

EL PASO COUNTY PARKS DEPARTMENT | PARK PLANNING DIVISION

JASON MEYER, INTERIM EXECUTIVE DIRECTOR

June 12, 2026

Jen Uhler
Project Manager
El Paso County Development Services Department
2880 International Circle
Colorado Springs, CO 80910

Subject: Hillpointe Apartments SDP (PPR-26-013)

Jen,

The Park Planning Division of the El Paso County Parks Department has reviewed the Hillpointe Apartments SDP development application. This application, along with the following comments and recommendations, will be presented to the El Paso County Park Advisory Board for their consideration and endorsement on June 10, 2026.

The Hillpointe Apartments SDP application is a Site Development Plan application that consists of three parcels that will be platted into one lot consisting of 300 apartment units. The three parcels are currently zoned CR (Commercial Regional) but will be rezoned RM-12 and RM-30. Both zoning districts are intended to accommodate moderate-density multi-dwelling development. The site is located east of Peterson Road, north of US Highway 24, south of an extension of Meadowbrook Parkway.

The 2022 El Paso County Parks Master Plan shows no parks, trails, open space directly impacted by the proposed subdivision. The closest El Paso County Property is Stratmoor Valley Greenway which is 5.95 miles southwest of the property. Bear Creek Regional Park is 7.96 miles southwest of the property. Lastly, the closest El Paso County trail is the Rock Island Primary Regional Trail, which is 8.20 miles northeast of the property.

As no park land or trail easement dedications are necessary for this proposal, El Paso County Parks staff recommends fees in lieu of land dedication for regional park purposes in the amount of \$151,500 and urban park fees in the amount of \$90,900.

Staff Recommendation:

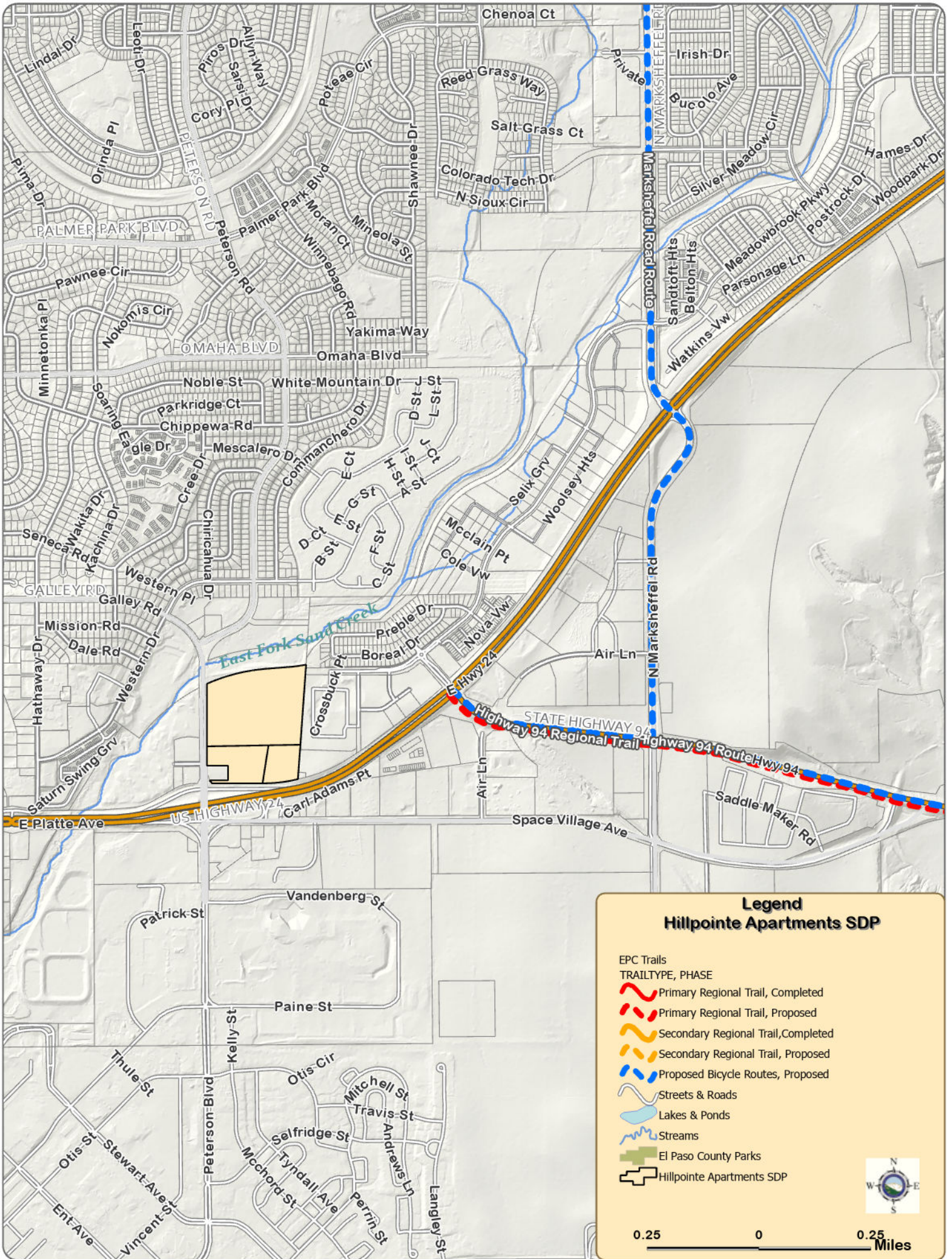
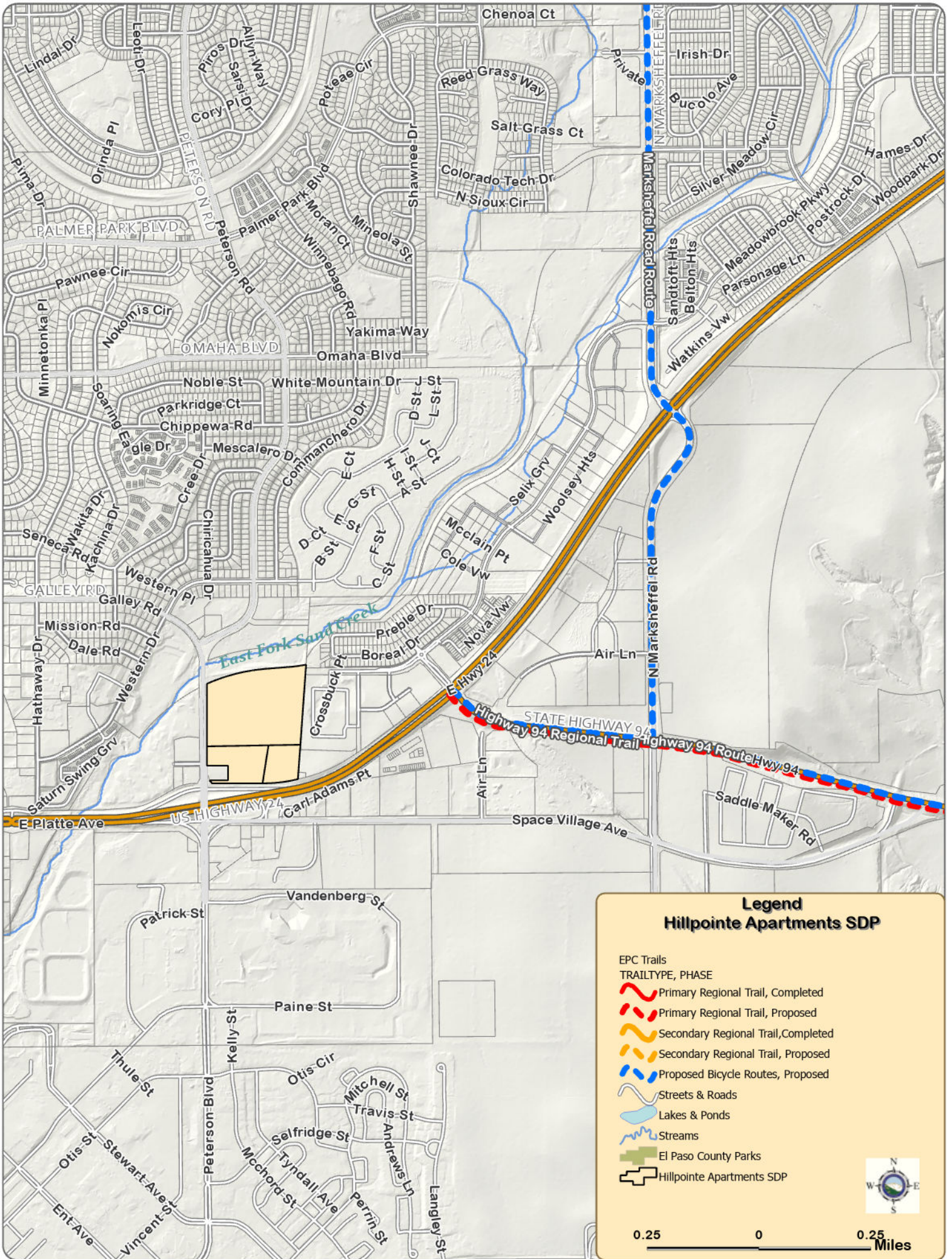
Recommend to the Planning Commission and the Board of County Commissioners that approval of Hillpointe Apartments SDP include the following condition: (1) Require fees in lieu of land dedication for regional park purposes in the amount of \$151,500 and urban park fees in the amount of \$90,900.

Please let me know if you have any questions or concerns.

Sincerely,

Ashlyn Mathy

Ashlyn Mathy
Parks Planner
Park Planning Division
El Paso County Parks Department
ashlynmathy@elpasoco.com



Development Application Review Form



EL PASO COUNTY PARKS DEPARTMENT

Parks Planning - Park Operations

Recreation and Cultural Services - CSU Extension Office

June 12, 2026

Subdivision requirements referenced in Section 8.5.2 of the El Paso County Land Development Code. Fees are based on average land values within designated areas. See El Paso County Board of County Commissioners (BoCC) Resolution for fees established on an annual basis. The Park Advisory Board meets the second Wednesday of each month, 1:30 p.m., BoCC Auditorium, second floor of Centennial Hall, 200 South Cascade Avenue, Colorado Springs.

Name:	Hillpointe Apartments SDP	Application Type:	Site Development Plan
PCD Reference #:	PPR-26-013	Total Acreage:	14.09
Applicant / Owner:	Owner's Representative:	Total # of Dwelling Units:	300
HR Green Inc.	Hillpointe, LLC	Dwelling Units Per 2.5 Acres:	53.23
Blaine Perkins	3773 Cherry Creek Drive North	Regional Park Area:	2
(719) 394-2430	Suite #801 East Tower	Urban Park Area:	3
	Denver, Colorado 80209	Existing Zoning Code:	CR
		Proposed Zoning Code:	RM-12 & RM-30

REGIONAL AND URBAN PARK DEDICATION AND FEE REQUIREMENTS

Regional Park land dedication shall be 7.76 acres of park land per 1,000 projected residents, while Urban Park land dedication shall be 4 acres of park land per 1,000 projected residents. The number of projected residents shall be based on 2.5 residents per dwelling unit.	The EPC Land Development Code defines urban density as land development of higher density and intensity which is characteristically provided with services of an urban nature. This category of development includes residential uses with densities of more than one dwelling unit per 2.5 acres.
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LAND REQUIREMENTS	Urban Density (>= 1 Dwelling Unit Per 2.5 Acres):	YES
Regional Park Area: 2	Urban Park Area: 3	
0.0194 Acres x 300 Dwelling Units = 5.820	Neighborhood: 0.00375 Acres x 300 Dwelling Units = 1.13	
Total Regional Park Acres: 5.820	Community: 0.00625 Acres x 300 Dwelling Units = 1.88	
	Total Urban Park Acres: 3.00	

FEE REQUIREMENTS	Urban Park Area: 3	
Regional Park Area: 2	Neighborhood: \$119 / Dwelling Unit x 300 Dwelling Units = \$35,700	
\$505 / Dwelling Unit x 300 Dwelling Units = \$151,500	Community: \$184 / Dwelling Unit x 300 Dwelling Units = \$55,200	
Total Regional Park Fees: \$151,500	Total Urban Park Fees: \$90,900	

EL PASO COUNTY PARKS DEPARTMENT COMMENTS

Recommend to the Planning Commission and the Board of County Commissioners that approval of Hillpointe Apartments SDP include the following condition: (1) Require fees in lieu of land dedication for regional park purposes in the amount of \$151,500 and urban park fees in the amount of \$90,900.

Park Advisory Board Action: 6/10/2026