

## GENERAL PROVISIONS

- A. Authority: This PUD is authorized by Chapter 4 of the El Paso County Land Development Code, adopted pursuant to the Colorado Planned Unit Development Act of 1972, as amended.
- B. Application: The provisions of this PUD shall govern the lands, buildings, their successors, heirs, and by this document shall be incorporated by the Planning and Zoning Department of the El Paso County Clerk and Recorder, and by this document and its addendum, Covenants, Conditions and Restrictions for Meridian Ranch Filing No. 2, Lots 1-35, recorded by the El Paso County Clerk and Recorder's Office on February 1, 2006 as Reception No. 206016492 (the "Covenants"). **Reminder to applicant - double check that this is still up to date.**
- C. Adoption: The adoption of this development plan shall evidence the findings and decisions of the El Paso County Board of County Commissioners that this Development Plan for Rolling Hills Ranch North Filings 1 & 2 is in general conformity with the El Paso County Master Plan, El Paso County Plan and applicable Small Area Plan(s); is authorized under the provision of the El Paso County Land Development Code; and that the El Paso County Land Development Code and this development plan complies with the Colorado Planned Unit Development Act of 1972, as amended.
- D. Relationship to County Regulations: The provisions of this Development Plan shall prevail and govern the development of Rolling Hills Ranch North Filings 1 & 2, provided, however, that where the provisions of this Development Plan do not address a particular subject, the relevant provisions of the El Paso County Land Development Code in effect at the time of the PUD plan approval (or owner acknowledge the PUD changes with the Code), or any other applicable resolutions or regulations of El Paso County, shall be applicable.
- E. Enforcement: To further the mutual interest of the residents, occupants, and owners of the PUD and of the public in the preservation of the integrity of this development plan, the provisions of this plan relating to the use of land and the location of common open space shall run in favor of El Paso County and shall be enforceable at law or in equity by the County without limitation on any power or regulation otherwise granted by law.
- F. Conflict: Where there is more than one provision within the development plan that covers the same subject matter, the provision which is most restrictive or imposes higher standards or requirements shall govern.
- G. Maximum Level of Development: The total number of dwellings shown on the development plan for development within the specified planning area is the maximum development requested for platting or construction (plus any approved density transfers). The actual number of dwellings or level of development may be less due to subdivision or Site Development Plan requirements, land carrying capacity, or other requirements of the Board of County Commissioners.
- H. Project Tracking: At the time of any final plat application, the applicant shall provide a summary of the development, to date, to Planning and Community Development, in order to assure maximum development limits are not exceeded.
- I. Overall Project Standards: The standard zoning requirements of El Paso County Land Use Code, as amended, including off-street parking, landscaping, site development, accessory and temporary uses, and use by special review and variance processes shall apply to this PUD, except as modified below.

## ROLLING HILLS RANCH NORTH FILINGS 1&2 PUD DEVELOPMENT PLAN DEVELOPMENT GUIDELINES

- A. Project Description: Rolling Hills Ranch North Filings 1 & 2 is the continuation of a long-term development with a distinct vision. The project centers on a recreational lifestyle by providing opportunities such as a golf course, recreation center, parks and open space, and trails for residents to enjoy. Common landscape elements such as fencing, street tree plantings, landscaping, and signage will establish a unique sense of place for this development. The parks and recreation center have been located in areas of higher density so more of the residents can access them by walking and provide a focal element to the neighborhoods. The golf course clubhouse is also a focal element for Meridian Ranch, Woodmen Hills, and provides the greater Falcon area since the course is also open to the public. Lot sizes, setbacks, and landscape tracts are designed to provide a wide variety of housing options and prices within the development while ensuring open space and visually interesting streetscapes for the community.
- B. Permitted and Accessory uses: Permitted and accessory uses are as identified in the use table below: (Reference: Note G)

PRINCIPAL USES	
CMRS Facility, Stealth	S
Dwellings - Detached Single Family	A
Model Home/Subdivision Sales Office	T
Public Park, Open Space	A
Yard Sales	T

ACCESSORY USES	
Day Care Home	A*
Group Home	A*
Home Occupation, Residential	A
Accessory Living Quarters	A
Personal Use Greenhouse	A
Residential accessory structures & uses	A
Solar Energy system	A

LEGEND	
A: Allowed Use	
S: Special Use**	
T: Temporary Use***	

**Uses not listed in this table are prohibited.**

\* Day Care & Group Homes may be an Allowed Use or a Special Use depending on the size of the facility and the use of the facility. See the El Paso County Land Development Code and are subject to the criteria in Section 5.2.2 of the El Paso County Land Development Code OR as otherwise specifically provided in the PUD.

\*\* Special uses are subject to the requirements of the El Paso County Land Development Code Section 5.3.2 OR as otherwise specifically provided in the PUD.

\*\*\* Temporary uses are subject to the requirements of the El Paso County Land Development Code, Section 5.3.1 OR as otherwise specifically provided in the PUD.

Accessory uses must also meet the development requirements in (C) below. These uses are also subject to the Covenants and approval of the Meridian Ranch Design Review Council No. 2.

- C. Development Requirements:
1. Maximum lot coverage: fifty-five (55) percent
  2. Maximum building height: thirty (30) feet
  3. Setback minimums:
    - a. Front: twenty (20) feet
    - b. Side: five (5) feet
    - c. Corner lot: the side yard setback for the side street shall be ten (10) feet
    - d. Rear: twenty (20) feet
    - e. Minimum width: 50' measured from the front yard setback or as otherwise shown on the PUD.
  4. Minimum depth: twenty (20) feet
  5. Accessory building must comply with the setbacks established above, except that the rear yard setback may be reduced to seven and one half (7.5') feet for any lots that do not abut a public street. Accessory structures shall be governed by architectural covenants regarding building colors and materials to be consistent with the primary structure of the site.
  6. Projections into setbacks are governed by the Land Development Code in effect at the time of PUD Plan approval or as amended.

### D. Lot Sizes

1. The minimum lot size is 6,000 SF
2. The lot sizes, dimensions, and bearings, shown on the PUD Development/Preliminary Plan are conceptual only. The lots sizes, dimensions, and bearings will be established with the Final Plat and may vary from that shown on the PUD Development/Preliminary Plan
3. The Final Plat will show any additional building lots.
4. No subdivisions of any lot will be allowed if such subdivisions results in the creation of additional building lots.
5. Lot line adjustments, per Chapter 7 of the Land Development Code as amended will not require an amendment of this PUD Development/Preliminary Plan.

### E. Streets

- Streets within Rolling Hills Ranch North Filings 1 & 2 Subdivision provide general vehicular circulation throughout the development. All streets shall be publicly owned and maintained. Construction will be to El Paso County Standards except for waivers and modifications described in the Letter of Intent. All streets shall be paved with curb and gutter. Sidewalks shall be provided on both sides of all streets illustrated on this plan.

### F. Architectural Control Committee Review/Covenants

- The Covenants govern Rolling Hills Ranch North Filings 1 & 2 and owners of lots within Rolling Hills Ranch North Filings 1 & 2 may need to obtain the prior written approval of The Design Committee before building an Improvement on the lot or commencing with a particular use of the lot.

### G. Relationship to ADC/Covenants

- The provisions of the Covenants shall prevail except where the provisions or guidelines of the Covenants do not address a particular subject or guideline, in which case the relevant provisions of the Development Plan shall then be applicable. In the event of any conflict between this Development Plan and the Covenants the Covenants shall prevail and govern. Where the provisions of the Covenants or the Development Plan conflict with a statute or code the more restrictive shall apply.

## GENERAL NOTES

- All streets shall be constructed to El Paso County standards, unless a specific waiver or deviation has been approved, dedicated to El Paso County for and upon acceptance by El Paso County shall be maintained by El Paso County Department of Transportation except for landscaping as indicated in note #2.
- Landscape features, open space tracts, parks and trails shall be owned (written) and maintained by the Meridian Service Corporation. Details of the development plan, including the location of roads, streets, parks, trails, fences, and boundaries, shall be determined by the developer. All frontage streets shall have a minimum of one tree per 30 feet of frontage. These trees can be clustered along the frontage as determined by the developer.
- Contour interval shown on plan 2'.
4. Right-of-way easements shall be provided on all lots as follows:
  - a. Front: ten (10) feet
  - b. Side: five (5) feet
  - c. Rear: twenty (20) feet
  - d. Streets: Ten (10) feet easement along all areas when front easement is not appropriate.
  - e. Subdivision Perimeter: (20) feet
  - f. Front Porch: Twenty (20) feet
5. All open-space/wall/landscape tracts shall be limited to non-residential use only, except for maintenance and emergency vehicles.
6. According to the Colorado Emergency Management Flood Insurance Rate Map (FIRM No. 08041CO552 dated 12/7/18), the subject property is located outside the boundary of the 100 year floodplain.
7. Rolling Hills Ranch North Filings 1&2 at Meridian Ranch is subject to the previously approved Meridian Ranch Overall PUD Plan. Any PUD Development Plan and/or PUD modification must be consistent with the Meridian Ranch Overall PUD Plan.
8. Rolling Hills Ranch North Filings 1&2 at Meridian Ranch is subject to the approved Meridian Ranch Sketch Plan Amendment (SKP 21-003) approved 8-24-2021 and recorded 9-17-2021, reception number 22117464 (Resolution No. 21-332).
9. Rolling Hills Ranch North Filings 1&2 at Meridian Ranch is subject to the approved Meridian Ranch Zoning & Conceptual Plan approved 3-24-2012 and recorded 3-20-2013, reception number 21303639.
10. For the El Paso County Hazard map, dated December 2007, Rolling Hills Ranch North Filings 1 & 2 is situated entirely within the Low Hazard - Non Flood Zone.
11. Rolling Hills Ranch North Filings 1&2 at Meridian Ranch shall be limited to a total of 441 dwelling units.
12. This subdivision is subject to the public right of way landscape agreement for Meridian Ranch as recorded under reception no. 21303630 in the office of the El Paso County Clerk and Recorder.
13. **TI Delete Note 13 is duplicate of Note 15.** **1. NES: NOTE #13 HAS BEEN DELETED.** **NOTE #15 IS THE CORRECT NOTE.**
14. The PUD modification to remove the need for a mid-block crossing following considerations identified in Section 4.2.6.7.2 of the Land Development Code.
- Provision to promote pedestrian safety - pedestrians entering the roadway from behind parked vehicles where lines of sight are limited or blocked can create a false sense of security along the roadway without looking for traffic. The use of mid-block crossings can create safety hazards by blocking pedestrian movement.
- Provision of a more efficient pedestrian system - pedestrian circulation within Meridian Ranch is focused on the provided trail system, which connects the residential areas to the parks and open space. The project is designed to encourage the use of the trail system, rather than the sidewalks, where possible. On the streets where mid-block crossings are provided, there are no pedestrian destinations or trails that would necessitate a mid-block crossing to amenities.
- Provision of additional open space - by encouraging residents to use the trail system, the project provides better access to the open space in the development.
15. Woodmen Road District Note: All property within this subdivision is within the boundaries of the Woodmen Road Metropolitan District and, as such, is subject to the Woodmen Road District Assessment.
16. Geologic Hazards Note: Areas of the proposed subdivision have been found to be impacted by geologic conditions including groundwater, expansive soils and sandstone/claystone materials. Mitigation and map of the hazard areas can be found in the Soil, Geology and Geologic Hazard Evaluation Report, prepared by the Colorado Geological Survey for the Meridian Ranch North Filing No. 1&2 PUD Development Plan (File No. PUD-XXXXXX) at the El Paso County Planning and Community Development Department.
17. All roadways must change and drain through the landscape area of the lots, roadways cannot drain over a driveway or be piped to the back of curb and gutter to ensure proper drainage. **NOTICE: ADDITIONAL PUD EXCLUSION IN ECR-17.1.C.4**

### NES: ADDITIONAL PUD EXCLUSION

### NES: PER CORRESPONDENCE WITH RYAN HOWSER THIS IS NOT REQUIRED ON A PUD.

### NES: FILE NUMBER ADDED.

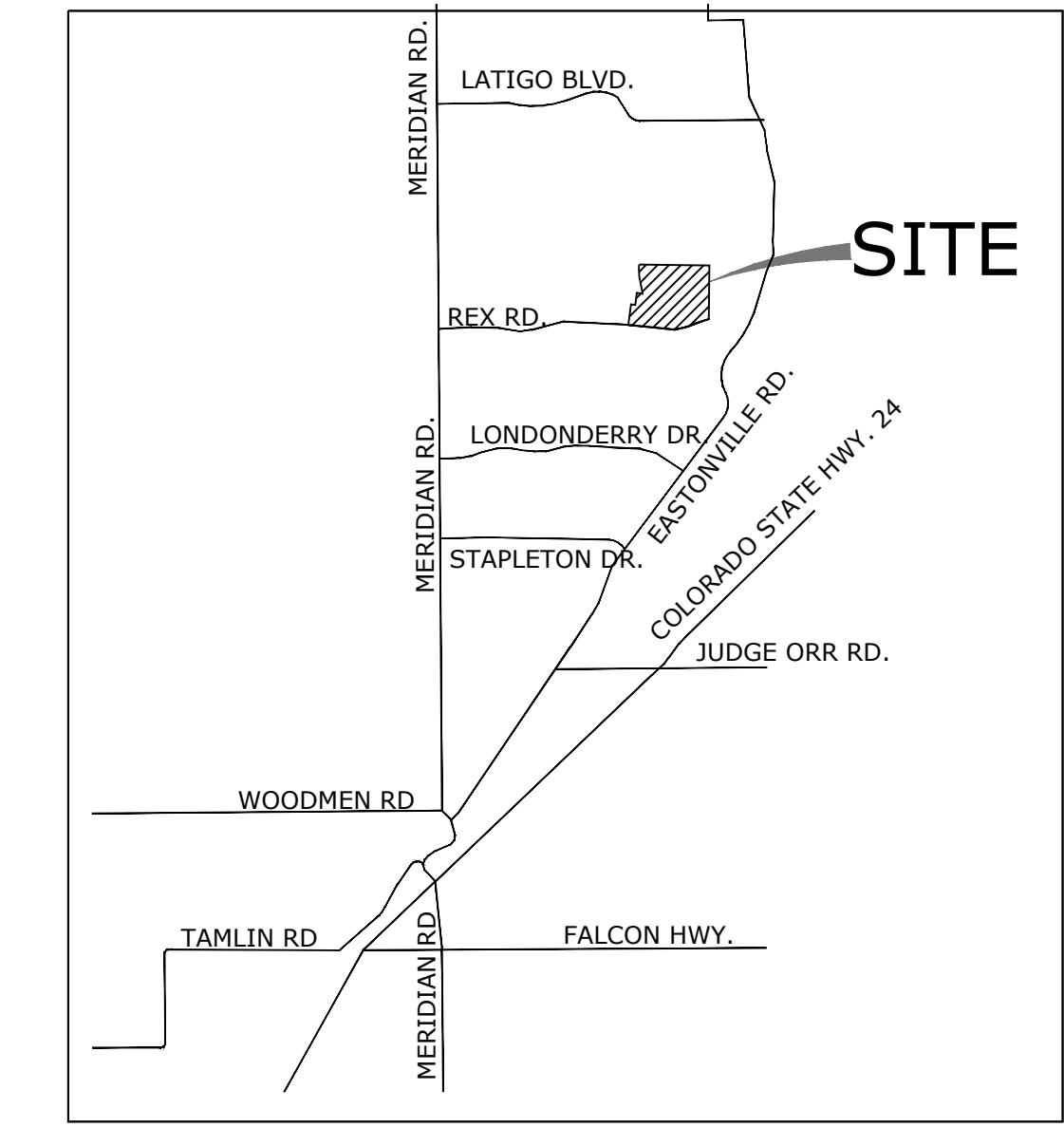
# ROLLING HILLS RANCH NORTH FILINGS 1 & 2 AT MERIDIAN RANCH PUD DEVELOPMENT PLAN / PRELIMINARY PLAN

SECTION 20, IN TOWNSHIP 12 SOUTH, RANGE 64 WEST OF  
THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO.

## SHEET INDEX MAP



## VICINITY MAP



OWNER  
MERIDIAN RANCH INVESTMENTS, INC.  
P.O. BOX 80036  
San Diego, CA 92138-0036

PLANNER  
N.E.S. Inc.  
619 N. Cascade Ave., Ste. 200  
Colorado Springs, CO 80903  
(719) 471-0073

CIVIL ENGINEER  
Tech Contractors  
11910 Tourmaline Drive, Suite 130  
Falcon, CO 80831

SUBDIVIDER  
GTL, Inc.  
3575 Kenyon St., Suite 200  
San Diego, CA 92110

PLANNING/LANDSCAPE ARCHITECT  
N.E.S. Inc.  
619 N. Cascade Avenue, Suite 200  
Colorado Springs, CO 80903  
Tel. 719.471.0073  
Fax 719.471.0267  
www.nescoolorado.com



N.E.S. Inc.  
619 N. Cascade Avenue, Suite 200  
Colorado Springs, CO 80903  
© 2012. All Rights Reserved.

## DEVELOPMENT DATA

- Existing Zoning: PUD
- Tax ID Number: A200000477
- Total Area: 148.873 AC
- Number of Lots: 441
- Total Lot Area: 79.160 AC (52.5%)
- Average Lot Size: 7.230 SF
- Minimum Lot Size: 6,000 SF
- Minimum Lot Width: 50 Feet
- Maximum Lot Depth: 120 Feet
- Gross Density: 2.06 DU/AC
- Net Density: 5.64 DU/AC
- R.O.W.: 24.252 AC (16.3%)
- Total Tract Area: 46.461 AC (31.2%)
- Maximum Height: Thirty (30) Feet
- Maximum Lot Coverage: Fifty-five percent (55%)

Some of this information is unnecessary duplication of information provided in the development guidelines.

NES: REVISED.

NES: REMOVED.

This is a lot of unnecessary information here. This table doesn't include any information that is not provided above in the development data. I would recommend removal of the table to simplify this page.

## LAND USE DATA TABLE

LAND USE	NET DENSITY	UNITS	ACRES	% OF LAND
SINGLE FAMILY	5.64 DU/AC	441 Lots	78.158	52.5%
ROAD R.O.W.	N/A	N/A	24.252	16.3%
OPEN SPACE TRACTS	N/A	N/A	46.461	31.2%

## TRACT TABLE

TRACT	SIZE (AC)	USE	OWNERSHIP/MAINTENANCE
Tract A	5.632 AC	LANDSCAPE BUFFER/OPEN SPACE/DRAINAGE/UTILITIES	MERIDIAN RANCH SERVICE METRO DISTRICT/PRIVATE
Tract B	0.988 AC	LANDSCAPE BUFFER/OPEN SPACE/DRAINAGE/UTILITIES	MERIDIAN RANCH SERVICE METRO DISTRICT/PRIVATE
FILING 2	39.841 AC	LANDSCAPE BUFFER/OPEN SPACE/DRAINAGE/UTILITIES	MERIDIAN RANCH SERVICE METRO DISTRICT/PRIVATE

## SOCIAL IMPACTS TABLE

ISSUE	PROVIDER / MAINTENANCE	AVAILABILITY / AMOUNT
STUDENT GENERATION		441 Single Family Dwelling Units
Elementary School (3/400):150	School District 49	



N.E.S. Inc.  
619 N. Cascade Avenue, Suite 200  
Colorado Springs, CO 80903

Tel. 719.471.0073  
Fax 719.471.0267

[www.nescolorado.com](http://www.nescolorado.com)

© 2012. All Rights Reserved.

## LEGAL DESCRIPTION - ROLLING HILLS RANCH NORTH FILINGS 1 & 2

KNOW ALL MEN BY THESE PRESENTS:

THAT GTL INC. DBA GTL DEVELOPMENT, INC., THEODORE TCHANG, PRESIDENT BEING THE OWNER OF THE FOLLOWING DESCRIBED TRACT OF LAND:

KNOW ALL MEN BY THESE PRESENTS:

THAT GTL INC. DBA GTL DEVELOPMENT, INC., THEODORE TCHANG, PRESIDENT BEING THE OWNER OF THE FOLLOWING DESCRIBED TRACT OF LAND:

A PARCEL OF LAND LOCATED IN A PORTION OF SECTION 20, IN TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EASTERN RIGHT-OF-WAY OF ESTATE RIDGE DRIVE AS-DEDICATED IN THE ESTATES AT ROLLING HILLS RANCH FILING NO. 2, RECORDED WITH RECEIPT NO. 222714944 IN THE RECORDS OF EL PASO COUNTY, POINT BEING ON THE EASTERN BOUNDARY LINE OF SAID FILING;

THE FOLLOWING NINE (9) COURSES ARE ON SAID BOUNDARY LINE:

1. THENCE N07°26'02"E A DISTANCE OF 616.00 FEET;
2. THENCE N52°26'02"E A DISTANCE OF 31.11 FEET;
3. THENCE N07°26'02"E A DISTANCE OF 160.00 FEET;
4. THENCE S07°26'35"E A DISTANCE OF 160.00 FEET;
5. THENCE N07°26'02"E A DISTANCE OF 495.00 FEET;
6. THENCE S82°33'58"E A DISTANCE OF 180.00 FEET;
7. THENCE N02°42'38"E A DISTANCE OF 495.00 FEET;
8. THENCE N00°34'37"E A DISTANCE OF 160.00 FEET;
9. THENCE N00°34'17"E A DISTANCE OF 340.00 FEET TO A POINT ON THE NORTH LINE OF THE NORTHWEST ¼ OF SAID SECTION 20;

THE FOLLOWING COURSE IS ON SAID SECTION LINE:

10. THENCE S89°25'43"E A DISTANCE OF 2624.85 FEET TO A POINT ON THE WESTERN BOUNDARY OF FALCON REGIONAL PARK RECORDED WITH RECEIPT NO. 214093227;

THE FOLLOWING COURSE IS ON SAID BOUNDARY LINE:

11. THENCE S90°13'01"E A DISTANCE OF 2064.39 FEET TO A NON-TANGENT CURVE TO THE LEFT, POINT BEING ON THE NORTHERN BOUNDARY OF THE SANCTUARY FILING NO. 1 AT MERIDIAN RANCH RECORDED WITH RECEIPT NO. 223715140 IN THE RECORDS OF EL PASO COUNTY;

THE FOLLOWING NINE (9) COURSES ARE ON THE BOUNDARY LINE OF SAID THE SANCTUARY FILING NO. 1 AT MERIDIAN RANCH:

25. THENCE ON THE ARC OF SAID CURVE, HAVING A RADIUS OF 2050.00 FEET, A DELTA ANGLE OF 05°02'20", AN ARC LENGTH OF 180.29 FEET, WHOSE LONG CHORD BEARS S75°52'06"W A DISTANCE OF 180.23 FEET;
26. THENCE N62°31'53"W A DISTANCE OF 31.42 FEET;
27. THENCE S26°19'21"W A DISTANCE OF 31.42 FEET;
28. THENCE S26°19'21"W A DISTANCE OF 31.42 FEET TO A NON-TANGENT CURVE TO THE LEFT;
29. THENCE ON THE ARC OF SAID CURVE, HAVING A RADIUS OF 2050.00 FEET, A DELTA ANGLE OF 02°03'13", AN ARC LENGTH OF 73.48 FEET, WHOSE LONG CHORD BEARS S75°52'06"W A DISTANCE OF 73.43 FEET;
30. THENCE S89°23'15"W A DISTANCE OF 399.50 FEET TO A POINT OF CURVE TO THE RIGHT;
31. THENCE ON THE ARC OF SAID CURVE, HAVING A RADIUS OF 1930.00 FEET, A DELTA ANGLE OF 29°02'43", AN ARC LENGTH OF 978.39 FEET, WHOSE LONG CHORD BEARS S82°54'40"W A DISTANCE OF 967.95 FEET;
32. THENCE N82°33'38"W A DISTANCE OF 1387.37 FEET;
33. THENCE N07°33'38"W A DISTANCE OF 31.11 FEET TO THE POINT OF BEGINNING;

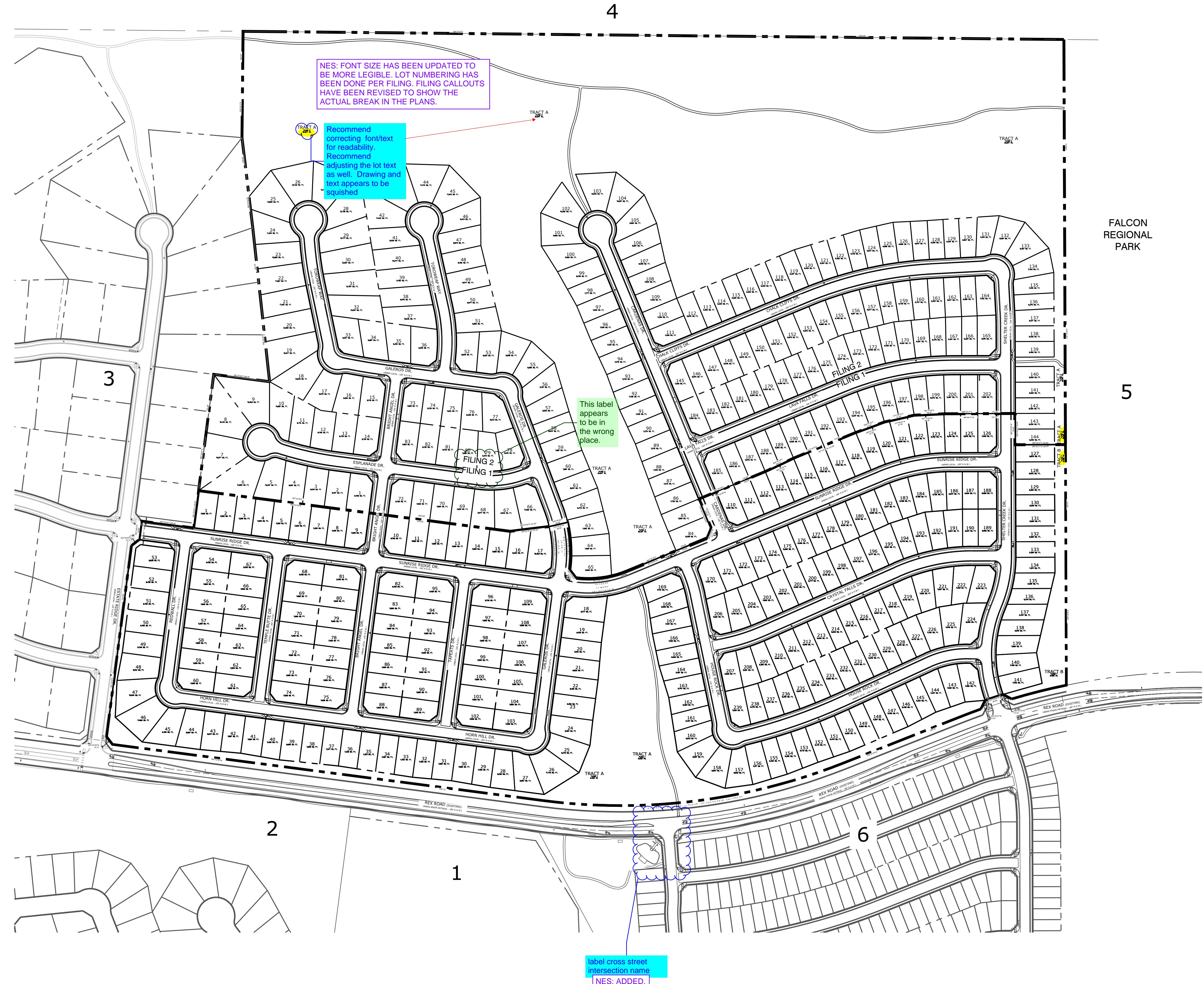
THE ABOVE PARCEL OF LAND CONTAINS 148.87 ACRES, MORE OR LESS.

BEARINGS ARE BASED ON THE SOUTH LINE OF THE SW ¼ OF SECTION 29, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH P.M., ASSUMED TO BEAR S89°25'42"E FROM THE SOUTHWEST CORNER OF SAID SECTION 29 (A STONE W/SCRIBED "X") TO THE SOUTH QUARTER CORNER OF SAID SECTION 29 (3.25" ALUM. CAP LS #3087).

### ADJACENT OWNERS

ADJACENT OWNERS	NAME	MAILING ADDRESS	CITY / STATE/ ZIP
1	Meridian Service Metro District	118866 Stapleton Dr.	Peyton, CO 80831
2	GTL INC - Rolling Hills Filing 3	3575 Kenyon Street, Suite 200	San Diego, CA 92110
3	GTL INC - The Estates at Rollings Hills Ranch	3575 Kenyon Street, Suite 200	San Diego, CA 92110
4	Falcon Latigo LLC	5350 S Roslyn Street, Suite 400	Englewood, CO 80111
5	Board of County Commissioners of El Paso County	200 S Cascade Ave., Suite 150	Colorado Springs, CO
6	GTL INC - The Sanctuary	3575 Kenyon Street, Suite 200	San Diego, CA 92110

The overall lot numbering scheme is confusing and difficult to follow. There are duplicate numbers and the numbers do not appear to follow a sequential numbering pattern. If the intent is to provide numbering for Filing 1 and restart the numbering for Filing 2, that's fine, but it needs to be clearly depicted. The numbers need to follow a sequential pattern rather than jumping around.



## ROLLING HILLS RANCH NORTH FILINGS 1 & 2 AT MERIDIAN RANCH

PUD DEVELOPMENT / PRELIMINARY PLAN

DATE: 07/07/2023  
PROJECT MGR: B. PERKINS  
PREPARED BY: A. ROMAN

ENTITLEMENT

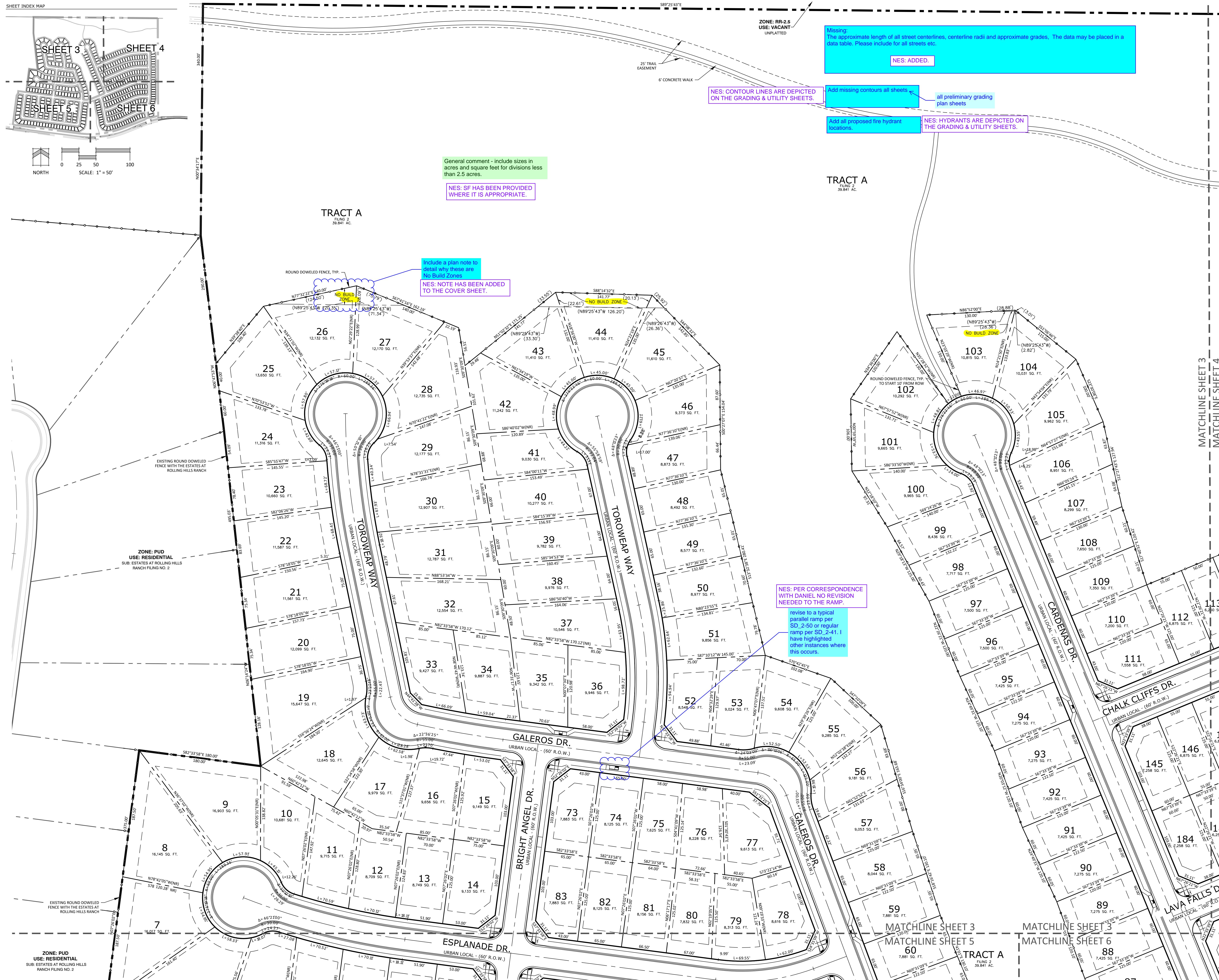
ISSUE INFO

DATE: BY: DESCRIPTION:

Legal Plan

2

2 OF 16



N.E.S. Inc.  
519 N. Cascade Avenue, Suite 200  
Colorado Springs, CO 80903

Tel. 719.471.0073  
Fax 719.471.0267

© 2012. All Rights Reserved.

# ROLLING HILLS RANCH NORTH FILINGS 1 & 2 AT MERIDIAN RANCH

# PUD DEVELOPMENT / PRELIMINARY PLAN

12/07/  
B. PER  
A. P.

[View all posts](#) | [View all categories](#)

ENTITELMEN

[View Details](#) | [Edit](#) | [Delete](#)

REV. BY DES.

---

PUD Site P

3

3 OF 1





N.E.S. Inc.  
619 N. Cascade Avenue, Suite 200  
Colorado Springs, CO 80903

Tel. 719.471.0073  
Fax 719.471.0267

[www.nescolorado.com](http://www.nescolorado.com)

© 2012. All Rights Reserved.

LANDSCAPE ARCHITECT

## ROLLING HILLS RANCH NORTH FILINGS 1 & 2 AT MERIDIAN RANCH

PUD DEVELOPMENT / PRELIMINARY PLAN

DATE: PROJECT MGR: B. PERKINS  
PREPARED BY: A. ROMAN

12/07/2023

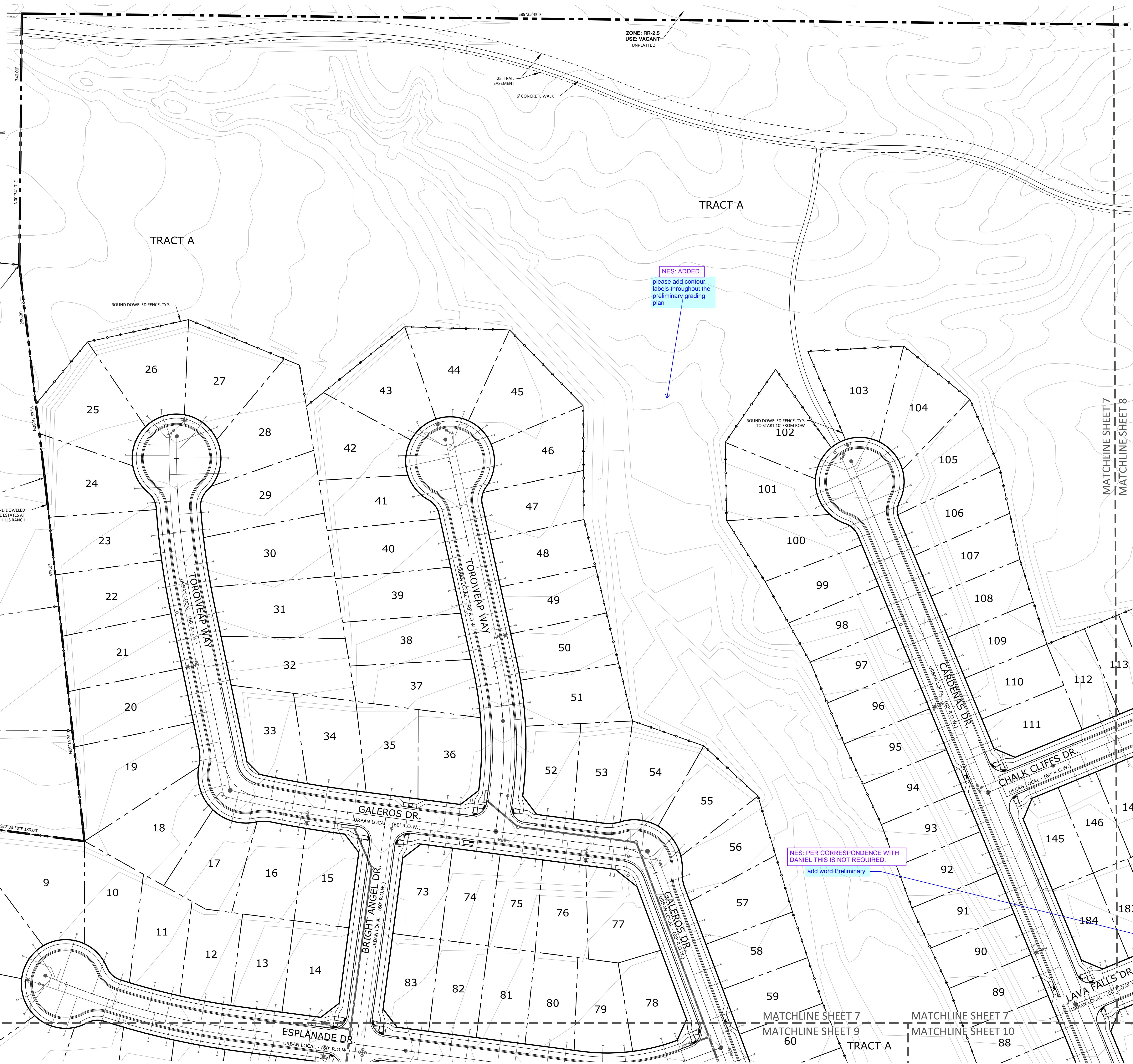
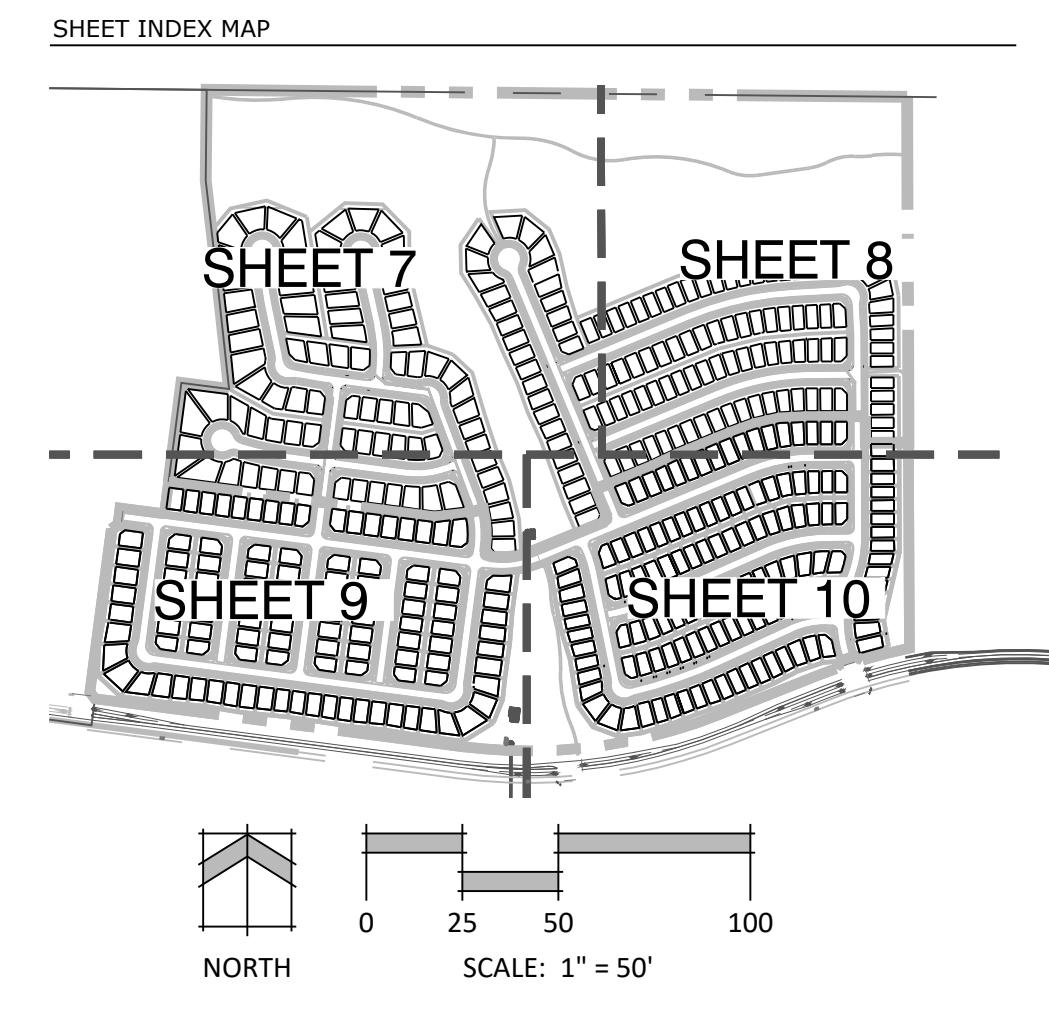
REVISION NO:

DATE: BY: DESCRIPTION:

ISSUED BY:

DATE: BY: DESCRIPTION:





## ROLLING HILLS RANCH NORTH FILINGS 1 & 2 AT MERIDIAN RANCH

PUD DEVELOPMENT /  
PRELIMINARY PLAN

DATE: PROJECT MGR: B. PERKINS  
PREPARED BY: A. ROMAN  
12/07/2023

ENTITLEMENT

DATE: BY: DESCRIPTION:

ISSUE NUMBER:

DATE: BY: DESCRIPTION:

Grading and  
Utility Plan

7

7 OF 16

PLAN NUMBER:

SHEET NUMBER:

N.E.S. Inc.  
619 N. Cascade Avenue, Suite 200  
Colorado Springs, CO 80903  
Tel. 719.471.0073  
Fax 719.471.0267  
[www.nescolorado.com](http://www.nescolorado.com)  
© 2012. All Rights Reserved.





N.E.S. Inc.  
619 N. Cascade Avenue, Suite 200  
Colorado Springs, CO 80903

Tel. 719.471.0073  
Fax 719.471.0267

www.nescolorado.com

© 2012. All Rights Reserved.

PLANNER / LANDSCAPE ARCHITECT

ROLLING HILLS  
RANCH NORTH  
FILINGS 1 & 2  
AT MERIDIAN  
RANCH

PUD DEVELOPMENT /  
PRELIMINARY PLAN

PROJECT INFO  
DATE: 12/07/2013  
PREPARED BY: B. PERKINS A. ROMAN

SEAL

ENTITLEMENT

ISSUE INFO  
DATE: BY: DESCRIPTION:

ISSUE / REVISION

SHEET TITLE  
Grading and Utility Plan

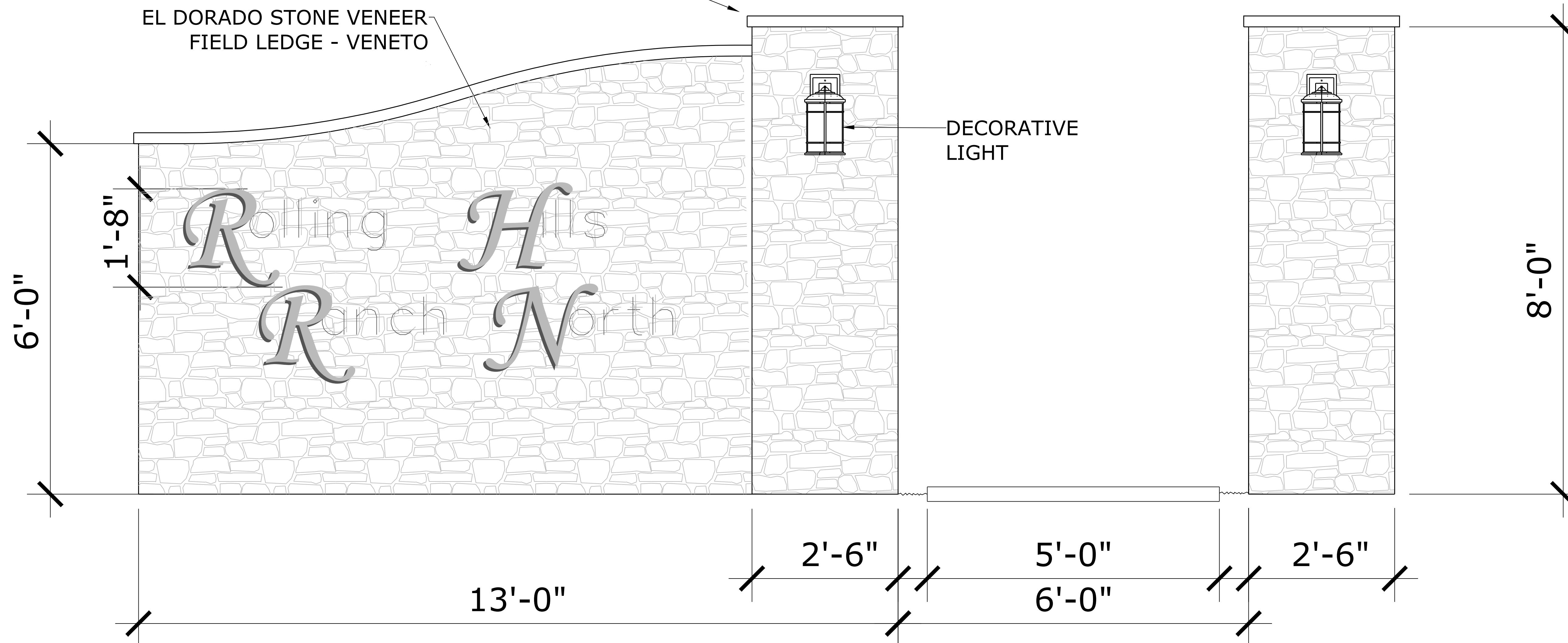
SHEET NUMBER  
9

9 OF 16





2-1/4" THICK CHISELED EDGE EL DORADO BUCKSKIN  
COLUMN CAP AND TOP OF WALL. 1" OVERHANG. GROUT  
1/8" TO FLUSH WITH STONE VENEER MORTAR JOINT.  
MEDIUM TONE MOCHA GROUT COLOR.



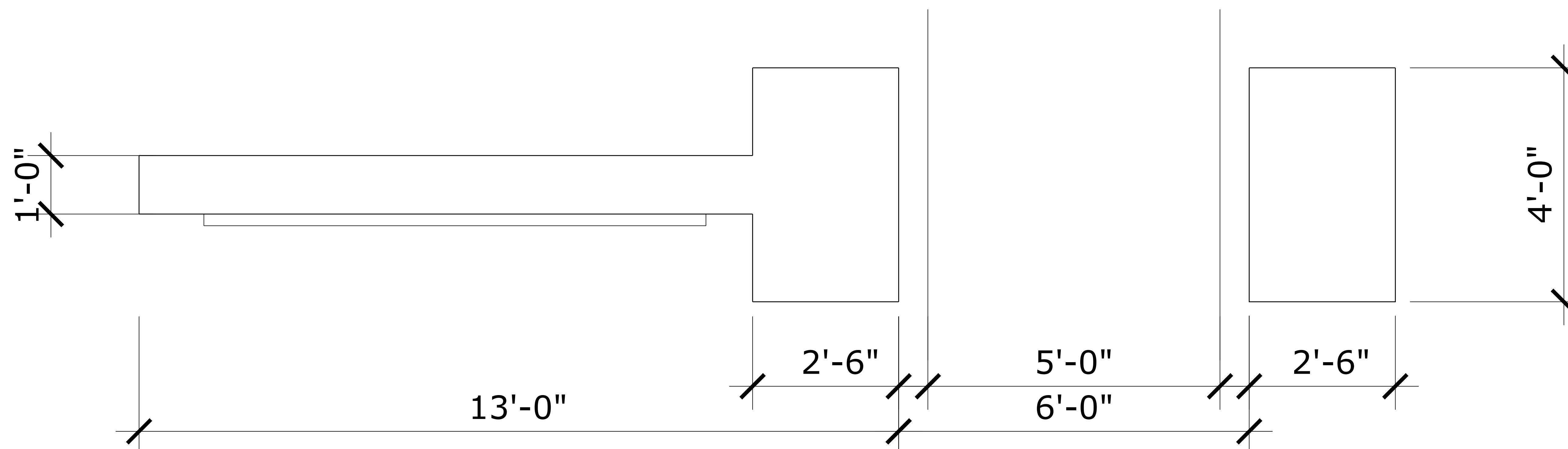
(1) 16 ENTRY SIGNAGE ELEVATION VIEW

SCALE: 1" = 1"

ROLLING HILLS  
RANCH NORTH  
FILINGS 1 & 2  
AT MERIDIAN  
RANCH

PUD DEVELOPMENT /  
PRELIMINARY PLAN

PROJECT INFO  
DATE: 12/07/2023  
PROJECT MGR: B. PERKINS  
PREPARED BY: A. ROMAN



(2) 16 ENTRY SIGNAGE PLAN VIEW

SCALE: 1" = 1"

ENTITLEMENT

ISSUED DATE:

BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE: BY: DESCRIPTION:

REVISION:

DATE:



N.E.S.  
N.E.S. Inc.  
619 N. Cascade Avenue, Suite 200  
Colorado Springs, CO 80903

Tel. 719.471.0073  
Fax 719.471.0267  
[www.nescolorado.com](http://www.nescolorado.com)

© 2012. All Rights Reserved.

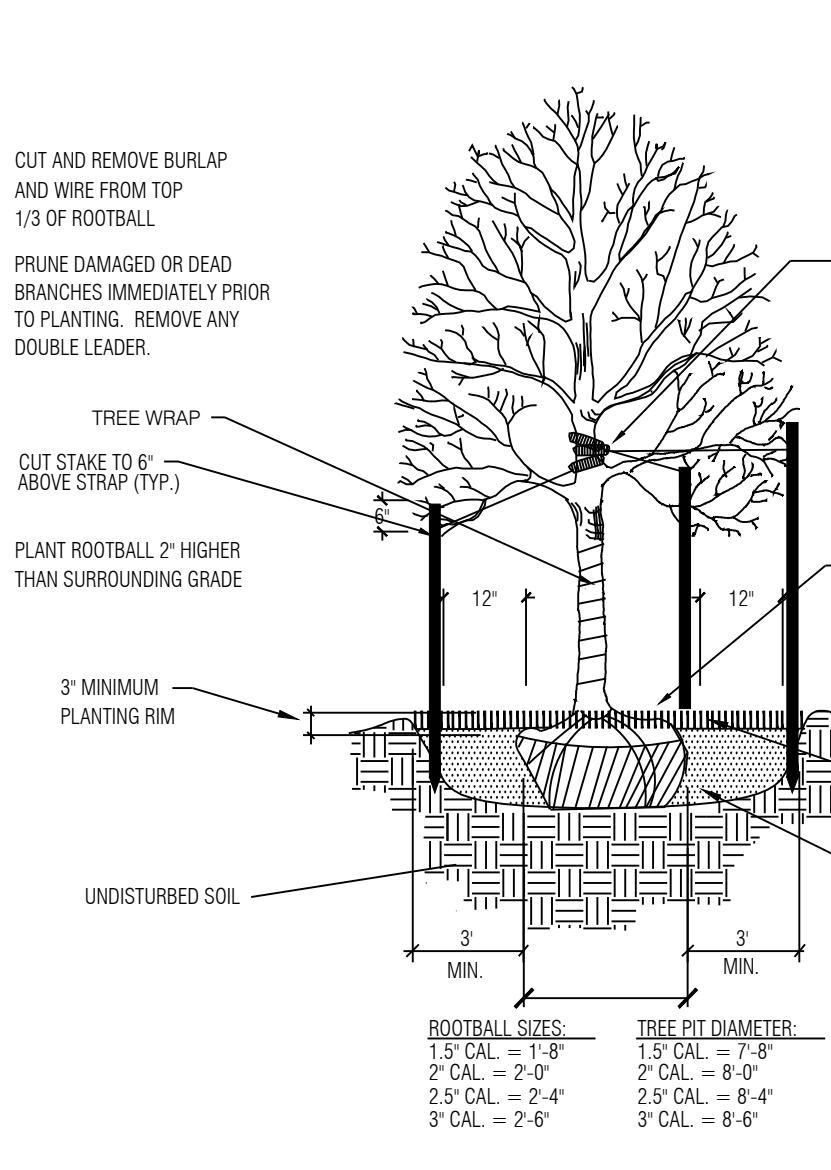
PLANNER / LANDSCAPE ARCHITECT

### Seed Mix B with Wildflowers

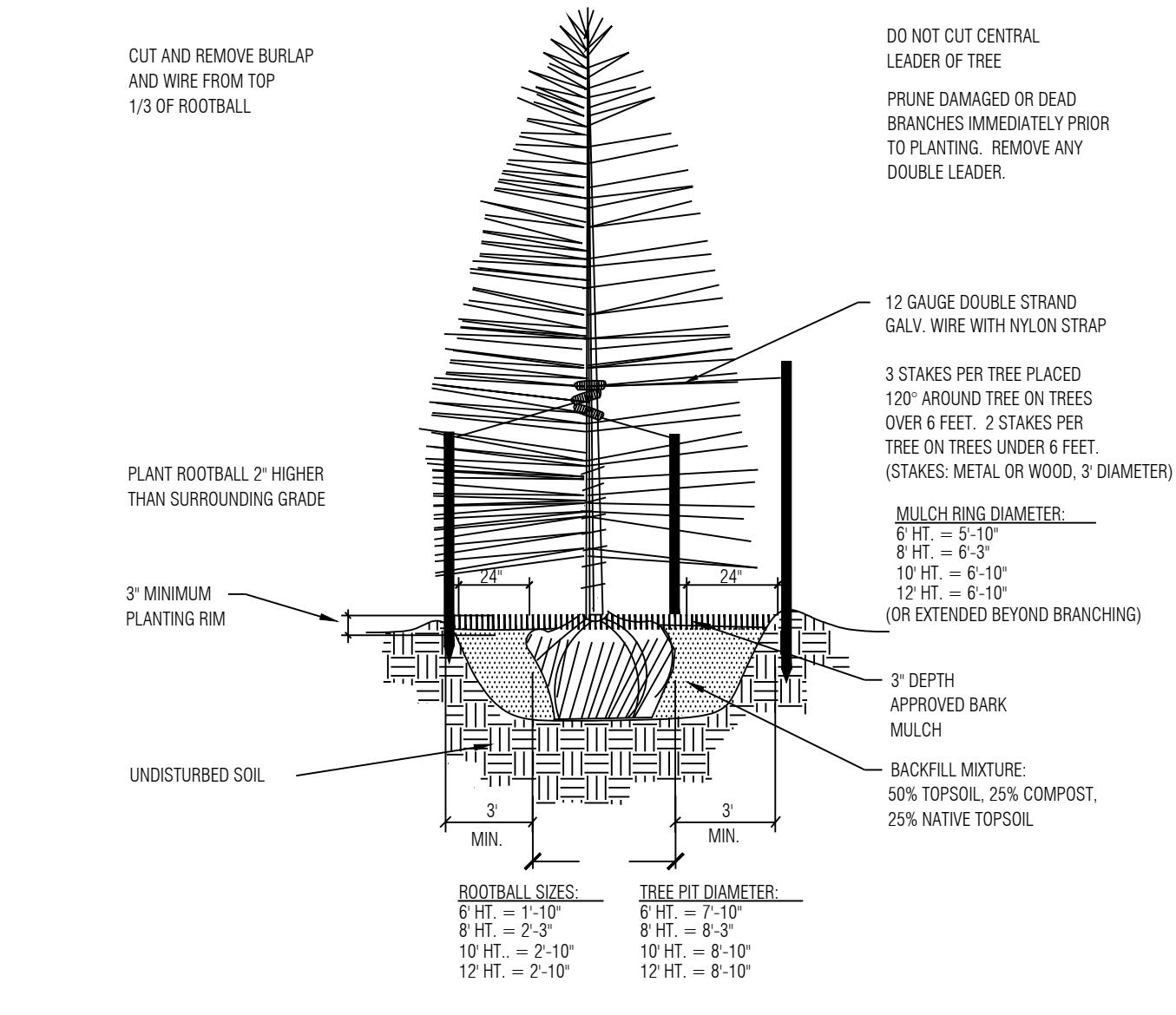
Note: Low Gro Mix available from Arkansas Valley Seed Solutions (877) 957-3337  
Wildflower Mix available from Applewood Seed Co. (303) 431-7333

APPLICATION RATE: Native Grass Mix: 40 lbs./acre (or as recommended by supplier)  
Wildflower Mix: 6 oz./1,000 s.f. or 6-10 lbs./acre  
Hydromulch: 2,200 lbs./acre mulch, 100 lbs./acre tackifier.

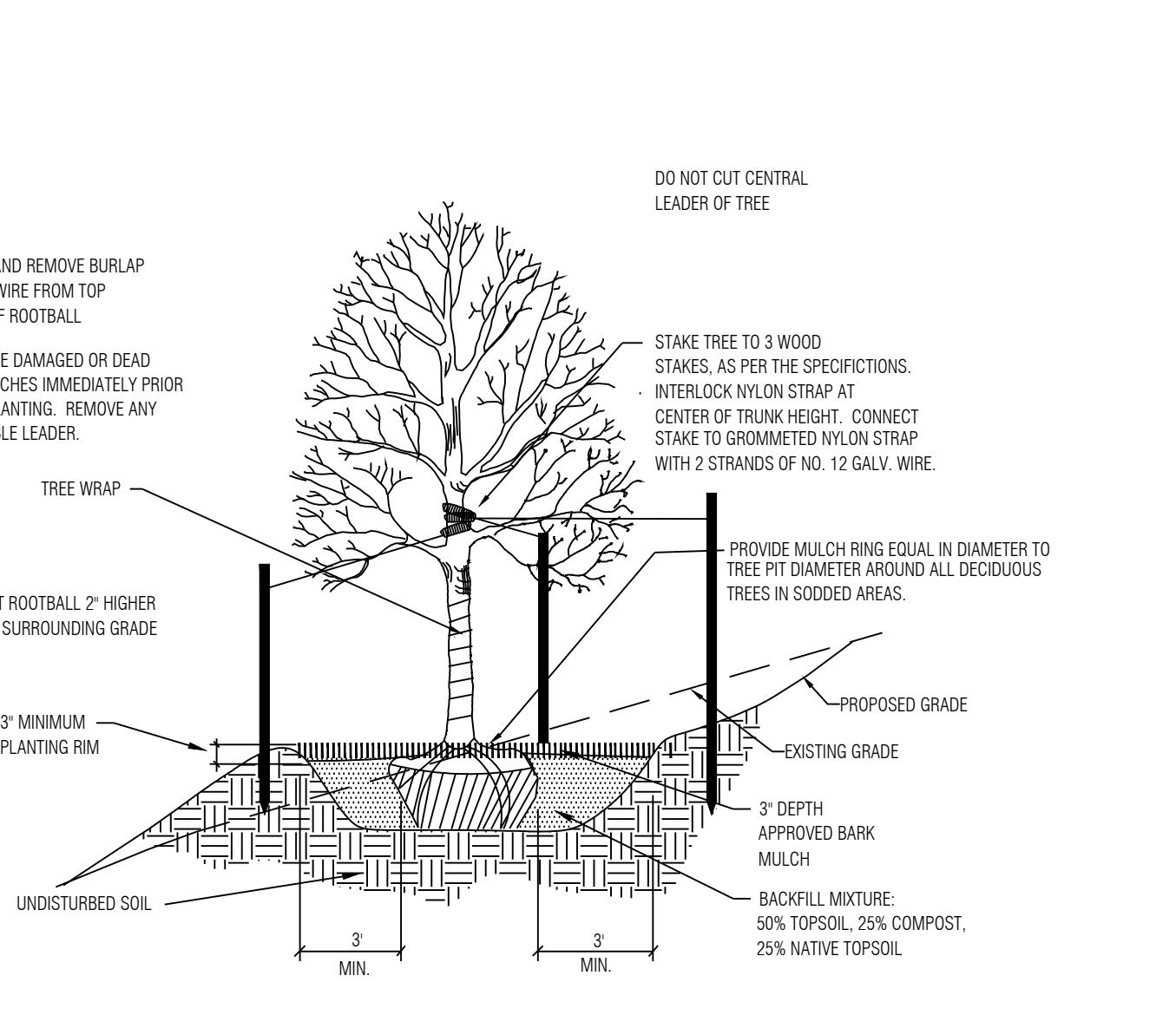
APPLICATION METHOD: Broadcast seed by hand or with a drop spreader.  
Manually rake seed into prepared soil.  
After seeding apply green hydromulch and tackifier.



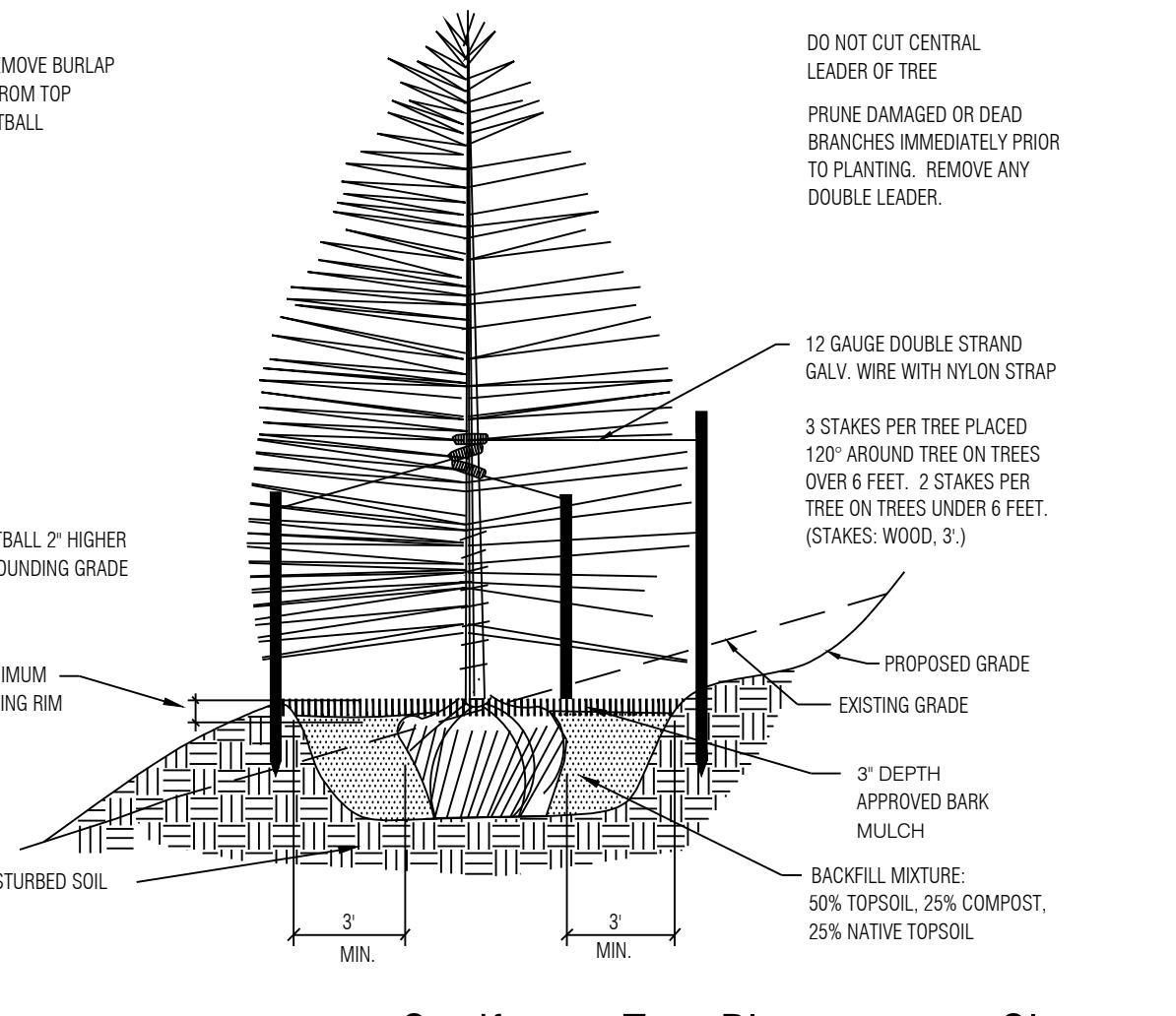
1 Deciduous Tree Planting Detail



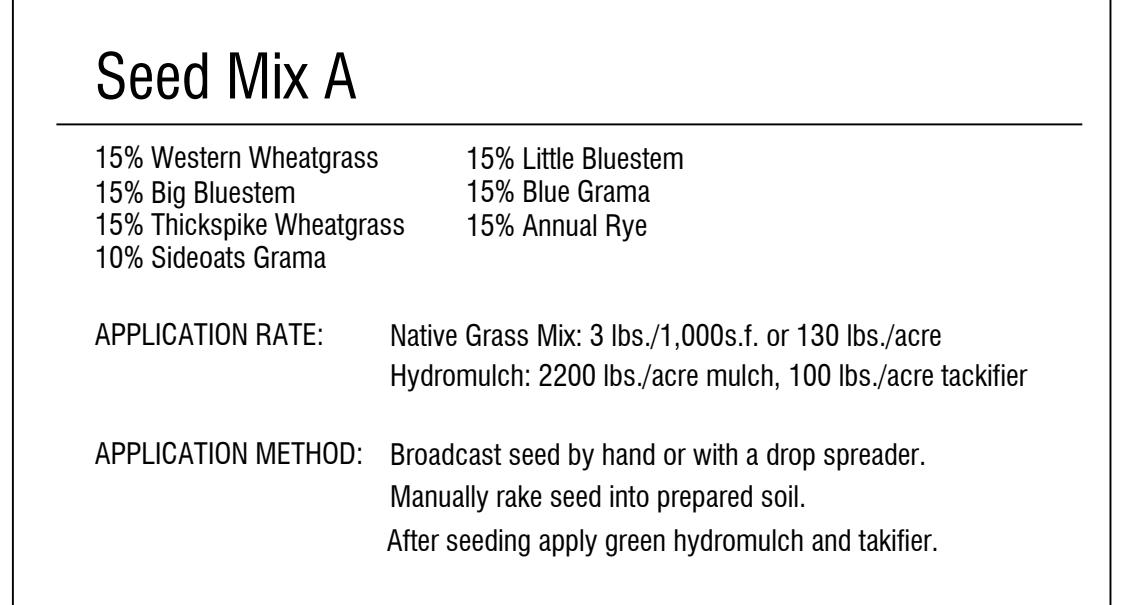
2 Coniferous Tree Planting Detail



3 Deciduous Tree Placement on Slope



4 Coniferous Tree Placement on Slope

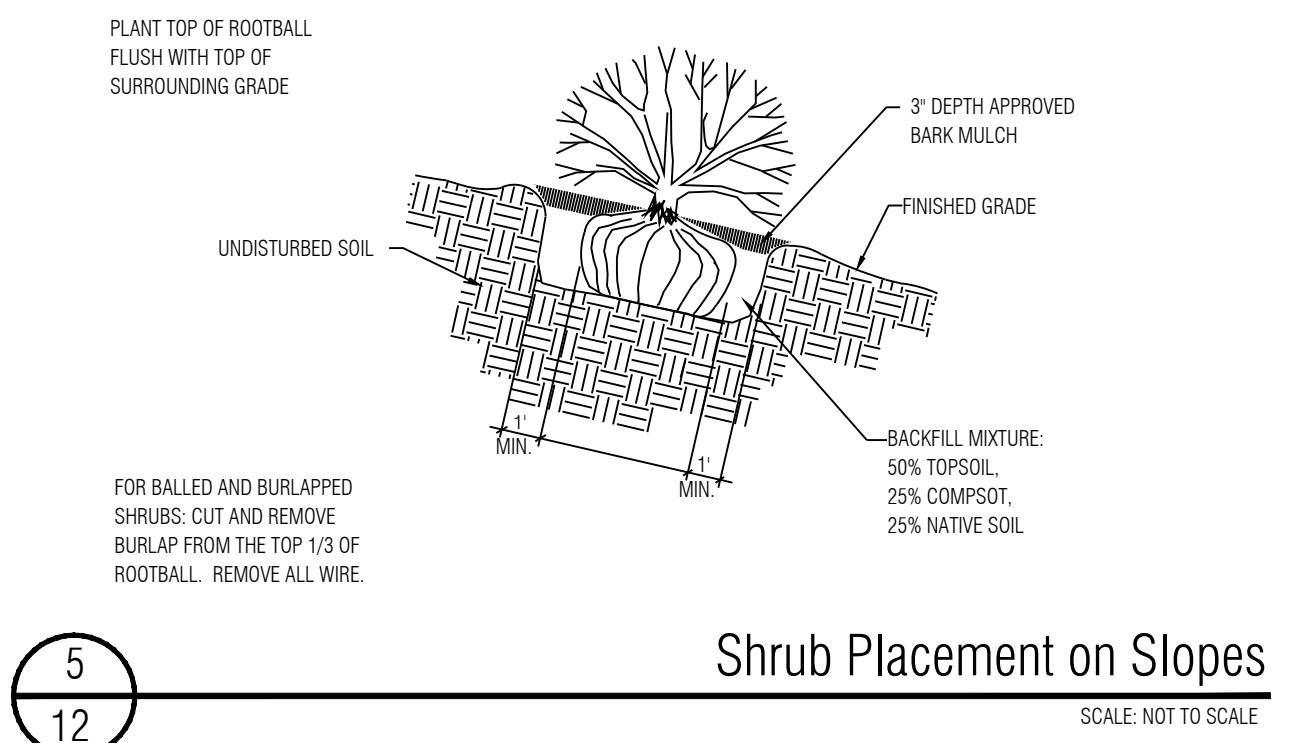


5 Seed Mix A

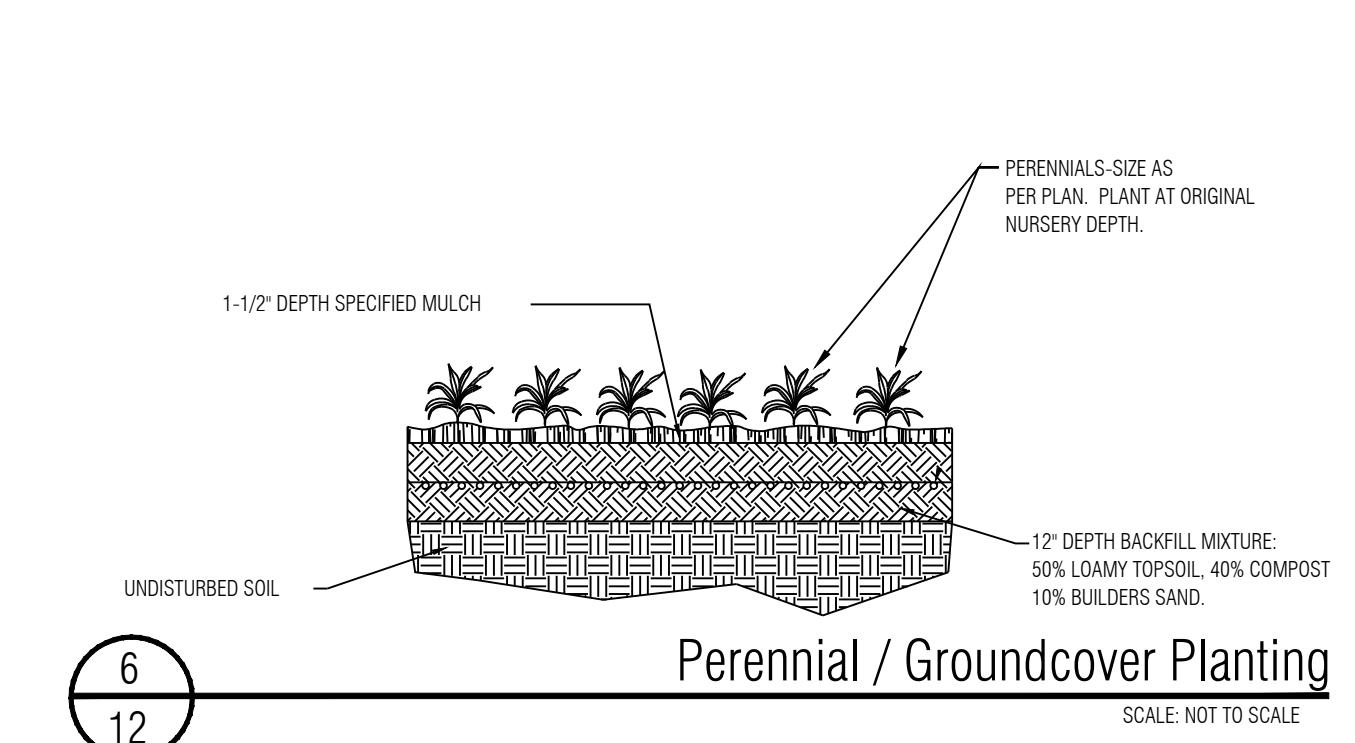
15% Western Wheatgrass 15% Little Bluestem  
15% Big Bluestem 15% Blue Grama  
15% Thickspike Wheatgrass 15% Annual Ryegrass  
10% Side oats Grama

APPLICATION RATE: Native Grass Mix: 3 lbs./1,000 s.f. or 130 lbs./acre  
Hydromulch: 2,200 lbs./acre mulch, 100 lbs./acre tackifier

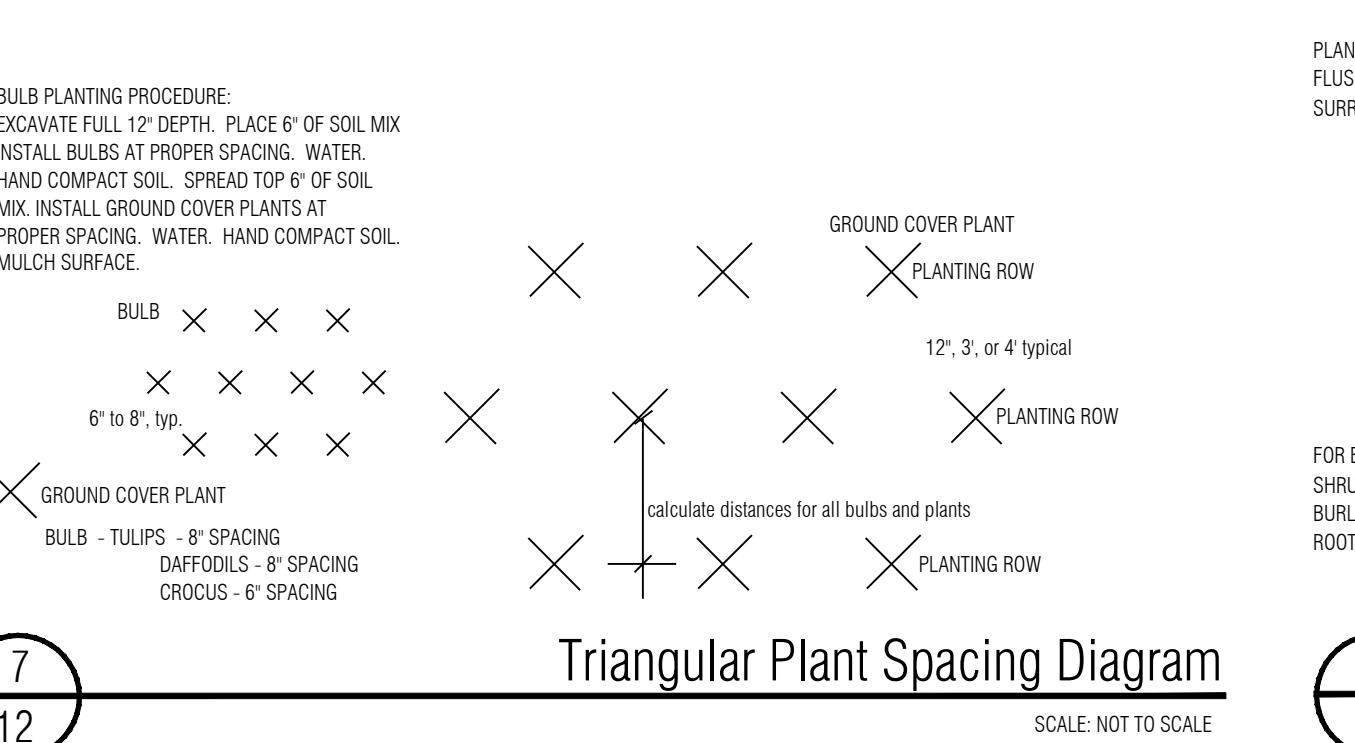
APPLICATION METHOD: Broadcast seed by hand or with a drop spreader.  
Manually rake seed into prepared soil.  
After seeding apply green hydromulch and tackifier.



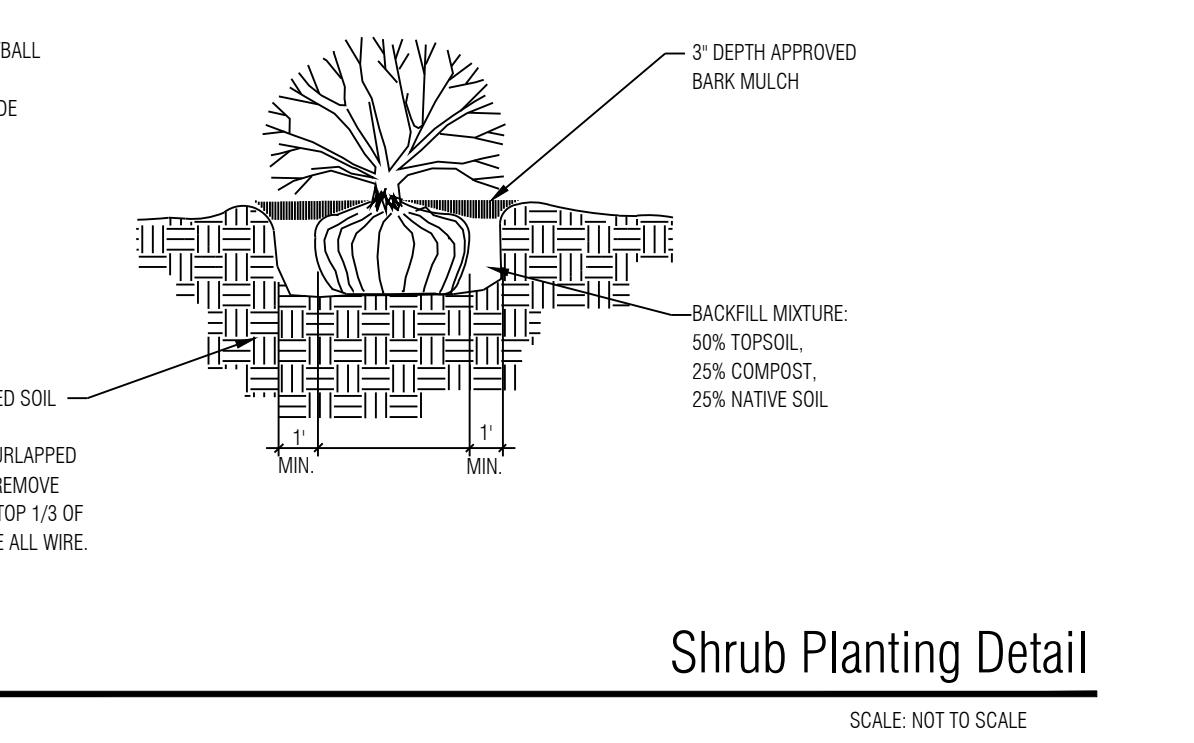
5 Shrub Placement on Slopes



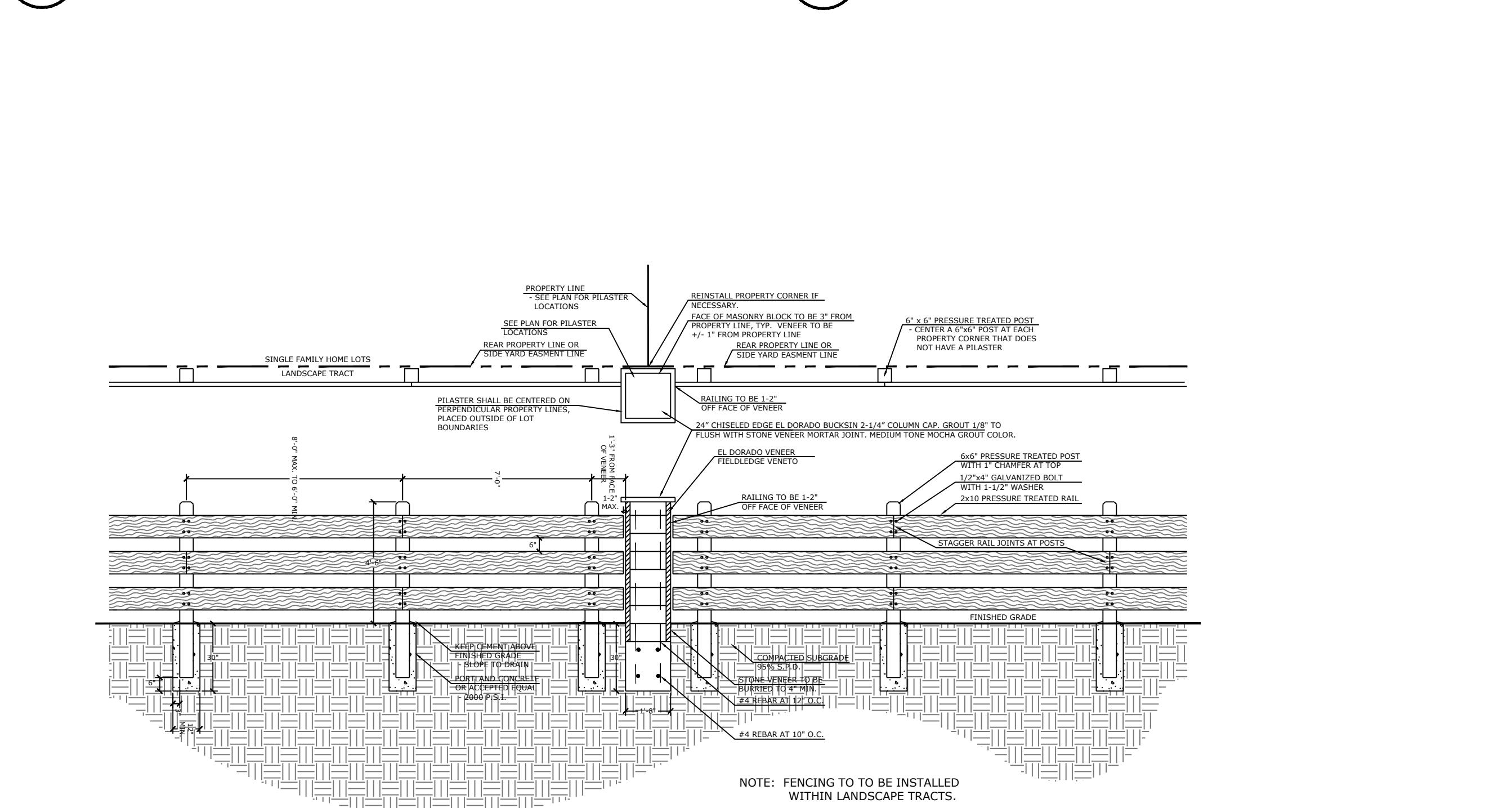
6 Perennial / Groundcover Planting



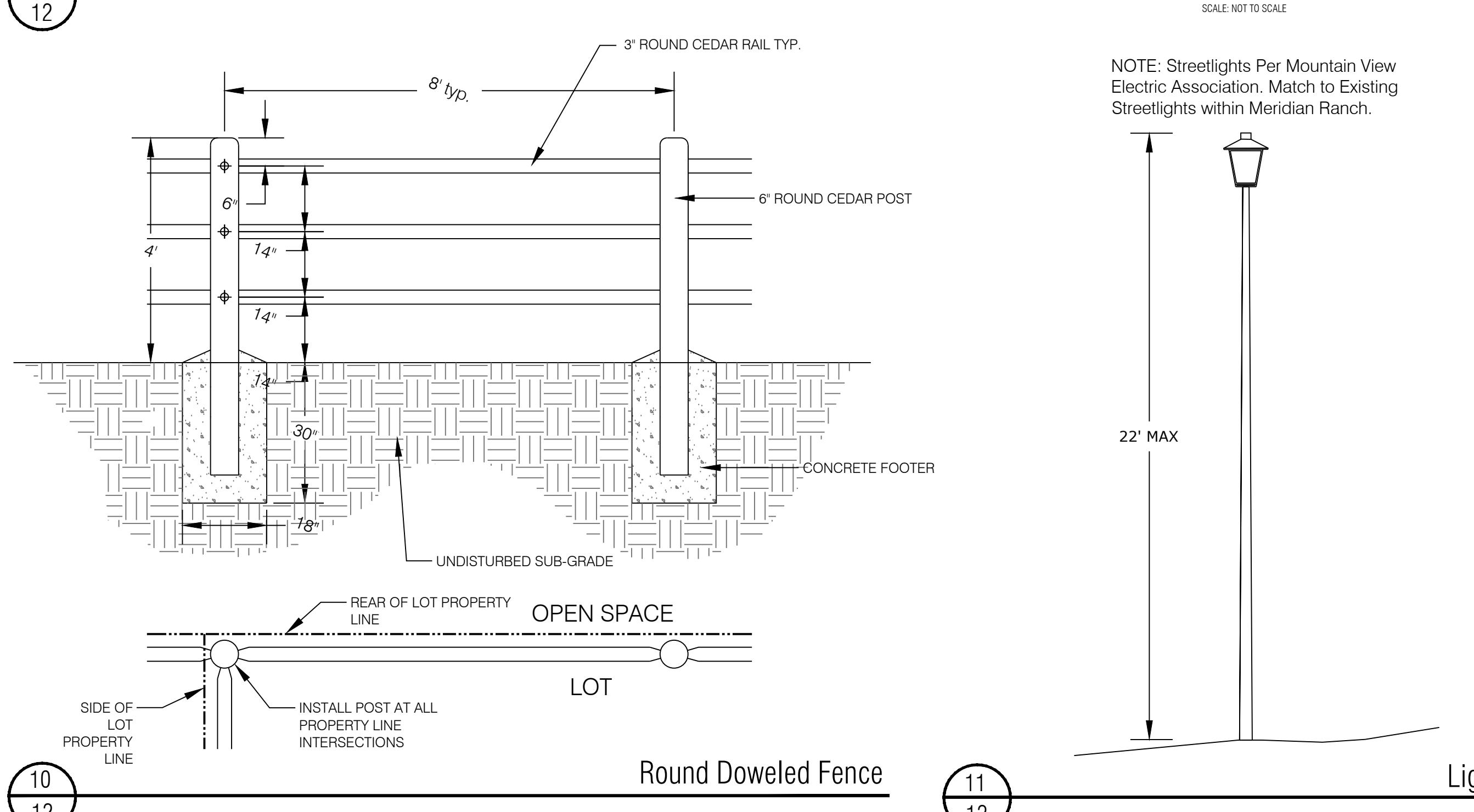
7 Triangular Plant Spacing Diagram



8 Shrub Planting Detail



9 3-Rail Streetscape Fence



10 Round Dowelled Fence

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND
<b>DECIDUOUS TREES</b>							
+	Axf	3	Acer x freemanii 'Jeffred' / Autumn Blaze Maple	20'	30"	2.5" Cal.	B&B
<b>EVERGREEN TREES</b>							
+	Gtr	13	Gleditsia triacanthos / Honey Locust	60'	40"	3" Cal.	B&B
<b>ORNAMENTAL TREES</b>							
+	Ph	61	Picea pungens 'Hoopsii' / Hoopsii Blue Spruce	15'	25"	6" HT	B&B
+	Pe	8	Pinus edulis / Pinon Pine	30'	20"	6" HT	B&B
+	Pn	31	Pinus nigra / Austrian Black Pine	60'	40"	8" HT	B&B
+	Pp	26	Pinus ponderosa / Ponderosa Pine	80'	40"	8" HT	B&B
<b>SHRUBS</b>							
•	Cse	15	Cornus sericea / Redoiser Dogwood	8"	8"	5 GAL	CONT
+	Cbd	6	Cotoneaster dammeri 'Coral Beauty' / Berryberry Cotoneaster	1"	4"	5 GAL	CONT
+	Jbc	22	Juniperus horizontalis 'Blue Chip' / Blue Chip Juniper	1"	8"	5 GAL	CONT
+	Rag	22	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	3"	4"	5 GAL	CONT
<b>PERENNIALS</b>							
•	Hso	21	Hemerocallis x 'Stella de Oro' / Stella de Oro Daylily	1.5"	1.5"	1 GAL	CONT
•	Lh	15	Lavandula angustifolia 'Hidcote' / Hidcote Lavender	2"	2"	1 GAL	CONT

### TREE REQUIREMENTS

Plant Category	Street (Classification)	Street Frontage Length	Required Trees	Provided Trees	Shrub/Perennial Subs
(RR)	Rex Road/Urban Minor Arterial	3,019'	121 (1 per 25)	80" (R)	TBD

\*Alternative Landscape Plan Request\*\*  
 • Code Section - 6.2.2.B.V  
 • Requirement - 1 tree per 25 linear ft of frontage for an Urban Minor Arterial street  
 • Justification - The 121 trees along Rex Road will be disturbed during construction for its future expansion. This will lead to trees needing to be removed and replaced. The reduction of 41 trees is requested along Rex Rd.  
 • Proposed Alternative - Instead of 121 selected trees, 80 trees will be planted along Rex Rd. The other 41 trees that were required will be relocated interior to the site, where they will not be unnecessarily disturbed by construction.  
 \*\*Reference Letter of Intent for full justification.

### LANDSCAPE NOTES

1. REFER TO MERIDIAN RANCH LANDSCAPE SPECIFICATIONS FOR SOIL AMENDMENT AND PREPARATION FOR ALL SOD, SEED AND PLANTING PROCESSES.
2. CONTRACTOR TO UTILIZE STOCKPILED TOPSOIL FROM GRADING OPERATION AS AVAILABLE, TILL INTO TOP 8" OF SOIL.
3. -OR- TOPSOIL TO BE IMPORTED.
4. CONTRACTOR TO TEST AMENDED SOIL. FOR EACH STREET, TAKE 1 TEST IN FESCU SOD/ALTERNATIVE TURF AREA, 1 TEST IN NATIVE SOD AREA, AND 1 TEST IN SEEDED AREA, AND SUBMIT TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLING LANDSCAPE.
5. SUBMIT FERTILIZER PRODUCT SHEET TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. EXAMPLES FOR NATIVE SEED AREAS: FESCU SOD FERTILIZER, LOW ALTERNATIVE TURF FERTILIZER, TALL NATIVE SEED MIX FERTILIZER, ETC.
6. LANDSCAPE ARCHITECT (L.A.) TO APPROVE BERMING BEFORE PLANTING CAN BEGIN.
7. ALL PRESERVATION AREAS CONTAINING VEGETATION DESIGNATED TO BE PRESERVED, SHALL BE FENCED OFF DURING CONSTRUCTION. THE FENCE LINE SHALL BE LOCATED OUTSIDE OF THE PRESERVED AREA. THE FENCE SHOULD BE INSTALLED AROUND PRESERVED VEGETATION PRIOR TO ANY GRADING ON THE PROPERTY. A 4-FOOT ORANGE CONSTRUCTION SAFETY FENCE SHOULD BE USED IN THIS APPLICATION. SUBMIT PRODUCT INFO TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
8. A FULLY AUTOMATED SPRINKLER IRRIGATION SYSTEM WILL DRIP IRRIGATE ALL TREE, SHRUB, AND GROUND COVER PLANTING AREAS AND SPRAY ANY TURF. IRRIGATION PLAN WILL INCLUDE AN IRRIGATION SCHEDULE THAT NOTES APPLICATION RATES BASED ON TURF TYPE, AND VARIETIES RATES FOR NEWLY PLANTED PLANTS VS. ESTABLISHED PLANTS. SUBMIT IRRIGATION PLAN TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
9. NATIVE SEED AREAS TO USE SEED MIX SPECIFIED ON SHEET 7. SUBMIT SEED MIX PRODUCT INFORMATION TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
10. ERGONOMIC BLANKET TO BE PROVIDED ON ALL SEED AREAS WITH GREATER THAN 3:1 SLOPES. EROSION CONTROL BLANKET TO BE 5.15MM WITH 6" STEEL STAKES/INGS AVAILABLE FROM NORTH AMERICAN GREEN DISTRIBUTOR, NILEX ENVIRONMENTAL INC. (303)766-2000, OR APPROVED EQUAL. SUBMIT SAMPLE AND PRODUCT INFO TO LANDSCAPE ARCHITECT (L.A.) FOR APPROVAL PRIOR TO INSTALLATION. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
11. ALL TREES SHALL BE WARRANTED FOR ONE FULL YEAR AND BE IN SATISFACTORY CONDITION AT THE END OF THE WARRANTY PERIOD. NO AREA LARGER THAN 3'x3' WITHIN THE IRRIGATED SEEDING AREA, 12"x12" FOR THE UNIRRIGATED SEEDING AREA OF THIS PROJECT SHALL BE VOID OF SUBSTANTIAL GRASS 45 DAYS AFTER THE TIME OF SEEDING OR PLANTING.
12. ALL TREES AND SHRUBS TO RECEIVE A BACK FILL MIXTURE OF 50% IMPORTED LOAMY TOPSOIL, 25% COMPOST, AND 25% EXISTING SOIL.
13. ALL TREES AND SHRUBS PLANTED WITH WOOD STAKES. FOR 3" CAL DECIDUOUS TREES AND EVERGREEN TREES OVER 6" USE 3" WOOD STAKES (STAKE TO GROUND LEVEL). SUBMIT STAKING MATERIALS PRODUCT INFO TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
14. ALL PLANTS AVAILABLE FROM LITTLE WHOLESALE NURSERY AND OTHER NURSERY SOURCES.
15. MINIMUM PLANTING REQUIREMENTS INCLUDE:  
  - a. SELECTION OF SPECIMEN PLANT MATERIALS AT CONTRACTOR'S NURSERY OR WHOLESALER,
  - b. APPROVAL OF PLANT LOCATION STAKES BEFORE PLANT MATERIALS ARE INSTALLED,
  - c. PLANT MATERIALS TO BE SHIPPED IN TRUCKS, AND
  - d. FINAL INSPECTION SITE VISIT.
 ANY ADDITIONAL VISITS CAUSED BY INCOMPLETE LANDSCAPE CONTRACTOR WORK, WILL BE CHARGED TO THE LANDSCAPE CONTRACTOR AT LANDSCAPE ARREST RATE OF \$100/HOUR.
16. CONTRACTOR TO USE HERBICIDE AS RECOMMENDED TO SUBMITTER BASED ON MANUFACTURER'S SPECIFICATIONS. SUBMIT MANUFACTURER'S SPEC. SHEET TO L.A. FOR APPROVAL PRIOR TO APPLICATION OF HERBICIDE.
17. ALL PLANTS TO RECEIVE 3 INCH DEPTH OF SHREDDED CEDAR WOOD MULCH UNLESS OTHERWISE SPECIFIED. MULCH RIBBONS TO BE SIZED 1" PLANT MATERIALS. WOOD MULCH TO BE "GORILLA HAIR" CEDAR MULCH AVAILABLE FROM CMC SANDBERG (719)599-7220, OR APPROVED EQUAL. SUBMIT PRODUCT INFORMATION TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
18. CONTRACTOR RESPONSIBLE FOR INSTALLATION OF PLANT MATERIALS SHOWN ON THIS PLAN. IF ANY DISCREPANCIES ARE FOUND IN THE PLANT MATERIALS, CONTRACTOR TO RESOLVE. L.A. AND THE PLANT SCHEDULER THE QUANTITIES SHOWN ON THE LANDSCAPE PLAN SUPERSEDE THOSE SHOWN ON THE PLANT SCHEDULE.
19. PLANTS SHALL BE WARRANTED FOR THE DURATION OF ONE FULL YEAR AFTER THE INSTALLATION (WARRANTY SHALL COVER LENGTH OF TIME OF REPLACEMENT COST).
20. SOD BEDS TO BE LAYERED WITH 2" OF SOIL. SOIL SHALL BE LAID ON A FIRM BED WITH TIGHT JOINTS WITH NO Voids BETWEEN STRIPS. ANY MOUNDS OR DEPRESSIONS OCCURRING AFTER INSTALLATION SHALL BE CORRECTED PRIOR TO ACCEPTANCE. SOIL TO BE FERTILIZED ACCORDING TO GROWERS RECOMMENDATIONS. SUBMIT PRODUCT INFORMATION TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
21. ALL SOD/TURF, ROCK & SHRUB BEDS TO BE SEPARATED BY SOLID STEEL EDGING. ALL SHRUB BEDS TO BE ENCLOSED BY STEEL EDGING. SEPARATION BETWEEN SOD AND NATIVE SEED, AND BETWEEN ALTERNATIVE TURF AND NATIVE SEED SHALL BE A MOVED STRIP, WHICH IS STEEL EDGING.
22. SEE SHEET 11 FOR DETAILS ON LANDSCAPE EDGING. LANDSCAPE EDGING TO BE 2" (2" x 4" wide x 4" high) STEEL LANDSCAPE EDGING, GREEN COLOR, WITH ROLLED EDGE AND STAKE HOLE. AVAILABLE FROM LPS DISTRIBUTORS (303)781-2270. USE SOLID STEEL EDGING EXCEPT WHERE NOTED ON THE PLANS.
23. ALL TREES PLANTED IN ROCK MULCH AREAS TO RECEIVE A 3" RADII RING OF WOOD MULCH.
24. ROCK MULCH TO BE 1.5" DIAMETER ANGULAR CIMARRON GRANITE STONE. GEOTEXTILE/FILTER FABRIC TO BE USED CONTROL POLYPROPYLENE 350, 3.5 OUNCES/SQ. YARD, OR EQUAL. PLACE FABRIC UNDER ALL ROCK MULCH AREAS, BUT NOT UNDER ROCK MULCH AREAS. SUBMIT ROCK & FABRIC SAMPLES & PRODUCT INFORMATION TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
25. ROCK COBBLE TO BE 2"-4" DIAMETER GREY ROSE STONE. GEOTEXTILE/FILTER FABRIC TO BE USED CONTROL POLYPROPYLENE 350, 3.5 OUNCES/SQ. YARD, OR EQUAL. PLACE FABRIC UNDER ALL ROCK MULCH AREAS, BUT NOT UNDER ROCK MULCH AREAS. SUBMIT ROCK & FABRIC SAMPLES & PRODUCT INFORMATION TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
26. ALL EXISTING NATIVE AREAS ARE TO REMAIN. CONTRACTOR TO RESeed ALL DISTURBED AREAS WITH THE NATIVE SEED MIX A.

- ISSUE TWO  
DATE: BY: DESCRIPTION:
- ISSUE THREE  
DATE: BY: DESCRIPTION:
- ISSUE FOUR  
DATE: BY: DESCRIPTION:
- ISSUE FIVE  
DATE: BY: DESCRIPTION:
- ISSUE SIX  
DATE: BY: DESCRIPTION:
- ISSUE SEVEN  
DATE: BY: DESCRIPTION:
- ISSUE EIGHT  
DATE: BY: DESCRIPTION:
- ISSUE NINE  
DATE: BY: DESCRIPTION:
- ISSUE TEN  
DATE: BY: DESCRIPTION:
- ISSUE ELEVEN  
DATE: BY: DESCRIPTION:
- ISSUE TWELVE  
DATE: BY: DESCRIPTION:
- ISSUE THIRTEEN  
DATE: BY: DESCRIPTION:
- ISSUE FOURTEEN  
DATE: BY: DESCRIPTION:
- ISSUE FIFTEEN  
DATE: BY: DESCRIPTION:
- ISSUE SIXTEEN  
DATE: BY: DESCRIPTION:
- ISSUE SEVENTEEN  
DATE: BY: DESCRIPTION:
- ISSUE EIGHTEEN  
DATE: BY: DESCRIPTION:
- ISSUE NINETEEN  
DATE: BY: DESCRIPTION:
- ISSUE TWENTY  
DATE: BY: DESCRIPTION:
- ISSUE TWENTY-ONE  
DATE: BY: DESCRIPTION:
- ISSUE TWENTY-TWO  
DATE: BY: DESCRIPTION:
- ISSUE TWENTY-THREE  
DATE: BY: DESCRIPTION:
- ISSUE TWENTY-FOUR  
DATE: BY: DESCRIPTION:
- ISSUE TWENTY-FIVE  
DATE: BY: DESCRIPTION:
- ISSUE TWENTY-SIX  
DATE: BY: DESCRIPTION:
- ISSUE TWENTY-SEVEN  
DATE: BY: DESCRIPTION:
- ISSUE TWENTY-EIGHT  
DATE: BY: DESCRIPTION:
- ISSUE TWENTY-NINE  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-ONE  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-TWO  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-THREE  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-FOUR  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-FIVE  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-SIX  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-SEVEN  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-EIGHT  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-NINE  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-TWO  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-THREE  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-FOUR  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-FIVE  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-SIX  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-SEVEN  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-EIGHT  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-NINE  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-TWO  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-THREE  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-FOUR  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-FIVE  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-SIX  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-SEVEN  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-EIGHT  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-NINE  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-TWO  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-THREE  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-FOUR  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-FIVE  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-SIX  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-SEVEN  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-EIGHT  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-NINE  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-TWO  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-THREE  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-FOUR  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-FIVE  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-SIX  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-SEVEN  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-EIGHT  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-NINE  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-TWO  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-THREE  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-FOUR  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-FIVE  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-SIX  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-SEVEN  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-EIGHT  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-NINE  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-TWO  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-THREE  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-FOUR  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-FIVE  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-SIX  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-SEVEN  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-EIGHT  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-NINE  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-TWO  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-THREE  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-FOUR  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-FIVE  
DATE: BY: DESCRIPTION:
- ISSUE THIRTY-SIX  
DATE: BY: DESCRIPTION:







N.E.S.  
N.E.S. Inc.

619 N. Cascade Avenue, Suite 200

Colorado Springs, CO 80903

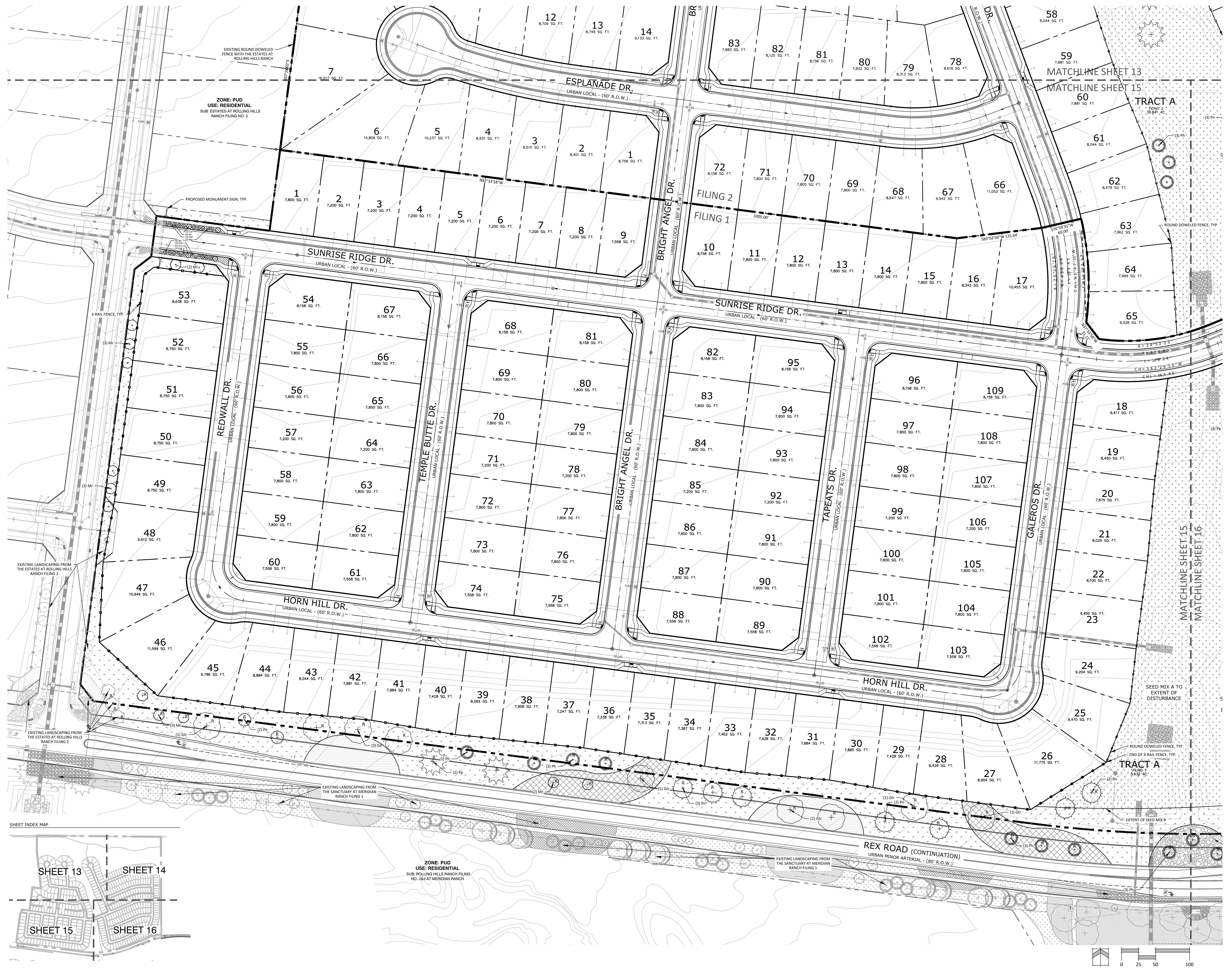
Tel. 719.471.0073

Fax 719.471.0267

[www.nescolorado.com](http://www.nescolorado.com)

© 2012. All Rights Reserved.

PLANNER / LANDSCAPE ARCHITECT



## ROLLING HILLS RANCH NORTH FILINGS 1 & 2 AT MERIDIAN RANCH

PUD DEVELOPMENT /  
PRELIMINARY PLAN

DATE: 12/07/2013  
PROJECT MGR: B. PERKINS  
PREPARED BY: A. ROMAN

SEAL

ENTITLEMENT

ISSUE INFO

DATE: BY: DESCRIPTION:

ISSUE / REVISON

SHEET TITLE

SHEET NUMBER

PLAN FILE #

15 OF 16

15

SCALE: 1" = 50'

NORTH

0 25 50 100

PLAN FILE #

15 OF 16

