



LSC TRANSPORTATION CONSULTANTS, INC.  
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October 22, 2025

Mr. Craig Dossey, President  
Vertex Consulting Services  
5825 Delmonico Drive, Suite 320  
Colorado Springs, CO 80919

RE: 725 Peterson Road  
Multifamily Residential Development  
Noise Impact Study  
El Paso County, Colorado  
LSC #S254230

Dear Mr. Dossey:

In response to your request, LSC Transportation Consultants, Inc. has completed a detailed analysis of the noise impacts of US Highway (Hwy) 24 and Peterson Road on the proposed 725 Peterson Road multifamily residential development. The site is located to the north of US Hwy 24 and east of Peterson Road in El Paso County, Colorado. LSC has completed an evaluation of the noise exposure for submittal to El Paso County and the Colorado Department of Transportation (CDOT) in accordance with the Federal Highway Administration (FHWA) requirements.

LSC used the software program Traffic Noise Model Version 2.5 — developed by FHWA — to predict the noise levels at key locations (“receivers”) within the proposed development. An elevation of five feet was assumed for the height of the receivers. The receiver locations are shown in Figure 1 of this report.

The input data for the noise predictions included traffic volumes, roadway geometry, traffic control, the existing topographic elevations, the proposed site-grading plan, and the locations of the receivers. The analysis was completed using the projected 2045 afternoon peak-hour traffic volumes taken from the *Traffic Impact Study For 725 Peterson Multifamily* by SM Rocha, LLC dated September 2025. The traffic volumes were assumed to include 2.2% single-unit trucks and 2.6% combination trucks, based on information for the segment of US Hwy 24 adjacent to the site obtained from the CDOT website.

The results of the noise prediction were compared to the noise abatement criteria contained in Exhibit 1 of the *Colorado Department of Transportation Noise Analysis and Abatement Guidelines* dated September 21, 2020. The proposed multifamily residential development would be

considered a Category "B" land use. The threshold for exterior noise levels for Category B is 66 decibels Leq(h).

The results of the noise prediction show that in the year 2045, all locations have predicted noise levels that would not exceed 66 decibels Leq(h). The noise analysis inputs and outputs are attached.

\* \* \* \* \*

Please contact me if you have any questions or need further assistance.

Respectfully submitted,

LSC TRANSPORTATION CONSULTANTS, INC.

  
By: Kirstin D. Ferrin, P.E.  
Senior Transportation Engineer



KDF:jas

Enclosures: Figure 1  
Key Pages from Traffic Impact Study for 725 Peterson Multifamily  
Noise Analysis Inputs/Outputs

# Figure 1

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Approximate Scale  
1" = 200'

Peterson Rd

Meadowbrook Parkway

Receiver #3

Receiver #2

Receiver #1

Legend:

○ Noise Receiver Locations

Access B

US 24

# Noise Receiver Locations

Figure 1

725 Peterson Multifamily Noise Study (LSC# S254230)



# Key Pages

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# TRAFFIC IMPACT STUDY

For

**725 Peterson Multifamily  
Colorado Springs, Colorado**

September 2025

Prepared for:

Hillpointe, LLC  
3773 Cherry Creek Drive North, Suite 801 East Tower  
Denver, CO 80209

Prepared by:



**SM ROCHA, LLC**

TRAFFIC & TRANSPORTATION ENGINEERING CONSULTANTS

8700 Turnpike Drive, Suite 240  
Westminster, Colorado 80031  
(303) 458-9798

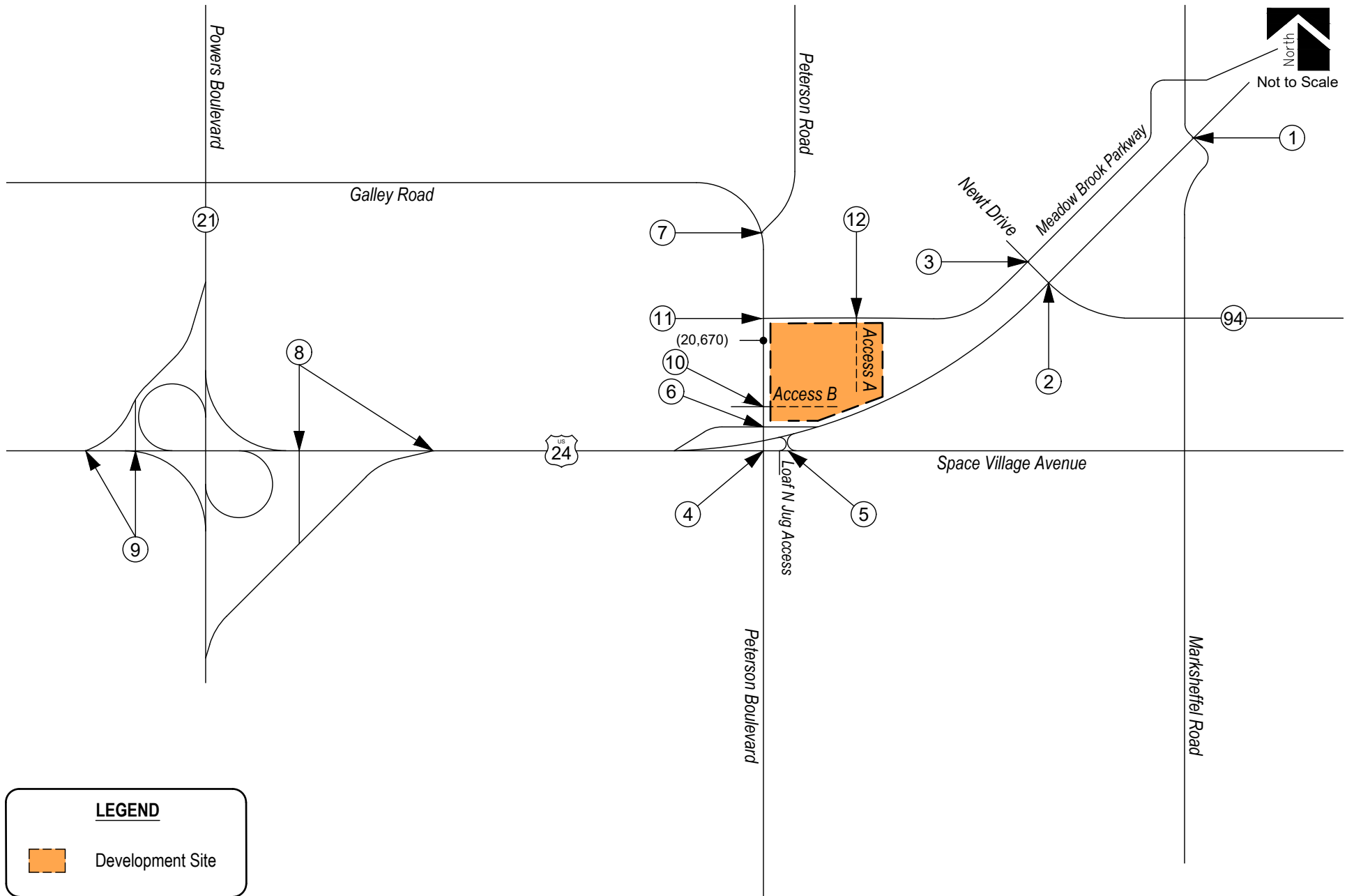
6 South Tejon Street, Suite 618  
Colorado Springs, Colorado 80903  
(719) 203-6639

Project Manager:  
Stephen Simon, PE

Project Engineer:  
Megan Bock, EIT

Engineer in Responsible Charge:  
Fred Lantz, PE



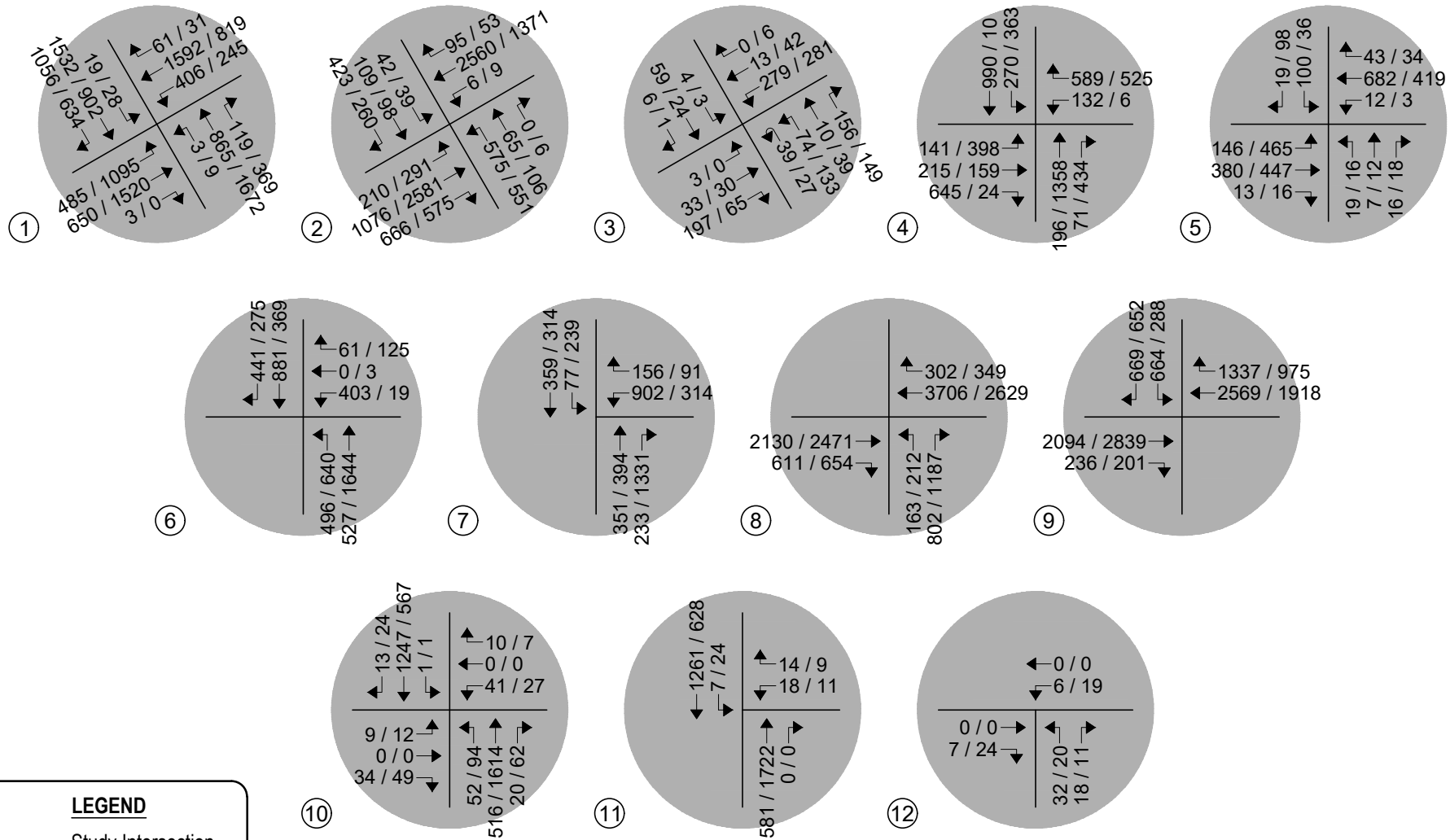


**Figure 17**  
**TOTAL TRAFFIC - YEAR 2045**  
 (ADT) : Average Daily Traffic



**725 PETERSON MULTIFAMILY**  
 Traffic Impact Study

**SM ROCHA, LLC**  
 Traffic & Transportation Engineering Consultants



**LEGEND**  
● Study Intersection Volumes

**Figure 18**  
**TOTAL TRAFFIC - YEAR 2045**  
Volumes  
AM / PM Peak Hour

# Noise Analysis Inputs/Outputs

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**RESULTS: SOUND LEVELS**

**725 Peterson Multifamily Development**

LSC Transportation Consultants, Inc						22 October 2025						
KDF						TNM 2.5						
						Calculated with TNM 2.5						
<b>RESULTS: SOUND LEVELS</b>												
<b>PROJECT/CONTRACT:</b>			725 Peterson Multifamily Development									
<b>RUN:</b>			2045 Total PM Peak Hour									
<b>BARRIER DESIGN:</b>			INPUT HEIGHTS						Average pavement type shall be used unless a State highway agency substantiates the use of a different type with approval of FHWA.			
<b>ATMOSPHERICS:</b>			68 deg F, 50% RH									
<b>Receiver</b>												
<b>Name</b>	<b>No.</b>	<b>#DUs</b>	<b>Existing LAeq1h</b>	<b>No Barrier LAeq1h Calculated</b>	<b>Crit'n</b>	<b>Increase over existing Calculated</b>	<b>Crit'n Sub'l Inc</b>	<b>Type Impact</b>	<b>With Barrier Calculated LAeq1h</b>	<b>Noise Reduction Calculated Goal Calculated minus Goal</b>		
			dBa	dBa	dBa	dB	dB		dBa	dB	dB	dB
Receiver1	1	1	0.0	65.9	66	65.9	10	----	65.9	0.0	8	-8.0
Receiver2	2	1	0.0	61.1	66	61.1	10	----	61.1	0.0	8	-8.0
Receiver3	3	1	0.0	57.1	66	57.1	10	----	57.1	0.0	8	-8.0
<b>Dwelling Units</b>		<b># DUs</b>	<b>Noise Reduction</b>									
			<b>Min</b>	<b>Avg</b>	<b>Max</b>							
			<b>dB</b>	<b>dB</b>	<b>dB</b>							
All Selected		3	0.0	0.0	0.0							
All Impacted		0	0.0	0.0	0.0							
All that meet NR Goal		0	0.0	0.0	0.0							

**INPUT: TRAFFIC FOR LAeq1h Volumes**

**725 Peterson Multifamily Development**

<b>LSC Transportation Consultants, Inc</b>		<b>22 October 2025</b>										
<b>KDF</b>		<b>TNM 2.5</b>										
<b>INPUT: TRAFFIC FOR LAeq1h Volumes</b>												
<b>PROJECT/CONTRACT:</b>		<b>725 Peterson Multifamily Development</b>										
<b>RUN:</b>		<b>2045 Total PM Peak Hour</b>										
<b>Roadway</b>	<b>Points</b>											
<b>Name</b>	<b>Name</b>	<b>No.</b>	<b>Segment</b>		<b>MTrucks</b>		<b>HTrucks</b>		<b>Buses</b>		<b>Motorcycles</b>	
			<b>Autos</b>		<b>V</b>	<b>S</b>	<b>V</b>	<b>S</b>	<b>V</b>	<b>S</b>	<b>V</b>	<b>S</b>
					veh/hr	mph	veh/hr	mph	veh/hr	mph	veh/hr	mph
SH 24 WB E/O Peterson Rd	point1	1	2077	55	48	55	57	55	0	0	0	0
	point3	3	2077	55	48	55	57	55	0	0	0	0
	point4	4	2077	55	48	55	57	55	0	0	0	0
	point5	5	2077	55	48	55	57	55	0	0	0	0
	point6	6	2077	55	48	55	57	55	0	0	0	0
	point7	7	2077	55	48	55	57	55	0	0	0	0
	point8	8	2077	55	48	55	57	55	0	0	0	0
	point2	2										
SH 24 WB W/O Peterson Rd	point9	9	1939	55	45	55	54	55	0	0	0	0
	point11	11	1939	55	45	55	54	55	0	0	0	0
	point12	12	1939	55	45	55	54	55	0	0	0	0
	point13	13	1939	55	45	55	54	55	0	0	0	0
	point14	14	1939	55	45	55	54	55	0	0	0	0
	point15	15	1939	55	45	55	54	55	0	0	0	0
	point16	16	1939	55	45	55	54	55	0	0	0	0
	point17	17	1939	55	45	55	54	55	0	0	0	0
	point18	18	1939	55	45	55	54	55	0	0	0	0
	point19	19	1939	55	45	55	54	55	0	0	0	0
	point20	20	1939	55	45	55	54	55	0	0	0	0
	point10	10										
SH 24 EB W/O Peterson Rd	point21	21	2921	55	68	55	81	55	0	0	0	0
	point24	24	2921	55	68	55	81	55	0	0	0	0
	point25	25	2921	55	68	55	81	55	0	0	0	0

**INPUT: TRAFFIC FOR LAeq1h Volumes**

**725 Peterson Multifamily Development**

	point26	26	2921	55	68	55	81	55	0	0	0	0
	point27	27	2921	55	68	55	81	55	0	0	0	0
	point28	28	2921	55	68	55	81	55	0	0	0	0
	point29	29	2921	55	68	55	81	55	0	0	0	0
	point30	30	2921	55	68	55	81	55	0	0	0	0
	point31	31	2921	55	68	55	81	55	0	0	0	0
	point22	22										
SH 24 EB Between Ramps Peterson Rd	point32	32	2794	55	65	55	77	55	0	0	0	0
	point34	34	2794	55	65	55	77	55	0	0	0	0
	point33	33										
SH 24 EB E/O Peterson Rd	point35	35	3280	55	76	55	91	55	0	0	0	0
	point37	37	3280	55	76	55	91	55	0	0	0	0
	point38	38	3280	55	76	55	91	55	0	0	0	0
	point39	39	3280	55	76	55	91	55	0	0	0	0
	point40	40	3280	55	76	55	91	55	0	0	0	0
	point41	41	3280	55	76	55	91	55	0	0	0	0
	point36	36										
WB Off Ramp	point42	42	137	30	3	30	4	30	0	0	0	0
	point45	45	137	30	3	30	4	30	0	0	0	0
	point46	46	137	30	3	30	4	30	0	0	0	0
	point47	47	137	30	3	30	4	30	0	0	0	0
	point48	48	137	30	3	30	4	30	0	0	0	0
	point49	49	137	30	3	30	4	30	0	0	0	0
	point50	50	137	30	3	30	4	30	0	0	0	0
	point43	43	137	30	3	30	4	30	0	0	0	0
	point44	44										
WB On Ramp	point51	51	871	55	20	55	24	55	0	0	0	0
	point53	53	871	55	20	55	24	55	0	0	0	0
	point54	54	871	55	20	55	24	55	0	0	0	0
	point52	52										
EB Off Ramp	point55	55	127	30	3	30	4	30	0	0	0	0
	point57	57	127	30	3	30	4	30	0	0	0	0
	point58	58	127	30	3	30	4	30	0	0	0	0
	point59	59	127	30	3	30	4	30	0	0	0	0
	point60	60	127	30	3	30	4	30	0	0	0	0
	point56	56										

**INPUT: TRAFFIC FOR LAeq1h Volumes**

**725 Peterson Multifamily Development**

EB On Ramp	point61	61	487	55	11	55	13	55	0	0	0	0
	point63	63	487	55	11	55	13	55	0	0	0	0
	point64	64	487	55	11	55	13	55	0	0	0	0
	point65	65	487	55	11	55	13	55	0	0	0	0
	point66	66	487	55	11	55	13	55	0	0	0	0
	point67	67	487	55	11	55	13	55	0	0	0	0
	point62	62										
NB Peterson S/O SH 24	point70	70	2284	30	50	30	60	30	0	0	0	0
	point69	69										
NB Peterson N/O SH 24	point71	71	1683	30	39	30	47	30	0	0	0	0
	point73	73	1683	30	39	30	47	30	0	0	0	0
	point74	74	1683	30	39	30	47	30	0	0	0	0
	point75	75	1683	30	39	30	47	30	0	0	0	0
	point76	76	1683	30	39	30	47	30	0	0	0	0
	point77	77	1683	30	39	30	47	30	0	0	0	0
	point72	72										
SB Peterson N/O SH 24	point78	78	613	30	14	30	17	30	0	0	0	0
	point80	80	613	30	14	30	17	30	0	0	0	0
	point81	81	613	30	14	30	17	30	0	0	0	0
	point82	82	613	30	14	30	17	30	0	0	0	0
	point83	83	613	30	14	30	17	30	0	0	0	0
	point84	84	613	30	14	30	17	30	0	0	0	0
	point79	79										
SB Peterson S/O SH 24	point85	85	369	30	9	30	10	30	0	0	0	0
	point87	87										



**INPUT: ROADWAYS**

**725 Peterson Multifamily Development**

		point28	28	3,227,093.5	1,367,327.2	6,284.00				Average
		point29	29	3,227,182.0	1,367,343.0	6,286.00				Average
		point30	30	3,227,271.5	1,367,358.9	6,288.00				Average
		point31	31	3,227,362.0	1,367,375.0	6,288.00				Average
		point22	22	3,227,966.0	1,367,485.0	6,290.00				
SH 24 EB Between Ramps Peterson Rd	26.0	point32	32	3,227,972.0	1,367,486.1	6,290.00				Average
		point34	34	3,228,117.8	1,367,512.9	6,288.00				Average
		point33	33	3,228,309.5	1,367,546.0	6,288.00				
SH 24 EB E/O Peterson Rd	26.0	point35	35	3,228,315.5	1,367,546.8	6,288.00				Average
		point37	37	3,228,400.2	1,367,560.5	6,288.00				Average
		point38	38	3,228,560.5	1,367,587.6	6,290.00				Average
		point39	39	3,228,611.5	1,367,596.2	6,292.00				Average
		point40	40	3,228,827.5	1,367,667.1	6,294.00				Average
		point41	41	3,228,917.0	1,367,704.4	6,296.00				Average
		point36	36	3,229,008.0	1,367,747.9	6,298.00				
WB Off Ramp	20.0	point42	42	3,228,301.8	1,367,611.8	6,286.00				Average
		point45	45	3,228,125.5	1,367,627.8	6,284.00				Average
		point46	46	3,228,014.5	1,367,626.9	6,282.00				Average
		point47	47	3,227,928.2	1,367,626.0	6,280.00				Average
		point48	48	3,227,847.8	1,367,625.2	6,278.00				Average
		point49	49	3,227,758.2	1,367,624.2	6,276.00				Average
		point50	50	3,227,677.8	1,367,623.4	6,274.00				Average
		point43	43	3,227,577.0	1,367,623.0	6,272.00				Average
		point44	44	3,227,506.5	1,367,621.8	6,272.00				
WB On Ramp	20.0	point51	51	3,227,370.5	1,367,625.2	6,272.00	Onramp	0.00	100	Average
		point53	53	3,227,213.5	1,367,589.8	6,273.00				Average
		point54	54	3,227,003.5	1,367,487.9	6,274.00				Average
		point52	52	3,226,688.8	1,367,340.8	6,274.00				
EB Off Ramp	20.0	point55	55	3,227,974.0	1,367,485.4	6,290.00				Average
		point57	57	3,228,086.0	1,367,476.4	6,288.00				Average
		point58	58	3,228,125.5	1,367,450.9	6,286.00				Average
		point59	59	3,228,149.2	1,367,410.2	6,284.00				Average
		point60	60	3,228,153.5	1,367,378.0	6,282.00				Average
		point56	56	3,228,150.5	1,367,351.4	6,280.00				
EB On Ramp	20.0	point61	61	3,228,183.0	1,367,340.1	6,280.00	Onramp	0.00	100	Average
		point63	63	3,228,187.0	1,367,380.1	6,282.00				Average
		point64	64	3,228,191.8	1,367,404.5	6,284.00				Average
		point65	65	3,228,201.8	1,367,436.4	6,286.00				Average
		point66	66	3,228,220.8	1,367,473.9	6,288.00				Average

**INPUT: ROADWAYS**

**725 Peterson Multifamily Development**

		point67	67	3,228,266.5	1,367,516.1	6,288.00				Average	
		point62	62	3,228,303.8	1,367,543.8	6,288.00					
NB Peterson S/O SH 24	24.0	point70	70	3,227,466.5	1,367,481.5	6,270.00	Signal	0.00	100	Average	
		point69	69	3,227,465.5	1,367,630.5	6,272.00					
NB Peterson N/O SH 24	24.0	point71	71	3,227,466.0	1,367,636.5	6,272.00	Signal	0.00	100	Average	
		point73	73	3,227,465.2	1,367,701.6	6,274.00				Average	
		point74	74	3,227,465.0	1,367,813.8	6,276.00				Average	
		point75	75	3,227,465.5	1,367,998.4	6,278.00				Average	
		point76	76	3,227,464.8	1,368,246.8	6,280.00				Average	
		point77	77	3,227,464.0	1,368,447.5	6,282.00				Average	
		point72	72	3,227,463.0	1,368,646.4	6,286.00					
SB Peterson N/O SH 24	24.0	point78	78	3,227,408.0	1,368,675.8	6,286.00				Average	
		point80	80	3,227,408.0	1,368,468.4	6,282.00				Average	
		point81	81	3,227,413.8	1,368,362.4	6,280.00				Average	
		point82	82	3,227,418.5	1,368,063.2	6,278.00				Average	
		point83	83	3,227,422.2	1,367,812.6	6,276.00				Average	
		point84	84	3,227,423.0	1,367,706.1	6,274.00				Average	
		point79	79	3,227,423.0	1,367,629.9	6,272.00					
SB Peterson S/O SH 24	24.0	point85	85	3,227,423.0	1,367,621.5	6,272.00	Signal	0.00	100	Average	
		point87	87	3,227,423.0	1,367,495.2	6,270.00					

**INPUT: RECEIVERS**

**725 Peterson Multifamily Development**

LSC Transportation Consultants, Inc KDF						22 October 2025 TNM 2.5					
INPUT: RECEIVERS											
PROJECT/CONTRACT:		725 Peterson Multifamily Development									
RUN:		2045 Total PM Peak Hour									
Receiver											
Name	No.	#DUs	Coordinates (ground)			Height above Ground	Input Sound Levels and Criteria				Active in Calc.
			X	Y	Z		Existing LAeq1h	Impact Criteria LAeq1h	Sub'l	NR Goal	
			ft	ft	ft	ft	dBA	dBA	dB	dB	
Receiver1	1	1	3,228,324.2	1,367,813.4	6,282.00	4.92	0.00	66	10.0	8.0	Y
Receiver2	2	1	3,228,085.8	1,367,968.8	6,280.00	4.92	0.00	66	10.0	8.0	Y
Receiver3	3	1	3,228,004.8	1,368,310.8	6,284.00	4.92	0.00	66	10.0	8.0	Y