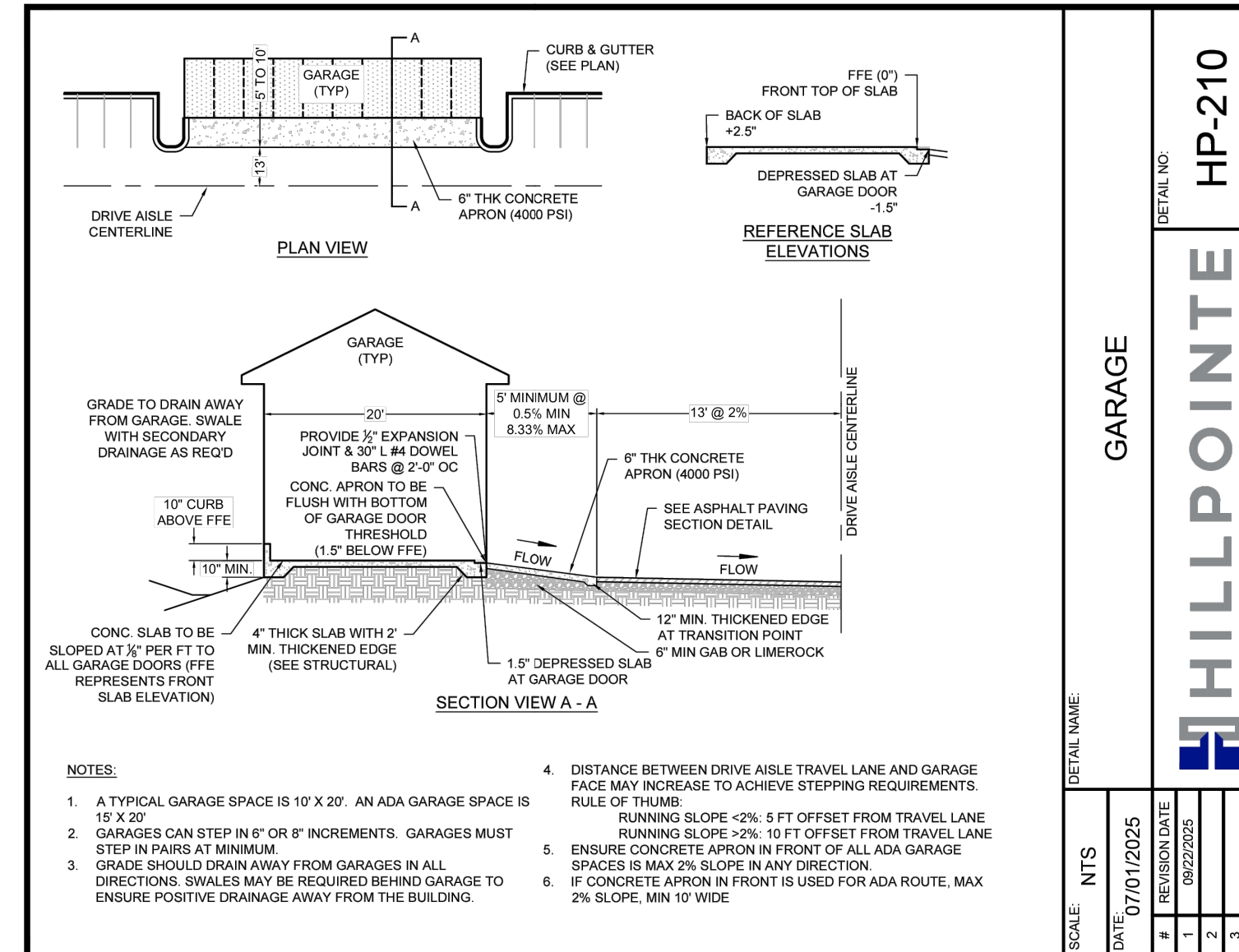
- NOTES:
- TYPICAL DIMENSIONS: 50' x 50'
  - 8' WIDE DOUBLE GATE IS FOR MOWER ACCESS & SHALL BE LOCATED ADJACENT TO A TRAVERSABLE GRADE.

SCALE: NTS    DETAIL NAME: AMENITY - DOG PARK

DATE: 07/01/2025

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**HILLPOINTE** HP-218



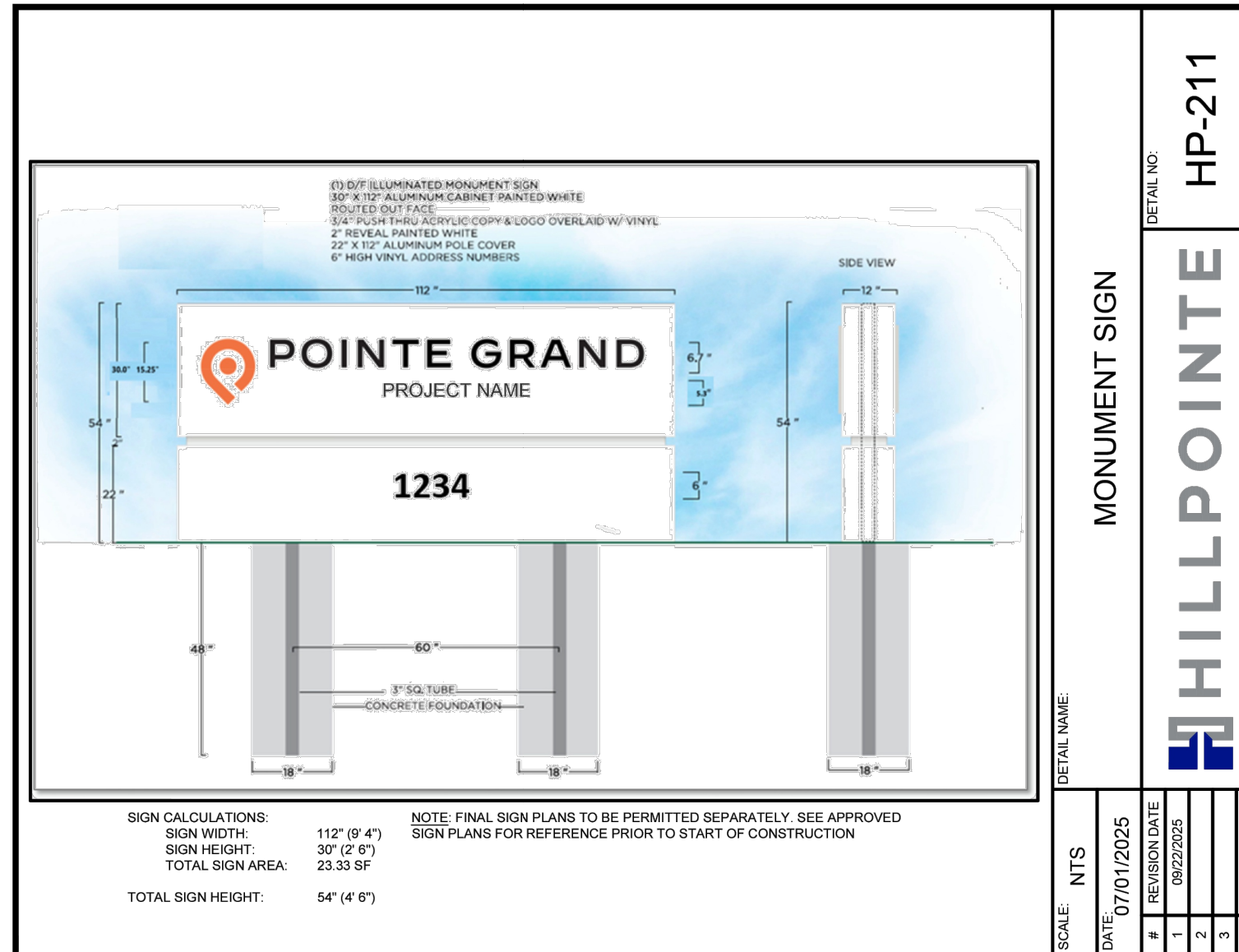
- NOTES:
- A TYPICAL GARAGE SPACE IS 10' X 20'. AN ADA GARAGE SPACE IS 15' X 20'.
  - GARAGES CAN STEP IN 6" OR 8" INCREMENTS. GARAGES MUST STEP IN PARS AT MINIMUM.
  - GRADE SHOULD DRAIN AWAY FROM GARAGES IN ALL DIRECTIONS. SWALES MAY BE REQUIRED BEHIND GARAGE TO ENSURE POSITIVE DRAINAGE AWAY FROM THE BUILDING.
  - DISTANCE BETWEEN DRIVE AISLE TRAVEL LANE AND GARAGE FACE MAY INCREASE TO ACHIEVE STEPPING REQUIREMENTS.
  - RUNNING SLOPE <math>\le 2\%</math> 5' FT OFFSET FROM TRAVEL LANE.
  - ENSURE CONCRETE APRON IN FRONT OF ALL ADA GARAGE SPACES IS MAX 2% SLOPE IN ANY DIRECTION.
  - IF CONCRETE APRON IN FRONT IS USED FOR ADA ROUTE, MAX 2% SLOPE, MIN 10' WIDE.

SCALE: NTS    DETAIL NAME: GARAGE

DATE: 07/01/2025

#	REVISION DATE
1	09/22/2025
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**HILLPOINTE** HP-210



- NOTE: FINAL SIGN PLANS TO BE PERMITTED SEPARATELY. SEE APPROVED SIGN PLANS FOR REFERENCE PRIOR TO START OF CONSTRUCTION.
- SIGN CALCULATIONS:  
SIGN WIDTH: 112" (9' 4")  
SIGN HEIGHT: 30" (2' 6")  
TOTAL SIGN AREA: 3330 SF  
TOTAL SIGN HEIGHT: 54" (4' 6")

SCALE: NTS    DETAIL NAME: MONUMENT SIGN

DATE: 07/01/2025

#	REVISION DATE
1	09/22/2025
2	
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**HILLPOINTE** HP-211

DRAWN BY: CMD    JOB DATE: 6/18/2026    BAR IS ONE INCH ON OFFICIAL DRAWINGS.  
 APPROVED: RDL    JOB NUMBER: 2502477    0" = 1"  
 CAD DATE: 6/19/2026    IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.  
 CAD FILE: J:\2025\2502477\CAD\DWG\ICSDP\Details

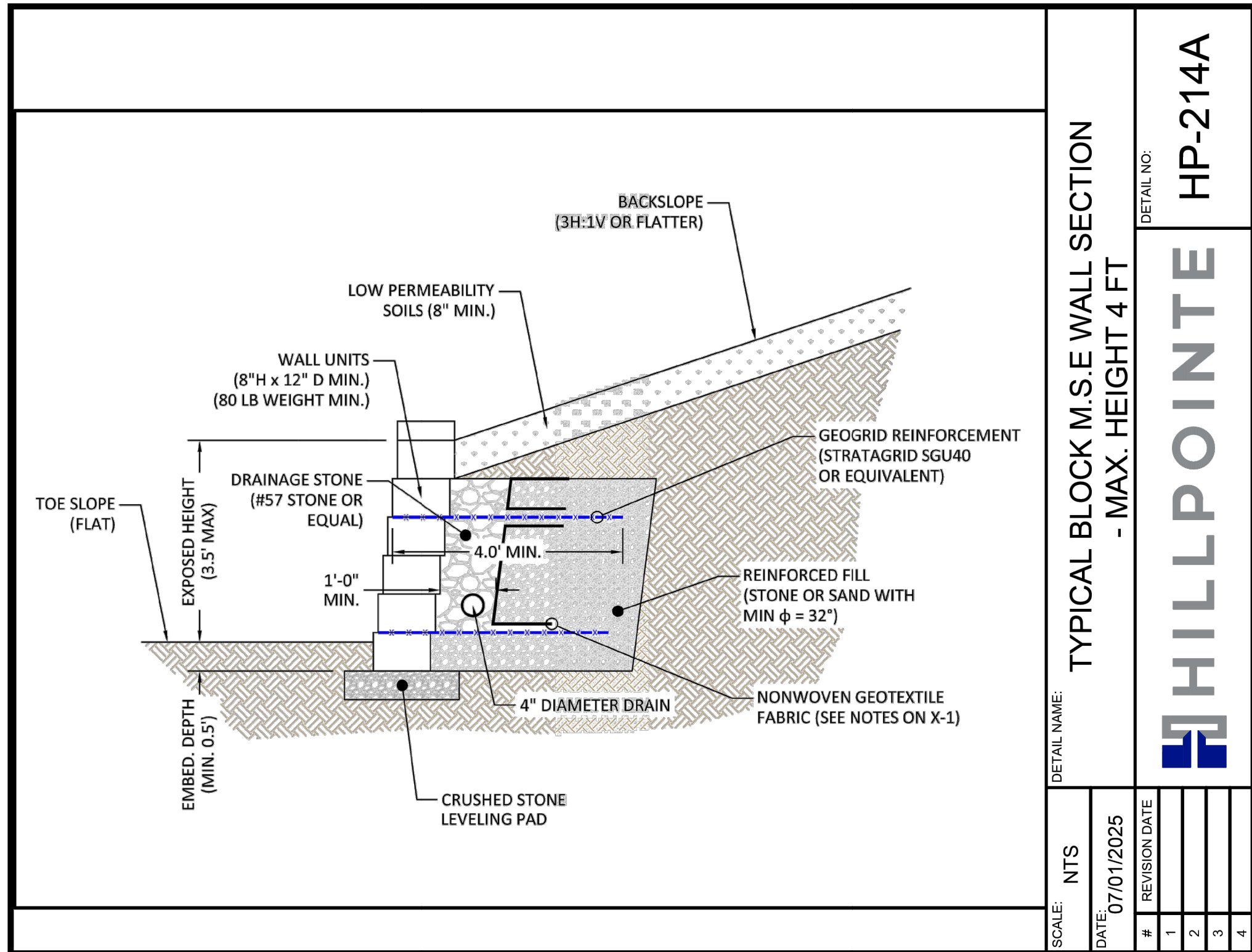
NO.	DATE	BY	REVISION DESCRIPTION

**HRGreen** HR GREEN - COLORADO SPRINGS  
 1975 RESEARCH PARKWAY SUITE 160  
 COLORADO SPRINGS, CO 80920  
 PHONE: 719.300.4140  
 FAX: 713.965.0044

HILLPOINTE APARTMENTS AT PETERSON  
 HILLPOINTE, LLC.  
 COLORADO SPRINGS, EL PASO COUNTY, COLORADO

SITE DEVELOPMENT PLAN  
 SITE DETAILS III

SHEET  
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 9



TYPICAL BLOCK M.S.E WALL SECTION  
- MAX. HEIGHT 4 FT

HILLPOINTE HP-214A

SCALE:	NTS
DATE:	07/01/2025
#	REVISION DATE
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**GENERAL NOTES**

- THE WALL CONTRACTOR AND/OR CEI (CONSTRUCTION ENGINEER INSPECTION) STAFF SHALL VERIFY ALL CONDITIONS, GRADES, DIMENSIONS, AND TOPOGRAPHIC INFORMATION PRIOR TO CONSTRUCTION. IF THE WALL CONTRACTOR AND/OR CEI STAFF DISCOVERS ANY ERRORS, OMISSIONS, OR DISCREPANCIES, THEY SHALL CONTACT THE DESIGN PROFESSIONAL WHO WILL THEN ISSUE INSTRUCTIONS AS TO HOW TO PROCEED.
- THE CONTRACTOR/OWNER SHALL BE RESPONSIBLE FOR OBSERVING ALL APPLICABLE SAFETY LAWS AND REGULATIONS, INCLUDING BUT NOT LIMITED TO SHORING, GUARDRAILS AND/OR FENCING, TEMPORARY EXCAVATION, LOCAL BUILDING CODES AND REGULATIONS, ETC.
- EXCAVATION FOR CURB AND GUTTER, FENCING, GUARDRAILS, UTILITIES, AND FOUNDATIONS SHALL BE COORDINATED WITH WALL CONSTRUCTION AND SHALL BE COMPLETED WITHOUT DAMAGE TO THE WALL SYSTEM.
- ALL WALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL LAWS AS WELL AS APPLICABLE AMERICAN CONCRETE INSTITUTE (ACI) STANDARDS.

**WALL MATERIALS**

1. CONCRETE:  $f'_c = 3,000$  PSI  
SLUMP = 4-5 INCHES (BEFORE ADDITION OF WATER REDUCING ADMIXTURES)  
AIR CONTENT = 5±1.5 PERCENT (AIR ENTRAINMENT IS NOT REQUIRED IN CONCRETE NOT EXPOSED)

2. REINFORCING STEEL:  $f_y = 60$  KSI (DEFORMED BARS)  
FIELD BENDING OF BARS IS PERMITTED PROVIDED HEATING OF THE BARS IS NOT REQUIRED.  
WELDING OF REINFORCING STEEL IS NOT PERMITTED.

3. SURCHARGE AND LOADING: THE RETAINING WALLS WERE DESIGNED WITH A FLAT BACKSLOPE, FLAT TOE SLOPE AND 100 PSF LIVE LOAD SURCHARGE. IF DISCREPANCIES ARE FOUND TO EXIST BETWEEN THE FIELD CONDITIONS AND THE DESIGN CONDITIONS, THE DESIGN ENGINEER SHALL BE NOTIFIED TO DETERMINE IF DESIGN MODIFICATIONS ARE REQUIRED PRIOR TO BEGINNING WALL CONSTRUCTION.

4. SOIL PROPERTIES:

SOIL	EFFECTIVE FRICTION	UNIT WEIGHT	COHESION	NOTES
REINFORCED FOUNDATION	$\phi = 28$ DEGREES	$\gamma = 125$ PCF	$c = 0$ PSF	ALL WALLS
	$\phi = 28$ DEGREES	$\gamma = 125$ PCF	$c = 0$ PSF	ALL WALLS

5. ALLOWABLE BEARING PRESSURE: 1,500 PSF (TO BE EVALUATED PRIOR TO CONSTRUCTION BY TESTING COMPANY)

**CONCRETE**

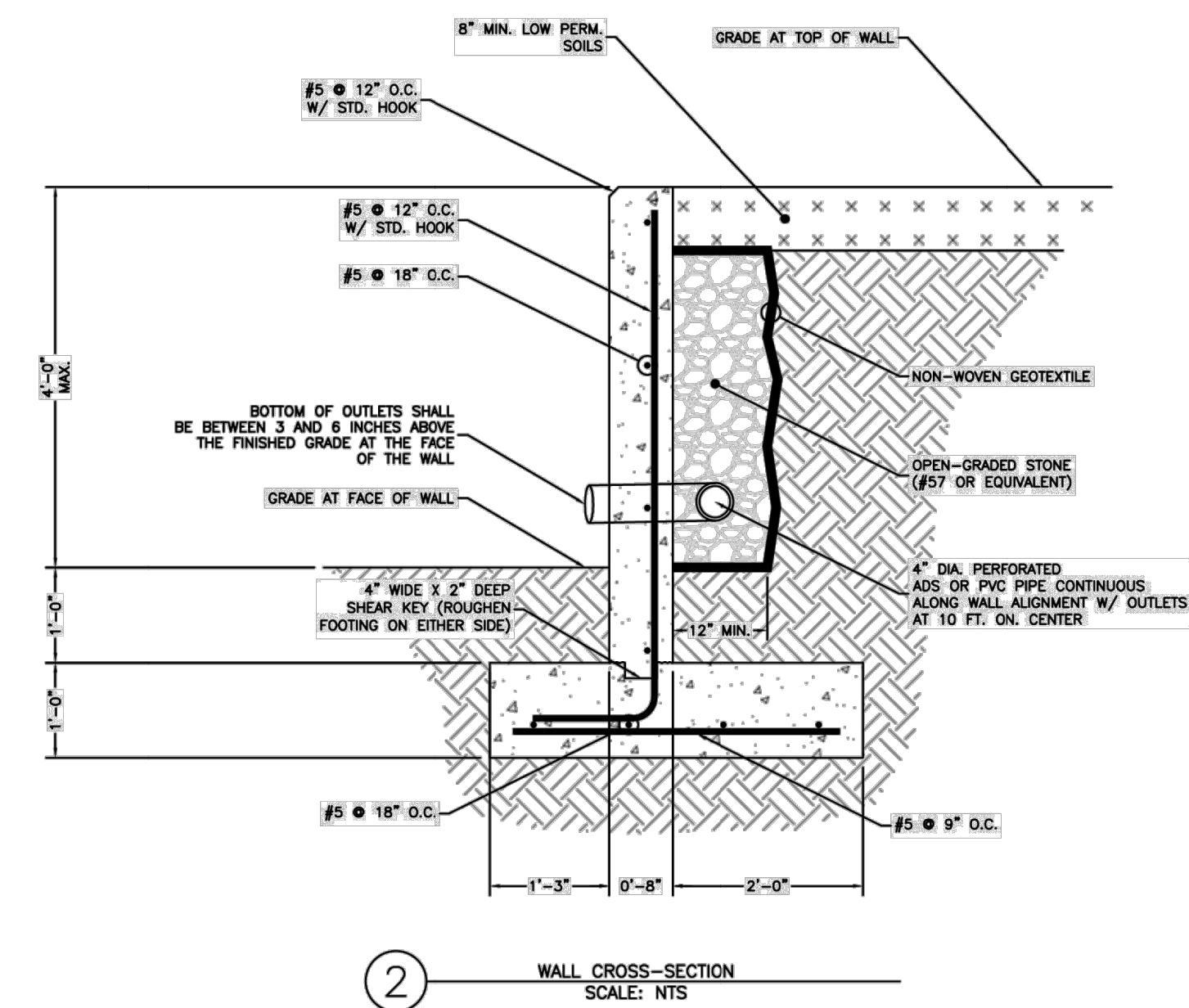
- CONCRETE CONSTRUCTION SHALL CONFORM TO ACI 318 AND ACI 301 AS WELL AS ALL LOCAL, STATE, AND FEDERAL CODES. IN THE EVENT OF CONFLICTING INFORMATION, THE MORE STRINGENT REQUIREMENT SHALL CONTROL.
- ALL CONCRETE CONSTRUCTION SHALL CONFORM TO ACI 301 (FINISHES), ACI 117 (TOLERANCES), ACI 347 (FORMWORK), ACI 308 (HOT WEATHER CONCRETING), AND ACI 305 (COLD WEATHER CONCRETING).
- ALL CONCRETE SHALL BE PROPORTIONED FOR A MAXIMUM WATER/CEMENTitious MATERIALS RATIO OF 0.45 AS WELL AS THE REQUIREMENTS LISTED ABOVE. IF WATER REDUCING ADMIXTURES ARE USED, THE MAXIMUM SLUMP AFTER THE ADDITION OF HIGH RANGE WATER REDUCER SHALL BE 8 INCHES.
- ALL CONCRETE SHALL BE CURED USING ONE OF THE METHODS IN ACI 301 FOR A MINIMUM OF 7 DAYS.
- BAR SPLICES SHALL BE CLASS B TENSION LAP SPLICES IN ACCORDANCE WITH ACI AND AASHTO STANDARDS.
- ALL HOOKS SHALL BE STANDARD HOOKS (90 DEGREES) PER ACI 318.
- SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL A MINIMUM OF 7 DAYS PRIOR TO STEEL FABRICATION.

**DRAINAGE PROVISIONS**

- DRAINAGE PROVISIONS SHALL INCLUDE A 4" PERFORATED ADS OR PVC PIPE, 4" DRAIN OUTLETS THROUGH THE WALL FACE, AND OPEN-GRADED STONE.
- THE 4" PERFORATED PIPE SHALL BE CONTINUOUS ALONG THE ENTIRE LENGTH OF THE WALL. THE PERFORATED PIPE SHALL BE CONNECTED TO 4" OUTLETS THROUGH THE WALL FACE WITH A MAXIMUM CENTER TO CENTER SPACING OF NOT MORE THAN 20 FEET. AT ALL LOW POINTS IN THE WALL AND A MINIMUM OF 2 OUTLETS PER WALL. THE PERFORATED PIPE SHALL ALSO DRAIGHT AT EACH END OF THE WALL. THE DRAIN OUTLET PIPES SHALL BE SLOPED AT 1% TOWARD THE WALL FACE.
- A DRAINAGE POCKET COMPRISED OF OPEN-GRADED STONE SHALL BE PLACED BEHIND THE WALL AND ENCOMPASS THE PERFORATED PIPE. THE DRAINAGE POCKET DIMENSIONS SHALL BE AS SHOWN IN THE DETAILS IN THIS SHEET.
- NON-WOVEN GEOTEXTILE FABRIC SHALL BE PLACED BETWEEN THE DRAINAGE STONE AND THE RETAINED SOILS.
- AT THE END OF EACH WORK DAY, THE GRADES ABOVE AND BELOW THE WALL SHALL BE SLOPED TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE CONSTRUCTION AREA. UNDER NO CIRCUMSTANCES SHALL SURFACE RUNOFF BE PERMITTED TO ENTER THE CONSTRUCTION AREA.
- THE GRADING CONTRACTOR SHALL PROVIDE MEANS AND METHODS TO PREVENT SURFACE RUNOFF FROM FLOWING OVER THE FACE OF THE WALL BOTH DURING AND AFTER CONSTRUCTION.
- EROSION PROTECTION SHALL BE PROVIDED ON THE GROUND SURFACE BOTH ABOVE AND BELOW THE WALL DURING AND AFTER CONSTRUCTION.

TABLE 1 - WALL JOINT SPACING REQUIREMENTS

CONSTRUCTION	CONTRACTION	EXPANSION
40 FEET MAX	WALL HEIGHT < 8 FEET, 36 WALL HEIGHT MAX FEET, LESS THAN OR EQUAL TO WALL HEIGHT	EVERY 4TH CONTRACTION JOINT
	25 FEET MAX JOINT SPACING WITHIN 8 FEET OF CORNERS	



TYPICAL CONCRETE M.S.E WALL  
SECTION - MAX HEIGHT 4 FT

DETAIL NAME:

SCALE: NTS

DATE: 09/22/2025

#	REVISION DATE
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DETAIL NO:

HP-214B

HILLPOINTE

DRAWN BY: CMD JOB DATE: 6/18/2026 BAR IS ONE INCH ON OFFICIAL DRAWINGS.  
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NO.	DATE	BY	REVISION DESCRIPTION

HRGreen  
HR GREEN - COLORADO SPRINGS  
1975 RESEARCH PARKWAY SUITE 160  
COLORADO SPRINGS, CO 80920  
PHONE: 719.300.4140  
FAX: 713.965.0044

HILLPOINTE APARTMENTS AT PETERSON  
HILLPOINTE, LLC.  
COLORADO SPRINGS, EL PASO COUNTY, COLORADO

SITE DEVELOPMENT PLAN  
SITE DETAILS IV

PCD FILE NO.: PPR-26-13  
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