

GENERAL PROVISIONS

- A. Authority. This PUD is authorized by Chapter 4 of the El Paso County Land Development Code...
B. Applicability. The provisions of this PUD shall run with the land...
C. Adoption. The adoption of this development plan shall evidence the findings and decisions of the El Paso County Board of County Commissioners...
D. Relationship to County Regulations. The provisions of this Development Plan shall prevail and govern the development of Rolling Hills Ranch North Filings 1 & 2...
E. Enforcement. To further the mutual interest of the residents, occupants, and owners of the PUD and of the public in the preservation of the integrity of this development plan...
F. Conflict. Where there is more than one provision within the development plan that covers the same subject matter, the provision which is most restrictive or imposes higher standards or requirements shall govern.
G. Maximum Level of Development. The total number of dwellings shown on the development plan for development within the specified planning area is the maximum development requested for subdivision or construction...
H. Project Tracking. At the time of any final plat application, the applicant shall provide a summary of the development, to date, to Planning and Community Development...
I. Overall Project Standards. The standard zoning requirements of El Paso County Land Use Code, as amended, including off-street parking, landscaping, site development, accessory and temporary uses, and use by special review and variance processes shall apply to this PUD, except as modified below.

ROLLING HILLS RANCH NORTH FILINGS 1&2 PUD DEVELOPMENT PLAN DEVELOPMENT GUIDELINES

- A. Project Description. Rolling Hills Ranch North Filings 1 & 2 is the continuation of a long-term development with a distinct vision. The project centers on a recreational lifestyle by providing opportunities such as a golf course, recreation center, parks and open space, and trails for residents to enjoy.
B. Permitted and Accessory Uses. Permitted and accessory uses are as identified in the use table below: (Reference: Note G)
Table with Principal Uses (CMRS Facility, Dwelling, Model Home, Public Park, Yard Sales) and Accessory Uses (Day Care Home, Group Home, Home Occupation, etc.).
Legend: A: Allowed Use, S: Special Use, T: Temporary Use.
Uses not listed in this table are prohibited.
C. Development Requirements. 1. Maximum lot coverage: fifty-five (55) percent. 2. Maximum building height: thirty (30) feet. 3. Setback minimums: a. Front yard: twenty (20) feet. b. Side yard: five (5) feet. c. Rear yard: twenty (20) feet. 4. Minimum Lot Width: 50' as measured from the front setback line...
D. Lot Sizes. 1. The minimum lot size is 6,000 SF. 2. The lot sizes, dimensions, and bearings, shown on the PUD Development/Preliminary Plan are conceptual only...
E. Streets. Streets within Rolling Hills Ranch North Filings 1 & 2 Subdivision provide general vehicular circulation throughout the development. All streets shall be publicly owned and maintained.
F. Architectural Control Committee Review/Covenants. The Covenants govern Rolling Hills Ranch North Filings 1 & 2 and owners of lots within Rolling Hills Ranch North Filings 1 & 2 may need to obtain the prior written approval of the Design Committee before building an Improvement on the lot or commencing with a particular use of the lot.
G. Relationship to ARC/Covenants. The provisions of the Covenants shall prevail except where the provisions or guidelines of the Covenants do not address a particular subject or guideline, in which case the relevant provisions of the Development Plan shall then be applicable.

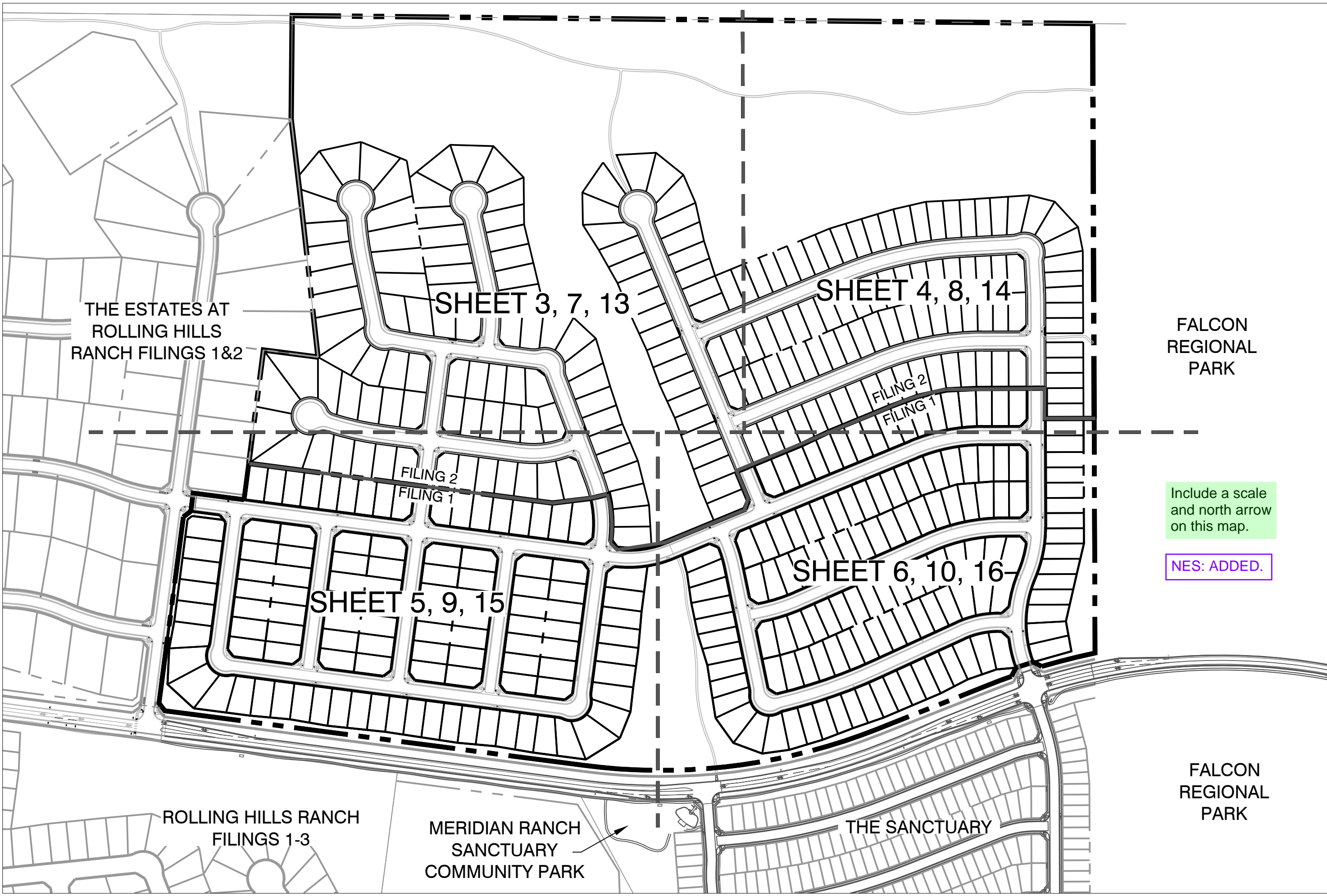
GENERAL NOTES

- 1. All streets shall be constructed to El Paso County standards, unless a specific waiver or deviation has been approved, dedicated to El Paso County for and upon acceptance by El Paso County...
2. Landscape entry features, open space tracts, parks and trails shall be owned (when appropriate) and maintained by the Meridian Service Metropolitan District...
3. Contour interval shown on plan: 2'.
4. Public utility/drainage easements shall be provided on all lots as follows: a. Front: ten (10) feet. b. Side: five (5) feet. c. Rear: seven and one-half (7.5) feet.
5. Streets: Ten (10) foot easement along all areas when front easement is not appropriate.
6. All open space/trail/landscape tracts shall be limited to non-motorized use only, except for maintenance and emergency vehicles.
7. Rolling Hills Ranch North Filings 1&2 at Meridian Ranch is subject to the previously approved Meridian Ranch Overall PUD Plan...
8. Rolling Hills Ranch North Filings 1&2 at Meridian Ranch is subject to the approved Meridian Ranch Sketch Plan Amendment...
9. Rolling Hills Ranch North Filings 1&2 at Meridian Ranch is subject to the approved Meridian Ranch Zoning & Conceptual Plan approved...
10. Per the El Paso County Wildfire Hazards map, dated December 2007, Rolling Hills Ranch North Filings 1 & 2 is situated entirely within the Low Hazard - Non Forested category.
11. Rolling Hills Ranch North Filings 1&2 at Meridian Ranch shall be limited to a total of 441 single family lots.
12. This subdivision is subject to the public right of way landscape license agreement for Meridian Ranch as recorded under reception no. 21306330 in the office of the clerk and recorder.
13. Delete Note 13 - it is duplicative of Note 15. Note #13 has been deleted.
14. The PUD modification to remove the need for a midblock crossing...
15. Provision to promote pedestrian safety - pedestrians entering the roadway from behind parked vehicles...
16. Geologic Hazards Note: Areas of the proposed subdivision have been found to be impacted by geologic conditions including groundwater, expansive soils and sandstone/dolomite material.
17. All roadway must discharge and drain through the landscape area of the lots...
18. Add notes to explain no signs. Zones shown on plan.
19. Add Plan notes: All and through their g.
20. Add Plan notes: All and through their g.
21. Add Plan notes: All and through their g.

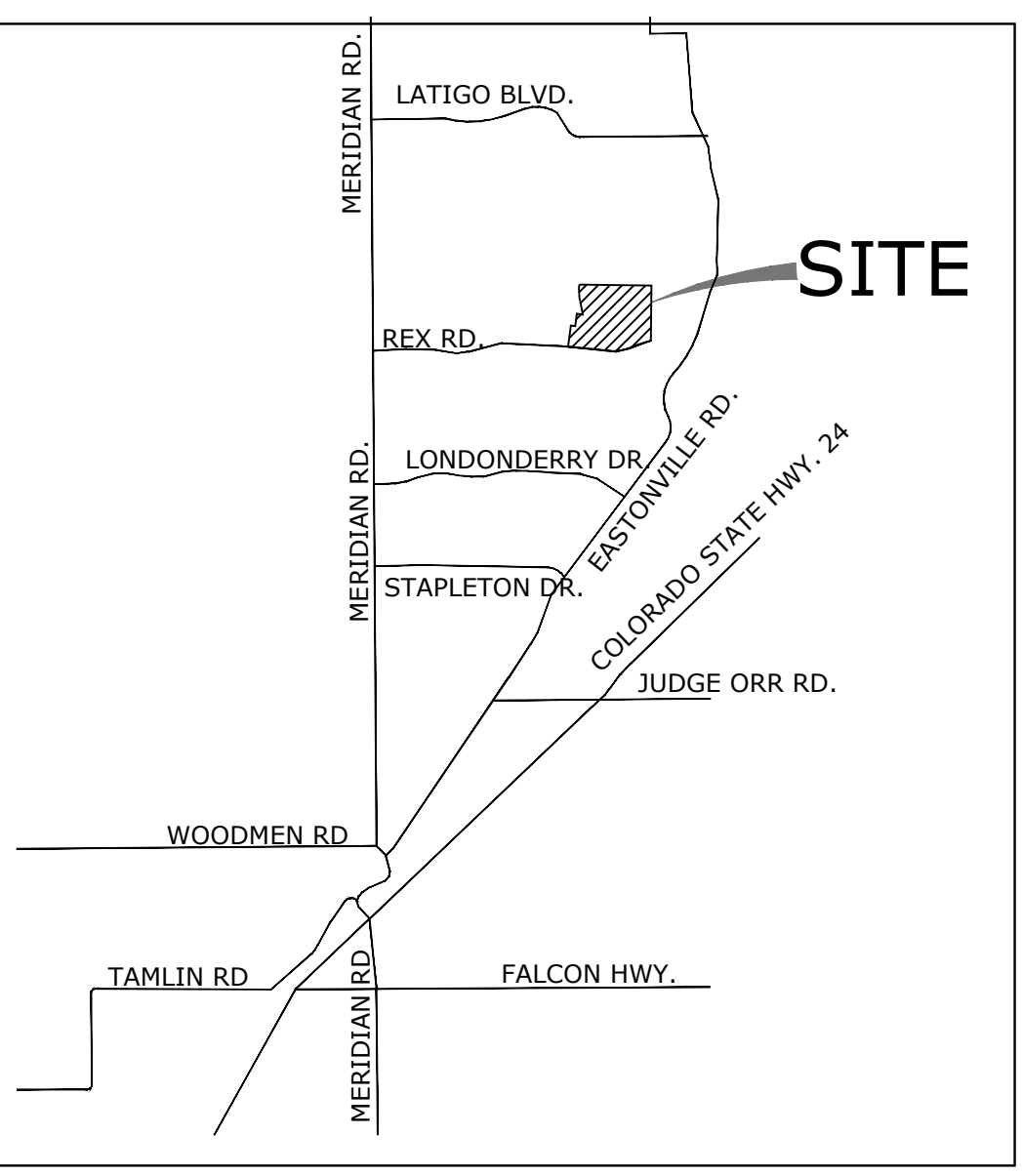
ROLLING HILLS RANCH NORTH FILINGS 1 & 2 AT MERIDIAN RANCH PUD DEVELOPMENT PLAN / PRELIMINARY PLAN

SECTION 20, IN TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO.

SHEET INDEX MAP



VICINITY MAP



OWNER: MERIDIAN RANCH INVESTMENTS, INC. P.O. BOX 80036 San Diego, CA 92138-0036
PLANNER: N.E.S. Inc. 619 N. Cascade Ave., Ste. 200 Colorado Springs, CO 80903 (719) 471-0073
CIVIL ENGINEER: Tech Contractors 11910 Tourmaline Drive, Suite 130 Falcon, CO 80831
SUBDIVIDER: GTL, Inc. 3575 Kenyon St., Suite 200 San Diego, CA 92110

DEVELOPMENT DATA

- Existing Zoning: PUD
Tax ID Number: 4200000477
Total Area: 148,873 AC
Number of Lots: 441
Total Lot Area: 78,160 AC (52.5%)
Average Lot Size: 7,720 SF
Minimum Lot Size: 6,000 SF
Minimum Lot Width: 50 Feet
Minimum Lot Depth: 120 Feet
Gross Density: 2.96 DU/AC
Net Density: 5.64 DU/AC
R.O.W.: 24,252 AC (16.3%)
Total Tract Area: 46,461 AC (31.2%)
Maximum Height: Thirty (30) Feet
Maximum Lot Coverage: Fifty-five percent (55%)

Some of this information is unnecessary duplication of information provided in the development guidelines.
There is a lot of information here. This table doesn't include any information that is not provided above in the development data. I would recommend removal of the table to simplify this page.

LAND USE DATA TABLE

Table with columns: LAND USE, NET DENSITY, UNITS, ACRES, % OF LAND. Rows include SINGLE FAMILY, ROAD R.O.W., and OPEN SPACE TRACTS.

TRACT TABLE

Table with columns: FILING, TRACT, SIZE (AC), USE, OWNERSHIP/MAINTENANCE. Rows include FILING 1 and FILING 2.

SOCIAL IMPACTS TABLE

Table with columns: ISSUE, PROVIDER / MAINTENANCE, AVAILABILITY / AMOUNT. Rows include STUDENT GENERATION, WATER PROVIDER, FIRE PROTECTION PROVIDER, RECREATION ACREAGE, etc.

OVERALL DEVELOPMENT DWELLING UNIT TABULATION

Table with columns: DWELLING UNITS, FILING 1, FILING 2, FILING 3, FILING 4, FILING 6, FILING 7, ESTATES FILING 2 AND 3. Rows include DWELLING UNITS, DWELLING UNITS, DWELLING UNITS, TOTAL DWELLING UNITS.

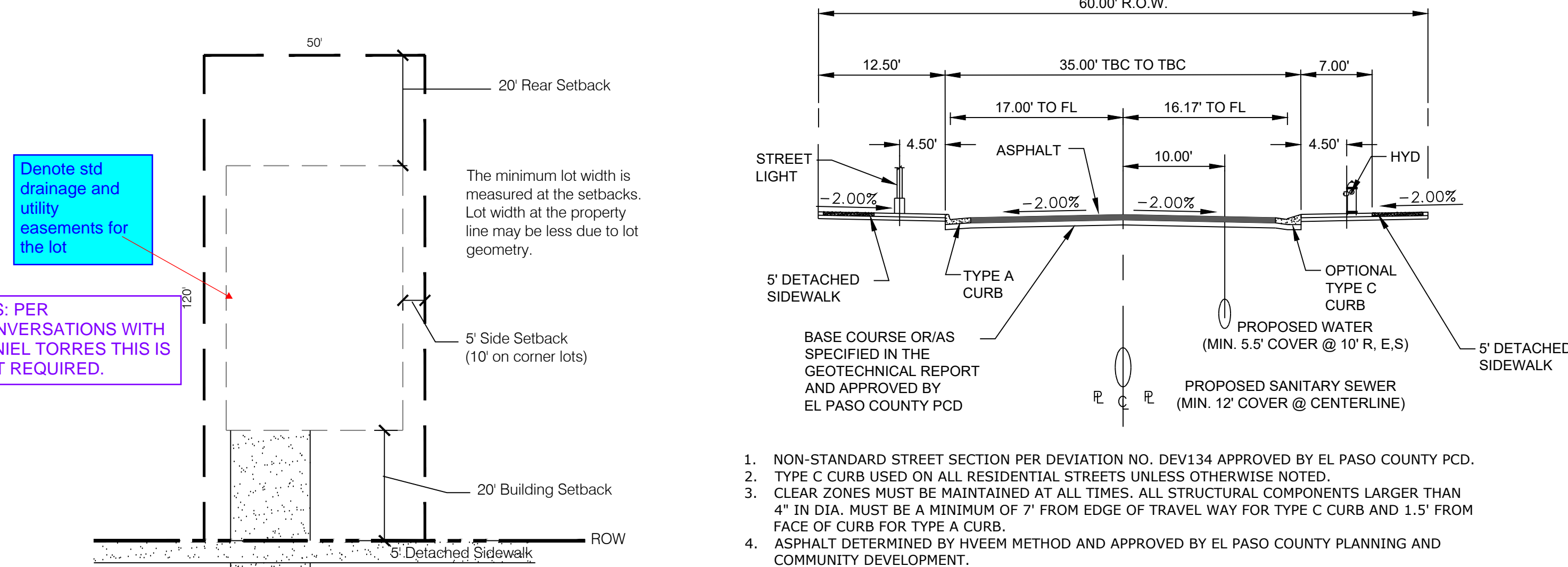
SHEET INDEX

- SHEET 1 of 16: COVER SHEET
SHEET 2 of 16: LEGAL PLAN
SHEET 3 of 16: SITE PLAN
SHEET 4 of 16: SITE PLAN
SHEET 5 of 16: SITE PLAN
SHEET 6 of 16: SITE PLAN
SHEET 7 of 16: GRADING & UTILITIES PLAN
SHEET 8 of 16: GRADING & UTILITIES PLAN
SHEET 9 of 16: GRADING & UTILITIES PLAN & UTILITIES PLAN

COVER SHEET

I, the undersigned, a duly registered Professional Land Surveyor in the State of Colorado, do hereby certify that this plat truly and correctly represents the results of a survey made on the date of survey, by me or under my supervision, and that the same is true and correct in every particular. I have been prepared in full compliance with the provisions of the Public Improvements Act of the State of Colorado, and the Public Improvements Act of the State of Colorado, and the Public Improvements Act of the State of Colorado.

Surveyor's Name, (Signature) Date



TYPICAL LOT LAYOUT BASED ON MINIMUMS (VARIES)

60' R.O.W. URBAN LOCAL ROAD (TYPICAL)

REFERENCE SHEET 2 FOR REX ROAD STREET SECTION.

Denote std drainage and utility easements for the lot.
NES: PER CONVERSATIONS WITH DANIEL TORRES THIS IS NOT REQUIRED.

Are Note 7 and 9 intended to serve the same purpose? I would recommend consolidating these notes.
NES: REVISED

NES: GEOHAZ NOTE HAS BEEN UPDATED. ONLY SHALLOW GROUNDWATER IS TYPICALLY IDENTIFIED WITH SPECIFIC LOTS. HOWEVER, THIS CONSTRAINT IS ONLY IDENTIFIED IN OPEN SPACE TRACTS THEREFORE NO PROPOSED LOTS ARE CONSTRAINED.
NES: NOTE ADDED.

Include Surveyors Certificate. I, the undersigned, a duly registered Professional Land Surveyor in the State of Colorado, do hereby certify that this plat truly and correctly represents the results of a survey made on the date of survey, by me or under my supervision, and that the same is true and correct in every particular.

Add notes to explain no signs. Zones shown on plan.
NES: PER CORRESPONDENCE WITH RYAN HOWSER THIS IS NOT REQUIRED ON A PUD.

- 1. NON-STANDARD STREET SECTION PER DEVIATION NO. DEV134 APPROVED BY EL PASO COUNTY PCD.
2. TYPE C CURB USED ON ALL RESIDENTIAL STREETS UNLESS OTHERWISE NOTED.
3. CLEAR ZONES MUST BE MAINTAINED AT ALL TIMES. ALL STRUCTURAL COMPONENTS LARGER THAN 4" IN DIA. MUST BE A MINIMUM OF 7" FROM EDGE OF TRAVEL WAY FOR TYPE C CURB AND 1.5" FROM FACE OF CURB FOR TYPE A CURB.
4. ASPHALT DETERMINED BY HVEEM METHOD AND APPROVED BY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT.

not provided nor needed as rex road construction is being done by other meridian projects. Please remove.
NES: REMOVED.

Land Owner Certification. In Witness Whereof: HAS EXECUTED THESE PRESENTS THIS DAY OF 20__ A.D., A CALIFORNIA CORPORATION
RAUL GUZMAN, VICE PRESIDENT MERIDIAN RANCH INVESTMENTS, INC

Clerk and Recorder Certification. State of C. Clerk and Recorder. I, El Paso Co. STATE OF COLORADO COUNTY OF EL PASO, hereby certify that this instrument was filed in my office on this day of 20__, and was recorded at Reception Number _____ of the records of El Paso County.

El Paso County Clerk and Recorder. NES: REVISED.

El Paso County Clerk and Recorder. NES: NOTE ADDED.



N.E.S. Inc. 619 N. Cascade Avenue, Suite 200 Colorado Springs, CO 80903
Tel. 719.471.0073 Fax 719.471.0267
www.nescolorado.com

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ROLLING HILLS RANCH NORTH FILINGS 1 & 2 AT MERIDIAN RANCH

PUD DEVELOPMENT / PRELIMINARY PLAN

DATE: 12/07/2023
PREPARED BY: A. ROMAN

ENTITLEMENT

DATE: BY: DESCRIPTION:

Cover Sheet

1 OF 16

NES: FILE NUMBER ADDED.



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Colorado Springs, CO 80903

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Fax 719.471.0267

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LEGAL DESCRIPTION - ROLLING HILLS RANCH NORTH FILINGS 1 & 2

KNOW ALL MEN BY THESE PRESENTS: THAT GTL, INC. DBA GTL DEVELOPMENT, INC., THEODORE TCHANG, PRESIDENT BEING THE OWNER OF THE FOLLOWING DESCRIBED TRACT OF LAND:

KNOW ALL MEN BY THESE PRESENTS: THAT GTL, INC. DBA GTL DEVELOPMENT, INC., THEODORE TCHANG, PRESIDENT BEING THE OWNER OF THE FOLLOWING DESCRIBED TRACT OF LAND:

A PARCEL OF LAND LOCATED IN A PORTION OF SECTION 20, IN TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EASTERLY RIGHT-OF-WAY OF ESTATE RIDGE DRIVE AS DEDICATED IN THE ESTATES AT ROLLING HILLS RANCH FILING NO. 2, RECORDED WITH RECEPTION NO. 222714944 IN THE RECORDS OF EL PASO COUNTY, POINT BEING ON THE EASTERN BOUNDARY LINE OF SAID FILING;

THE FOLLOWING NINE (9) COURSES ARE ON SAID BOUNDARY LINE:

1. THENCE N07°26'02"E A DISTANCE OF 616.00 FEET;
2. THENCE N45°20'00"E A DISTANCE OF 31.11 FEET;
3. THENCE N07°26'02"E A DISTANCE OF 60.00 FEET;
4. THENCE S87°33'58"E A DISTANCE OF 168.00 FEET;
5. THENCE N07°26'02"E A DISTANCE OF 495.00 FEET;
6. THENCE S87°33'58"E A DISTANCE OF 180.00 FEET;
7. THENCE N07°14'24"W A DISTANCE OF 495.00 FEET;
8. THENCE N06°47'53"W A DISTANCE OF 290.00 FEET;
9. THENCE N00°34'17"E A DISTANCE OF 340.00 FEET TO A POINT ON THE NORTH LINE OF THE NORTHWEST ¼ OF SAID SECTION 20;

THE FOLLOWING COURSE IS ON SAID SECTION LINE:

10. THENCE S89°25'43"E A DISTANCE OF 2624.85 FEET TO A POINT ON THE WESTERN BOUNDARY OF FALCON REGIONAL PARK RECORDED WITH RECEPTION NO. 214093227;

THE FOLLOWING COURSE IS ON SAID BOUNDARY LINE:

11. THENCE S00°13'03"E A DISTANCE OF 2064.39 FEET TO A NON-TANGENT CURVE TO THE LEFT, POINT BEING ON THE NORTHERN BOUNDARY OF THE SANCTUARY FILING NO. 1 AT MERIDIAN RANCH RECORDED WITH RECEPTION NO. 223715140 IN THE RECORDS OF EL PASO COUNTY;

THE FOLLOWING NINE (9) COURSES ARE ON THE BOUNDARY LINE OF SAID THE SANCTUARY FILING NO. 1 AT MERIDIAN RANCH:

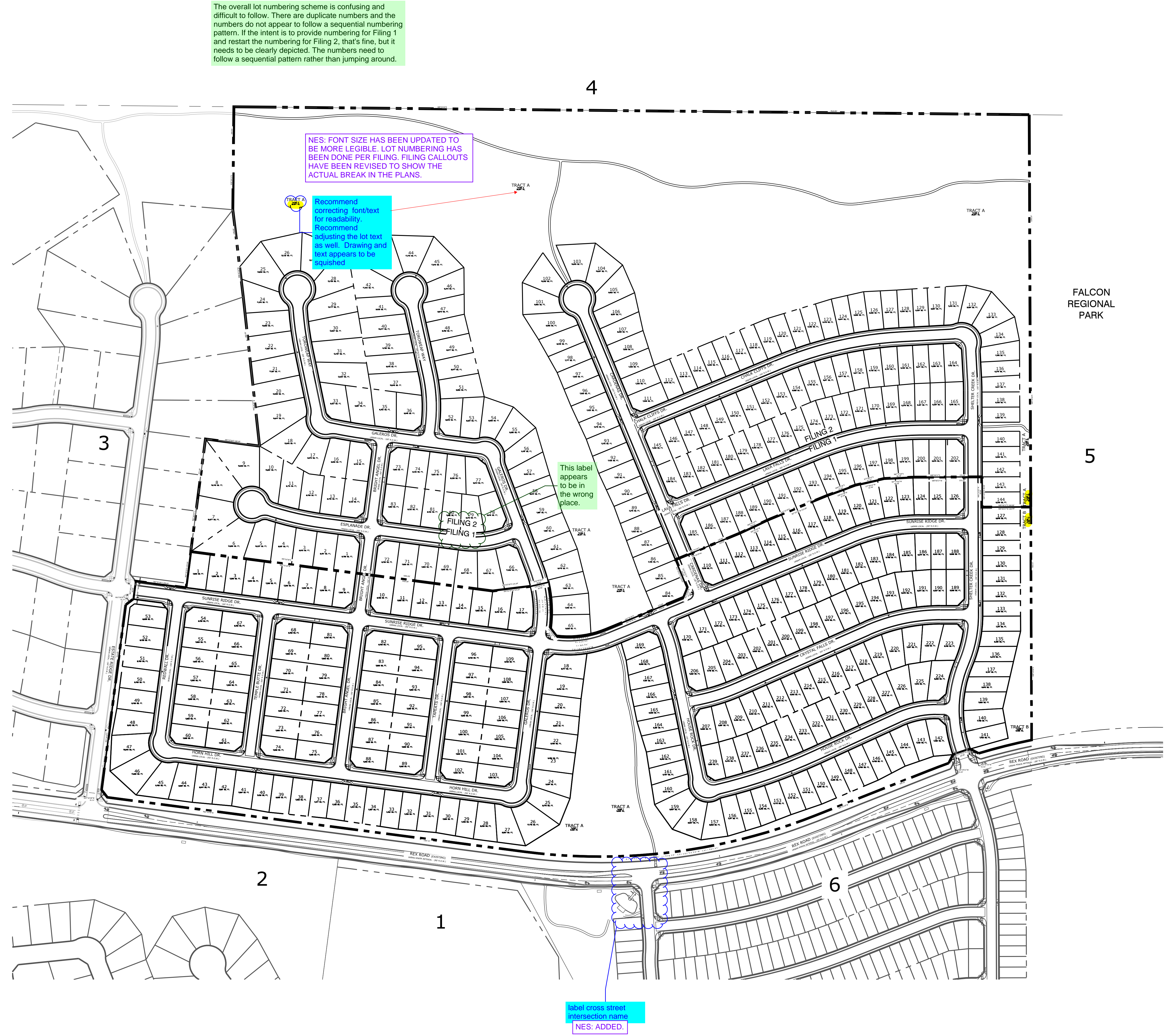
25. THENCE ON THE ARC OF SAID CURVE, HAVING A RADIUS OF 2050.00 FEET, A DELTA ANGLE OF 05°02'20", AN ARC LENGTH OF 180.29 FEET, WHOSE LONG CHORD BEARS S75°52'00"W A DISTANCE OF 180.23 FEET;
26. THENCE N62°31'53"W A DISTANCE OF 31.42 FEET;
27. THENCE S71°53'44"W A DISTANCE OF 60.00 FEET;
28. THENCE S20°18'21"W A DISTANCE OF 31.42 FEET TO A NON-TANGENT CURVE TO THE LEFT;
29. THENCE ON THE ARC OF SAID CURVE, HAVING A RADIUS OF 2050.00 FEET, A DELTA ANGLE OF 02°03'13", AN ARC LENGTH OF 73.48 FEET, WHOSE LONG CHORD BEARS S69°24'55"W A DISTANCE OF 73.48 FEET;
30. THENCE S68°13'18"W A DISTANCE OF 399.50 FEET TO A POINT OF CURVE TO THE RIGHT;
31. THENCE ON THE ARC OF SAID CURVE, HAVING A RADIUS OF 1930.00 FEET, A DELTA ANGLE OF 29°02'43", AN ARC LENGTH OF 978.39 FEET, WHOSE LONG CHORD BEARS S82°54'00"W A DISTANCE OF 967.95 FEET;
32. THENCE N82°33'58"W A DISTANCE OF 1387.37 FEET;
33. THENCE N37°33'58"W A DISTANCE OF 31.11 FEET TO THE POINT OF BEGINNING;

THE ABOVE PARCEL OF LAND CONTAINS 148.873 ACRES, MORE OR LESS.

BEARINGS ARE BASED ON THE SOUTH LINE OF THE SW ¼ OF SECTION 29, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH P.M., ASSUMED TO BEAR S89°25'42"E FROM THE SOUTHWEST CORNER OF SAID SECTION 29 (A STONE W/SCRIBED "X") TO THE SOUTH QUARTER CORNER OF SAID SECTION 29 (3.25" ALUM. CAP LS #30087).

ADJACENT OWNERS

ADJACENT OWNERS	NAME	MAILING ADDRESS	CITY / STATE / ZIP
1	Meridian Service Metro District	11886 Stapleton Dr.	Peyton, CO 80831
2	GTL INC - Rolling Hills Filing 3	3575 Kenyon Street, Suite 200	San Diego, CA 92110
3	GTL INC - The Estates at Rollings Hills Ranch	3575 Kenyon Street, Suite 200	San Diego, CA 92110
4	Falcon Latigo LLC	5350 S Roslyn Street, Suite 400	Englewood, CO 80111
5	Board of County Commissioners of El Paso County	200 S Cascade Ave., Suite 150	Colorado Springs, CO
6	GTL INC - The Sanctuary	3575 Kenyon Street, Suite 200	San Diego, CA 92110



PLAN SET

ASSOCIATION NOTES

DATE:

PROJECT MGR:

PREPARED BY:

ROLLING HILLS RANCH NORTH FILINGS 1 & 2 AT MERIDIAN RANCH

PUD DEVELOPMENT / PRELIMINARY PLAN

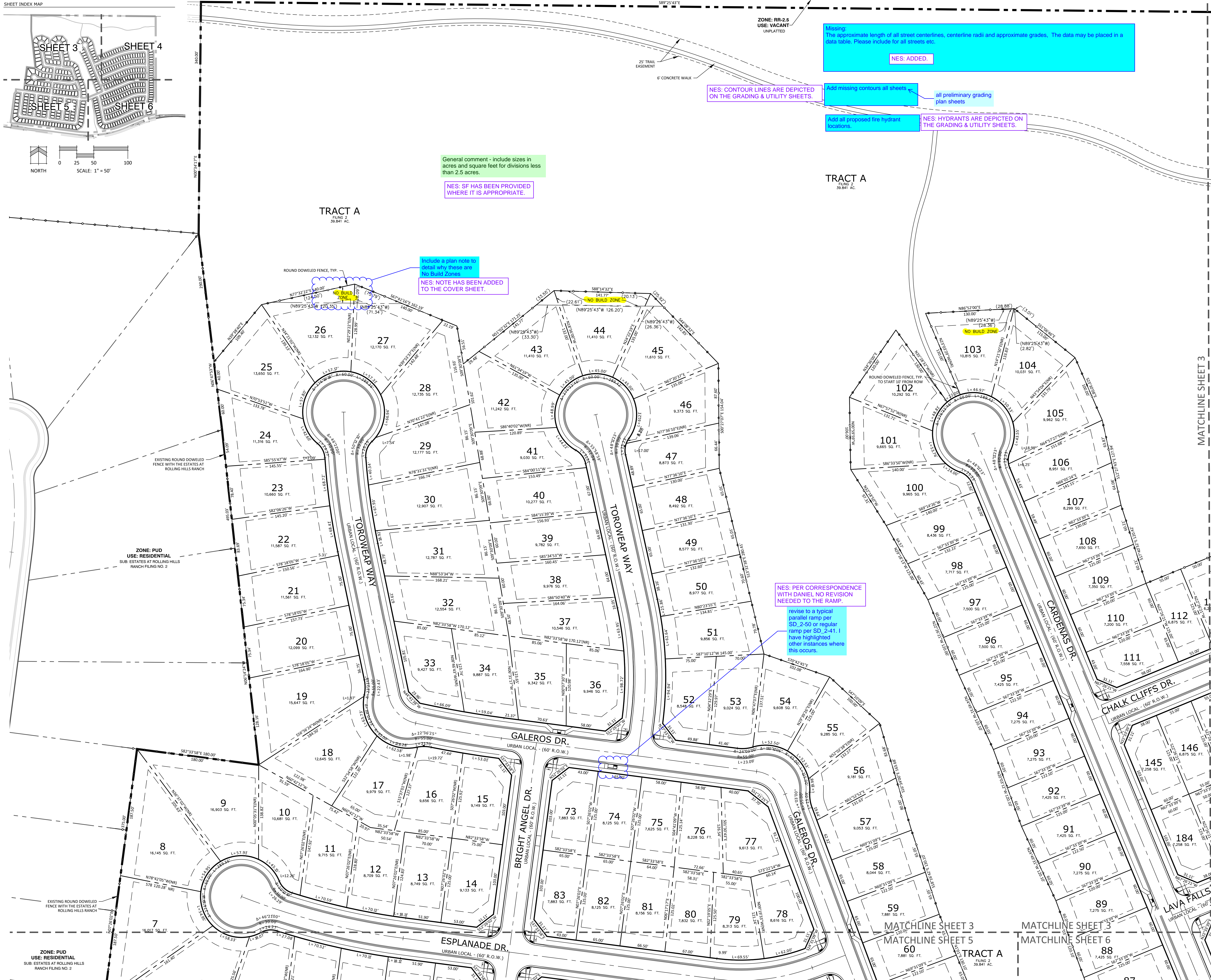
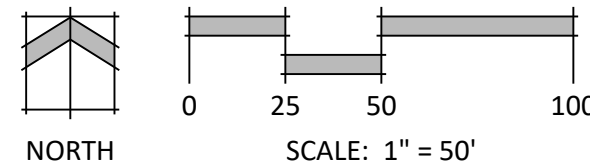
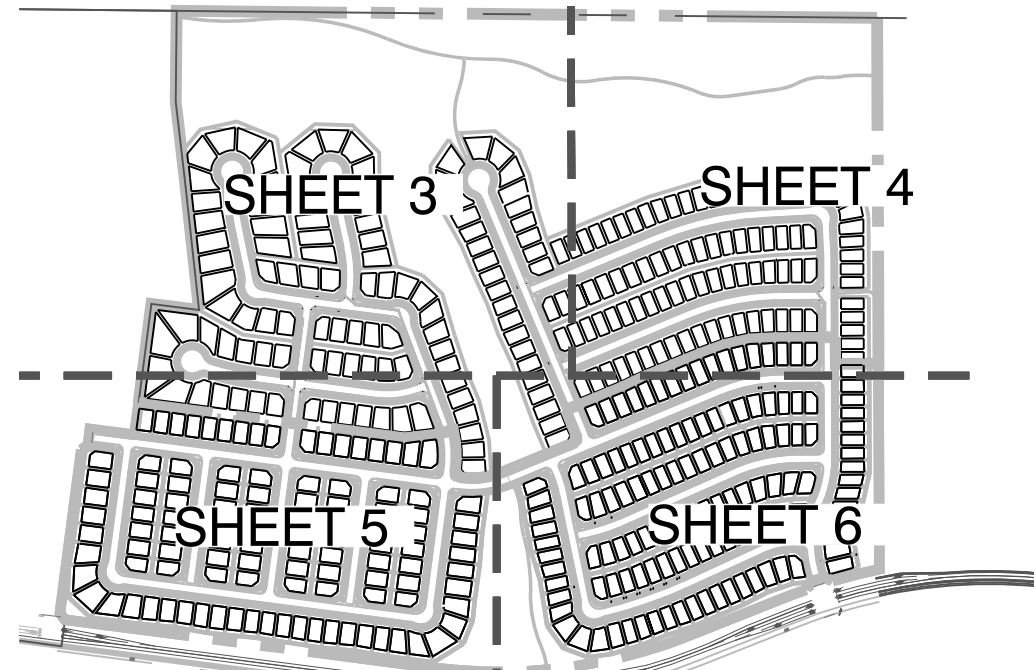
DATE: 12/07/2023
PROJECT MGR: B. PERKINS
PREPARED BY: A. ROMAN

ENTITLEMENT

DATE:	BY:	DESCRIPTION:

Legal Plan

P:\GTL\Meridian Ranch\Drawings\Planning\Rolling Hills Ranch North\Drawings\Planning\PHR\PHR_PUD.dwg (Legal-2) 12/07/2023 4:28:43 PM BPERKINS



Missing: The approximate length of all street centerlines, centerline radii and approximate grades. The data may be placed in a data table. Please include for all streets etc.
NES: ADDED.

NES: CONTOUR LINES ARE DEPICTED ON THE GRADING & UTILITY SHEETS.
Add missing contours all sheets

all preliminary grading plan sheets

Add all proposed fire hydrant locations.

NES: HYDRANTS ARE DEPICTED ON THE GRADING & UTILITY SHEETS.

General comment - include sizes in acres and square feet for divisions less than 2.5 acres.

NES: SF HAS BEEN PROVIDED WHERE IT IS APPROPRIATE.

Include a plan note to detail why these are No Build Zones
NES: NOTE HAS BEEN ADDED TO THE COVER SHEET.

NES: PER CORRESPONDENCE WITH DANIEL NO REVISION NEEDED TO THE RAMP.
revise to a typical parallel ramp per SD 2-50 or regular ramp per SD 2-41. I have highlighted other instances where this occurs.



N.E.S. Inc.
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Colorado Springs, CO 80903

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IN ASSOCIATION WITH

ROLLING HILLS RANCH NORTH FILINGS 1 & 2 AT MERIDIAN RANCH

PUD DEVELOPMENT / PRELIMINARY PLAN

PROJECT NO: 12/07/2023
PROJECT MGR: B. PERKINS
PREPARED BY: A. ROMAN

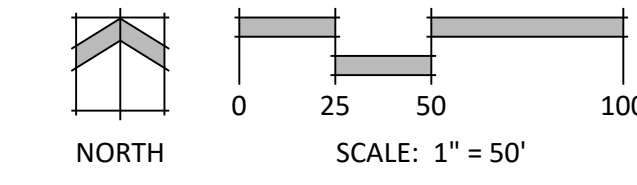
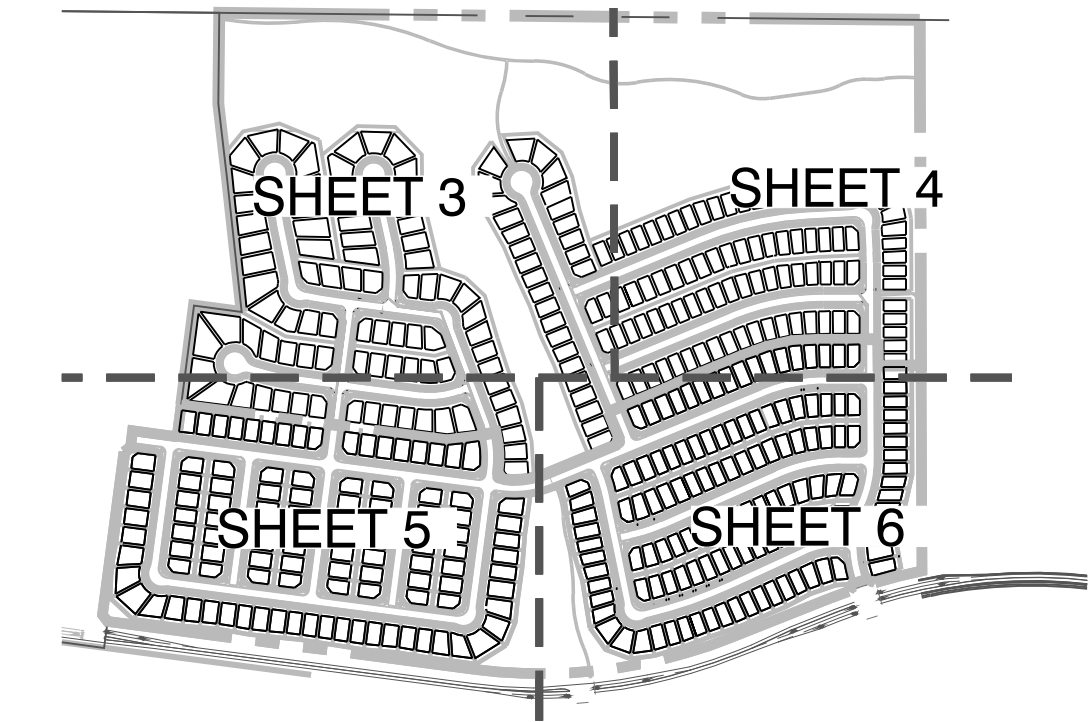
ENTITLEMENT

DATE: BY: DESCRIPTION:

PUD Site Plan

3

3 OF 16



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PLANNER / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

DATE: 12/07/2023
PROJECT MGR: B. PERKINS
PREPARED BY: A. ROMAN

ROLLING HILLS RANCH NORTH
FILINGS 1 & 2
AT MERIDIAN RANCH

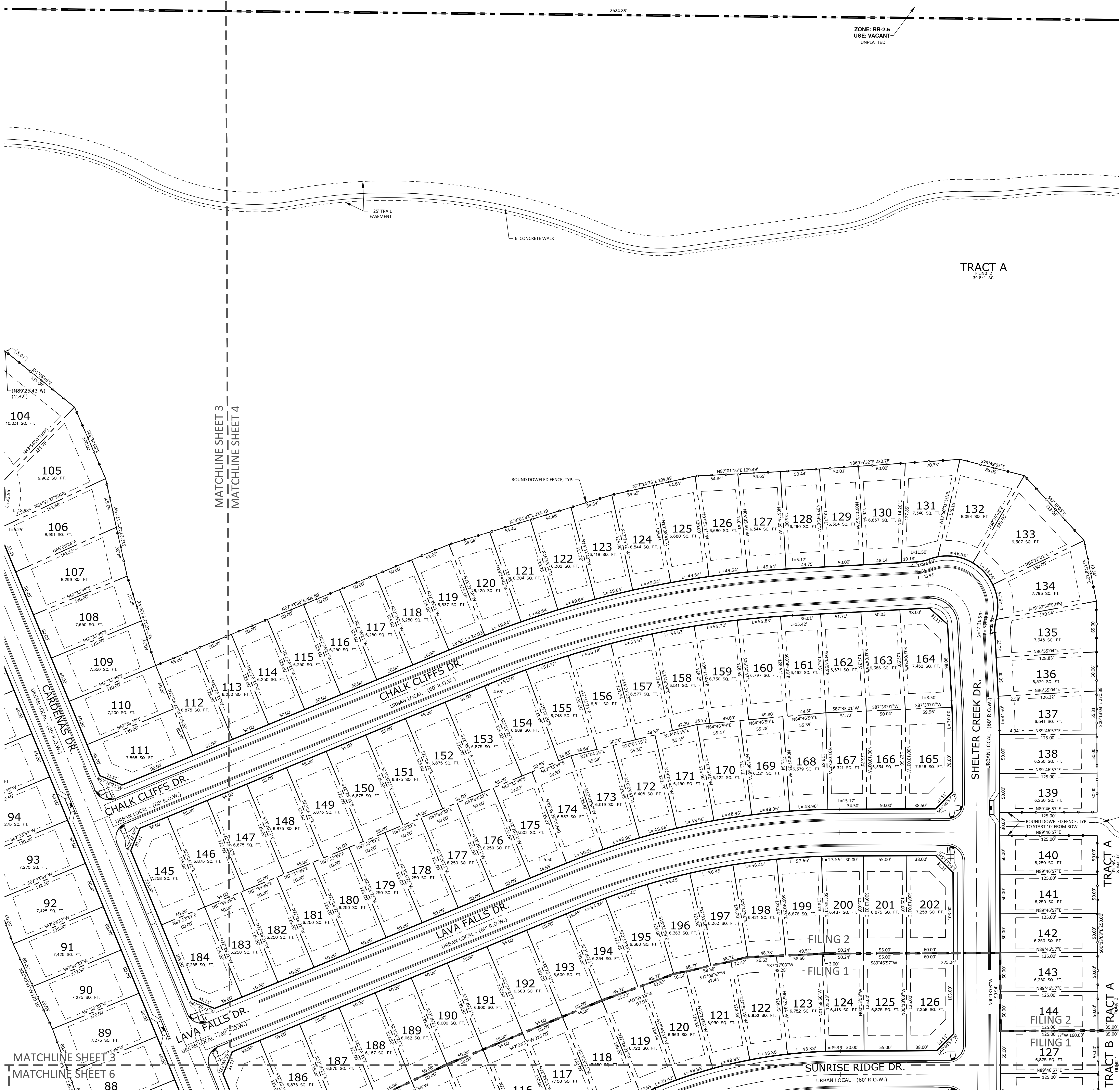
PUD DEVELOPMENT /
PRELIMINARY PLAN

ENTITLEMENT

PUD Site Plan

4

4 OF 16

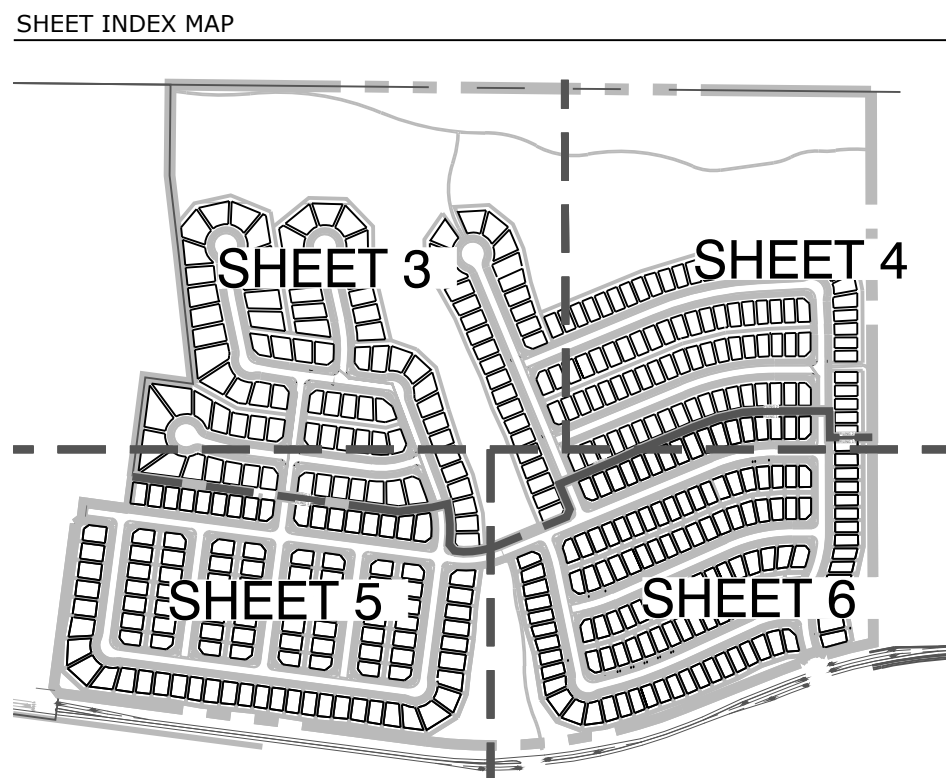


TRACT A
PLING 2
39.841 AC.

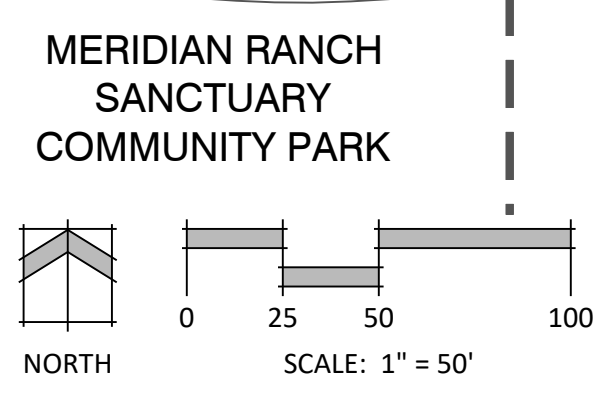
BOARD OF COUNTY COMMISSIONERS OF EL PASO COUNTY
ZONE: PUD
USE: COUNTY FALCON REGIONAL PARK

MATCHLINE SHEET 4
MATCHLINE SHEET 6

P:\UTL\Meridian_Ranch\Drawings\Planning\Rolling Hills Ranch North\Drawings\Planning\UTL\Rolling Hills Ranch North.dwg [Sheet 4] 12/6/2023 4:37:23 PM BRENNAN



ZONE: PUD
 USE: RESIDENTIAL
 SUB: ROLLING HILLS RANCH FILING
 NO. 263 AT MERIDIAN RANCH



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**ROLLING HILLS
 RANCH NORTH
 FILINGS 1 & 2
 AT MERIDIAN
 RANCH**

PUD DEVELOPMENT /
 PRELIMINARY PLAN

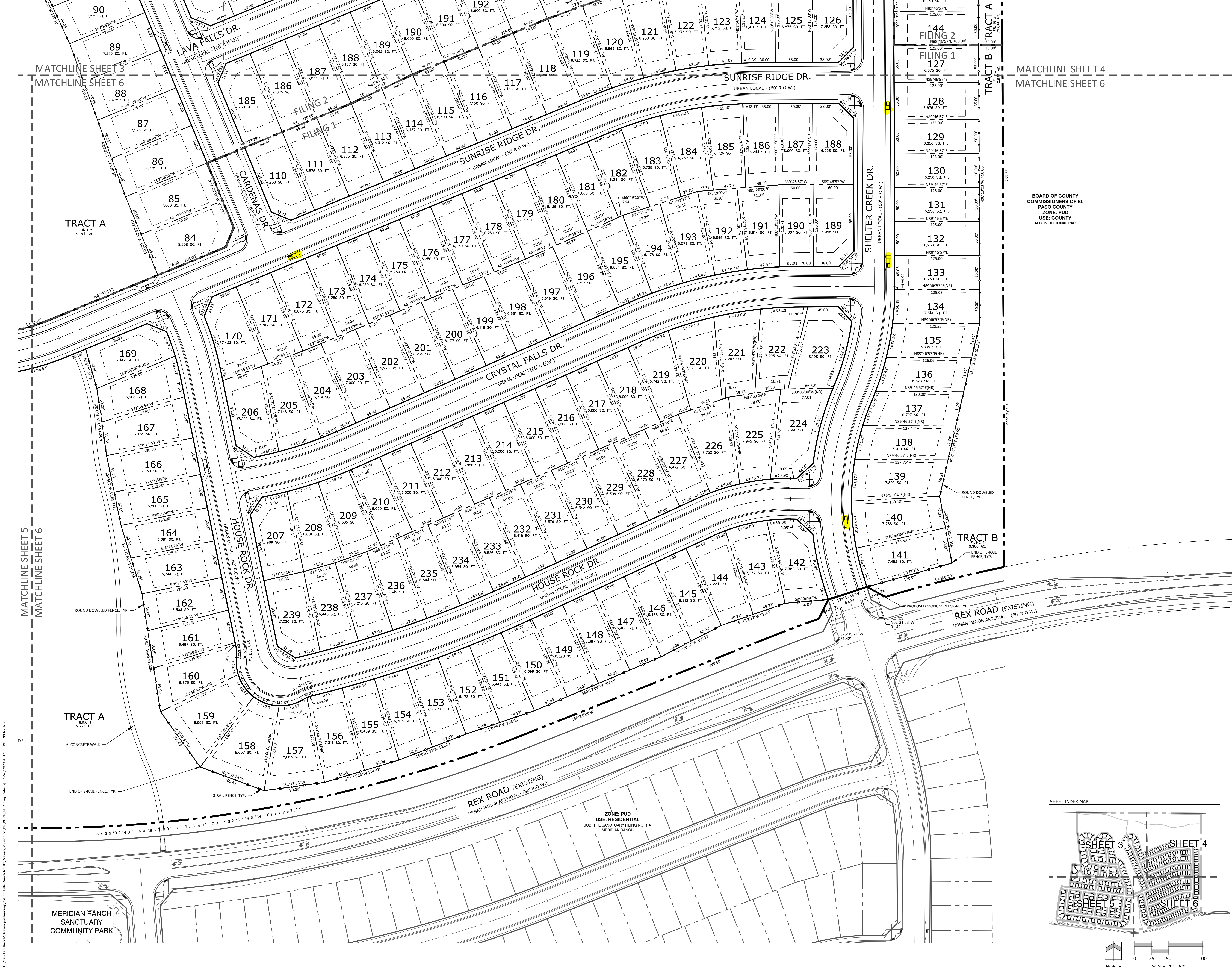
PROJECT DATE: 12/07/2023
 PROJECT MGR: B. PERKINS
 PREPARED BY: A. ROMAN

ENTITLEMENT

PUD Site Plan

5

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BOARD OF COUNTY COMMISSIONERS OF EL PASO COUNTY
 ZONE: PUD
 USE: COUNTY FALCON REGIONAL PARK



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ROLLING HILLS RANCH NORTH FILINGS 1 & 2 AT MERIDIAN RANCH

PUD DEVELOPMENT / PRELIMINARY PLAN

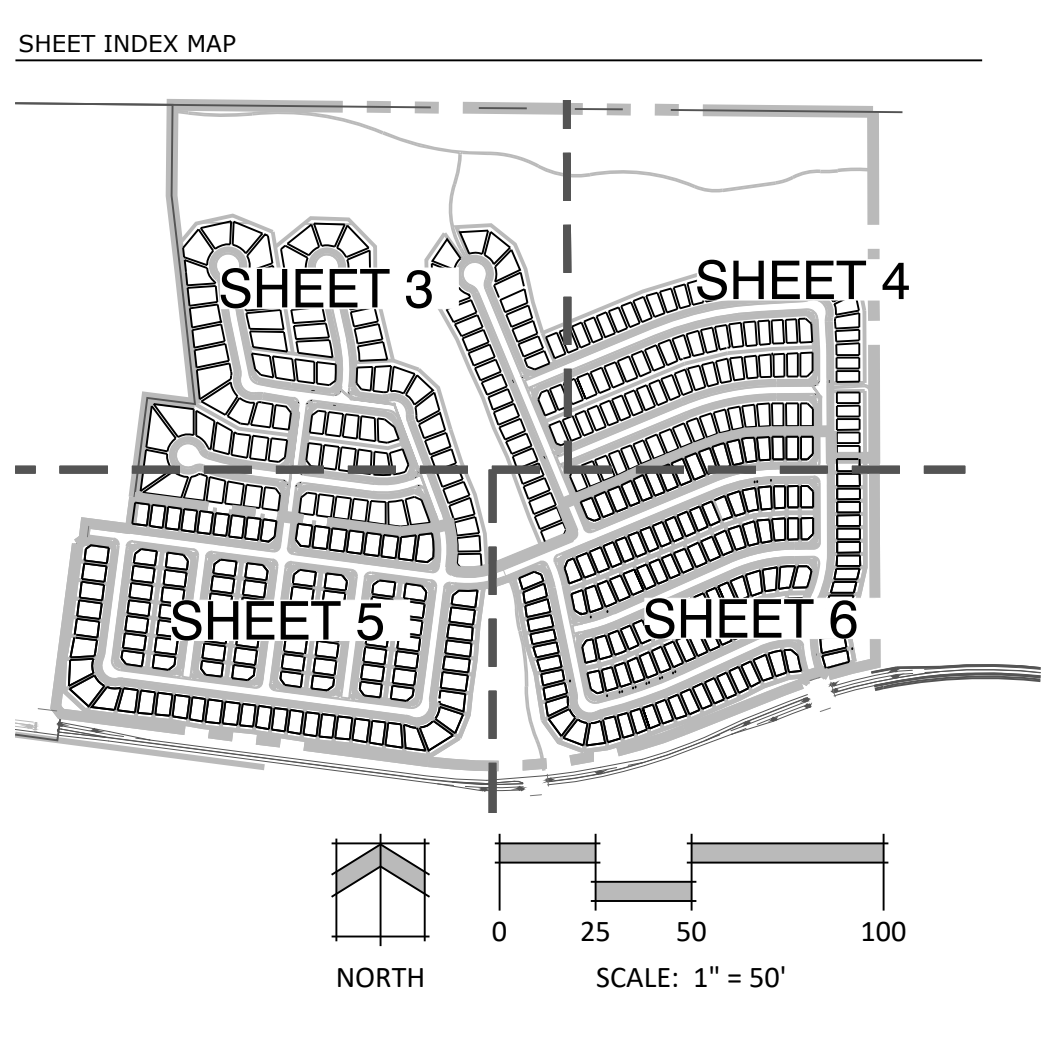
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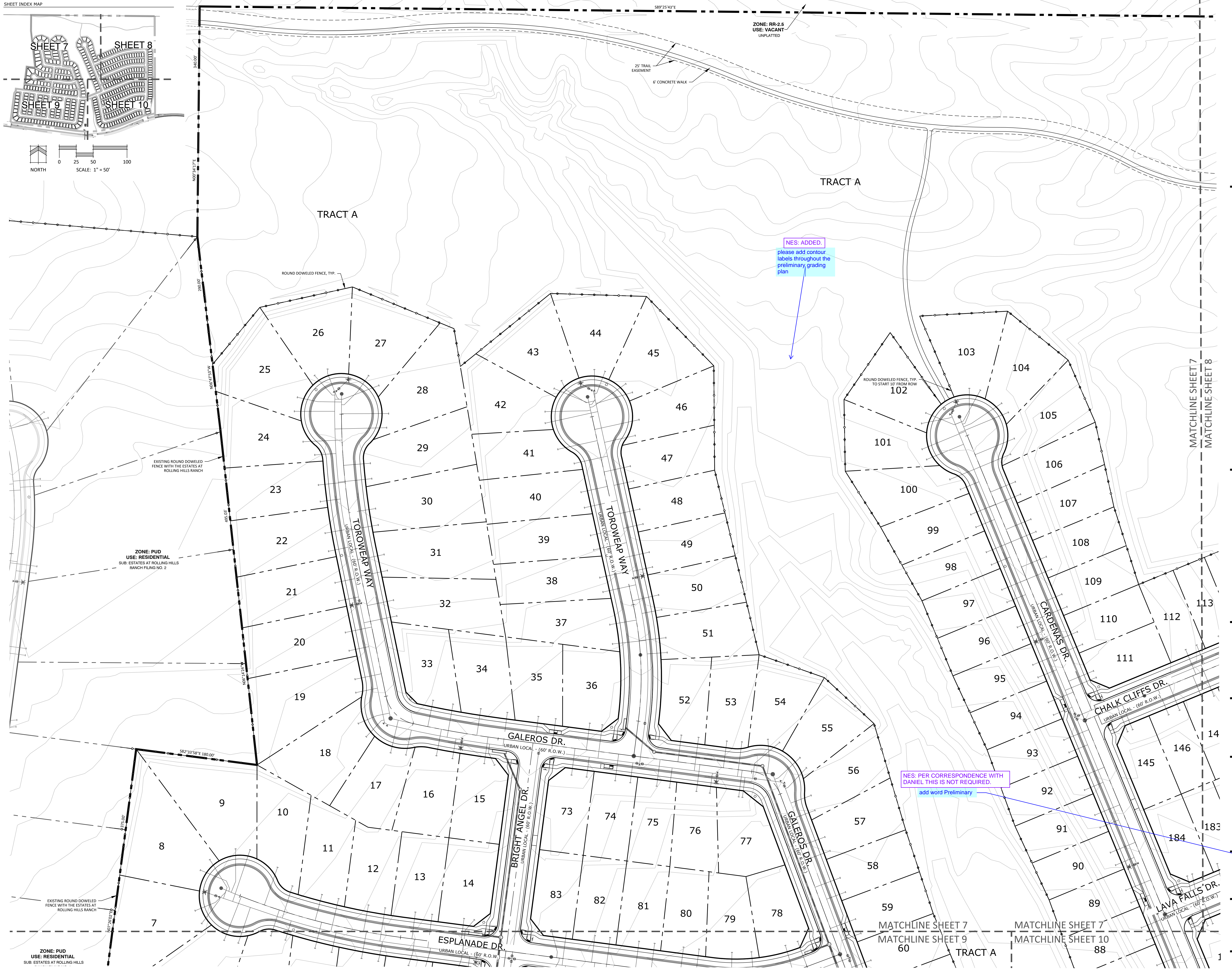
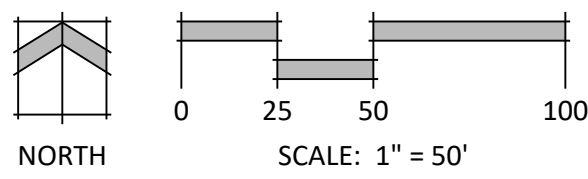
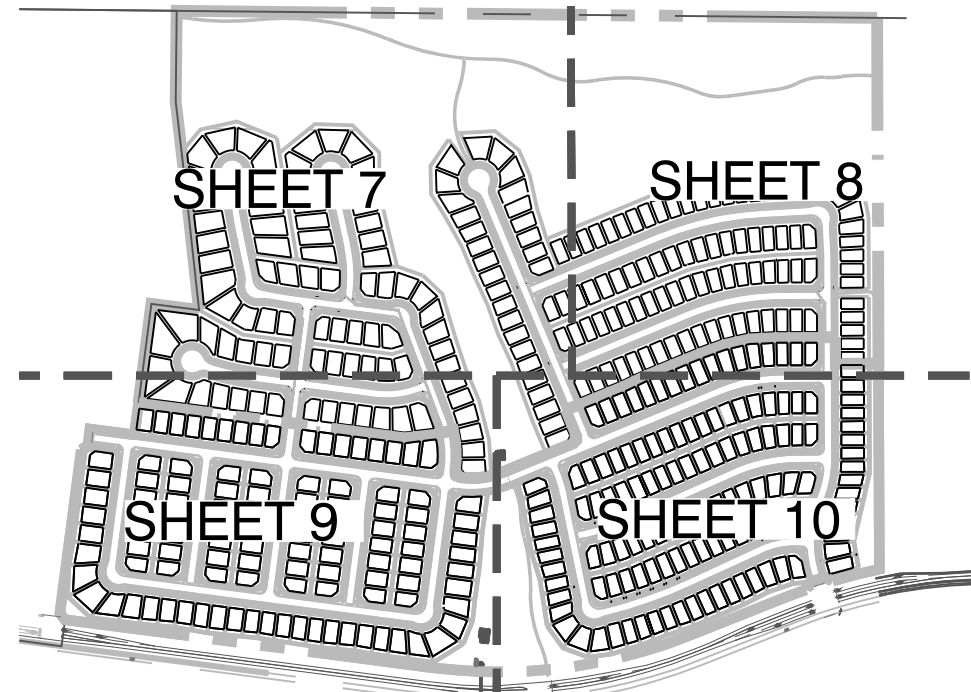
DATE:	BY:	DESCRIPTION:

PUD Site Plan

6
 6 OF 16



PROJECT: Meridian Ranch Drawings/Planning/Filing: Hills Ranch North Drawings/Planning/Entitlement, PUD Only (Site 6) 12/07/2023 4:37:56 PM: BPERKINS



NES: ADDED.
 please add contour labels throughout the preliminary grading plan

NES: PER CORRESPONDENCE WITH DANIEL THIS IS NOT REQUIRED.
 add word Preliminary



N.E.S. Inc.
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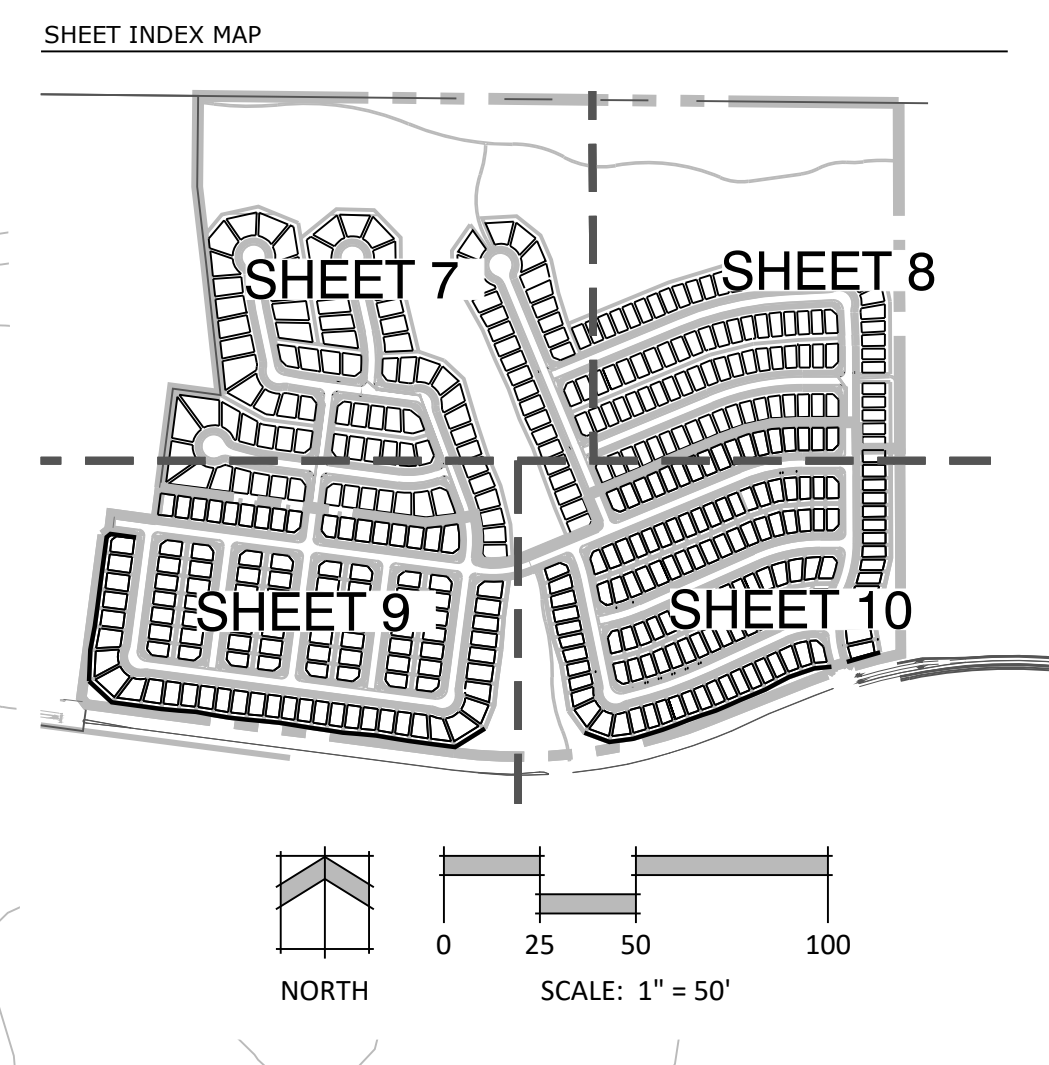
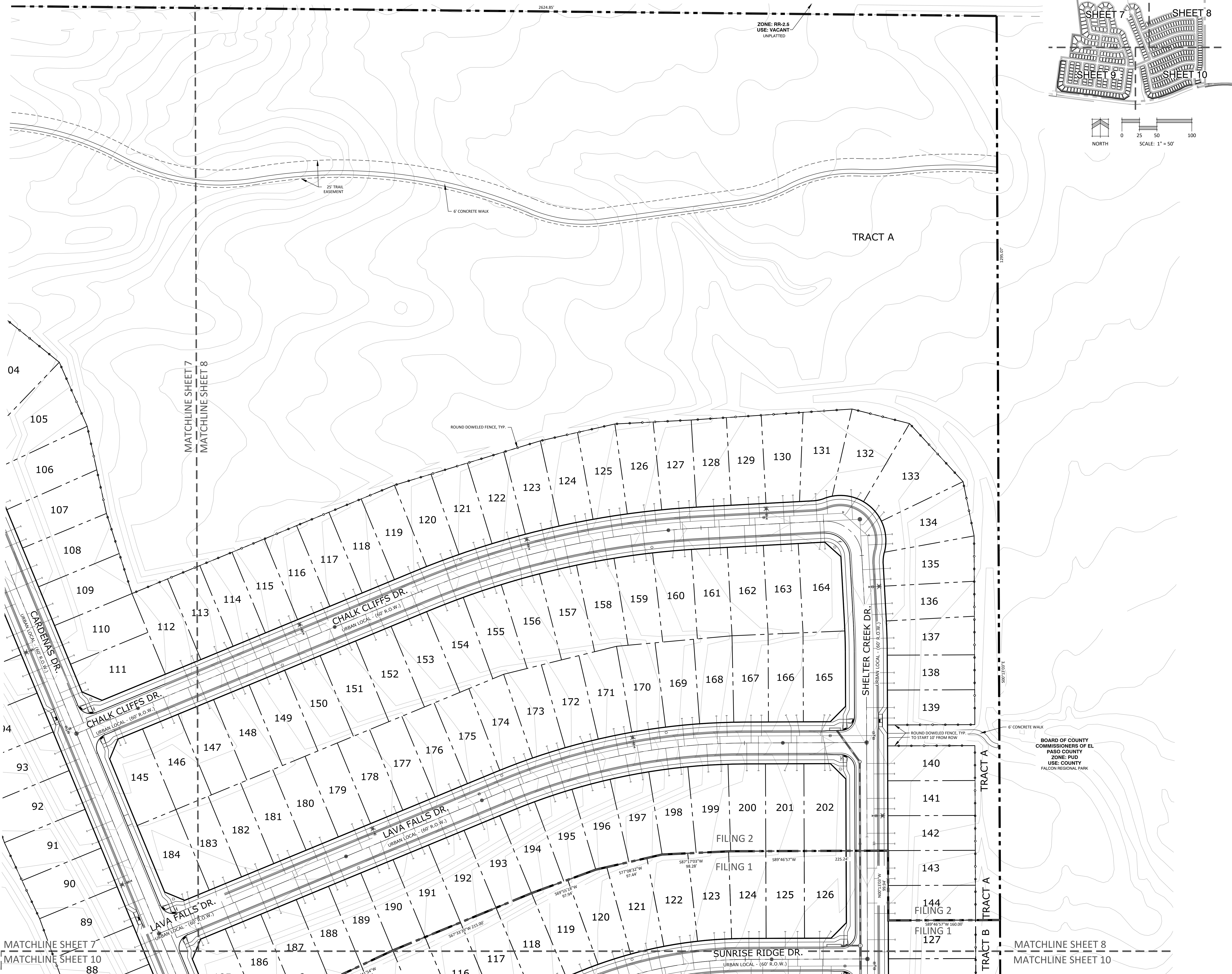
ENTITLEMENT

DATE:	BY:	DESCRIPTION:

Grading and Utility Plan

7

7 OF 16



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**ROLLING HILLS
 RANCH NORTH
 FILINGS 1 & 2
 AT MERIDIAN
 RANCH**

PUD DEVELOPMENT /
 PRELIMINARY PLAN

DATE: 12/07/2023
 PROJECT MGR: B. PERKINS
 PREPARED BY: A. ROMAN

ENTITLEMENT

DATE:	BY:	DESCRIPTION:

**Grading and
 Utility Plan**

8
 8 OF 16

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PLANNER / LANDSCAPE ARCHITECT
 IN ASSOCIATION WITH
 SEAL
 TITLE BLOCK
 SHEET NUMBER



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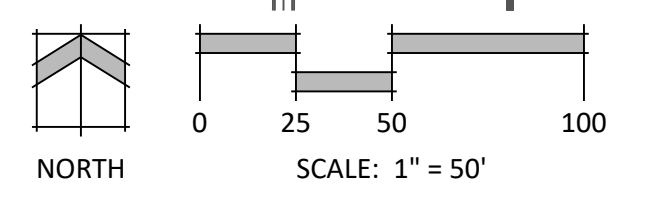
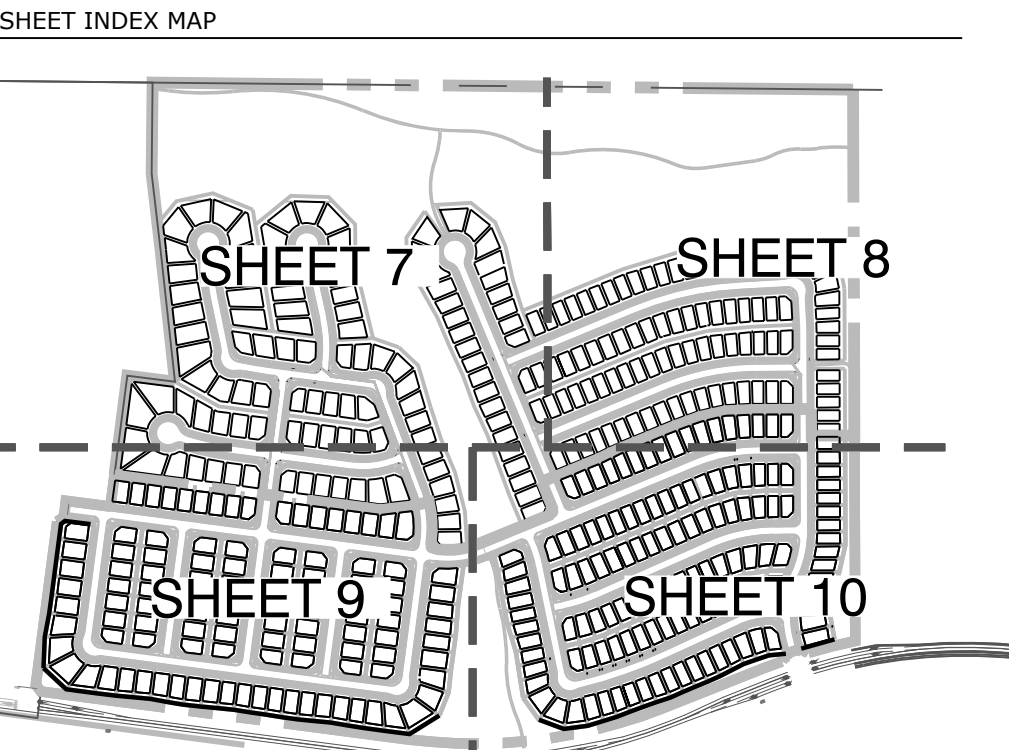
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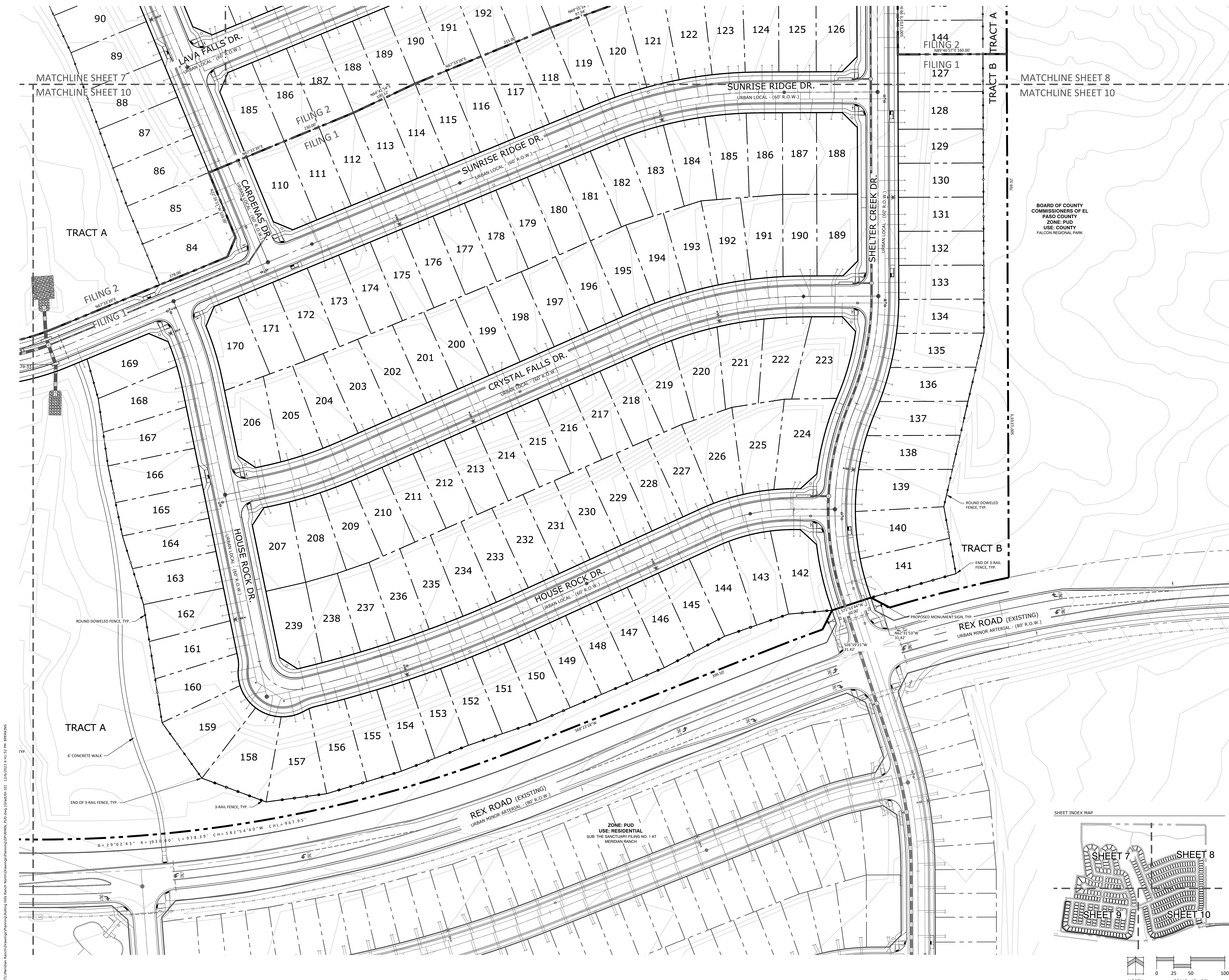
Grading and Utility Plan

9

9 OF 16

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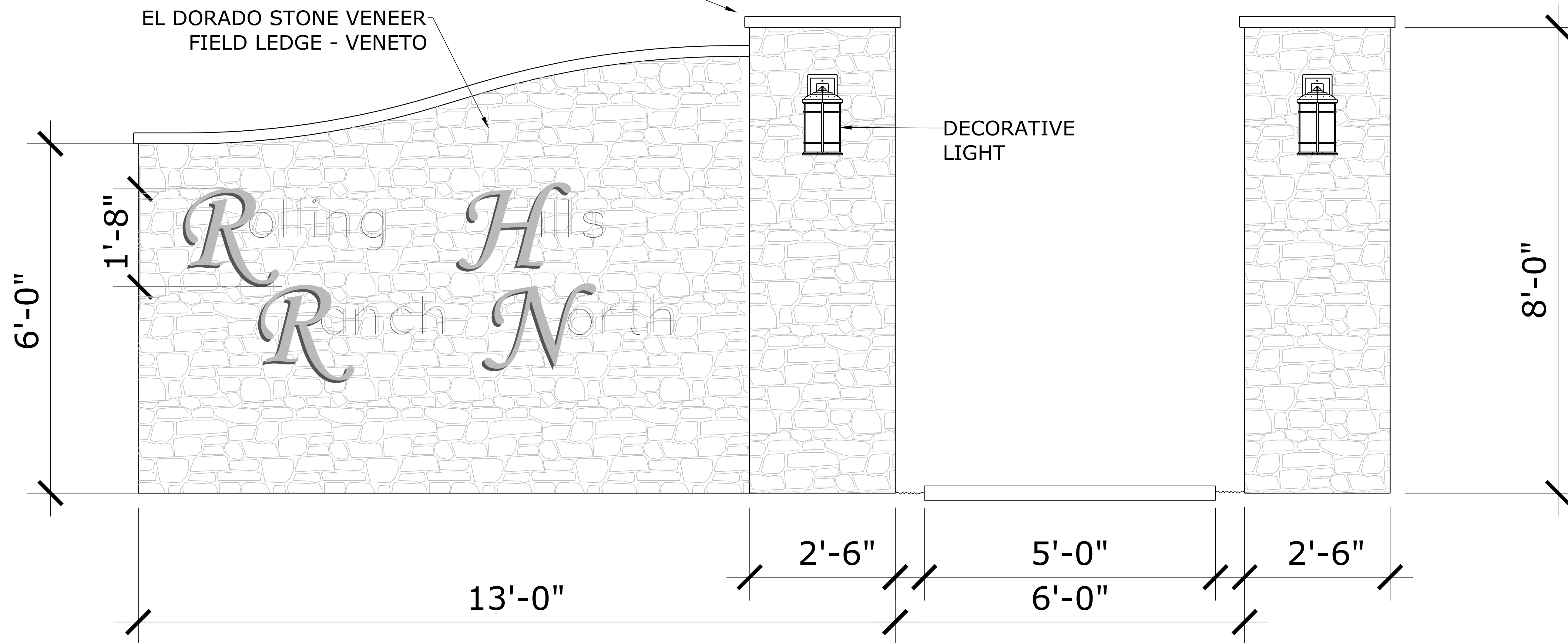
Grading and Utility Plan

10

10 OF 16

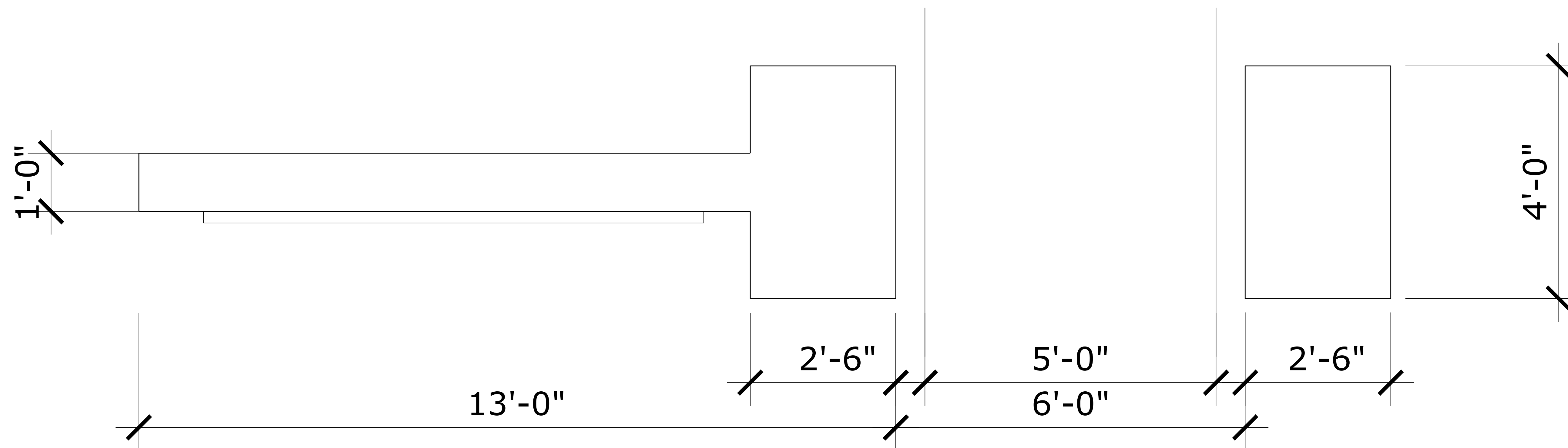
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2-1/4" THICK CHISELED EDGE EL DORADO BUCKSKIN COLUMN CAP AND TOP OF WALL. 1" OVERHANG. GROUT 1/8" TO FLUSH WITH STONE VENEER MORTAR JOINT. MEDIUM TONE MOCHA GROUT COLOR.



1 ENTRY SIGNAGE ELEVATION VIEW

SCALE: 1" = 1'



2 ENTRY SIGNAGE PLAN VIEW

SCALE: 1" = 1'



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IN ASSOCIATION WITH

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Entry Signage/ Details

11

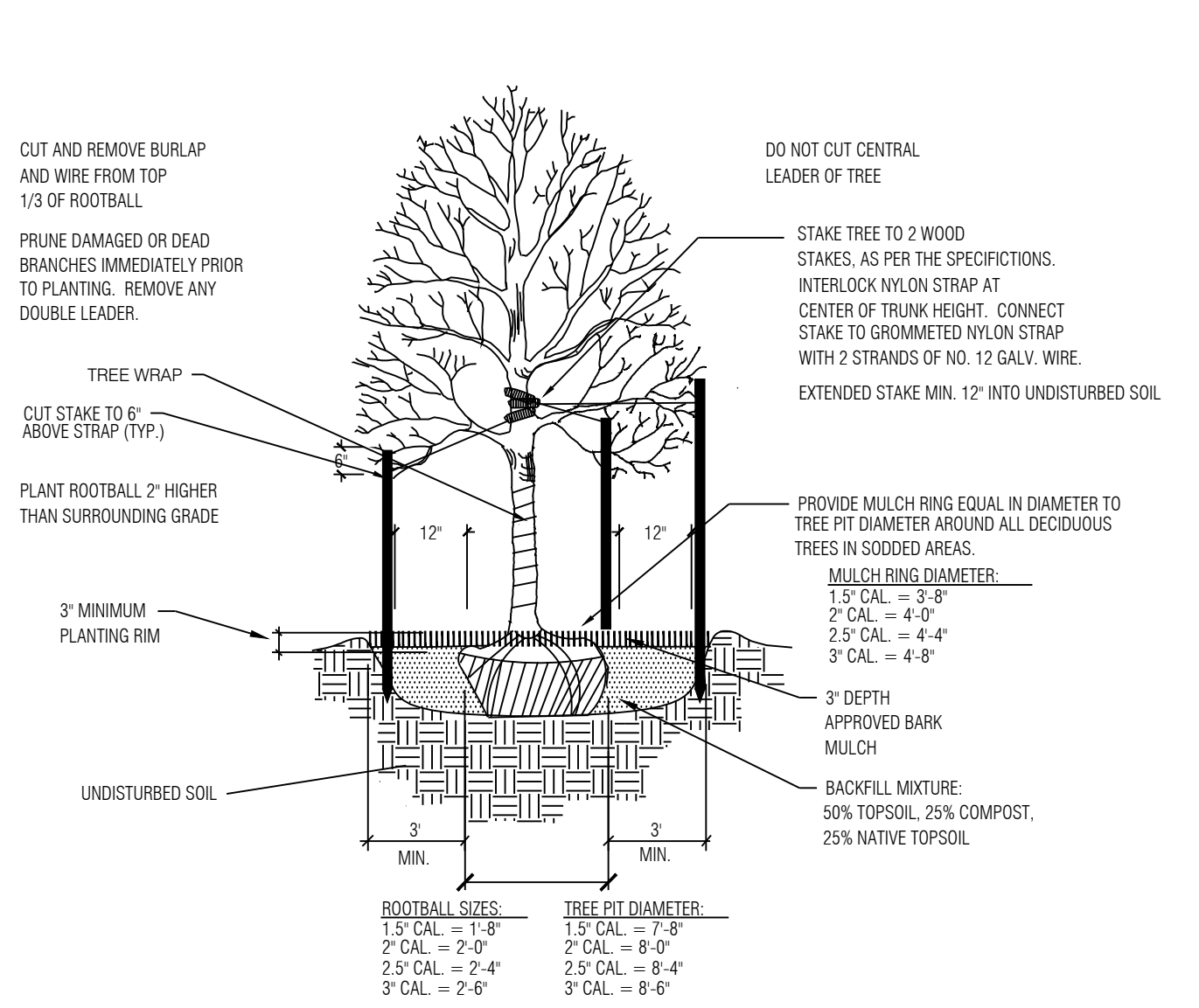
11 OF 16



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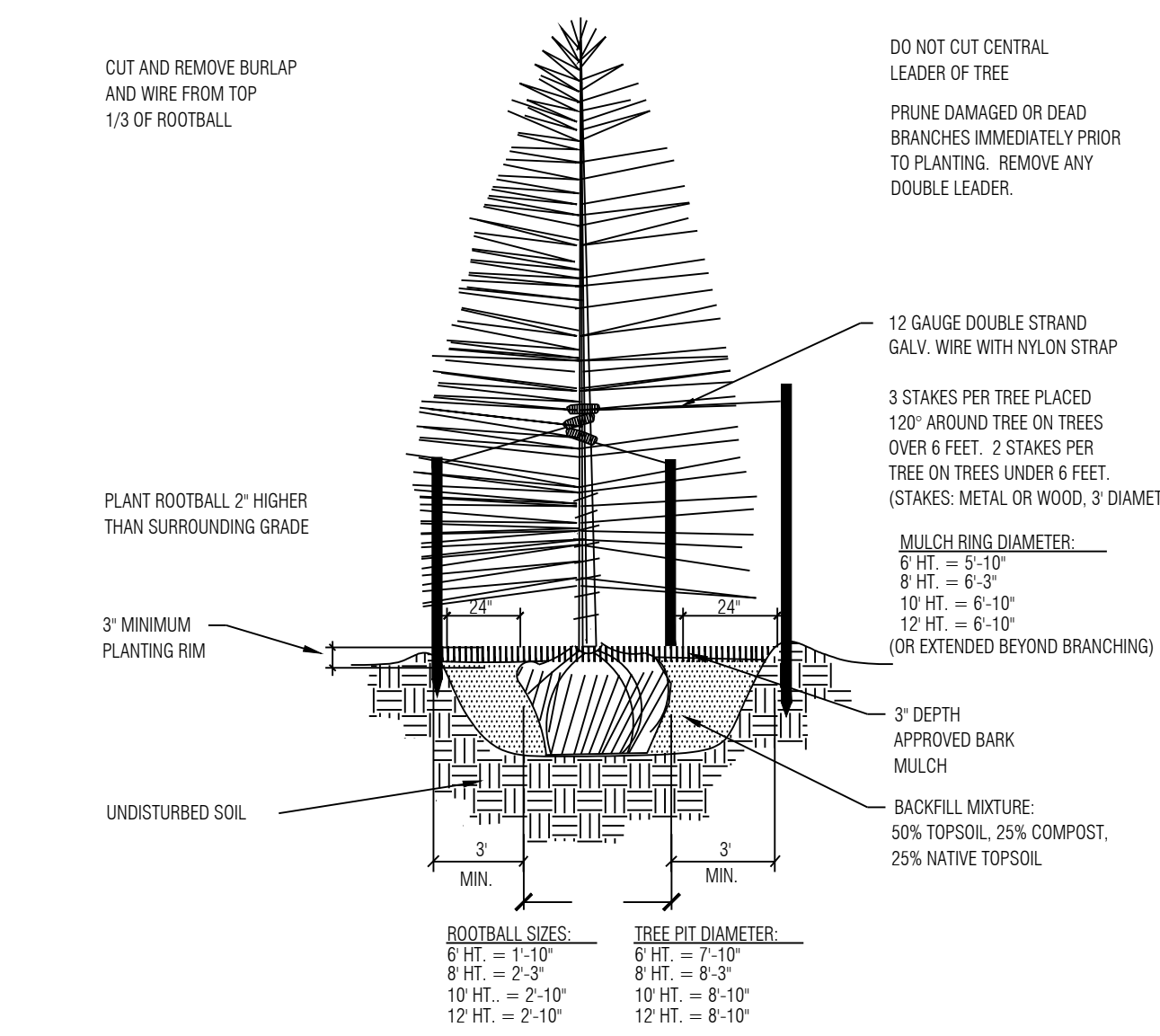
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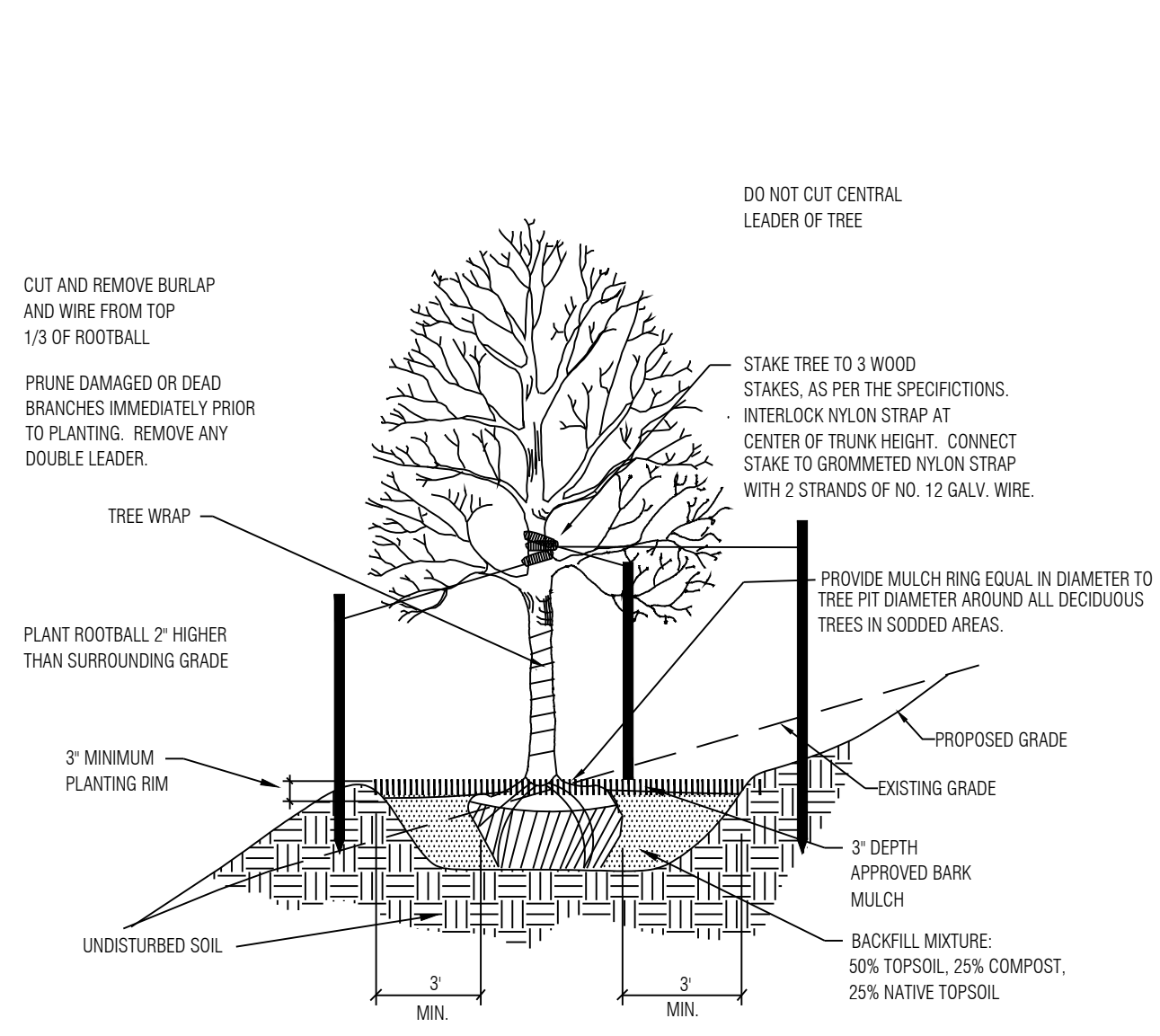
Deciduous Tree Planting Detail

SCALE: NOT TO SCALE



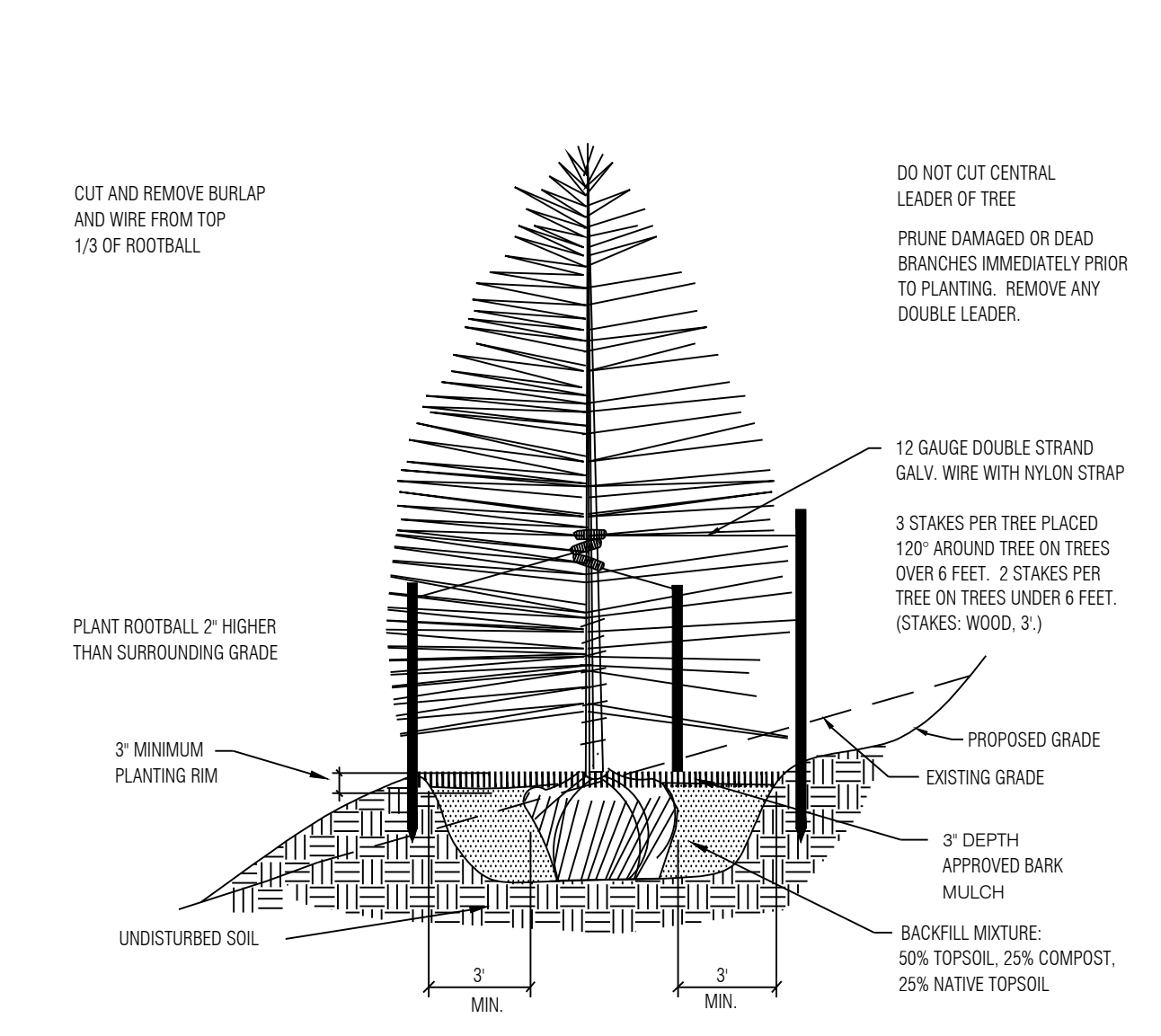
Coniferous Tree Planting Detail

SCALE: NOT TO SCALE



Deciduous Tree Placement on Slope

SCALE: NOT TO SCALE



Coniferous Tree Placement on Slope

SCALE: NOT TO SCALE

Seed Mix B with Wildflowers

30% Ephraim Crested Wheatgrass
25% Dwarf Perennial Ryegrass
20% SR3200 Blue Fescue
15% Rubens Canada Bluegrass
10% Chewings Fescue
15% Blue Grama
Wildflowers: 615 Western Mix

Note: Low Gro Mix available from
Arkansas Valley Seed Solutions
(877) 957-3337

Wildflower Mix available from:
Appwood Seed Co.
(303) 431-7333

APPLICATION RATE: Native Grass Mix: 40 lbs./acre (or as recommended by supplier)
Wildflower Mix: 6 oz./1,000 s.f. or 8-10 lbs./acre
Hydromulch: 2200 lbs./acre mulch, 100 lbs./acre tackifier.

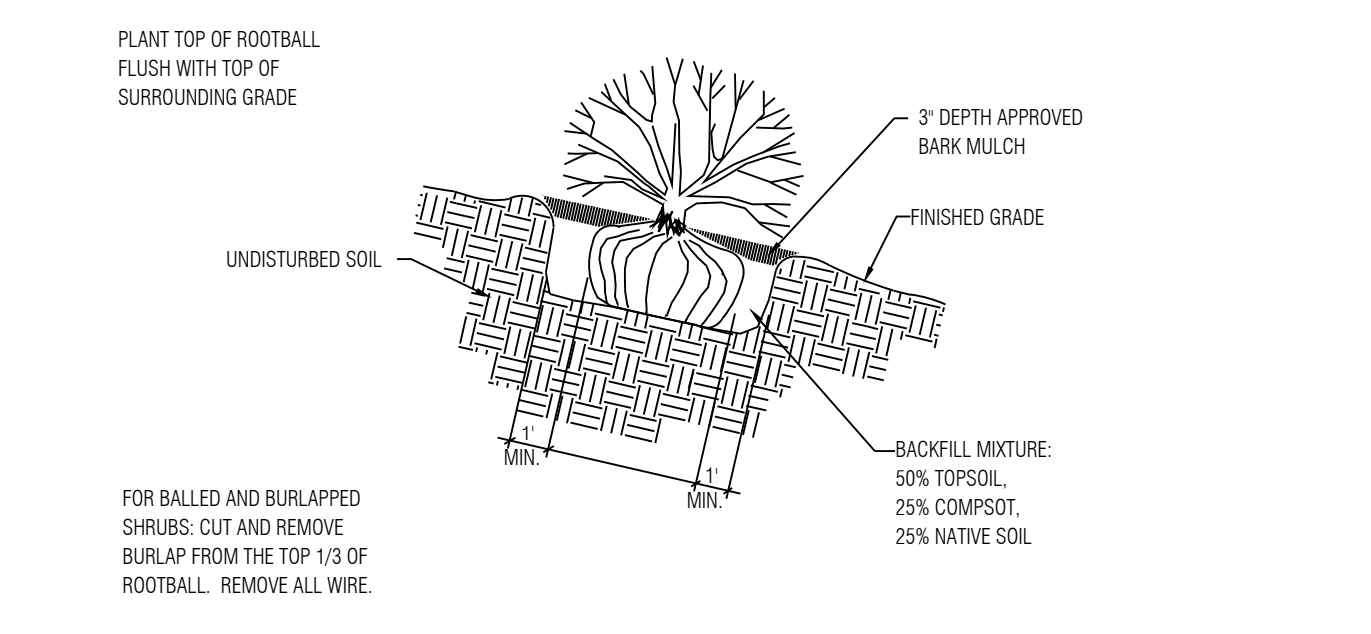
APPLICATION METHOD: Broadcast seed by hand or with a drop spreader.
Manually rake seed into prepared soil.
After seeding apply green hydromulch and tackifier.

Seed Mix A

15% Western Wheatgrass
15% Big Bluestem
15% Thickspike Wheatgrass
10% Sideoats Grama
15% Little Bluestem
15% Blue Grama
15% Annual Rye

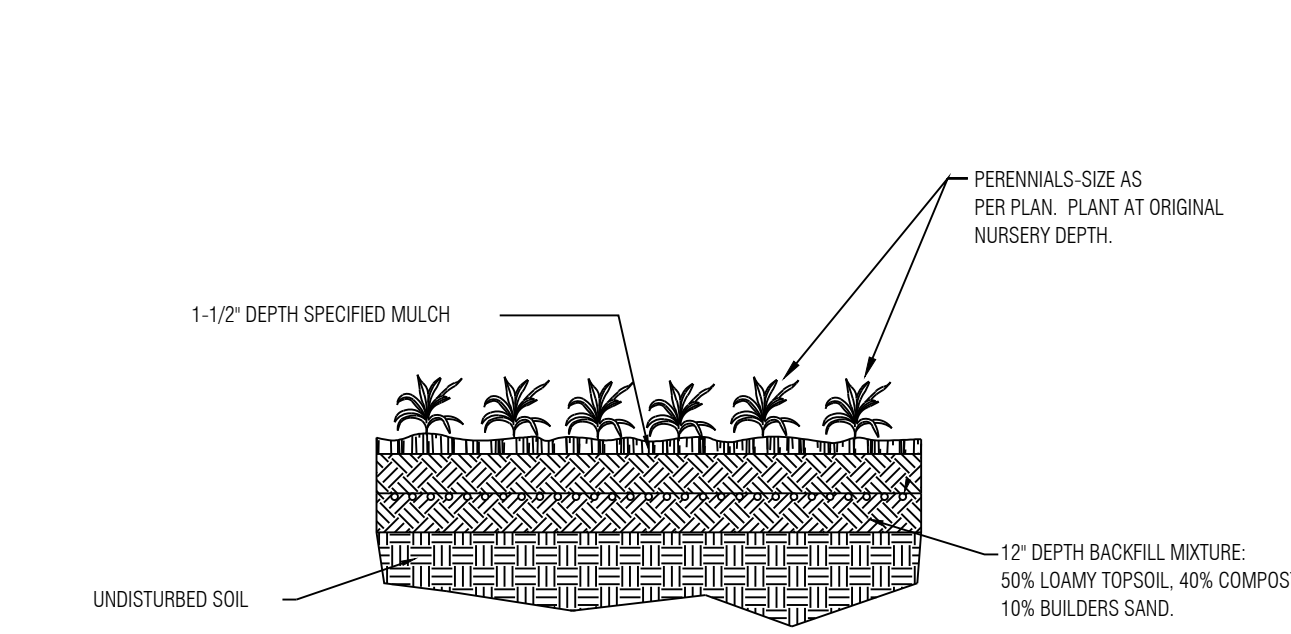
APPLICATION RATE: Native Grass Mix: 3 lbs./1,000s.f. or 130 lbs./acre
Hydromulch: 2200 lbs./acre mulch, 100 lbs./acre tackifier

APPLICATION METHOD: Broadcast seed by hand or with a drop spreader.
Manually rake seed into prepared soil.
After seeding apply green hydromulch and tackifier.



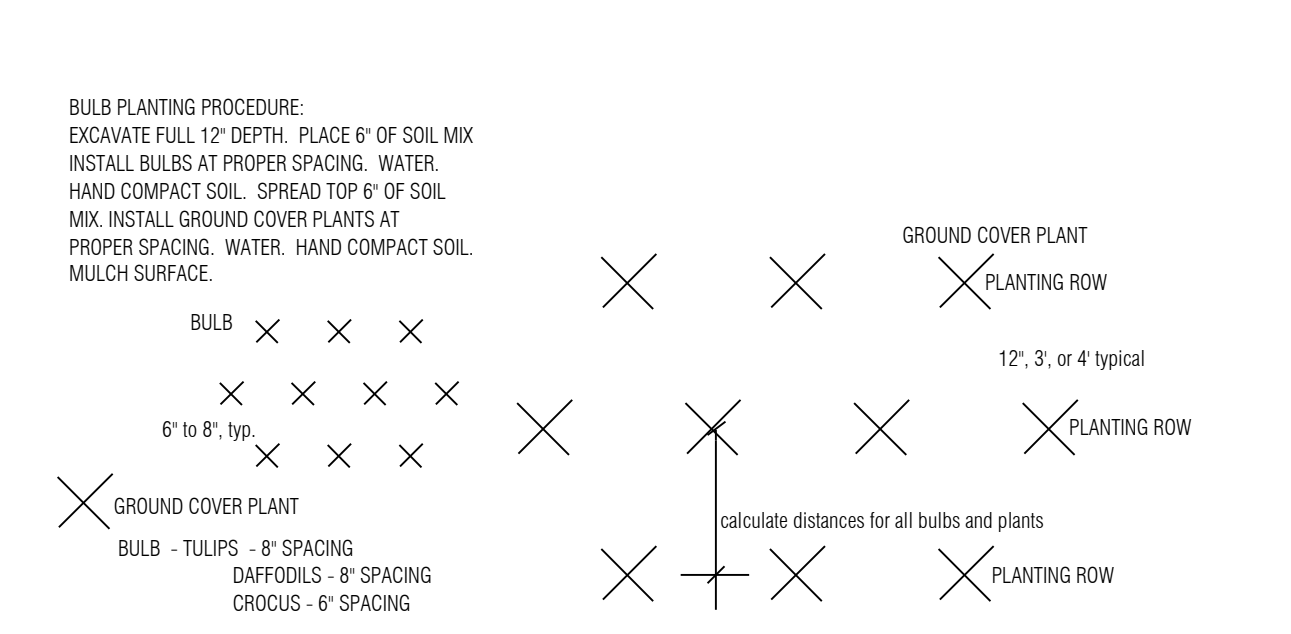
Shrub Placement on Slopes

SCALE: NOT TO SCALE



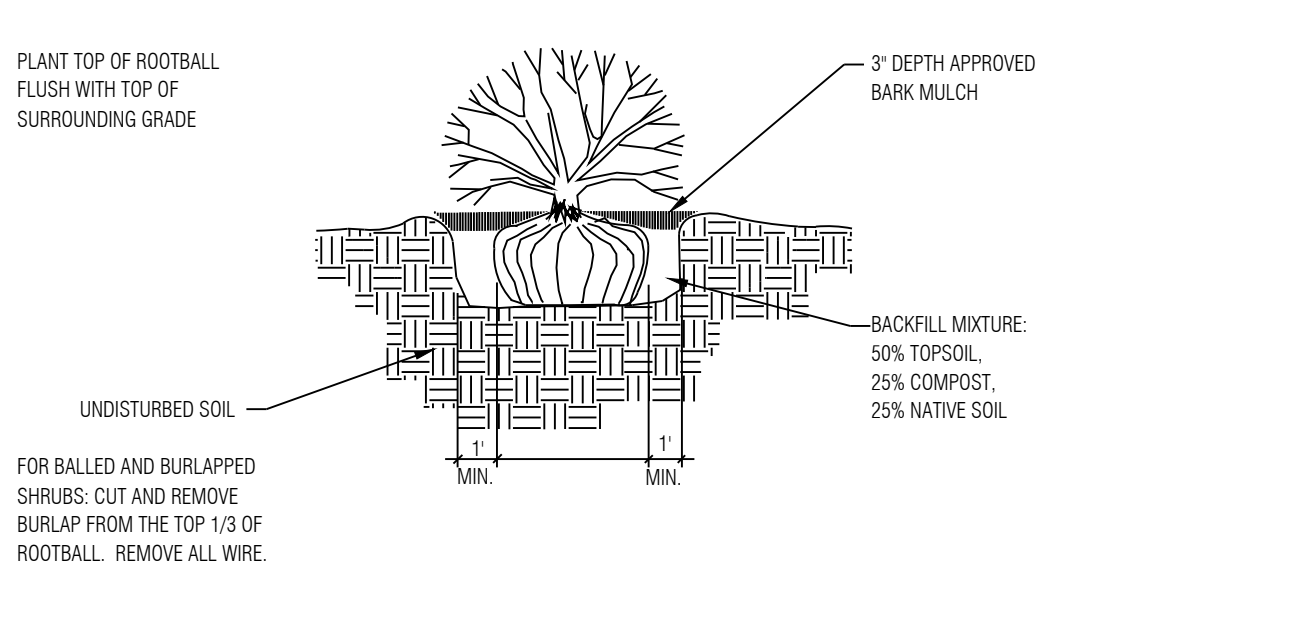
Perennial / Groundcover Planting

SCALE: NOT TO SCALE



Triangular Plant Spacing Diagram

SCALE: NOT TO SCALE



Shrub Planting Detail

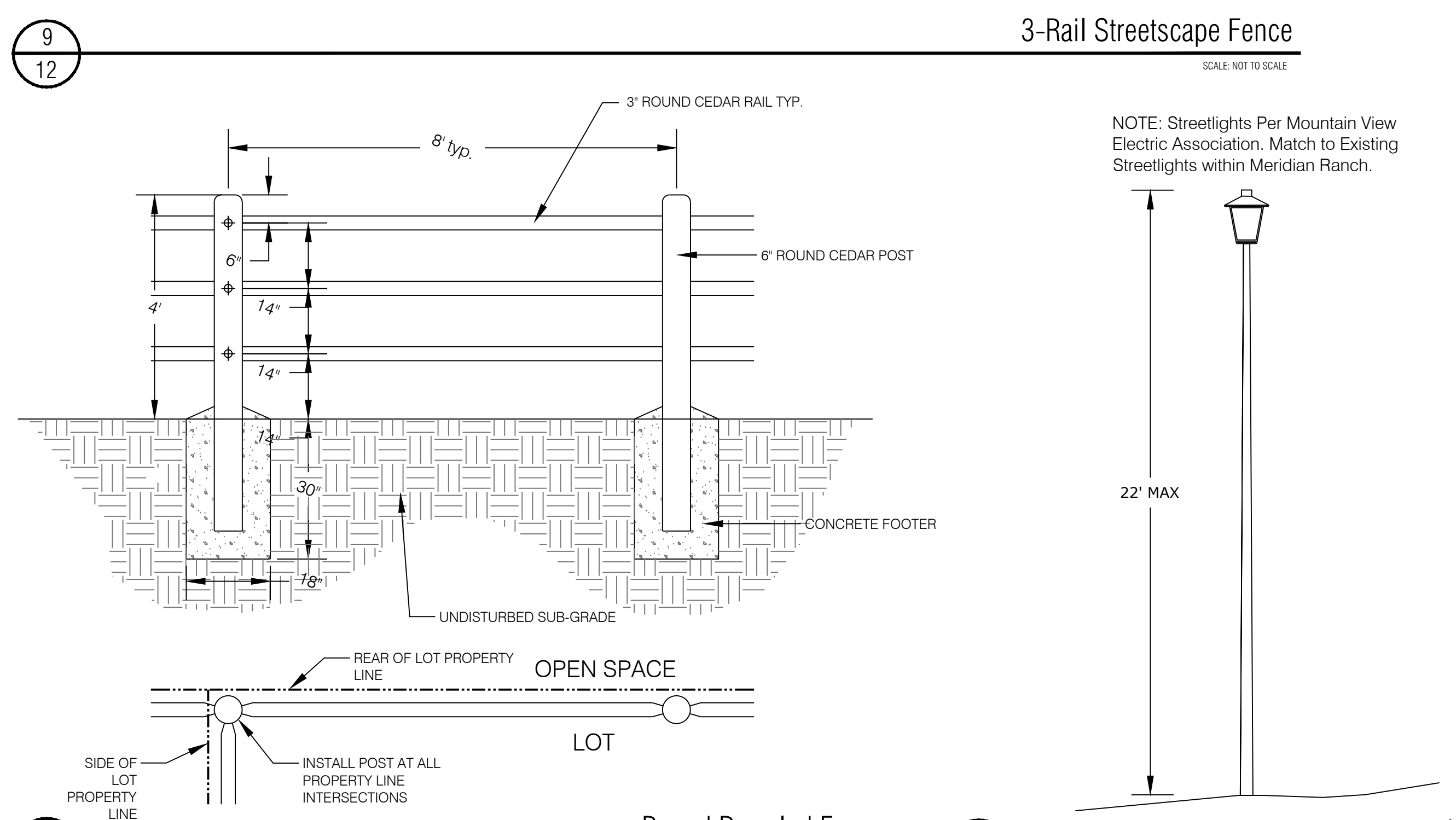
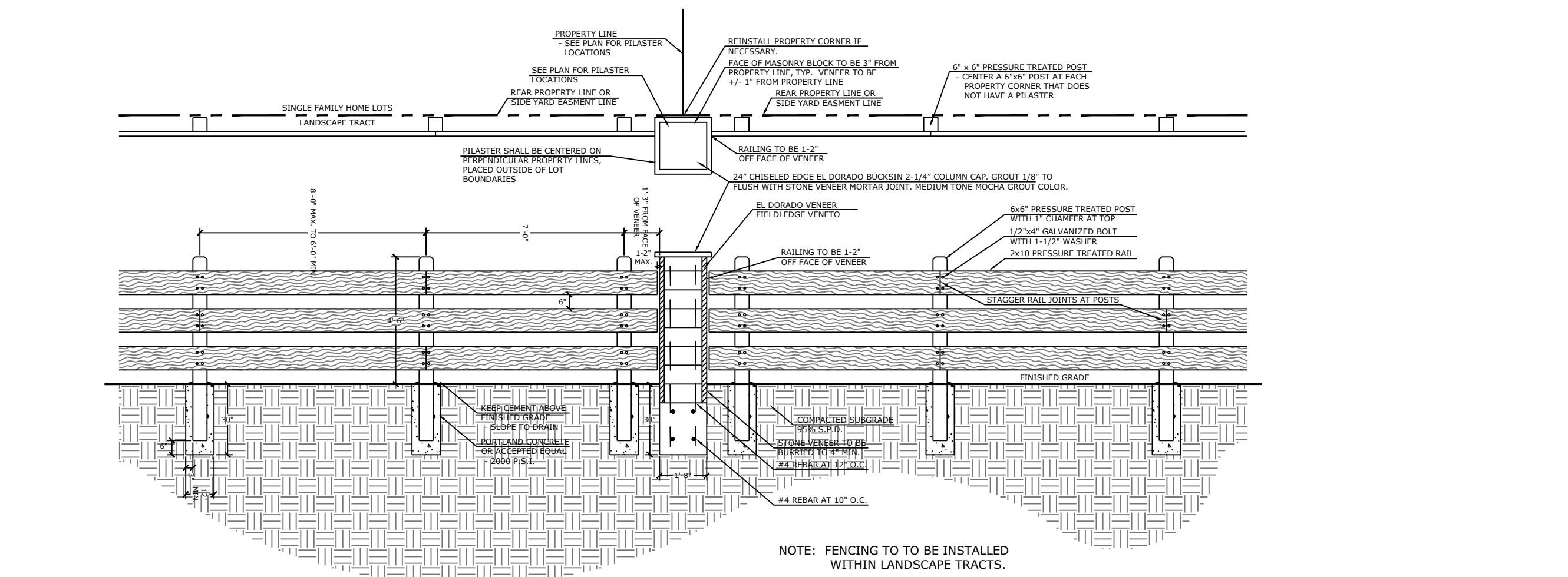
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PLANT SCHEDULE

Table with columns: SYMBOL, CODE, QTY, BOTANICAL / COMMON NAME, HEIGHT, WIDTH, SIZE, COND. Lists various trees, shrubs, and perennials.

GROUND COVER LEGEND

- ROCK COBBLE 2-4" Grey Rose
ROCK MULCH 1.5" Cimarron Granite
SOD
SEED MIX A To extent of Disturbance
SEED MIX B WITH WILDFLOWERS



TREE REQUIREMENTS

Table with columns: Plant Category, Street (Classification), Street Frontage Length, Required Trees, Provided Trees, Shrub/Perennial Subs.

Alternative Landscape Plan Request

- Code Section - 6.2.2(B)(1)
Requirement - 1 tree per 25 linear ft of frontage for an Urban Minor Arterial street
Justification - The 121 trees along Rex Road will be disturbed during construction for its future expansion...

LANDSCAPE NOTES

- REFER TO MERIDIAN RANCH LANDSCAPE SPECIFICATIONS FOR SOIL AMENDMENT AND PREPARATION FOR ALL SOD, SEED AND PLANTING AREAS.
CONTRACTOR TO UTILIZE STOCKPILED TOPSOIL FROM GRADING OPERATION AS AVAILABLE. TILL INTO TOP 8" OF SOIL.
LANDSCAPE ARCHITECT (L.A.) TO APPROVE BERMING BEFORE PLANTING CAN BEGIN.

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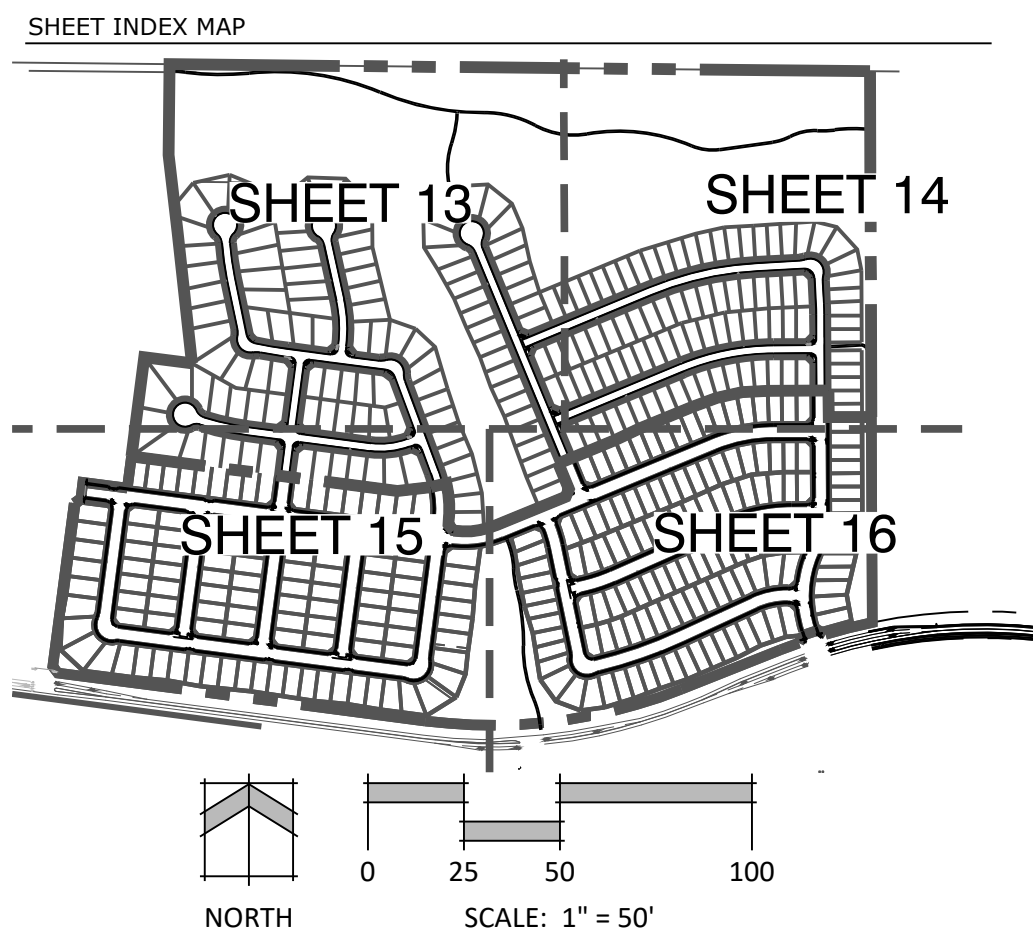
ENTITLEMENT

Table with columns: DATE, BY, DESCRIPTION. For recording site visits and inspections.

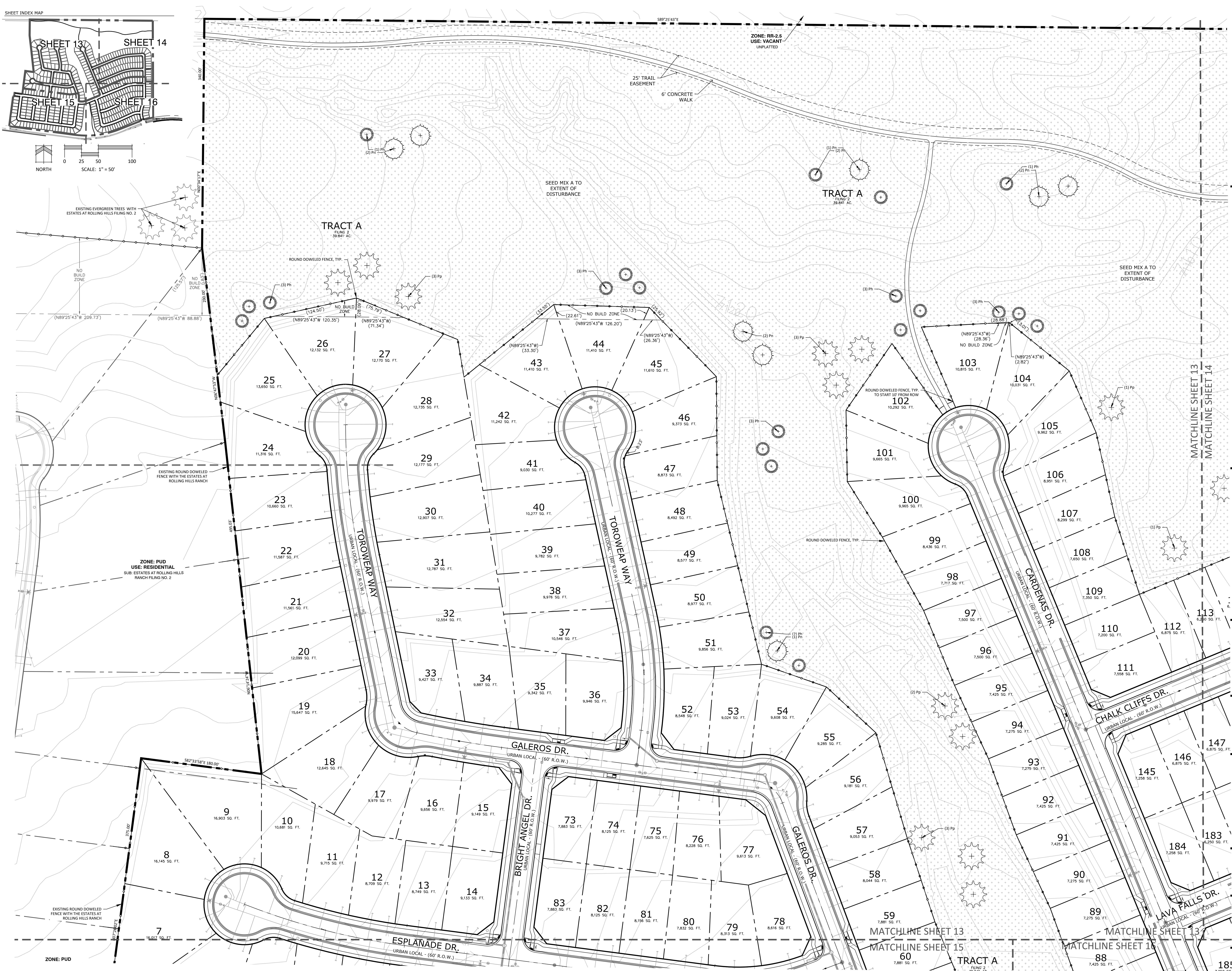
Landscape Plan Notes & Details

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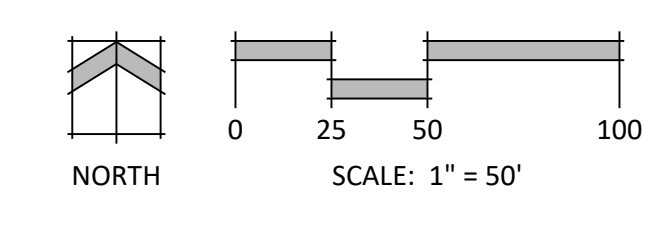
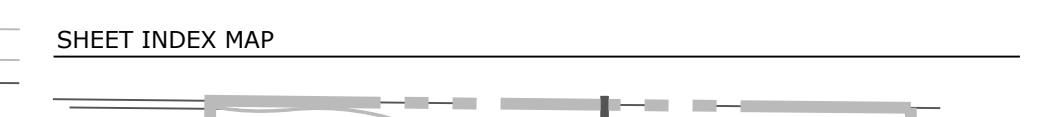
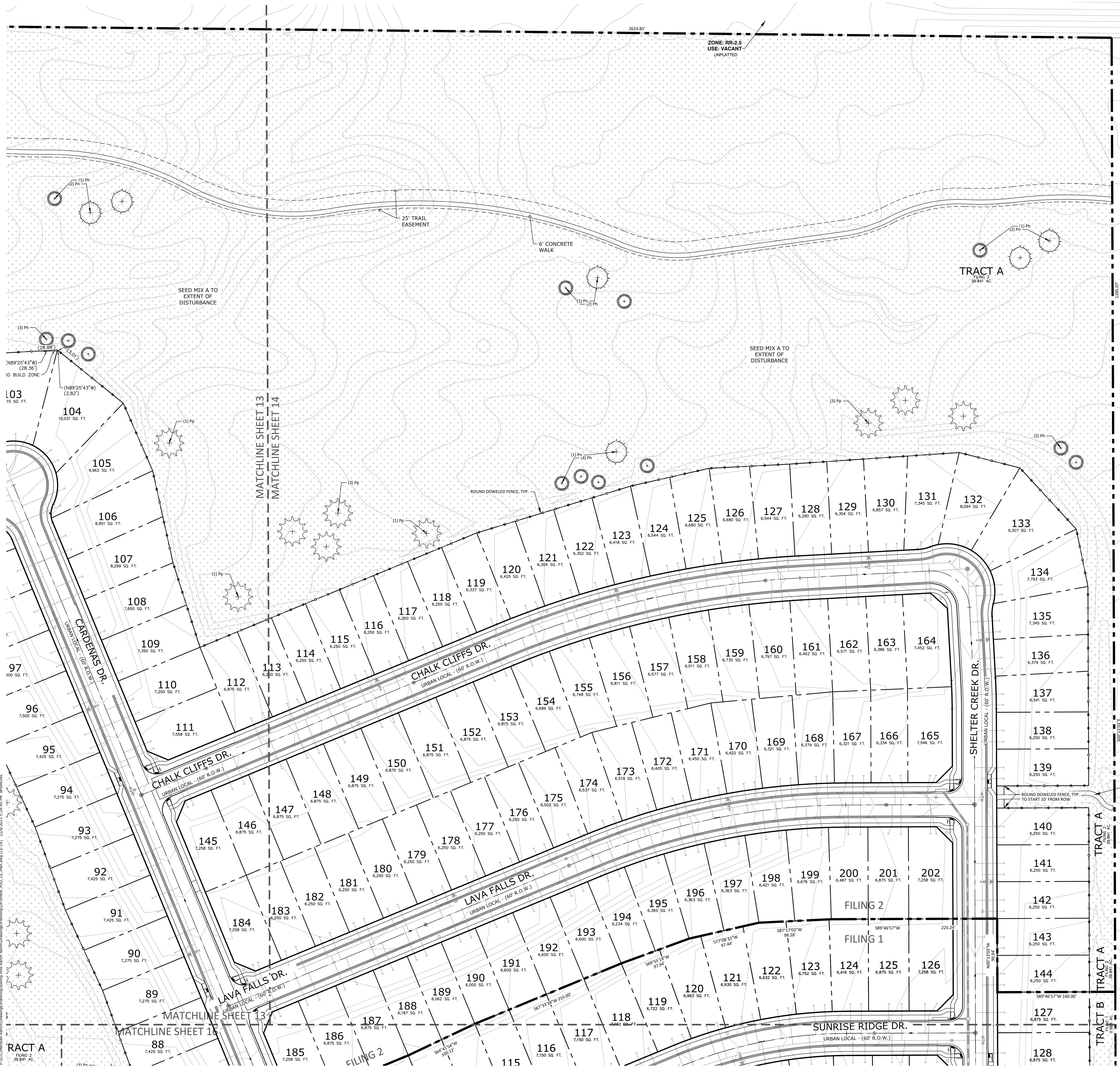
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DATE:	BY:	DESCRIPTION:

Landscape Plan

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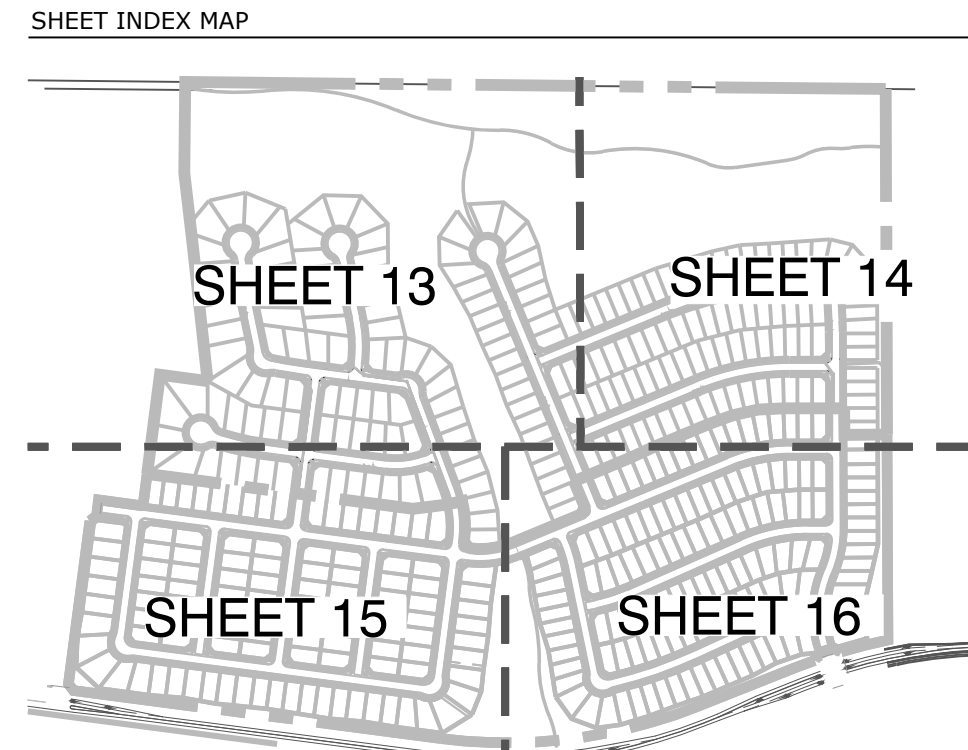
DATE:	BY:	DESCRIPTION:

Landscape Plan

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14 of 16

BOARD OF COUNTY
 COMMISSIONERS OF EL
 PASO COUNTY
 ZONE: PUD
 USE: COUNTY
 FALCON REGIONAL PARK



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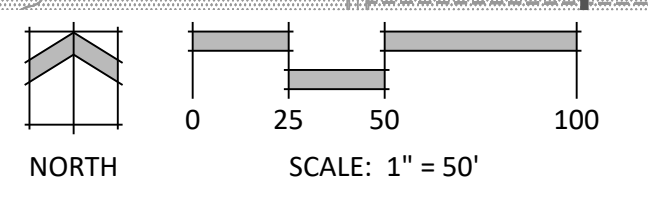
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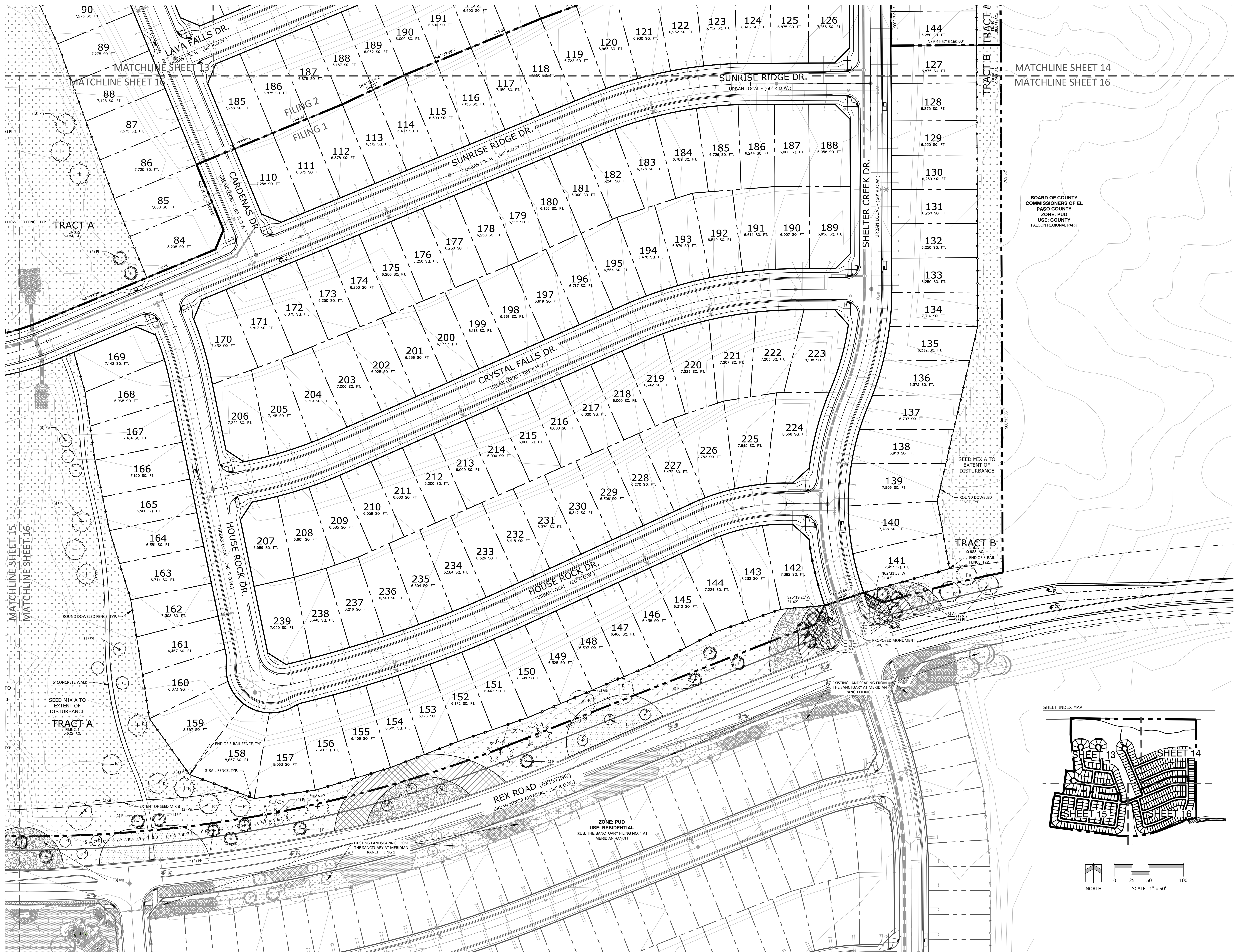
Landscape Plan

15

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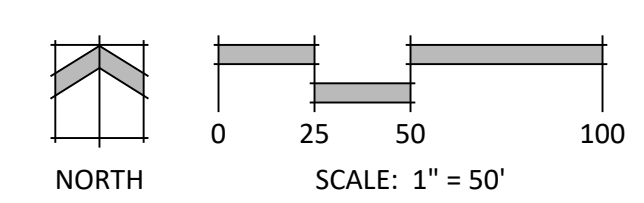
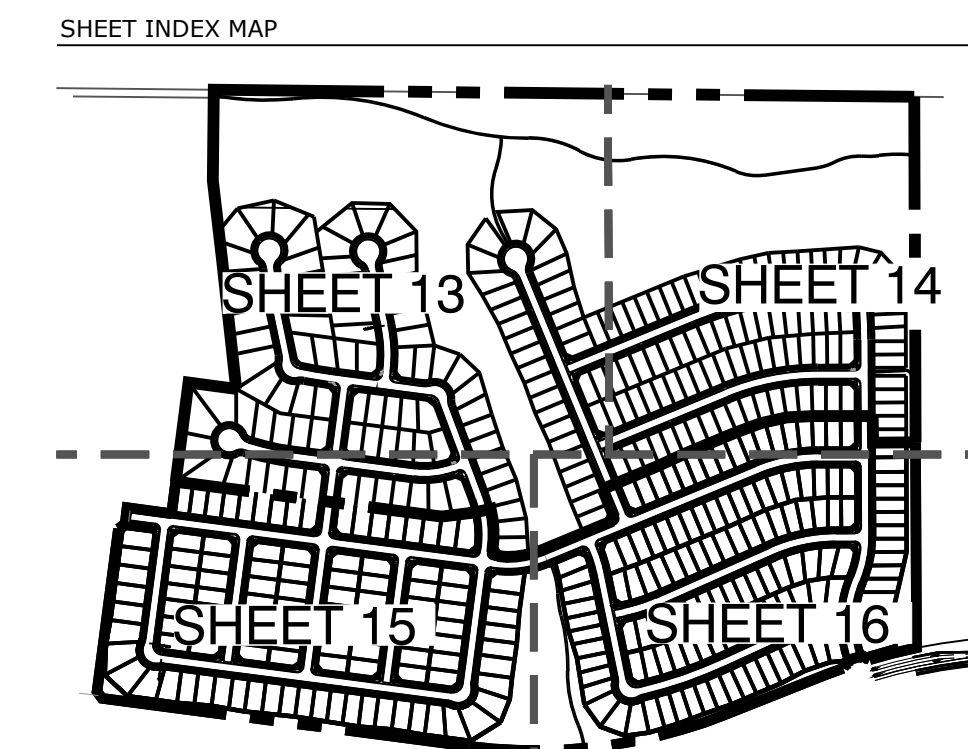
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MATCHLINE SHEET 14
MATCHLINE SHEET 16

BOARD OF COUNTY COMMISSIONERS OF EL PASO COUNTY
ZONE: PUD
USE: COUNTY FALCON REGIONAL PARK

SEED MIX A TO EXTENT OF DISTURBANCE
ROUND DOWELED FENCE, TYP.



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