



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

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LEGAL DESCRIPTION - ROLLING HILLS RANCH NORTH FILINGS 1 & 2

KNOW ALL MEN BY THESE PRESENTS, THAT GTL, INC. DBA GTL DEVELOPMENT, INC., THEODORE TCHANG, PRESIDENT BEING THE OWNER OF THE FOLLOWING DESCRIBED TRACT OF LAND:

KNOW ALL MEN BY THESE PRESENTS, THAT GTL, INC. DBA GTL DEVELOPMENT, INC., THEODORE TCHANG, PRESIDENT BEING THE OWNER OF THE FOLLOWING DESCRIBED TRACT OF LAND:

A PARCEL OF LAND LOCATED IN A PORTION OF SECTION 20, IN TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EASTERLY RIGHT-OF-WAY OF ESTATE RIDGE DRIVE AS DEDICATED IN THE ESTATES AT ROLLING HILLS RANCH FILING NO. 2, RECORDED WITH RECEPTION NO. 222714944 IN THE RECORDS OF EL PASO COUNTY, POINT BEING ON THE EASTERN BOUNDARY LINE OF SAID FILING;

THE FOLLOWING NINE (9) COURSES ARE ON SAID BOUNDARY LINE:

1. THENCE N07°26'02"E A DISTANCE OF 616.00 FEET;
2. THENCE N45°20'00"E A DISTANCE OF 31.11 FEET;
3. THENCE N07°26'02"E A DISTANCE OF 60.00 FEET;
4. THENCE S87°33'58"E A DISTANCE OF 168.00 FEET;
5. THENCE N07°26'02"E A DISTANCE OF 495.00 FEET;
6. THENCE S87°33'58"E A DISTANCE OF 180.00 FEET;
7. THENCE N07°14'24"W A DISTANCE OF 495.00 FEET;
8. THENCE N06°47'53"W A DISTANCE OF 290.00 FEET;
9. THENCE N00°34'17"E A DISTANCE OF 340.00 FEET TO A POINT ON THE NORTH LINE OF THE NORTHWEST ¼ OF SAID SECTION 20;

THE FOLLOWING COURSE IS ON SAID SECTION LINE:

10. THENCE S89°25'43"E A DISTANCE OF 2624.85 FEET TO A POINT ON THE WESTERN BOUNDARY OF FALCON REGIONAL PARK RECORDED WITH RECEPTION NO. 214093227;

THE FOLLOWING COURSE IS ON SAID BOUNDARY LINE:

11. THENCE S00°13'03"E A DISTANCE OF 2064.39 FEET TO A NON-TANGENT CURVE TO THE LEFT, POINT BEING ON THE NORTHERN BOUNDARY OF THE SANCTUARY FILING NO. 1 AT MERIDIAN RANCH RECORDED WITH RECEPTION NO. 223715140 IN THE RECORDS OF EL PASO COUNTY;

THE FOLLOWING NINE (9) COURSES ARE ON THE BOUNDARY LINE OF SAID THE SANCTUARY FILING NO. 1 AT MERIDIAN RANCH:

25. THENCE ON THE ARC OF SAID CURVE, HAVING A RADIUS OF 2050.00 FEET, A DELTA ANGLE OF 05°02'20", AN ARC LENGTH OF 180.29 FEET, WHOSE LONG CHORD BEARS S75°52'00"W A DISTANCE OF 180.23 FEET;
26. THENCE N62°31'53"W A DISTANCE OF 31.42 FEET;
27. THENCE S71°53'44"W A DISTANCE OF 60.00 FEET;
28. THENCE S20°18'21"W A DISTANCE OF 31.42 FEET TO A NON-TANGENT CURVE TO THE LEFT;
29. THENCE ON THE ARC OF SAID CURVE, HAVING A RADIUS OF 2050.00 FEET, A DELTA ANGLE OF 02°03'13", AN ARC LENGTH OF 73.48 FEET, WHOSE LONG CHORD BEARS S69°24'55"W A DISTANCE OF 73.48 FEET;
30. THENCE S68°13'18"W A DISTANCE OF 399.50 FEET TO A POINT OF CURVE TO THE RIGHT;
31. THENCE ON THE ARC OF SAID CURVE, HAVING A RADIUS OF 1930.00 FEET, A DELTA ANGLE OF 29°02'43", AN ARC LENGTH OF 978.39 FEET, WHOSE LONG CHORD BEARS S82°54'40"W A DISTANCE OF 967.95 FEET;
32. THENCE N82°33'58"W A DISTANCE OF 1387.37 FEET;
33. THENCE N37°33'58"W A DISTANCE OF 31.11 FEET TO THE POINT OF BEGINNING;

THE ABOVE PARCEL OF LAND CONTAINS 148.873 ACRES, MORE OR LESS.

BEARINGS ARE BASED ON THE SOUTH LINE OF THE SW ¼ OF SECTION 29, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH P.M., ASSUMED TO BEAR S89°25'42"E FROM THE SOUTHWEST CORNER OF SAID SECTION 29 (A STONE W/SCRIBED "X") TO THE SOUTH QUARTER CORNER OF SAID SECTION 29 (3.25" ALUM. CAP LS #30087).

ADJACENT OWNERS

ADJACENT OWNERS	NAME	MAILING ADDRESS	CITY / STATE / ZIP
1	Meridian Service Metro District	11886 Stapleton Dr.	Peyton, CO 80831
2	GTL INC - Rolling Hills Filing 3	3575 Kenyon Street, Suite 200	San Diego, CA 92110
3	GTL INC - The Estates at Rollings Hills Ranch	3575 Kenyon Street, Suite 200	San Diego, CA 92110
4	Falcon Latigo LLC	5350 S Roslyn Street, Suite 400	Englewood, CO 80111
5	Board of County Commissioners of El Paso County	200 S Cascade Ave., Suite 150	Colorado Springs, CO
6	GTL INC - The Sanctuary	3575 Kenyon Street, Suite 200	San Diego, CA 92110

The overall lot numbering scheme is confusing and difficult to follow. There are duplicate numbers and the numbers do not appear to follow a sequential numbering pattern. If the intent is to provide numbering for Filing 1 and restart the numbering for Filing 2, that's fine, but it needs to be clearly depicted. The numbers need to follow a sequential pattern rather than jumping around.



Recommend correcting font/text for readability. Recommend adjusting the lot text as well. Drawing and text appears to be squished

This label appears to be in the wrong place.

label cross street intersection name

P:\GTL\Meridian Ranch\Drawings\Planning\Rolling Hills Ranch North\Drawings\Planning\PHR\PHR_PUD.dwg (Legal-2) 1/26/2023 4:28:43 PM BPERKINS

PLANET LANDSCAPE ARCHITECT

ASSOCIATION NOTES

PROJECT INFO

DATE

ISSUE INFO

ISSUE / REVISION

SHEET TITLE

SHEET NUMBER

ROLLING HILLS RANCH NORTH FILINGS 1 & 2 AT MERIDIAN RANCH

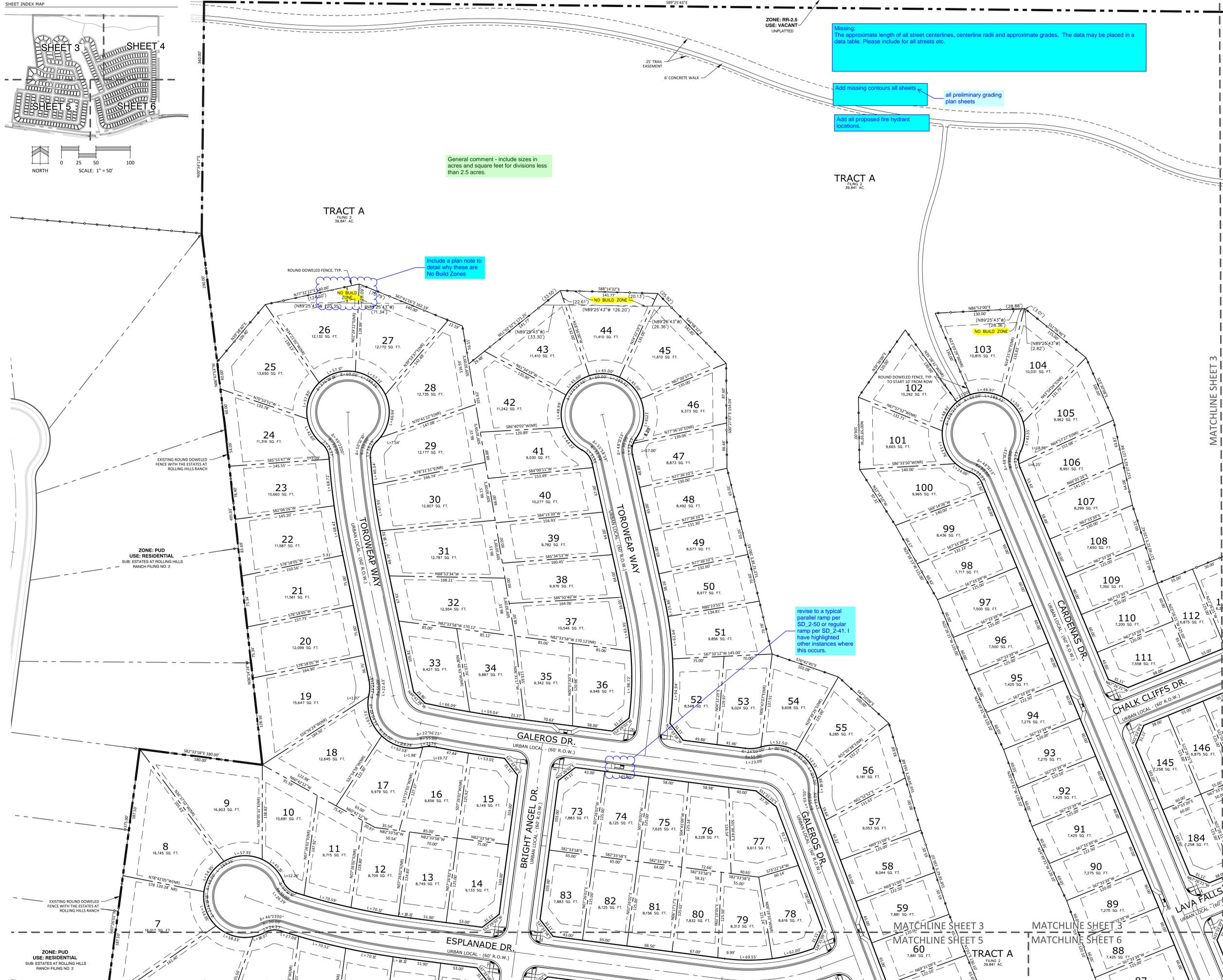
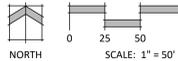
PUD DEVELOPMENT / PRELIMINARY PLAN

DATE: 12/07/2023
PROJECT MGR: B. PERKINS
PREPARED BY: A. ROMAN

ENTITLEMENT

DATE:	BY:	DESCRIPTION:

Legal Plan



Missing: The approximate length of all street centerlines, centerline radii and approximate grades. The data may be placed in a data table. Please include for all streets etc.

Add missing contours all sheets

all preliminary grading plan sheets

Add all proposed fire hydrant locations.

General comment - include sizes in acres and square feet for divisions less than 2.5 acres.

Include a plan note to detail why these are No Build Zones

revise to a typical parallel ramp per SD 2-50 or regular ramp per SD 2-41. I have highlighted other instances where this occurs.



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ROLLING HILLS RANCH NORTH FILINGS 1 & 2 AT MERIDIAN RANCH

PUD DEVELOPMENT / PRELIMINARY PLAN

DATE: 12/07/2023 PROJECT MGR: B. PERKINS PREPARED BY: A. ROMAN

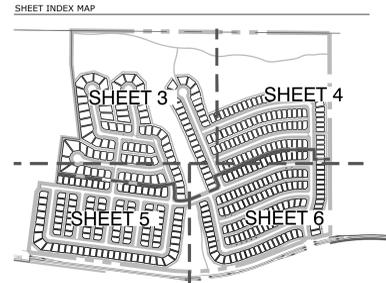
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DATE: BY: DESCRIPTION:

PUD Site Plan

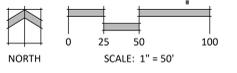
3

3 OF 16



ZONE: PUD
 USE: RESIDENTIAL
 SUB: ROLLING HILLS RANCH FILING
 NO. 263 AT MERIDIAN RANCH

MERIDIAN RANCH
 SANCTUARY PARK



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ROLLING HILLS
 RANCH NORTH
 FILINGS 1 & 2
 AT MERIDIAN
 RANCH

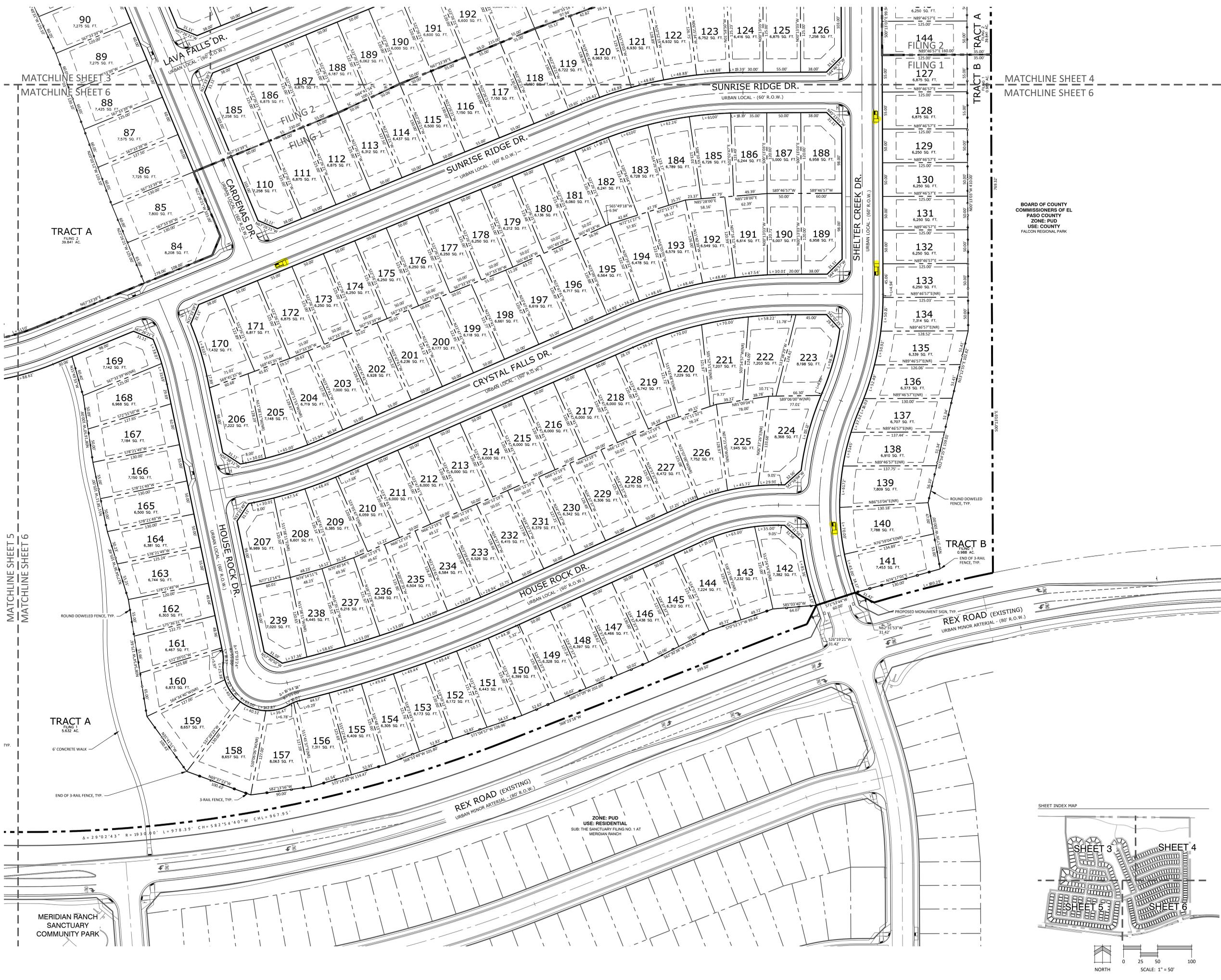
PUD DEVELOPMENT /
 PRELIMINARY PLAN

PROJECT DATE: 12/07/2023
 PROJECT MGR: B. PERKINS
 PREPARED BY: A. ROMAN

ENTITLEMENT

PUD Site Plan

5
 5 OF 16



MATCHLINE SHEET 4
MATCHLINE SHEET 6

BOARD OF COUNTY COMMISSIONERS OF EL PASO COUNTY
ZONE: PUD
USE: COUNTY FALCON REGIONAL PARK



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ROLLING HILLS RANCH NORTH FILINGS 1 & 2 AT MERIDIAN RANCH

PUD DEVELOPMENT / PRELIMINARY PLAN

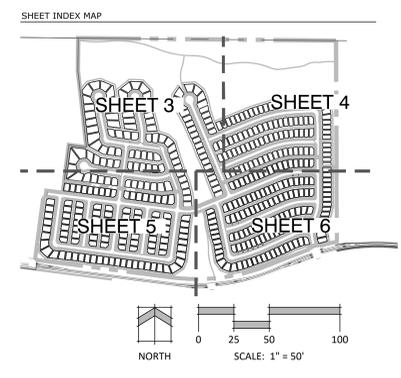
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DATE: 12/07/2023
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PREPARED BY: A. ROMAN

ENTITLEMENT

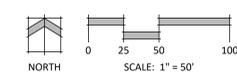
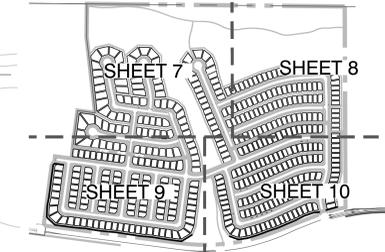
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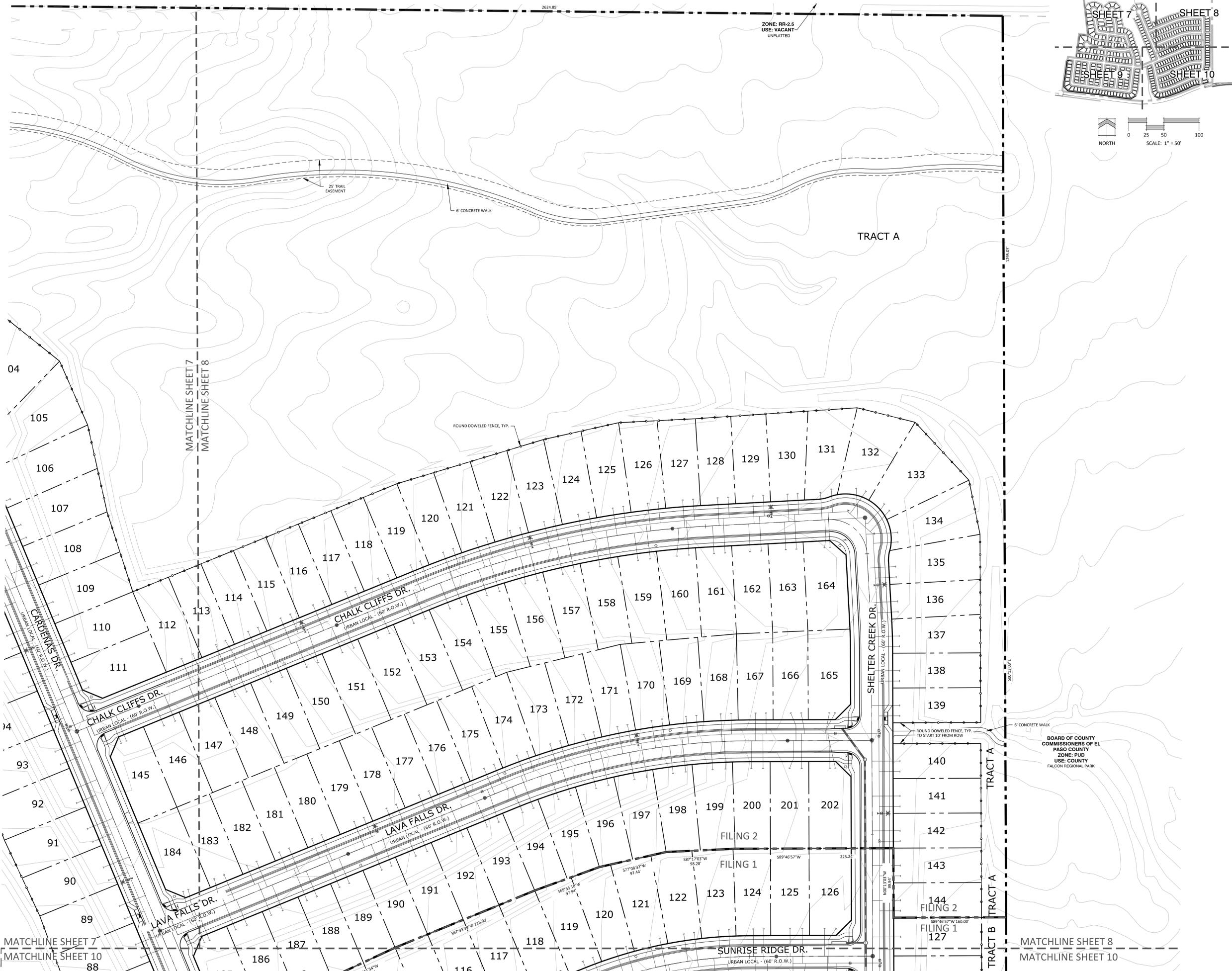
6
6 OF 16



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RANCH NORTH
FILINGS 1 & 2
AT MERIDIAN
RANCH
PUD DEVELOPMENT /
PRELIMINARY PLAN

DATE: 12/07/2023
PROJECT MGR: B. PERKINS
PREPARED BY: A. ROMAN

ENTITLEMENT

DATE:	BY:	DESCRIPTION:

Grading and
Utility Plan

8
8 OF 16

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PLANNER / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

SCALE

TITLE BLOCK

DATE / REVISION

SHEET TITLE

PLAN FILE #



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PLANNING / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

ROLLING HILLS RANCH NORTH FILINGS 1 & 2 AT MERIDIAN RANCH
 PUD DEVELOPMENT / PRELIMINARY PLAN

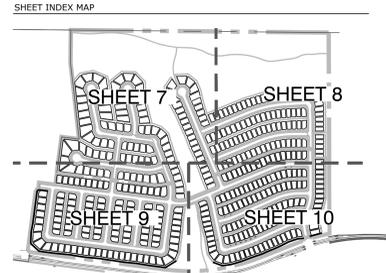
DATE: 12/07/2023
 PROJECT MGR: B. PERKINS
 PREPARED BY: A. ROMAN

ENTITLEMENT

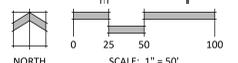
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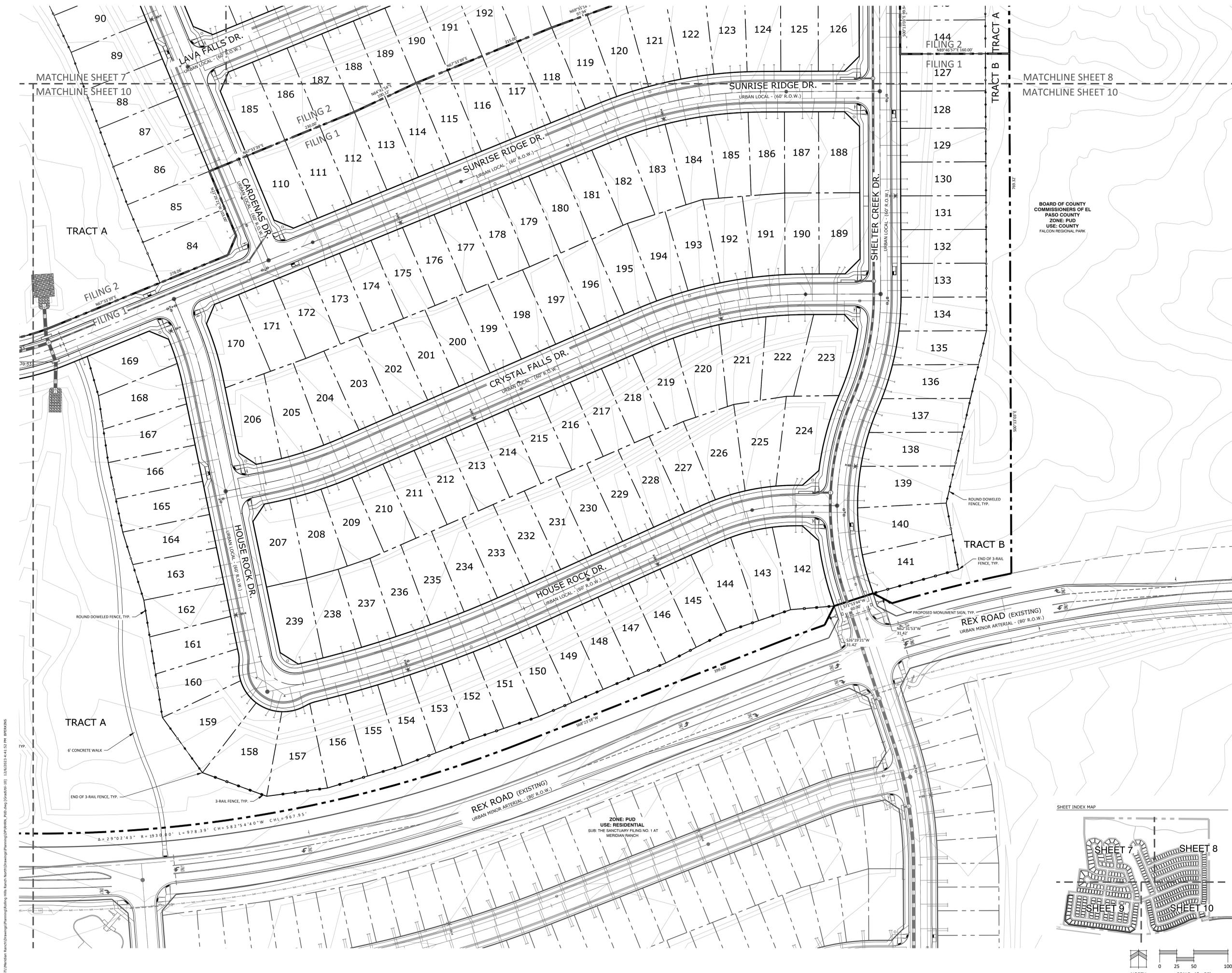
Grading and Utility Plan

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ZONE: PUD
 USE: RESIDENTIAL
 SUB: ROLLING HILLS RANCH FILING NO. 283 AT MERIDIAN RANCH





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BOARD OF COUNTY COMMISSIONERS OF EL PASO COUNTY
 ZONE: PUD
 USE: COUNTY FALCON REGIONAL PARK

ROLLING HILLS RANCH NORTH FILINGS 1 & 2 AT MERIDIAN RANCH
 PUD DEVELOPMENT / PRELIMINARY PLAN

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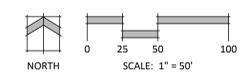
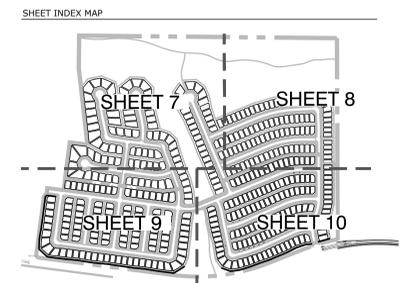
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DATE: BY: DESCRIPTION:

Grading and Utility Plan

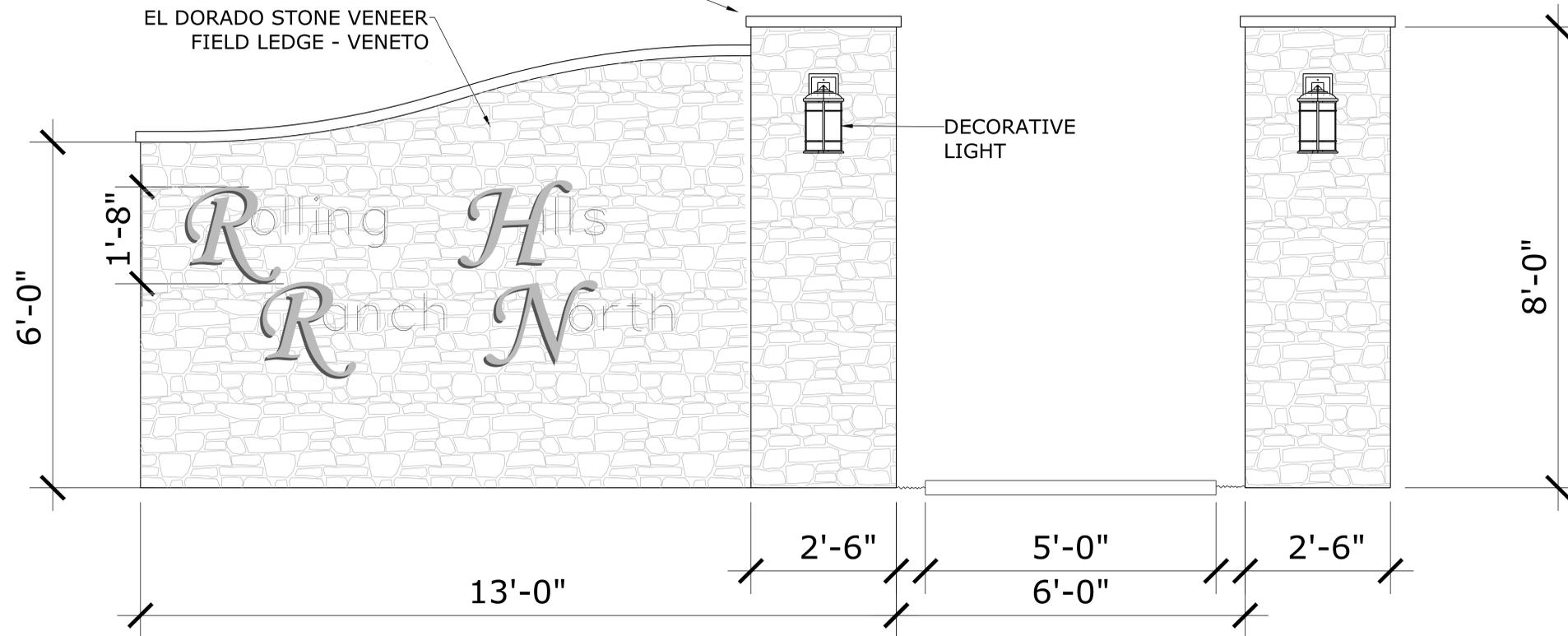
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10 OF 16



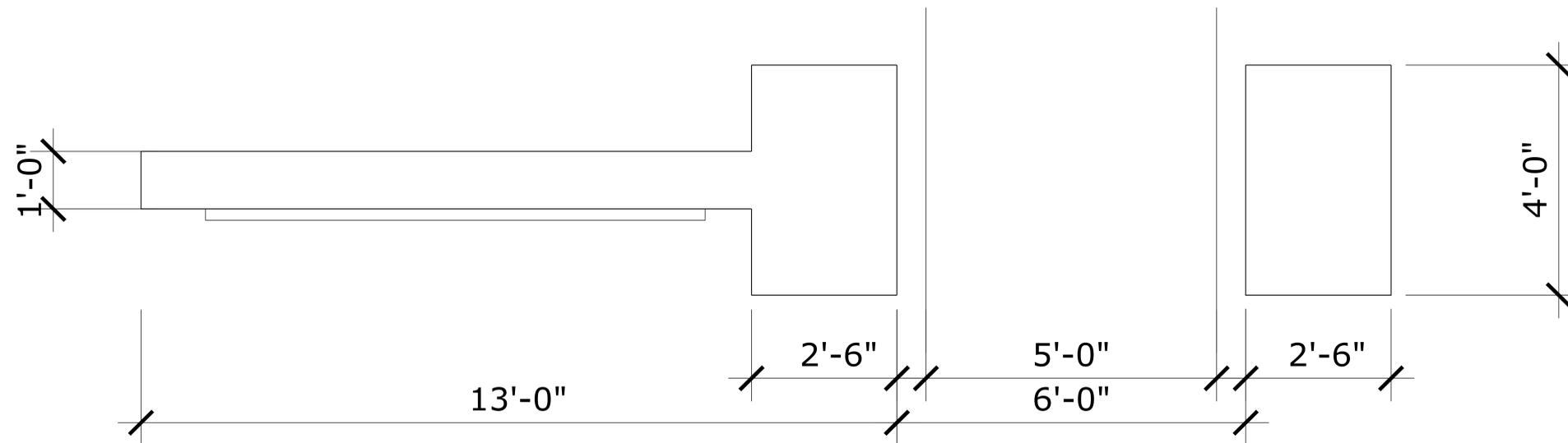
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2-1/4" THICK CHISELED EDGE EL DORADO BUCKSKIN COLUMN CAP AND TOP OF WALL. 1" OVERHANG. GROUT 1/8" TO FLUSH WITH STONE VENEER MORTAR JOINT. MEDIUM TONE MOCHA GROUT COLOR.



1 ENTRY SIGNAGE ELEVATION VIEW

SCALE: 1" = 1'



2 ENTRY SIGNAGE PLAN VIEW

SCALE: 1" = 1'



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PUD DEVELOPMENT / PRELIMINARY PLAN

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ENTITLEMENT

DATE:	BY:	DESCRIPTION:

Entry Signage/ Details

11

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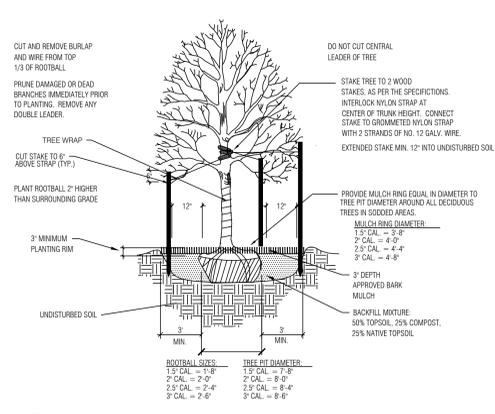


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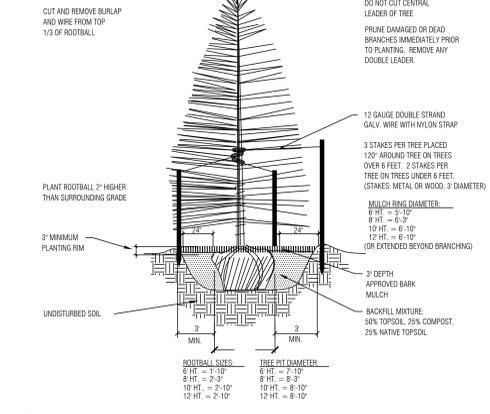
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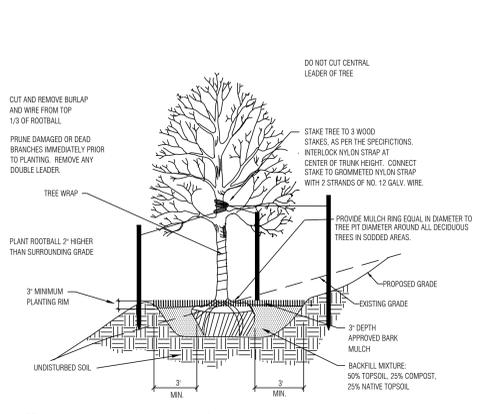
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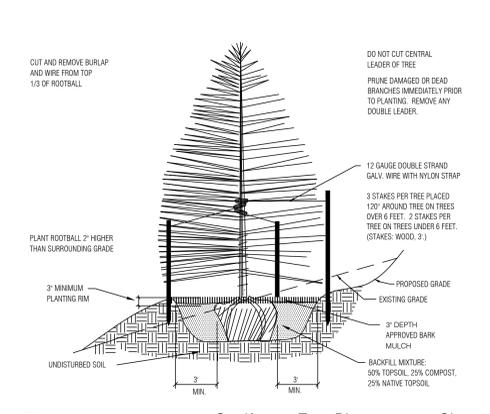
1 Deciduous Tree Planting Detail
SCALE: NOT TO SCALE



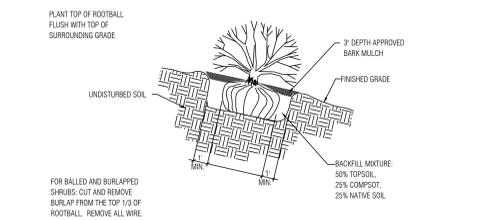
2 Coniferous Tree Planting Detail
SCALE: NOT TO SCALE



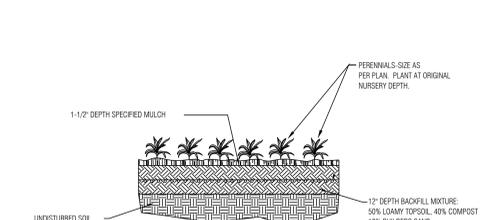
3 Deciduous Tree Placement on Slope
SCALE: NOT TO SCALE



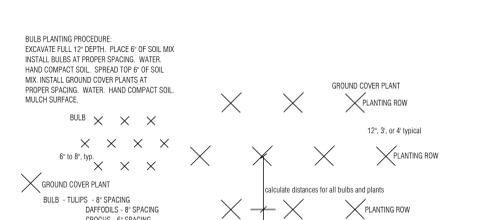
4 Coniferous Tree Placement on Slope
SCALE: NOT TO SCALE



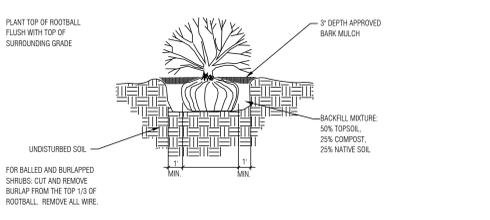
5 Shrub Placement on Slopes
SCALE: NOT TO SCALE



6 Perennial / Groundcover Planting
SCALE: NOT TO SCALE



7 Triangular Plant Spacing Diagram
SCALE: NOT TO SCALE



8 Shrub Planting Detail
SCALE: NOT TO SCALE

Seed Mix B with Wildflowers

30% Ephraim Crested Wheatgrass
25% Dwarf Perennial Ryegrass
20% SR3200 Blue Fescue
15% Rubens Canada Bluegrass
10% Chewings Fescue
15% Blue Grama
Wildflowers: 615 Western Mix

Note: Low Gro Mix available from Arkansas Valley Seed Solutions (877) 957-3337

Wildflower Mix available from: Appwood Seed Co. (303) 431-7333

APPLICATION RATE: Native Grass Mix: 40 lbs./acre (or as recommended by supplier)
Wildflower Mix: 6 oz./1,000 s.f. or 8-10 lbs./acre
Hydromulch: 2200 lbs./acre mulch, 100 lbs./acre tackifier.

APPLICATION METHOD: Broadcast seed by hand or with a drop spreader. Manually rake seed into prepared soil. After seeding apply green hydromulch and tackifier.

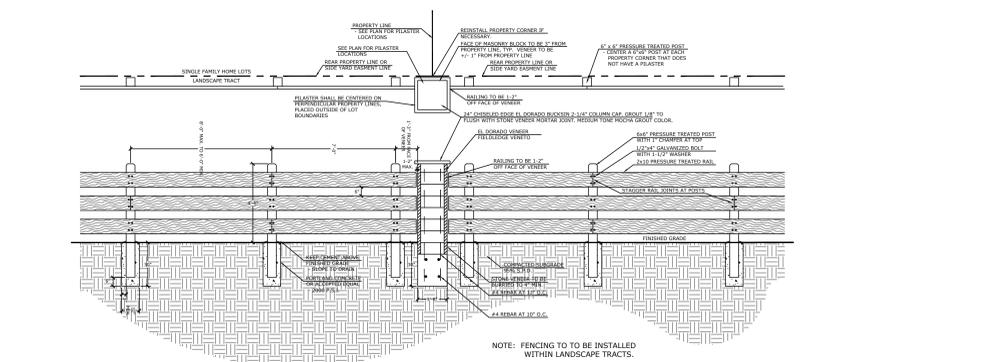
Seed Mix A

15% Western Wheatgrass
15% Big Bluestem
15% Thickspike Wheatgrass
10% Sideoats Grama

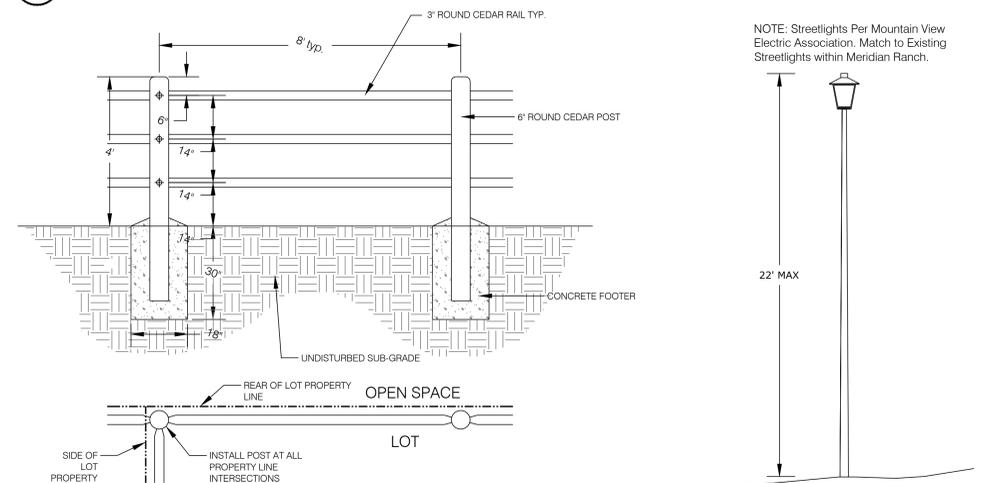
15% Little Bluestem
15% Blue Grama
15% Annual Rye

APPLICATION RATE: Native Grass Mix: 3 lbs./1,000s.f. or 130 lbs./acre
Hydromulch: 2200 lbs./acre mulch, 100 lbs./acre tackifier.

APPLICATION METHOD: Broadcast seed by hand or with a drop spreader. Manually rake seed into prepared soil. After seeding apply green hydromulch and tackifier.



9 3-Rail Streetscape Fence
SCALE: NOT TO SCALE



10 Round Doweled Fence
SCALE: NOT TO SCALE



11 Light Detail
SCALE: NOT TO SCALE

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND
DECIDUOUS TREES							
(+)	Axf	3	Acer x freemanii 'Jeffersred' / Autumn Blaze Maple	20'	30'	2.5" Cal.	B&B
(+)	Gtr	13	Gleditsia triacanthos / Honey Locust	60'	40'	3" Cal.	B&B
EVERGREEN TREES							
(+)	Ph	61	Picea pungens 'Hoopsii' / Hoops Blue Spruce	15'	25'	6" HT	B&B
(+)	Pe	8	Pinus edulis / Pinon Pine	30'	20'	6" HT	B&B
(+)	Pn	31	Pinus nigra / Austrian Black Pine	60'	40'	8" HT	B&B
(+)	Pp	26	Pinus ponderosa / Ponderosa Pine	80'	40'	8" HT	B&B
ORNAMENTAL TREES							
(+)	Mr	22	Malus x 'Radiant' / Radiant Crab Apple	25'	20'	2" Cal.	B&B
SHRUBS							
(+)	Cse	15	Cornus sericea / Redoiser Dogwood	8'	8'	5 GAL	CONT
(+)	Cbd	6	Cotoneaster dammeri 'Coral Beauty' / Bearberry Cotoneaster	1'	4'	5 GAL	CONT
(+)	Jbc	22	Juniperus horizontalis 'Blue Chip' / Blue Chip Juniper	1'	8'	5 GAL	CONT
(+)	Rag	22	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	3'	4'	5 GAL	CONT
PERENNIALS							
(+)	Hso	21	Hemerocallis x 'Stella de Oro' / Stella de Oro Daylily	1.5'	1.5'	1 GAL	CONT
(+)	Lh	15	Lavandula angustifolia 'Hidcote' / Hidcote Lavender	2'	2'	1 GAL	CONT

GROUND COVER LEGEND

- ROCK COBBLE
2-4" Grey Rose
- ROCK MULCH
1.5" Cimarron Granite
- SOD
- SEED MIX A
To Extent of Disturbance
- SEED MIX B WITH WILDFLOWERS

TREE REQUIREMENTS

Plant Category	Street (Classification)	Street Frontage Length	Required Trees	Provided Trees	Shrub/Perennial Subs
(RR)	Rex Road/Urban Minor Arterial	3,019'	121 (1 per 25')	80' (R)	TBD

Alternative Landscape Plan Request

- Code Section - 6.2.2(B)(1)
- Requirement - 1 tree per 25 linear ft of frontage for an Urban Minor Arterial street
- Justification - The 121 trees along Rex Road will be disturbed during construction for its future expansion. This will lead to trees needing to be removed and replaced. A reduction of 41 trees is requested along Rex Rd.
- Proposal - Instead of 121 setback trees, 80 trees will be planted along Rex Rd. The other 41 trees that were required will be relocated interior to the site, where they will not be unnecessarily disturbed by construction.

**Reference Letter of intent for full justification.

LANDSCAPE NOTES

- REFER TO MERIDIAN RANCH LANDSCAPE SPECIFICATIONS FOR SOIL AMENDMENT AND PREPARATION FOR ALL SOD, SEED AND PLANTING AREAS.
- CONTRACTOR TO UTILIZE STOCKPILED TOPSOIL FROM GRADING OPERATION AS AVAILABLE. TILL INTO TOP 8" OF SOIL.
- OR - TOPSOIL TO BE IMPORTED.
- CONTRACTOR TO TEST AMENDED SOIL. FOR EACH STREET, TAKE 1 TEST IN FESCUE SOD/ALTERNATIVE TURF AREA, 1 TEST IN PLANTING BED AREA, AND 1 TEST IN SEEDING AREA, AND SUBMIT TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLING LANDSCAPE.
- SUBMIT FERTILIZER PRODUCT SHEET TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. EXAMPLES FOR SUBMITTALS ARE: FESCUE SOD FERTILIZER, LOW ALTERNATE TURF FERTILIZER, TALL NATIVE SEED MIX FERTILIZER, ETC.
- LANDSCAPE ARCHITECT (L.A.) TO APPROVE BERMING BEFORE PLANTING CAN BEGIN.
- ALL PRESERVATION AREAS CONTAINING VEGETATION DESIGNATED TO BE PRESERVED, SHALL BE FENCED OFF DURING CONSTRUCTION TO MINIMIZE DISTURBANCE IN THESE AREAS. ALL FENCING SHALL BE INSTALLED AROUND PRESERVED VEGETATION PRIOR TO ANY GRADING ON THE PROPERTY. A 4-FOOT ORANGE CONSTRUCTION SAFETY FENCE SHOULD BE USED IN THIS APPLICATION. SUBMIT PRODUCT INFO TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
- A FULLY AUTOMATED SPRINKLER IRRIGATION SYSTEM WILL DRIP IRRIGATE ALL TREE, SHRUB, AND GROUND COVER PLANTING AREAS AND SPRAY ANY TURF. IRRIGATION PLAN WILL INCLUDE AN IRRIGATION SCHEDULE THAT NOTES APPLICATION RATES BASED ON TURF TYPE, AND NOTES RATES FOR NEWLY PLANTED PLANTS VS. ESTABLISHED PLANTS AND GENERAL AREAS REGARDING SEASONAL ADJUSTMENTS (SPRING AND FALL).
- NATIVE SEED AREAS TO USE SEED MIX SPECIFIED ON SHEET L7. SUBMIT SEED MIX PRODUCT INFORMATION TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
- EROSION CONTROL BLANKET TO BE APPLIED ON ALL SEED AREAS WITH GREATER THAN 3:1 SLOPES. EROSION CONTROL BLANKET TO BE: S150BN WITH 6" STEEL STAKES/PINS AVAILABLE FROM NORTH AMERICAN GREEN DISTRIBUTOR, NILEX ENVIRONMENTAL, INC. (303)766-2000, OR APPROVED EQUAL. SUBMIT SAMPLE AND PRODUCT INFO TO LANDSCAPE ARCHITECT (L.A.) FOR APPROVAL PRIOR TO INSTALLATION. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- ALL SEED SHALL BE WARRANTED FOR ONE FULL YEAR AND BE IN SATISFACTORY CONDITION AT THE END OF THE WARRANTY PERIOD. NO AREA LARGER THAN 3"x3" WITHIN THE IRRIGATED SEEDING AREA, 12"x12" FOR NON-IRRIGATED SEEDING AREAS OF THIS PROJECT SHALL BE VOID OF SUBSTANTIAL GRASS 45 DAYS AFTER THE TIME OF SEEDING DURING THE GROWING SEASON.
- ALL TREES AND SHRUBS TO RECEIVE A BACK FILL MIXTURE OF 50% IMPORTED LOAM TOPSOIL, 25% COMPOST, AND 25% EXISTING SOIL.
- ALL TREES TO BE STAKED WITH WOOD STAKES. FOR 3" CAL. DECIDUOUS TREES AND EVERGREEN TREES OVER 8" USE 3 WOOD STAKES (STAKE TO GROUND LEVEL). SUBMIT STAKING MATERIALS PRODUCT INFO TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
- ALL PLANTS AVAILABLE FROM LITTLE VALLEY WHOLESALE NURSERY AND OTHER NURSERY SOURCES.
- MINIMUM INSPECTIONS WILL INCLUDE:
 - SELECTION OF SPECIMEN PLANT MATERIALS AT CONTRACTOR'S NURSERY OR WHOLESALER,
 - APPROVAL OF PLANT LOCATION STAKES BEFORE PLANT MATERIALS ARE INSTALLED,
 - "PUNCH LIST" SITE INSPECTIONS, AND
 - FINAL INSPECTION SITE VISIT
- ANY ADDITIONAL VISITS CAUSED BY INCOMPLETE LANDSCAPE CONTRACTOR WORK, WILL BE CHARGED TO THE LANDSCAPE CONTRACTOR AT LANDSCAPE ARCHITECT'S HOURLY RATE OF \$85/HR.
- CONTRACTOR TO APPLY PRE-EMERGENT HERBICIDE TO SHRUB BEDS PER MANUFACTURER'S SPECIFICATIONS. SUBMIT MANUFACTURER'S SPEC. SHEET TO L.A. FOR APPROVAL PRIOR TO APPLICATION OF HERBICIDE.
- ALL PLANTS TO RECEIVE 2 INCH DEPTH OF SHREDDED CEDAR WOOD MULCH UNLESS OTHERWISE SPECIFIED. MULCH RINGS TO BE SIZED PER PLANTING DETAILS. WOOD MULCH TO BE "GORILLA HAIR CEDAR MULCH" AVAILABLE FROM C&C SAND COMPANY (719)471-7222 OR PIONEER SAND CO. (719)599-8100. SUBMIT PRODUCT INFORMATION TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PLANT MATERIAL SHOWN ON THIS PLAN. IF ANY DISCREPANCIES ARE FOUND BETWEEN THE LANDSCAPE PLAN AND THE PLANT SCHEDULE, THE QUANTITIES SHOWN ON THE LANDSCAPE PLAN SUPERSEDE THOSE SHOWN ON THE PLANT SCHEDULE.
- PLANTS SHALL BE WARRANTED FOR THE DURATION OF ONE FULL YEAR AFTER THE INSTALLATION (WARRANTY SHALL COVER 100% OF THE REPLACEMENT COST).
- SOD SHALL BE KENTUCKY BLUEGRASS BLEND. SOD SHALL BE LAID ON A FIRM BED WITH TIGHT JOINTS WITH NO VOIDS BETWEEN STRIPS. ANY MOUNDS OR DEPRESSIONS OCCURRING AFTER INSTALLATION SHALL BE CORRECTED PRIOR TO ACCEPTANCE. SOD TO BE FERTILIZED ACCORDING TO GROWERS RECOMMENDATIONS. SUBMIT PRODUCT INFORMATION TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
- ALL SOD/TURF, ROCK, & SHRUB BEDS TO BE SEPARATED BY SOLID STEEL EDGING. ALL SHRUB BEDS TO BE ENCLOSED BY STEEL EDGING. SEPARATION BETWEEN SOD AND NATIVE SEEDS, AND BETWEEN ALTERNATIVE TURF AND NATIVE SEED SHALL BE A MOWED STRIP, WITHOUT STEEL EDGING.
- SE - SOLID STEEL EDGING TO BE: "DURAEDGE" (1/8" THICK x 4" WIDE) STEEL LANDSCAPE EDGING, GREEN COLOR, WITH ROLLED EDGE AND STEEL STAKES. AVAILABLE FROM CPS DISTRIBUTORS (719)574-2400, OR FROM DIRECT LANDSCAPE SUPPLY IN DENVER (303)781-2270. USE SOLID STEEL EDGING EXCEPT WHERE NOTED ON THE PLANS. SUBMIT PRODUCT INFORMATION TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
- ALL TREES PLANTED IN ROCK MULCH AREAS TO RECEIVE A 3" RADIUS RING OF WOOD MULCH.
- ROCK MULCH TO BE: 1.5" DIAMETER ANGULAR CIMARRON GRANITE STONE. GEOTEXTILE/FILTER FABRIC TO BE WEED CONTROL POLYSPUN 350, 3.5 OUNCES/SQ. YARD, OR EQUAL. PLACE FABRIC UNDER ALL ROCK MULCH AREAS, BUT NOT UNDER WOOD MULCH AREAS. SUBMIT ROCK & FABRIC SAMPLES & PRODUCT INFORMATION TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
- ROCK COBBLE TO BE: 3-4" DIAMETER GREY ROSE STONE. GEOTEXTILE/FILTER FABRIC TO BE WEED CONTROL POLYSPUN 350, 3.5 OUNCES/SQ. YARD, OR EQUAL. PLACE FABRIC UNDER ALL ROCK MULCH AREAS, BUT NOT UNDER WOOD MULCH AREAS. SUBMIT ROCK & FABRIC SAMPLES & PRODUCT INFORMATION TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
- ALL EXISTING NATIVE AREAS ARE TO REMAIN. CONTRACTOR TO RESEED ALL DISTURBED AREAS WITH THE NATIVE SEED MIX A.

ROLLING HILLS RANCH NORTH FILINGS 1 & 2 AT MERIDIAN RANCH

PUD DEVELOPMENT / PRELIMINARY PLAN

DATE: 12/07/2023
PROJECT MGR: B. PERKINS
PREPARED BY: A. ROMAN

ENTITLEMENT

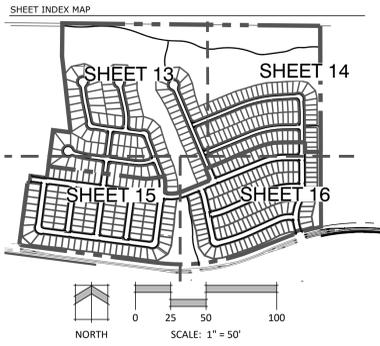
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Landscape Plan Notes & Details

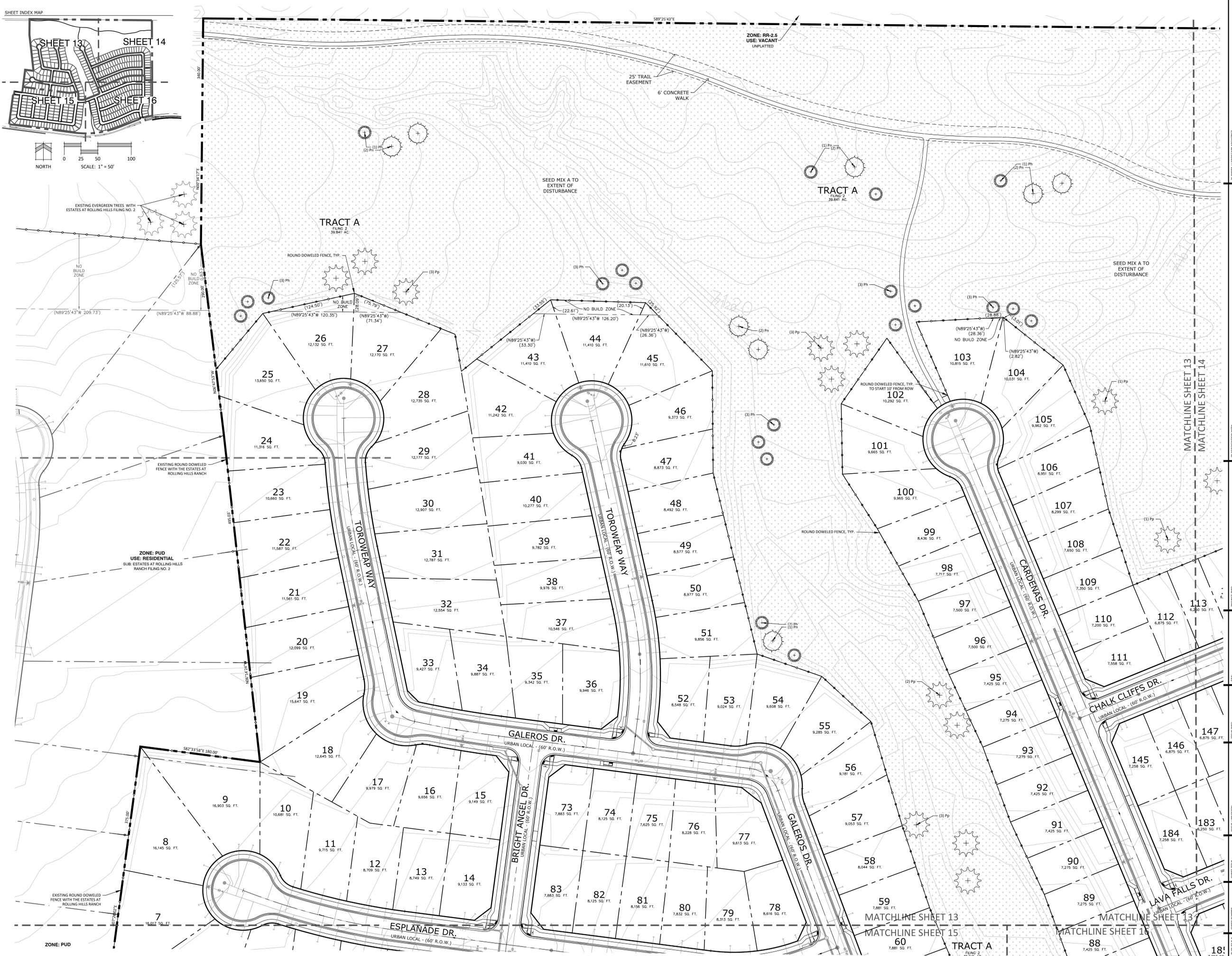
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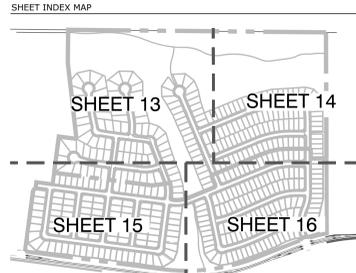
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Landscape Plan

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 13 OF 16

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Landscape Plan

15

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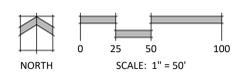
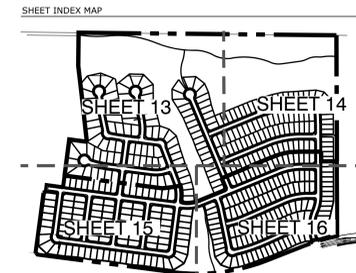
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MATCHLINE SHEET 14
MATCHLINE SHEET 16

BOARD OF COUNTY COMMISSIONERS OF EL PASO COUNTY
ZONE: PUD
USE: COUNTY FALCON REGIONAL PARK

SEED MIX A TO EXTENT OF DISTURBANCE
ROUND DOWELED FENCE, TYP.



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Landscape Plan

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16 OF 16