





N.E.S. Inc.  
619 N. Cascade Avenue, Suite 200  
Colorado Springs, CO 80903

Tel. 719.471.0073  
Fax 719.471.0267

www.nescolorado.com

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**LEGAL DESCRIPTION - ROLLING HILLS RANCH NORTH FILINGS 1 & 2**

KNOW ALL MEN BY THESE PRESENTS, THAT GTL, INC. DBA GTL DEVELOPMENT, INC., THEODORE TCHANG, PRESIDENT BEING THE OWNER OF THE FOLLOWING DESCRIBED TRACT OF LAND:

KNOW ALL MEN BY THESE PRESENTS, THAT GTL, INC. DBA GTL DEVELOPMENT, INC., THEODORE TCHANG, PRESIDENT BEING THE OWNER OF THE FOLLOWING DESCRIBED TRACT OF LAND:

A PARCEL OF LAND LOCATED IN A PORTION OF SECTION 20, IN TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EASTERLY RIGHT-OF-WAY OF ESTATE RIDGE DRIVE AS DEDICATED IN THE ESTATES AT ROLLING HILLS RANCH FILING NO. 2, RECORDED WITH RECEPTION NO. 222714944 IN THE RECORDS OF EL PASO COUNTY, POINT BEING ON THE EASTERN BOUNDARY LINE OF SAID FILING;

THE FOLLOWING NINE (9) COURSES ARE ON SAID BOUNDARY LINE:

1. THENCE N07°26'02"E A DISTANCE OF 616.00 FEET;
2. THENCE N45°20'00"E A DISTANCE OF 31.11 FEET;
3. THENCE N07°26'02"E A DISTANCE OF 60.00 FEET;
4. THENCE S87°33'58"E A DISTANCE OF 168.00 FEET;
5. THENCE N07°26'02"E A DISTANCE OF 495.03 FEET;
6. THENCE S87°33'58"E A DISTANCE OF 180.00 FEET;
7. THENCE N07°14'24"W A DISTANCE OF 495.03 FEET;
8. THENCE N06°47'53"W A DISTANCE OF 290.00 FEET;
9. THENCE N00°34'17"E A DISTANCE OF 340.00 FEET TO A POINT ON THE NORTH LINE OF THE NORTHWEST ¼ OF SAID SECTION 20;

THE FOLLOWING COURSE IS ON SAID SECTION LINE:

10. THENCE S89°25'43"E A DISTANCE OF 2624.85 FEET TO A POINT ON THE WESTERN BOUNDARY OF FALCON REGIONAL PARK RECORDED WITH RECEPTION NO. 214093227;

THE FOLLOWING COURSE IS ON SAID BOUNDARY LINE:

11. THENCE S00°13'03"E A DISTANCE OF 2064.39 FEET TO A NON-TANGENT CURVE TO THE LEFT, POINT BEING ON THE NORTHERN BOUNDARY OF THE SANCTUARY FILING NO. 1 AT MERIDIAN RANCH RECORDED WITH RECEPTION NO. 223715140 IN THE RECORDS OF EL PASO COUNTY;

THE FOLLOWING NINE (9) COURSES ARE ON THE BOUNDARY LINE OF SAID THE SANCTUARY FILING NO. 1 AT MERIDIAN RANCH:

25. THENCE ON THE ARC OF SAID CURVE, HAVING A RADIUS OF 2050.00 FEET, A DELTA ANGLE OF 05°02'20", AN ARC LENGTH OF 180.29 FEET, WHOSE LONG CHORD BEARS S75°52'00"W A DISTANCE OF 180.23 FEET;
26. THENCE N62°31'53"W A DISTANCE OF 31.42 FEET;
27. THENCE S71°53'44"W A DISTANCE OF 60.00 FEET;
28. THENCE S20°18'21"W A DISTANCE OF 31.42 FEET TO A NON-TANGENT CURVE TO THE LEFT;
29. THENCE ON THE ARC OF SAID CURVE, HAVING A RADIUS OF 2050.00 FEET, A DELTA ANGLE OF 02°03'13", AN ARC LENGTH OF 73.48 FEET, WHOSE LONG CHORD BEARS S69°24'55"W A DISTANCE OF 73.48 FEET;
30. THENCE S68°13'18"W A DISTANCE OF 399.50 FEET TO A POINT OF CURVE TO THE RIGHT;
31. THENCE ON THE ARC OF SAID CURVE, HAVING A RADIUS OF 1930.00 FEET, A DELTA ANGLE OF 29°02'43", AN ARC LENGTH OF 978.39 FEET, WHOSE LONG CHORD BEARS S82°54'40"W A DISTANCE OF 967.95 FEET;
32. THENCE N82°33'58"W A DISTANCE OF 1387.37 FEET;
33. THENCE N37°33'58"W A DISTANCE OF 31.11 FEET TO THE POINT OF BEGINNING;

THE ABOVE PARCEL OF LAND CONTAINS 148.873 ACRES, MORE OR LESS.

BEARINGS ARE BASED ON THE SOUTH LINE OF THE SW ¼ OF SECTION 29, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH P.M., ASSUMED TO BEAR S89°25'42"E FROM THE SOUTHWEST CORNER OF SAID SECTION 29 (A STONE W/SCRIBED "X") TO THE SOUTH QUARTER CORNER OF SAID SECTION 29 (3.25" ALUM. CAP LS #30087).

**ADJACENT OWNERS**

ADJACENT OWNERS	NAME	MAILING ADDRESS	CITY / STATE / ZIP
1	Meridian Service Metro District	118866 Stapleton Dr.	Peyton, CO 80831
2	GTL INC - Rolling Hills Filing 3	3575 Kenyon Street, Suite 200	San Diego, CA 92110
3	GTL INC - The Estates at Rollings Hills Ranch	3575 Kenyon Street, Suite 200	San Diego, CA 92110
4	Falcon Latigo LLC	5350 S Roslyn Street, Suite 400	Englewood, CO 80111
5	Board of County Commissioners of El Paso County	200 S Cascade Ave., Suite 150	Colorado Springs, CO
6	GTL INC - The Sanctuary	3575 Kenyon Street, Suite 200	San Diego, CA 92110

The overall lot numbering scheme is confusing and difficult to follow. There are duplicate numbers and the numbers do not appear to follow a sequential numbering pattern. If the intent is to provide numbering for Filing 1 and restart the numbering for Filing 2, that's fine, but it needs to be clearly depicted. The numbers need to follow a sequential pattern rather than jumping around.



Recommend correcting font/text for readability. Recommend adjusting the lot text as well. Drawing and text appears to be squished

This label appears to be in the wrong place.

label cross street intersection name

P:\GTL\Meridian Ranch\Drawings\Planning\Rolling Hills Ranch North\Drawings\Planning\PHR\PHR\_PUD.dwg (Legal-2) 1/26/2023 4:28:43 PM BPERKINS

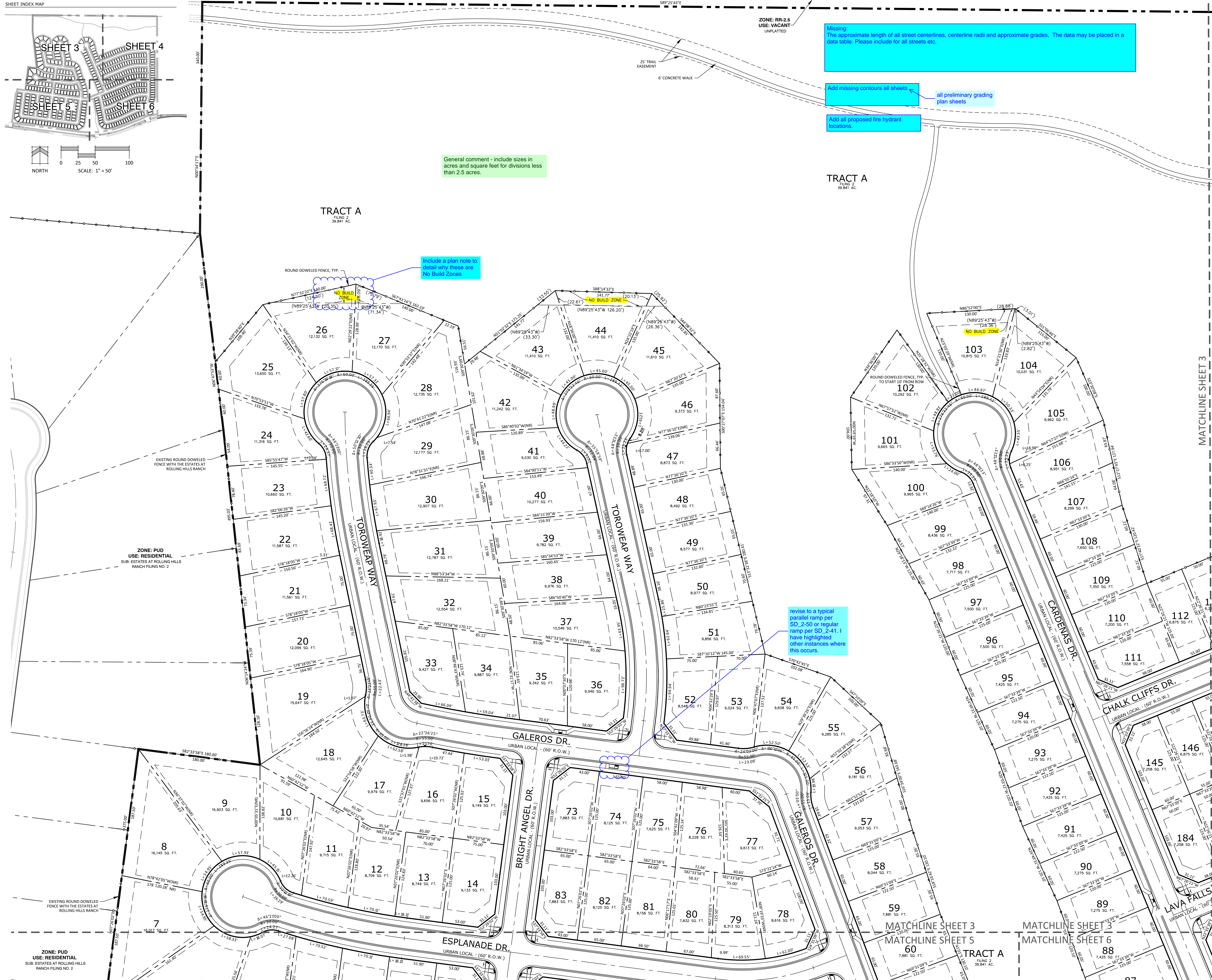
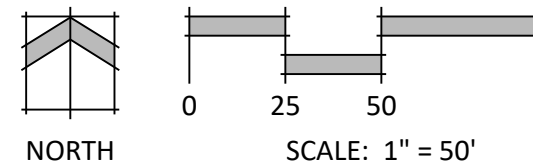
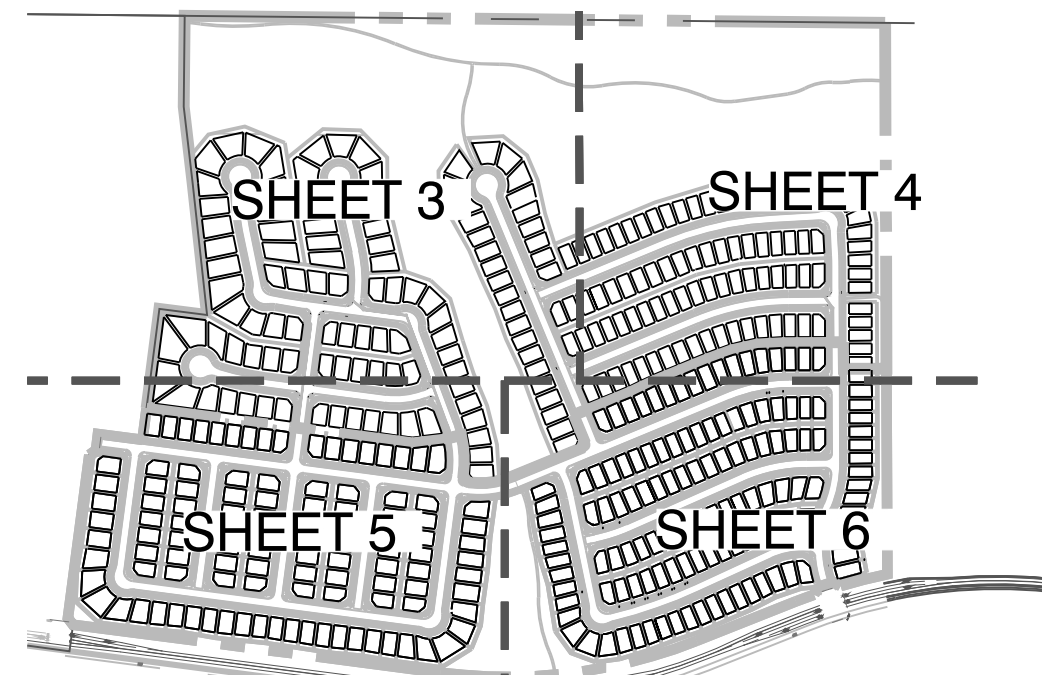
PLAN FILE SHEET NUMBER SHEET TITLE DRAWY PERIODIC ISSUE DATE DATE: 12/07/2023 BY: PERKINS, A. ROMAN PROJECT MGR: PREPARED BY: ENTITLEMENT

**ROLLING HILLS RANCH NORTH FILINGS 1 & 2 AT MERIDIAN RANCH**  
PUD DEVELOPMENT / PRELIMINARY PLAN

Legal Plan

2

2 OF 16



Missing: The approximate length of all street centerlines, centerline radii and approximate grades. The data may be placed in a data table. Please include for all streets etc.

Add missing contours all sheets

all preliminary grading plan sheets

Add all proposed fire hydrant locations.

General comment - include sizes in acres and square feet for divisions less than 2.5 acres.

Include a plan note to detail why these are No Build Zones

revise to a typical parallel ramp per SD 2-50 or regular ramp per SD 2-41. I have highlighted other instances where this occurs.



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ROLLING HILLS RANCH NORTH FILINGS 1 & 2 AT MERIDIAN RANCH

PUD DEVELOPMENT / PRELIMINARY PLAN

DATE: 12/07/2023 PROJECT MGR: B. PERKINS PREPARED BY: A. ROMAN

ENTITLEMENT

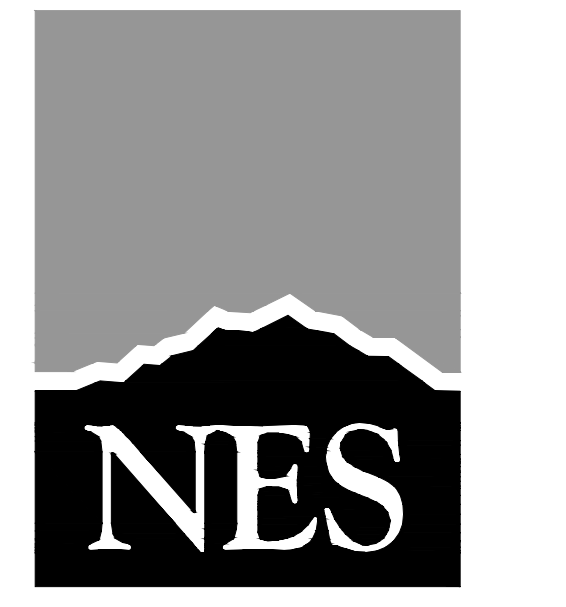
DATE: BY: DESCRIPTION:

PUD Site Plan

3

3 OF 16





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**ROLLING HILLS RANCH NORTH FILINGS 1 & 2 AT MERIDIAN RANCH**

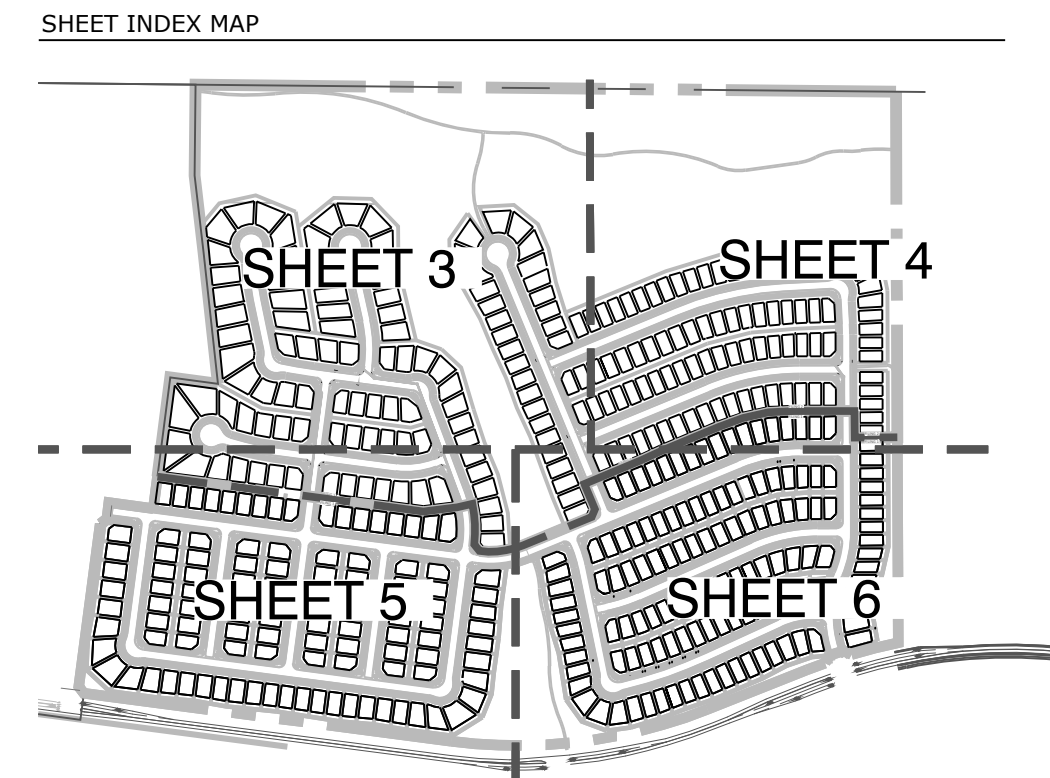
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PROJECT DATE: 12/07/2023  
 PROJECT MGR: B. PERKINS  
 PREPARED BY: A. ROMAN

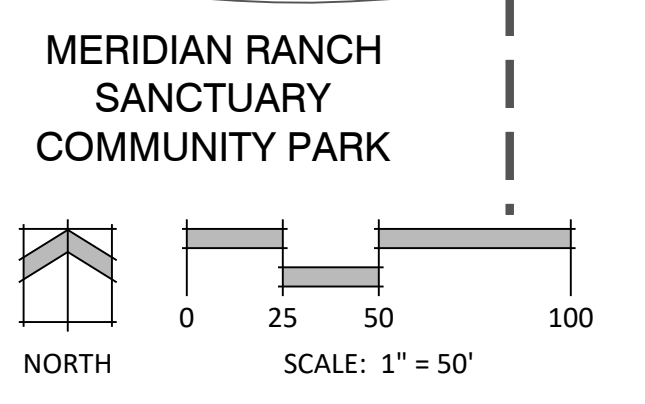
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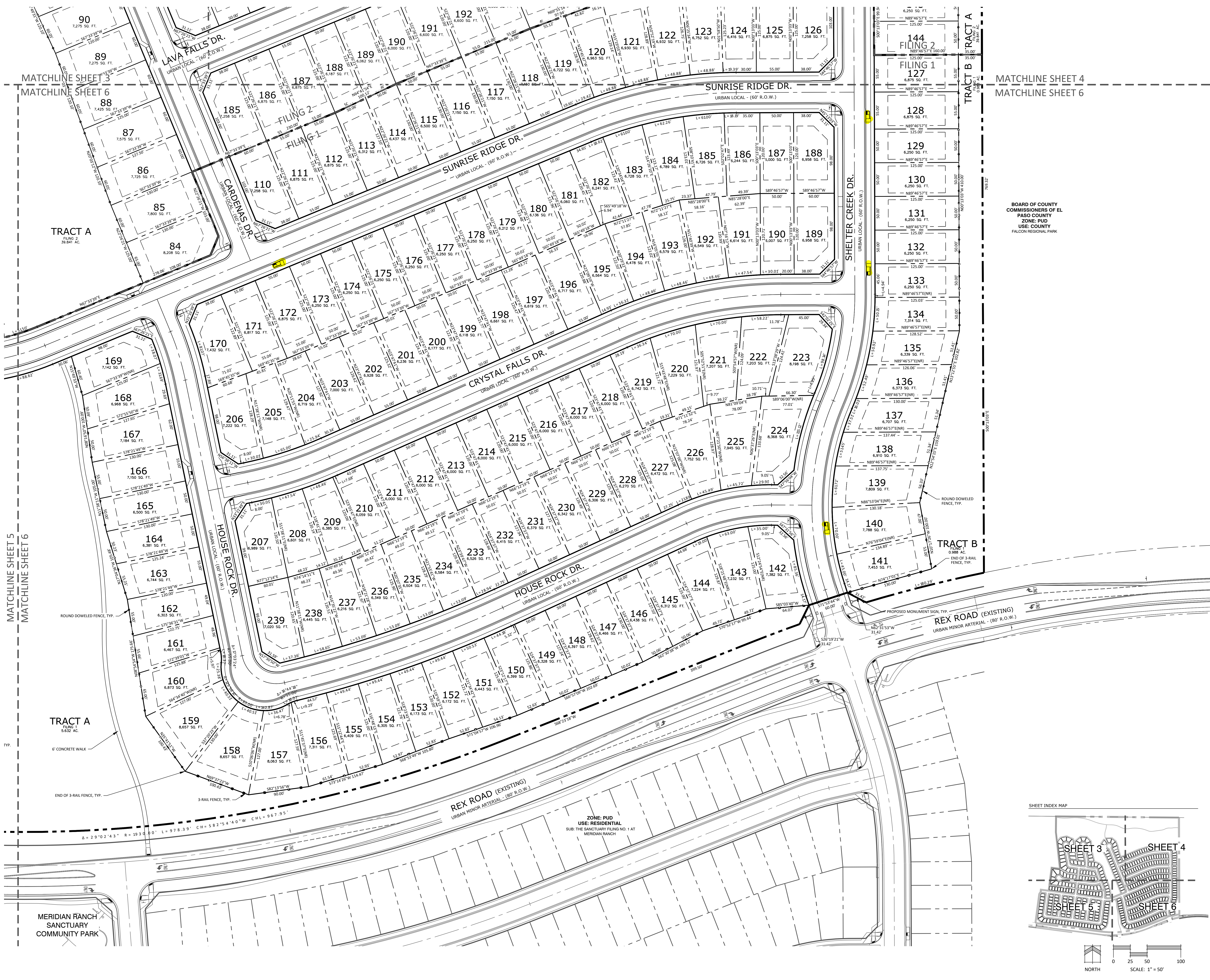
**5**  
 5 OF 16



ZONE: PUD  
 USE: RESIDENTIAL  
 SUB: ROLLING HILLS RANCH FILING NO. 268 AT MERIDIAN RANCH



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MATCHLINE SHEET 4  
MATCHLINE SHEET 6

BOARD OF COUNTY COMMISSIONERS OF EL PASO COUNTY  
ZONE: PUD  
USE: COUNTY FALCON REGIONAL PARK

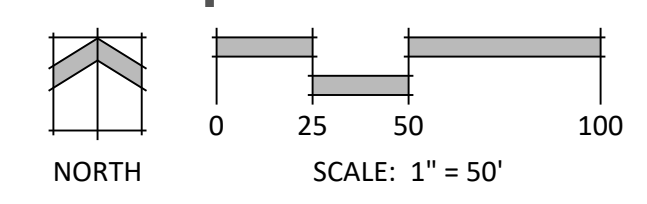
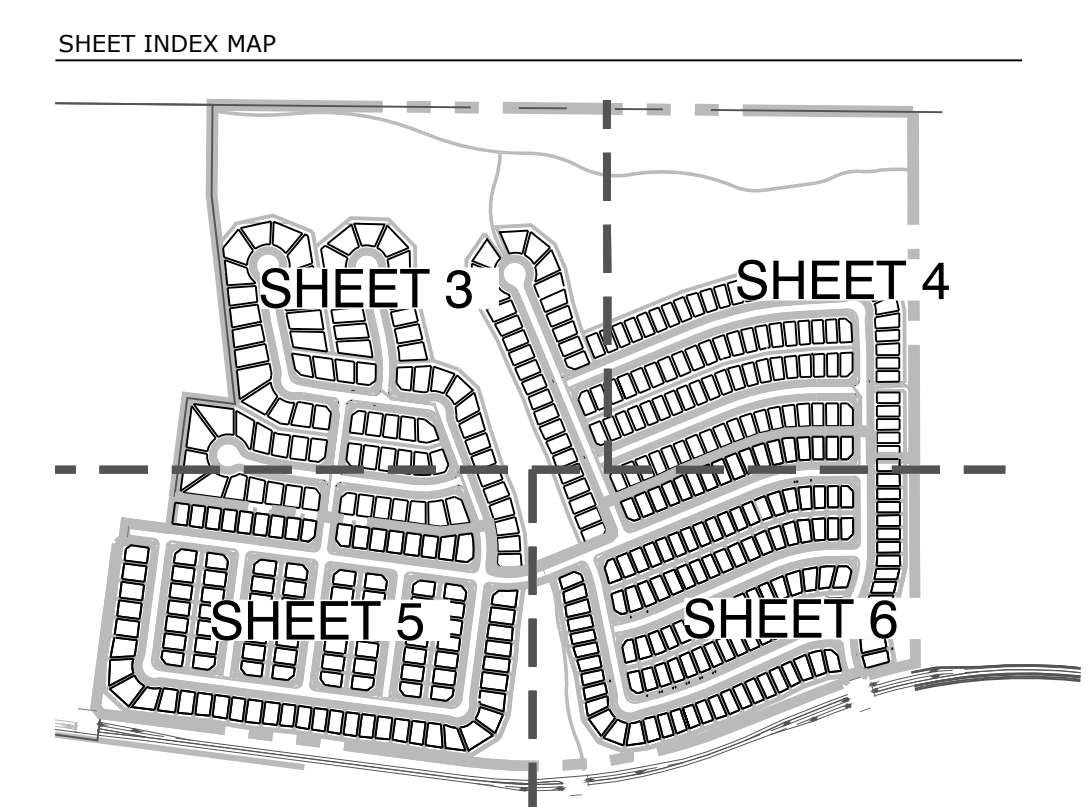
**ROLLING HILLS RANCH NORTH FILINGS 1 & 2 AT MERIDIAN RANCH**

PUD DEVELOPMENT / PRELIMINARY PLAN

PROJECT NO: 12/07/2023  
DATE: 12/07/2023  
PROJECT MGR: B. PERKINS  
PREPARED BY: A. ROMAN

**ENTITLEMENT**

DATE: BY: DESCRIPTION:

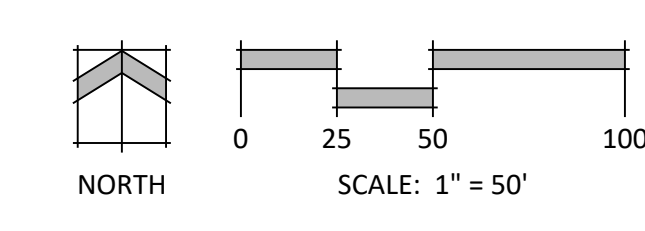
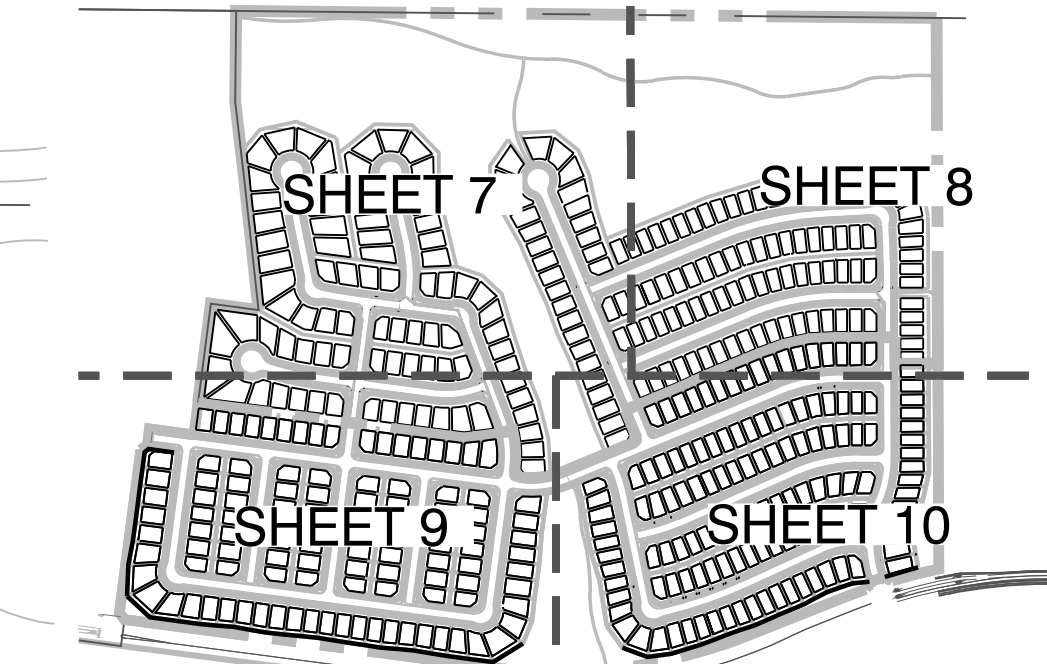


**PUD Site Plan**

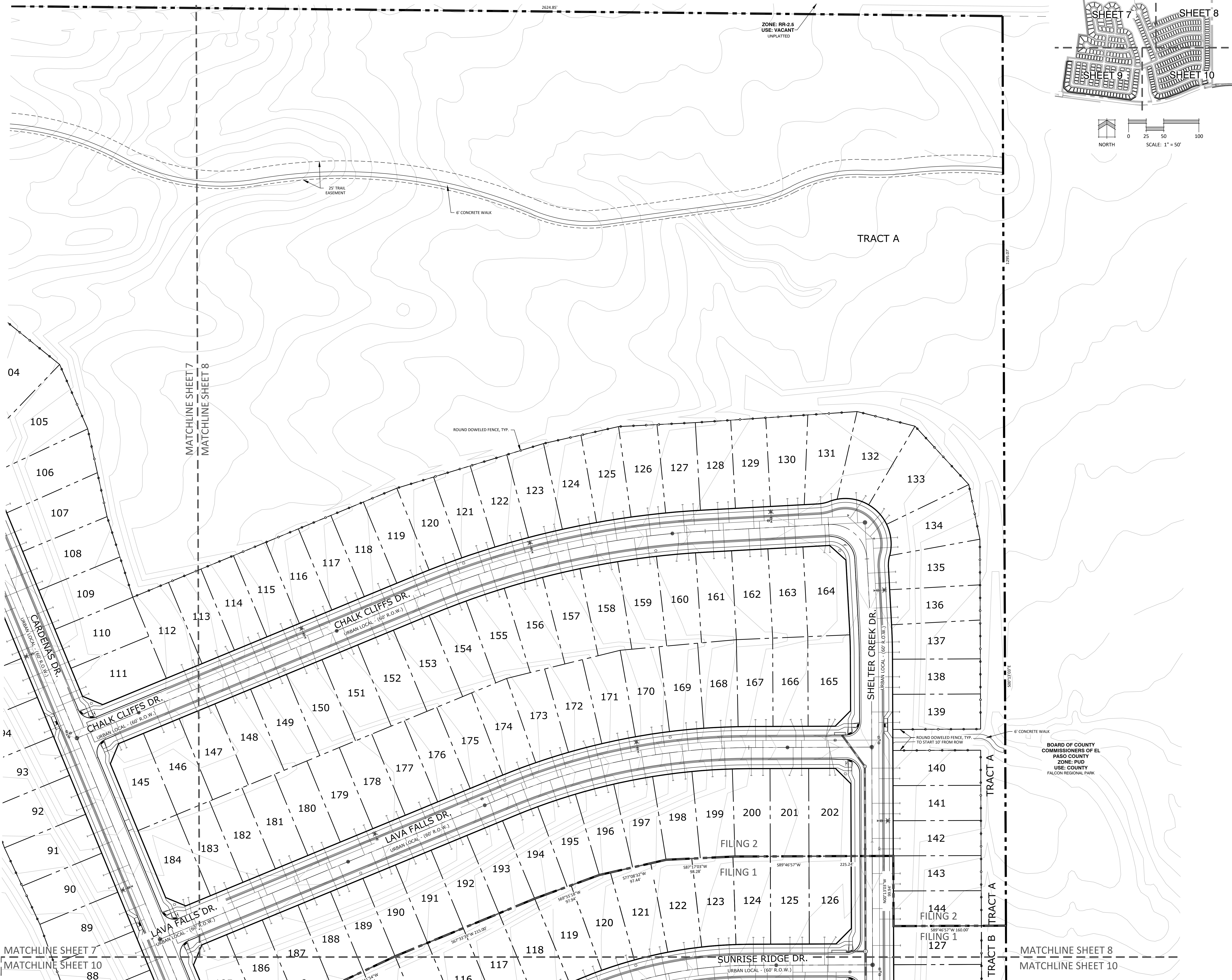
**6**  
6 OF 16

P:\CITL\Meridian Ranch\Drawings\Planning\Filing\_Hills\_Ranch\_North\Drawings\Planning\SitePlan\_PUD.dwg [Site] 12/07/2023 4:37:56 PM BPERKINS





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### ROLLING HILLS RANCH NORTH FILINGS 1 & 2 AT MERIDIAN RANCH

PUD DEVELOPMENT / PRELIMINARY PLAN

DATE: 12/07/2023  
PROJECT MGR: B. PERKINS  
PREPARED BY: A. ROMAN

#### ENTITLEMENT

DATE:	BY:	DESCRIPTION:

#### Grading and Utility Plan

**8**  
8 OF 16

P:\UTI\Meridian Ranch\Drawings\Planning\Rolling Hills Ranch North\Drawings\Planning\DR01801N\_100.dwg (Drawn: B) 12/07/2023 4:28:59 PM BPERKINS

PLANNER / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

SCALE

TITLE BLOCK

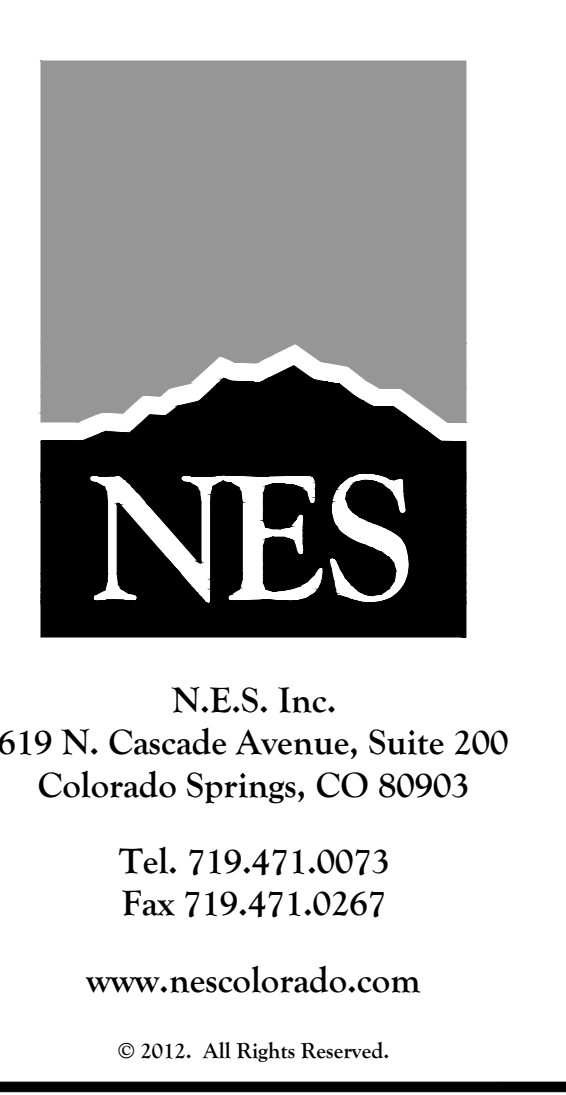
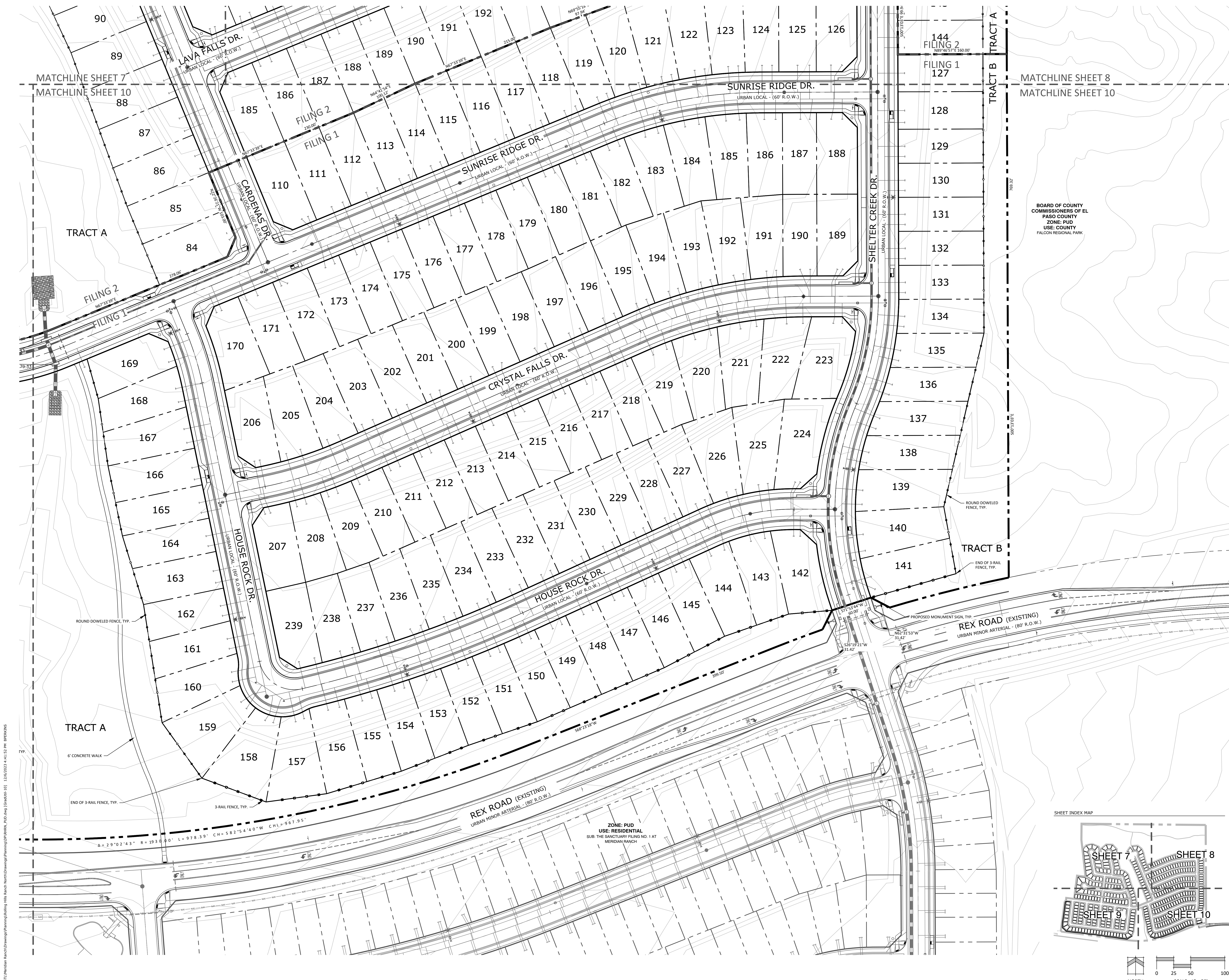
DATE / REVISION

SHEET TITLE

PLAN FILE #







**ROLLING HILLS RANCH NORTH**  
**FILINGS 1 & 2**  
**AT MERIDIAN RANCH**  
 PUD DEVELOPMENT /  
 PRELIMINARY PLAN

DATE: 12/07/2023  
 PROJECT MGR: B. PERKINS  
 PREPARED BY: A. ROMAN

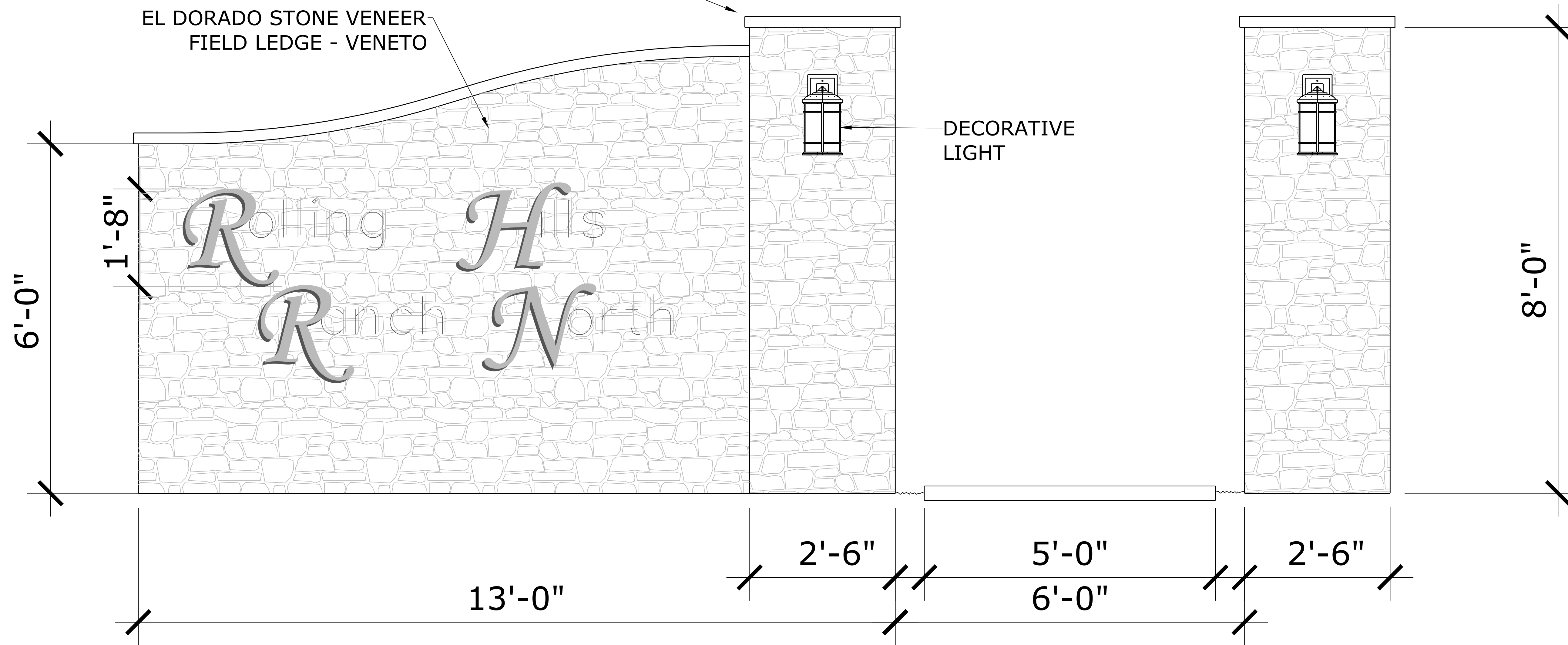
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Grading and Utility Plan

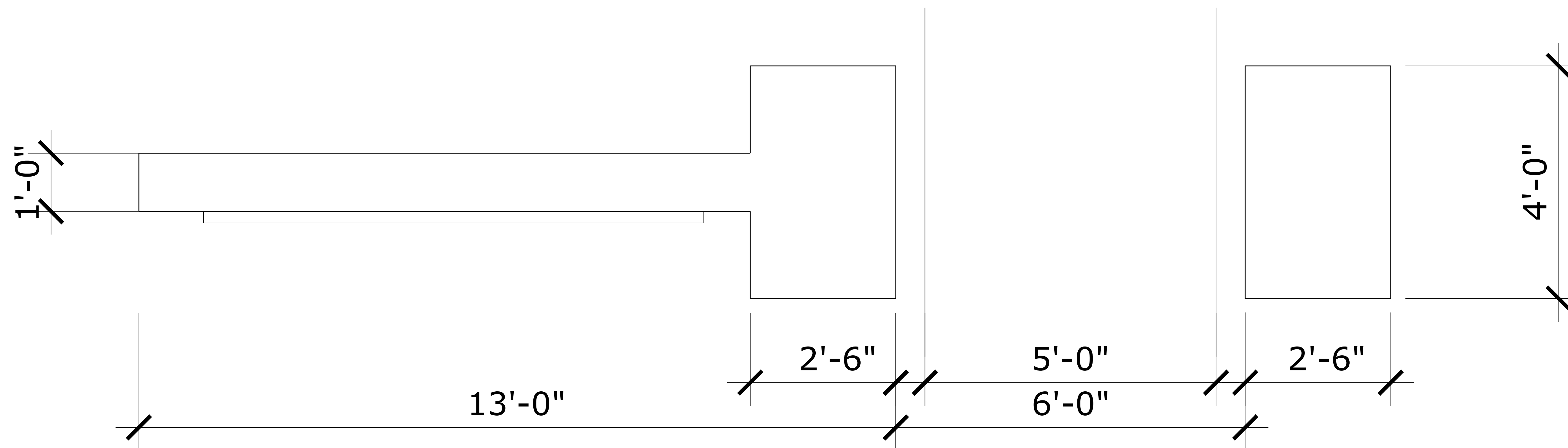
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2-1/4" THICK CHISELED EDGE EL DORADO BUCKSKIN COLUMN CAP AND TOP OF WALL. 1" OVERHANG. GROUT 1/8" TO FLUSH WITH STONE VENEER MORTAR JOINT. MEDIUM TONE MOCHA GROUT COLOR.



1 ENTRY SIGNAGE ELEVATION VIEW

SCALE: 1" = 1'



2 ENTRY SIGNAGE PLAN VIEW

SCALE: 1" = 1'



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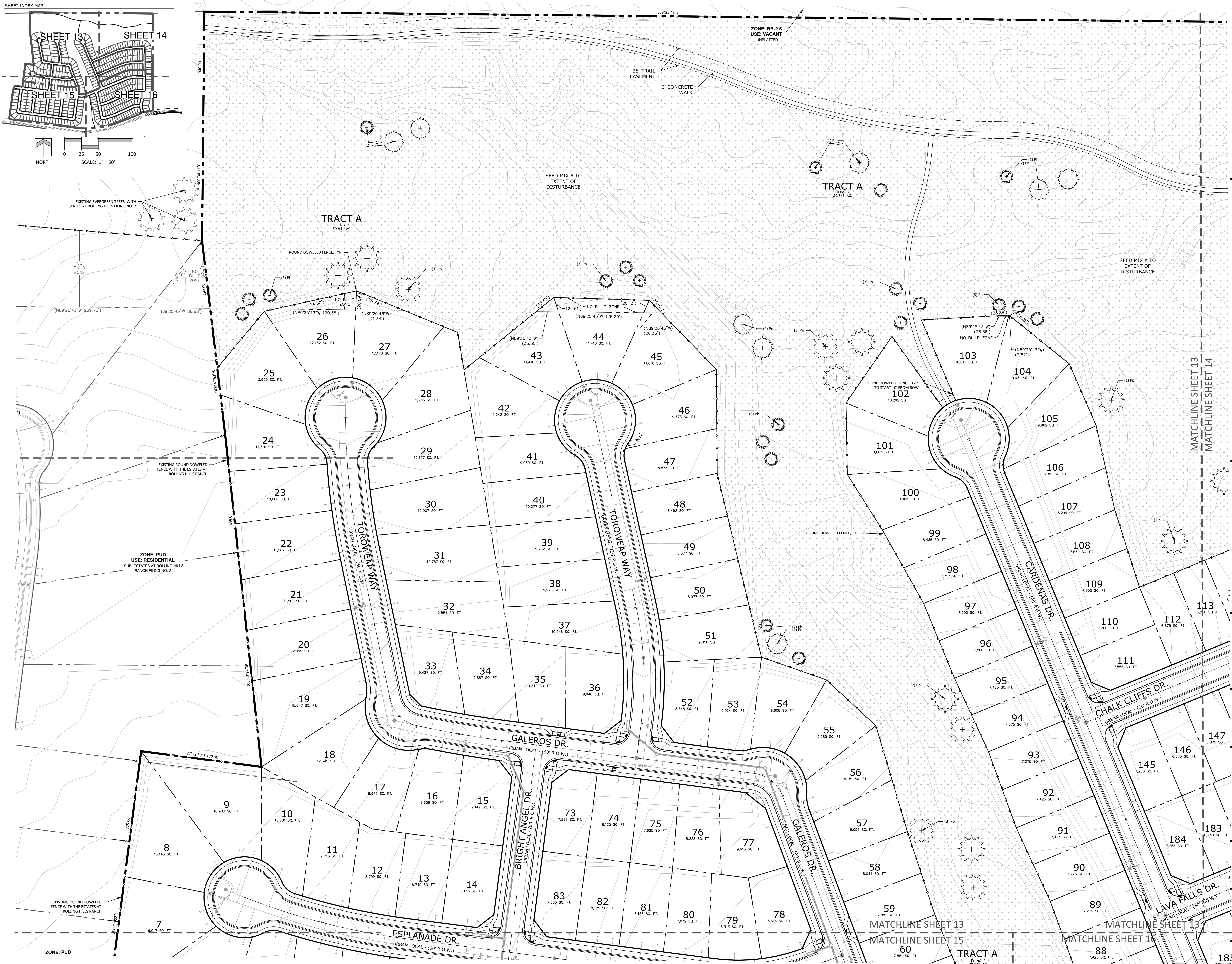
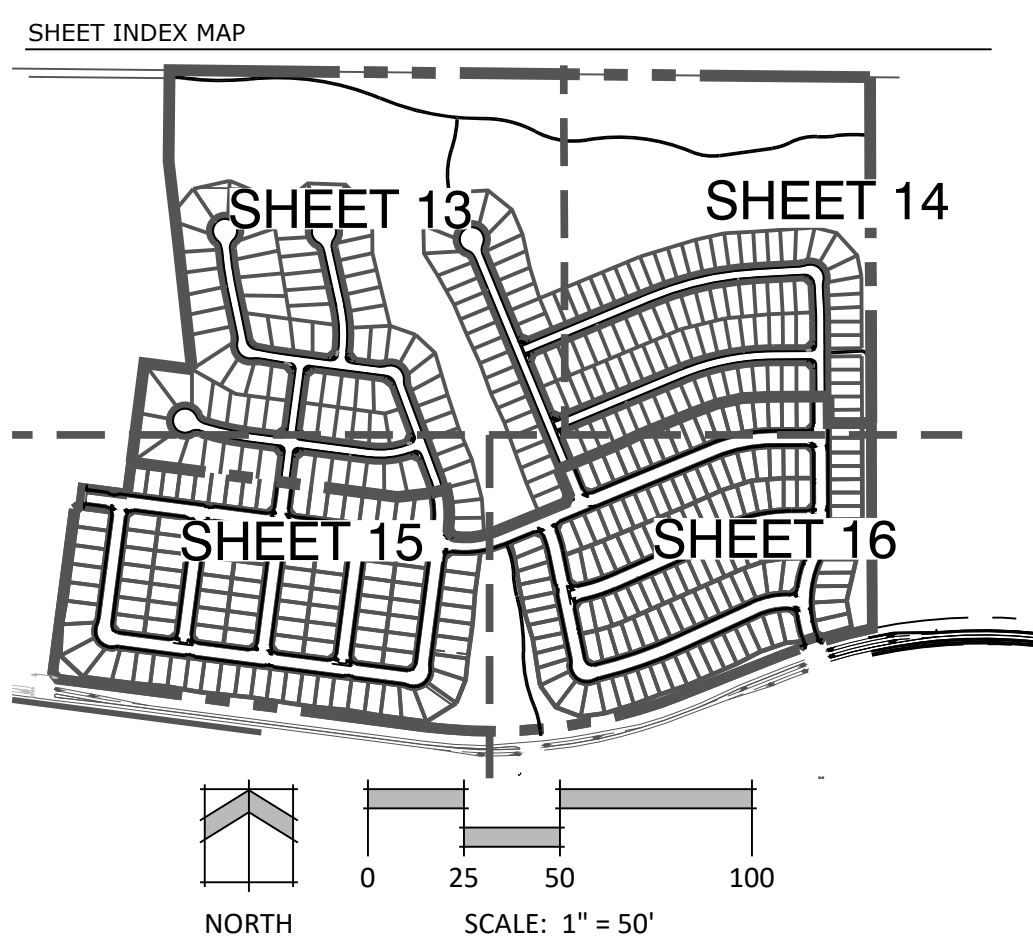
ENTITLEMENT

Entry Signage/ Details

11

11 OF 16





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**ROLLING HILLS RANCH NORTH**  
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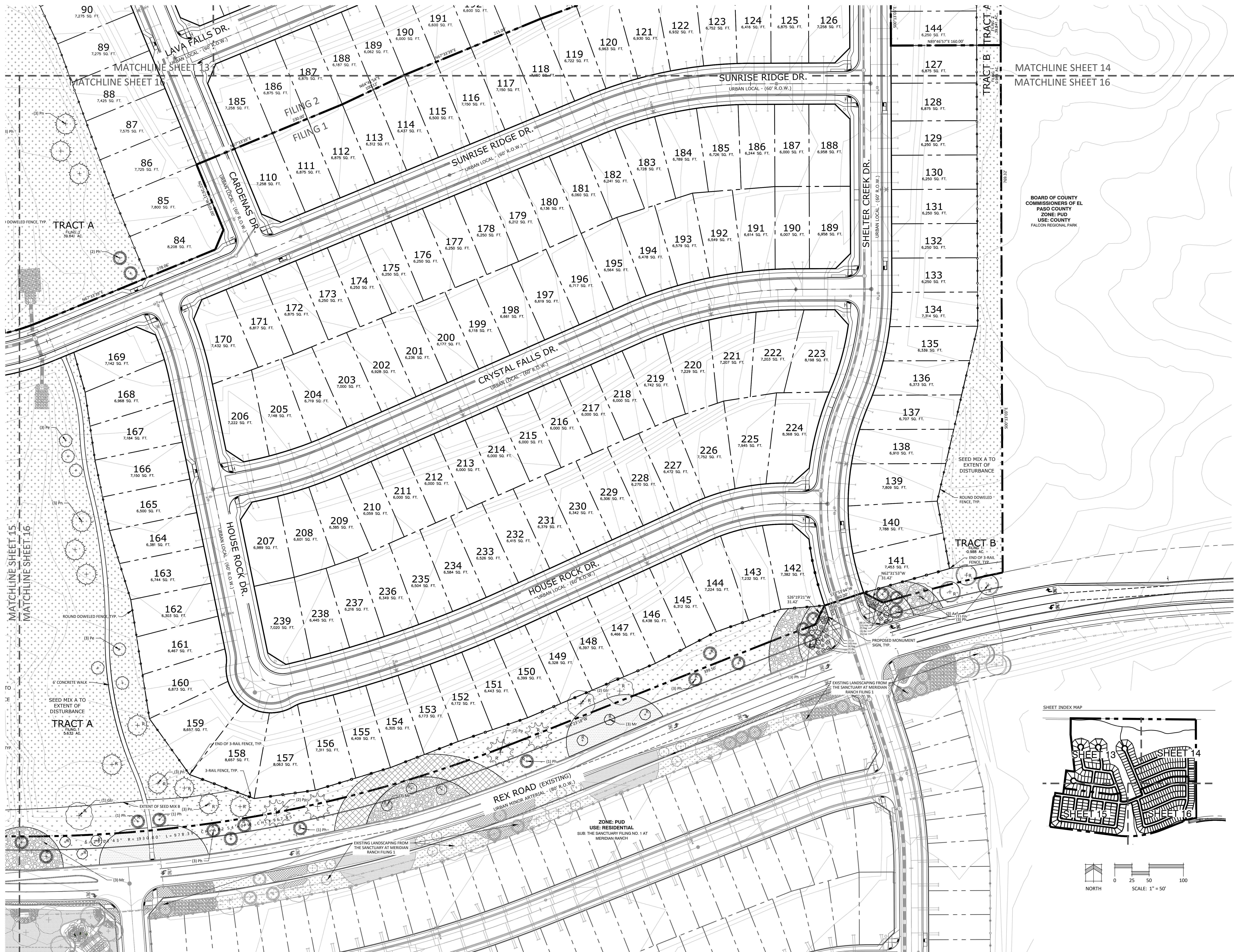
DATE:	BY:	DESCRIPTION:

**Landscape Plan**

P:\GIT\Meridian Ranch\Drawings\Planning\Rolling Hills Ranch North\Drawings\Planning\DRP\PLAN\_PUD\_LS\_Plan.dwg [LS-13] 12/07/2023 5:27:48 PM BPERKINS



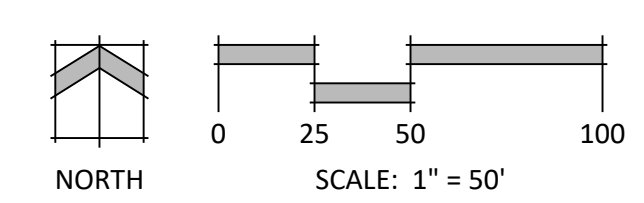
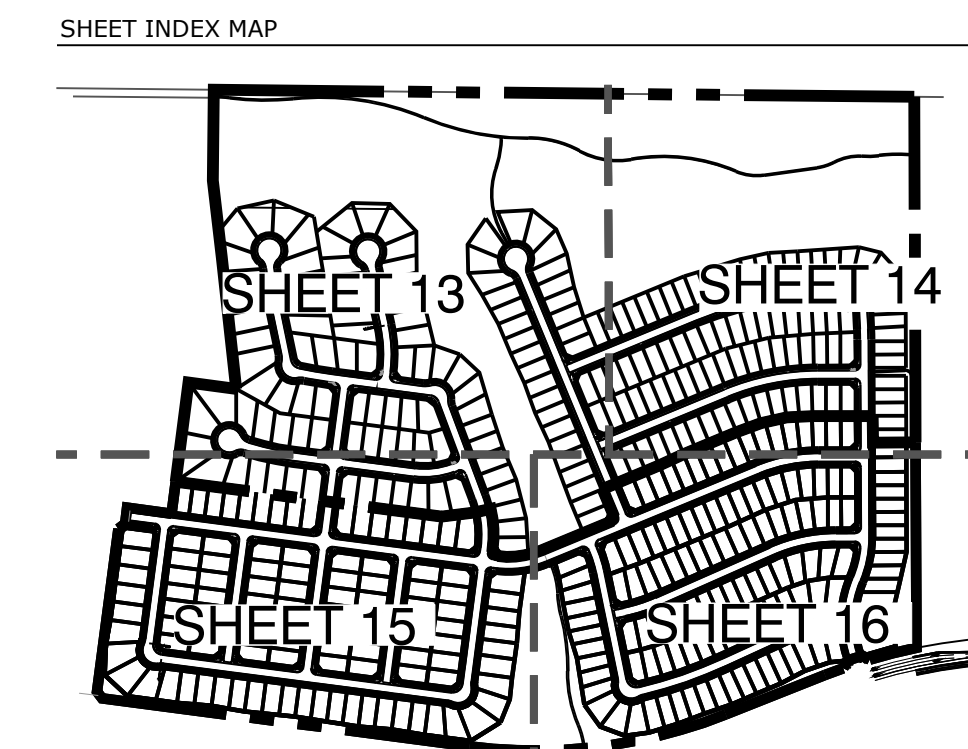




MATCHLINE SHEET 14  
MATCHLINE SHEET 16

BOARD OF COUNTY COMMISSIONERS OF EL PASO COUNTY  
ZONE: PUD  
USE: COUNTY FALCON REGIONAL PARK

SEED MIX A TO EXTENT OF DISTURBANCE  
ROUND DOWELED FENCE, TYP.



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**ROLLING HILLS RANCH NORTH**  
**FILINGS 1 & 2**  
**AT MERIDIAN RANCH**  
 PUD DEVELOPMENT / PRELIMINARY PLAN

DATE: 12/07/2023  
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ENTITLEMENT

DATE:	BY:	DESCRIPTION:

Landscape Plan