

ASPEN RANCH

FOUNTAIN, COLORADO

PRELIMINARY PLAT

LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION 4, TOWNSHIP 16 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPLE MERIDIAN; CITY OF FOUNTAIN, COUNTY OF EL PASO, STATE OF COLORADO

LEGAL DESCRIPTION:

A PARCEL OF LAND BEING TRACT 28 TOGETHER WITH THE SOUTH ONE-HALF OF TRACT 27 OF THE OFFICIAL PLAT OF THE FOUNTAIN VALLEY LAND & IRRIGATION CO'S SUBDIVISION NO. 1 RECORDED ON JANUARY 28, 1909 IN THE OFFICE OF THE EL PASO COUNTY CLERK AND RECORDER IN PLAT BOOK "L" AT PAGE 42 UNDER RECEPTION NUMBER 160596, AND THAT PORTION OF VACATED ROAD AS DESCRIBED IN ORDINANCE NUMBER 1396 RECORDED ON AUGUST 12, 2010 IN SAID RECORDS UNDER RECEPTION NUMBER 210077896; ALL LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION 4, TOWNSHIP 16 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO; MORE PARTICULARLY DESCRIBED AS FOLLOWS WITH BEARINGS REFERENCED TO THE SOUTH LINE OF SAID TRACT 28 AS DEPICTED ON THAT CERTAIN ALTAIRNSPS SURVEY RECORDED DECEMBER 13, 2017 IN THE OFFICE OF THE EL PASO COUNTY CLERK AND RECORDER UNDER RECEPTION NUMBER 217900230; SAID SOUTH LINE BEING MONUMENTED ON EACH END BY FOUND REBAR WITH AN AFFIXED 2 INCH ALUMINUM CAP STAMPED "DB&CO PLS 23515" ASSUMED TO BEAR SOUTH 89°16'26" WEST 1280.00 FEET.

BEGIN AT SAID SOUTHEAST CORNER OF TRACT 28;

THENCE SOUTH 89°16'26" WEST, ON THE SOUTH LINE OF SAID TRACT 28, A DISTANCE OF 1,280.00 FEET TO THE WEST LINE OF SAID TRACT 28;

THENCE NORTH 00°45'23" WEST, ON SAID WEST LINE AND THE NORTHERLY EXTENSION THEREOF, A DISTANCE 1300.27 FEET TO THE INTERSECTION WITH THE SOUTHERLY EXTENSION OF WEST LINE OF THE PREVIOUSLY CITED TRACT 27.

THENCE NORTH 02°13'50" WEST, ON SAID WEST OF TRACT 27 AND THE SOUTHERLY EXTENSION THEREOF, A DISTANCE OF 699.08 FEET TO THE NORTH LINE OF THE SOUTH ONE-HALF OF SAID TRACT 27;

THENCE NORTH 89°21'29" EAST, ON SAID NORTH LINE, A DISTANCE OF 1,298.00 FEET TO THE EAST LINE OF SAID TRACT 27;

THENCE SOUTH 00°45'21" EAST, ON SAID EAST LINE AND THE SOUTHERLY EXTENSION THEREOF, A DISTANCE OF 697.25 FEET TO THE INTERSECTION WITH THE NORTHERLY EXTENSION OF THE EAST LINE OF PREVIOUSLY CITED TRACT 28;

THENCE SOUTH 00°45'25" EAST, ON SAID EAST LINE AND THE NORTHERLY EXTENSION, A DISTANCE OF 1,299.95 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIPTION CONTAINS A CALCULATED AREA OF 2,563,921 SQUARE FEET OR (58.85953 ACRES), MORE OR LESS, AND IS DEPICTED ON THE ATTACHED GRAPHICAL EXHIBIT FOR REFERENCE.

GENERAL NOTES:

- ROADWAY ALIGNMENTS, LOT LINES AND ACCES LOCATIONS AS DEPICTED ON THE DRAWINGS ARE PRELIMINARY AND SUBJECT TO CHANGE WITH FINAL PLAT SUBMITTALS.
- LOT SIZES ALONG CRESCENT MOON DRIVE SUBJECT TO THE TERMS AND CONDITIONS OF THE SECOND AMENDMENT TO THE RUTH LORRAINE, LLC ADDITION ANNEXATION AGREEMENT RECORDED SEPTEMBER 2, 2009 RECEPTION NO. 209104744.
- PERIMETER FENCING CONSISTING OF A SIX (6) FOOT HIGH PRE-CAST FENCE IS BEING PROVIDED ALONG LINK ROAD AND KANE ROAD TO BE INSTALLED BY THE DEVELOPER/ SUBDIVIDER. THIS FENCE SHALL BE OWNED AND MAINTAINED BY A METROPOLITAN DISTRICT AND/ OR HOMEOWNER'S ASSOCIATION.
- THE OWNERSHIP AND MAINTENANCE OF COMMUNITY FENCES, OPEN SPACES/ PARKS, TRAILS, STORM WATER FACILITIES, COMMUNITY LANDSCAPE, AND SIGNAGE WILL BE BY THE EXISTING METROPOLITAN DISTRICT AND/ OR A HOMEOWNER'S ASSOCIATION.
- THE NEIGHBORHOOD PARK IS TO BE OWNED AND MAINTAINED BY THE EXISTING METROPOLITAN DISTRICT AND/ OR A HOMEOWNER'S ASSOCIATION.
- ALL LANDSCAPING WITHIN THE PUBLIC RIGHT-OF-WAY TO BE OWNED AND MAINTAINED BY THE EXISTING METROPOLITAN DISTRICT AND/ OR A HOMEOWNER'S ASSOCIATION.
- ALL FENCING SHALL BE LOCATED OUTSIDE THE PUBLIC RIGHT-OF-WAY AND WILL BE INCLUDED IN A TRACT OR EASEMENT TO ALLOW FOR FUTURE MAINTENANCE ACCESS.
- ALL PUBLIC ROADS SHALL BE DEDICATED, OWNED AND MAINTAINED BY THE CITY OF FOUNTAIN.
- LANDSCAPING SHALL COMPLY WITH SECTION 17.370 LANDSCAPING REQUIREMENTS OF THE FOUNTAIN ZONING CODE.
- ROADWAY IMPROVEMENTS TO KANE ROAD AND CRESCENT MOON DRIVE WILL BE BUILT TO CITY OF FOUNTAIN STANDARDS ALONG THE FRONTAGE OF THE ASPEN RANCH DEVELOPMENT ONLY. IMPROVEMENTS TO THE OPPOSITE SIDE OF THESE ROADWAYS ADJACENT TO LAND OWNED BY OTHERS WILL BE COMPLETED IN THE FUTURE BY OTHERS.
- THE SAFETY CENTER/ PUBLIC SAFETY SITE (SHOWN AS LOT 218) WILL BE DEEDED TO THE CITY OF FOUNTAIN WITH FUTURE FINAL PLAT SUBMITTALS.
- THIS SUBDIVISION IS IN THE EAST SIDE REGIONAL WATER SYSTEM PROJECT AREA. THE INDIVIDUAL LOTS WILL BE SUBJECT TO A SURCHARGE TO THE WATER CONNECTION FEE WHEN THE APPLICATION FOR WATER SERVICE IS FILED ON EACH LOT. THIS SURCHARGE IS \$63.50 PER SINGLE FAMILY EQUIVALENT, PAYABLE WHEN THE WATER TAP FEE IS SUBMITTED.
- THIS PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FEMA FLOODPLAIN AS DETERMINED BY THE FEMA MAPS, 08041C0958G AND 08041C0968M BOTH EFFECTIVE 12/7/2018.
- UNLESS OTHERWISE INDICATED, ALL FRONT LOT LINES WILL BE PLATTED WITH A 15 FOOT PUBLIC UTILITY AND PUBLIC IMPROVEMENTS EASEMENT. ALL SIDE LOT LINES WILL BE PLATTED WITH A 5 FOOT PUBLIC UTILITY AND PRIVATE DRAINAGE EASEMENT. ALL REAR LOT LINES WILL BE PLATTED WITH A 8 FOOT PUBLIC UTILITY AND PRIVATE DRAINAGE EASEMENT. THE SOLE RESPONSIBILITY FOR MAINTENANCE OF THESE EASEMENTS IS HEREBY VESTED WITH THE INDIVIDUAL PROPERTY OWNERS.
- PEDESTRIAN CROSSING SHALL BE PROVIDED AT WATCHMEN RD. AND LINK RD. AS PART OF THE SAFE ROUTE TO SCHOOLS REQUIREMENTS. THE PEDESTRIAN CROSSING SHOWN ON THE DRAWINGS IS PRELIMINARY IN NATURE AND SUBJECT TO FINAL DESIGN WITH FUTURE CONSTRUCTION DOCUMENT REVIEW AND APPROVALS.
- ALL LANDSCAPING PLANNED WITHIN THE PUBLIC RIGHTS-OF-WAY WILL REQUIRE A LANDSCAPE MAINTENANCE AGREEMENT WITH THE CITY OF FOUNTAIN. THIS AGREEMENT WILL BE EXECUTED WITH THE FINAL PLAT.
- ALL PARCELS ARE SUBJECT TO A PRIVATE DETENTION BASIN MAINTENANCE AND EASEMENT AGREEMENT TO BE EXECUTED AT TIME OF FINAL PLAT.
- PUBLIC AND PRIVATE DRAINAGE EASEMENTS SHALL BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS UNLESS OTHERWISE INDICATED ON THE PLAT. STRUCTURES, FENCES, MATERIALS OR LANDSCAPING THAT COULD IMPEDE THE FLOW OF RUNOFF SHALL NOT BE PLACED IN SAID DRAINAGE EASEMENTS.
- DRAINAGE THROUGH AND AROUND THE PROPERTY IS THE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER.
- DRAINAGE EASEMENTS AS SPECIFICALLY NOTED ON THE PLAT SHALL BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS, HOA OR THE METROPOLITAN DISTRICT UNLESS OTHERWISE INDICATED.
- ANY REQUIRED SUBDIVISION IMPROVEMENT AGREEMENTS WILL BE EXECUTED AT TIME OF FINAL PLAT.

OPEN SPACE NOTES:

- THE OPEN SPACE AREA OF 25% WILL BE CALCULATED BASED ON THE FOLLOWING:
58.86 AC X 25% REQ. = 14.7 ACRES OF REQUIRED OPEN SPACE.
- THE AMOUNT OF TOTAL OPEN SPACE PROVIDED WITH THIS PRELIMINARY PLAT IS 11.4 ACRES. TOTAL OPEN SPACE BEING PROVIDED IS 19.4% OF THE 58.86 ACRES.
- THE PROPOSED DEVELOPMENT IS SHORT 3.3 ACRES OF OPEN SPACE. SITE AMENITIES SHALL BE INCLUDED IN LIEU OF THE FULL TWENTY-FIVE PERCENT (25%) REQUIREMENT FOR OPEN SPACE WITHIN THE ASPEN RANCH PRELIMINARY PLAT DEVELOPMENT.
- AMENITIES IN THE AMOUNT OF \$396,000 (3.3 ACRES X \$120,000) TO BE PROVIDED BY THE DEVELOPER IN LIEU OF THE REQUIRED LAND.
- NO MORE THAN 5% OF THE REQUIRED PERCENTAGE OF USABLE OPEN SPACE SHALL BE IN THE FORM OF STORM WATER DETENTION FACILITIES.
- FINAL OPEN SPACE DEDICATION AND AMENITIES IN LIEU OF AMOUNTS TO BE PROVIDED WITH FINAL PLAT AND CONSTRUCTION DOCUMENT SUBMITTALS.



VICINITY MAP
N.T.S

SITE SUMMARY DATA	
PROPERTY SIZE	58.86 ACRES
TAX SCHEDULE NUMBERS	5604000054, 5604000059, 5604000058
EXISTING LAND USE	VACANT LAND
PROPOSED LAND USE	SINGLE FAMILY DETACHED RESIDENTIAL
EXISTING ZONING TO REMAIN	PUD
BUILDING SETBACKS	SETBACKS PER ODP ZONE DEVELOPMENT STANDARDS
PROPOSED TOTAL UNITS	227 UNITS
PROPOSED UNITY DENSITY	227 UNITS/58.86 ACRES = 3.857 DU/AC
AVERAGE LOT SIZE	5,800.54 SF
LOT COVERAGE	1,316,658 SQ FT/ 51.353%
R.O.W.	595,954 SQ FT/ 23.244%
OPEN SPACE	491,453 SQ FT/ 19.168%
DETENTION POND	115,574 SQ FT/ 4.508%
SAFETY CENTER (SEE LOT 218)	44,282 SQ FT/ 1.727%
DEVELOPMENT SCHEDULE	WINTER 2020/ SPRING 2021
DRAINAGE BASIN	JIMMY CAMP CREEK

ROADWAY RIGHT-OF-WAY DEDICATION INFORMATION

ROADWAY	CLASSIFICATION TYPE	EXISTING R.O.W.	ODP DEDICATED R.O.W.	INTERIM PROPOSED R.O.W.	ULTIMATE R.O.W.
LINK ROAD	COMMUNITY ARTERIAL	40' R.O.W.	30'	70' R.O.W.	100' R.O.W.
KANE ROAD	COMMUNITY ARTERIAL	40' R.O.W.	30'	70' R.O.W.	100' R.O.W.
CRESCENT MOON DRIVE	MINOR RESIDENTIAL COLLECTOR	40' R.O.W.	10'	50' R.O.W.	60' R.O.W.

SHEET INDEX

SHEET DESCRIPTION	SHEET NUMBER	SHEET TITLE
COVER SHEET	1	CS01
DETAIL SHEET	2-4	DT01-DT03
PRELIMINARY SITE PLAN	5-10	SP01-SP06
PRELIMINARY GRADING PLAN	11-16	GR01-GR06
PRELIMINARY UTILITY PLAN	17-22	UT01-UT06

DEVELOPMENT AREAS (AS APPROVED WITH THE ODP)

AREAS A & H	LOTS 55-88 & 180-217
AREAS B, C & I	LOTS 17-54, 89-179 & 218-227
AREAS D & G	LOTS 1-7 & 12-16
AREAS E & F	LOTS 8-11

CITY APPROVAL

ON BEHALF OF THE CITY OF FOUNTAIN PLANNING COMMISSION, THE UNDERSIGNED HEREBY APPROVES THE PRELIMINARY PLAT OF "ASPEN RANCH" AS APPROVED BY THE PLANNING COMMISSION AT ITS MEETING ON THE ____ DAY OF _____, 20__ IN THE CITY OF FOUNTAIN, EL PASO COUNTY, COLORADO.

BY: _____ DATE: _____
CHAIRPERSON, PLANNING COMMISSION

ATTEST: _____ DATE: _____
CITY CLERK

CONSULTANTS:

PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:



2435 RESEARCH PARKWAY, SUITE 300
COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100
FAX: (719) 575-0208

OWNER/DEVELOPER:

COLA, LLC.

555 MIDDLE CREEK PKWY., SUITE 380
COLORADO SPRINGS, CO 80921
(719) 382-9433

VICINITY MAP:



PROJECT:

ASPEN RANCH
PRELIMINARY PLAT

FOUNTAIN, CO
5/30/2020

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY
0	3/12/2020	INITIAL CITY SUBMITTAL	
1	5/30/2020	SECOND CITY SUBMITTAL	

DRAWING INFORMATION:

PROJECT NO: 19.886.023

DRAWN BY: BAS

CHECKED BY: JRA

APPROVED BY: JRA

SHEET TITLE:

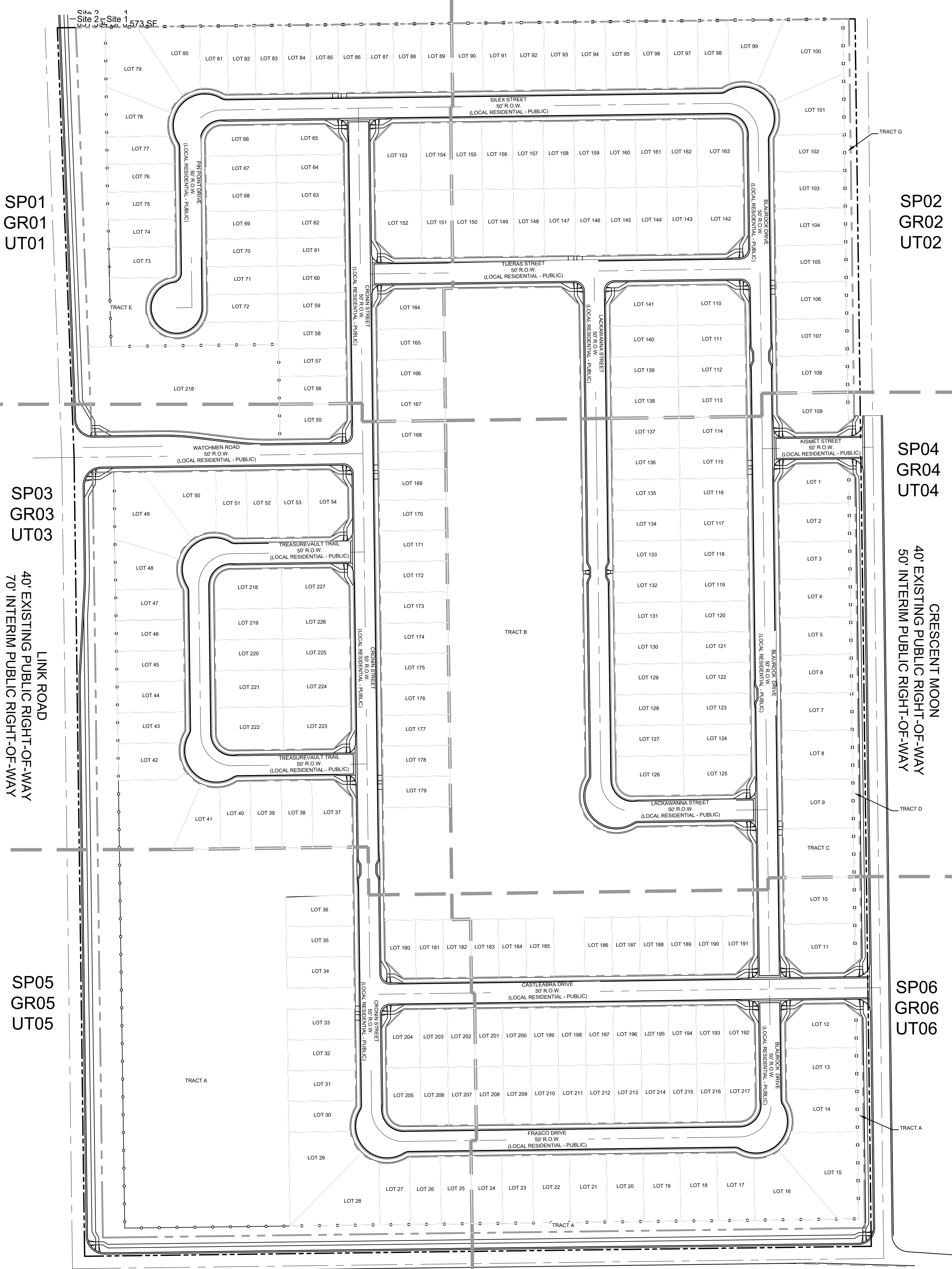
COVER SHEET

CS01

SHEET 1 OF 22

CITY FILE NO.:

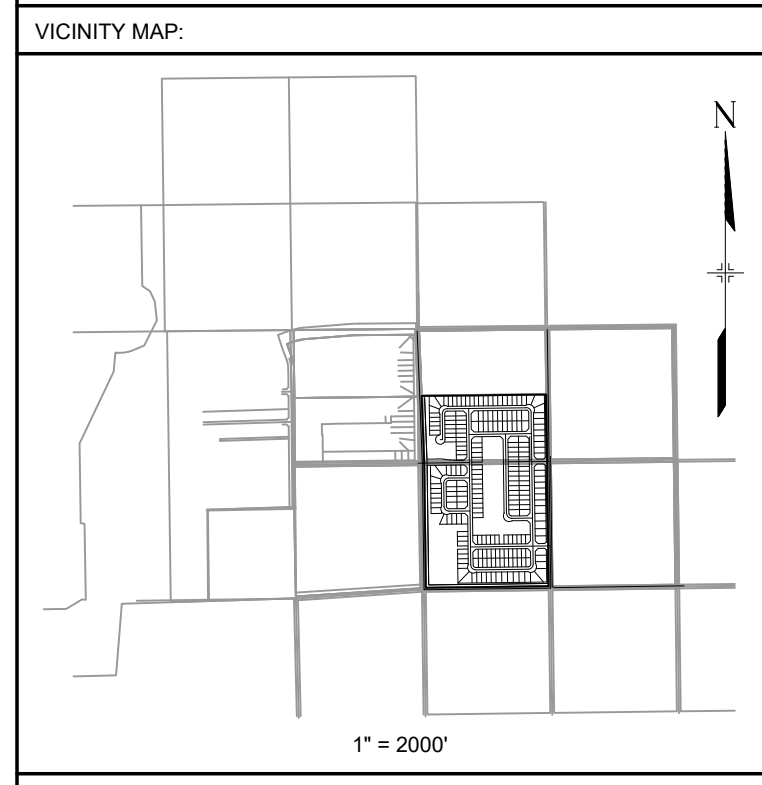
FILE LOCATION: S:\19.886.023 ASPEN RANCH\100 DWG\104 PLAN SETS\PRELIMINARY PLAT\DT01.DWG



TRACT TABLE			
TRACT	AREA (SQ. FT.)	USAGE	MAINTENANCE
A	256237.600	OPEN SPACE/ DETENTION POND	METRO DISTRICT
B	292014.370	OPEN SPACE	METRO DISTRICT
C	9160.820	OPEN SPACE	METRO DISTRICT
D	7927.220	OPEN SPACE	METRO DISTRICT
E	35148.140	OPEN SPACE	METRO DISTRICT
F	44281.640	SAFETY CENTER	CITY OF FOUNTAIN
G	6538.880	OPEN SPACE	METRO DISTRICT

CONSULTANTS:
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 Matrix
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**ASPEN RANCH
 PRELIMINARY PLAT**

**FOUNTAIN, CO
 5/30/2020**

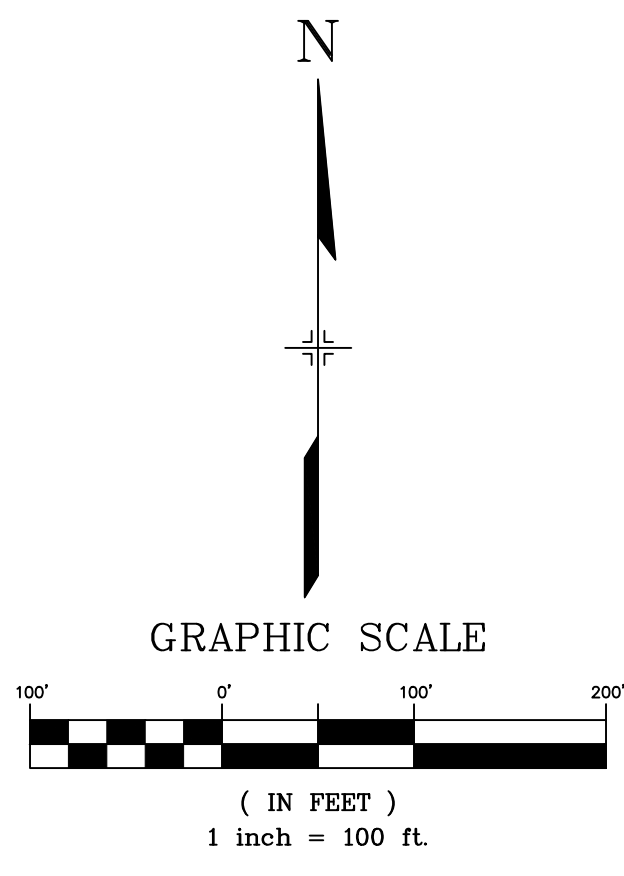
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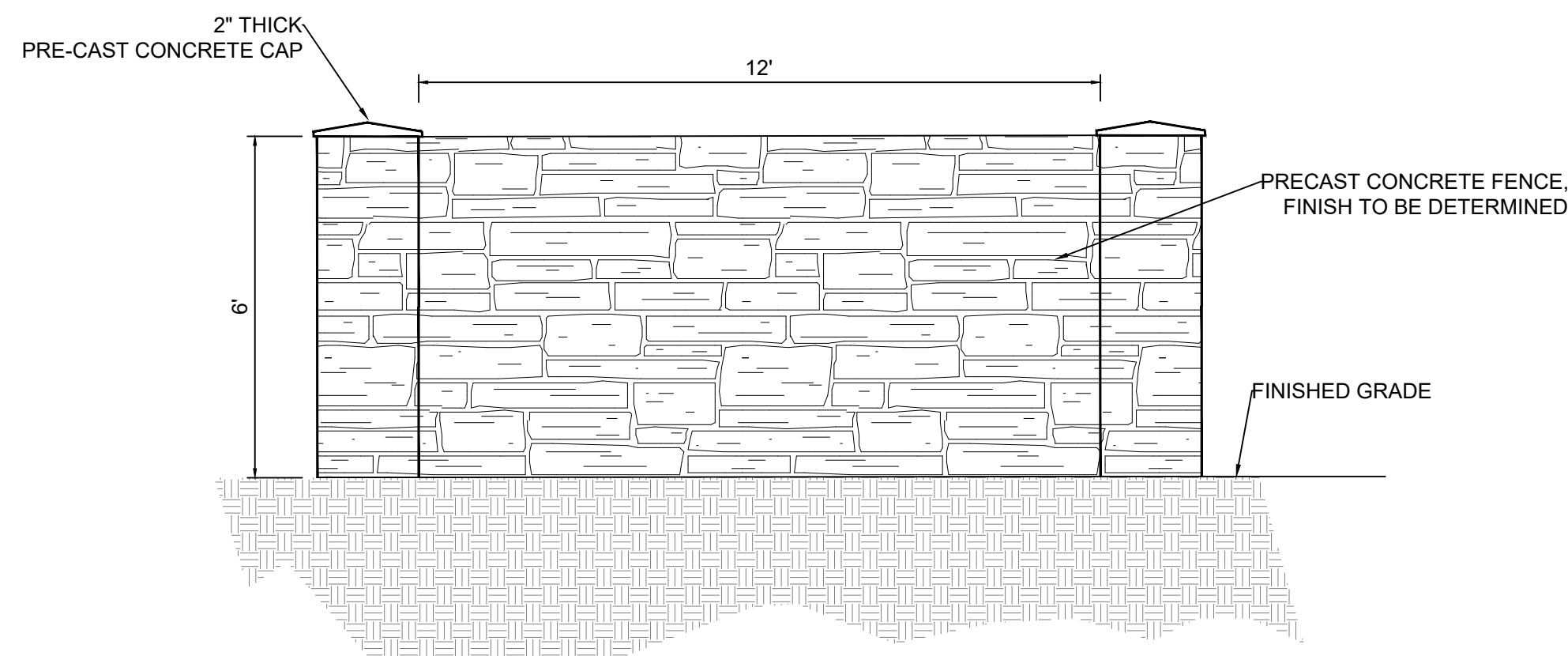
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DRAWING INFORMATION:
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 DRAWN BY: BAS
 CHECKED BY: JRA
 APPROVED BY: JRA

SHEET TITLE:
DETAIL SHEET

DT01
 SHEET 2 OF 22
 CITY FILE NO.:

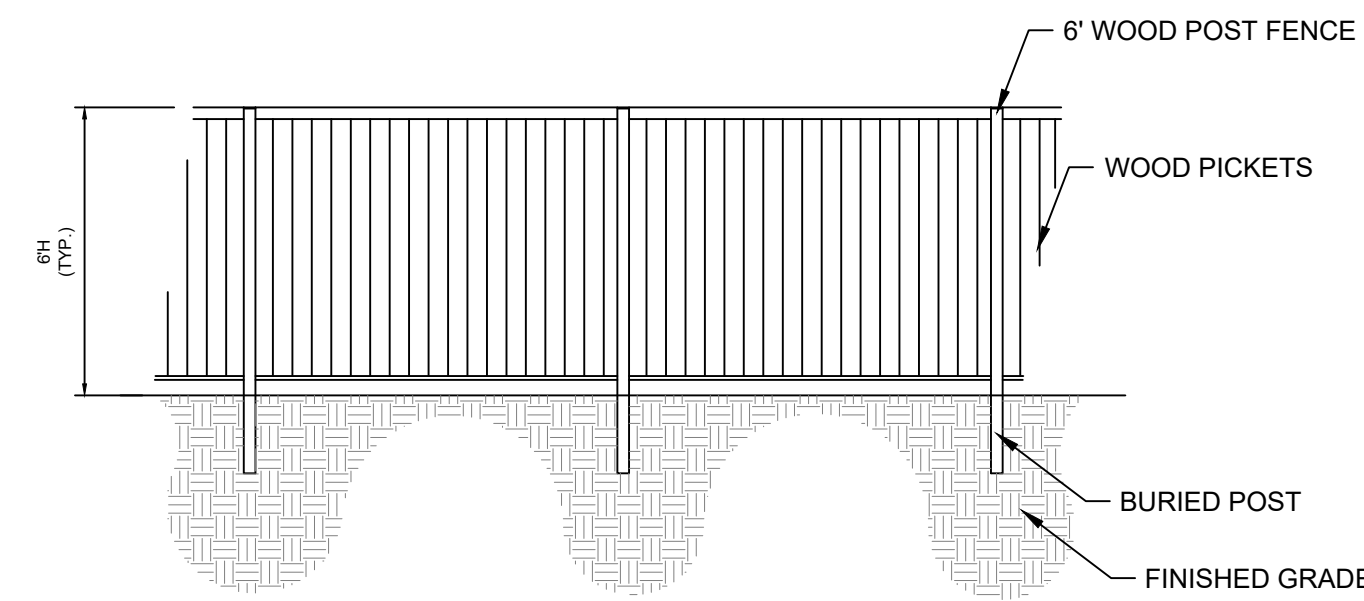




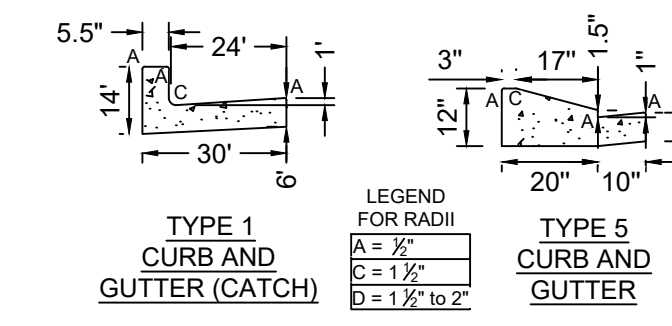
FRONT VIEW: 6' VERTI CRETE PRE-CAST FENCE

NOTE:
 1. COLUMNS, WALL, STEEL FENCING PER MANUFACTURES SPECIFICATIONS.
 2. SUBMIT CUT SHEETS AND SAMPLE PRIOR TO INSTALLATION.
 3. FINAL COLOR, TEXTURE AND FINISH TO BE DETERMINED

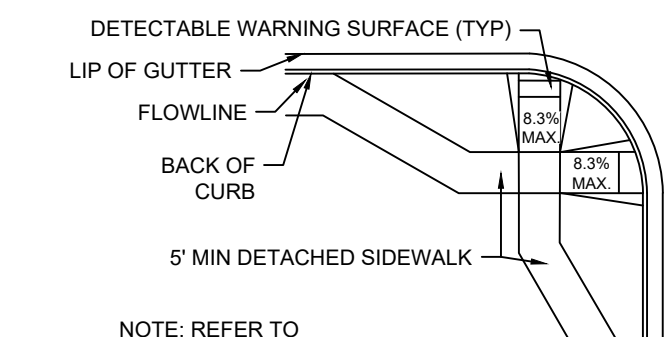
6' VERTI CRETE PRE-CAST FENCE
NOT TO SCALE



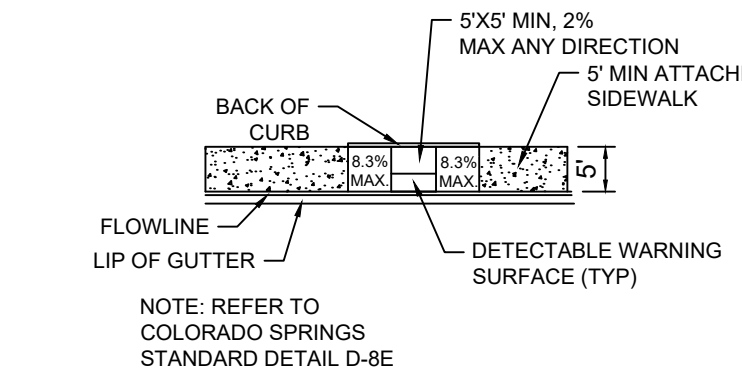
6' WOOD FENCE DETAIL
NOT TO SCALE



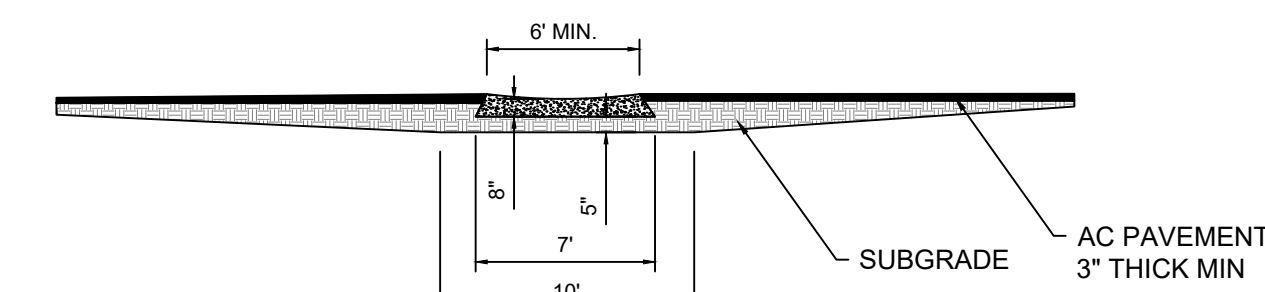
CURB AND GUTTER DETAILS
NOT TO SCALE



D-8B PEDESTRIAN RAMP DETAIL
NOT TO SCALE

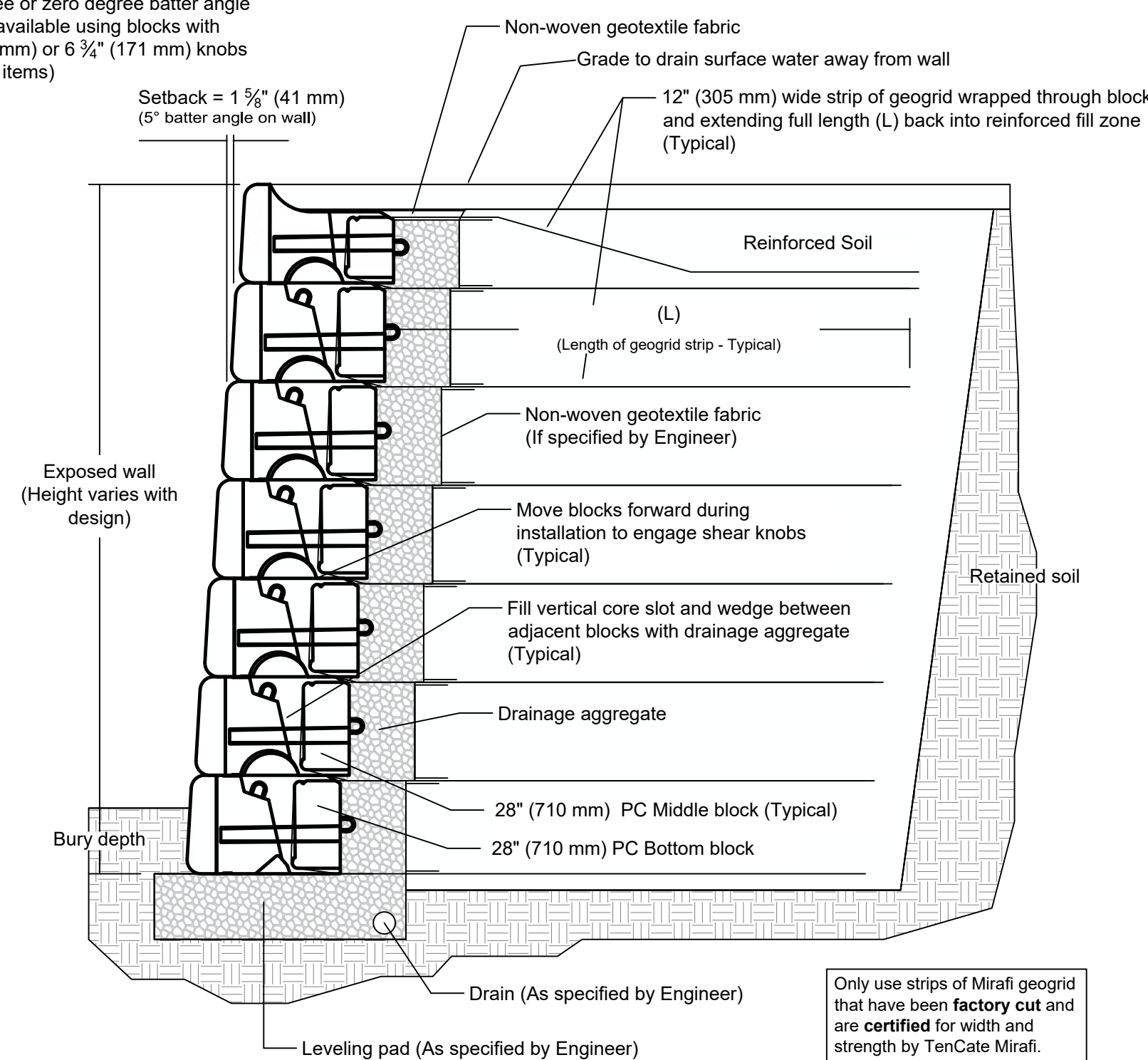


D-8E PEDESTRIAN RAMP DETAIL
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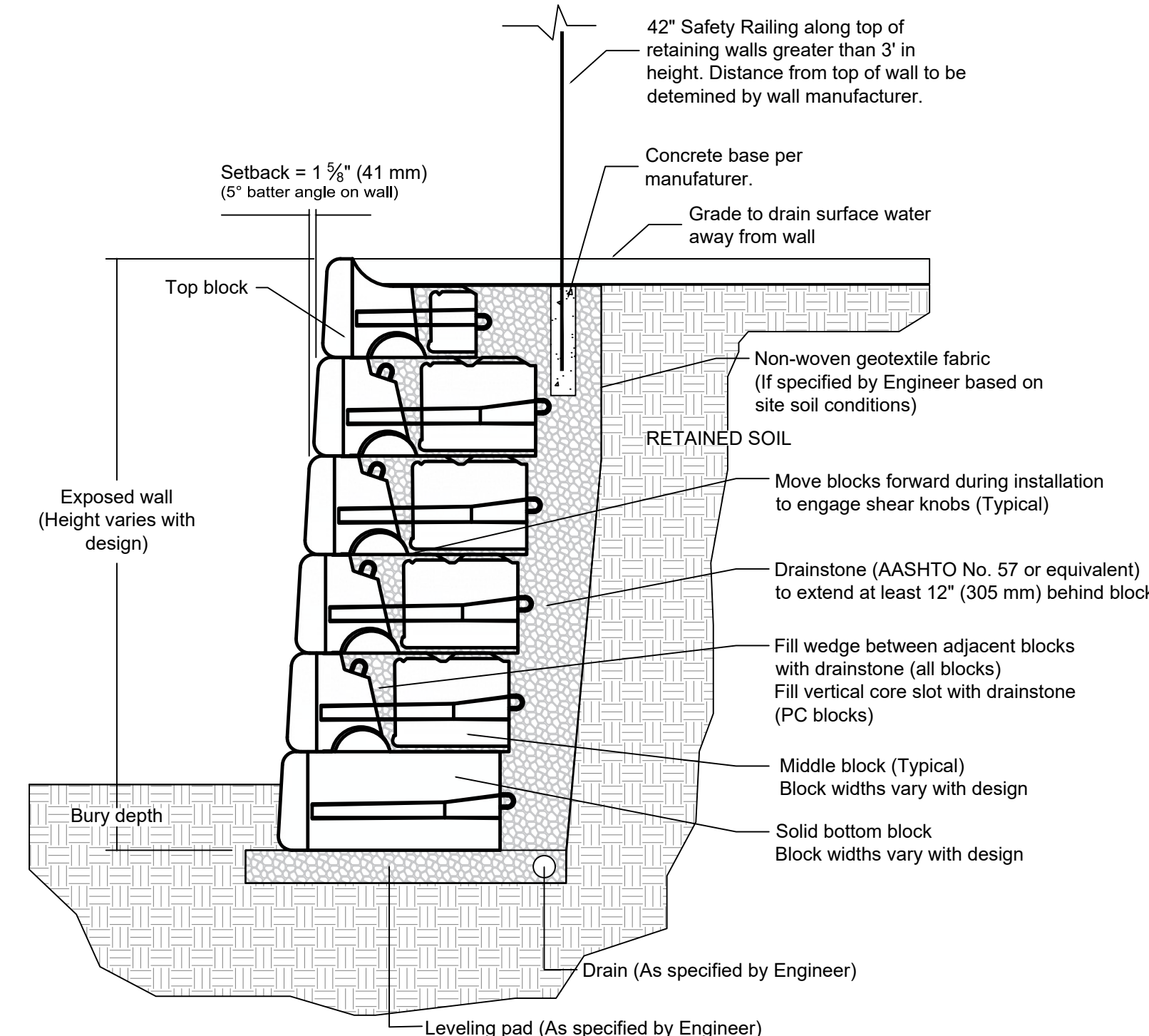


D-7 CROSS PAN DETAIL
NOT TO SCALE

Note:
 One degree or zero degree batter angle walls are available using blocks with 7 1/2" (190 mm) or 6 3/4" (171 mm) knobs (Specialty items)



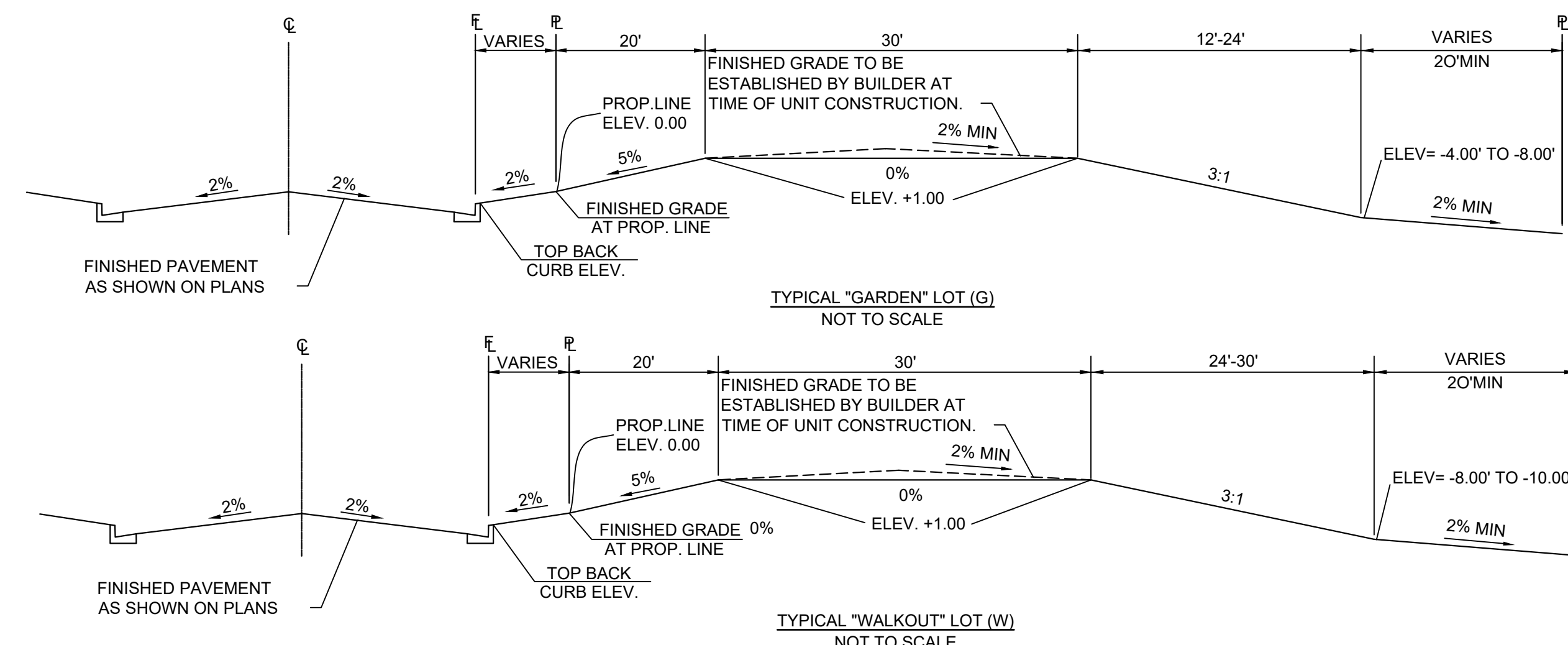
Only use strips of Mirafi geogrid that have been factory cut and are certified for width and strength by TenCate Mirafi.



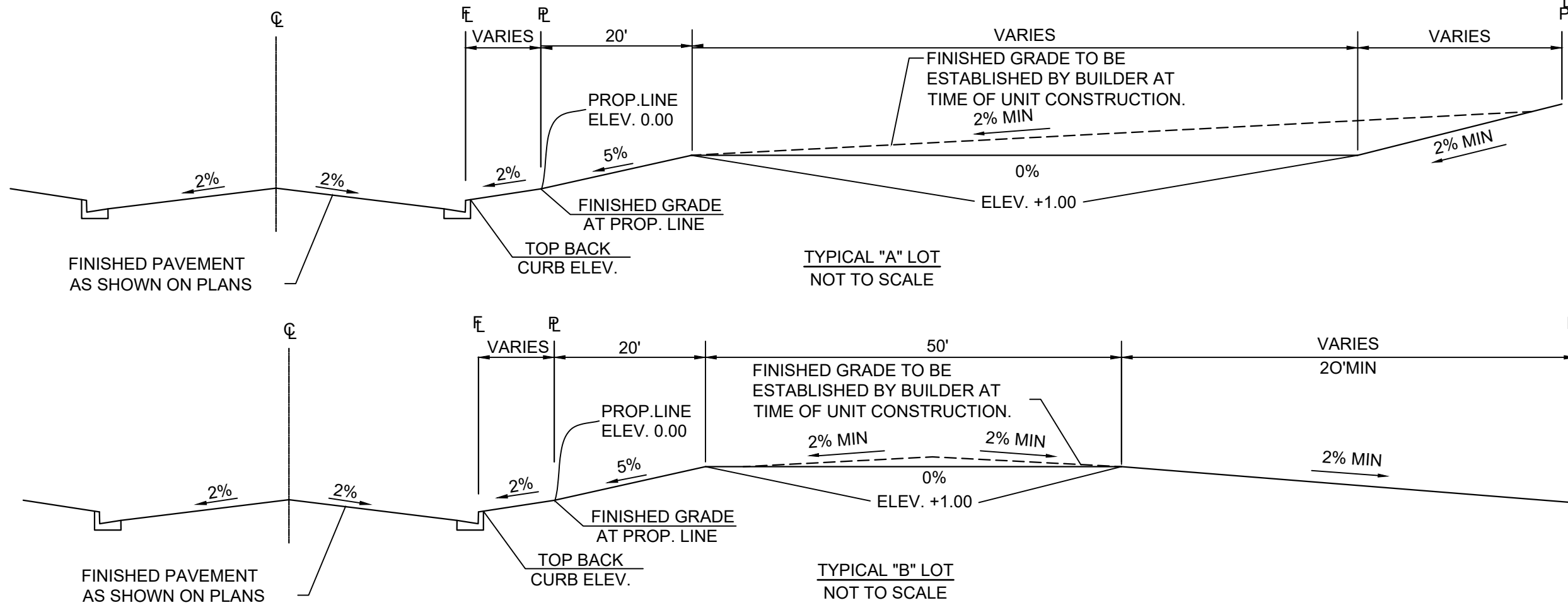
This drawing is for reference only. Determination of the suitability and/or manner of use of any details contained in this document is the sole responsibility of the design engineer of record. Final project designs, including all construction details, shall be prepared by a licensed professional engineer using the actual conditions of the proposed site.

REINFORCED LEDGESTONE REDI ROCK WALL SECTION
NOT TO SCALE

STANDARD LEDGESTONE REDI ROCK WALL SECTION
NOT TO SCALE

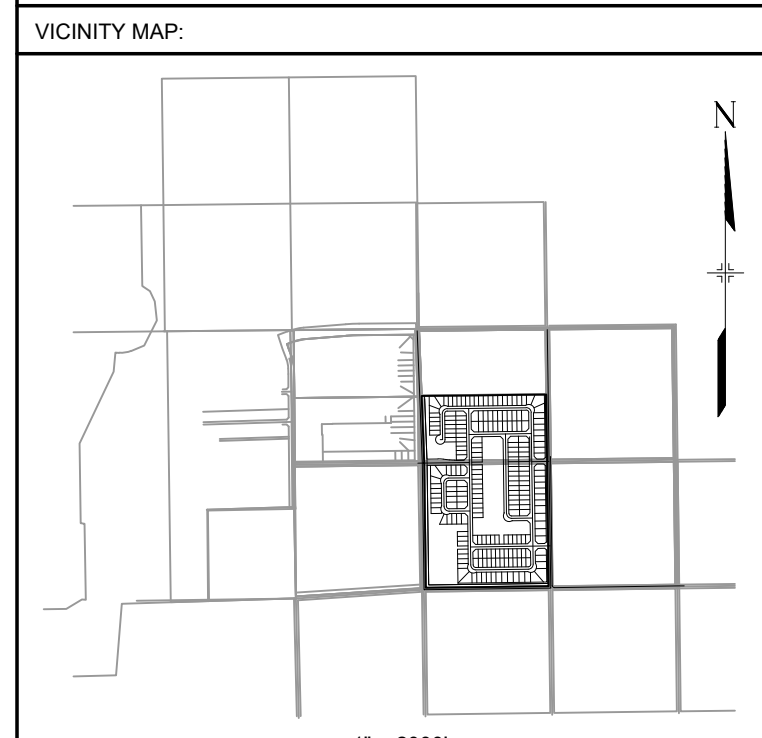


- LOT TYPES
- (A) "A" LOT
 - (B) "B" LOT
 - (G) "GARDEN LEVEL" LOT
 - (W) "WALKOUT" LOT
 - (T) "TRANSITION" LOT



CONSULTANTS:
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OWNER/DEVELOPER:
COLA, LLC.
 555 MIDDLE CREEK PKWY., SUITE 380
 COLORADO SPRINGS, CO 80921
 (719) 382-9433



PROJECT:
ASPEN RANCH PRELIMINARY PLAT

FOUNTAIN, CO
 5/30/2020

REVISION HISTORY:

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0	3/12/2020	INITIAL CITY SUBMITTAL	
1	5/23/2020	SECOND CITY SUBMITTAL	

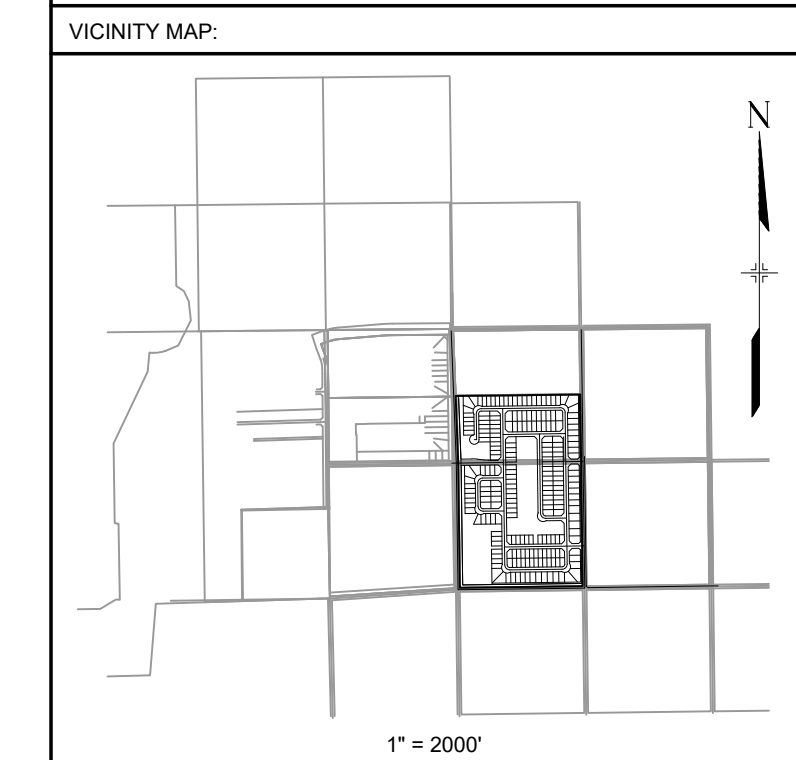
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 CHECKED BY: JRA
 APPROVED BY: JRA
 SHEET TITLE:

DETAIL SHEET

DT02

SHEET 3 OF 22

FILE LOCATION: S:\19.886.023 ASPEN RANCH\100 DWG\104 PLAN SETS\PRELIMINARY PLAT\DT02.DWG



REVISION HISTORY:

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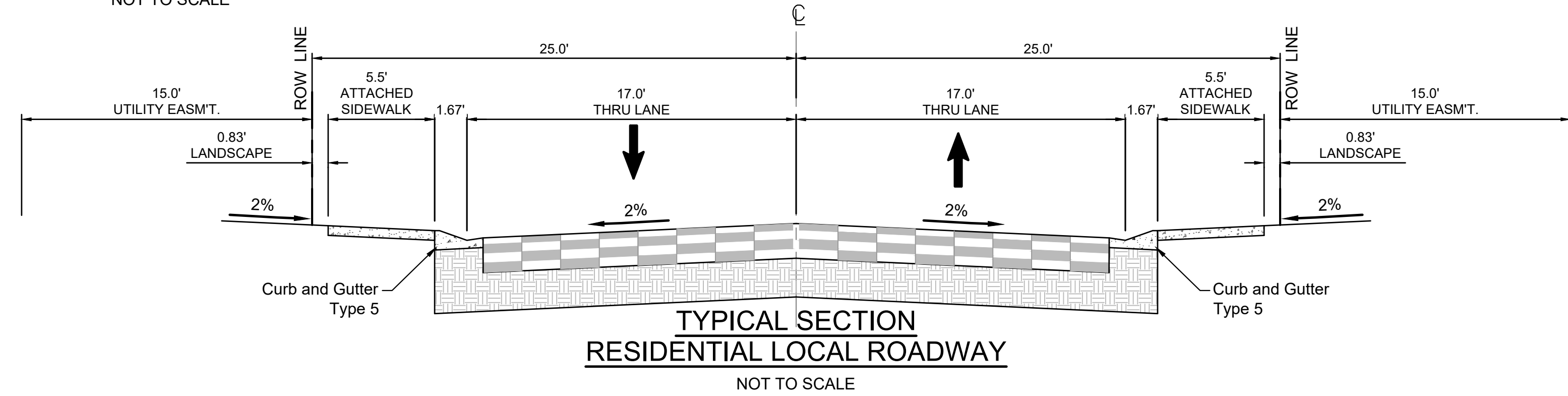
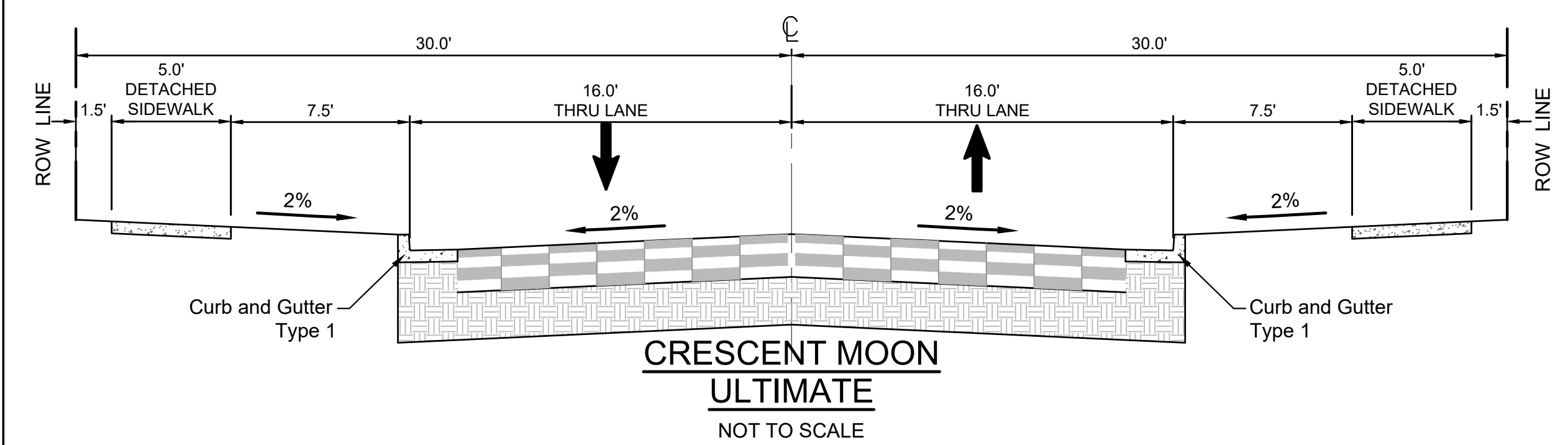
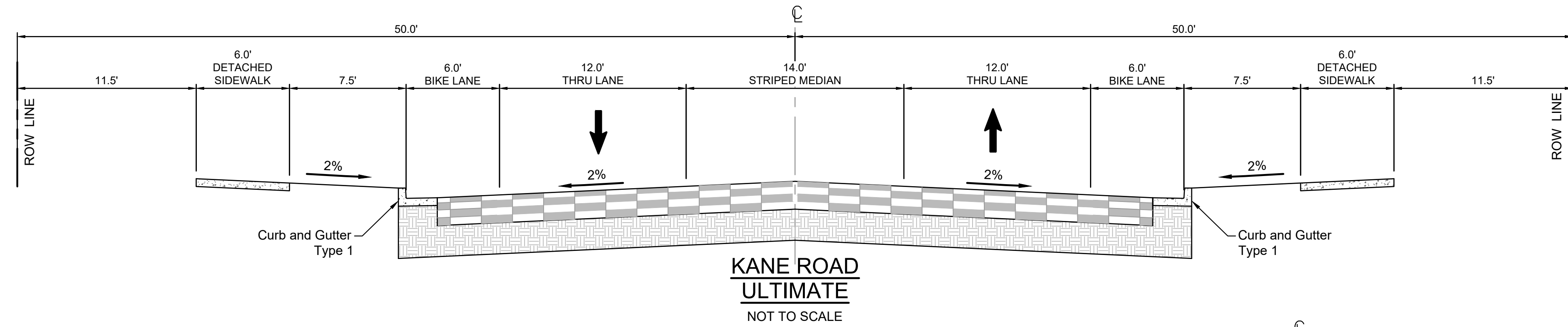
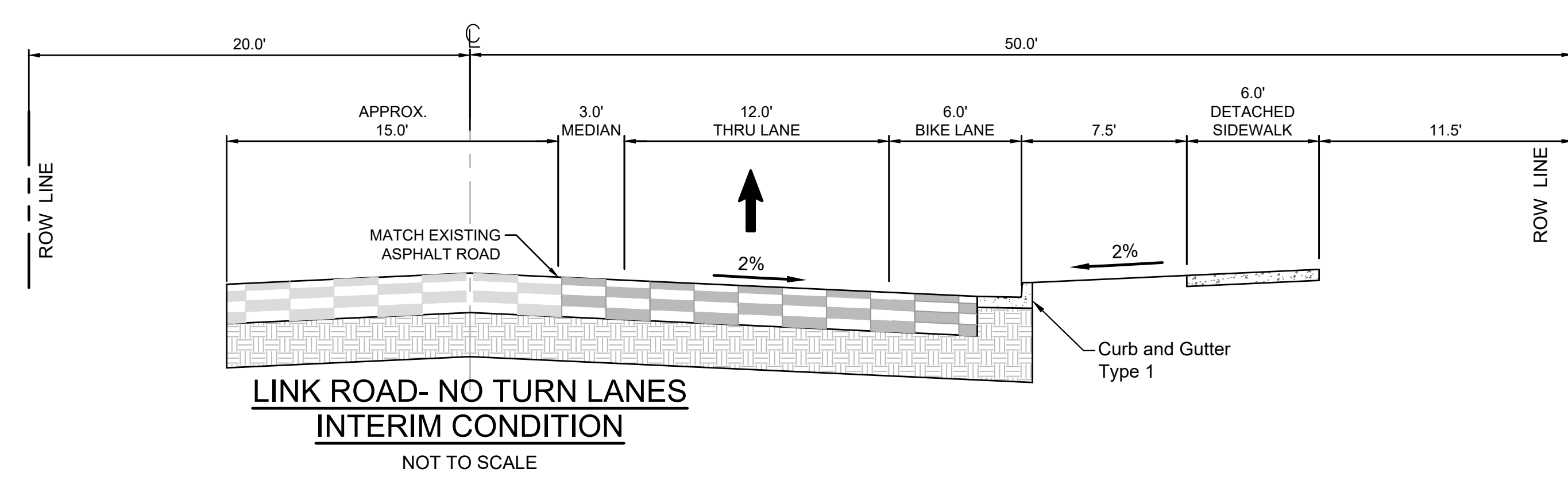
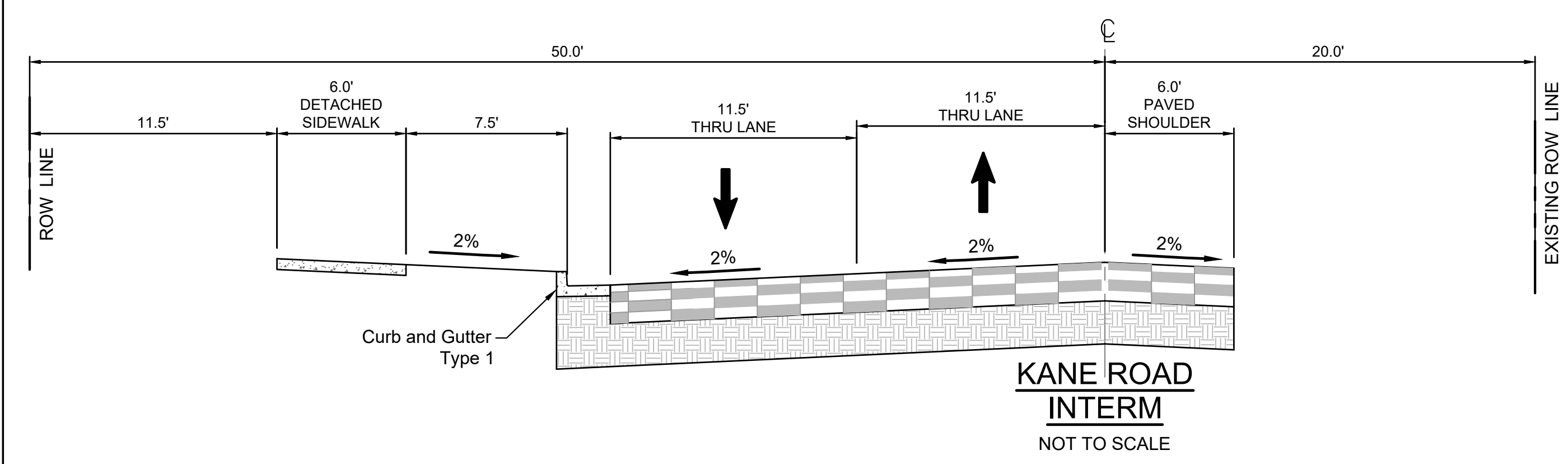
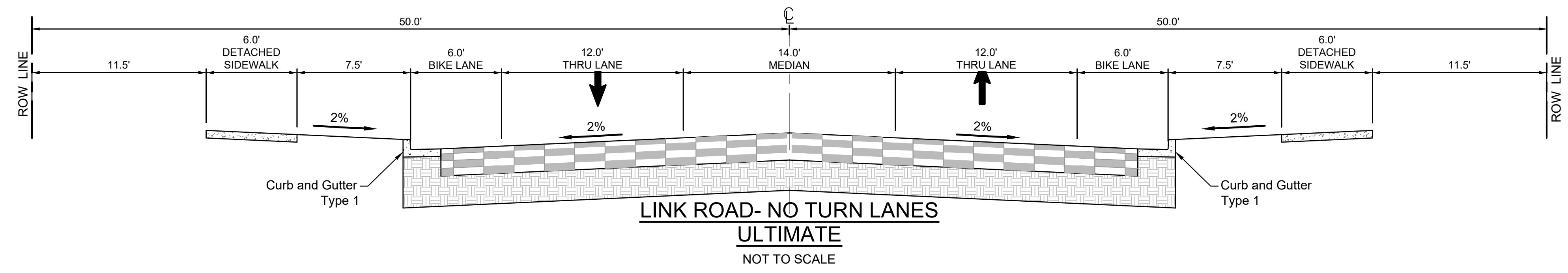
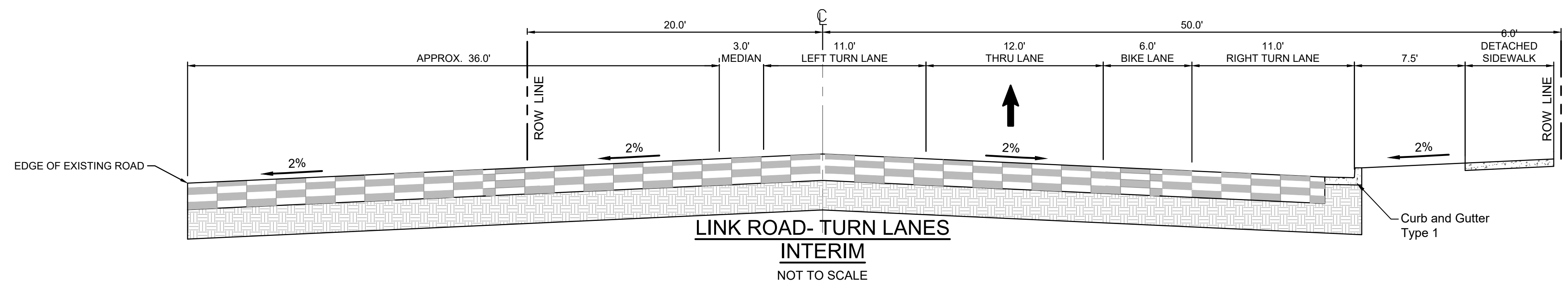
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DRAWN BY:	BAS
CHECKED BY:	JRA
APPROVED BY:	JRA
SHEET TITLE:	

DETAIL SHEET

DT03

SHEET 4 OF 22

CITY FILE NO.:



FILE LOCATION: S:\19.886.023 ASPEN RANCH\104 DWG\104 PLAN SETS\PRELIMINARY PLAT\DT03.DWG

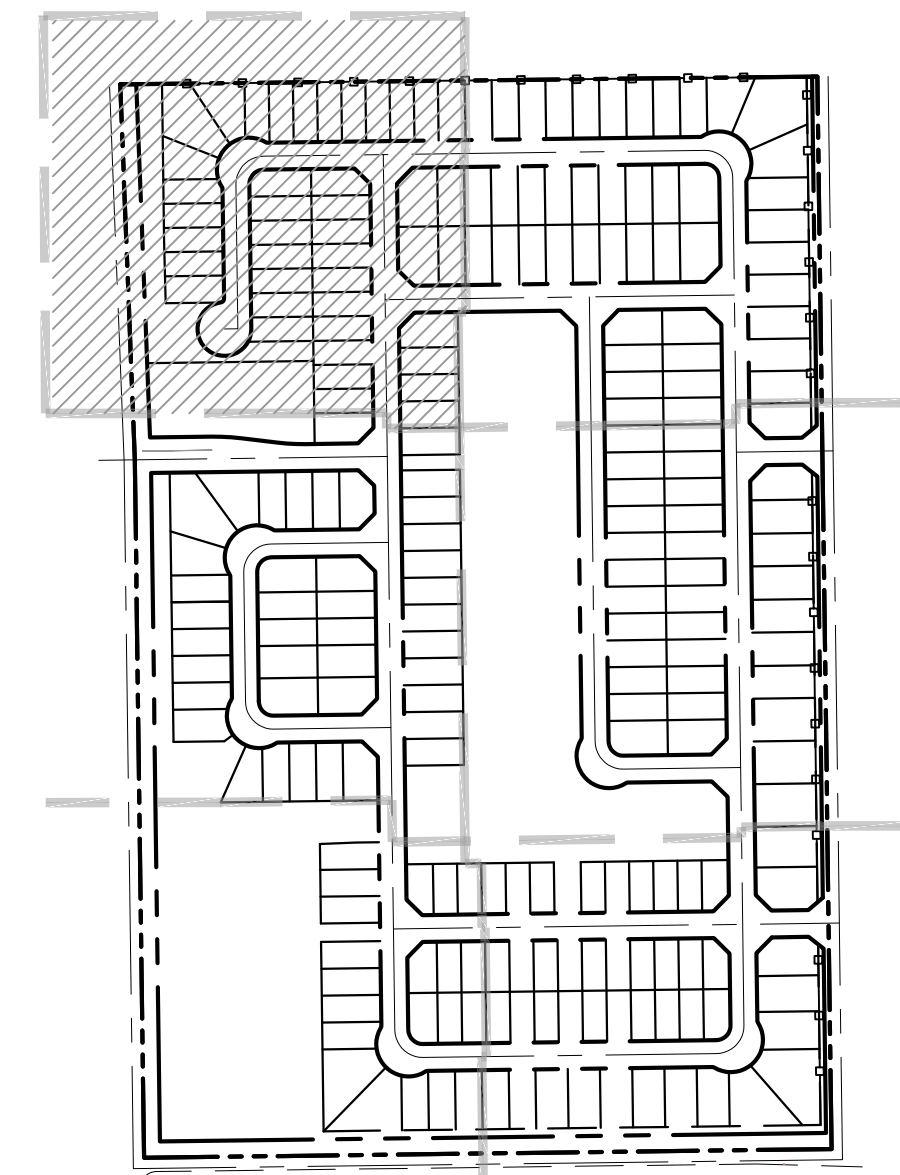
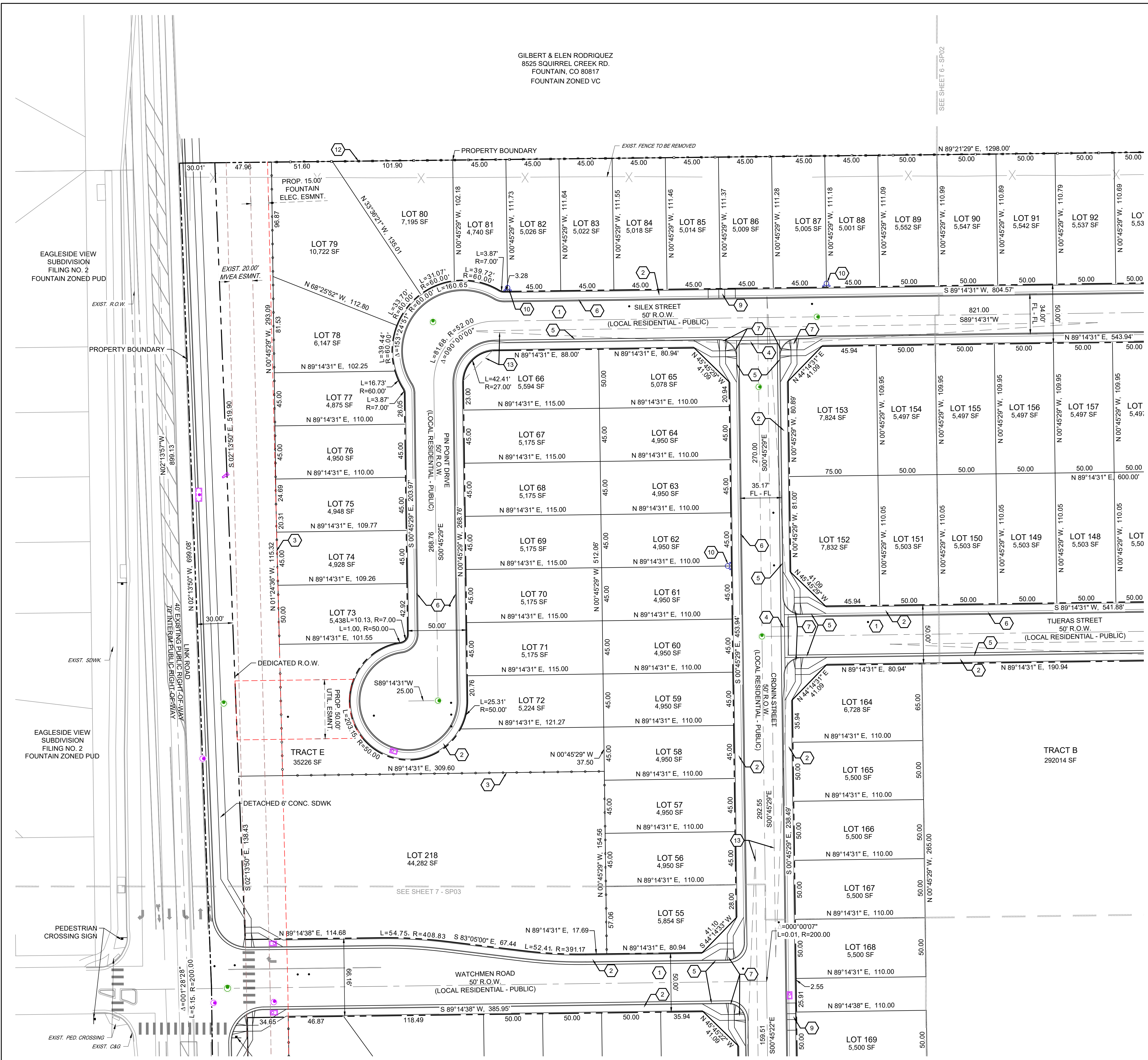
FILE LOCATION: S:\1886\023 ASPEN RANCH\100 DWG\104 PLAN SETS\PRELIMINARY PLAT\SP01.DWG

GILBERT & ELEN RODRIGUEZ
8525 SQUIRREL CREEK RD.
FOUNTAIN, CO 80817
FOUNTAIN ZONED VC

SEE SHEET 6 - SP02

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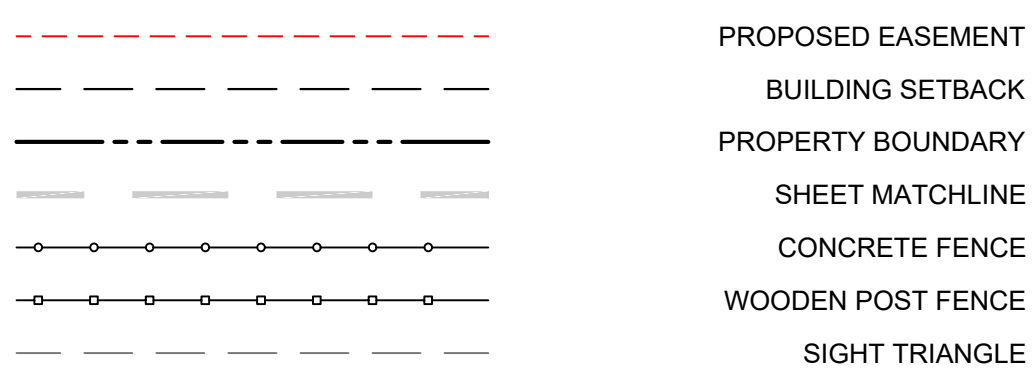
OWNER/DEVELOPER:
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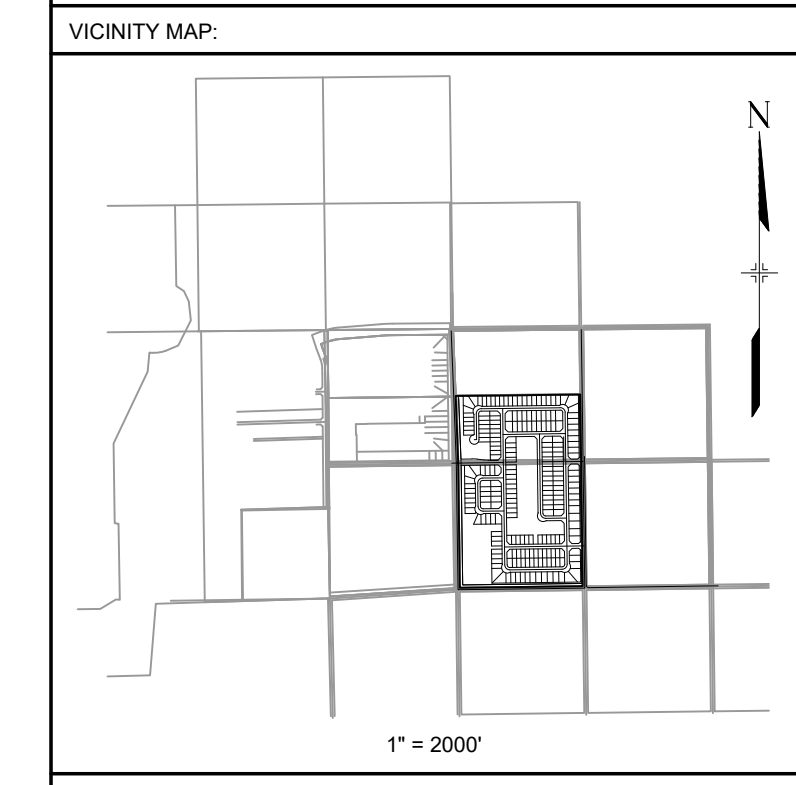
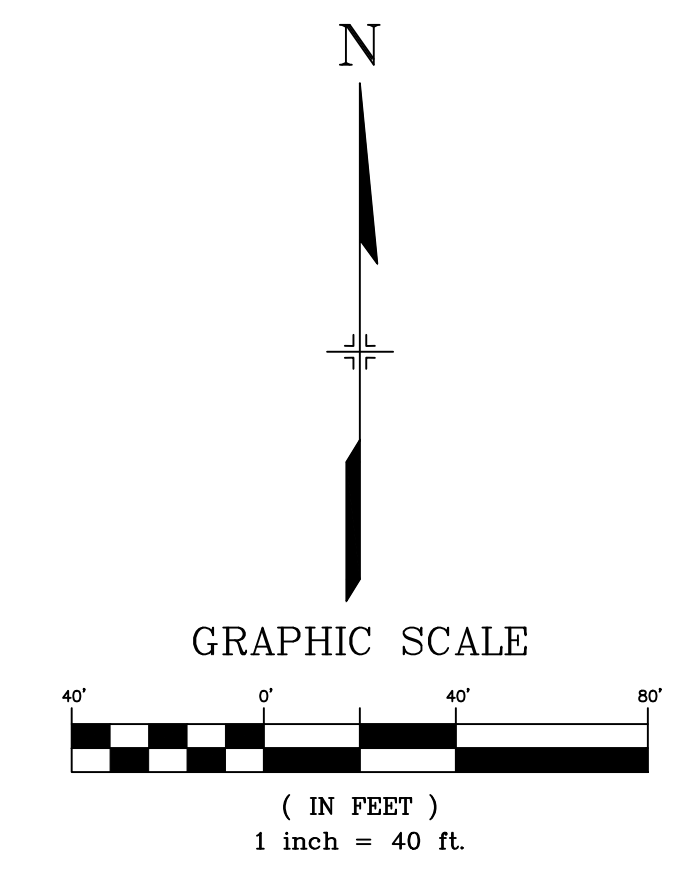
SHEET KEY

LEGEND

- 1 ASPHALT SURFACE (TYPICAL)
- 2 CONCRETE ATTACHED SIDEWALK (5.5' TYPICAL)
- 3 CONCRETE FENCE (SEE DT02 FOR DETAIL)
- 4 CONCRETE CROSSSPAN (6' TYPICAL)
- 5 CURB AND GUTTER (TYPE 1)
- 6 CURB AND GUTTER (TYPE 5)
- 7 PEDESTRIAN RAMP (D-8B CITY STANDARD)
- 8 PEDESTRIAN RAMP (D-8C CITY STANDARD)
- 9 PEDESTRIAN RAMP (D-8E CITY STANDARD)
- 10 PROPOSED FIRE HYDRANT LOCATION
- 11 RETAINING WALL (SEE DT02 FOR DETAIL)
- 12 6" WOODEN POST FENCE (SEE DT02 FOR DETAIL)
- 13 SIGHT TRIANGLE



PROPOSED UTILITY STRUCTURES
NOTE: UNLESS OTHERWISE STATED ALL CURB RETURN RADII AT INTERSECTIONS ARE 15'



PROJECT:
**ASPEN RANCH
PRELIMINARY PLAT**

**FOUNTAIN, CO
5/30/2020**

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY
0	3/12/2020	INITIAL CITY SUBMITTAL	
1	5/30/2020	SECOND CITY SUBMITTAL	

DRAWING INFORMATION:
PROJECT NO: 19.886.023
DRAWN BY: BAS
CHECKED BY: JRA
APPROVED BY: JRA

**PRELIMINARY SITE
PLAN**

SP01

SHEET 5 OF 22

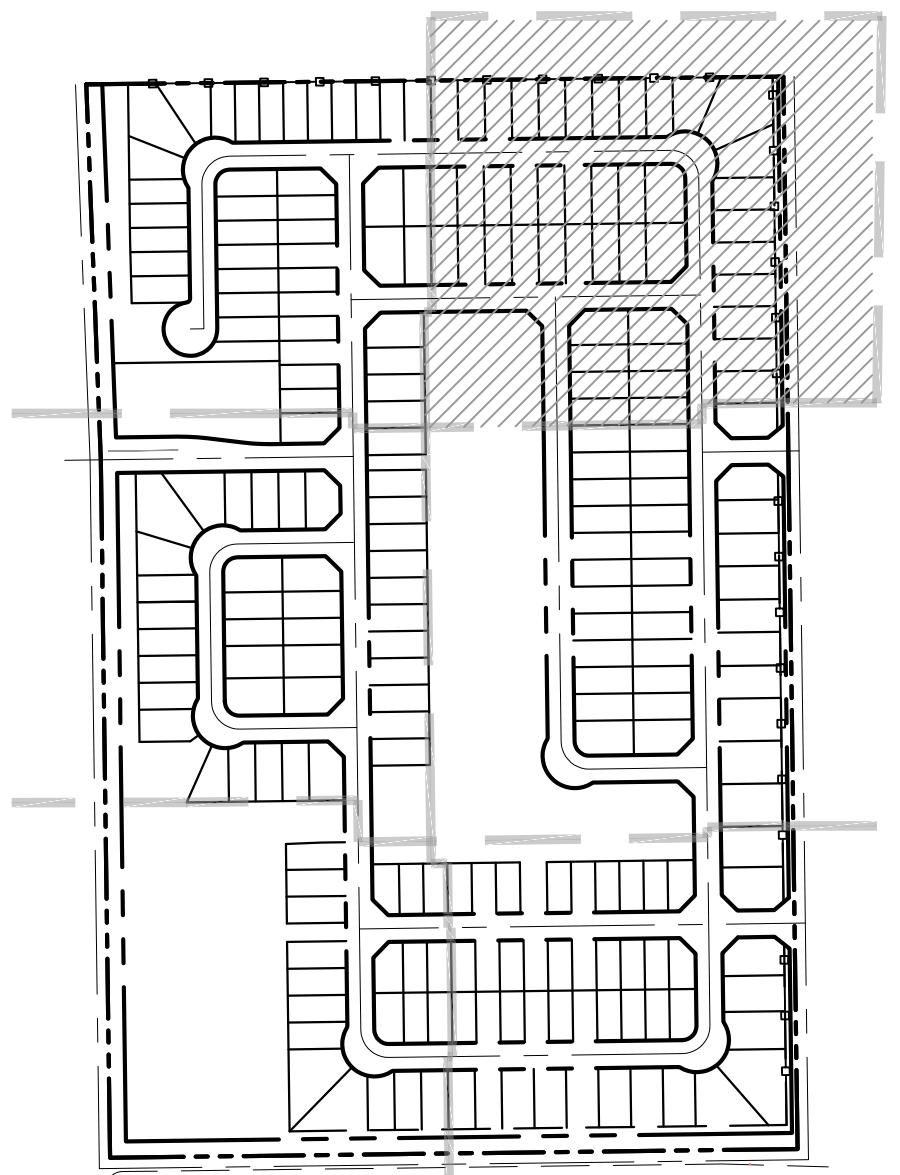
CITY FILE NO.:

FILE LOCATION: S:\1886-023 ASPEN RANCH\100 DWG\104 PLAN SETS\PRELIMINARY PLAT\SP02.DWG

GILBERT & ELEN RODRIGUEZ
8525 SQUIRREL CREEK RD.
FOUNTAIN, CO 80817
FOUNTAIN ZONED VC

CONSULTANTS:
PLANNER/LANDSCAPE ARCHITECT/CIVIL ENGINEER:
Matrix
2435 RESEARCH PARKWAY, SUITE 300
COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100
FAX: (719) 575-0208

OWNER/DEVELOPER:
COLA, LLC.
555 MIDDLE CREEK PKWY., SUITE 380
COLORADO SPRINGS, CO 80921
(719) 382-9433

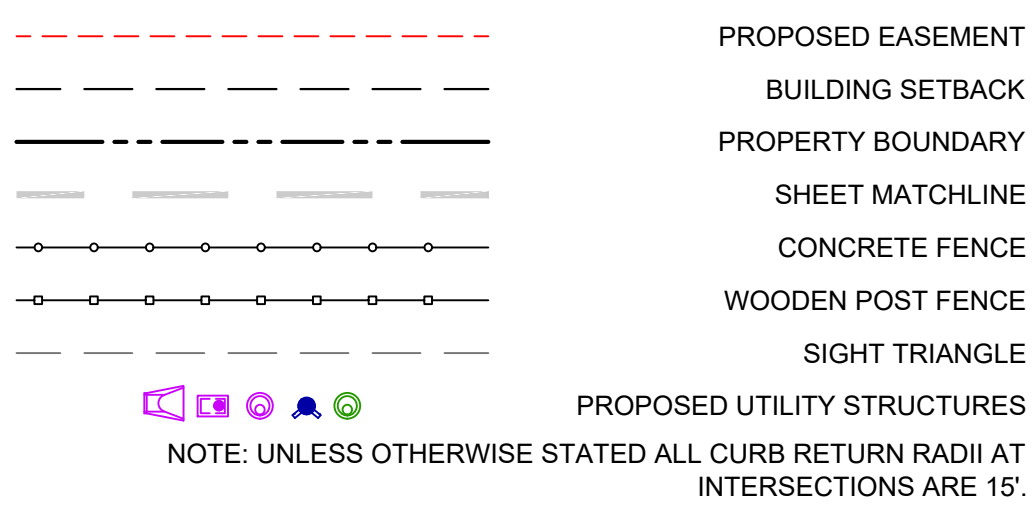


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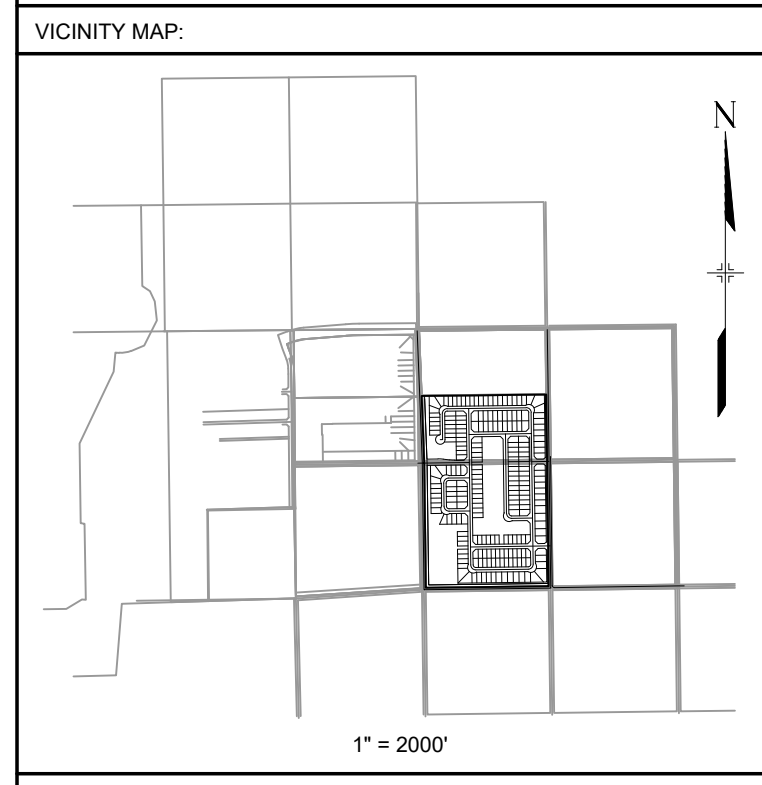
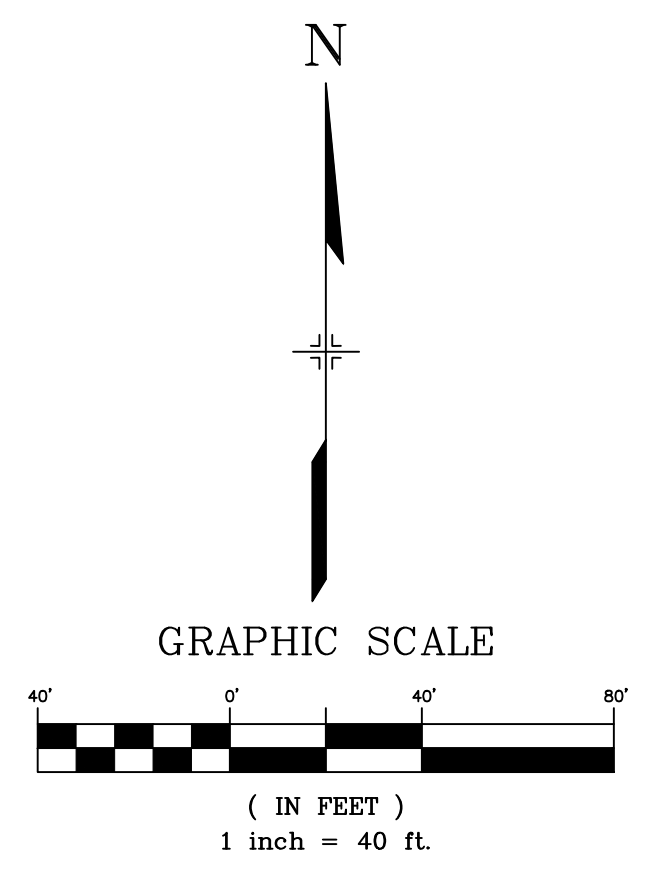
MAJESTICVIEW LLC
6885 MESA RIDGE PKWY
FOUNTAIN, CO 80817
FOUNTAIN ZONED
SINGLE-FAMILY RES.

LEGEND

- 1 ASPHALT SURFACE (TYPICAL)
- 2 CONCRETE ATTACHED SIDEWALK (5.5' TYPICAL)
- 3 CONCRETE FENCE (SEE DT02 FOR DETAIL)
- 4 CONCRETE CROSSSPAN (6' TYPICAL)
- 5 CURB AND GUTTER (TYPE 1)
- 6 CURB AND GUTTER (TYPE 5)
- 7 PEDESTRIAN RAMP (D-8B CITY STANDARD)
- 8 PEDESTRIAN RAMP (D-8C CITY STANDARD)
- 9 PEDESTRIAN RAMP (D-8E CITY STANDARD)
- 10 PROPOSED FIRE HYDRANT LOCATION
- 11 RETAINING WALL (SEE DT02 FOR DETAIL)
- 12 6' WOODEN POST FENCE (SEE DT02 FOR DETAIL)
- 13 SIGHT TRIANGLE



NOTE: UNLESS OTHERWISE STATED ALL CURB RETURN RADII AT INTERSECTIONS ARE 15'



PROJECT:
**ASPEN RANCH
PRELIMINARY PLAT**

**FOUNTAIN, CO
5/30/2020**

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY
0	3/12/2020	INITIAL CITY SUBMITTAL	
1	5/30/2020	SECOND CITY SUBMITTAL	

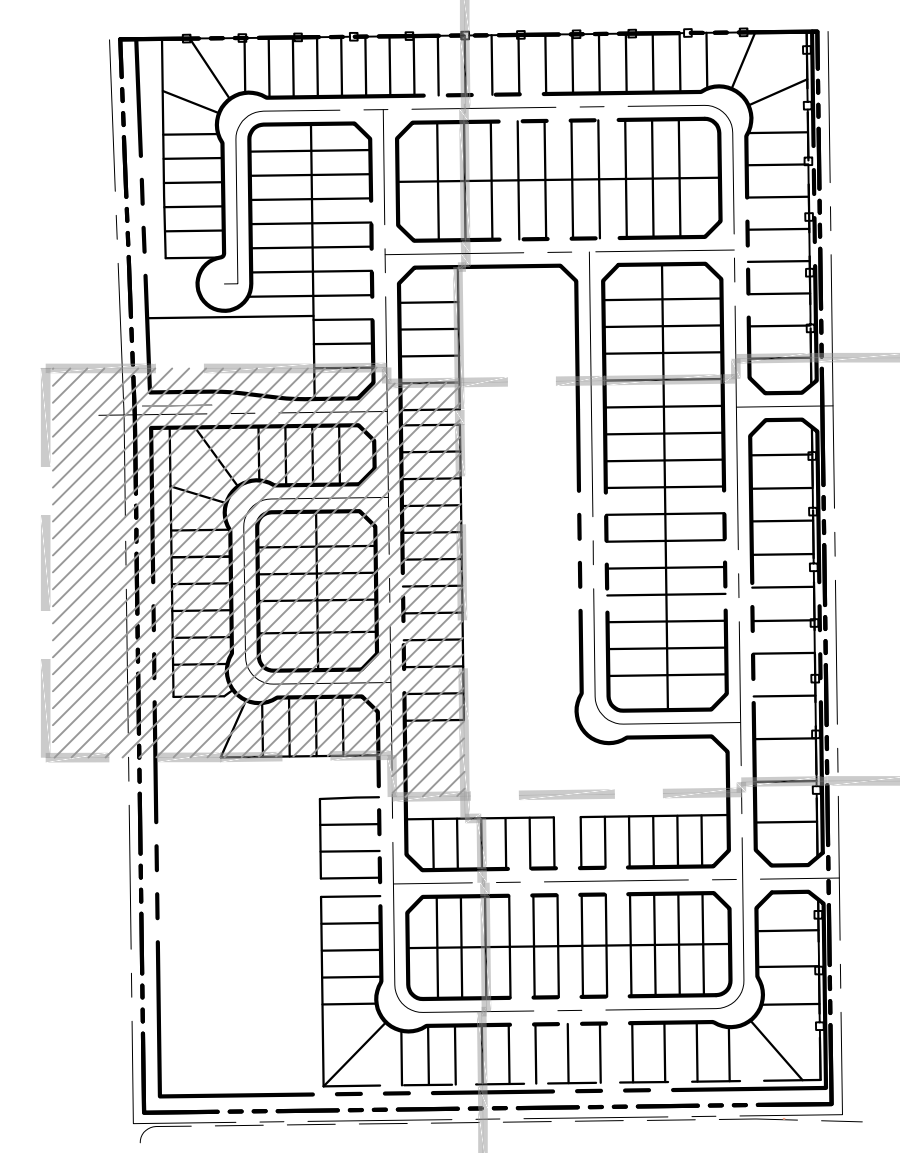
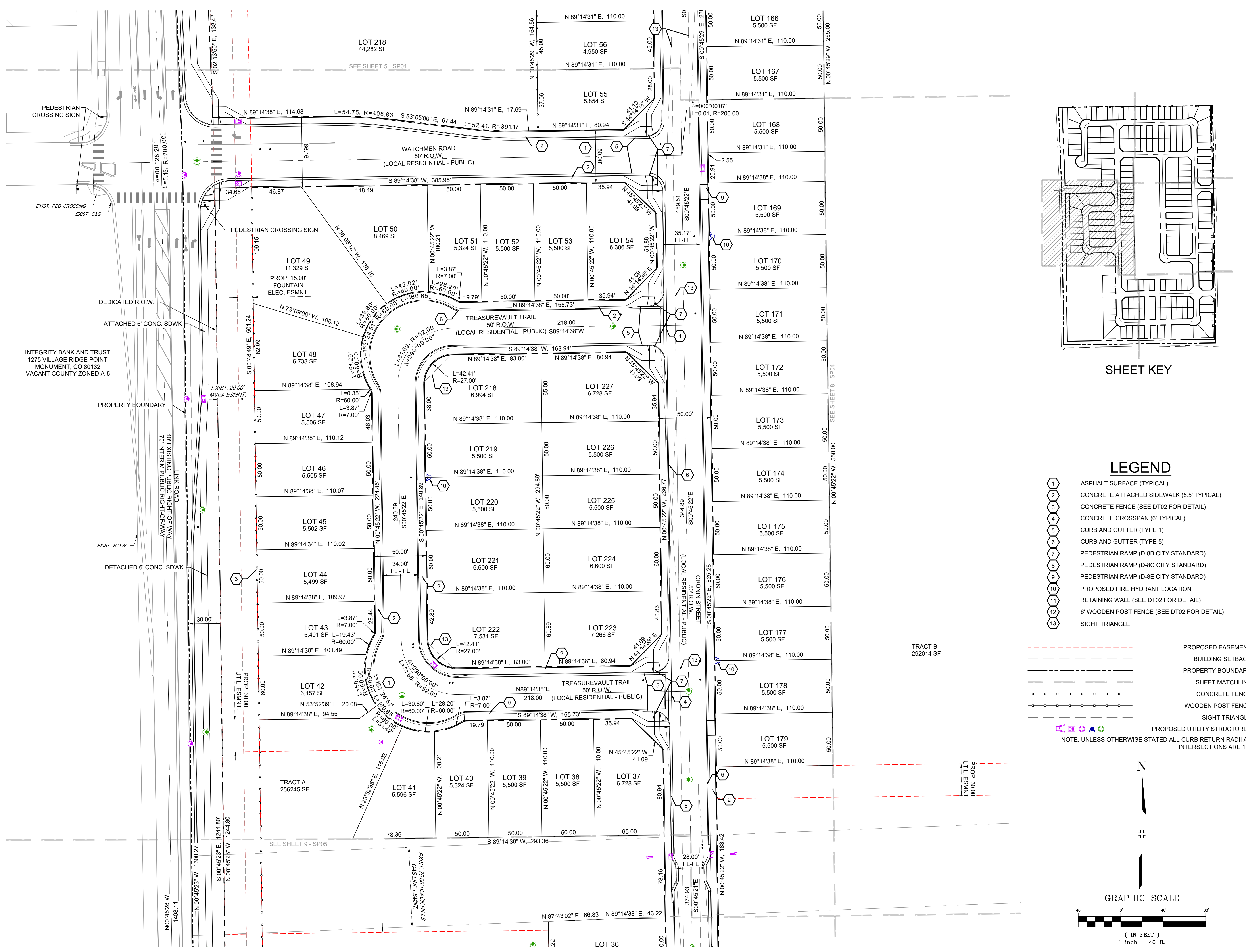
DRAWING INFORMATION:
PROJECT NO: 19.886.023
DRAWN BY: BAS
CHECKED BY: JRA
APPROVED BY: JRA
SHEET TITLE:

PRELIMINARY SITE PLAN

SP02
SHEET 6 OF 22

CITY FILE NO.:

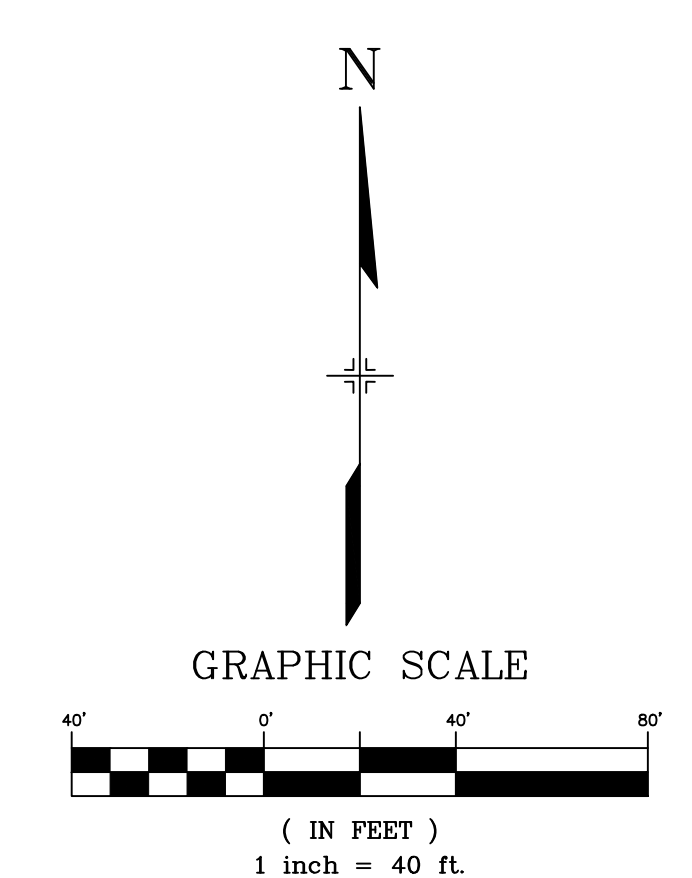
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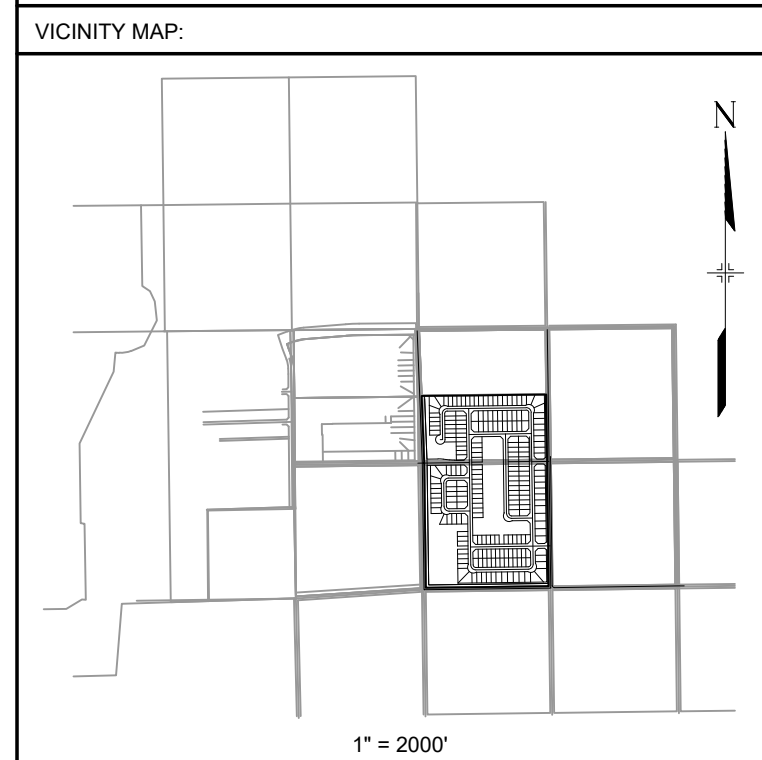
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- 1 ASPHALT SURFACE (TYPICAL)
 - 2 CONCRETE ATTACHED SIDEWALK (5.5' TYPICAL)
 - 3 CONCRETE FENCE (SEE DT02 FOR DETAIL)
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 - 9 PEDESTRIAN RAMP (D-8E CITY STANDARD)
 - 10 PROPOSED FIRE HYDRANT LOCATION
 - 11 RETAINING WALL (SEE DT02 FOR DETAIL)
 - 12 6' WOODEN POST FENCE (SEE DT02 FOR DETAIL)
 - 13 SIGHT TRIANGLE
- PROPOSED UTILITY STRUCTURES
- NOTE: UNLESS OTHERWISE STATED ALL CURB RETURN RADII AT INTERSECTIONS ARE 15'



CONSULTANTS:
 PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:
Matrix
 2435 RESEARCH PARKWAY, SUITE 300
 COLORADO SPRINGS, CO 80920
 PHONE: (719) 575-0100
 FAX: (719) 575-0208

OWNER/DEVELOPER:
COLA, LLC.
 555 MIDDLE CREEK PKWY, SUITE 380
 COLORADO SPRINGS, CO 80921
 (719) 382-9433



PROJECT:
**ASPEN RANCH
 PRELIMINARY PLAT**

FOUNTAIN, CO
 5/30/2020

REVISION HISTORY:

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0	3/12/2020	INITIAL CITY SUBMITTAL	
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DRAWING INFORMATION:
 PROJECT NO: 19.886.023
 DRAWN BY: BAS
 CHECKED BY: JRA
 APPROVED BY: JRA

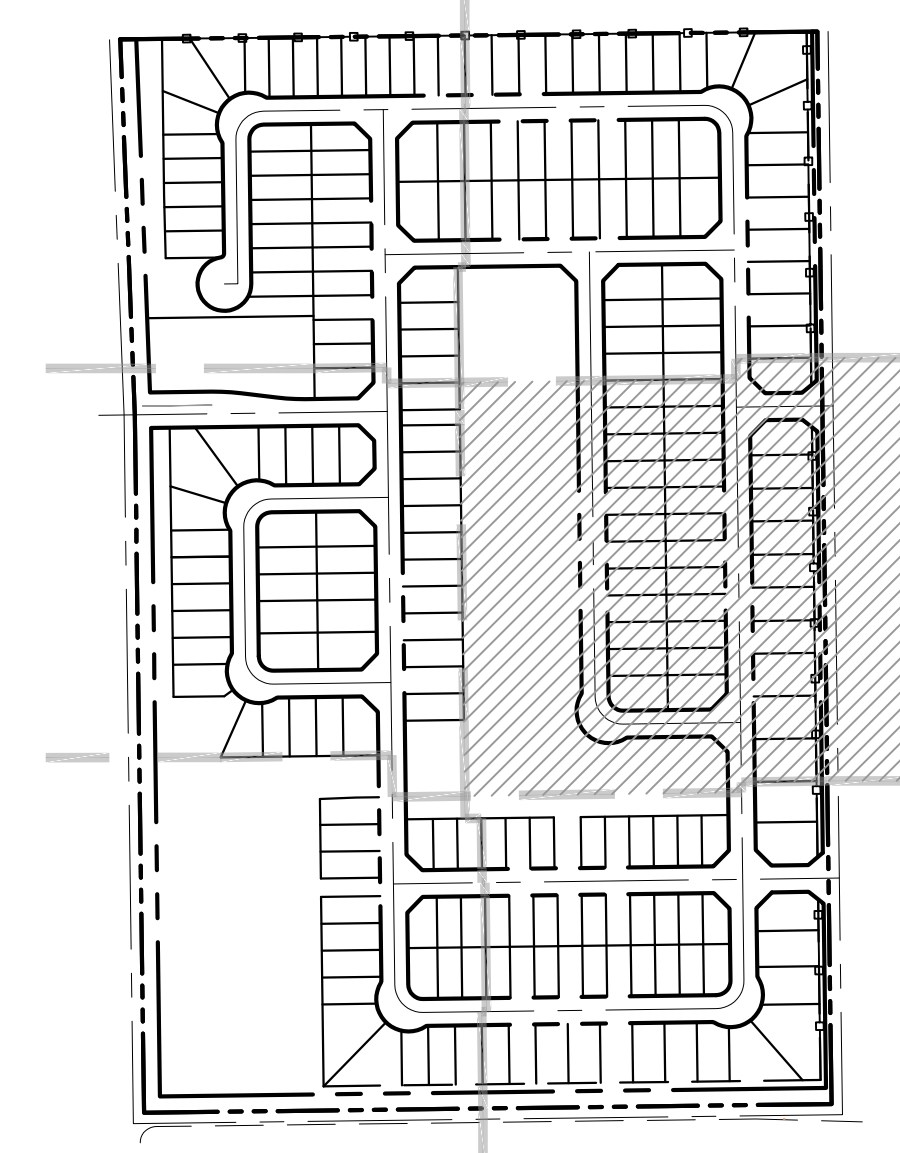
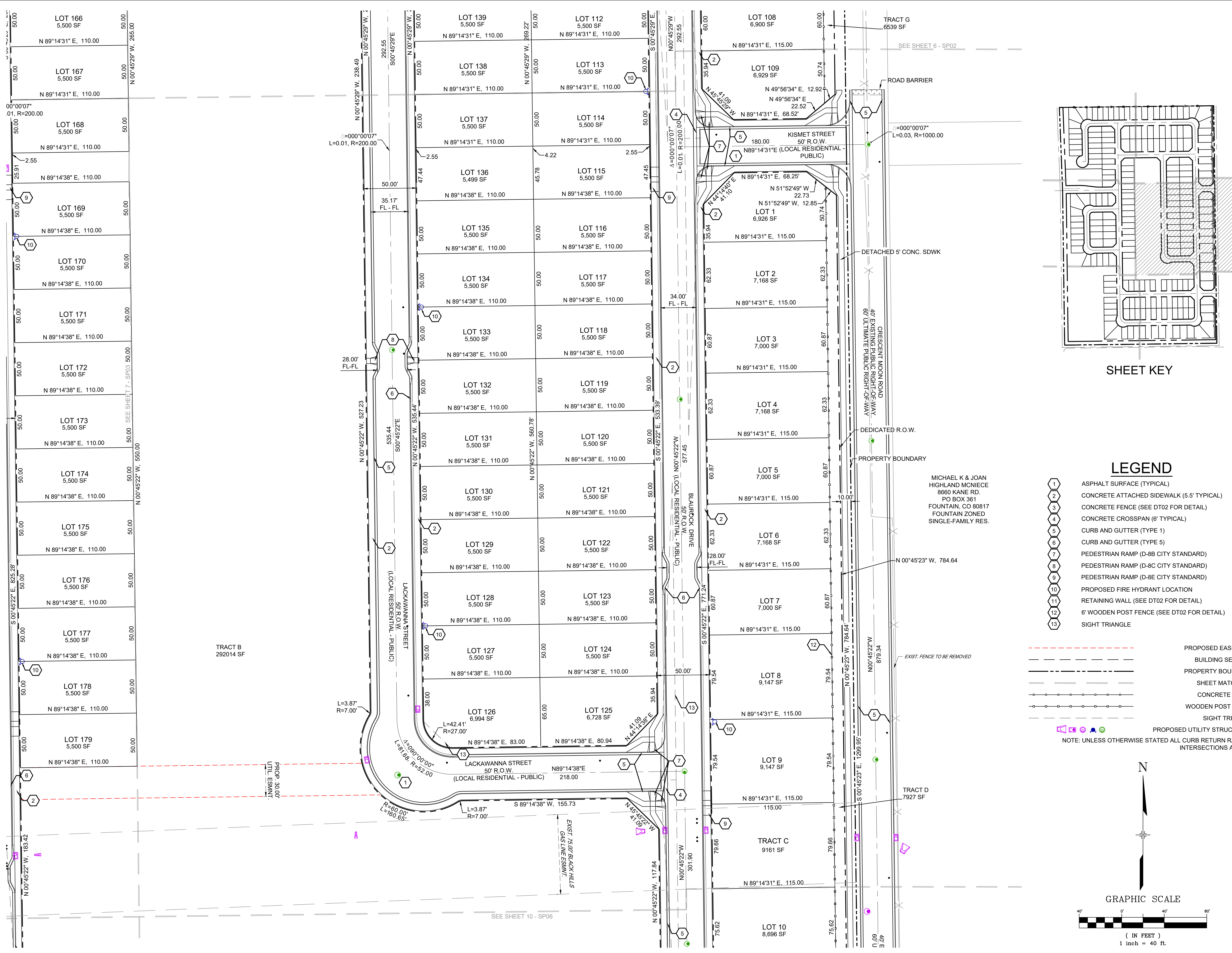
**PRELIMINARY SITE
 PLAN**

SP03

SHEET 7 OF 22

CITY FILE NO.:

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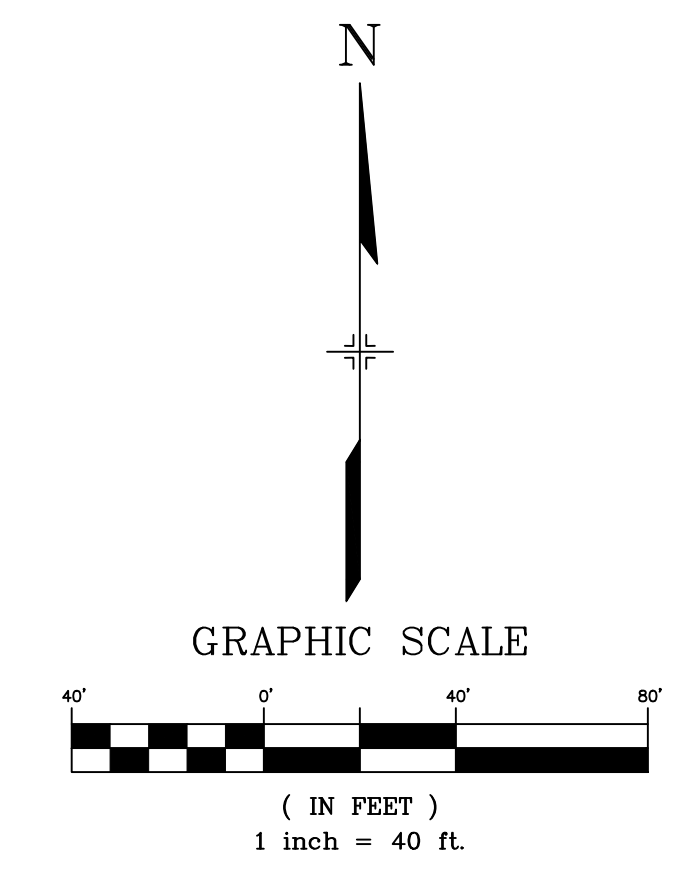


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LEGEND

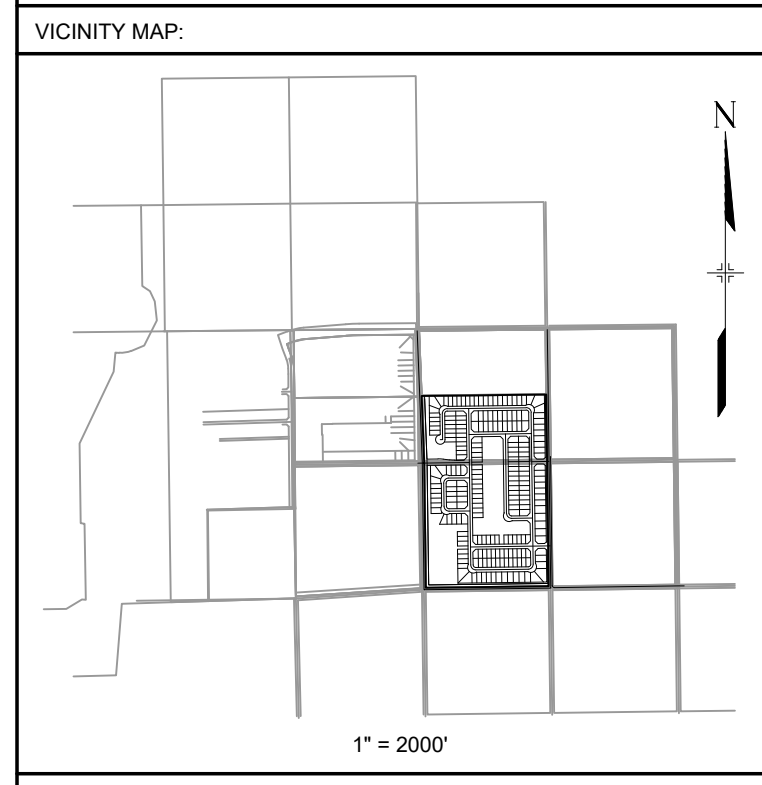
- 1 ASPHALT SURFACE (TYPICAL)
- 2 CONCRETE ATTACHED SIDEWALK (5.5' TYPICAL)
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- 13 SIGHT TRIANGLE

- PROPOSED EASEMENT
 - BUILDING SETBACK
 - PROPERTY BOUNDARY
 - SHEET MATCHLINE
 - CONCRETE FENCE
 - WOODEN POST FENCE
 - SIGHT TRIANGLE
 - PROPOSED UTILITY STRUCTURES
- NOTE: UNLESS OTHERWISE STATED ALL CURB RETURN RADII AT INTERSECTIONS ARE 15'



CONSULTANTS:
 PLANNER/LANDSCAPE ARCHITECT/CIVIL ENGINEER:
Matrix
 2435 RESEARCH PARKWAY, SUITE 300
 COLORADO SPRINGS, CO 80920
 PHONE: (719) 575-0100
 FAX: (719) 575-0208

OWNER/DEVELOPER:
COLA, LLC.
 555 MIDDLE CREEK PKWY, SUITE 380
 COLORADO SPRINGS, CO 80921
 (719) 382-9433



PROJECT:
**ASPEN RANCH
 PRELIMINARY PLAT**

FOUNTAIN, CO
 5/30/2020

REVISION HISTORY:

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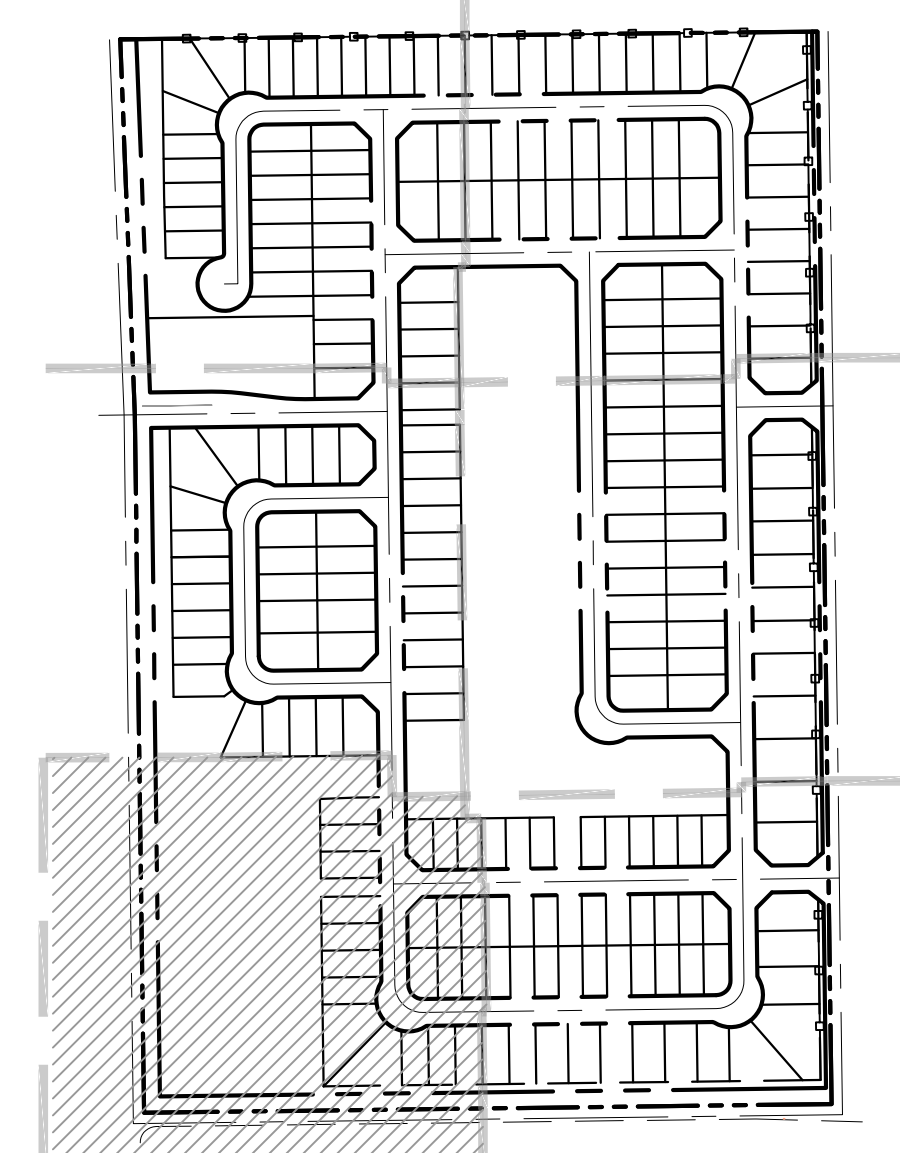
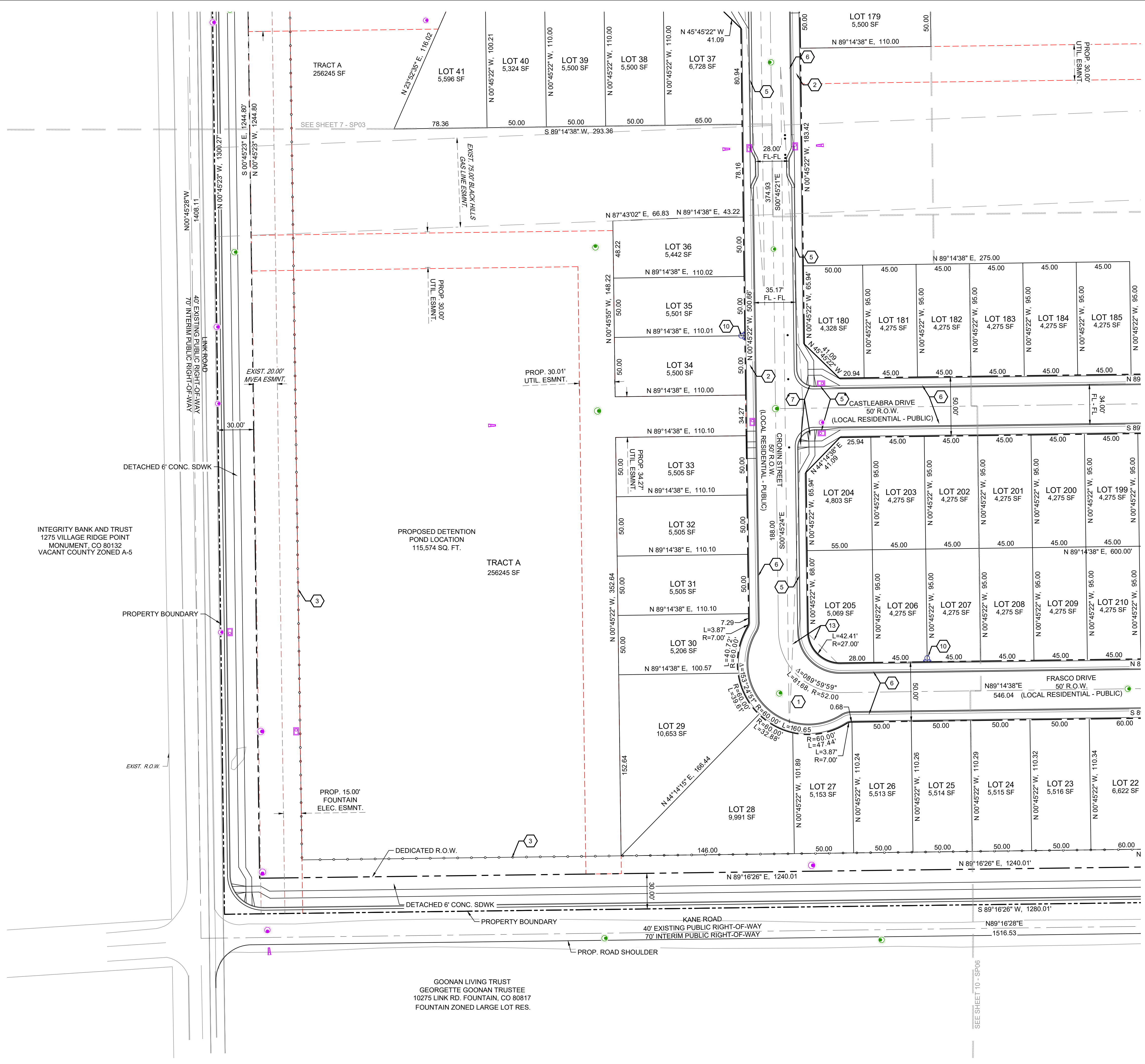
DRAWING INFORMATION:
 PROJECT NO: 19.886.023
 DRAWN BY: BAS
 CHECKED BY: JRA
 APPROVED BY: JRA
 SHEET TITLE:

**PRELIMINARY SITE
 PLAN**

SP04
 SHEET 8 OF 22

CITY FILE NO.:

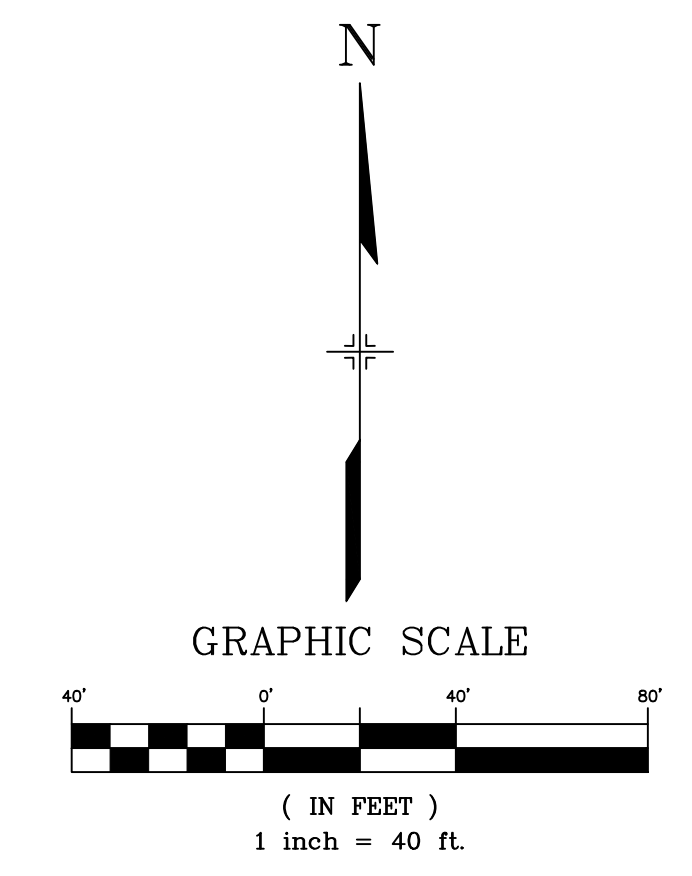
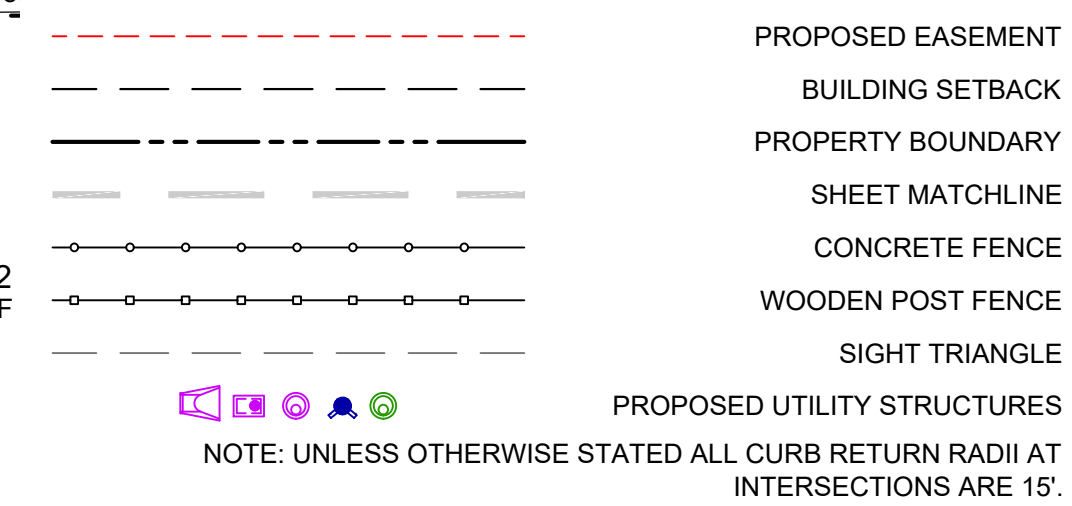
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SHEET KEY

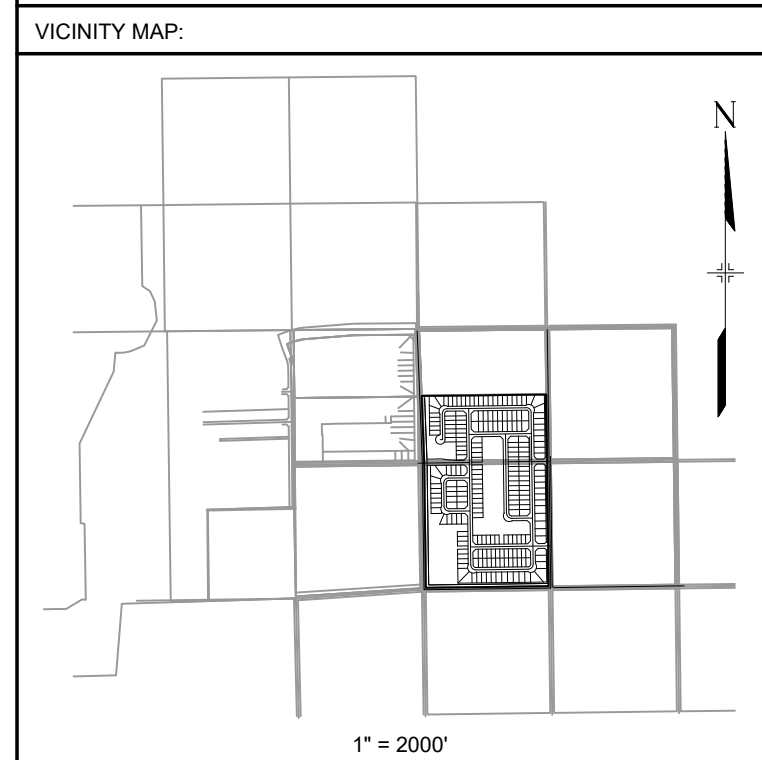
LEGEND

- 1 ASPHALT SURFACE (TYPICAL)
- 2 CONCRETE ATTACHED SIDEWALK (5.5' TYPICAL)
- 3 CONCRETE FENCE (SEE DT02 FOR DETAIL)
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- 10 RETAINING WALL (SEE DT02 FOR DETAIL)
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- 12 SIGHT TRIANGLE
- 13



CONSULTANTS:
PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:
Matrix
2435 RESEARCH PARKWAY, SUITE 300
COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100
FAX: (719) 575-0208

OWNER/DEVELOPER:
COLA, LLC.
555 MIDDLE CREEK PKWY, SUITE 380
COLORADO SPRINGS, CO 80921
(719) 382-9433



PROJECT:
ASPEN RANCH PRELIMINARY PLAT

FOUNTAIN, CO
5/30/2020

REVISION HISTORY:

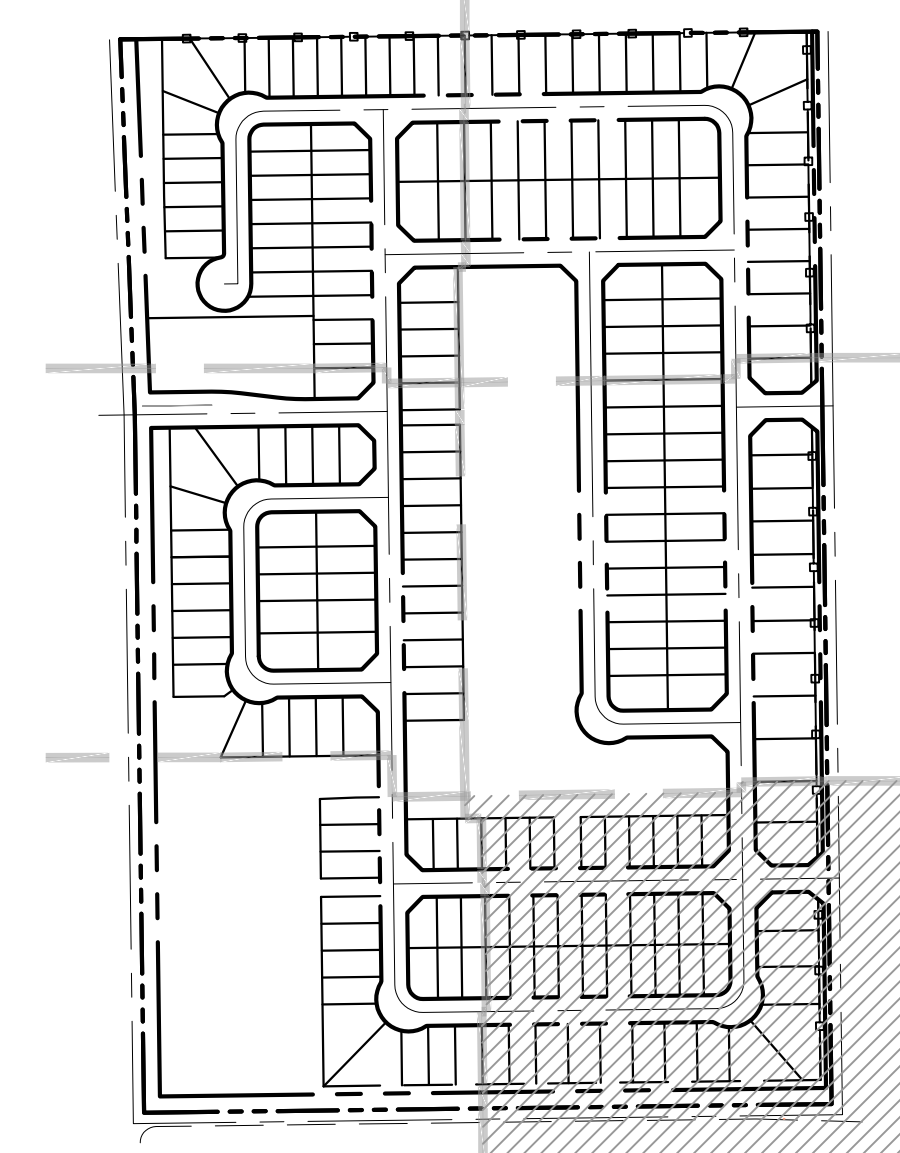
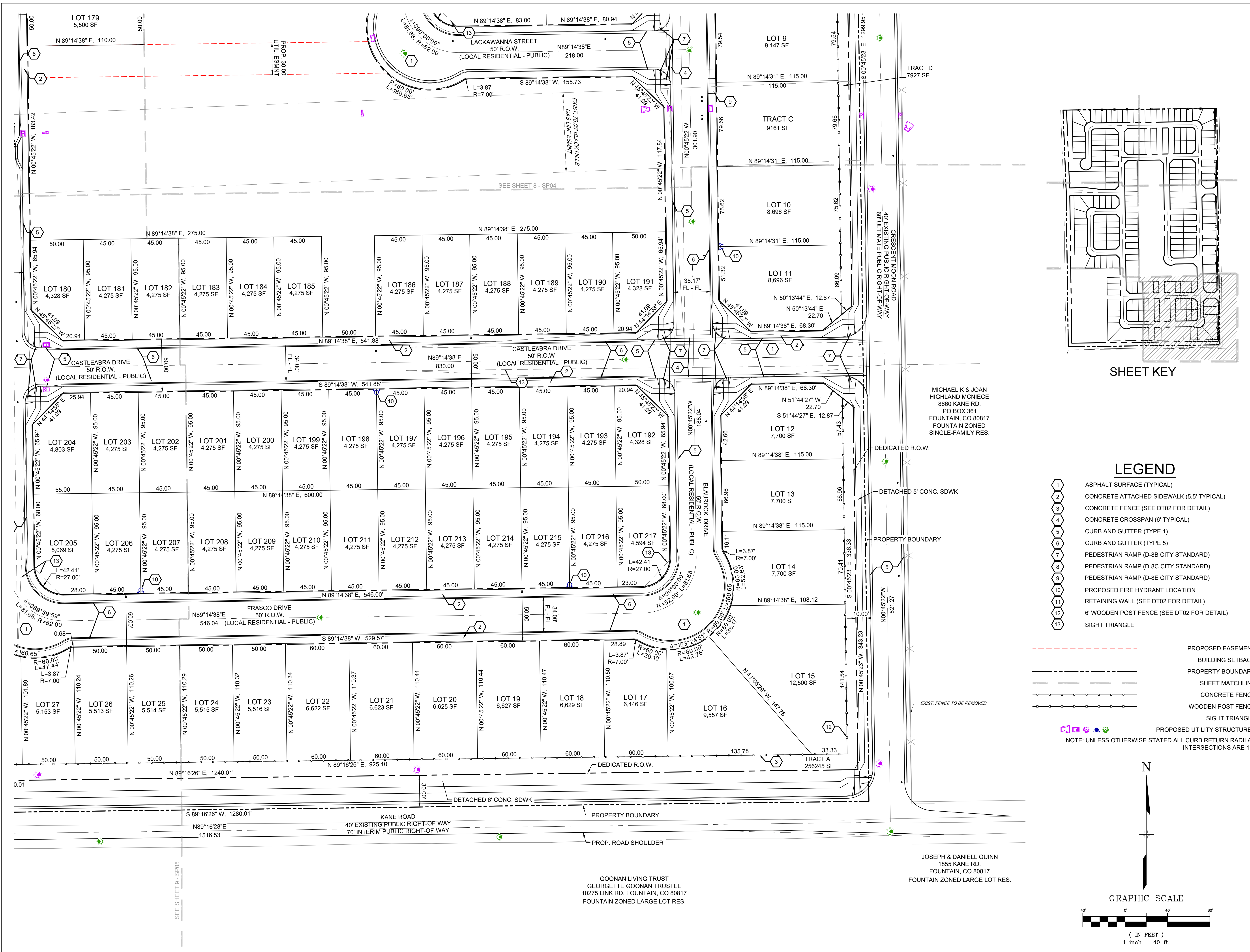
NO.	DATE	DESCRIPTION	BY
0	3/12/2020	INITIAL CITY SUBMITTAL	
1	5/30/2020	SECOND CITY SUBMITTAL	

DRAWING INFORMATION:
PROJECT NO: 19.886.023
DRAWN BY: BAS
CHECKED BY: JRA
APPROVED BY: JRA
SHEET TITLE:

PRELIMINARY SITE PLAN

SP05
SHEET 9 OF 22
CITY FILE NO.:

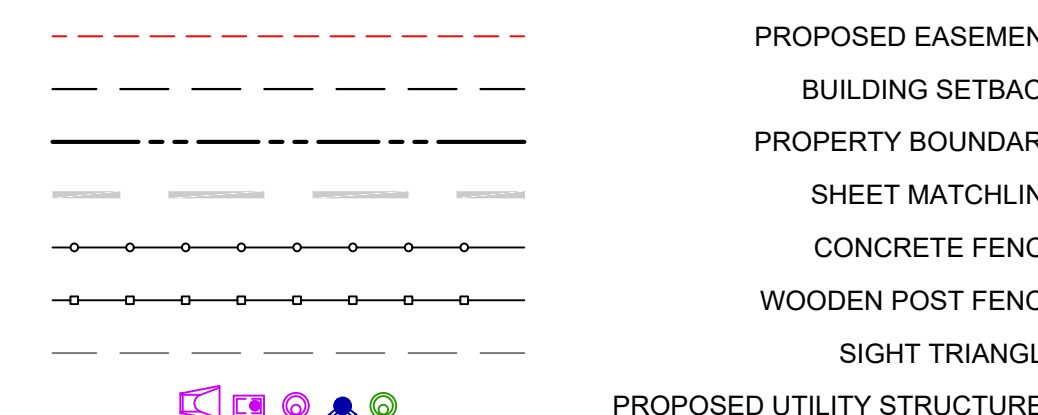
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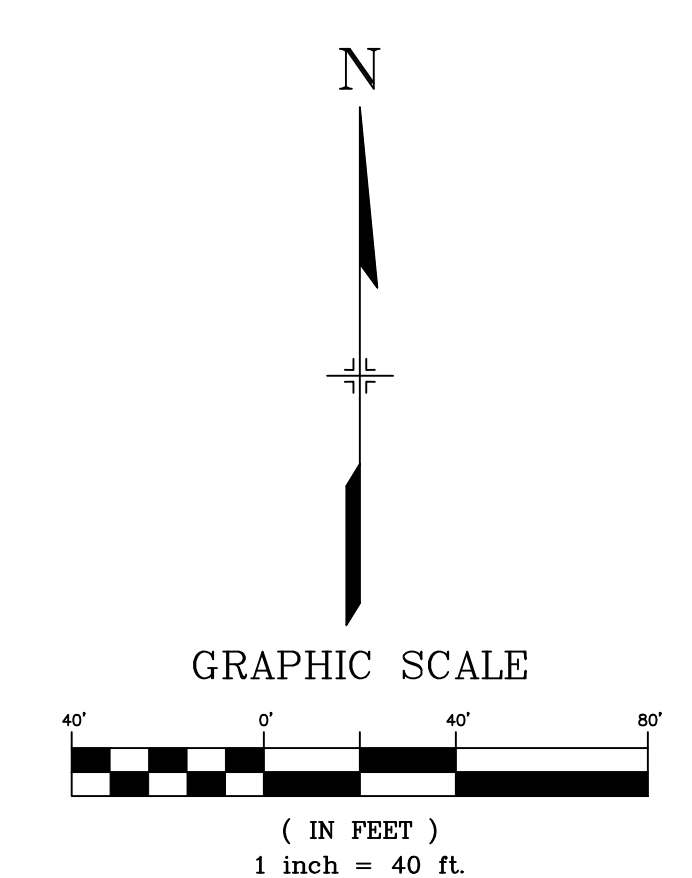
SHEET KEY

LEGEND

- 1 ASPHALT SURFACE (TYPICAL)
- 2 CONCRETE ATTACHED SIDEWALK (5.5' TYPICAL)
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NOTE: UNLESS OTHERWISE STATED ALL CURB RETURN RADII AT INTERSECTIONS ARE 15'



CONSULTANTS:
 PLANNER/LANDSCAPE ARCHITECT/CIVIL ENGINEER:
Matrix
 2435 RESEARCH PARKWAY, SUITE 300
 COLORADO SPRINGS, CO 80920
 PHONE: (719) 575-0100
 FAX: (719) 575-0208

OWNER/DEVELOPER:
COLA, LLC.
 555 MIDDLE CREEK PKWY, SUITE 380
 COLORADO SPRINGS, CO 80921
 (719) 382-9433

VICINITY MAP:

 1" = 2000'

PROJECT:
**ASPEN RANCH
 PRELIMINARY PLAT**

FOUNTAIN, CO
 5/30/2020

REVISION HISTORY:			
NO.	DATE	DESCRIPTION	BY
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DRAWING INFORMATION:
 PROJECT NO: 19.886.023
 DRAWN BY: BAS
 CHECKED BY: JRA
 APPROVED BY: JRA
 SHEET TITLE:

PRELIMINARY SITE PLAN

SP06

SHEET 10 OF 22

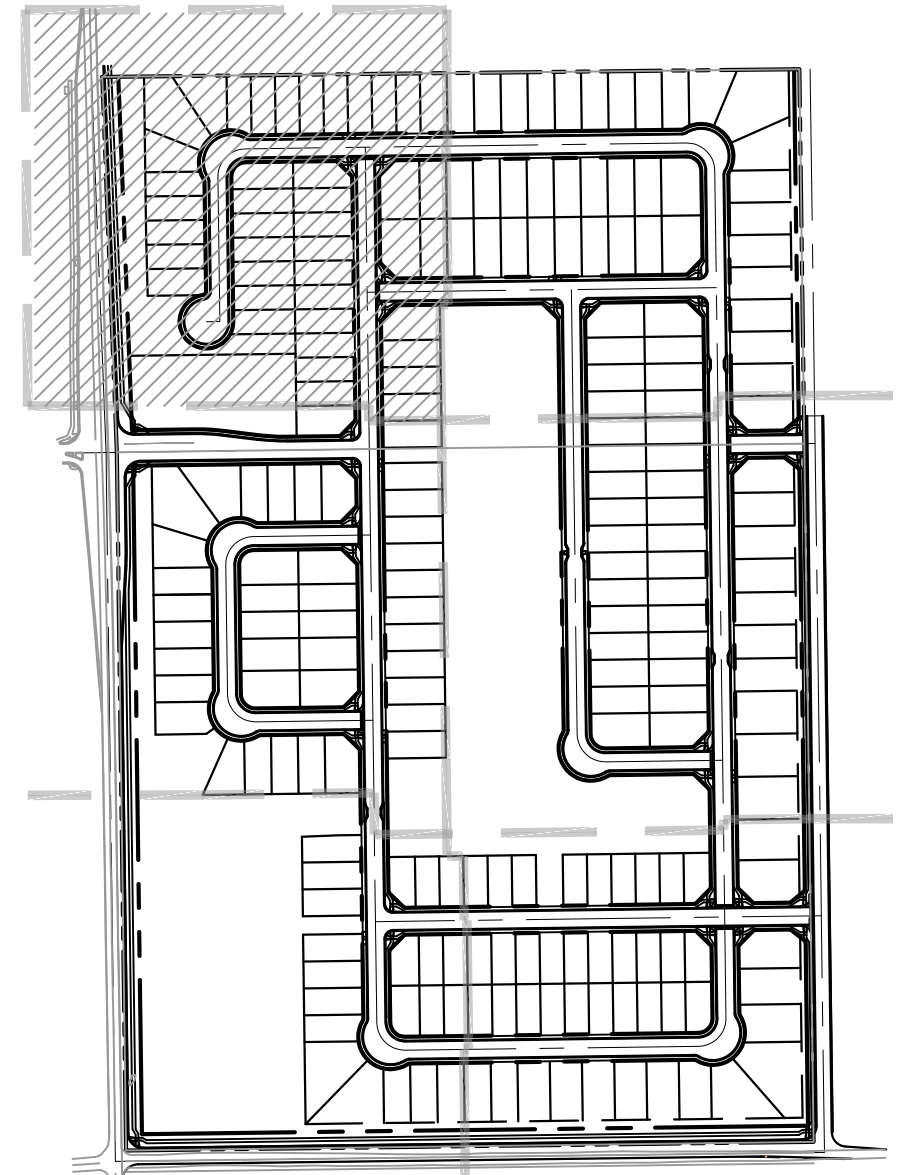
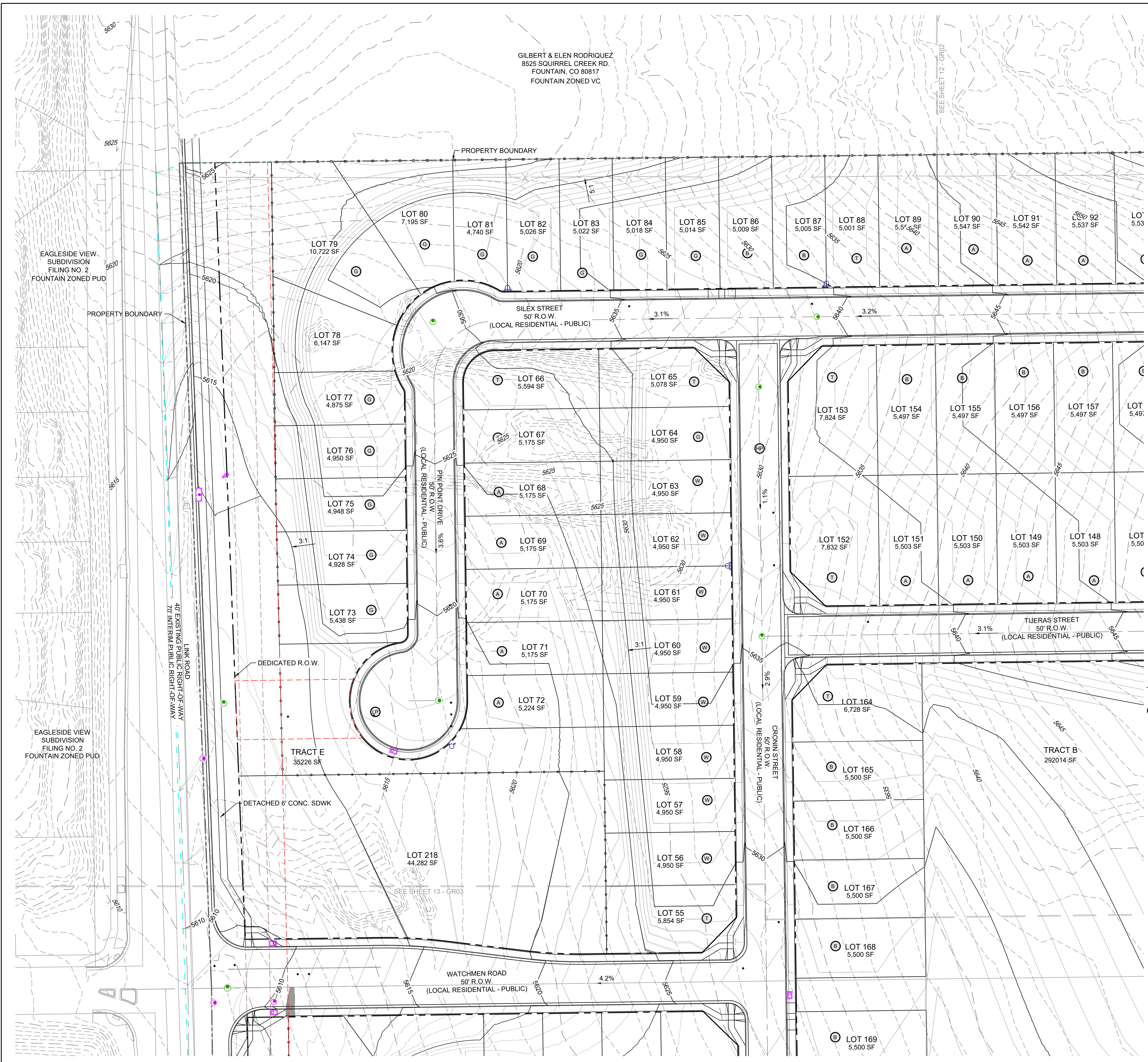
CITY FILE NO.:

MICHAEL K & JOAN
 HIGHLAND MCNIECE
 8660 KANE RD.
 PO BOX 361
 FOUNTAIN, CO 80817
 FOUNTAIN ZONED
 SINGLE-FAMILY RES.

JOSEPH & DANIEL QUINN
 1855 KANE RD.
 FOUNTAIN, CO 80817
 FOUNTAIN ZONED LARGE LOT RES.

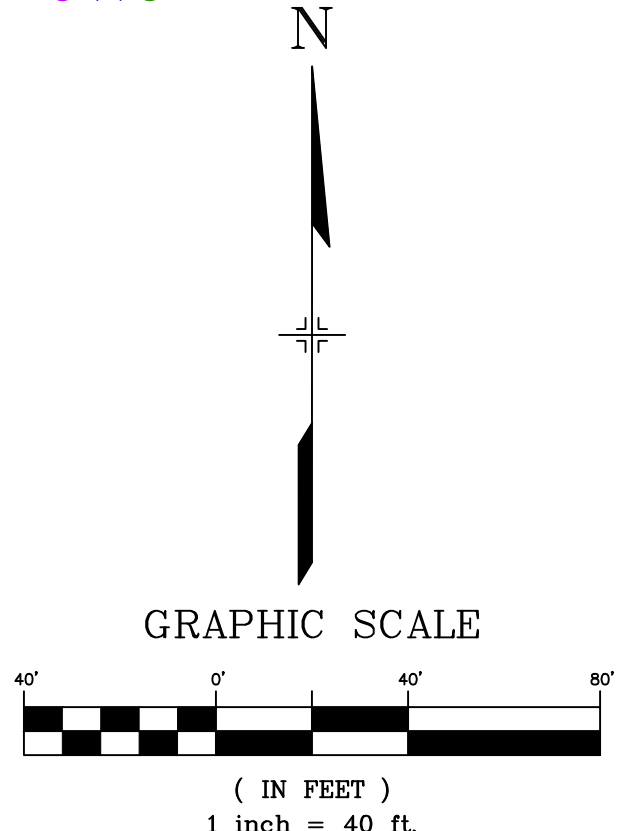
GOONAN LIVING TRUST
 GEORGETTE GOONAN TRUSTEE
 10275 LINK RD, FOUNTAIN, CO 80817
 FOUNTAIN ZONED LARGE LOT RES.

FILE LOCATION: S:\19.886.023 ASPEN RANCH\100 DWG\104 PLAN SETS\PRELIMINARY\PLAT\GR01.DWG



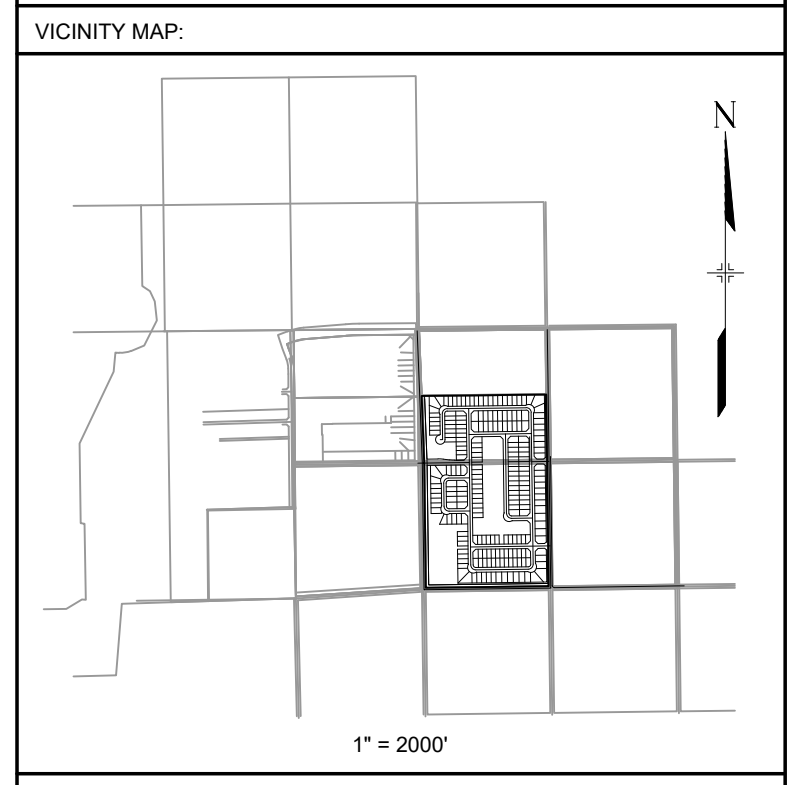
SHEET KEY

- LEGEND**
- EXISTING CONTOUR
 - PROPOSED CONTOUR
 - SPOT ELEVATION
 - SLOPE LABEL
 - LOW POINT/ HIGH POINT LABEL
 - LOT TYPE LABELS (SEE DETAILS ON SHEET 3 - DT02)
 - LIMITS OF DISTURBANCE
 - RETAINING WALL
 - PROPOSED EASEMENT
 - BUILDING SETBACK
 - PROPERTY BOUNDARY
 - SHEET MATCHLINE
 - CONCRETE FENCE
 - WOODEN POST FENCE
 - PROPOSED UTILITY STRUCTURES



CONSULTANTS:
 PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:
Matrix
 2435 RESEARCH PARKWAY, SUITE 300
 COLORADO SPRINGS, CO 80920
 PHONE: (719) 575-0100
 FAX: (719) 575-0208

OWNER/DEVELOPER:
COLA, LLC.
 555 MIDDLE CREEK PKWY, SUITE 380
 COLORADO SPRINGS, CO 80921
 (719) 382-9433



PROJECT:
**ASPEN RANCH
 PRELIMINARY PLAT**
 FOUNTAIN, CO
 5/30/2020

REVISION HISTORY:

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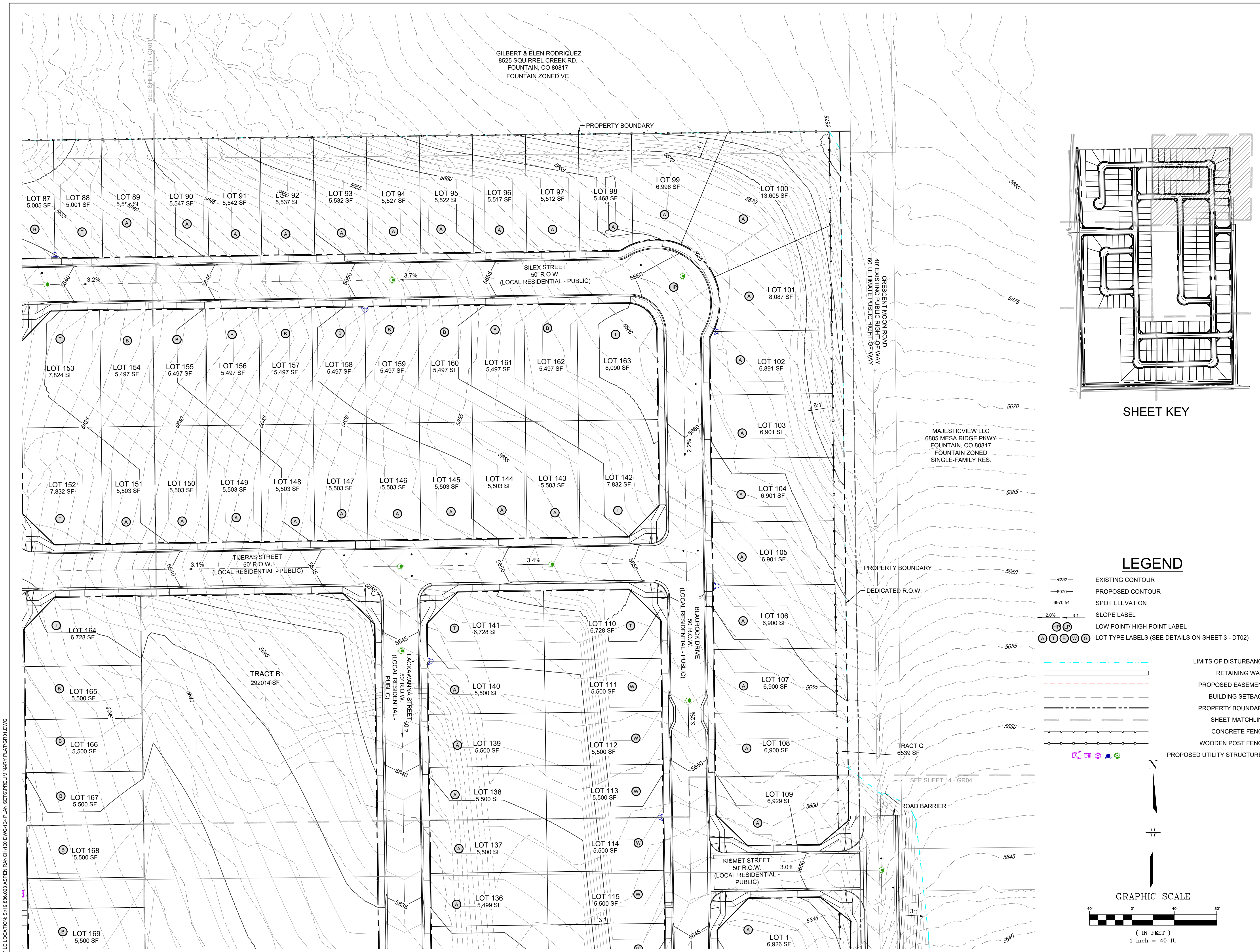
DRAWING INFORMATION:
 PROJECT NO: 19.886.023
 DRAWN BY: BAS
 CHECKED BY: JRA
 APPROVED BY: JRA

**PRELIMINARY
 GRADING PLAN**

GR01
 SHEET 11 OF 22

CITY FILE NO.:

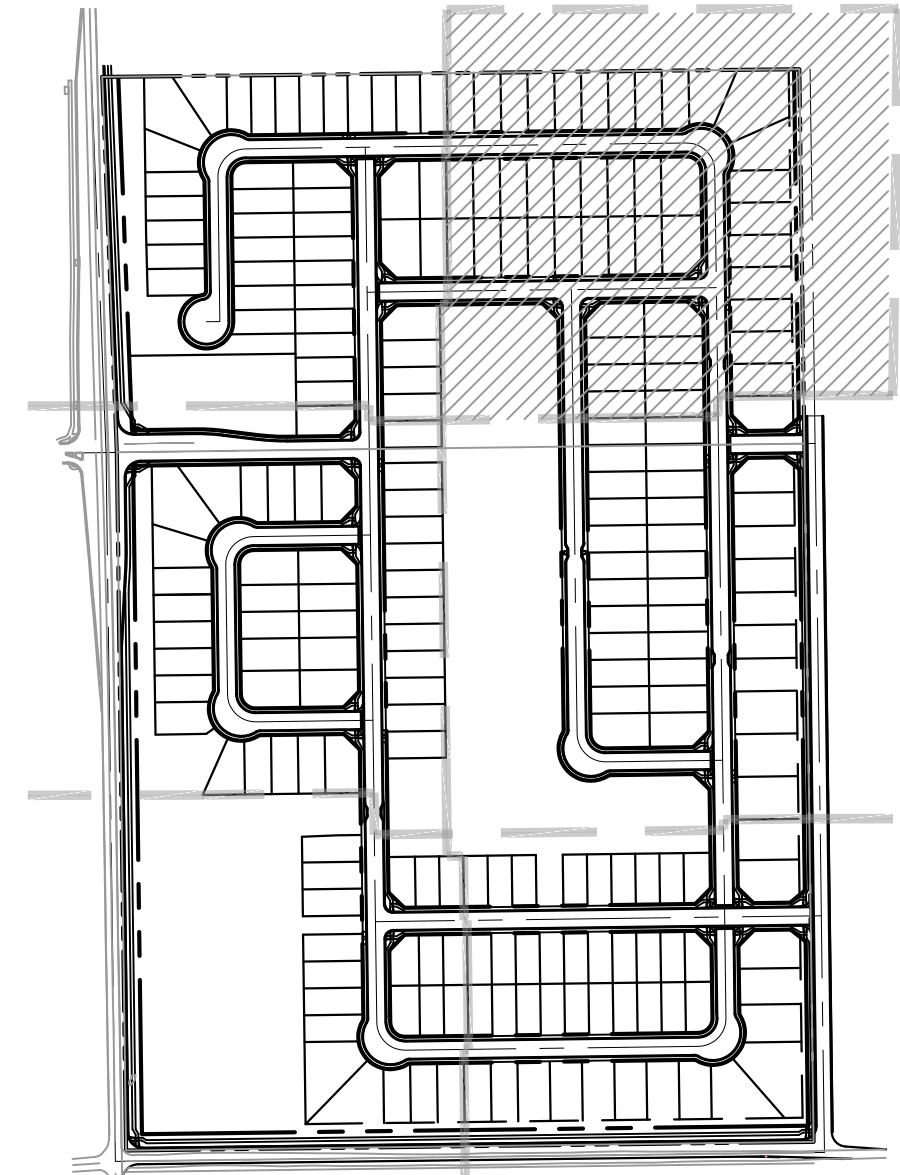
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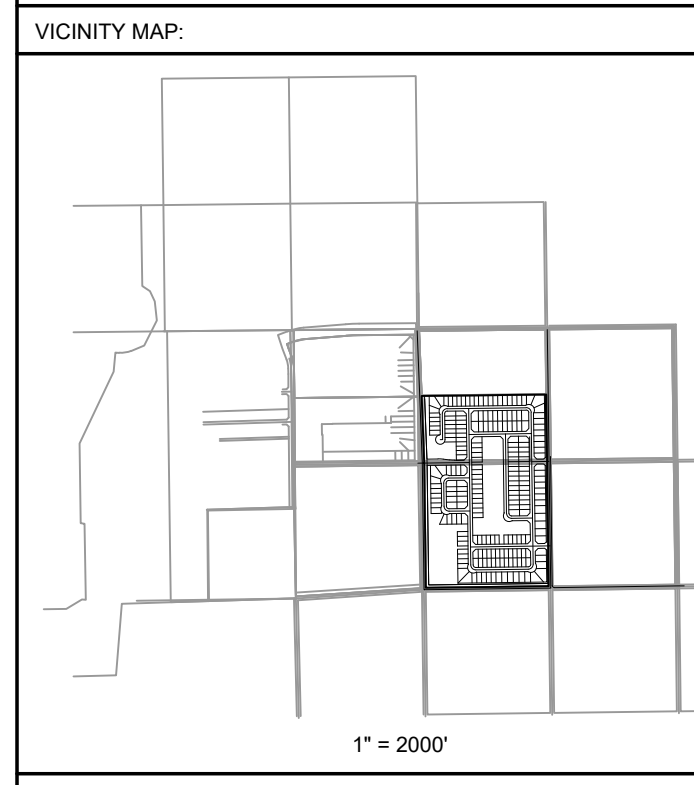
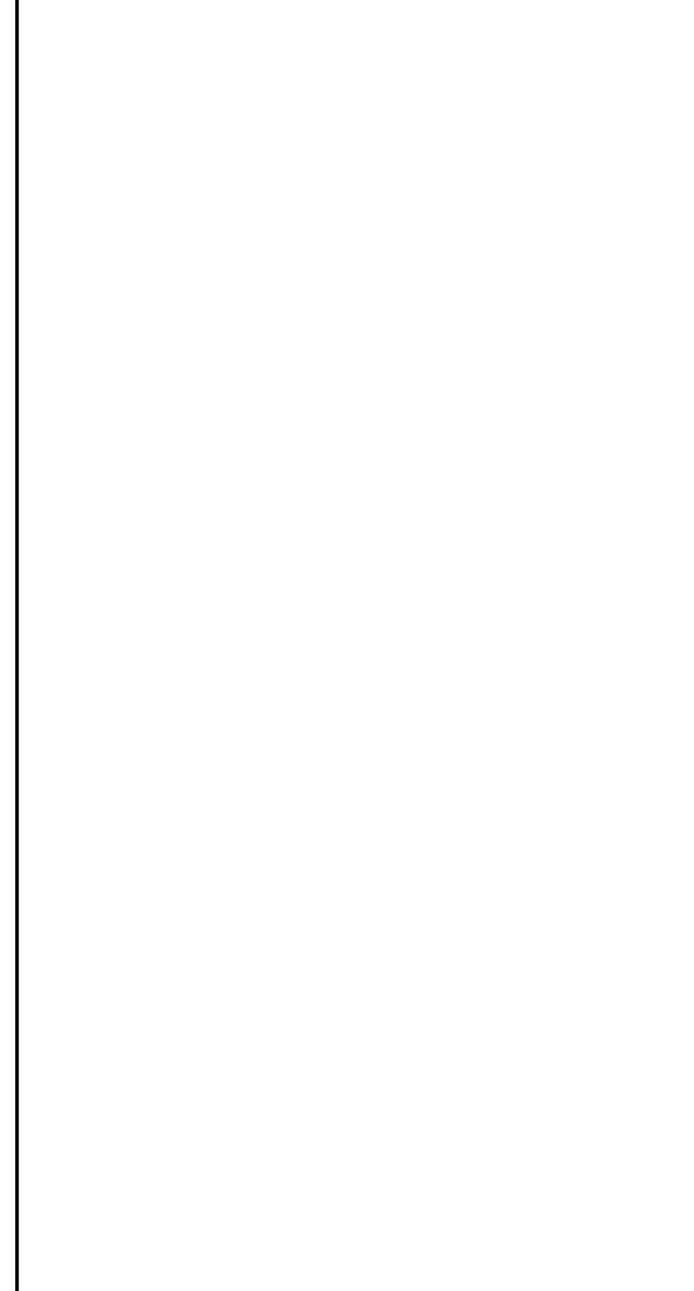
GILBERT & ELEN RODRIGUEZ
8525 SQUIRREL CREEK RD.
FOUNTAIN, CO 80817
FOUNTAIN ZONED VC

CONSULTANTS:
PLANNER/LANDSCAPE ARCHITECT/CIVIL ENGINEER:
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COLORADO SPRINGS, CO 80920
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555 MIDDLE CREEK PKWY, SUITE 380
COLORADO SPRINGS, CO 80921
(719) 382-9433

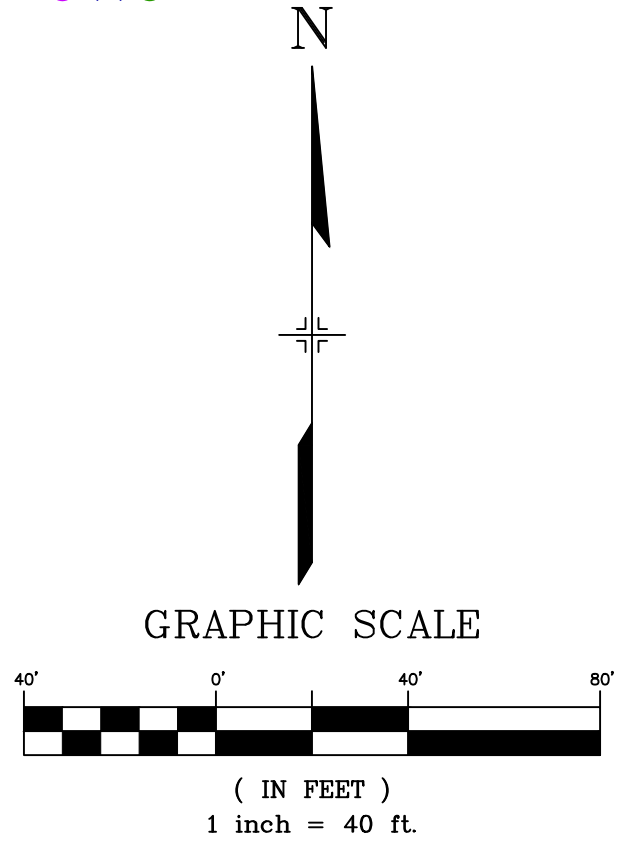


SHEET KEY



LEGEND

- 6970 — EXISTING CONTOUR
- - - 6970 - - - PROPOSED CONTOUR
- 6970.54 SPOT ELEVATION
- 2.0% 3.1% SLOPE LABEL
- (HP) (LP) LOW POINT/ HIGH POINT LABEL
- (A) (T) (B) (W) (G) LOT TYPE LABELS (SEE DETAILS ON SHEET 3 - DT02)
- LIMITS OF DISTURBANCE
- RETAINING WALL
- PROPOSED EASEMENT
- BUILDING SETBACK
- PROPERTY BOUNDARY
- SHEET MATCHLINE
- CONCRETE FENCE
- WOODEN POST FENCE
- PROPOSED UTILITY STRUCTURES



PROJECT:
**ASPEN RANCH
PRELIMINARY PLAT**
FOUNTAIN, CO
5/30/2020

REVISION HISTORY:

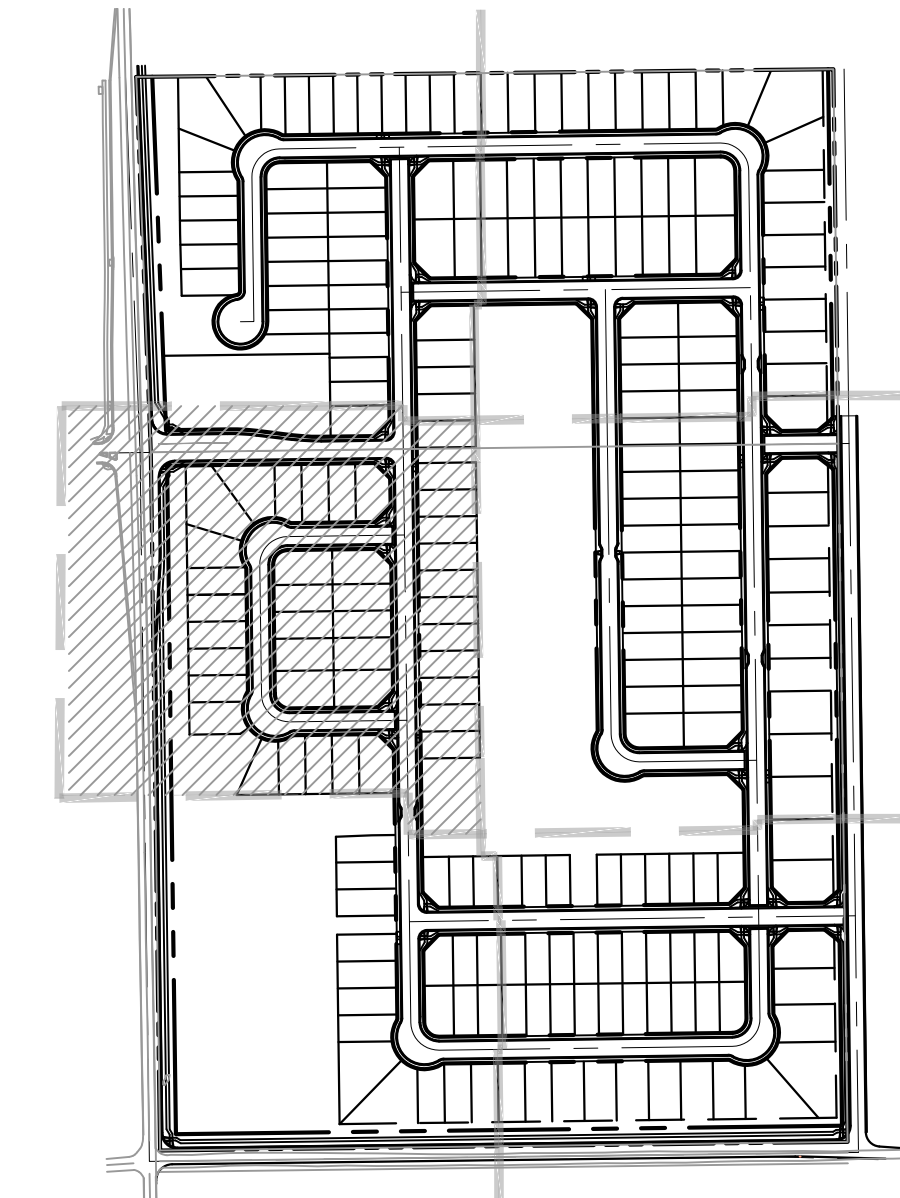
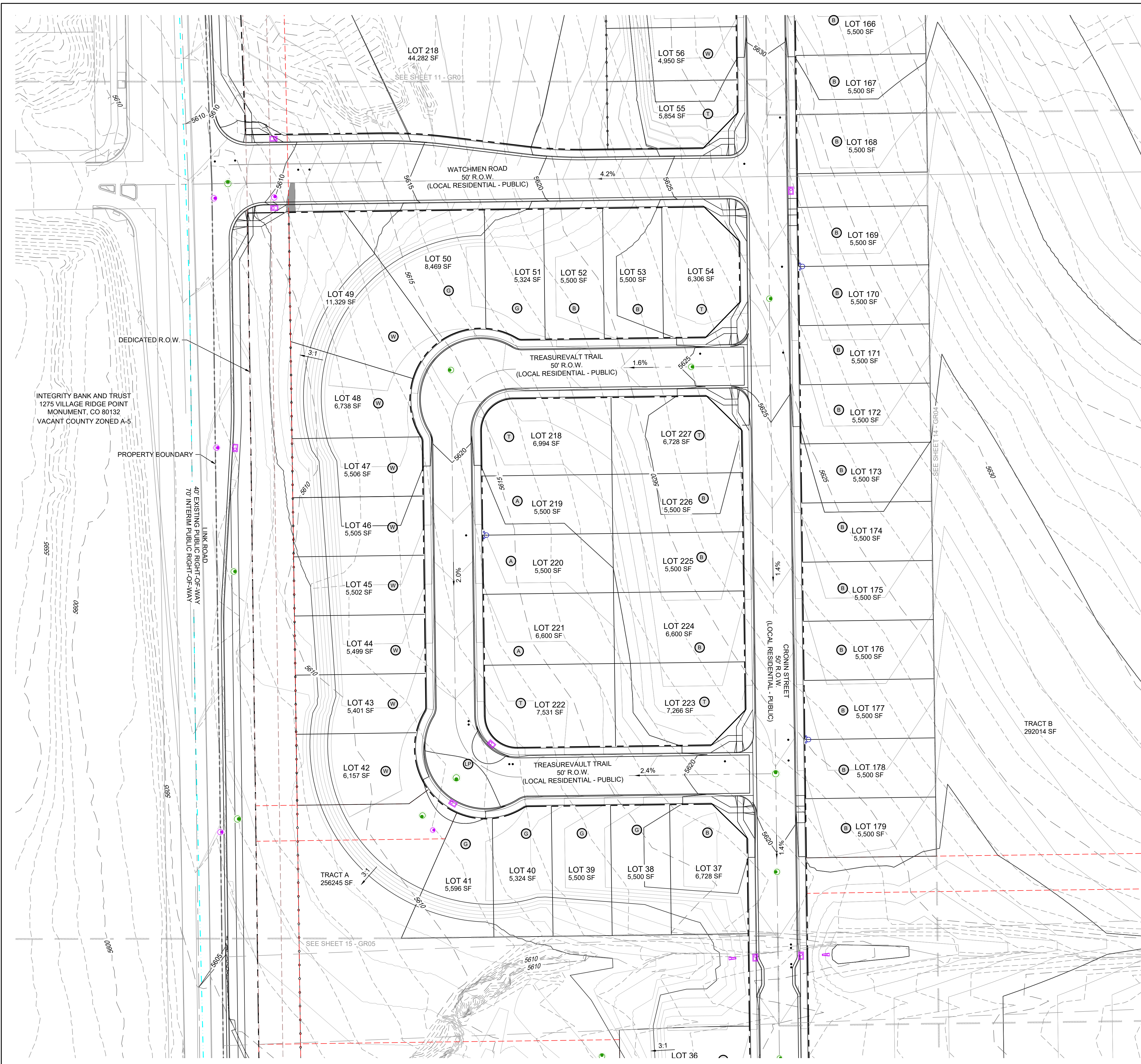
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DRAWING INFORMATION:
PROJECT NO: 19.886.023
DRAWN BY: BAS
CHECKED BY: JRA
APPROVED BY: JRA

SHEET TITLE:
**PRELIMINARY
GRADING PLAN**

GR02
SHEET 12 OF 22
CITY FILE NO.:

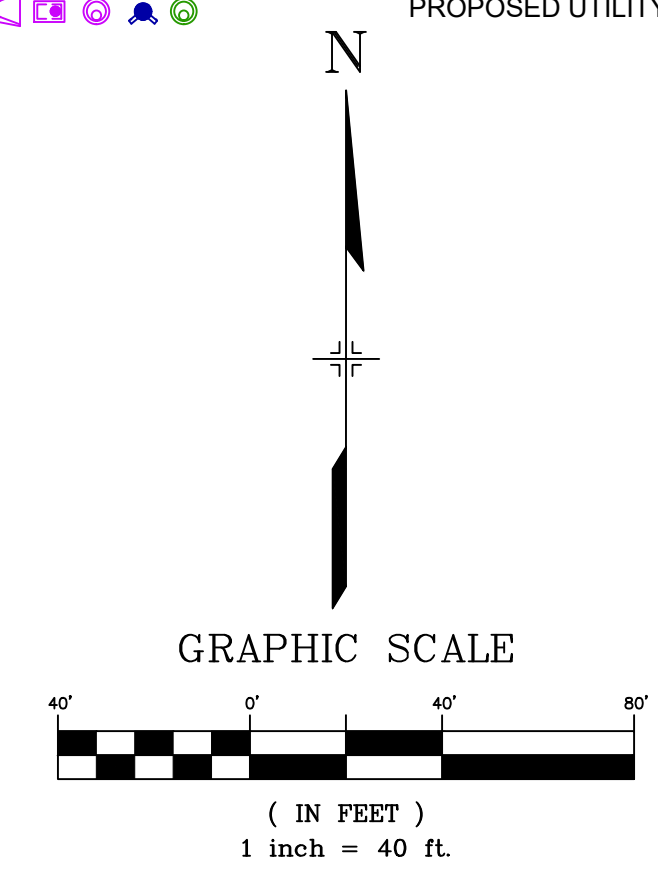
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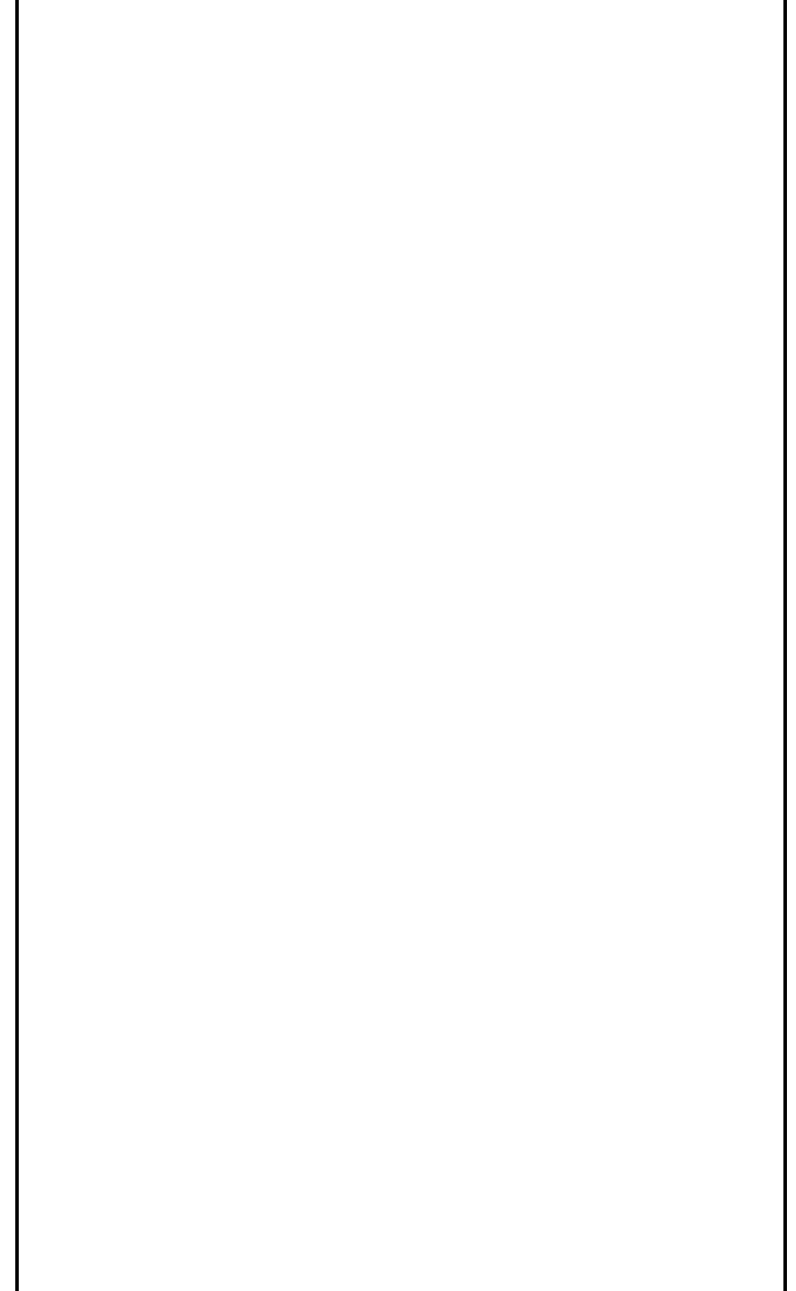
LEGEND

- 6970 — EXISTING CONTOUR
- 6970 — PROPOSED CONTOUR
- 6970.54 SPOT ELEVATION
- 2.0% 3.1% SLOPE LABEL
- (L) (H) LOW POINT/ HIGH POINT LABEL
- (A) (T) (E) (W) (G) LOT TYPE LABELS (SEE DETAILS ON SHEET 3 - DT02)
- LIMITS OF DISTURBANCE
- RETAINING WALL
- PROPOSED EASEMENT
- BUILDING SETBACK
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CONSULTANTS:
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 2435 RESEARCH PARKWAY, SUITE 300
 COLORADO SPRINGS, CO 80920
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PROJECT:

**ASPEN RANCH
 PRELIMINARY PLAT**

**FOUNTAIN, CO
 5/30/2020**

REVISION HISTORY:

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DRAWING INFORMATION:

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APPROVED BY: JRA

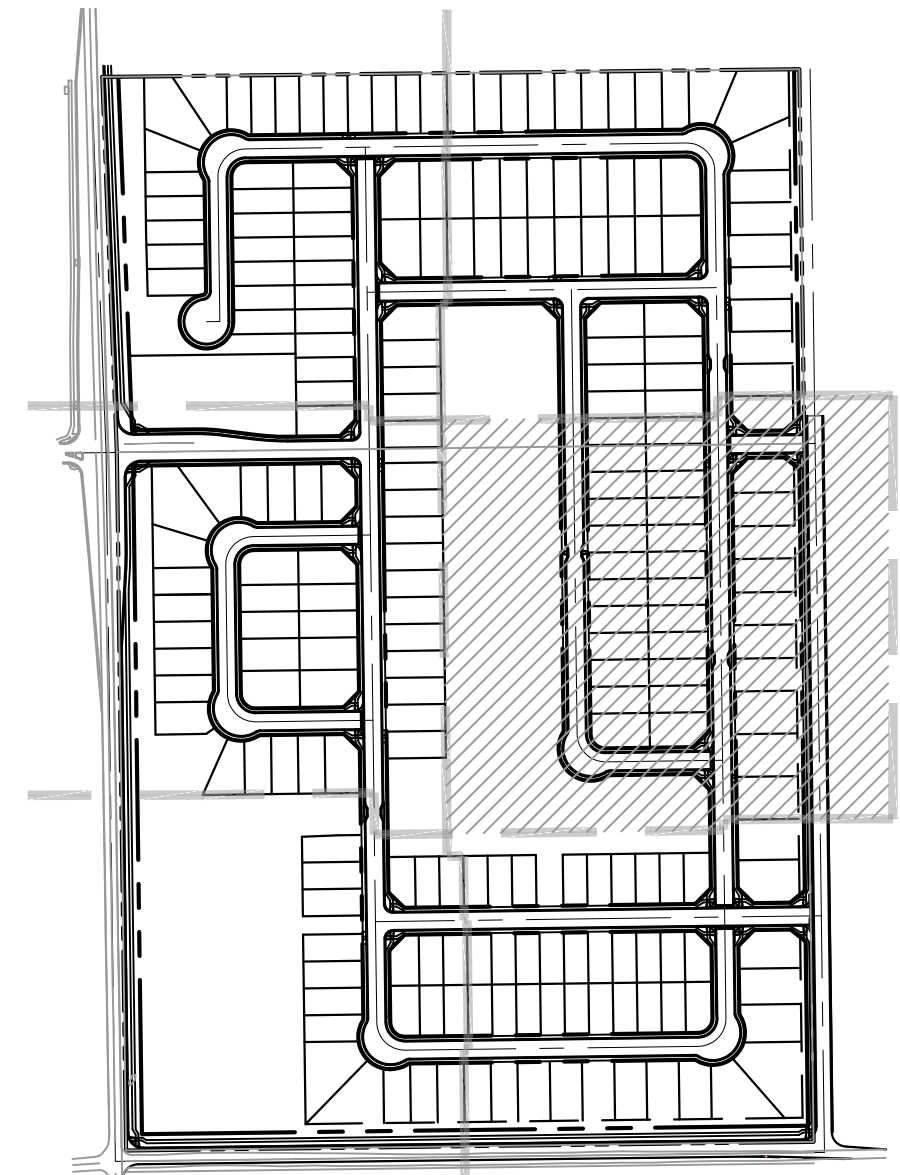
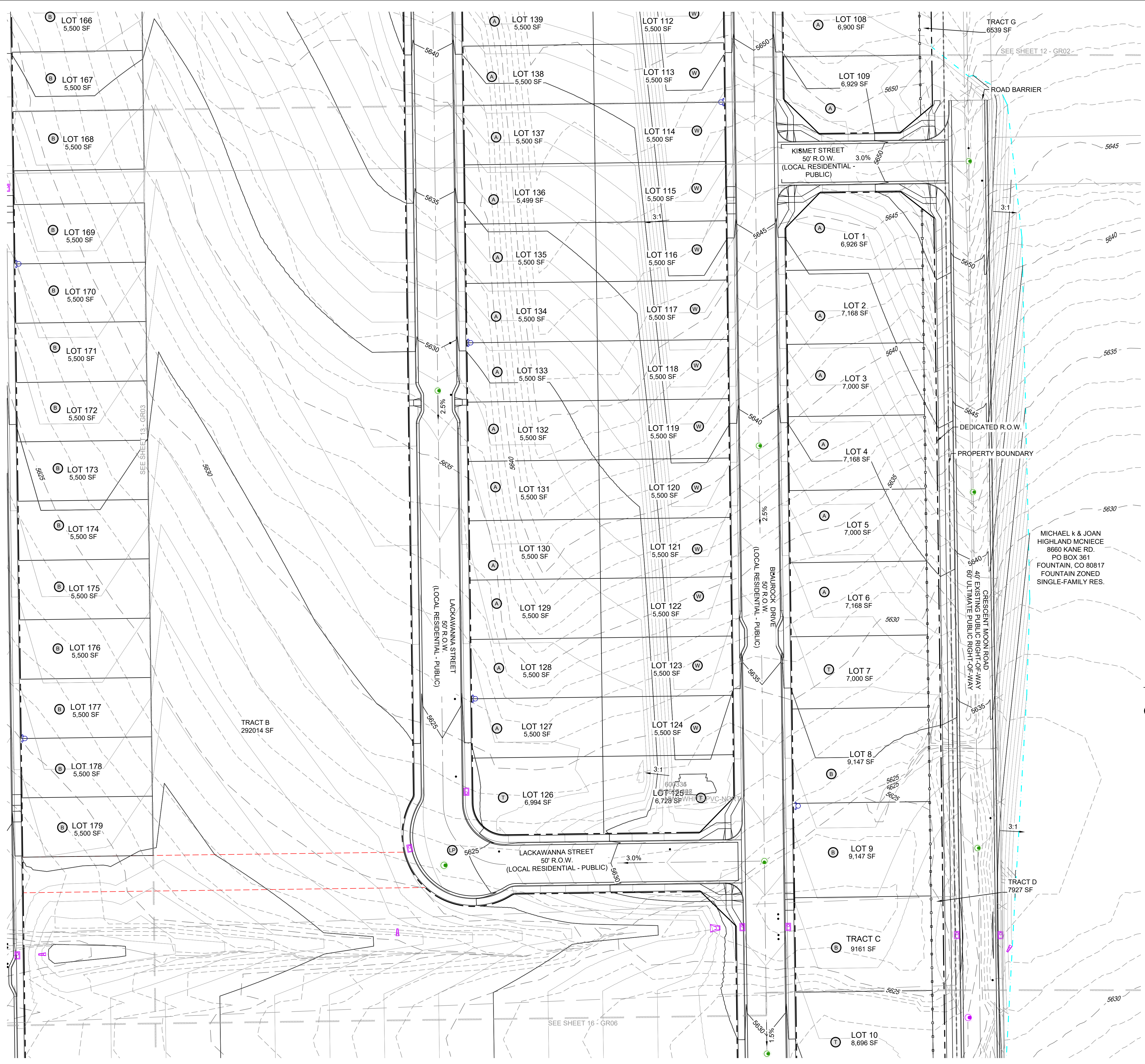
**PRELIMINARY
 GRADING PLAN**

GR03

SHEET 13 OF 22

CITY FILE NO.:

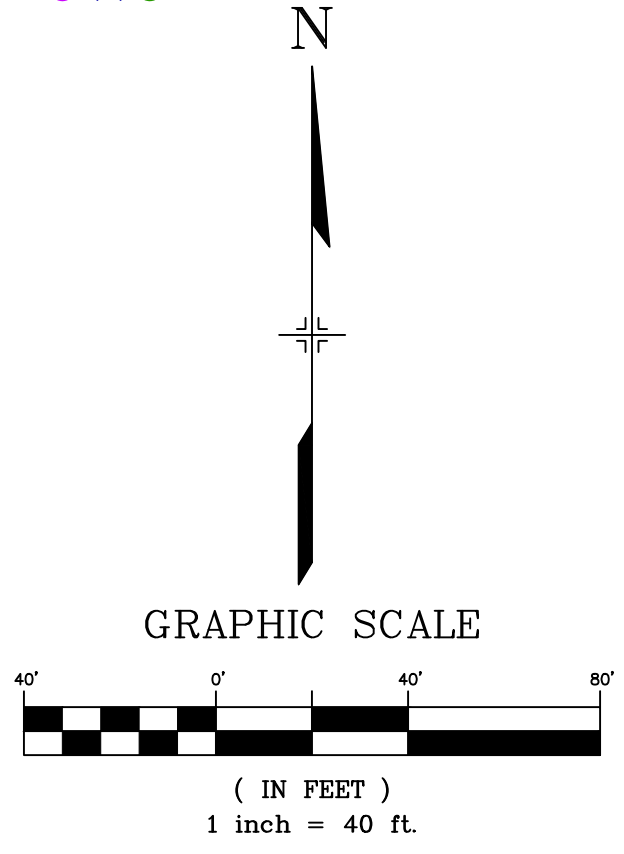
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SHEET KEY

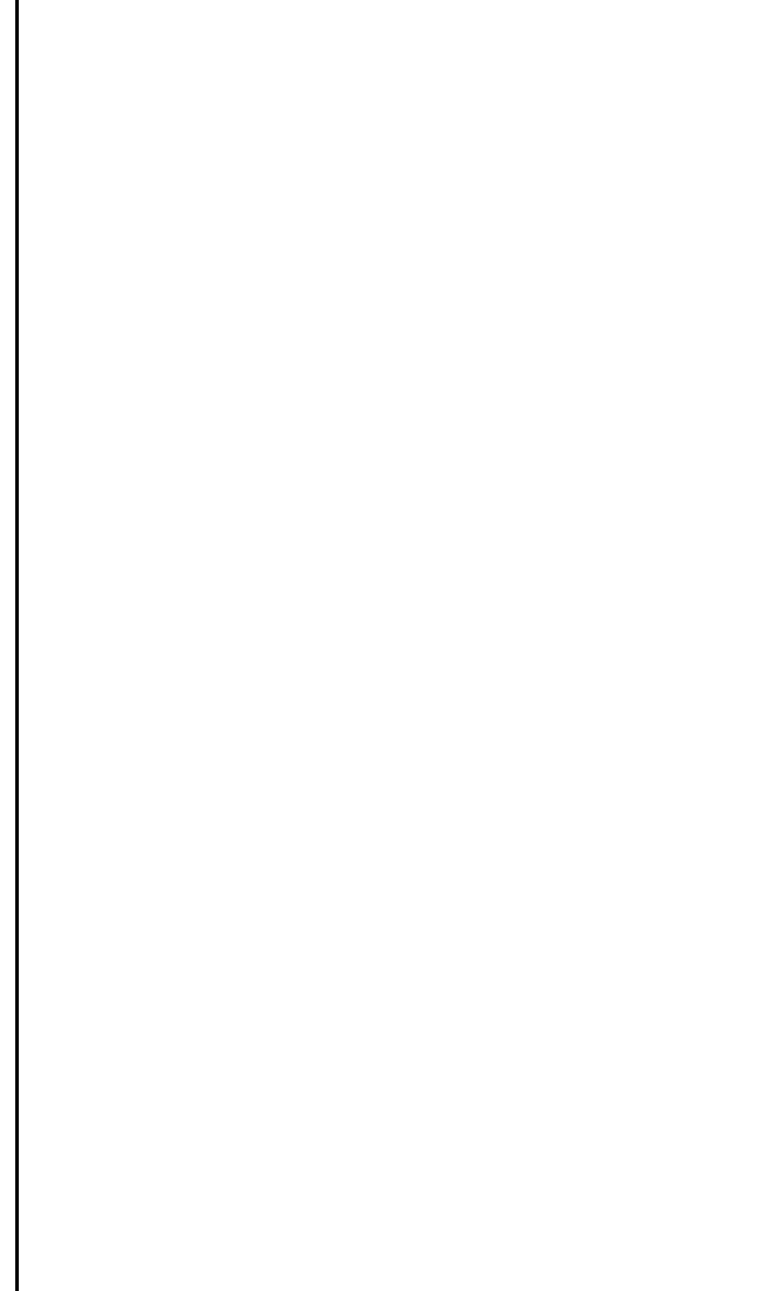
LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- SPOT ELEVATION
- SLOPE LABEL
- LOW POINT/ HIGH POINT LABEL
- LOT TYPE LABELS (SEE DETAILS ON SHEET 3 - DT02)
- LIMITS OF DISTURBANCE
- RETAINING WALL
- PROPOSED EASEMENT
- BUILDING SETBACK
- PROPERTY BOUNDARY
- SHEET MATCHLINE
- CONCRETE FENCE
- WOODEN POST FENCE
- PROPOSED UTILITY STRUCTURES



CONSULTANTS:
 PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:
Matrix
 2435 RESEARCH PARKWAY, SUITE 300
 COLORADO SPRINGS, CO 80920
 PHONE: (719) 575-0100
 FAX: (719) 575-0208

OWNER/DEVELOPER:
COLA, LLC.
 555 MIDDLE CREEK PKWY, SUITE 380
 COLORADO SPRINGS, CO 80921
 (719) 382-9433



PROJECT:
**ASPEN RANCH
 PRELIMINARY PLAT**
 FOUNTAIN, CO
 5/30/2020

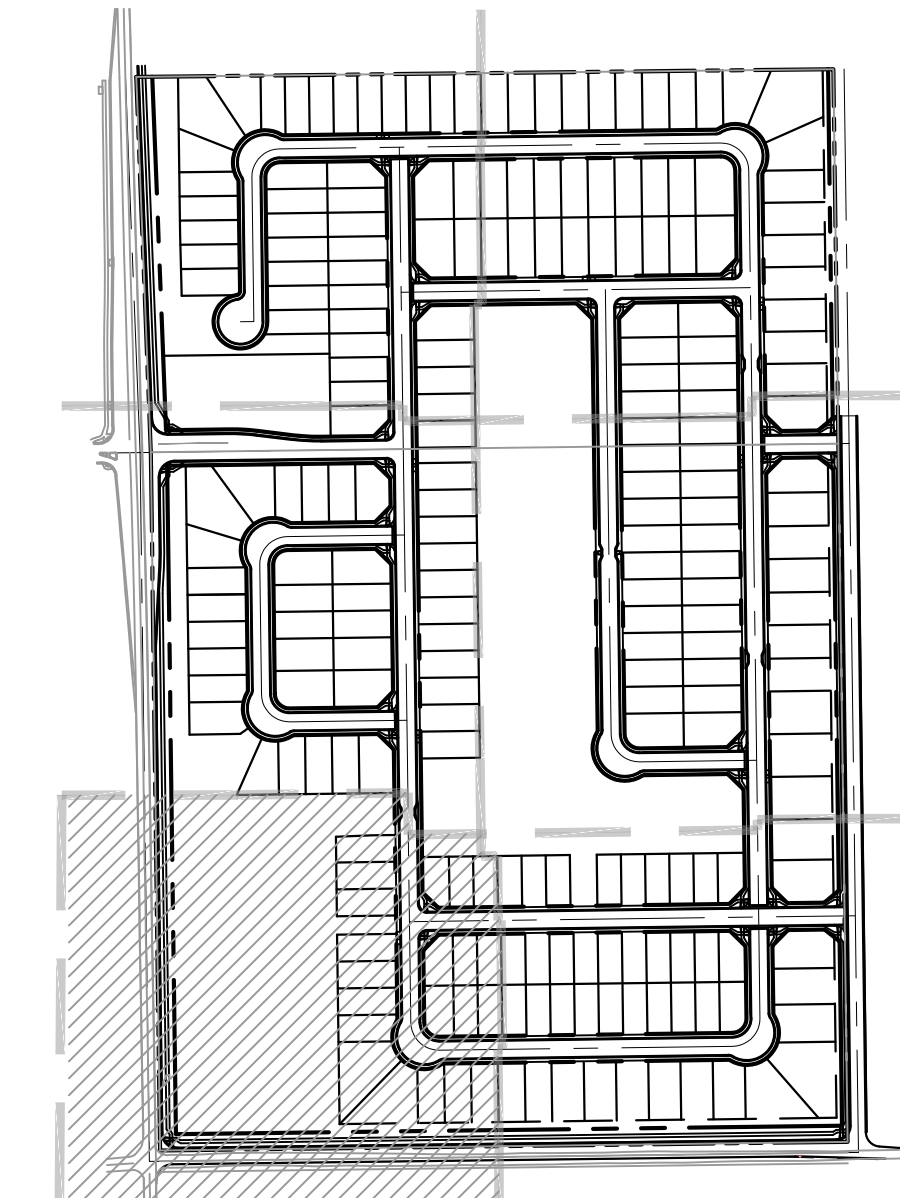
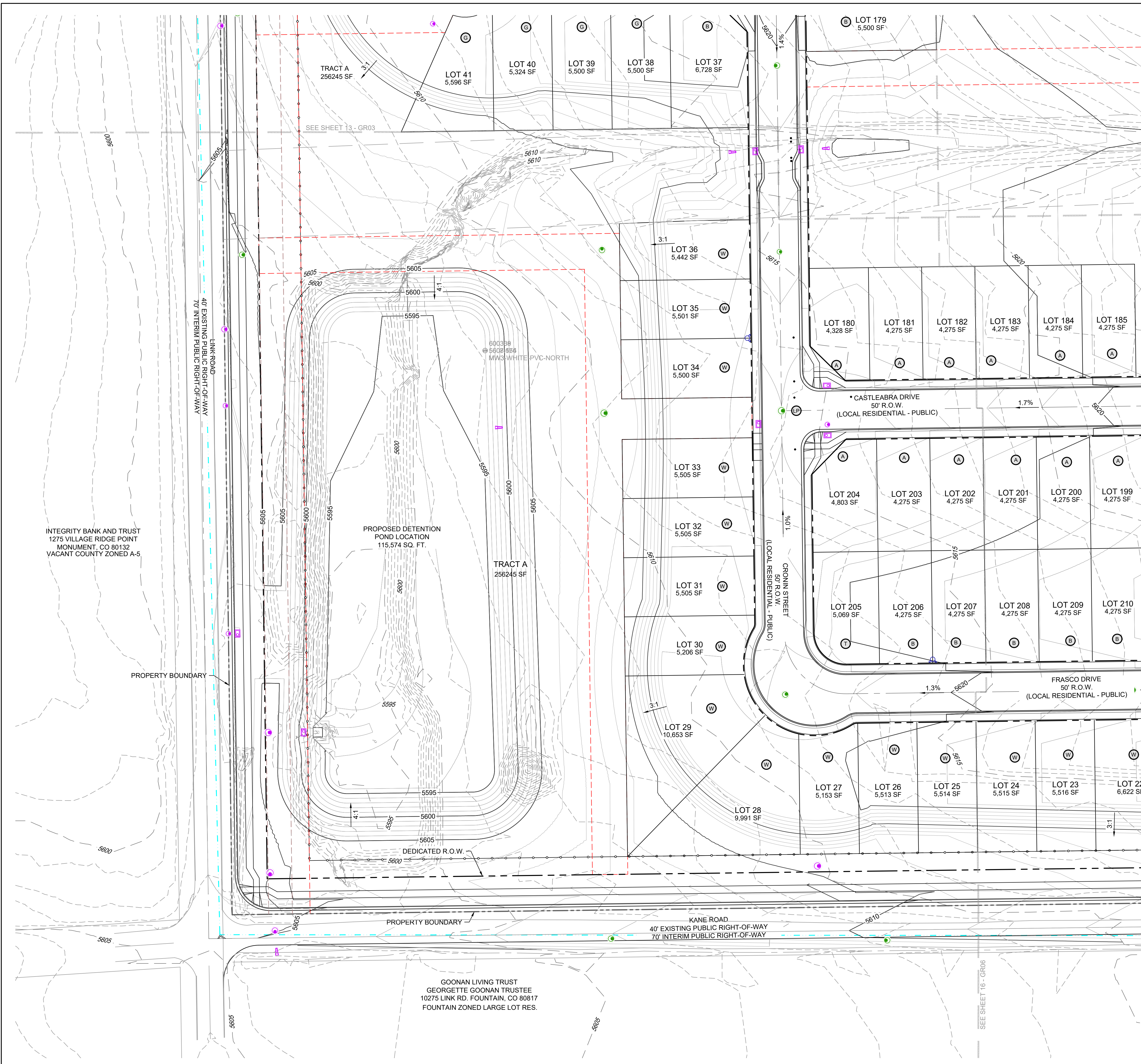
REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY
0	3/12/2020	INITIAL CITY SUBMITTAL	
1	5/30/2020	SECOND CITY SUBMITTAL	

DRAWING INFORMATION:
 PROJECT NO: 19.886.023
 DRAWN BY: BAS
 CHECKED BY: JRA
 APPROVED BY: JRA

SHEET TITLE:
**PRELIMINARY
 GRADING PLAN**
GR04
 SHEET 14 OF 22

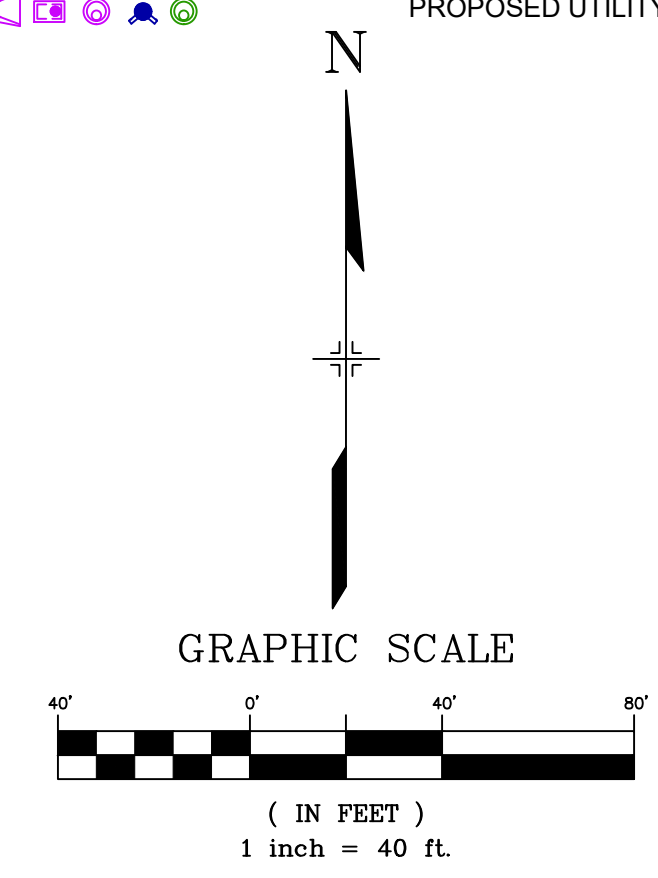
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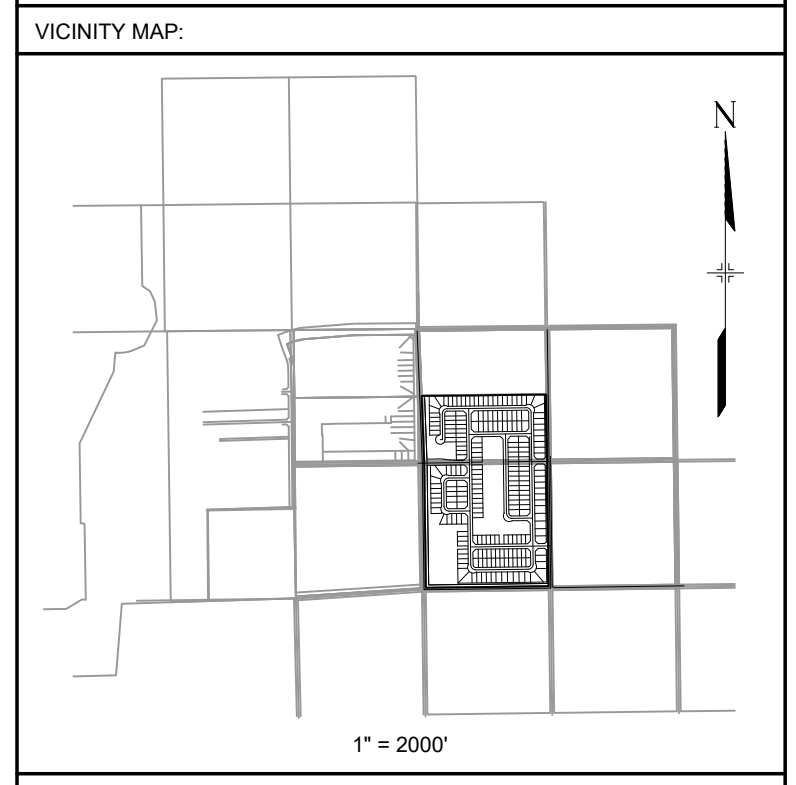
LEGEND

- 6970 --- EXISTING CONTOUR
 - 6970 — PROPOSED CONTOUR
 - 6970.54 SPOT ELEVATION
 - 2.0% 3.1% SLOPE LABEL
 - (L) (H) LOW POINT/ HIGH POINT LABEL
 - (A) (T) (E) (W) (G) LOT TYPE LABELS (SEE DETAILS ON SHEET 3 - DT02)
-
- LIMITS OF DISTURBANCE
 - RETAINING WALL
 - PROPOSED EASEMENT
 - BUILDING SETBACK
 - PROPERTY BOUNDARY
 - SHEET MATCHLINE
 - CONCRETE FENCE
 - WOODEN POST FENCE
 - PROPOSED UTILITY STRUCTURES



CONSULTANTS:
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COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100
FAX: (719) 575-0208

OWNER/DEVELOPER:
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COLORADO SPRINGS, CO 80921
(719) 382-9433



PROJECT:
**ASPEN RANCH
PRELIMINARY PLAT**
FOUNTAIN, CO
5/30/2020

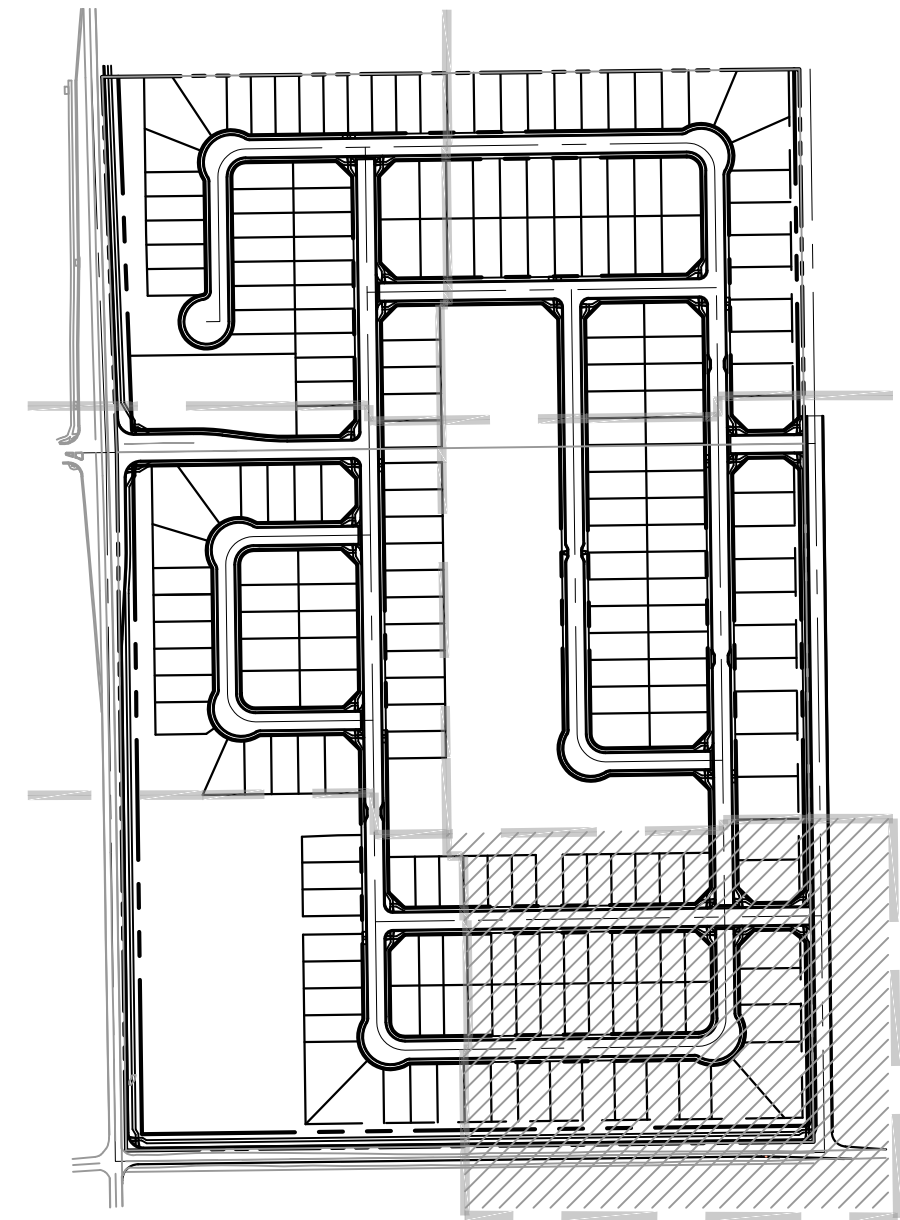
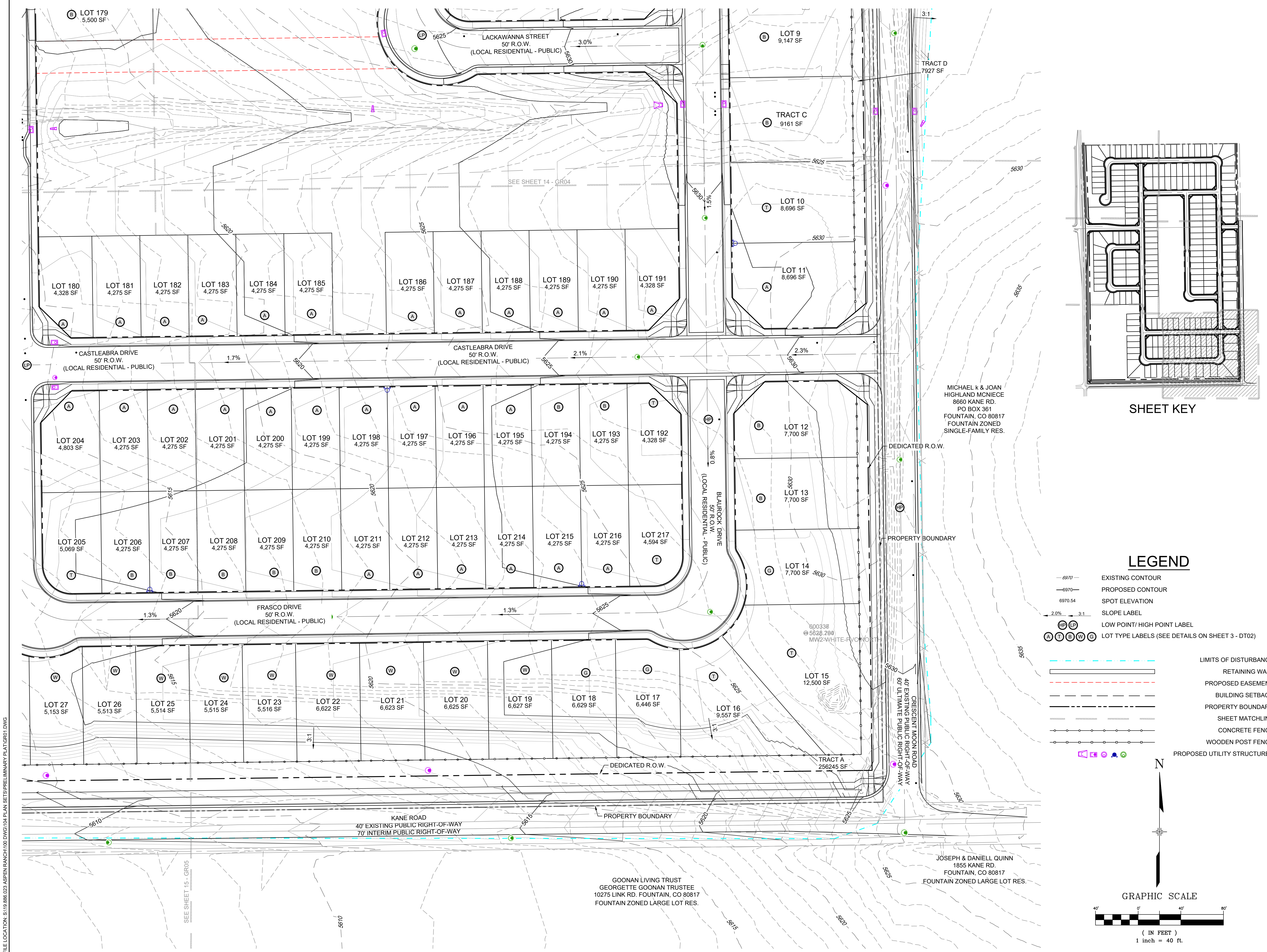
REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY
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1	5/30/2020	SECOND CITY SUBMITTAL	

DRAWING INFORMATION:
PROJECT NO: 19.886.023
DRAWN BY: BAS
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APPROVED BY: JRA

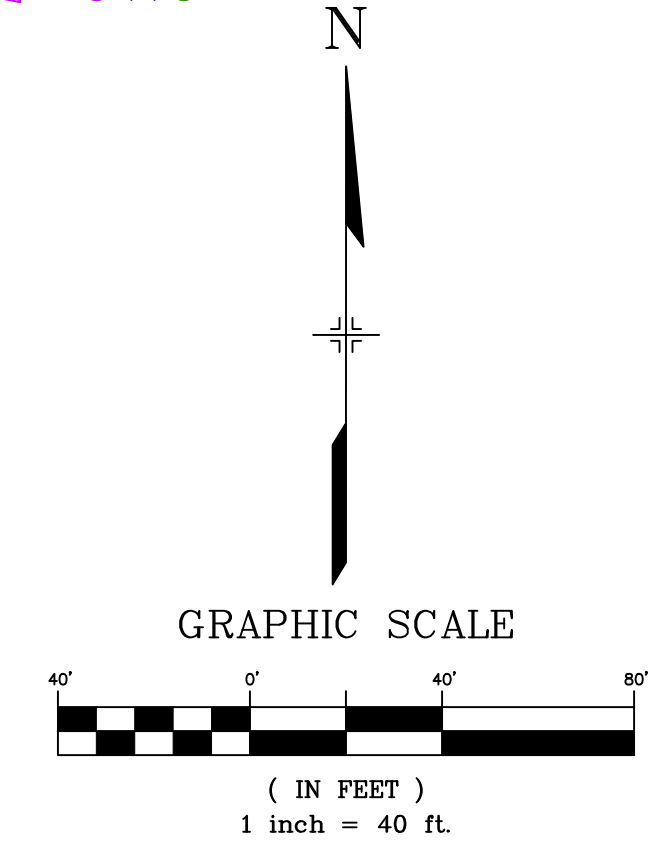
SHEET TITLE:
**PRELIMINARY
GRADING PLAN**

GR05
SHEET 15 OF 22
CITY FILE NO.:



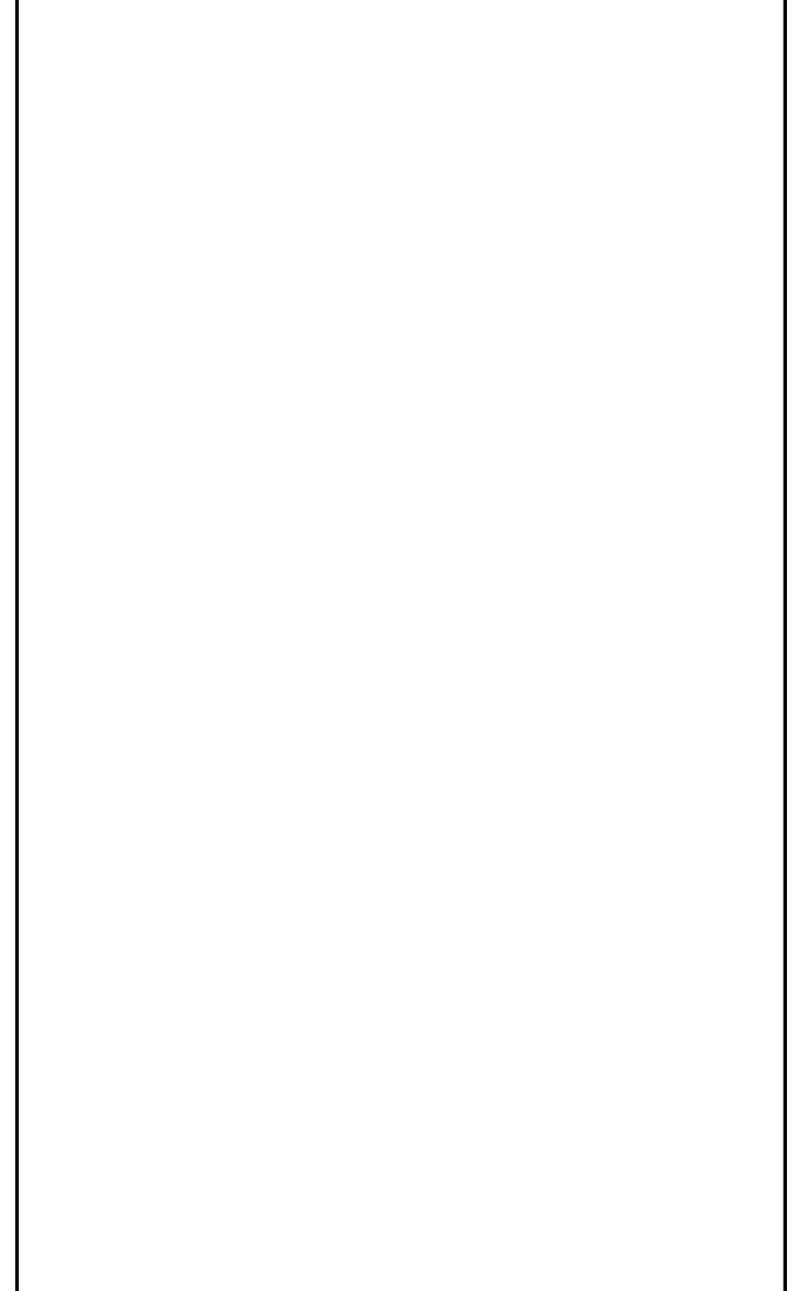
LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- SPOT ELEVATION
- SLOPE LABEL
- LOW POINT/ HIGH POINT LABEL
- LOT TYPE LABELS (SEE DETAILS ON SHEET 3 - DT02)
- LIMITS OF DISTURBANCE
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- PROPOSED EASEMENT
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OWNER/DEVELOPER:
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 (719) 382-9433



PROJECT:
**ASPEN RANCH
 PRELIMINARY PLAT**
 FOUNTAIN, CO
 5/30/2020

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY
0	3/12/2020	INITIAL CITY SUBMITTAL	
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 PROJECT NO: 19.886.023
 DRAWN BY: BAS
 CHECKED BY: JRA
 APPROVED BY: JRA

PRELIMINARY GRADING PLAN

GR06
 SHEET 16 OF 22

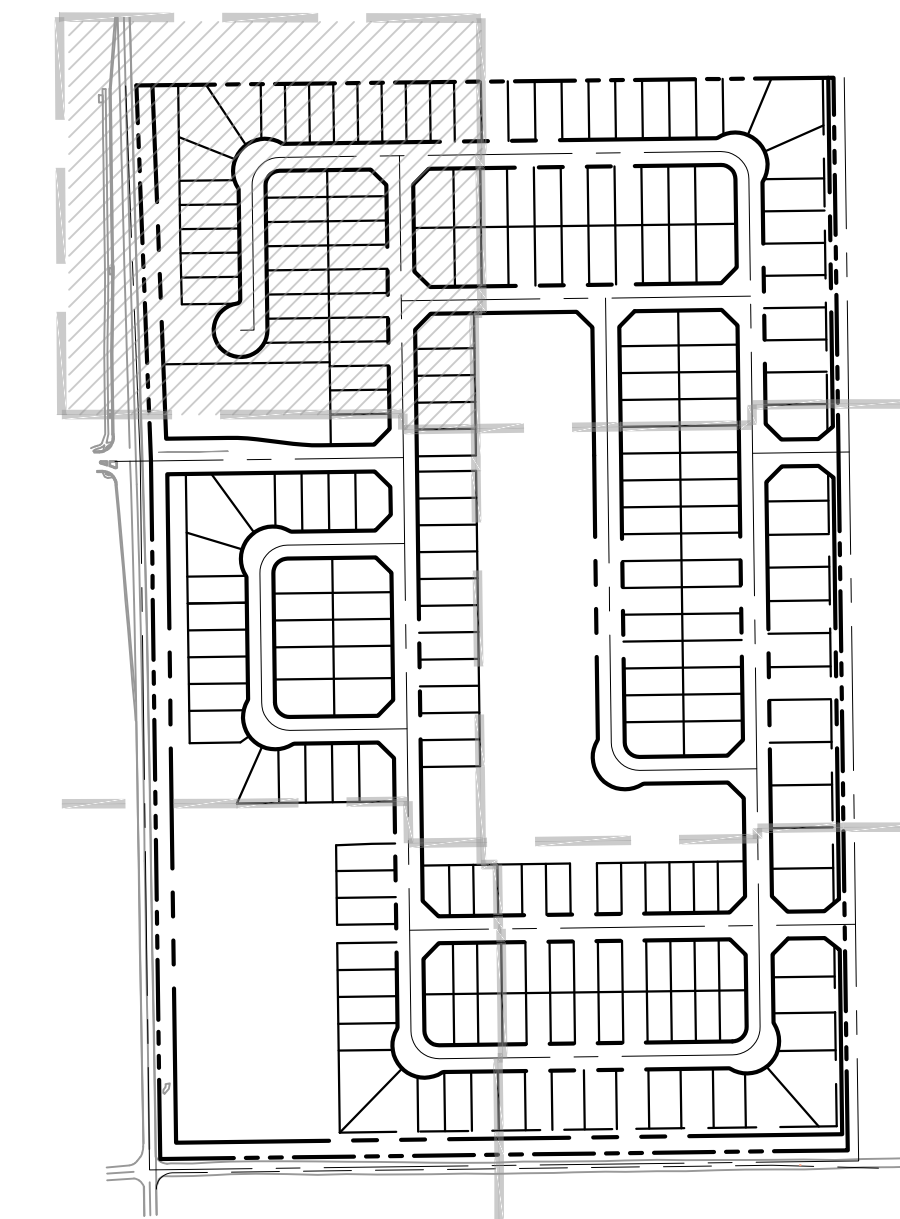
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GILBERT & ELEN RODRIGUEZ
8525 SQUIRREL CREEK RD.
FOUNTAIN, CO 80817
FOUNTAIN ZONED VC

SEE SHEET 18 - UT02

CONSULTANTS:
PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:
Matrix
2435 RESEARCH PARKWAY, SUITE 300
COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100
FAX: (719) 575-0208

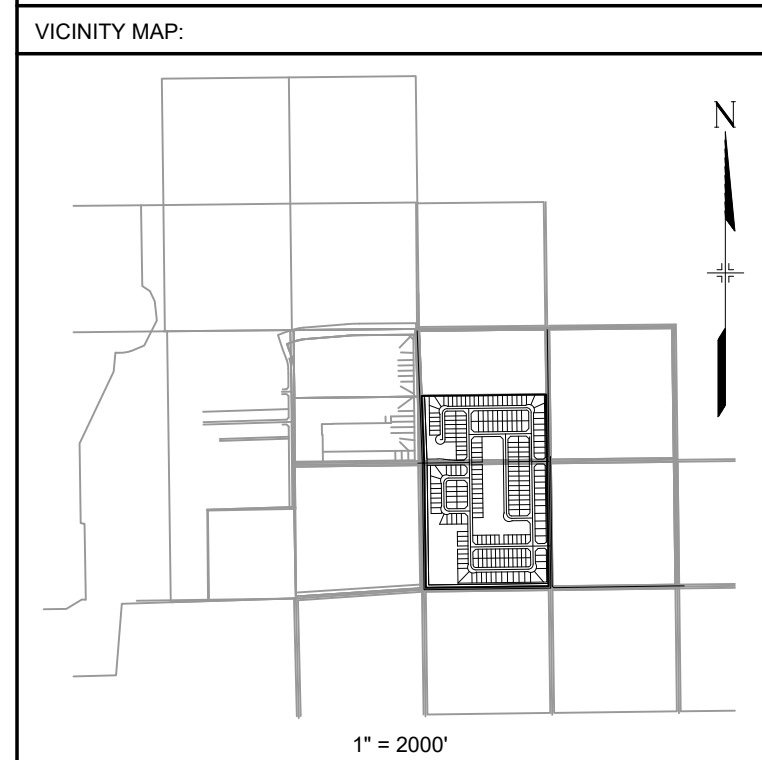
OWNER/DEVELOPER:
COLA, LLC.
555 MIDDLE CREEK PKWY, SUITE 380
COLORADO SPRINGS, CO 80921
(719) 382-9433



SHEET KEY

LEGEND

- EXISTING STORM DRAIN
 - PROP. STORM DRAIN
 - PROP. STORM DRAIN OUTLETS
 - PROP. STORM INLETS
 - PROP. STORM MANHOLE
 - EXISTING WATER MAIN
 - PROP. PUBLIC PVC WATER MAIN
 - PROP. FIRE HYDRANT
 - EXISTING SANITARY SEWER MAIN
 - PROP. PUBLIC PVC SANITARY SEWER MAIN
 - PROP. SANITARY SEWER MANHOLE
 - PROP. EASEMENT
 - BUILDING SETBACK
 - WOODEN POST FENCE (SEE DT02 FOR DETAIL)
 - CONCRETE FENCE (SEE DT02 FOR DETAIL)
 - PROPERTY BOUNDARY
 - SHEET MATCHLINE
 - PROPOSED WATER SERVICE
 - PROPOSED SANITARY SERVICE
- NOTE: UNLESS OTHERWISE STATED, ALL SANITARY MAINS ARE PROPOSED AS PUBLIC.



PROJECT:
**ASPEN RANCH
PRELIMINARY PLAT**

**FOUNTAIN, CO
5/30/2020**

REVISION HISTORY:

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1	5/30/2020	SECOND CITY SUBMITTAL	

DRAWING INFORMATION:
PROJECT NO: 19.886.023
DRAWN BY: BAS
CHECKED BY: JRA
APPROVED BY: JRA

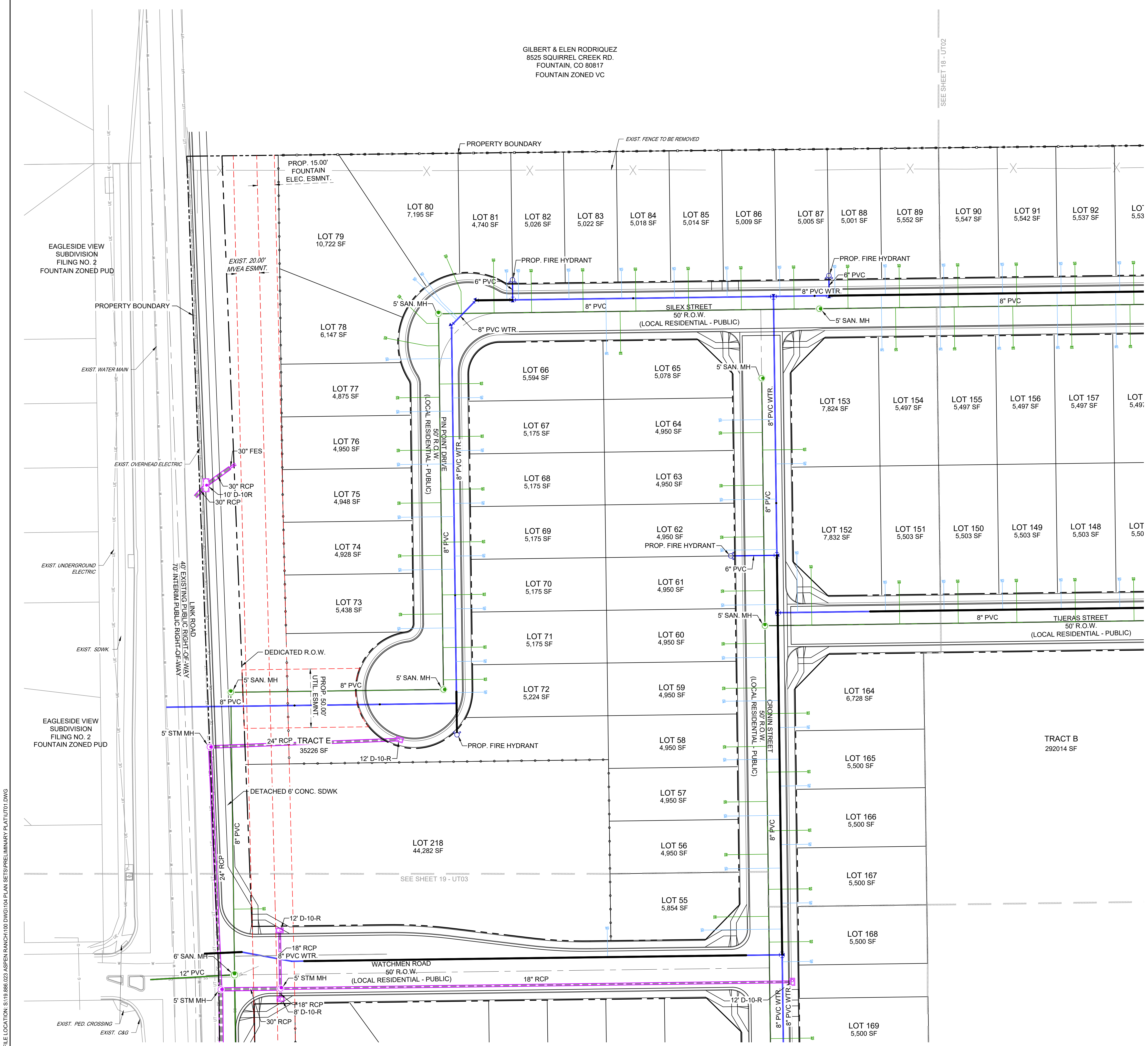
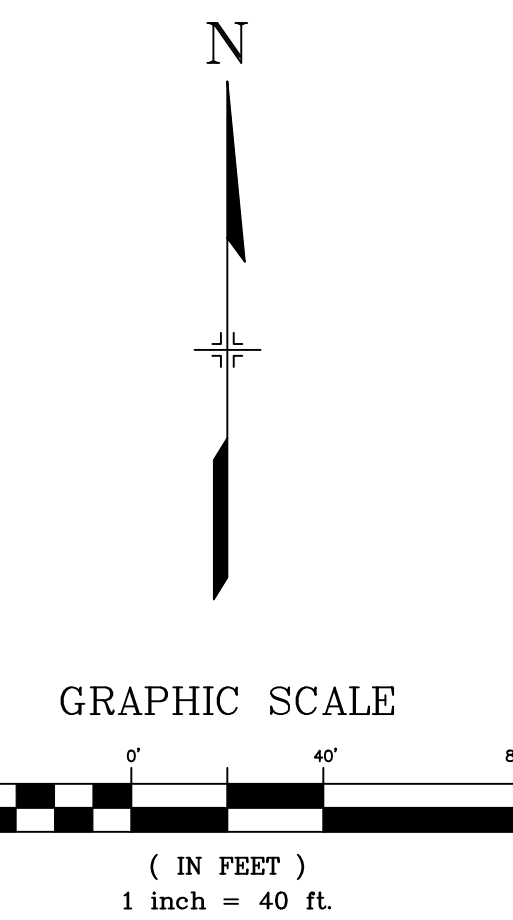
SHEET TITLE:

**PRELIMINARY
UTILITY PLAN**

UT01

SHEET 17 OF 22

CITY FILE NO.:

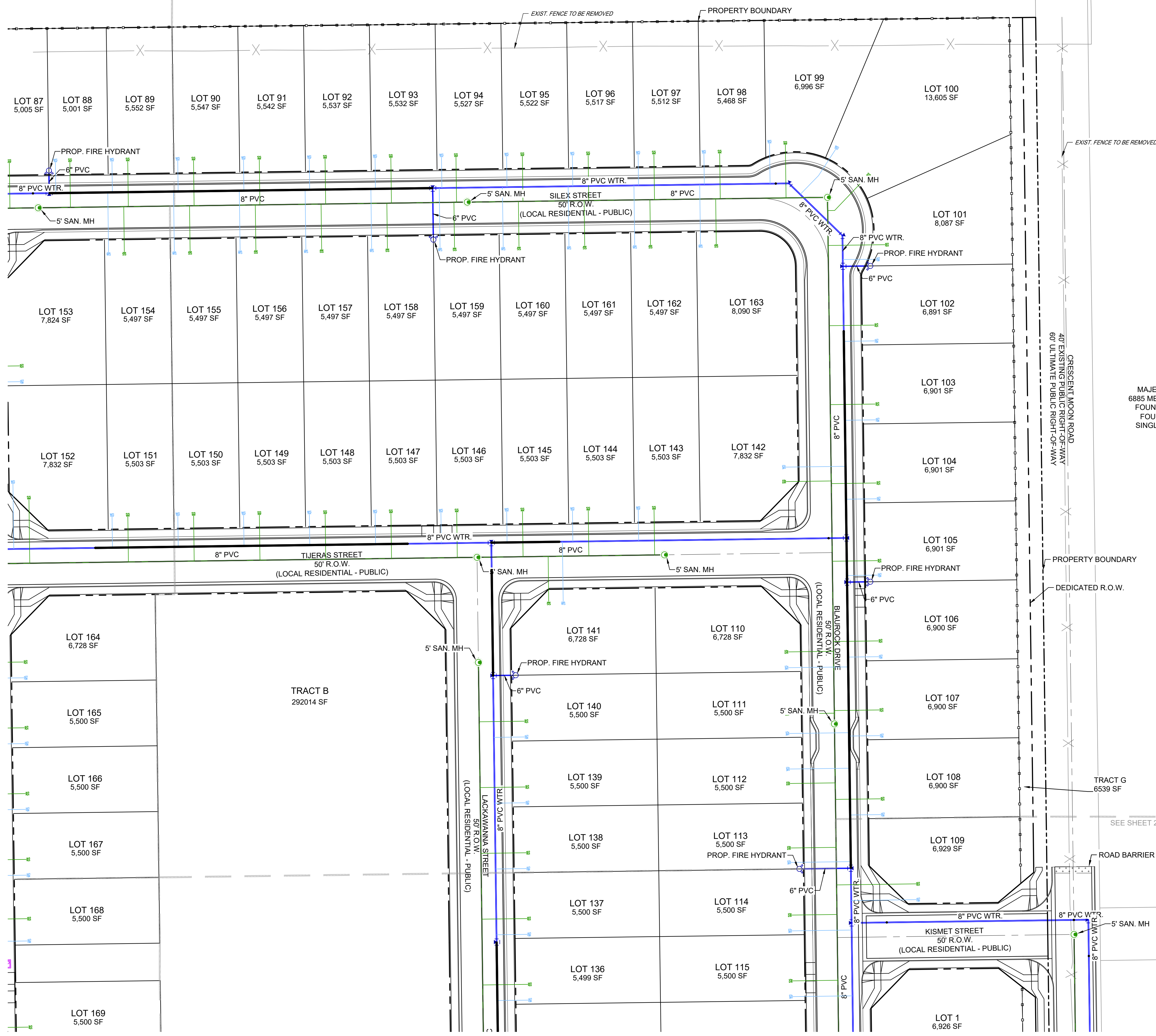


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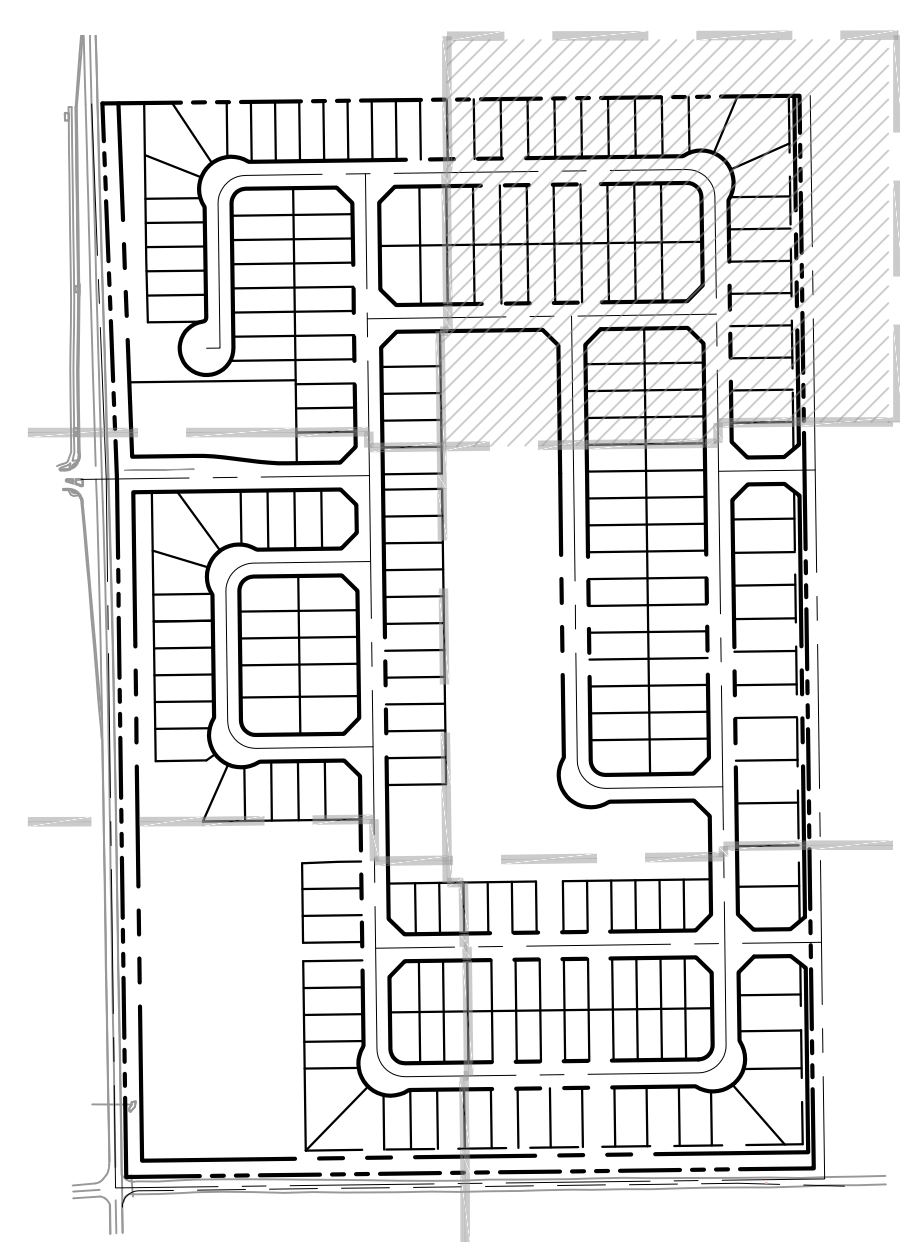
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SEE SHEET 17 - UT01

GILBERT & ELEN RODRIGUEZ
8525 SQUIRREL CREEK RD.
FOUNTAIN, CO 80817
FOUNTAIN ZONED VC



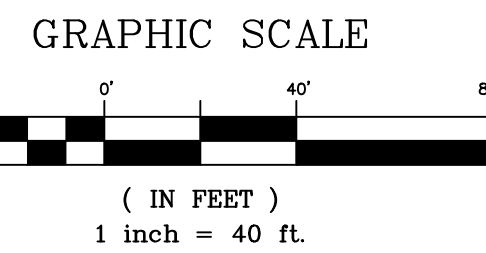
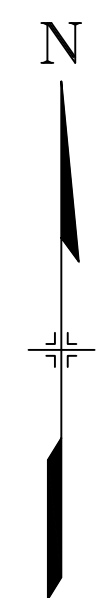
MAJESTICVIEW LLC
6885 MESA RIDGE PKWY
FOUNTAIN, CO 80817
FOUNTAIN ZONED
SINGLE-FAMILY RES.



SHEET KEY

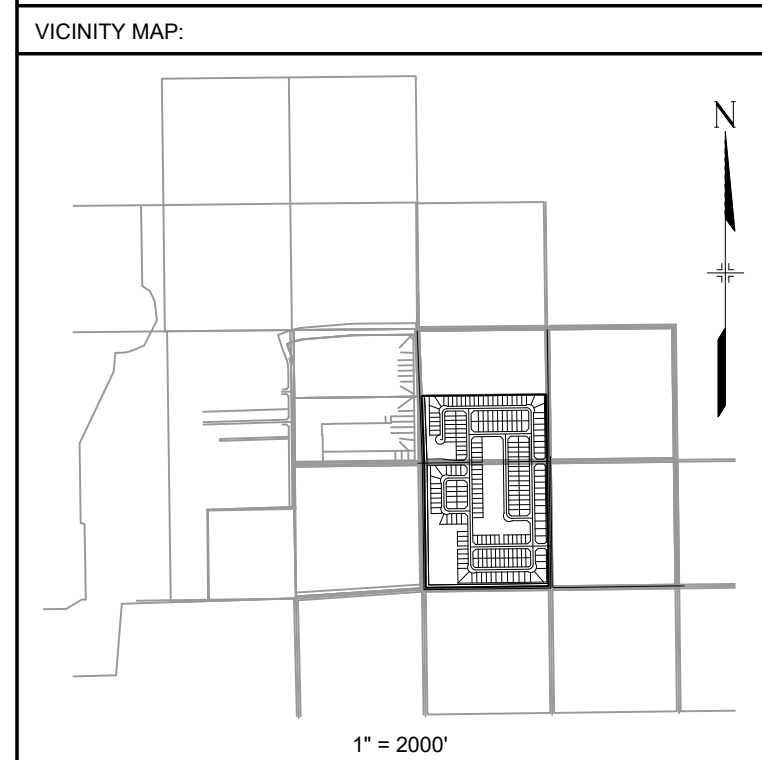
LEGEND

- SD SD SD EXISTING STORM DRAIN
 - PROG. STORM DRAIN
 - PROG. STORM DRAIN OUTLETS
 - PROG. STORM INLETS
 - PROG. STORM MANHOLE
 - W W W EXISTING WATER MAIN
 - PROG. PUBLIC PVC WATER MAIN
 - PROG. FIRE HYDRANT
 - SS SS SS EXISTING SANITARY SEWER MAIN
 - PROG. PUBLIC PVC SANITARY SEWER MAIN
 - PROG. SANITARY SEWER MANHOLE
 - PROG. EASEMENT
 - BUILDING SETBACK
 - WOODEN POST FENCE (SEE DT02 FOR DETAIL)
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CONSULTANTS:
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PHONE: (719) 575-0100
FAX: (719) 575-0208

OWNER/DEVELOPER:
COLA, LLC.
555 MIDDLE CREEK PKWY, SUITE 380
COLORADO SPRINGS, CO 80921
(719) 382-9433



PROJECT:
**ASPEN RANCH
PRELIMINARY PLAT**

**FOUNTAIN, CO
5/30/2020**

REVISION HISTORY:

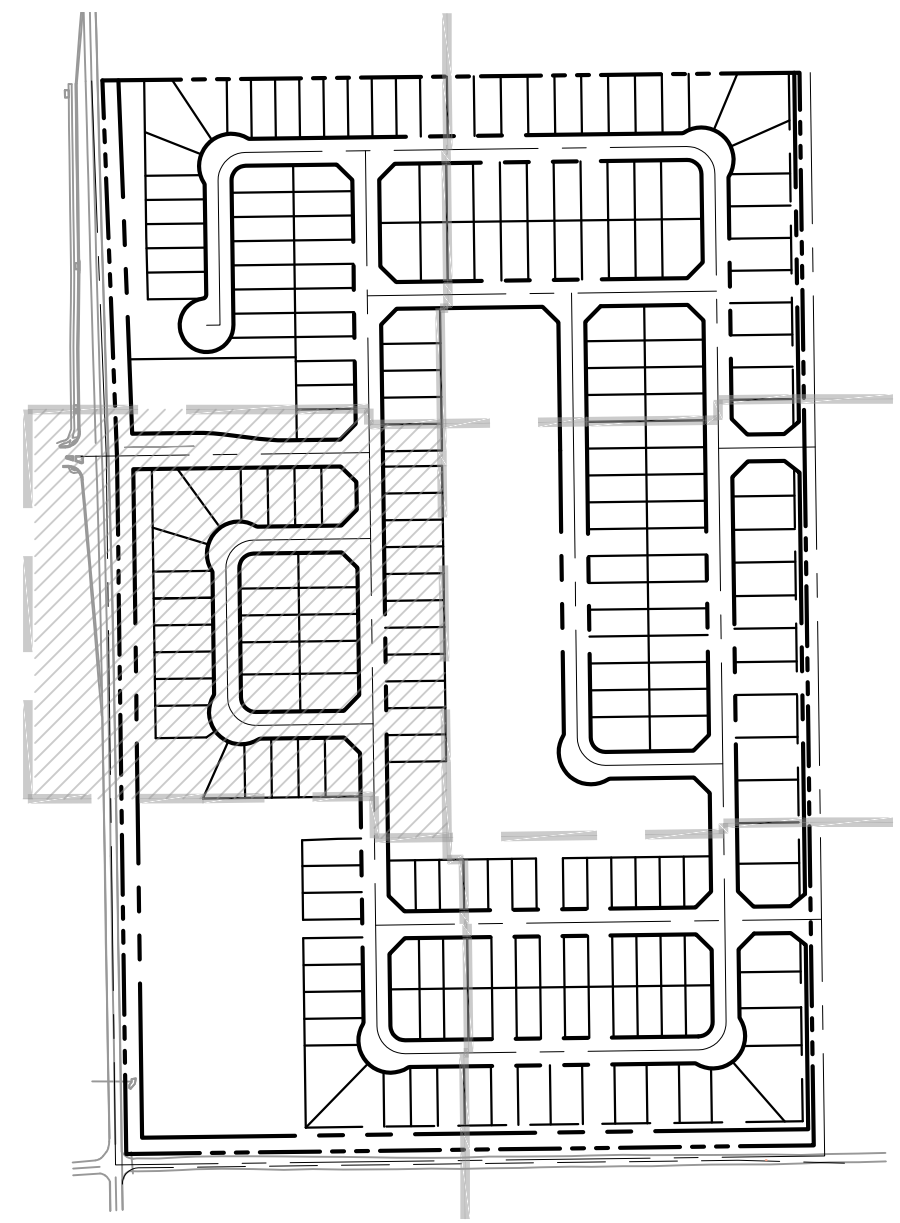
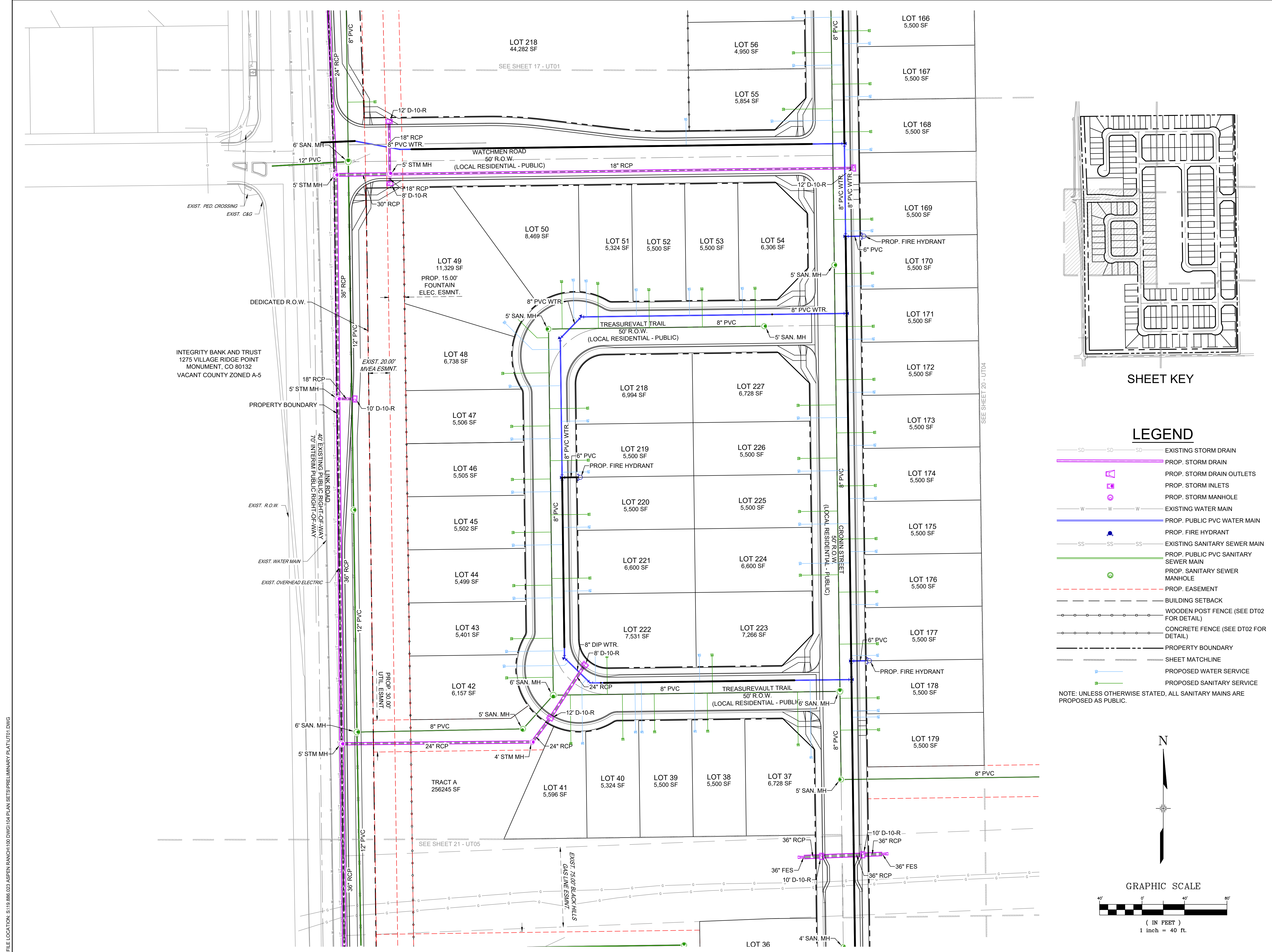
NO.	DATE	DESCRIPTION	BY
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1	5/30/2020	SECOND CITY SUBMITTAL	

DRAWING INFORMATION:
PROJECT NO: 19.886.023
DRAWN BY: BAS
CHECKED BY: JRA
APPROVED BY: JRA
SHEET TITLE:

**PRELIMINARY
UTILITY PLAN**

UT02
SHEET 18 OF 22

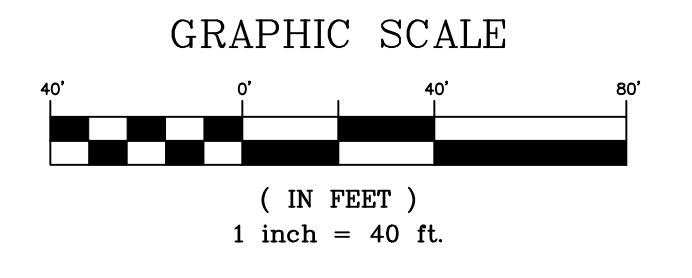
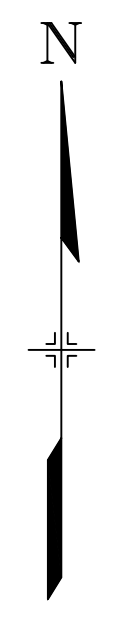
CITY FILE NO.:



SHEET KEY

LEGEND

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 - PROP. STORM DRAIN
 - PROP. STORM DRAIN OUTLETS
 - PROP. STORM INLETS
 - PROP. STORM MANHOLE
 - W W W EXISTING WATER MAIN
 - PROP. PUBLIC PVC WATER MAIN
 - PROP. FIRE HYDRANT
 - SS SS SS EXISTING SANITARY SEWER MAIN
 - PROP. PUBLIC PVC SANITARY SEWER MAIN
 - PROP. SANITARY SEWER MANHOLE
 - PROP. EASEMENT
 - BUILDING SETBACK
 - WOODEN POST FENCE (SEE DT02 FOR DETAIL)
 - CONCRETE FENCE (SEE DT02 FOR DETAIL)
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 - SHEET MATCHLINE
 - PROPOSED WATER SERVICE
 - PROPOSED SANITARY SERVICE
- NOTE: UNLESS OTHERWISE STATED, ALL SANITARY MAINS ARE PROPOSED AS PUBLIC.



CONSULTANTS:
 PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:
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 2435 RESEARCH PARKWAY, SUITE 300
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 PHONE: (719) 575-0100
 FAX: (719) 575-0208

OWNER/DEVELOPER:
COLA, LLC.
 555 MIDDLE CREEK PKWY., SUITE 380
 COLORADO SPRINGS, CO 80921
 (719) 382-9433

VICINITY MAP:

 1" = 2000'

PROJECT:
**ASPEN RANCH
 PRELIMINARY PLAT**
**FOUNTAIN, CO
 5/30/2020**

REVISION HISTORY:				
NO.	DATE	DESCRIPTION	BY	
0	3/12/2020	INITIAL CITY SUBMITTAL		
1	5/30/2020	SECOND CITY SUBMITTAL		

DRAWING INFORMATION:
 PROJECT NO: 19.886.023
 DRAWN BY: BAS
 CHECKED BY: JRA
 APPROVED BY: JRA

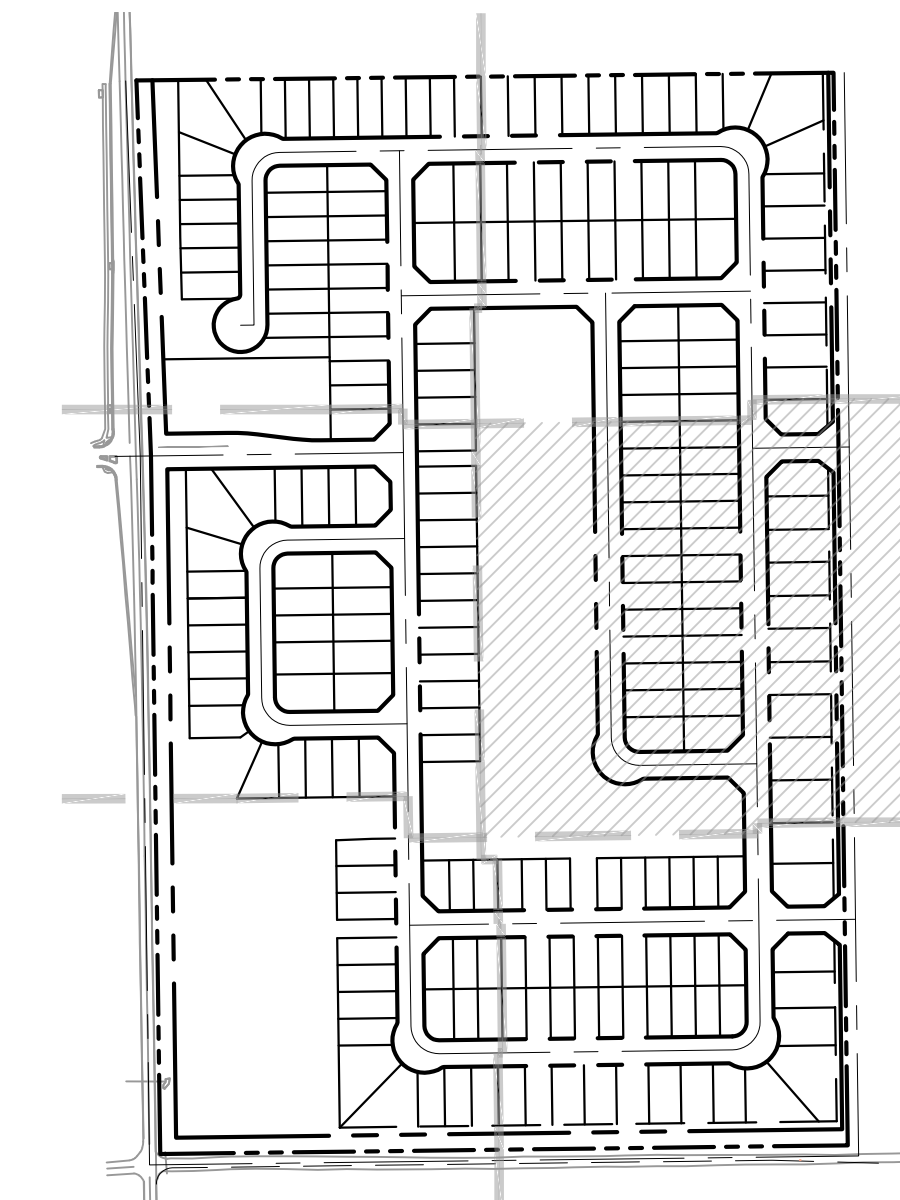
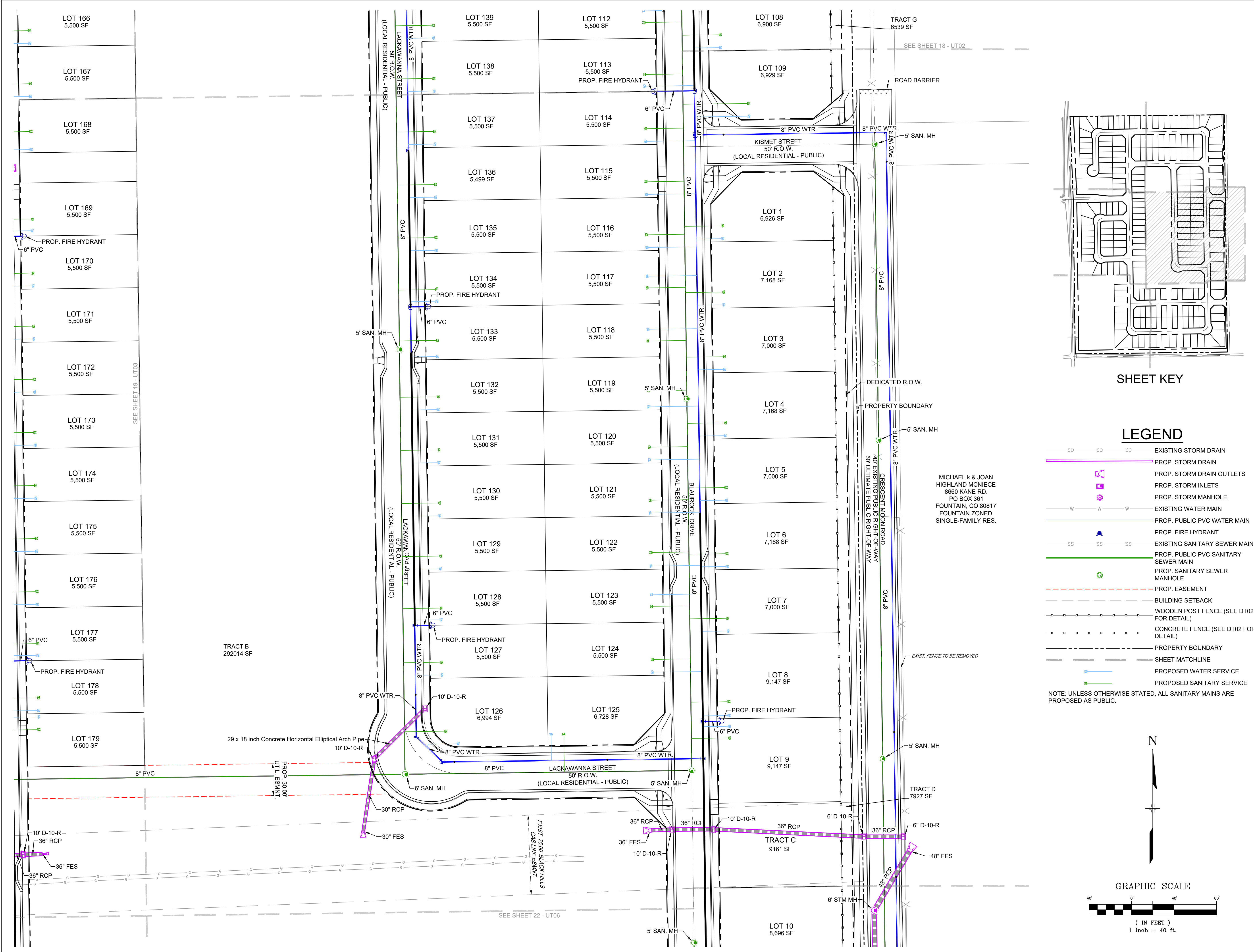
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**PRELIMINARY
 UTILITY PLAN**

UT03
SHEET 19 OF 22

CITY FILE NO.:

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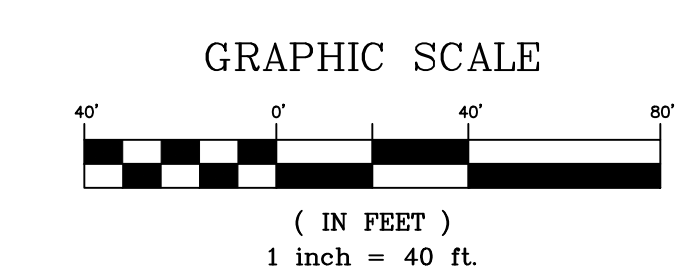
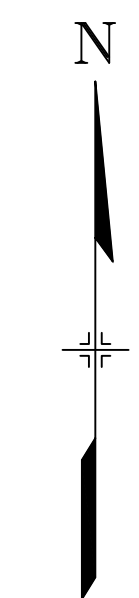


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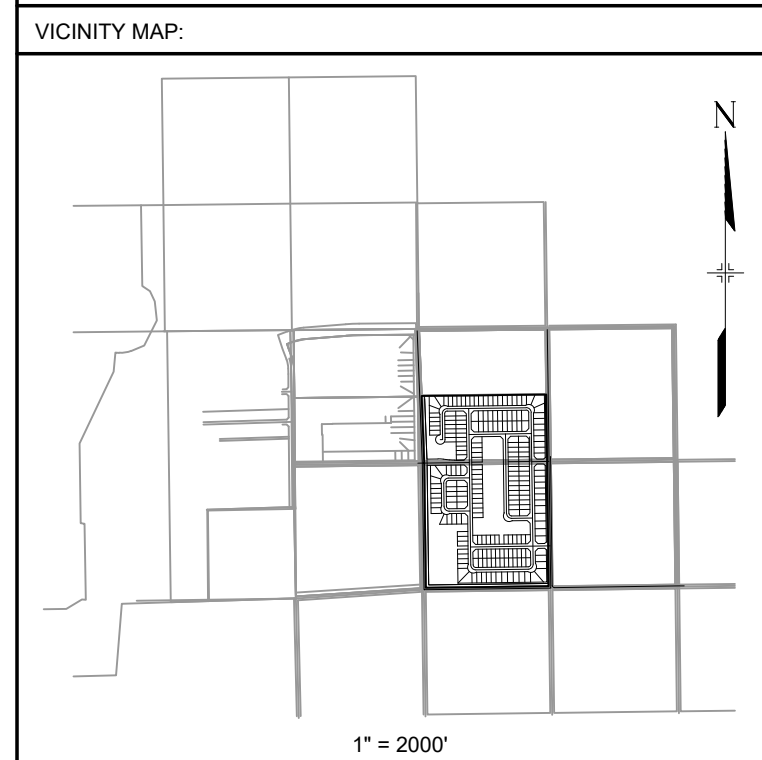
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 - PROP. STORM DRAIN
 - PROP. STORM DRAIN OUTLETS
 - PROP. STORM INLETS
 - PROP. STORM MANHOLE
 - W W W EXISTING WATER MAIN
 - PROP. PUBLIC PVC WATER MAIN
 - PROP. FIRE HYDRANT
 - SS SS SS EXISTING SANITARY SEWER MAIN
 - PROP. PUBLIC PVC SANITARY SEWER MAIN
 - PROP. SANITARY SEWER MANHOLE
 - PROP. EASEMENT
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 - WOODEN POST FENCE (SEE DT02 FOR DETAIL)
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 - PROPERTY BOUNDARY
 - SHEET MATCHLINE
 - PROPOSED WATER SERVICE
 - PROPOSED SANITARY SERVICE
- NOTE: UNLESS OTHERWISE STATED, ALL SANITARY MAINS ARE PROPOSED AS PUBLIC.

MICHAEL K & JOAN
HIGHLAND MCNIECE
8660 KANE RD.
PO BOX 361
FOUNTAIN, CO 80817
FOUNTAIN ZONED
SINGLE-FAMILY RES.



CONSULTANTS:
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COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100
FAX: (719) 575-0208

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(719) 382-9433



PROJECT:
**ASPEN RANCH
PRELIMINARY PLAT**

**FOUNTAIN, CO
5/30/2020**

REVISION HISTORY:

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PROJECT NO: 19.886.023
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APPROVED BY: JRA

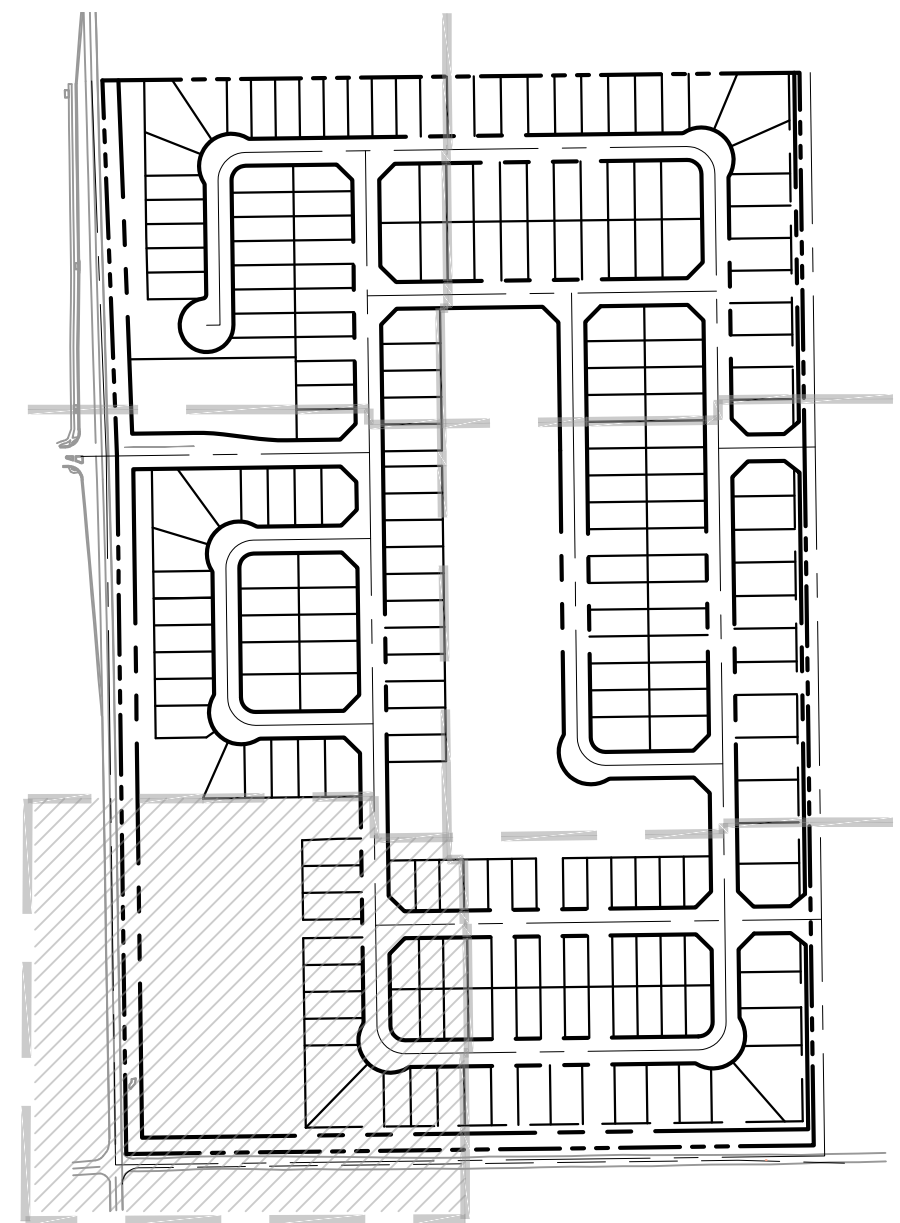
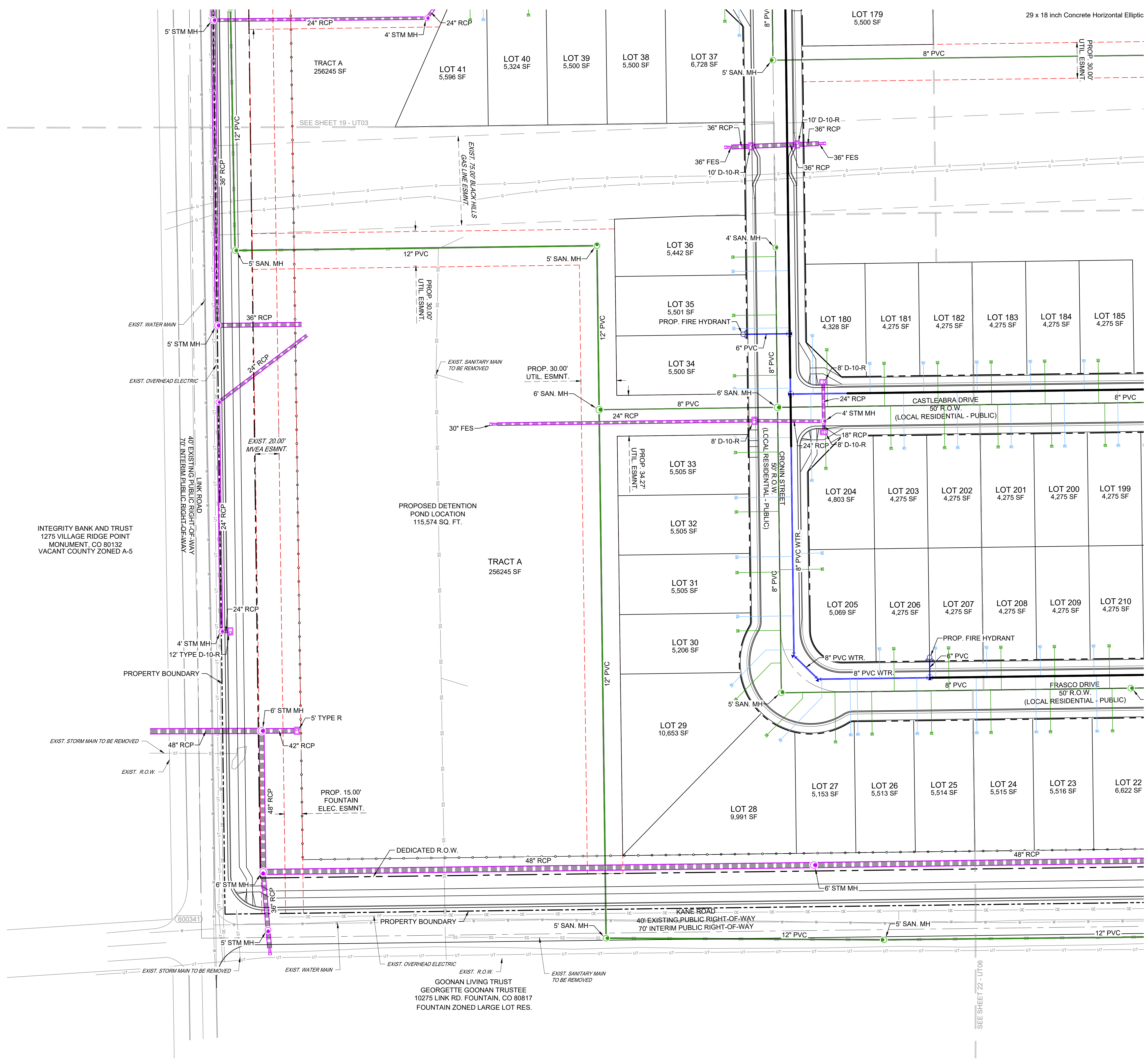
**PRELIMINARY
UTILITY PLAN**

UT04

SHEET 20 OF 22

CITY FILE NO.:

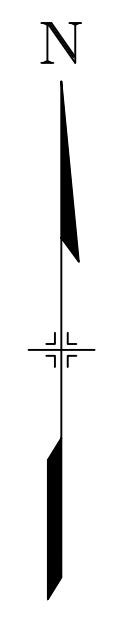
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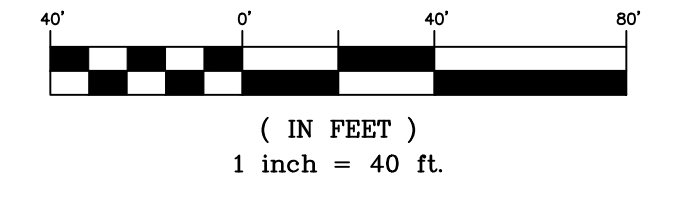
SHEET KEY

LEGEND

- SD SD SD EXISTING STORM DRAIN
 - PROP. STORM DRAIN
 - PROP. STORM DRAIN OUTLETS
 - PROP. STORM INLETS
 - PROP. STORM MANHOLE
 - W W W EXISTING WATER MAIN
 - PROP. PUBLIC PVC WATER MAIN
 - PROP. FIRE HYDRANT
 - SS SS SS EXISTING SANITARY SEWER MAIN
 - PROP. PUBLIC PVC SANITARY SEWER MAIN
 - PROP. SANITARY SEWER MANHOLE
 - PROP. EASEMENT
 - BUILDING SETBACK
 - WOODEN POST FENCE (SEE DT02 FOR DETAIL)
 - CONCRETE FENCE (SEE DT02 FOR DETAIL)
 - PROPERTY BOUNDARY
 - SHEET MATCHLINE
 - PROPOSED WATER SERVICE
 - PROPOSED SANITARY SERVICE
- NOTE: UNLESS OTHERWISE STATED, ALL SANITARY MAINS ARE PROPOSED AS PUBLIC.

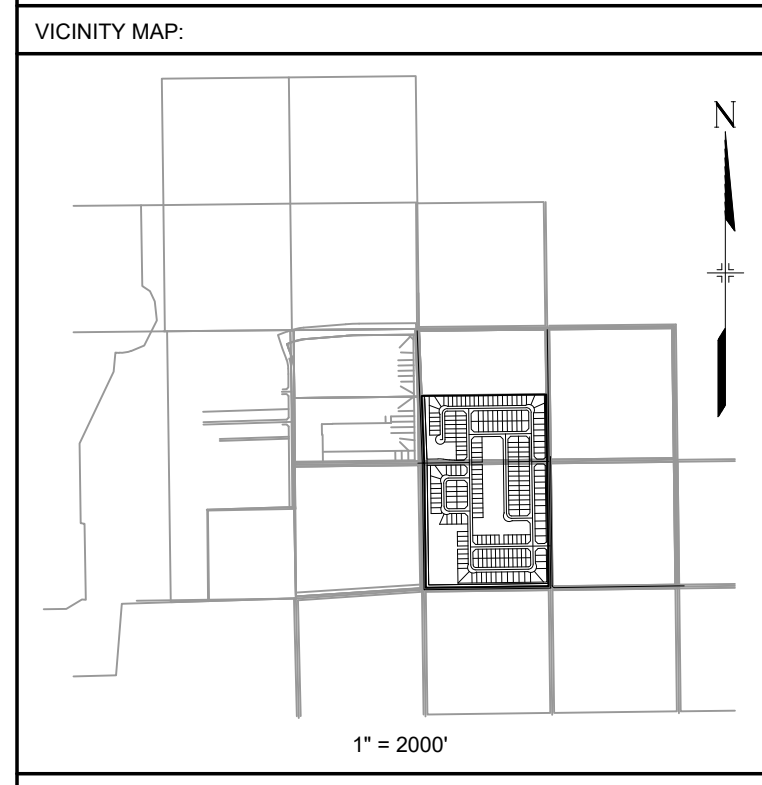


GRAPHIC SCALE



CONSULTANTS:
 PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:
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 2435 RESEARCH PARKWAY, SUITE 300
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 PHONE: (719) 575-0100
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OWNER/DEVELOPER:
COLA, LLC.
 555 MIDDLE CREEK PKWY, SUITE 380
 COLORADO SPRINGS, CO 80921
 (719) 382-9433



PROJECT:
**ASPEN RANCH
 PRELIMINARY PLAT**

**FOUNTAIN, CO
 5/30/2020**

REVISION HISTORY:

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1	5/30/2020	SECOND CITY SUBMITTAL	

DRAWING INFORMATION:
 PROJECT NO: 19.886.023
 DRAWN BY: BAS
 CHECKED BY: JRA
 APPROVED BY: JRA
 SHEET TITLE:

**PRELIMINARY
 UTILITY PLAN**

UT05

SHEET 21 OF 22

CITY FILE NO.:

