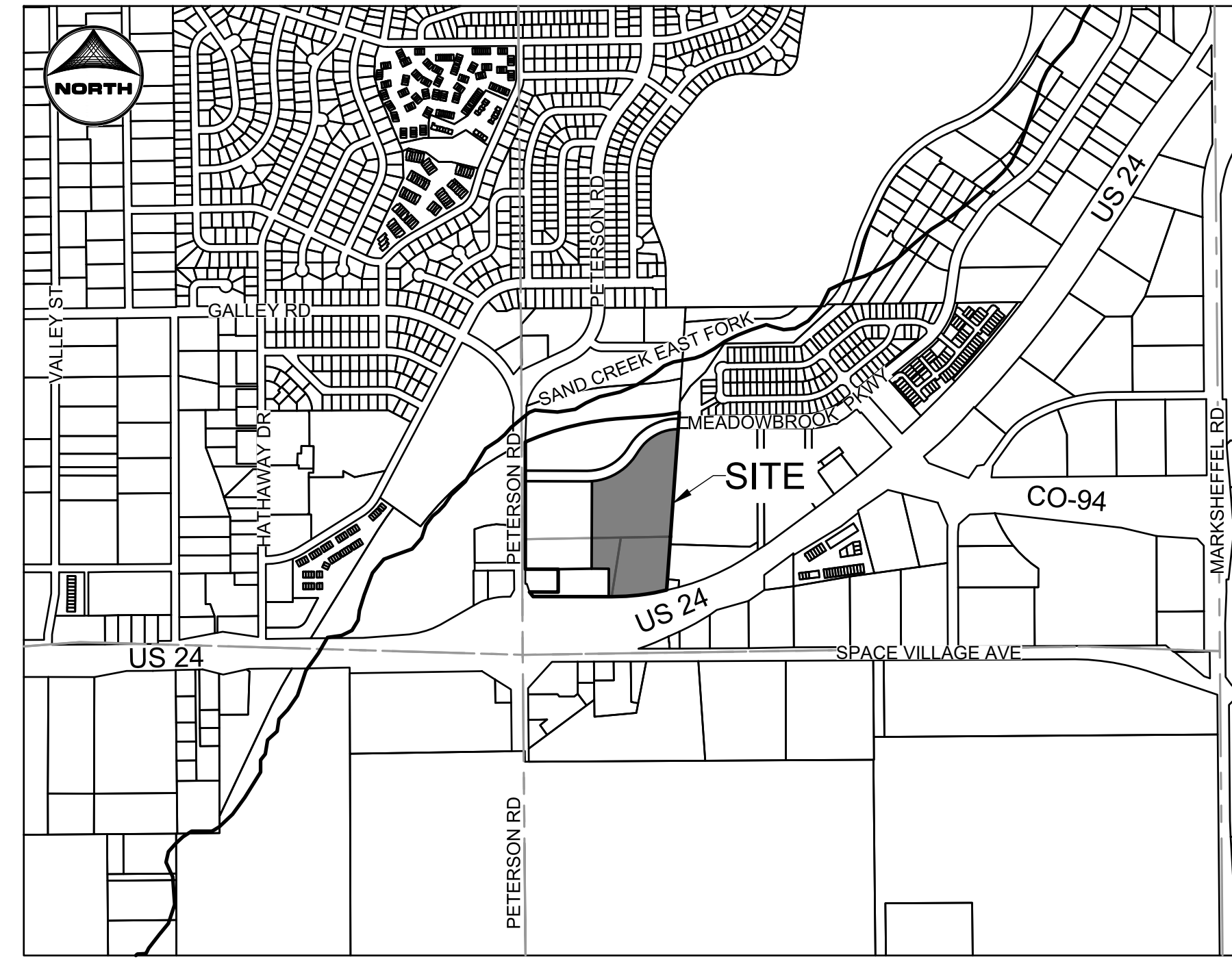


HILLPOINTE APARTMENTS AT PETERSON SITE DEVELOPMENT PLAN

PROPERTIES THAT LIE WITHIN THE NORTHWEST QUARTER AND THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO



VICINITY MAP
SCALE: 1" = 1000'

Please note that the Final Plat and Rezoning must be approved prior to final review and approval of this Site Development Plan.

Comments provided herein are preliminary, and subject to change dependent on the Plat and Rezoning status / conditions.

Comments are provided under the assumed future Final Plat and Rezoning conditions.

Files:
Final Plat: SF2420 (expired), SF26XX (pending submittal)
Rezoning: P265

HRG Response:
Acknowledged.

LEGAL DESCRIPTION:

LOT 1 CIMARRON HILLS SOUTHEAST MIXED USE FILING NO. 1

HRG Response:
Kept as this description as this will be what it is at approval of the SDP.

Please provide current legal description of parcel, not what it will be after plat.

SITE DEVELOPMENT PLAN SUMMARY:

PROPERTY ADDRESS:	725 PETERSON ROAD COLORADO SPRINGS, COLORADO 80915 635 PETERSON ROAD COLORADO SPRINGS, COLORADO 80915 6902 EAST HIGHWAY 24 COLORADO SPRINGS, COLORADO 80915
PARCEL NUMBER:	PORTIONS OF 5408007001, 5408007004, 5408007008
PROPERTY AREA:	LOT 1 CIMARRON HILLS SOUTHEAST MIXED USE FILING NO. 1 14.092 AC
EXISTING ZONING:	CR CAD-O
PROPOSED ZONING:	RM-30
CURRENT USE:	VACANT COMMERCIAL LOTS
PROPOSED USE:	RESIDENTIAL MULTI-DWELLING
PROPOSED TOTAL GROSS BUILDING AREA:	133,729 SF (3.07 AC.)
PROPOSED LOT AREA COVERAGE:	6.55 AC. PAVEMENT (46.3%) 3.07 AC. ROOF (21.7%) 4.52 AC. OPEN SPACE / LANDSCAPING (32.0%)
EXISTING PERCENT IMPERVIOUSNESS:	2.24%
PROPOSED PERCENT IMPERVIOUSNESS:	(3.07 AC. x 90% + 6.55 AC. x 100% + 4.52 AC. x 0%) / 14.41 AC. = 65.9%
FLOODPLAIN STATEMENT:	ZONE X (MAP NO. 08041C0754G, DATED DECEMBER 7, 2018) PER THIS MAP THE SITE IS NOT LOCATED WITHIN A FLOODPLAIN
TYPE OF CONSTRUCTION:	APARTMENTS - TYPE VA CLUBHOUSE/FITNESS - TYPE VB GARAGES - TYPE VB
FIRE SYSTEM:	APARTMENTS - SPRINKLER PER NFPA 13R
MAXIMUM BUILDING HEIGHT:	40'
PROPOSED BUILDING HEIGHT:	35.25' (USING MID-POINT OF PITCHED ROOF)
FRONT SETBACK (NORTH):	25.0'
SIDE SETBACK (WEST/EAST):	15.0'
REAR SETBACK (WEST/SOUTH):	15.0'
SCOPE OF WORK:	PROPOSED ARE NINE (9) MULTI-FAMILY APARTMENT BUILDINGS TOTALING 300 UNITS, SITE AMENITIES CLUBHOUSE AND FITNESS BUILDINGS, MAIL ROOM BUILDING, SITE PARKING LOT.
CONSTRUCTION:	SPRING 2027
FINAL STABILIZATION:	SUMMER 2028

PROJECT CONTACTS:

OWNER
JOVENCHI II, MARATHON HOLDINGS LLP,
JOHN VENEZIA ESTATE
4779 N. ACADEMY BOULEVARD
COLORADO SPRINGS, CO 80918
EMAIL: DEAN@VINTAGEDEV.COM
TELE: 719-491-2158

DEVELOPER
HILLPOINTE, LLC.
3773 CHERRY CREEK DRIVE NORTH
SUITE 801 EAST TOWER
DENVER, CO 80209
CONTACT: MARK FOSTER
EMAIL: MFOSTER@HILLPOINTE.COM

APPLICANT/OWNER'S REPRESENTATIVE
HR GREEN DEVELOPMENT, LLC.
1975 RESEARCH PKWY SUITE 160
COLORADO SPRINGS, CO 80921
TELE: (719) 394-2435
ATTN: COLLEEN MONAHAN
EMAIL: CMONAHAN@HRGREEN.COM

CIVIL ENGINEER
HR GREEN DEVELOPMENT, LLC.
1975 RESEARCH PKWY SUITE 160
COLORADO SPRINGS, CO 80921
TELE: (719) 394-2435
ATTN: RICHIE LYON, P.E.
EMAIL: RICHIE.LYON@HRGREEN.COM

PLANNING & LANDSCAPE ARCHITECTURE:
HR GREEN DEVELOPMENT, LLC.
1975 RESEARCH PKWY SUITE 160
COLORADO SPRINGS, CO 80921
TELE: (719) 394-2435
ATTN: BLAINE PERKINS
EMAIL: BLAINE.PERKINS@HRGREEN.COM

GEOTECHNICAL ENGINEER
VALLEYSHORE ENGINEERING, LLC.
127 GRAND VISTA
VONORE, TENNESSEE 37885
TELE: (865) 900-3286
ATTN: SAUL MOSLEHY, PHD.

TRAFFIC ENGINEER
SM ROCHA, LLC.
6 SOUTH TEJON STREET, SUITE 618
COLORADO SPRINGS, CO 80903
TELE: (719) 203-6639
ATTN: MIKE ROCHA
EMAIL: MIKE@SMROCHA.COM

SURVEYOR
MATRIX DESIGN GROUP
2435 RESEARCH PARKWAY, SUITE 300
COLORADO SPRINGS, CO 80920
TELE: (719) 575-0100

SHEET INDEX:

- 1 - COVER
- 2 - SITE PLAN
- 3 - PRELIMINARY GRADING PLAN
- 4 - UTILITY PLAN
- 5 - FIRE PROTECTION PLAN
- 6 - SITE DETAILS
- 7 - SITE DETAILS
- 8 - SITE DETAILS
- 9 - SITE DETAILS

NOTES:

1. THE OWNER AGREES ON BEHALF OF HIM/HERSELF AND ANY DEVELOPER OR BUILDER SUCCESSORS AND ASSIGNEES THAT SUBDIVIDER AND/OR SAID SUCCESSORS AND ASSIGNS SHALL BE REQUIRED TO PAY TRAFFIC IMPACT FEES IN ACCORDANCE WITH THE EL PASO COUNTY ROAD IMPACT FEE PROGRAM RESOLUTION (RESOLUTION NO. 19-471), OR ANY AMENDMENTS THERETO, AT OR PRIOR TO THE TIME OF BUILDING PERMIT SUBMITTALS. THE FEE OBLIGATION, IF NOT PAID AT FINAL PLAT RECORDING, SHALL BE DOCUMENTED ON ALL SALES DOCUMENTS AND ON PLAT NOTES TO ENSURE THAT A TITLE SEARCH WOULD FIND THE FEE OBLIGATION BEFORE SALE OF THE PROPERTY.

Include Floodplain Statement, Geologic Hazard and ADA notes

HRG Response:
Added.

LEGEND

	EXISTING	PROPOSED		EXISTING	PROPOSED
PROPERTY LINE	---	---	STORM SEWER	---	---
EASEMENT LINE	---	---	MANHOLE	⊕	⊕
RIGHT OF WAY	---	---	STORM INLET	⊕	⊕
CENTERLINE	---	---	LANDSCAPE DOME INLETS	⊕	⊕
BARBED WIRE FENCE	--- --- ---	--- --- ---	FLARED END SECTION	⊕	⊕
WOODEN FENCE	--- --- ---	--- --- ---	RIPRAP	⊕	⊕
U.G. ELECTRIC	---UE---	---UE---	SANITARY SEWER	---	---
OVERHEAD ELECTRIC	---OE---	---OE---	CLEAN OUT	---	---
FIBER OPTIC	---FO---	---FO---	MANHOLE	---	---
GAS MAIN	---G---	---G---	PLUG	---	---
SANITARY SEWER	---	---	WATER	---	---
STORM DRAIN	---	---	FIRE HYDRANT	---	---
LANDSCAPE DRAIN	---	---	FIRE DEPT. CONNECTION	---	---
ROOF DRAIN	---	---	GATE VALVE	---	---
WATER MAIN	---	---	MANHOLE	---	---
SWALE	---	---	METER	---	---
TRAIL	---	---	TEE	---	---
ADA ROUTE	---	---	REDUCER	---	---
CURB & GUTTER	---	---	DRY UTILITIES	---	---
INDEX CONTOUR	---	---	ELECTRIC METER	---	---
INTER. CONTOUR	---	---	ELECTRIC PEDESTAL	---	---
100-YR FLOODPLAIN	---	---	ELECTRICAL CABINET	---	---
FLOODWAY	---	---	ELECTRIC VAULT	---	---
			ELECTRIC VEHICLE CHARGER	---	---
			FIBER OPTIC PULL BOX	---	---
			FIBER OPTIC MANHOLE	---	---
			FIBER OPTIC PEDESTAL	---	---
			FIBER OPTIC SIGN	---	---
			FIBER OPTIC VAULT	---	---
			GAS METER	---	---
			GAS SIGN	---	---
			GAS VAULT	---	---
			TRANSFORMER	---	---
			LIGHT POLE	---	---
			MISCELLANEOUS	---	---
			SIGN	---	---
			BOLLARD	---	---
			ACCESSIBLE PARKING	---	---
			PARKING COUNT	---	---

PARKING SPACE CALCULATIONS					
AREA TYPE	# OF DU'S OR AREA	SEAT/PARKING RATIO	REQUIRED SPACES	ADA STANDARD STALLS REQ'D.	ADA VAN STALLS REQ'D.
RESIDENTIAL, MULTI-FAMILY					
STUDIO OR EFFICIENCY		1.1 SPACES PER DU			
1 BEDROOM		1.5 SPACES PER DU			
2 BEDROOM	300	1.7 SPACES PER DU	510	11	5
3 BEDROOM		2.0 SPACES PER DU			
GUEST		1 SPACE PER 3 DU			
TOTAL	300		510	11	5
	STD. SURFACE STALLS	ADA SURFACE STALLS	STD. GARAGE STALLS	ADA GARAGE STALLS	TOTAL STALLS
PROPOSED PARKING	428	24	58	2	512
					PARKING RATIO
					1.71

DRAWN BY: CMD JOB DATE: 4/23/2026
APPROVED: RDL JOB NUMBER: 2502477
CAD DATE: 4/28/2026
CAD FILE: J:\2025\2502477\CAD\DWG\IC\SDPI\Cover

NO.	DATE	BY	REVISION DESCRIPTION

HR GREEN - COLORADO SPRINGS
1975 RESEARCH PARKWAY SUITE 160
COLORADO SPRINGS, CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

HILLPOINTE APARTMENTS AT PETERSON
HILLPOINTE, LLC.
COLORADO SPRINGS, EL PASO COUNTY, COLORADO

SITE DEVELOPMENT PLAN
COVER

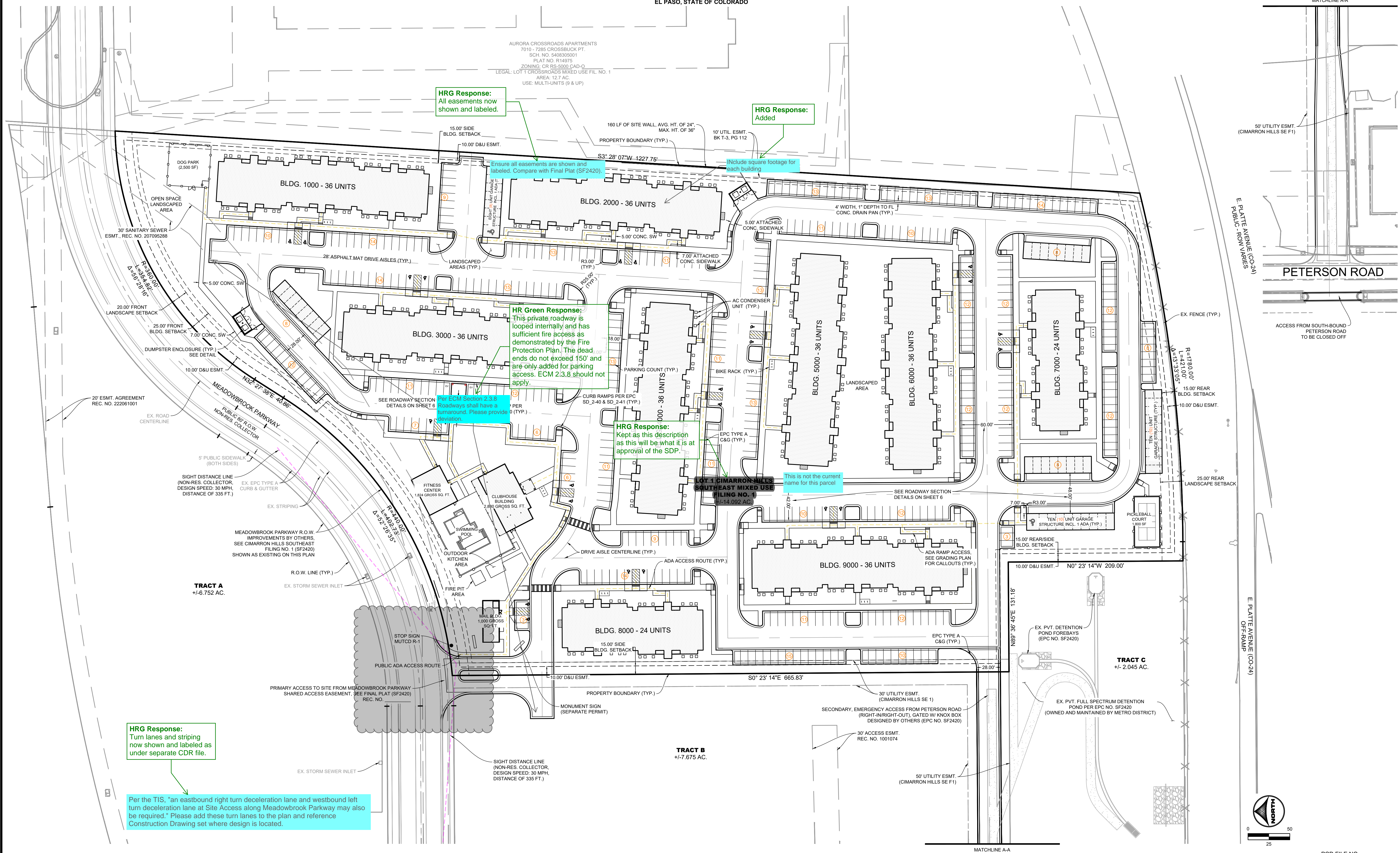
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PCD FILE NO.

HILLPOINTE APARTMENTS AT PETERSON SITE DEVELOPMENT PLAN

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DOMBROWSKI, COLIN, 4/28/2026 10:59 AM



HRG Response:
Turn lanes and striping now shown and labeled as under separate CDR file.

Per the TIS, "an eastbound right turn deceleration lane and westbound left turn deceleration lane at Site Access along Meadowbrook Parkway may also be required." Please add these turn lanes to the plan and reference Construction Drawing set where design is located.

HRG Response:
All easements now shown and labeled.

HRG Response:
Added

HR Green Response:
This private roadway is looped internally and has sufficient fire access as demonstrated by the Fire Protection Plan. The dead ends do not exceed 150' and are only added for parking access. ECM 2.3.8 should not apply.

HRG Response:
Kept as this description as this will be what it is at approval of the SDP.

Per ECM Section 2.3.8 Roadways shall have a turnaround. Please provide a turnaround.

This is not the current name for this parcel

DRAWN BY: CMD JOB DATE: 4/28/2026
APPROVED: RDL JOB NUMBER: 2502477
CAD DATE: 4/28/2026
CAD FILE: J:\2025\2502477\CAD\DWG\CD\SDP\Site Plan

NO.	DATE	BY	REVISION DESCRIPTION

HRGreen
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1975 RESEARCH PARKWAY SUITE 160
COLORADO SPRINGS, CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

HILLPOINTE APARTMENTS AT PETERSON
HILLPOINTE, LLC.
COLORADO SPRINGS, EL PASO COUNTY, COLORADO

SITE DEVELOPMENT PLAN
SITE PLAN

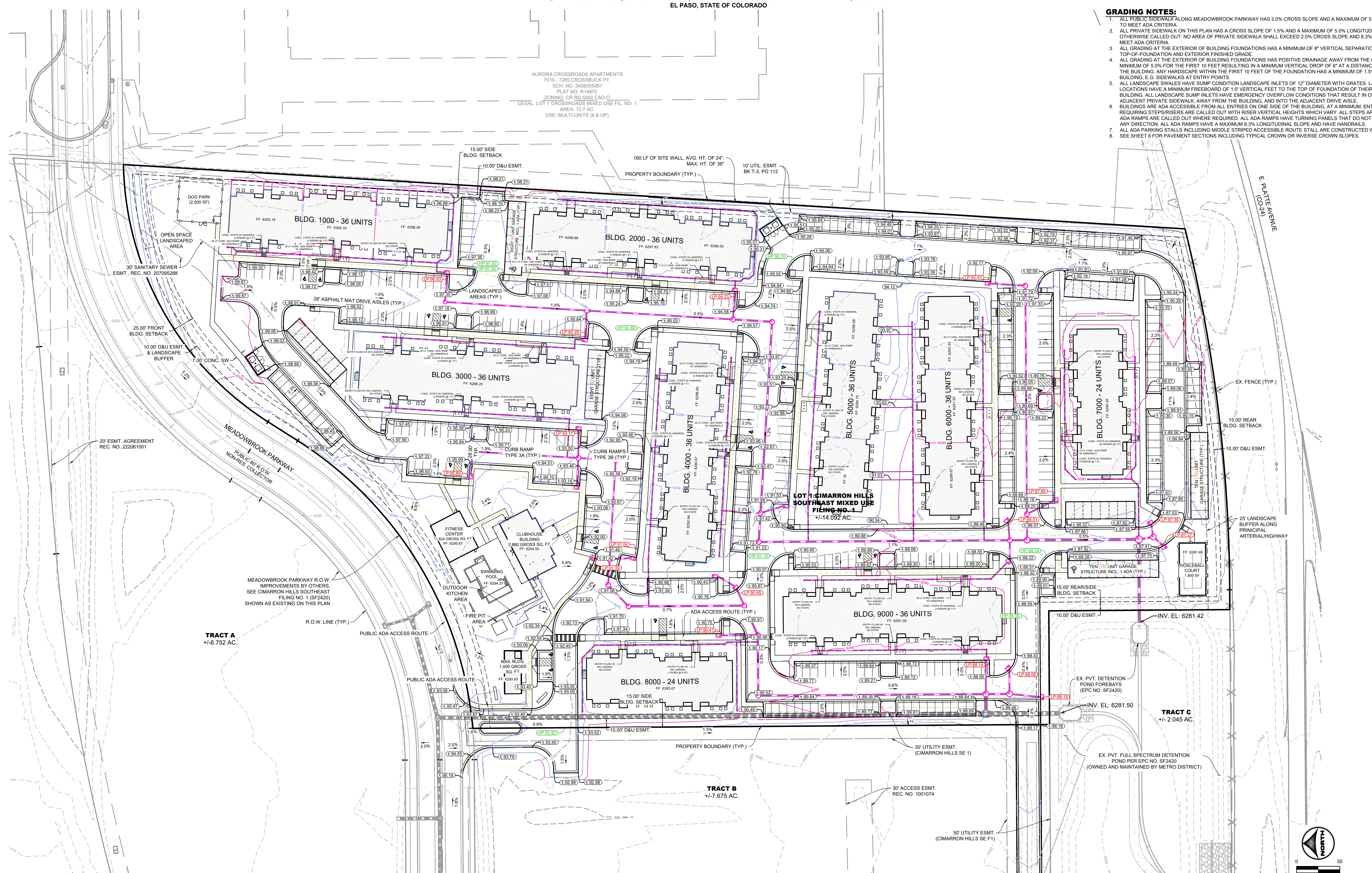
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HILLPOINTE APARTMENTS AT PETERSON SITE DEVELOPMENT PLAN

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AURORA CROSSROADS APARTMENTS
7010, 7285 CROSSBUCK PT.
SCH. NO. 5408305001
PLAT NO. R14975
ZONING: CR RS-5000 CAD-0
LEGAL: LOT T CROSSROADS MIXED USE FIL. NO. 1
AREA: 12.7 AC.
USE: MULTI-UNITS (9 & UP)

- GRADING NOTES:**
1. ALL PUBLIC SIDEWALK ALONG MEADOWBROOK PARKWAY HAS 2.0% CROSS SLOPE AND A MAXIMUM OF 5.0% LONGITUDINAL SLOPE TO MEET ADA CRITERIA.
 2. ALL PRIVATE SIDEWALK ON THIS PLAN HAS A CROSS SLOPE OF 1.5% AND A MAXIMUM OF 5.0% LONGITUDINAL SLOPE UNLESS OTHERWISE CALLED OUT. NO AREA OF PRIVATE SIDEWALK SHALL EXCEED 2.0% CROSS SLOPE AND 8.3% LONGITUDINAL SLOPE TO MEET ADA CRITERIA.
 3. ALL GRADING AT THE EXTERIOR OF BUILDING FOUNDATIONS HAS A MINIMUM OF 8" VERTICAL SEPARATION BETWEEN TOP OF FOUNDATION AND EXTERIOR FINISHED GRADE.
 4. ALL GRADING AT THE EXTERIOR OF BUILDING FOUNDATIONS HAS POSITIVE DRAINAGE AWAY FROM THE FOUNDATION FOR A MINIMUM OF 5.0% FOR THE FIRST 10 FEET RESULTING IN A MINIMUM VERTICAL DROP OF 6" AT A DISTANCE 10 FEET AWAY FROM THE BUILDING. ANY HARDSCAPE WITHIN THE FIRST 10 FEET OF THE FOUNDATION HAS A MINIMUM OF 1.5% SLOPE AWAY FROM THE BUILDING. E.G. SIDEWALKS AT ENTRY POINTS.
 5. ALL LANDSCAPE SWALES HAVE SUMP CONDITION LANDSCAPE INLETS OF 12" DIAMETER WITH GRATES. LANDSCAPE SUMP LOCATIONS HAVE A MINIMUM FREEBOARD OF 1.0' VERTICAL FEET TO THE TOP OF FOUNDATION OF THEIR NEAREST RESPECTIVE BUILDING. ALL LANDSCAPE SUMP INLETS HAVE EMERGENCY OVERFLOW CONDITIONS THAT RESULT IN OVERTOPPING OF THE ADJACENT PRIVATE SIDEWALK, AWAY FROM THE BUILDING, AND INTO THE ADJACENT DRIVE AISLE.
 6. BUILDINGS ARE ADA ACCESSIBLE FROM ALL ENTRIES ON ONE SIDE OF THE BUILDING. AT A MINIMUM, ENTRY LOCATIONS REQUIRING STEPS/RISERS ARE CALLED OUT WITH RISER VERTICAL HEIGHTS WHICH VARY. ALL STEPS ARE 11" IN TREAD WIDTH. ADA RAMP ARE CALLED OUT WHERE REQUIRED. ALL ADA RAMP HAVE TURNING PANELS THAT DO NOT EXCEED 2.0% SLOPE IN ANY DIRECTION. ALL ADA RAMP HAVE A MAXIMUM 8.3% LONGITUDINAL SLOPE AND HAVE HANDRAILS.
 7. ALL ADA PARKING STALLS INCLUDING MIDDLE STRIPED ACCESSIBLE ROUTE STALL ARE CONSTRUCTED WITH PERVIOUS PAVERS.
 8. SEE SHEET 6 FOR PAVEMENT SECTIONS INCLUDING TYPICAL CROWN OR INVERSE CROWN SLOPES.



DOMBROWSKI, COLIN, 4/28/2026 11:00 AM

DRAWN BY: CMD JOB DATE: 4/21/2026
 APPROVED: RDL JOB NUMBER: 2502477
 CAD DATE: 4/28/2026
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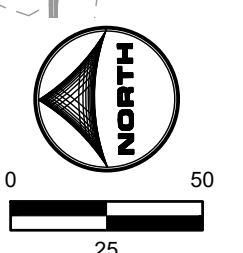
NO.	DATE	BY	REVISION DESCRIPTION

HRGreen
 HR GREEN - COLORADO SPRINGS
 1975 RESEARCH PARKWAY SUITE 160
 COLORADO SPRINGS, CO 80920
 PHONE: 719.300.4140
 FAX: 719.965.0044

HILLPOINTE APARTMENTS AT PETERSON
 HILLPOINTE, LLC.
 COLORADO SPRINGS, EL PASO COUNTY, COLORADO

SITE DEVELOPMENT PLAN
 PRELIMINARY GRADING PLAN

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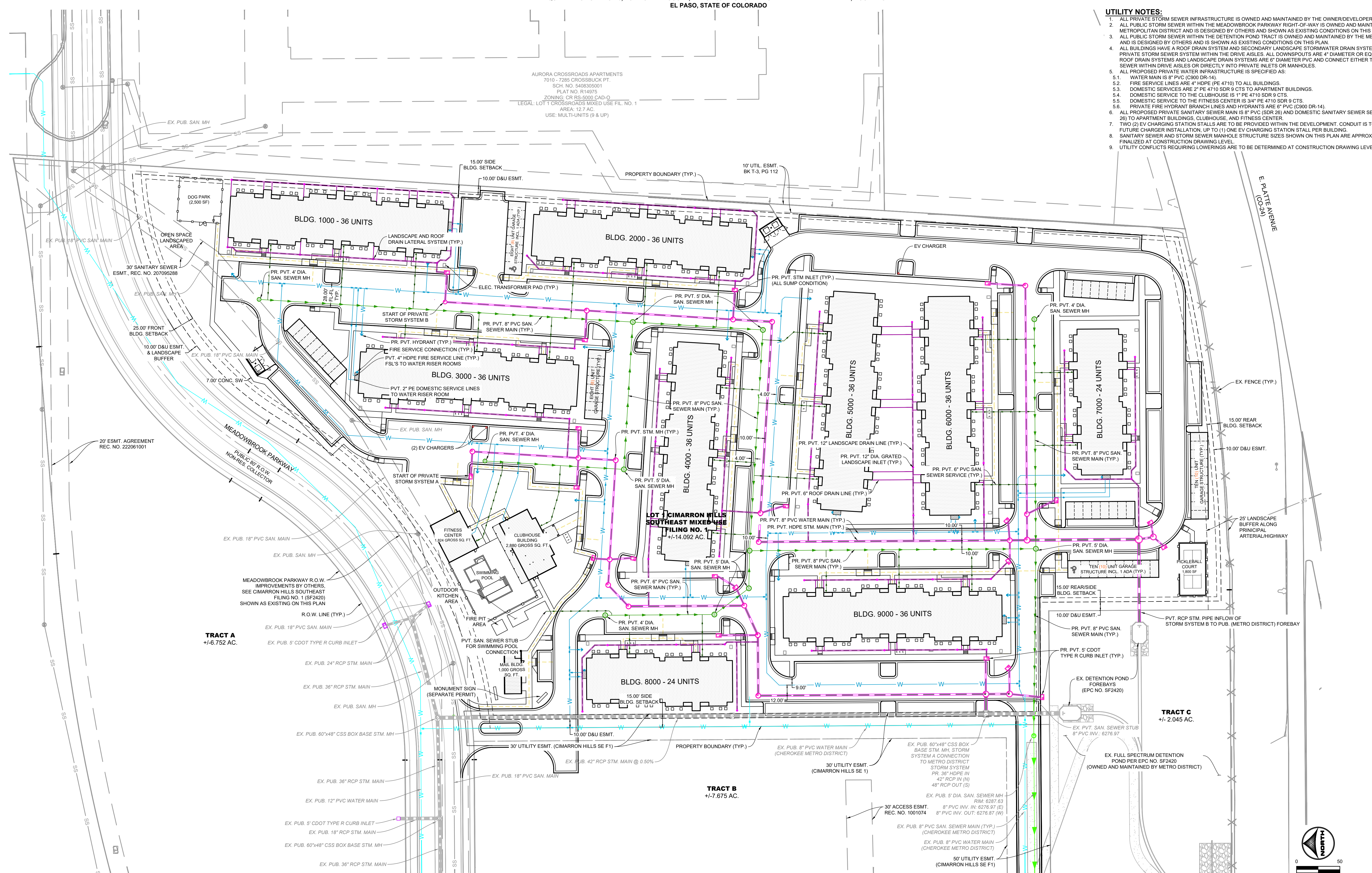
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AURORA CROSSROADS APARTMENTS
7010 - 7285 CROSSBUCK PT.
SCH. NO. 540305001
PLAT NO. R14975
ZONING: CR RS-5000 CAD-0
LEGAL: LOT 1 CROSSROADS MIXED USE FIL. NO. 1
AREA: 12.7 AC.
USE: MULTI-UNITS (9 & UP)

- UTILITY NOTES:**
1. ALL PRIVATE STORM SEWER INFRASTRUCTURE IS OWNED AND MAINTAINED BY THE OWNER/DEVELOPER OR THEIR ASSIGNS.
 2. ALL PUBLIC STORM SEWER WITHIN THE MEADOWBROOK PARKWAY RIGHT-OF-WAY IS OWNED AND MAINTAINED BY THE METROPOLITAN DISTRICT AND IS DESIGNED BY OTHERS AND SHOWN AS EXISTING CONDITIONS ON THIS PLAN.
 3. ALL PUBLIC STORM SEWER WITHIN THE DETENTION POND TRACT IS OWNED AND MAINTAINED BY THE METROPOLITAN DISTRICT AND IS DESIGNED BY OTHERS AND IS SHOWN AS EXISTING CONDITIONS ON THIS PLAN.
 4. ALL BUILDINGS HAVE A ROOF DRAIN SYSTEM AND SECONDARY LANDSCAPE STORMWATER DRAIN SYSTEM THAT CONNECT TO THE PRIVATE STORM SEWER SYSTEM WITHIN THE DRIVE AISLES. ALL DOWNSPOILTS ARE 6" DIAMETER OR EQUIVALENT CAPACITY. ALL ROOF DRAIN SYSTEMS AND LANDSCAPE DRAIN SYSTEMS ARE 6" DIAMETER PVC AND CONNECT EITHER TO PRIVATE RCP STORM SEWER WITHIN DRIVE AISLES OR DIRECTLY INTO PRIVATE INLETS OR MANHOLES.
 5. ALL PROPOSED PRIVATE WATER INFRASTRUCTURE IS SPECIFIED AS:
 - 5.1. WATER MAIN IS 8" PVC (C900 DR-14).
 - 5.2. FIRE SERVICE LINES ARE 4" HDPE (PE 4710) TO ALL BUILDINGS.
 - 5.3. DOMESTIC SERVICES ARE 2" PE 4710 SDR 9 CTS TO APARTMENT BUILDINGS.
 - 5.4. DOMESTIC SERVICE TO THE CLUBHOUSE IS 1" PE 4710 SDR 9 CTS.
 - 5.5. DOMESTIC SERVICE TO THE FITNESS CENTER IS 3/4" PE 4710 SDR 9 CTS.
 - 5.6. PRIVATE FIRE HYDRANT BRANCH LINES AND HYDRANTS ARE 6" PVC (C900 DR-14).
 6. ALL PROPOSED PRIVATE SANITARY SEWER MAIN IS 8" PVC (SDR 26) AND DOMESTIC SANITARY SEWER SERVICES ARE 6" PVC (SDR 26) TO APARTMENT BUILDINGS, CLUBHOUSE, AND FITNESS CENTER.
 7. TWO (2) EV CHARGING STATION STALLS ARE TO BE PROVIDED WITHIN THE DEVELOPMENT. CONDUIT IS TO BE INSTALLED FOR FUTURE CHARGER INSTALLATION, UP TO (1) ONE EV CHARGING STATION STALL PER BUILDING.
 8. SANITARY SEWER AND STORM SEWER MANHOLE STRUCTURE SIZES SHOWN ON THIS PLAN ARE APPROXIMATE AND ARE TO BE FINALIZED AT CONSTRUCTION DRAWING LEVEL.
 9. UTILITY CONFLICTS REQUIRING LOWERINGS ARE TO BE DETERMINED AT CONSTRUCTION DRAWING LEVEL.



TRACT A
+/-6.752 AC.

TRACT B
+/-7.675 AC.

TRACT C
+/-2.045 AC.

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APPROVED: RDL JOB NUMBER: 2502477
CAD DATE: 4/28/2026
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BAR IS ONE INCH ON OFFICIAL DRAWINGS.
0" = 1"
IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.

NO.	DATE	BY	REVISION DESCRIPTION

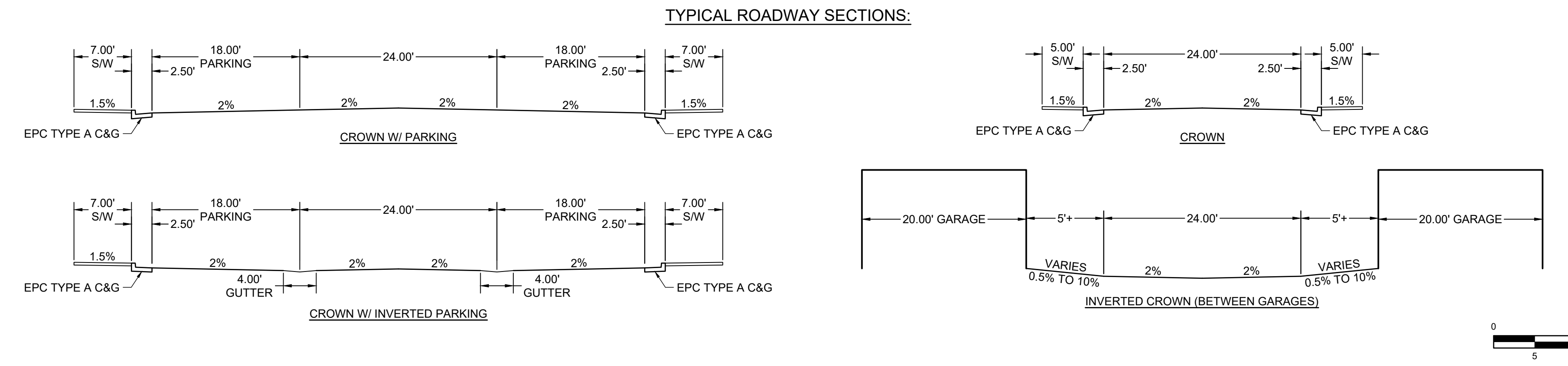
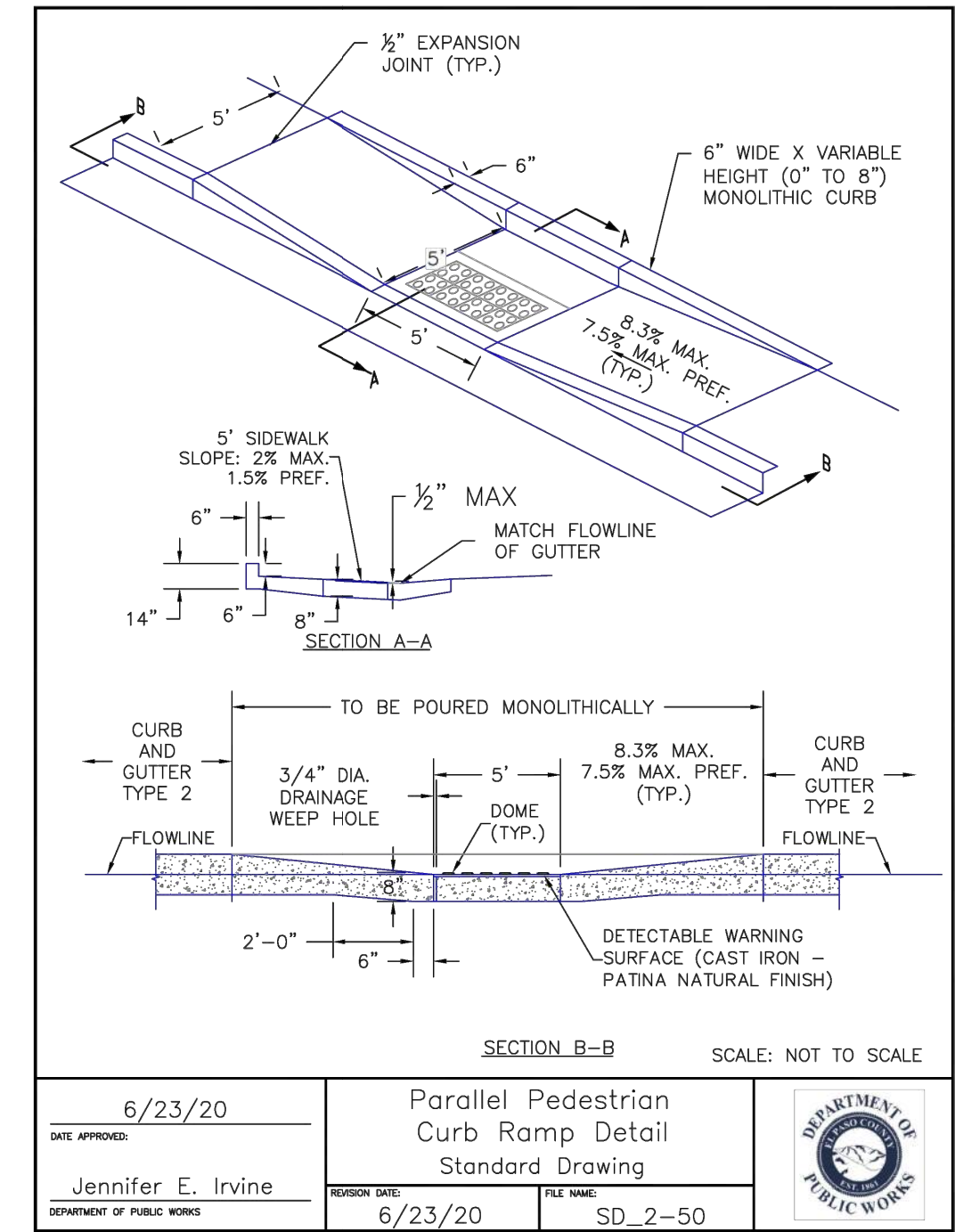
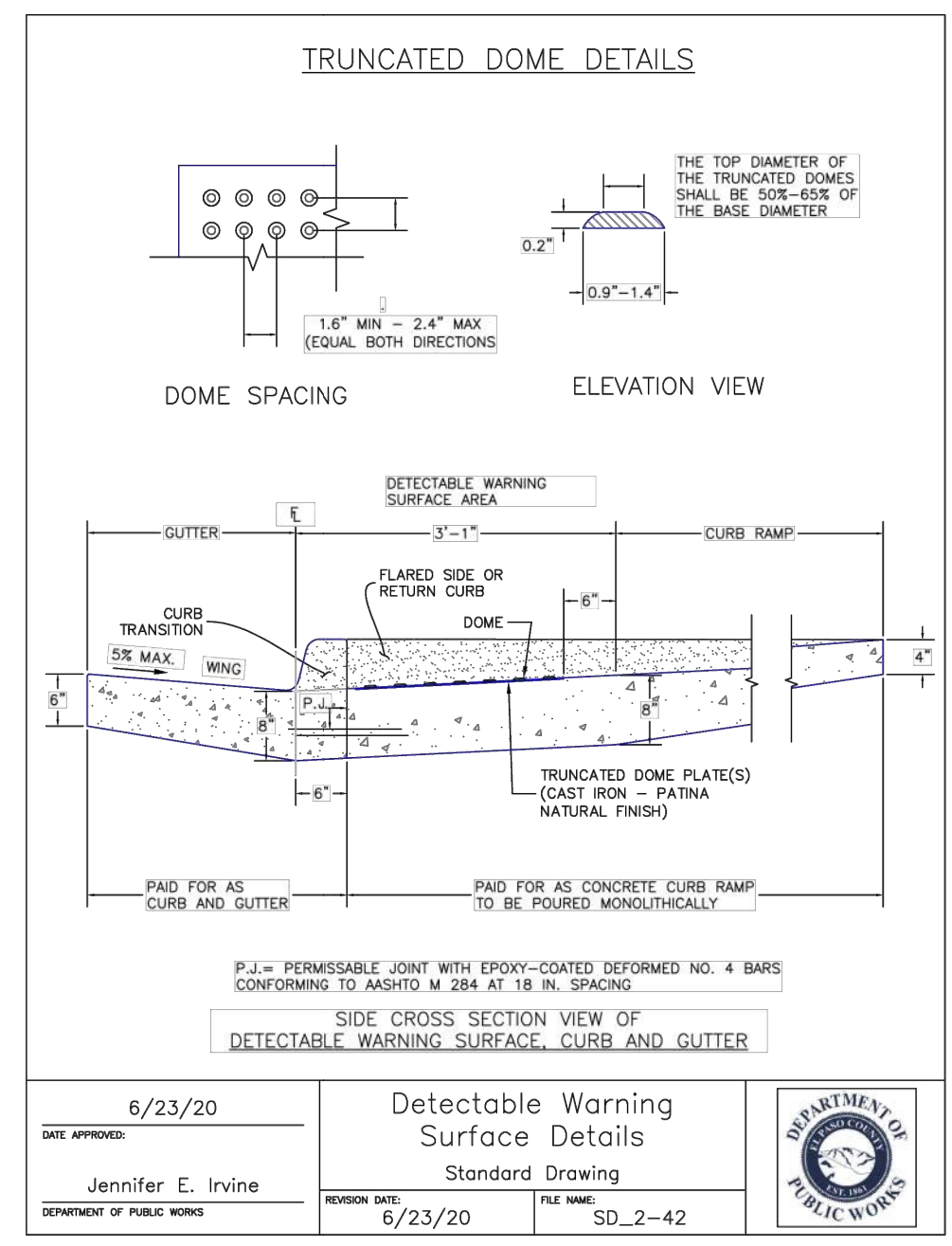
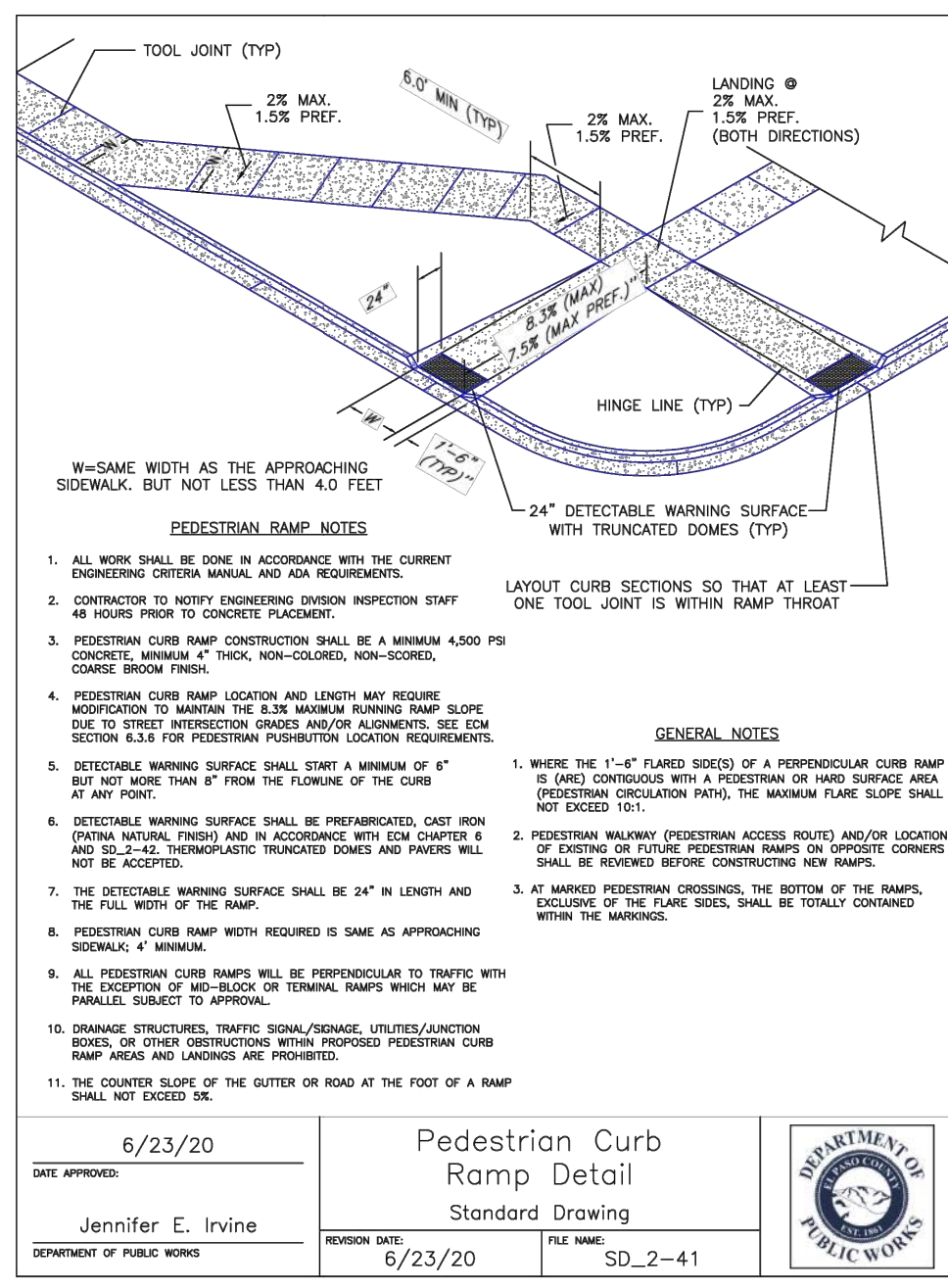
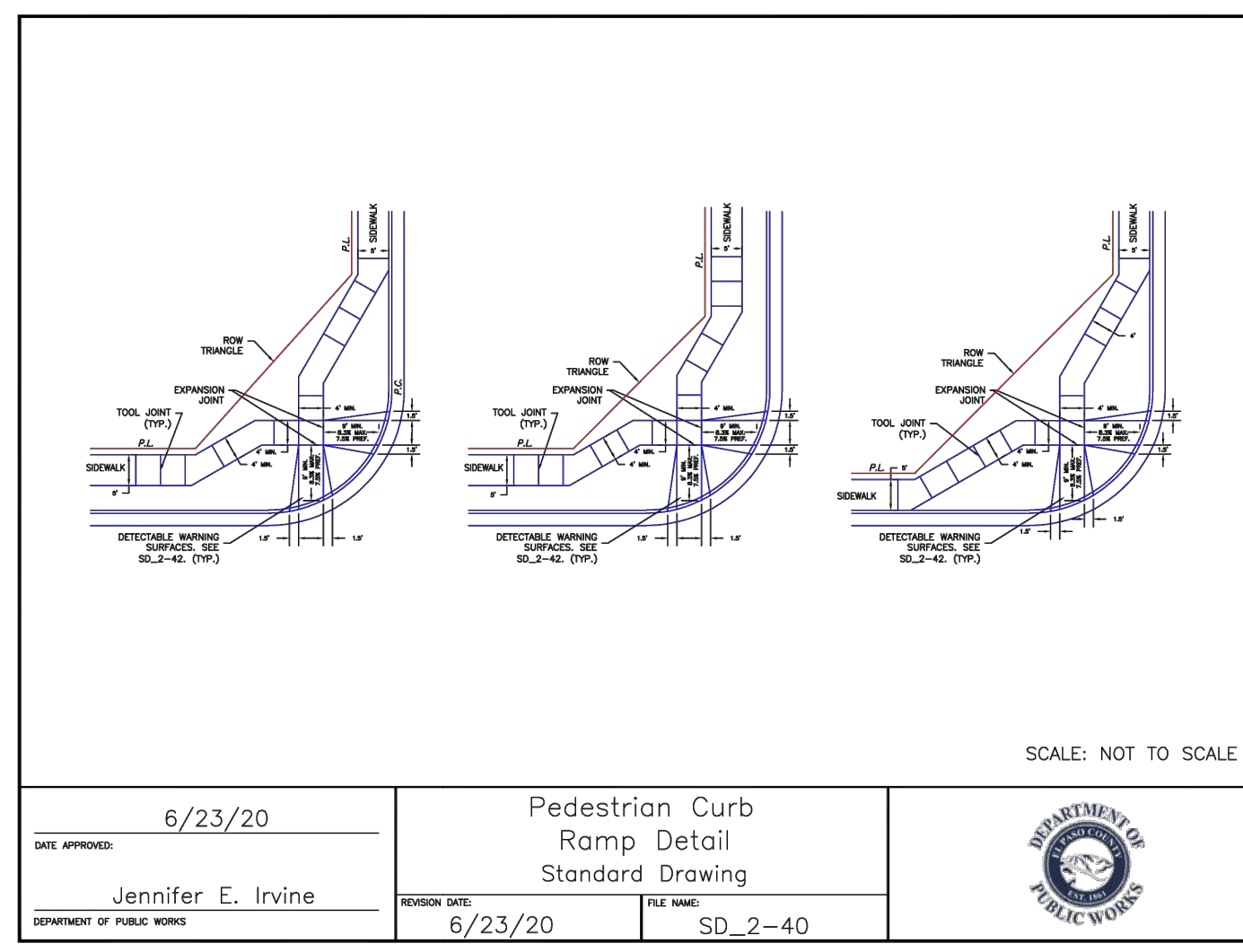
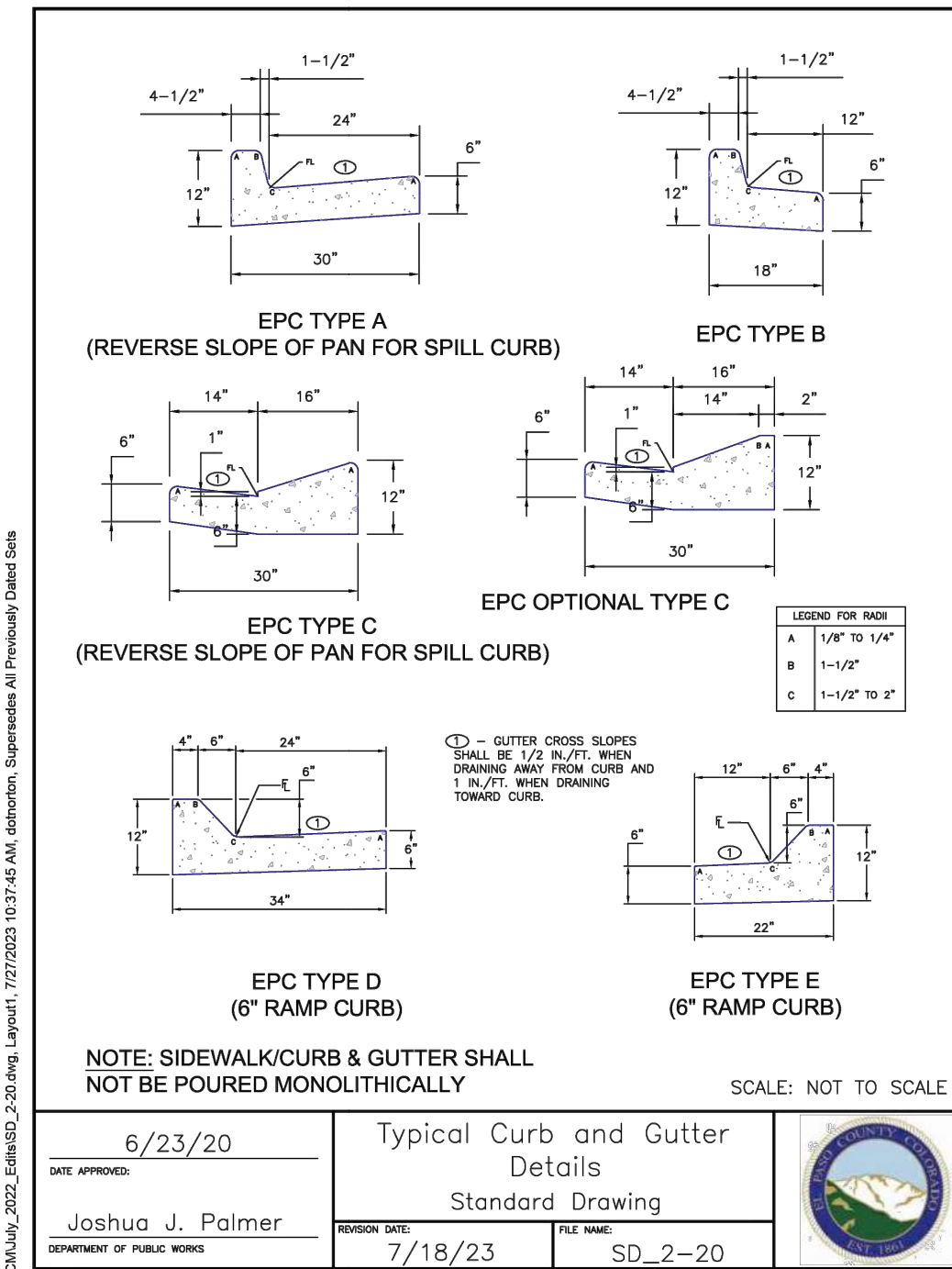
HRGreen
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1975 RESEARCH PARKWAY SUITE 160
COLORADO SPRINGS, CO 80920
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HILLPOINTE APARTMENTS AT PETERSON
HILLPOINTE, LLC.
COLORADO SPRINGS, EL PASO COUNTY, COLORADO

SITE DEVELOPMENT PLAN
UTILITY PLAN

SHEET
UT
4

DOMBROWSKI, COLIN, 4/28/2026 11:00 AM



NOTE: SECTIONS MAY BE A MIX OF TYPICAL SECTIONS, JOINED AT ROADWAY CENTERLINE

ALL ROADWAY SECTIONS ARE ONE OF THE FOLLOWING:

SECTION 1:
 4" HMA (2 - 2" LIFTS) OVER 6" CLASS 6 AGGREGATE BASE COURSE OVER MIN. 12" COMPACTED SUBGRADE

SECTION 2:
 3" PORTLAND CEMENT CONCRETE PAVEMENT OVER 6" CLASS 6 AGGREGATE BASE COURSE OVER MIN. 12" COMPACT SUBGRADE

SECTION 3:
 ADA COMPLIANT CONCRETE PAVERS (UNI-LOCK OR EQUIV.) (TYP. 2.75" THICKNESS), OVER MANUFACTURER'S RECOMMENDED SECTION (SAND AND AGGREGATE), OVER 6" CLASS 6 AGGREGATE BASE COURSE, OVER MIN. 12" COMPACTED SUB-GRADE

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APPROVED: RDL	JOB NUMBER: 2502477	0
CAD DATE: 4/28/2026		IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.
CAD FILE: J:\2025\2502477\CAD\DWG\ICSDP\Details		

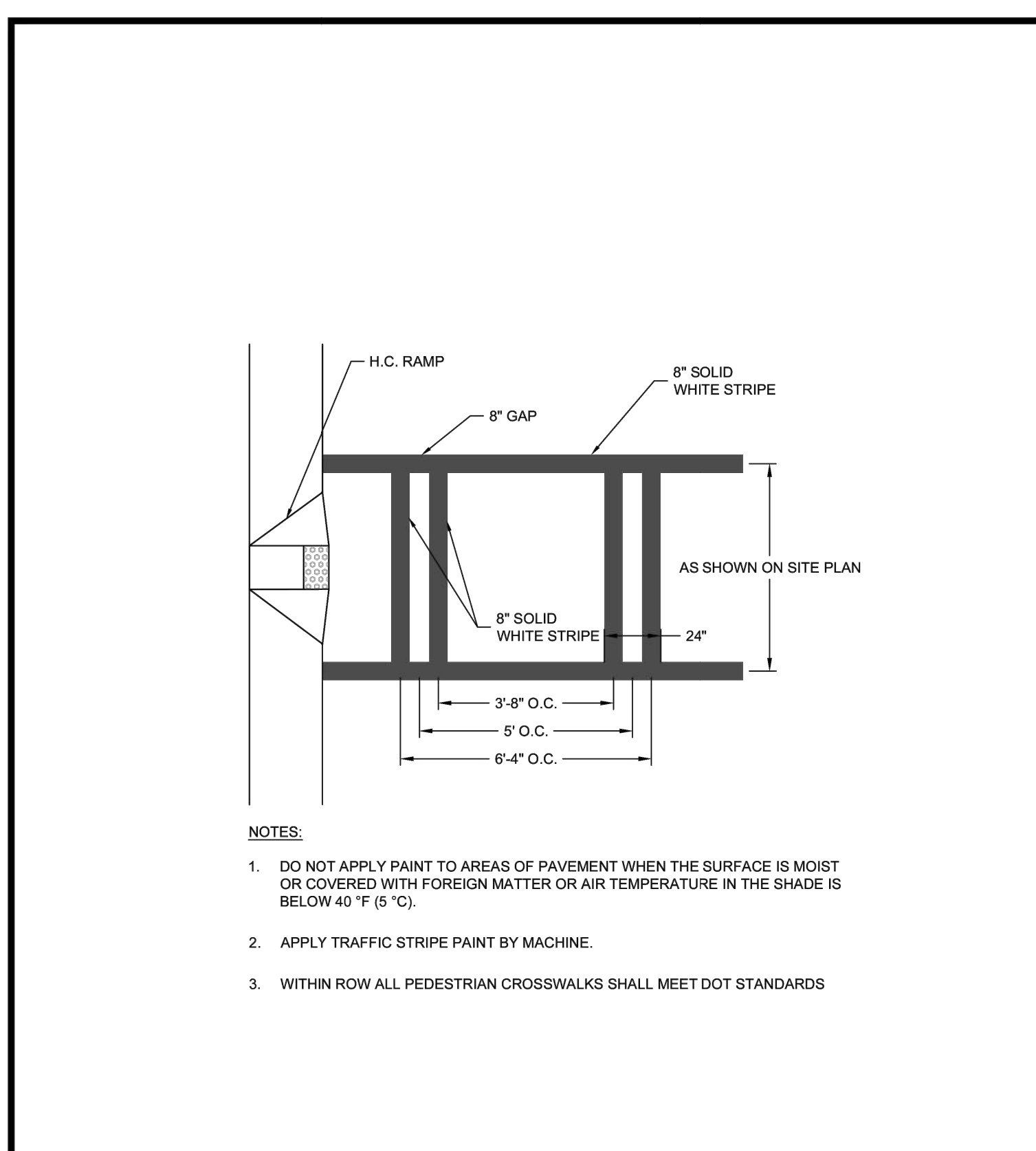
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 HILLPOINTE, LLC.
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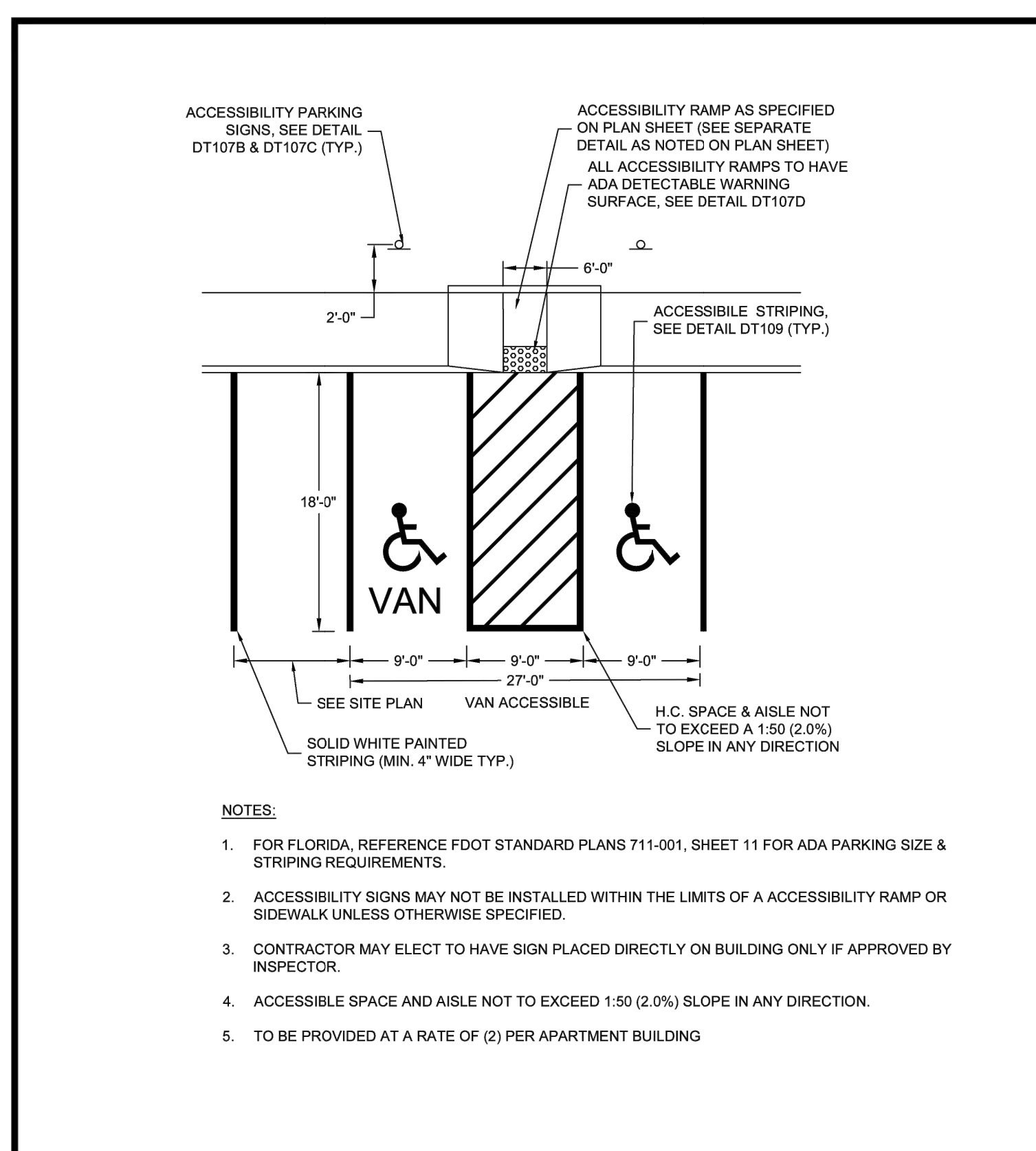
SITE DEVELOPMENT PLAN
 SITE DETAILS

PCD FILE NO.:
 SHEET
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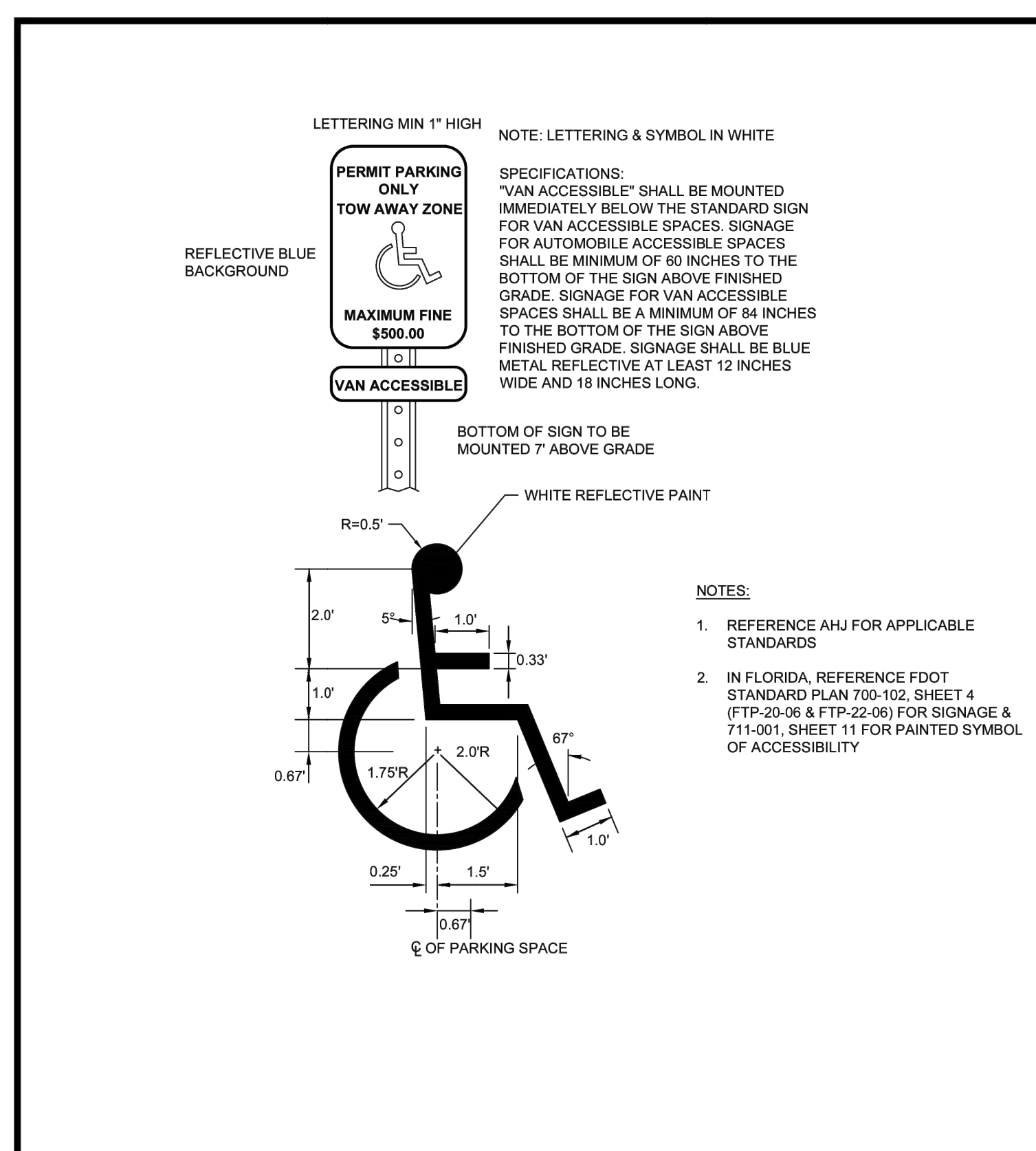
- NOTES:
- DO NOT APPLY PAINT TO AREAS OF PAVEMENT WHEN THE SURFACE IS MOIST OR COVERED WITH FOREIGN MATTER OR AIR TEMPERATURE IN THE SHADE IS BELOW 40 °F (5 °C).
 - APPLY TRAFFIC STRIPE PAINT BY MACHINE.
 - WITHIN ROW ALL PEDESTRIAN CROSSWALKS SHALL MEET DOT STANDARDS

SCALE:	NTS	DETAIL NAME:	PRIVATE CROSSWALK STRIPING
DATE:	07/01/2025		
#	REVISION DATE	DETAIL NO.:	HP-200
1	09/22/2025		
2			
3			
4			



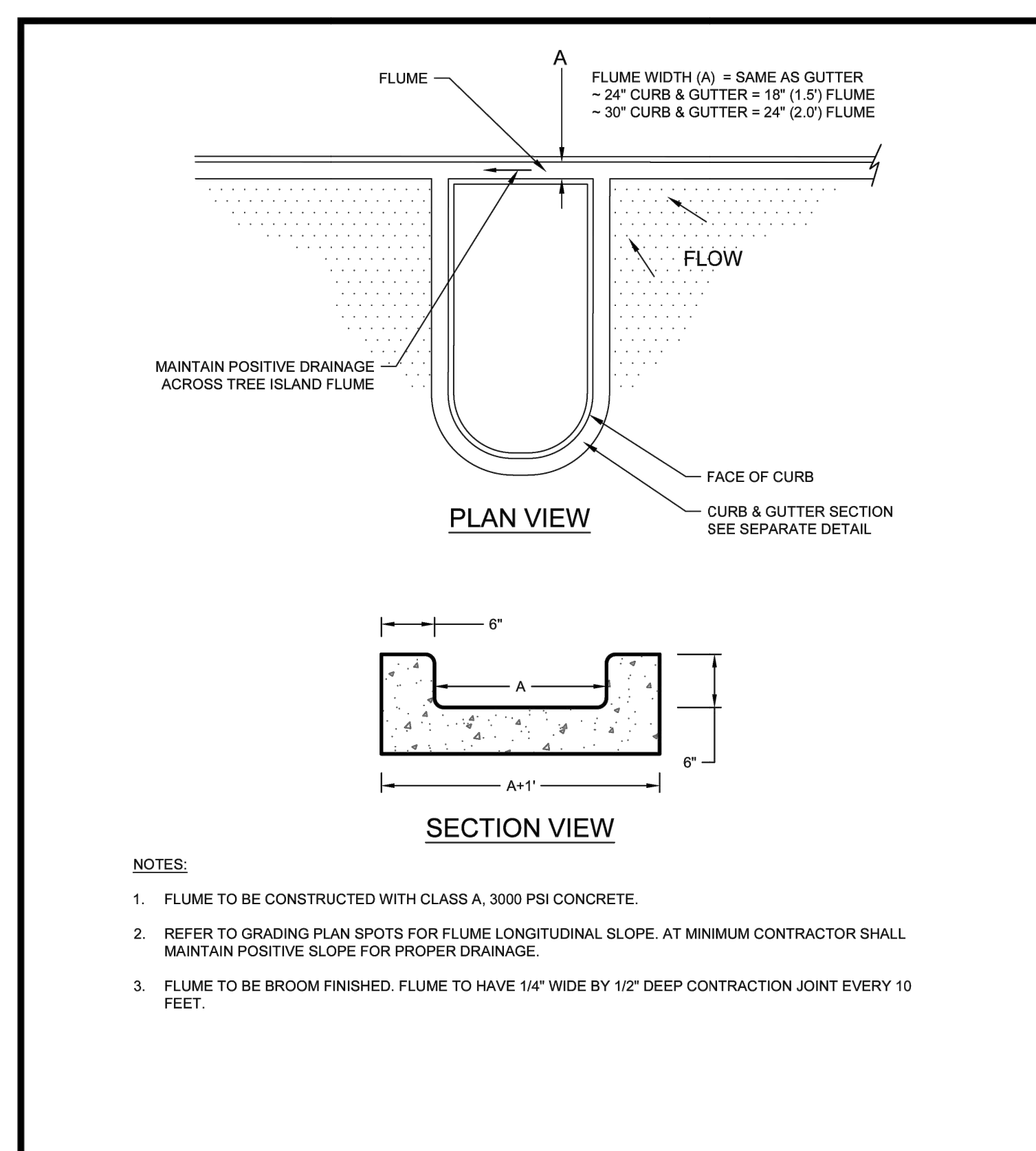
- NOTES:
- FOR FLORIDA, REFERENCE FDOT STANDARD PLANS 711-001, SHEET 11 FOR ADA PARKING SIZE & STRIPING REQUIREMENTS.
 - ACCESSIBILITY SIGNS MAY NOT BE INSTALLED WITHIN THE LIMITS OF AN ACCESSIBILITY RAMP OR SIDEWALK UNLESS OTHERWISE SPECIFIED.
 - CONTRACTOR MAY ELECT TO HAVE SIGN PLACED DIRECTLY ON BUILDING ONLY IF APPROVED BY INSPECTOR.
 - ACCESSIBLE SPACE AND AISLE NOT TO EXCEED 1:50 (2.0%) SLOPE IN ANY DIRECTION.
 - TO BE PROVIDED AT A RATE OF (2) PER APARTMENT BUILDING

SCALE:	NTS	DETAIL NAME:	ADA PARKING 9X9X9
DATE:	07/01/2025		
#	REVISION DATE	DETAIL NO.:	HP-204B
1	09/22/2025		
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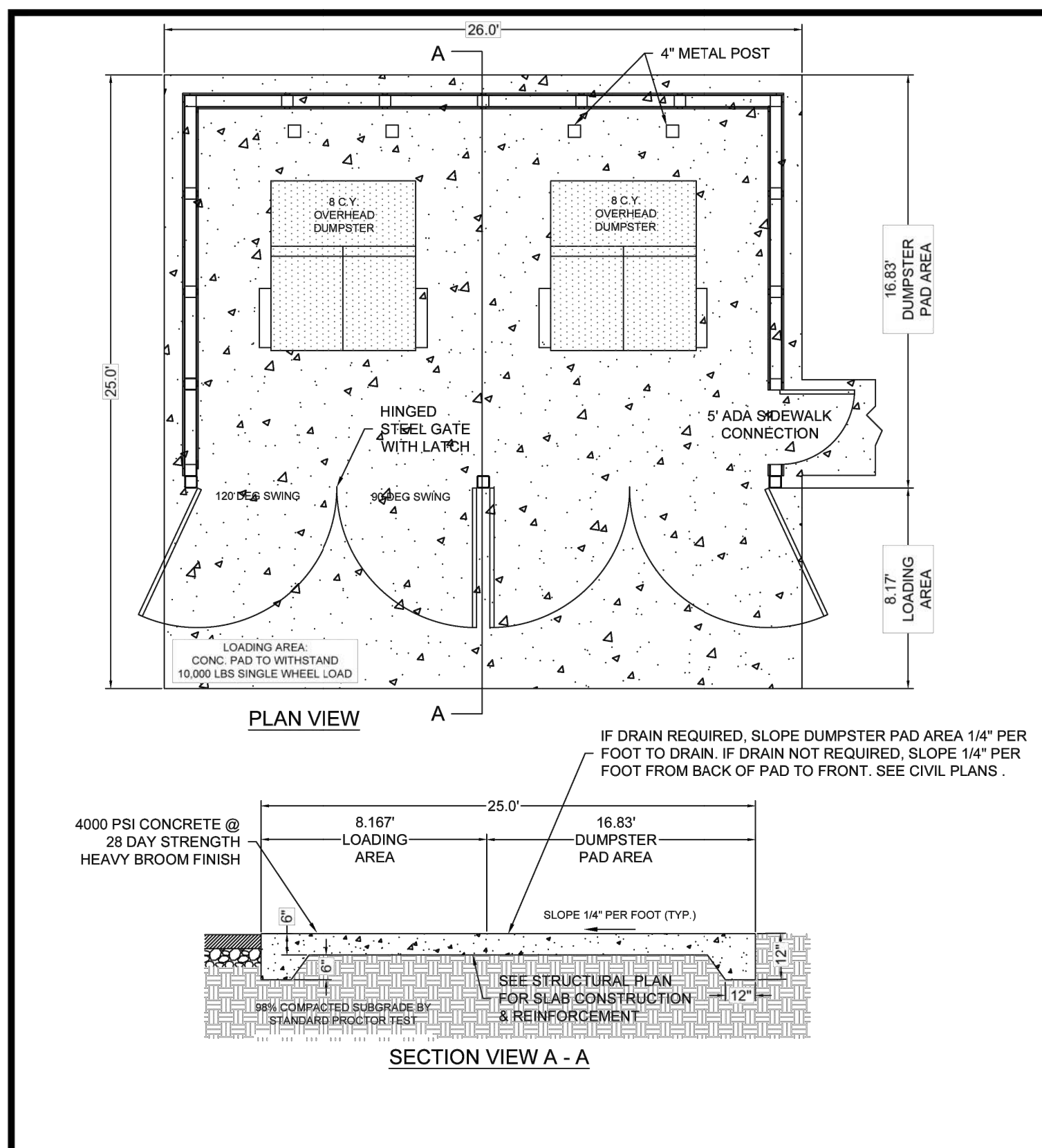
- NOTES:
- REFERENCE AHJ FOR APPLICABLE STANDARDS
 - IN FLORIDA, REFERENCE FDOT STANDARD PLAN 700-102, SHEET 4 (FTP-20-08 & FTP-22-09) FOR SIGNAGE & 711-001, SHEET 11 FOR PAINTED SYMBOL OF ACCESSIBILITY

SCALE:	NTS	DETAIL NAME:	ADA MARKING & SIGNAGE
DATE:	07/01/2025		
#	REVISION DATE	DETAIL NO.:	HP-204D
1	09/22/2025		
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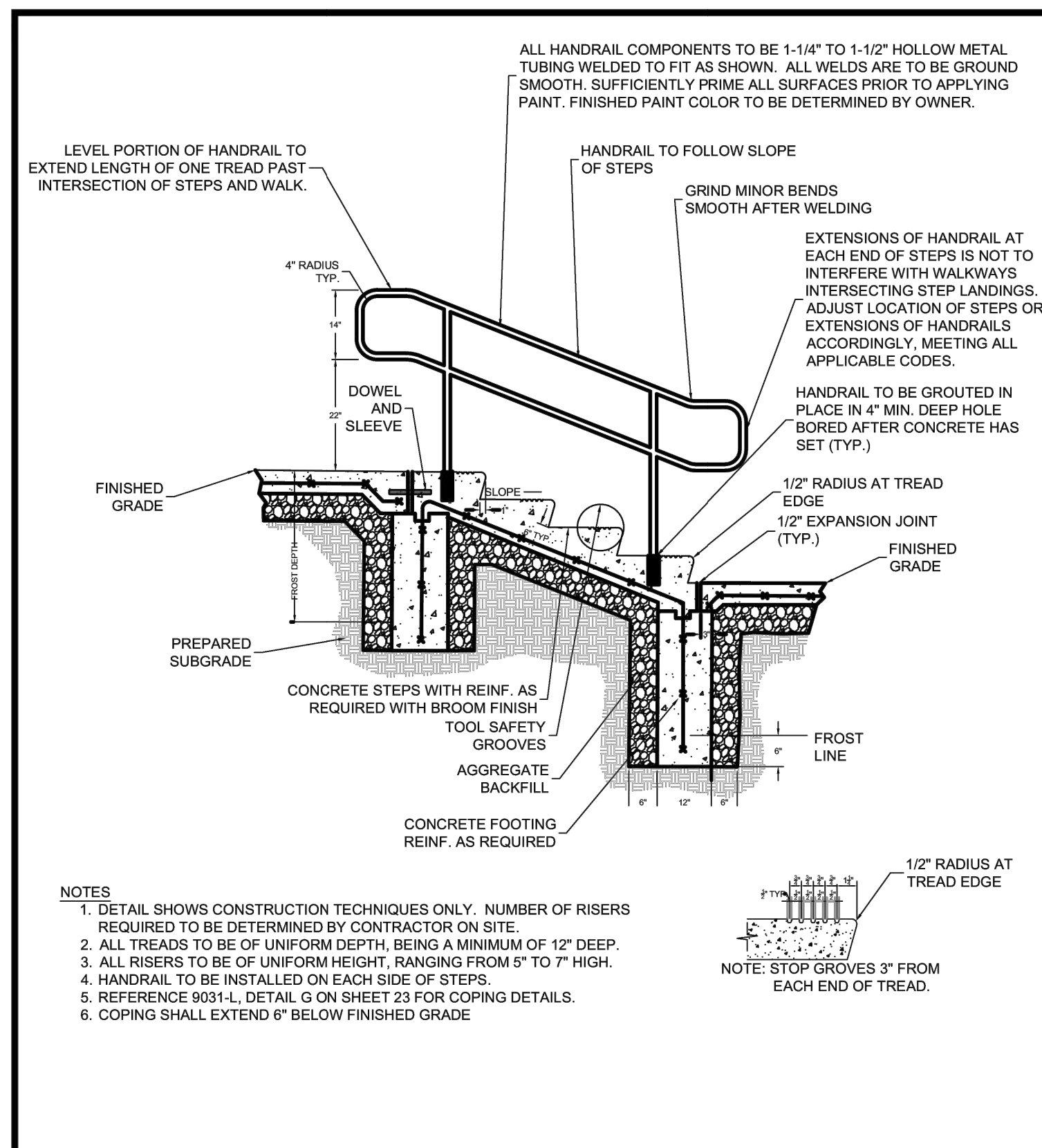
- NOTES:
- FLUME TO BE CONSTRUCTED WITH CLASS A, 3000 PSI CONCRETE.
 - REFER TO GRADING PLAN SPOTS FOR FLUME LONGITUDINAL SLOPE. AT MINIMUM CONTRACTOR SHALL MAINTAIN POSITIVE SLOPE FOR PROPER DRAINAGE.
 - FLUME TO BE BROOM FINISHED. FLUME TO HAVE 1/4\"/>

SCALE:	NTS	DETAIL NAME:	TREE ISLAND FLUME
DATE:	07/01/2025		
#	REVISION DATE	DETAIL NO.:	HP-205
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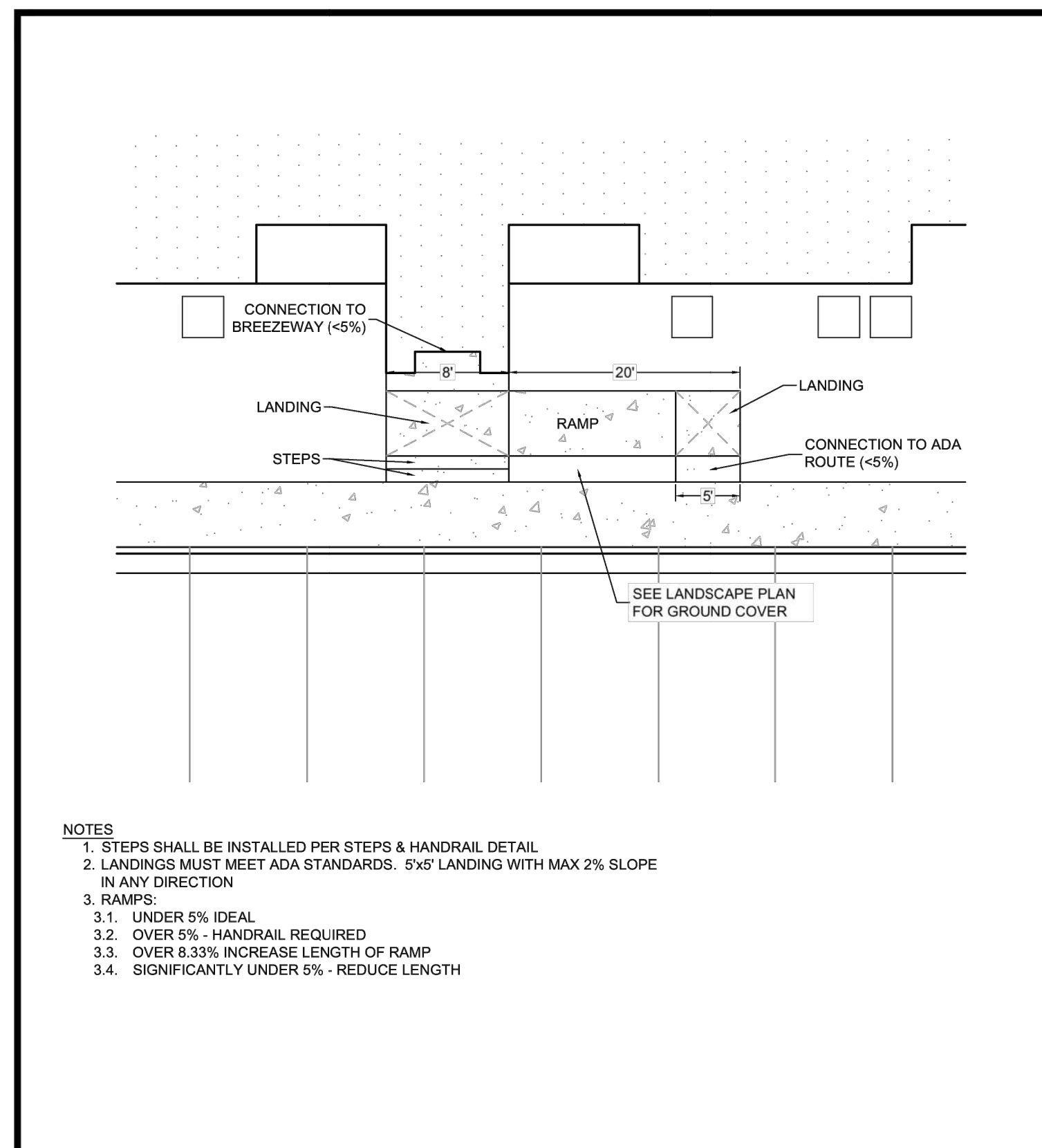
IF DRAIN REQUIRED, SLOPE DUMPSTER PAD AREA 1/4\"/>

SCALE:	NTS	DETAIL NAME:	DUMPSTER PAD
DATE:	07/01/2025		
#	REVISION DATE	DETAIL NO.:	HP-206
1	09/22/2025		
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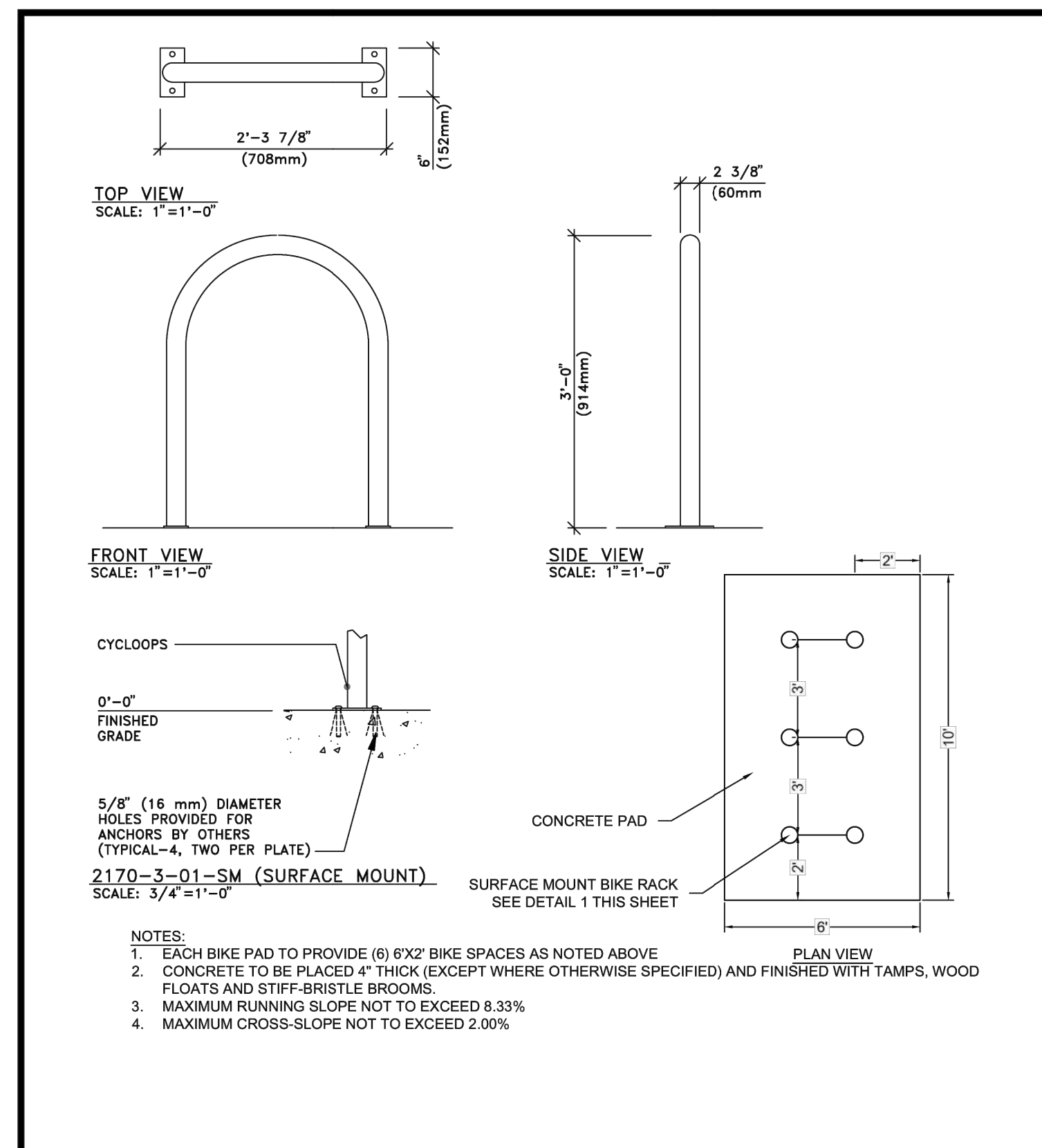
- NOTES:
- DETAIL SHOWS CONSTRUCTION TECHNIQUES ONLY. NUMBER OF RISERS REQUIRED TO BE DETERMINED BY CONTRACTOR ON SITE.
 - ALL TREADS TO BE OF UNIFORM DEPTH, BEING A MINIMUM OF 12\"/>

SCALE:	NTS	DETAIL NAME:	STEPS + HANDRAIL DETAIL
DATE:	07/01/2025		
#	REVISION DATE	DETAIL NO.:	HP-207
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- NOTES:
- STEPS SHALL BE INSTALLED PER STEPS & HANDRAIL DETAIL
 - LANDINGS MUST MEET ADA STANDARDS. 5'x5' LANDINGS WITH MAX 2% SLOPE IN ANY DIRECTION
 - RAMP:
 - UNDER 5% IDEAL
 - OVER 5% - HANDRAIL REQUIRED
 - OVER 8.33% INCREASE LENGTH OF RAMP
 - SIGNIFICANTLY UNDER 5% - REDUCE LENGTH

SCALE:	NTS	DETAIL NAME:	BREEZEWAY RAMPS
DATE:	07/01/2025		
#	REVISION DATE	DETAIL NO.:	HP-208
1	09/22/2025		
2			
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- NOTES:
- EACH BIKE PAD TO PROVIDE (6) 6\"/>

SCALE:	NTS	DETAIL NAME:	BIKE RACK
DATE:	07/01/2025		
#	REVISION DATE	DETAIL NO.:	HP-212
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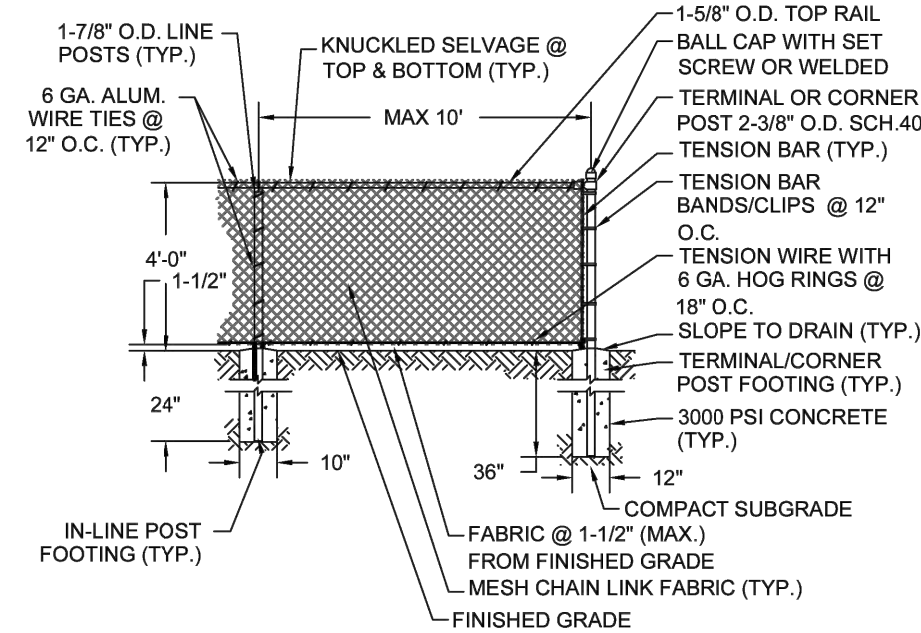
DRAWN BY: CMD JOB DATE: 4/22/2026 BAR IS ONE INCH ON OFFICIAL DRAWINGS.
 APPROVED: RDL JOB NUMBER: 2502477 0
 CAD DATE: 4/28/2026 IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.
 CAD FILE: J:\2025\2502477\CAD\DWG\ICSDP\Details

NO.	DATE	BY	REVISION DESCRIPTION

HRGreen
 HR GREEN - COLORADO SPRINGS
 1975 RESEARCH PARKWAY SUITE 160
 COLORADO SPRINGS, CO 80920
 PHONE: 719.300.4140
 FAX: 719.965.0044

HILLPOINTE APARTMENTS AT PETERSON
 HILLPOINTE, LLC.
 COLORADO SPRINGS, EL PASO COUNTY, COLORADO

SITE DEVELOPMENT PLAN
 SITE DETAILS
 SHEET DT 7
 PCD FILE NO.:



FENCE HEIGHT	USE
4'	POND / DOG PARK / RETAINING WALL
6'	
8'	PICKLE BALL COURT

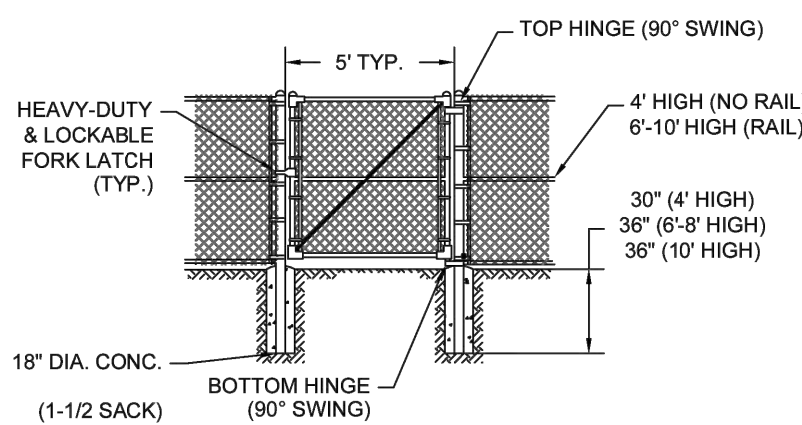
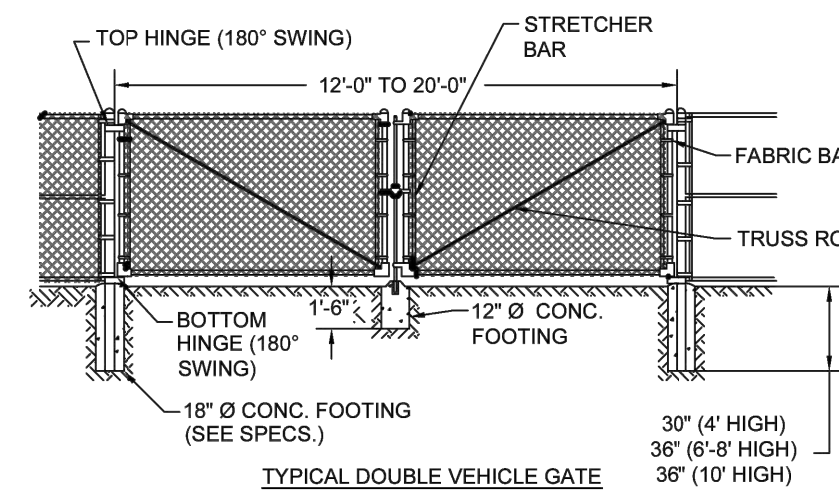
- NOTES:
- FABRIC SHALL BE 9 GA, 2" WEAVE AND WITH TOP AND BOTTOM SELVAGES KNUCKLED.
 - ALL CONCRETE FOOTINGS AROUND POSTS AT GROUND LINE SHALL BE MOUNDED & SLOPED FOR POSITIVE DRAINAGE.
 - FRAMING MEMBERS (INCLUDING POST, RAILS, BRACES, GATE FRAMES) SHALL BE TYPE 1 PIPE, SCHEDULE 40. POSTS AND RAILS SHALL HAVE CAPS TO EXCLUDE MOISTURE; RAILS SHALL BE ATTACHED TO POSTS W/ MALLEABLE RAIL END CAPS W/ 7/8" BEVELED STEEL BRACE BAND.
 - ALL MATERIALS (POSTS, RAILS, CAPS, TENSION BARS, BANDS, FABRIC, ETC.) SHALL HAVE AN OUTER PVC COATING IN ACCORDANCE WITH ASTM F 1043, 7. COLOR TO BE BLACK.

SCALE: NTS DETAIL NAME: CHAIN LINK FENCE

DATE: 07/01/2025

#	REVISION DATE
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HILLPOINTE HP-213A



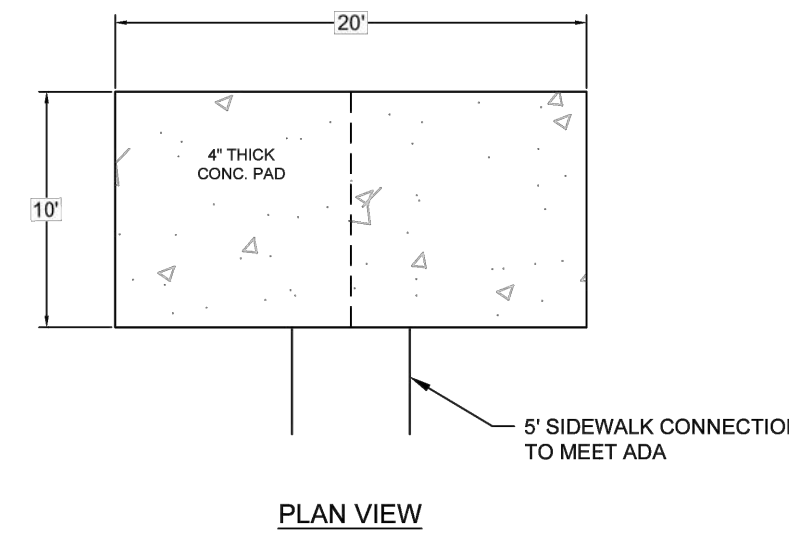
- NOTES:
- FENCE FABRIC SHALL BE SECURED TO GATE FRAMES WITH KNUCKLED SELVAGE ALONG ALL EDGES FOR ALL TYPES CHAIN LINK FENCE INSTALLATIONS.
 - ALL CONCRETE FOOTINGS AROUND POSTS AT GROUND LINE SHALL BE MOUNDED & SLOPED FOR POSITIVE DRAINAGE.
 - GATES TO BE PROVIDED WITH A LOCKABLE LATCH & LOCK KEY COPIES TO PROVIDED TO THE PUBLIC WORKS DEPARTMENT FOR STORMWATER MANAGEMENT FACILITY INSPECTION AND MAINTENANCE.

SCALE: NTS DETAIL NAME: CHAIN LINK GATE

DATE: 07/01/2025

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HILLPOINTE HP-213B



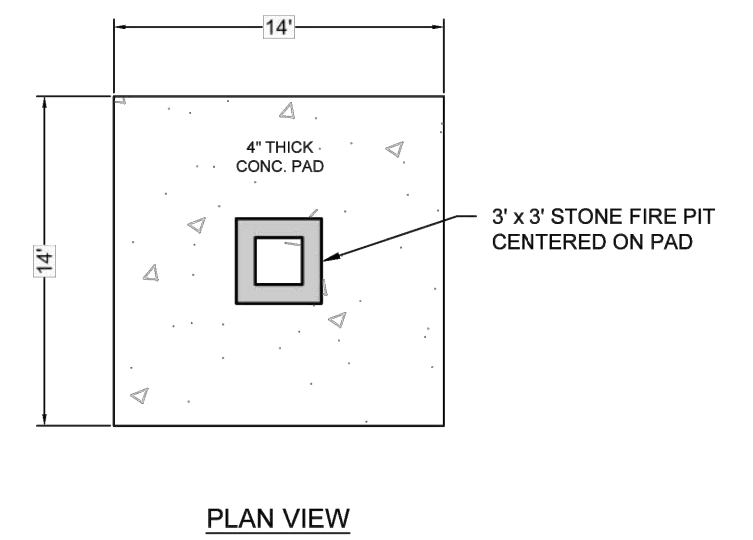
- NOTES:
- OUTDOOR KITCHEN SHALL BE LOCATED NEAR THE CLUBHOUSE.
 - KITCHEN PAD MUST BE A MINIMUM OF 15' FROM ANY BUILDING STRUCTURE.
 - KITCHEN MUST BE LOCATED ON AN ACCESSIBLE ROUTE.
 - THE 5' SIDEWALK CONNECTION MAY BE ADJUSTED AS NEEDED.
 - GRILL WITH COUNTER IS TYPICALLY CENTERED ALONG THE SHORT SIDE (EITHER SIDE).
 - BLACK COATED, METAL PERGOLA TO BE PROVIDED OVER PAD.

SCALE: NTS DETAIL NAME: AMENITY - OUTDOOR KITCHEN

DATE: 07/01/2025

#	REVISION DATE
1	09/22/2025
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HILLPOINTE HP-215



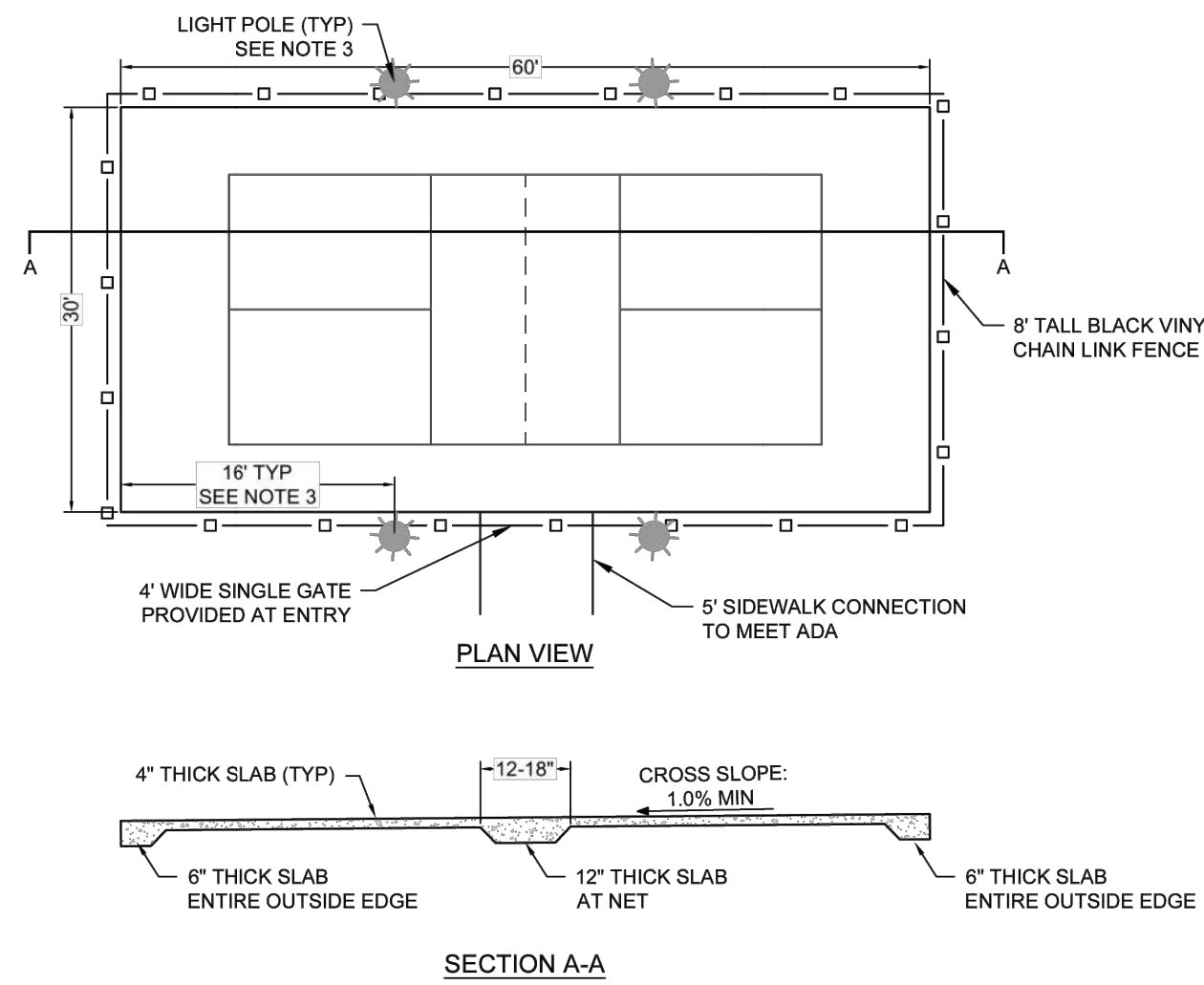
- NOTES:
- OUTDOOR FIRE PIT SHALL BE LOCATED IN AN OPEN AREA NEAR THE CLUBHOUSE.
 - CENTER OF FIRE PIT MUST BE A MINIMUM OF 15' FROM ANY BUILDING STRUCTURE, 15' FROM PAD PREFERRED.
 - NO SIDEWALK TO THE PIT AREA IS NECESSARY PER HILLPOINTE STANDARDS.

SCALE: NTS DETAIL NAME: AMENITY - OUTDOOR FIRE PIT

DATE: 07/01/2025

#	REVISION DATE
1	09/22/2025
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HILLPOINTE HP-216



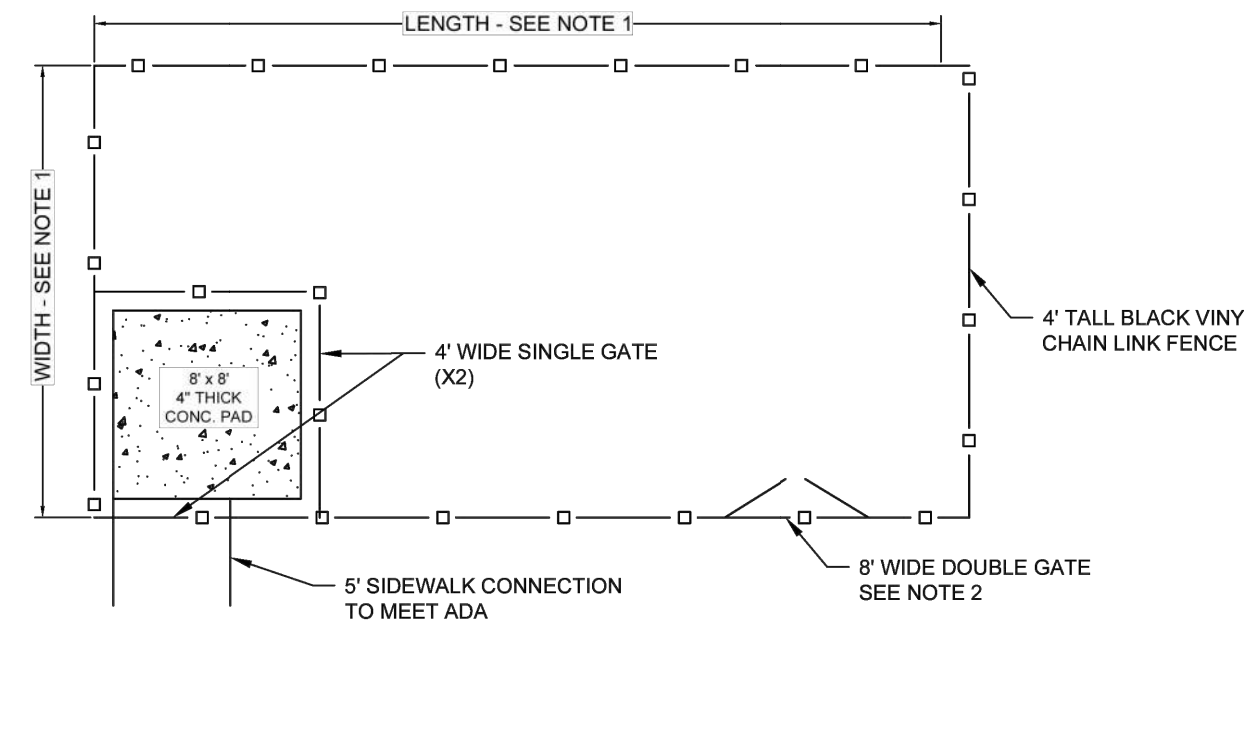
- NOTES:
- PICKLEBALL COURT IS A 30'x60' CONC. PAD WITH A 20'x44' PLAY AREA.
 - A 5' SIDEWALK CONNECTION MUST BE PROVIDED ON AN ACCESSIBLE ROUTE AND CAN CONNECT ANYWHERE ALONG THE PAD.
 - A MINIMUM OF 4 LIGHT POLES SHALL BE PROVIDED. REFER TO LIGHTING PLAN FOR FINAL LOCATION.
 - COURTS ARE TYPICALLY PLACED NEAR THE CLUBHOUSE AREA, BUT IS NOT REQUIRED.
 - COURTS TYPICALLY PLACED RUNNING NORTH/SOUTH DUE TO THE SUN BUT SHALL BE ROTATED BASED ON SITE CONSTRAINTS.
 - COURT TO BE SLOPED 1% ANY DIRECTION. SLOPE MUST BE CONSISTENT ACROSS COURT.

SCALE: NTS DETAIL NAME: AMENITY - PICKLEBALL COURT

DATE: 07/01/2025

#	REVISION DATE
1	09/22/2025
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HILLPOINTE HP-217



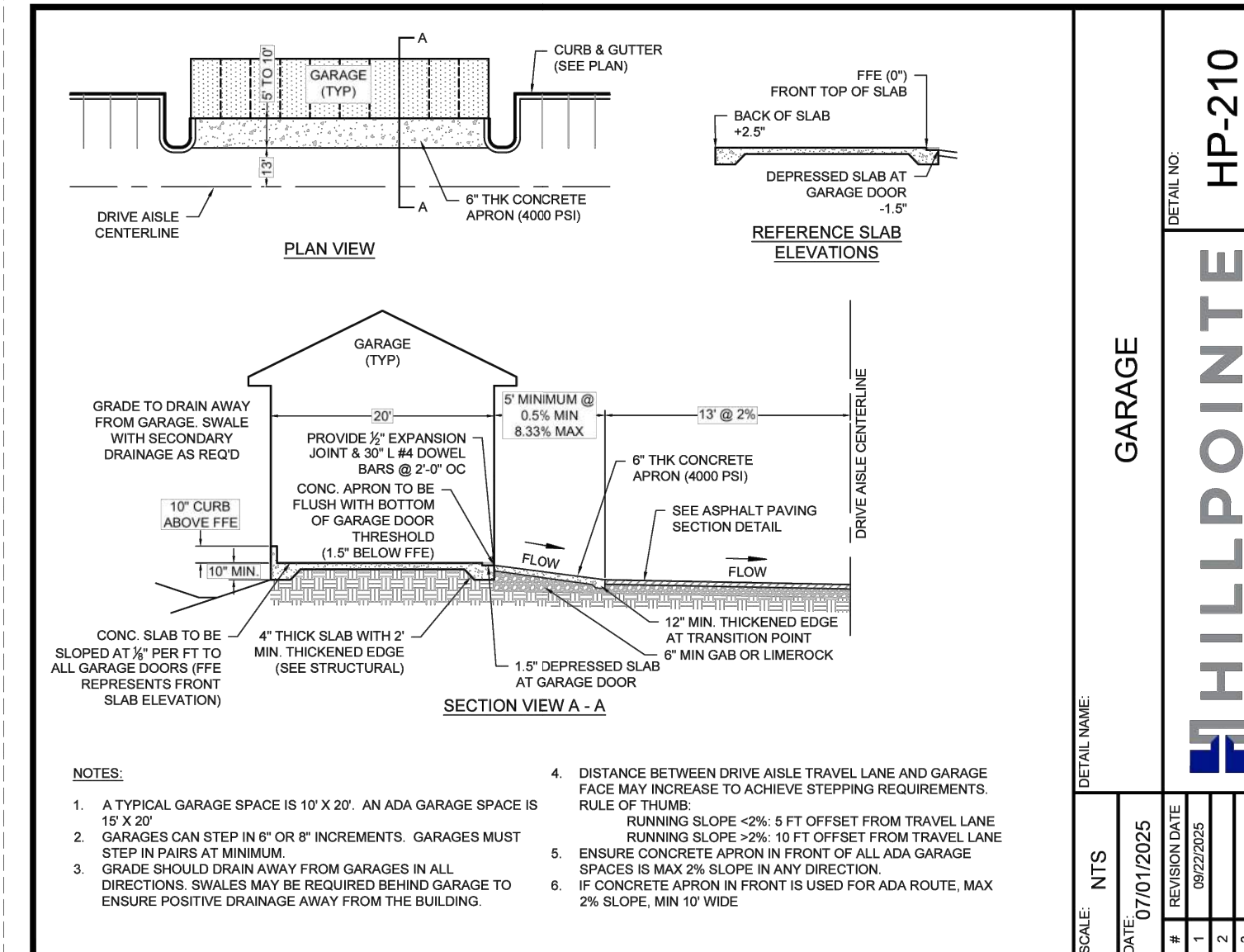
- NOTES:
- TYPICAL DIMENSIONS: 50' x 50', 50' x 75'
 - 8' WIDE DOUBLE GATE IS FOR MOWER ACCESS & SHALL BE LOCATED ADJACENT TO A TRAVERSABLE GRADE.

SCALE: NTS DETAIL NAME: AMENITY - DOG PARK

DATE: 07/01/2025

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HILLPOINTE HP-218



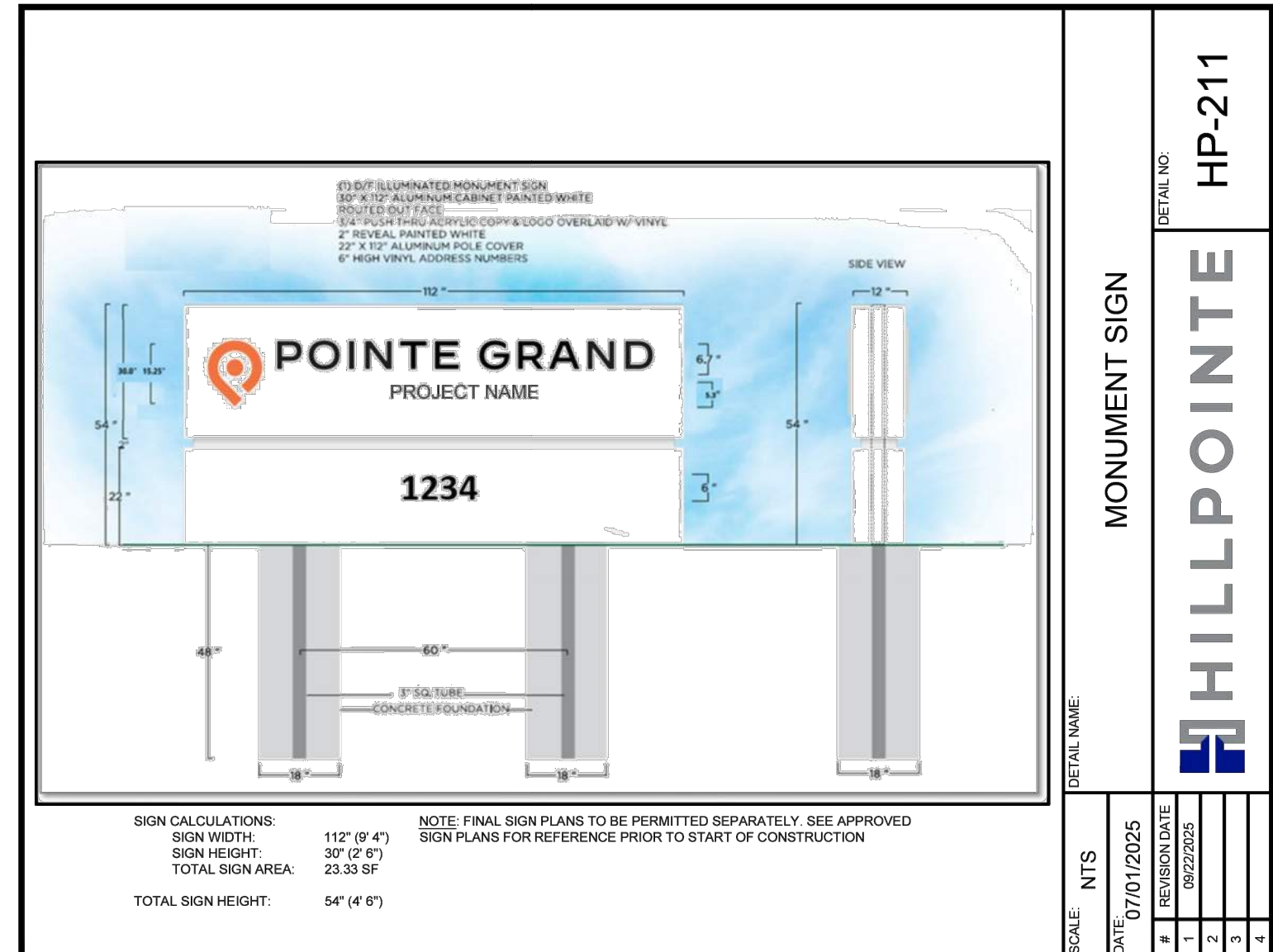
- NOTES:
- A TYPICAL GARAGE SPACE IS 10' X 20'. AN ADA GARAGE SPACE IS 15' X 20'.
 - GARAGES CAN STEP IN 6" OR 8" INCREMENTS. GARAGES MUST STEP IN PARS AT MINIMUM.
 - GRADE SHOULD DRAIN AWAY FROM GARAGES IN ALL DIRECTIONS. SWALES MAY BE REQUIRED BEHIND GARAGE TO ENSURE POSITIVE DRAINAGE AWAY FROM THE BUILDING.
 - DISTANCE BETWEEN DRIVE ABLE TRAVEL LANE AND GARAGE FACE MAY INCREASE TO ACHIEVE STEPPING REQUIREMENTS.
 - RUNNING SLOPE $\le 2\%$ 5' FT OFFSET FROM TRAVEL LANE.
 - ENSURE CONCRETE APRON IN FRONT OF ALL ADA GARAGE SPACES IS MAX 2% SLOPE IN ANY DIRECTION.
 - IF CONCRETE APRON IN FRONT IS USED FOR ADA ROUTE, MAX 2% SLOPE, MIN 10' WIDE.

SCALE: NTS DETAIL NAME: GARAGE

DATE: 07/01/2025

#	REVISION DATE
1	09/22/2025
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HILLPOINTE HP-210



- NOTE: FINAL SIGN PLANS TO BE PERMITTED SEPARATELY. SEE APPROVED SIGN PLANS FOR REFERENCE PRIOR TO START OF CONSTRUCTION.
- SIGN CALCULATIONS:
SIGN WIDTH: 112" (9' 4")
SIGN HEIGHT: 30" (2' 6")
TOTAL SIGN AREA: 3333 SF
TOTAL SIGN HEIGHT: 54" (4' 6")

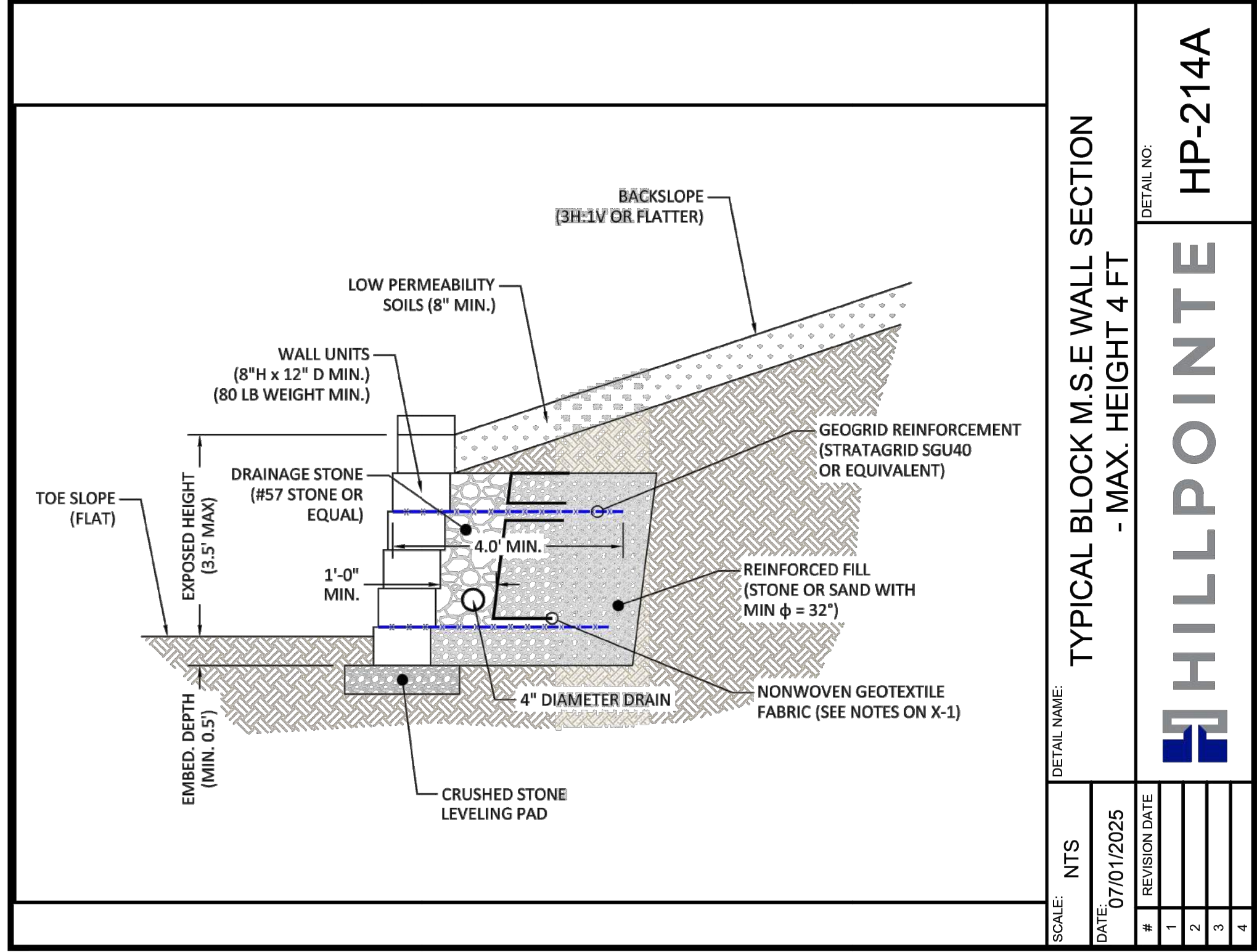
SCALE: NTS DETAIL NAME: MONUMENT SIGN

DATE: 07/01/2025

#	REVISION DATE
1	09/22/2025
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HILLPOINTE HP-211

NO.	DATE	BY	REVISION DESCRIPTION



TYPICAL BLOCK M.S.E WALL SECTION
- MAX. HEIGHT 4 FT

HILLPOINTE
HP-214A

SCALE: NTS
DATE: 07/01/2025
REVISION DATE

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GENERAL NOTES

- THE WALL CONTRACTOR AND/OR CEI (CONSTRUCTION ENGINEER INSPECTION) STAFF SHALL VERIFY ALL CONDITIONS, GRADES, DIMENSIONS, AND TOPOGRAPHIC INFORMATION PRIOR TO CONSTRUCTION. IF THE WALL CONTRACTOR AND/OR CEI STAFF DISCOVERS ANY ERRORS, OMISSIONS, OR DISCREPANCIES, THEY SHALL CONTACT THE DESIGN PROFESSIONAL WHO WILL THEN ISSUE INSTRUCTIONS AS TO HOW TO PROCEED.
- THE CONTRACTOR/OWNER SHALL BE RESPONSIBLE FOR OBSERVING ALL APPLICABLE SAFETY LAWS AND REGULATIONS, INCLUDING BUT NOT LIMITED TO SHORING, GUARDRAILS AND/OR FENCING, TEMPORARY EXCAVATION, LOCAL BUILDING CODES AND REGULATIONS, ETC.
- EXCAVATION FOR CURB AND GUTTER, FENCING, GUARDRAILS, UTILITIES, AND FOUNDATIONS SHALL BE COORDINATED WITH WALL CONSTRUCTION AND SHALL BE COMPLETED WITHOUT DAMAGE TO THE WALL SYSTEM.
- ALL WALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL LAWS AS WELL AS APPLICABLE AMERICAN CONCRETE INSTITUTE (ACI) STANDARDS.

WALL MATERIALS

- CONCRETE: $f'_c = 3,000$ PSI
SLUMP = 4-5 INCHES (BEFORE ADDITION OF WATER REDUCING ADJUTIVES)
AIR CONTENT = 5±1.5 PERCENT (AIR ENTRAINMENT IS NOT REQUIRED IN CONCRETE NOT EXPOSED)
- REINFORCING STEEL: $f_y = 60$ KSI (DEFORMED BARS)
FIELD BENDING OF BARS IS PERMITTED PROVIDED HEATING OF THE BARS IS NOT REQUIRED.
WELDING OF REINFORCING STEEL IS NOT PERMITTED.
- SURCHARGE AND LOADING: THE RETAINING WALLS WERE DESIGNED WITH A FLAT BACKSLOPE, FLAT TOE SLOPE AND 100 PSF LIVE LOAD SURCHARGE.
IF DISCREPANCIES ARE FOUND TO EXIST BETWEEN THE FIELD CONDITIONS AND THE DESIGN CONDITIONS, THE DESIGN ENGINEER SHALL BE NOTIFIED TO DETERMINE IF DESIGN MODIFICATIONS ARE REQUIRED PRIOR TO BEGINNING WALL CONSTRUCTION.
- SOIL PROPERTIES:
SOIL: EFFECTIVE FRICTION ANGLE $\phi = 28$ DEGREES
UNIT WEIGHT $\gamma = 125$ PCF
FOUNDATION: $FH (\frac{1}{2}) = 28$ DEGREES GAMMA $(\frac{1}{2}) = 125$ PCF $C = 0$ PSF
NOTES: ALL WALLS ALL WALLS
- ALLOWABLE BEARING PRESSURE: 1,500 PSF (TO BE EVALUATED PRIOR TO CONSTRUCTION BY TESTING COMPANY)

CONCRETE

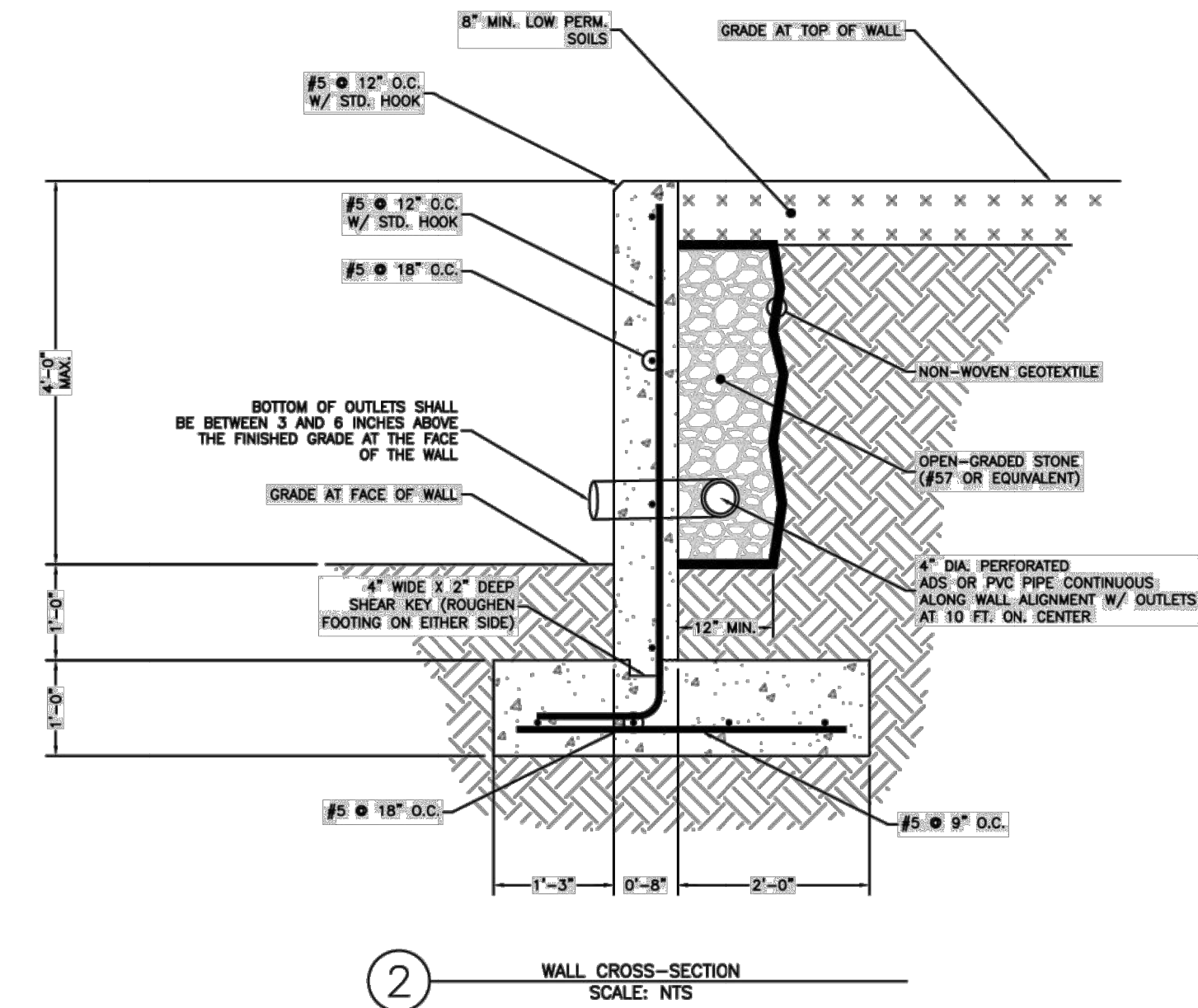
- CONCRETE CONSTRUCTION SHALL CONFORM TO ACI 318 AND ACI 301 AS WELL AS ALL LOCAL, STATE, AND FEDERAL CODES. IN THE EVENT OF CONFLICTING INFORMATION, THE MORE STRINGENT REQUIREMENT SHALL CONTROL.
- ALL CONCRETE CONSTRUCTION SHALL CONFORM TO ACI 301 (FINISHES), ACI 117 (TOLERANCES), ACI 347 (FORMWORK), ACI 308 (HOT WEATHER CONCRETING), AND ACI 305 (COLD WEATHER CONCRETING).
- ALL CONCRETE SHALL BE PROPORTIONED FOR A MAXIMUM WATER/CEMENTitious MATERIALS RATIO OF 0.45 AS WELL AS THE REQUIREMENTS LISTED ABOVE. IF WATER REDUCING ADJUTIVES ARE USED, THE MAXIMUM SLUMP AFTER THE ADDITION OF HIGH RANGE WATER REDUCER SHALL BE 8 INCHES.
- ALL CONCRETE SHALL BE CURED USING ONE OF THE METHODS IN ACI 301 FOR A MINIMUM OF 7 DAYS.
- BAR SPLICES SHALL BE CLASS B TENSION LAP SPLICES IN ACCORDANCE WITH ACI AND AASHTO STANDARDS.
- ALL HOOKS SHALL BE STANDARD HOOKS (90 DEGREES) PER ACI 318.
- SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL A MINIMUM OF 7 DAYS PRIOR TO STEEL FABRICATION.

DRAINAGE PROVISIONS

- DRAINAGE PROVISIONS SHALL INCLUDE A 4" PERFORATED ADS OR PVC PIPE, 4" DRAIN OUTLETS THROUGH THE WALL FACE, AND OPEN-GRADED STONE.
- THE 4" PERFORATED PIPE SHALL BE CONTINUOUS ALONG THE ENTIRE LENGTH OF THE WALL. THE PERFORATED PIPE SHALL BE CONNECTED TO 4" OUTLETS THROUGH THE WALL FACE WITH A MAXIMUM CENTER TO CENTER SPACING OF NOT MORE THAN 20 FEET. AT ALL LOW POINTS IN THE WALL AND A MINIMUM OF 2 OUTLETS PER WALL. THE PERFORATED PIPE SHALL ALSO DRAUGHT AT EACH END OF THE WALL. THE DRAIN OUTLET PIPES SHALL BE SLOPED AT 1% TOWARD THE WALL FACE.
- A DRAINAGE POCKET COMPRISED OF OPEN-GRADED STONE SHALL BE PLACED BEHIND THE WALL AND ENCOMPASSATE THE PERFORATED PIPE. THE DRAINAGE POCKET DIMENSIONS SHALL BE AS SHOWN IN THE DETAILS IN THIS SHEET.
- NON-WOVEN GEOTEXTILE FABRIC SHALL BE PLACED BETWEEN THE DRAINAGE STONE AND THE RETAINED SOILS.
- AT THE END OF EACH WORK DAY, THE GRADES ABOVE AND BELOW THE WALL SHALL BE SLOPED TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE CONSTRUCTION AREA. UNDER NO CIRCUMSTANCES SHALL SURFACE RUNOFF BE PERMITTED TO ENTER THE CONSTRUCTION AREA.
- THE GRADING CONTRACTOR SHALL PROVIDE MEANS AND METHODS TO PREVENT SURFACE RUNOFF FROM FLOWING OVER THE FACE OF THE WALL BOTH DURING AND AFTER CONSTRUCTION.
- EROSION PROTECTION SHALL BE PROVIDED ON THE GROUND SURFACE BOTH ABOVE AND BELOW THE WALL DURING AND AFTER CONSTRUCTION.

TABLE 1 - WALL JOINT SPACING REQUIREMENTS

CONSTRUCTION	CONSTRUCTION	EXPANSION
40 FEET MAX	WALL HEIGHT < 8 FEET, 36 WALL HEIGHT MAX FEET, LESS THAN OR EQUAL TO WALL HEIGHT	EVERY 4TH CONSTRUCTION JOINT
	25 FEET MAX JOINT SPACING WITHIN 8 FEET OF CORNERS	



WALL CROSS-SECTION
SCALE: NTS

TYPICAL CONCRETE M.S.E WALL
SECTION - MAX HEIGHT 4 FT

SCALE: NTS
DATE: 09/22/2025
REVISION DATE

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DETAIL NO:
HP-214B

HILLPOINTE

DRAWN BY: CMD JOB DATE: 4/22/2026
APPROVED: RDL JOB NUMBER: 2502477
CAD DATE: 4/28/2026
CAD FILE: J:\2025\2502477\CAD\DWG\IC\SDP\Details

BAR IS ONE INCH ON OFFICIAL DRAWINGS.
IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.

NO.	DATE	BY	REVISION DESCRIPTION

HRGreen
HR GREEN - COLORADO SPRINGS
1975 RESEARCH PARKWAY SUITE 160
COLORADO SPRINGS, CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

HILLPOINTE APARTMENTS AT PETERSON
HILLPOINTE, LLC.
COLORADO SPRINGS, EL PASO COUNTY, COLORADO

SITE DEVELOPMENT PLAN
SITE DETAILS

PCD FILE NO.:
SHEET DT 9