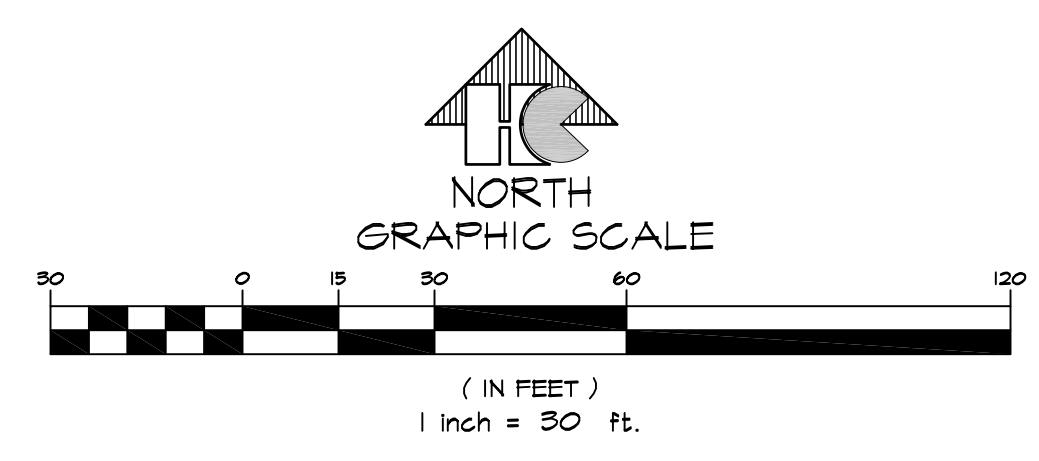
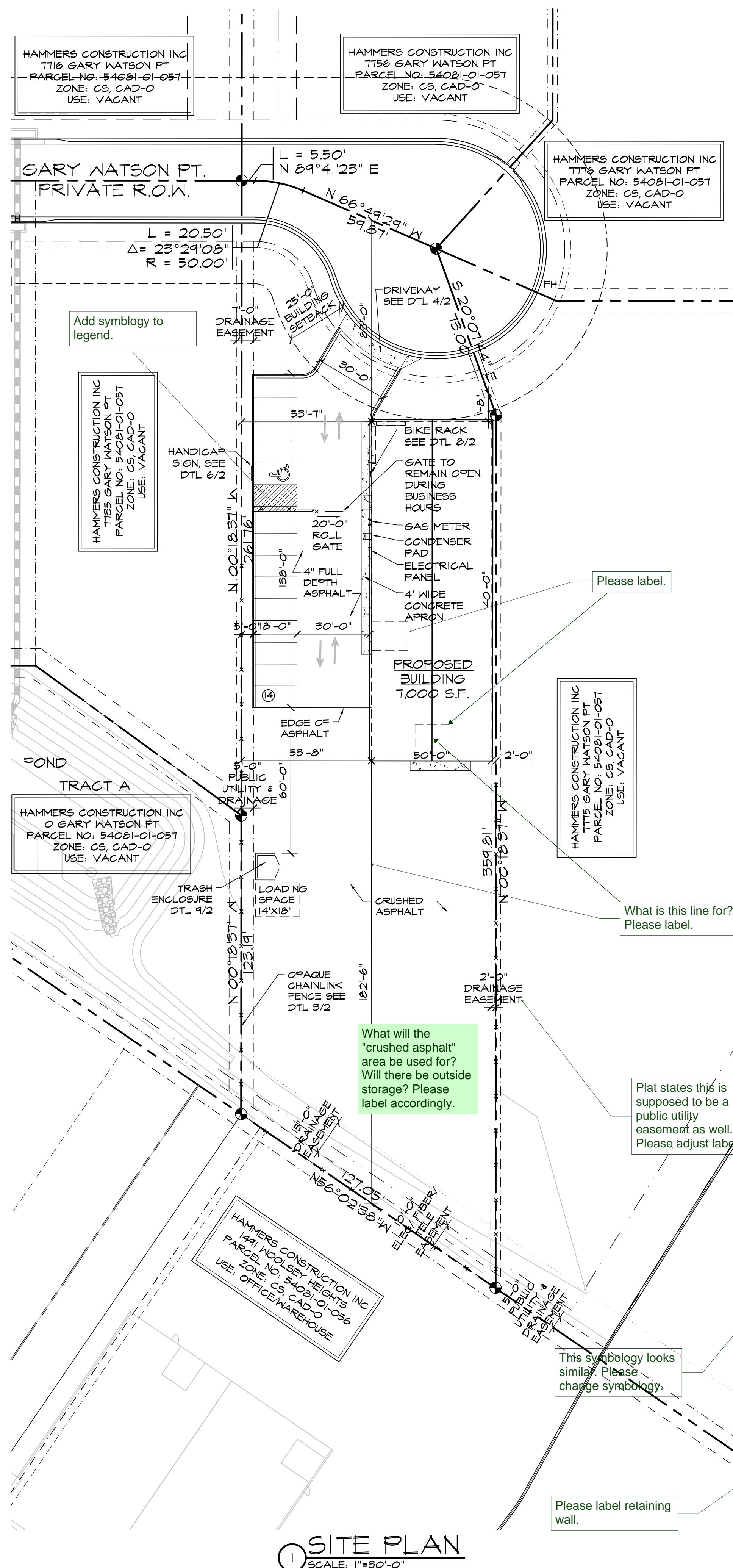


ADA NOTES

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.



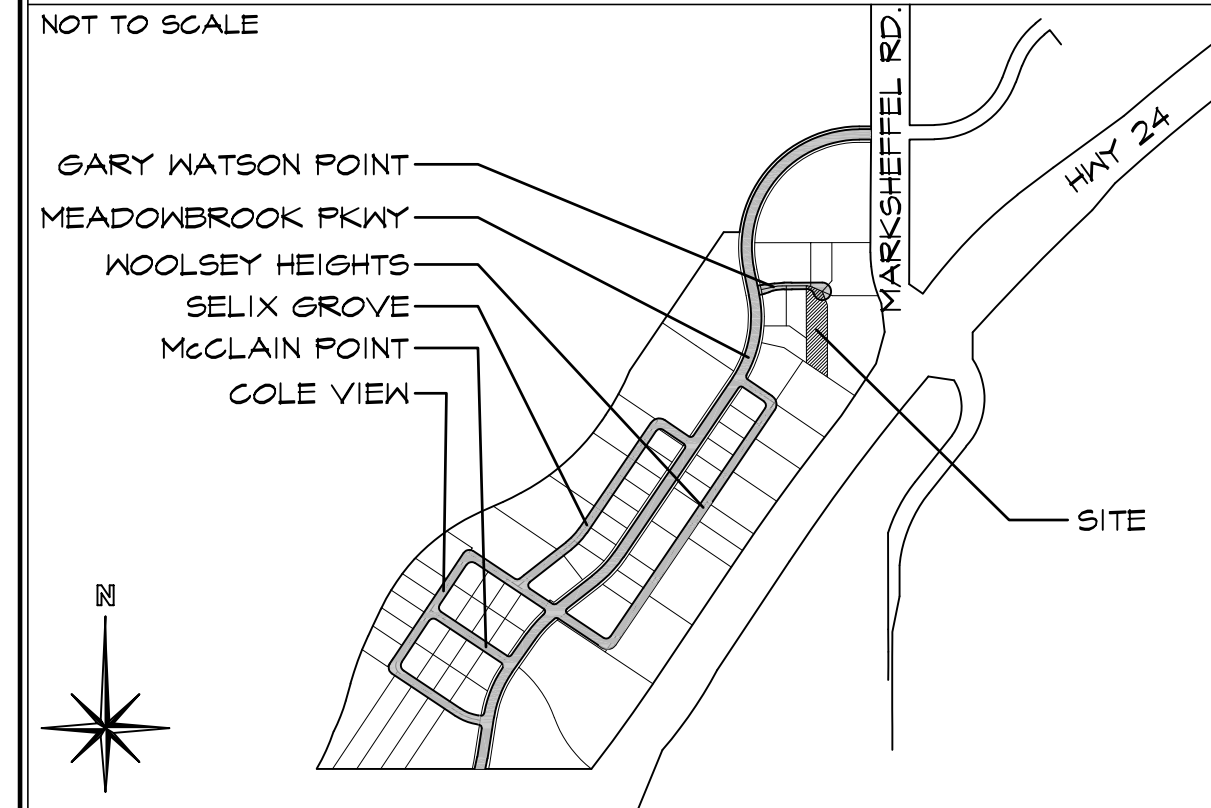
SITE PLAN
 SCALE: 1"=30'-0"

Add PCD File No. PPR2111

DRAWING INDEX

- 1 OF 12 - SITE PLAN & PROJECT INFORMATION, DRAWING INDEX
- 2 OF 12 - SITE DETAILS
- 3 OF 12 - UTILITY SERVICE PLAN COVER SHEET
- 4 OF 12 - UTILITY SERVICE PLAN
- 5 OF 12 - GRADING & EROSION COVER SHEET
- 6 OF 12 - GRADING & EROSION CONTROL PLAN
- 7 OF 12 - GRADING & EROSION DETAILS & NOTES
- L1.1 - 8 OF 12 - LANDSCAPE PLAN
- L1.2 - 4 OF 12 - LANDSCAPE DETAILS & NOTES
- 10 OF 12 - PHOTOMETRIC SITE PLAN
- 11 OF 12 - LIGHTING CUT SHEETS
- 12 OF 12 - DP BUILDING ELEVATIONS

VICINITY MAP



PROJECT INFORMATION

PROPERTY INFORMATION	
OWNER NAME:	HAMMERS CONSTRUCTION INC. 1411 WOOLSEY HEIGHTS COLORADO SPRINGS, CO 80915
LEGAL DESCRIPTION:	CLAREMONT BUSINESS PARK 2 FIL. NO. 1 LOT 3
PARCEL NUMBER:	54081-01-057
ZONING:	CS
LOT SIZE:	41,722 SF (0.96 ACRES)
CURRENT USE:	VACANT
FLOODPLAIN STATEMENT:	ZONE X (MAP NO. 08041C0756 G, DATED DEC. 7, 2018)
ZONING CODE STUDY	
PROPOSED PRINCIPAL USE:	OFFICE & WAREHOUSE
STRUCTURAL COVERAGE:	17%
PAVEMENT COVERAGE:	67%
STREET COVERAGE:	2%
BUILDING STRUCTURAL HEIGHT:	18'-7 3/8" (45'-0" MAX)
FRONT YARD SETBACK:	25'-0"
SIDE YARD SETBACK:	0'-0"
REAR YARD SETBACK:	0'-0"
BUILDING INFORMATION	
GROSS BUILDING AREA:	7,000 SF
BUILDING OCCUPANCY:	B/S-2
TYPE OF CONSTRUCTION:	II-B
FIRE SYSTEMS:	NONE
EXTERIOR FIRE WALLS:	1 HR (EAST SIDE ONLY)
REQUIRED PARKING SPACES	
OFFICE-(1 SPACE/200 S.F.) (1,500 S.F. / 1,200 S.F.)	7
WAREHOUSE-(1 SPACE/1,000 S.F.) (5,700 S.F. / 1,000 S.F.)	6
H.C.-(1 SPACE/25 REQ'D)	1
TOTAL PARKING SPACES REQUIRED:	14
TOTAL PARKING PROVIDED:	14
STANDARD SPACES PROVIDED:	13
H.C. SPACES PROVIDED:	1
COMPACT SPACES PROVIDED:	0
LOADING SPACE PROVIDED:	1 (14'x18')
(SEE DETAIL 1/2 FOR DIMENSIONS)	
DEVELOPMENT SCHEDULE	
CONSTRUCTION:	WINTER 2021
LANDSCAPING:	SPRING 2021
DEVELOPMENT APPLICANT	
COMPANY:	HAMMERS CONSTRUCTION, INC. 1411 WOOLSEY HEIGHTS COLO. SPGS., CO 80915 (719)-570-1599 (719)-570-7008 LISA PETERSON lpeterson@hammersconstruction.com
PHONE NUMBER:	(719)-570-1599
FAX NUMBER:	(719)-570-7008
APPLICANT NAME:	LISA PETERSON
APPLICANT E-MAIL:	lpeterson@hammersconstruction.com

SITE LEGEND

	PROPERTY LINE
	RIGHT OF WAY
	BUILDING SETBACK
	LANDSCAPE SETBACK
	DRAINAGE EASEMENT
	ELEC/FIBER TELE EASEMENT
	ACCESS EASEMENT
	UTILITY & DRAINAGE EASEMENT
	UTILITY EASEMENT
	OPAQUE CHAINLINK FENCE
	GAS LINE
	WATER LINE
	ELECTRICAL LINE
	SANITARY SEWER LINE
	STORM SEWER LINE
	RETAINING WALL
	NEW SIDEWALK LOCATIONS W/ CONTROL JOINTS @ 3'-0" O.C.
	PROPERTY CORNER
	TRAFFIC FLOW
	WALL PACK LIGHTING
	SIGN
	MANHOLE
	ELECTRICAL TRANSFORMER
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT

HAMMERS CONSTRUCTION INC.
 COMMERCIAL GENERAL CONTRACTORS SPECIALIZING IN DESIGN/BUILD
 PRESIDENT: STEVE R. HAMMERS
 VICE PRES: DAVID J. HAMMERS
 1411 WOOLSEY HEIGHTS
 COLORADO SPRINGS, CO 80915
 (719) 570-1599 FAX (719) 570-7008
 www.hammersconstruction.com

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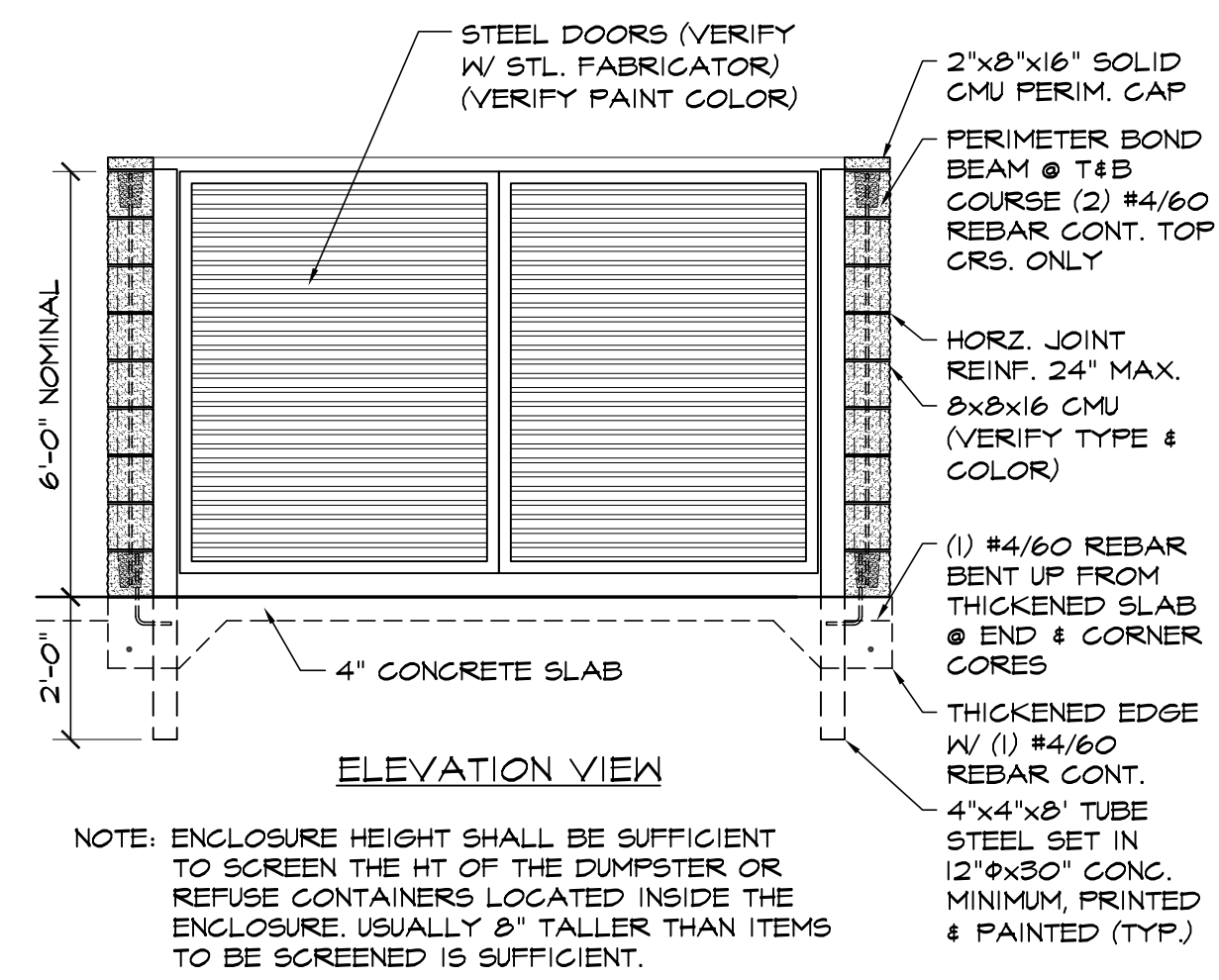
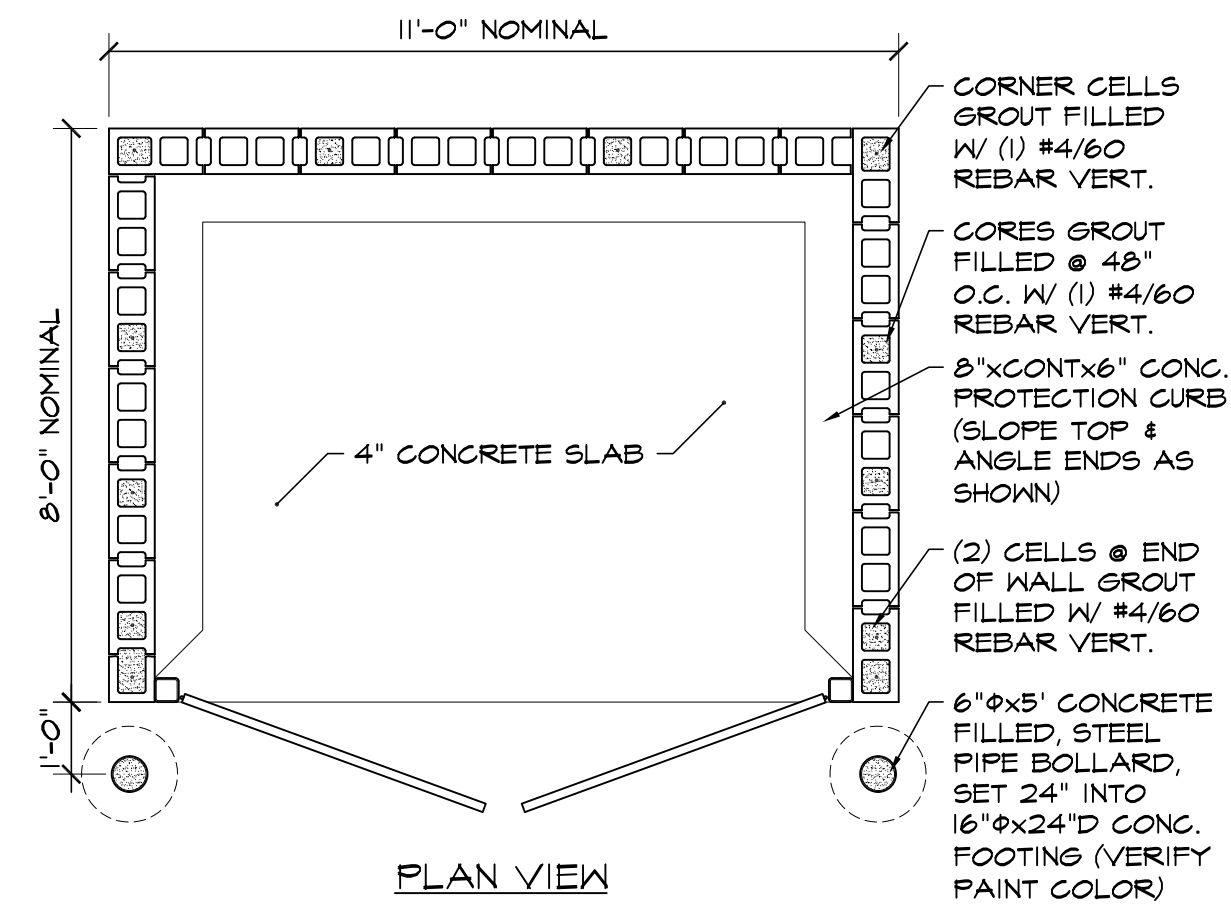
CBP 2-1, LOT 3
 7755 GARY WATSON POINT
 COLORADO SPRINGS, CO 80915
 EL PASO COUNTY, COLORADO

DATE: FEB. 23, 2021
 DRAWN BY: W. VENEROS
 PROJ. MGR: R. GREEN
 SCALE: SEE PLAN
 APPROVED BY:
 JOB NO: 1161

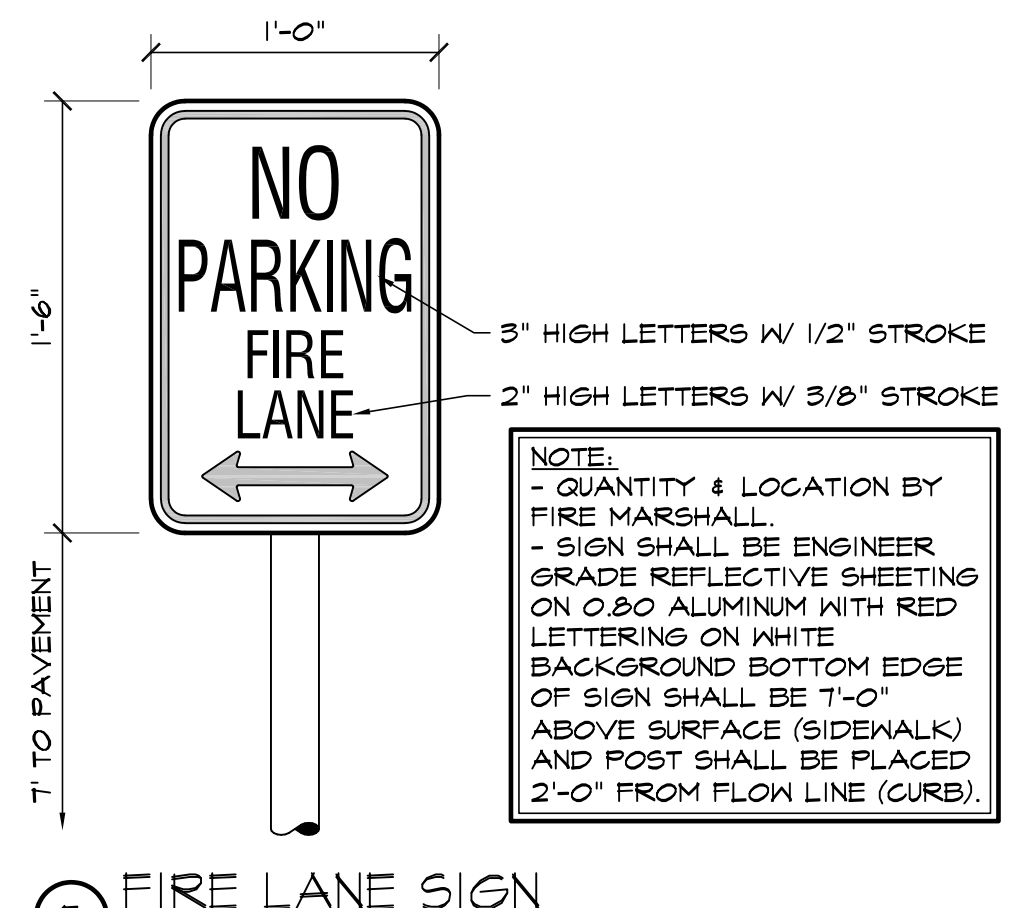
RESUBMITTALS:

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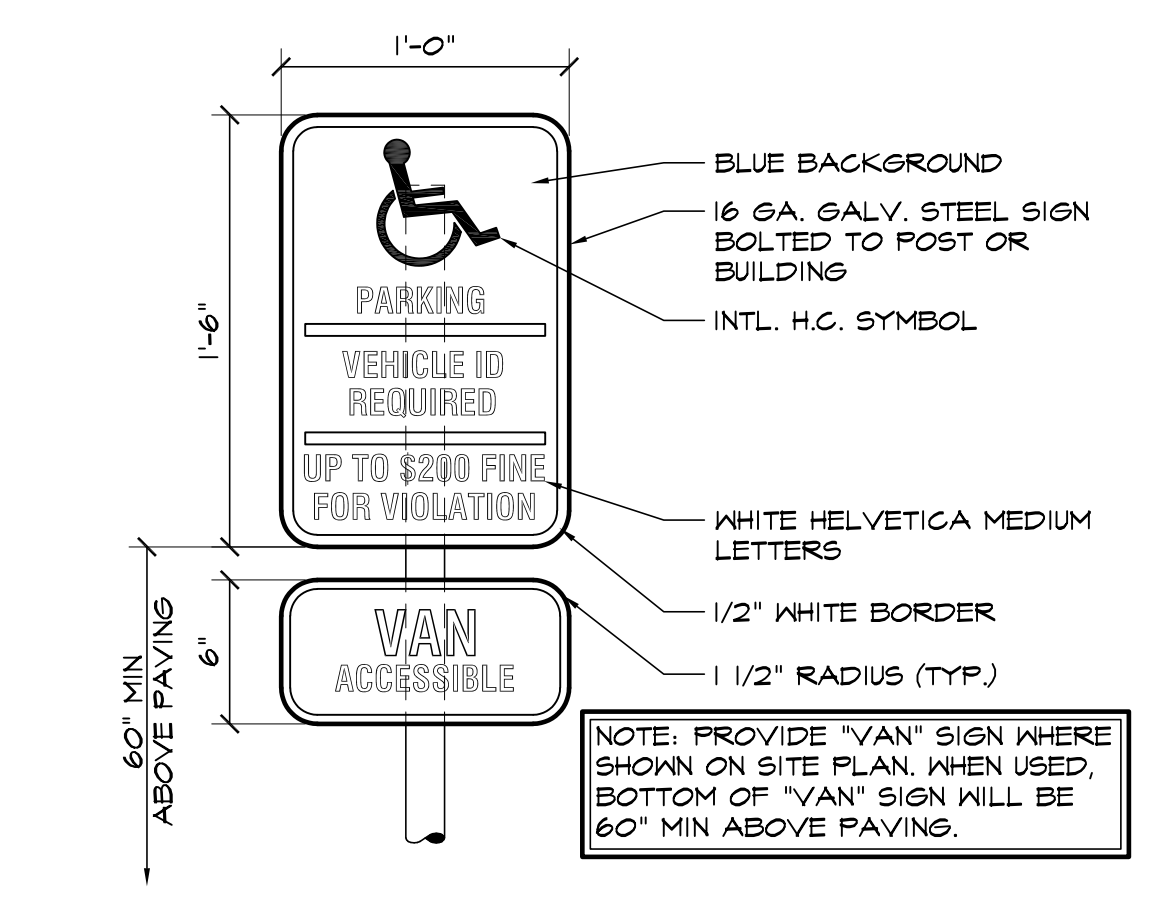
1 of 12
 SITE PLAN



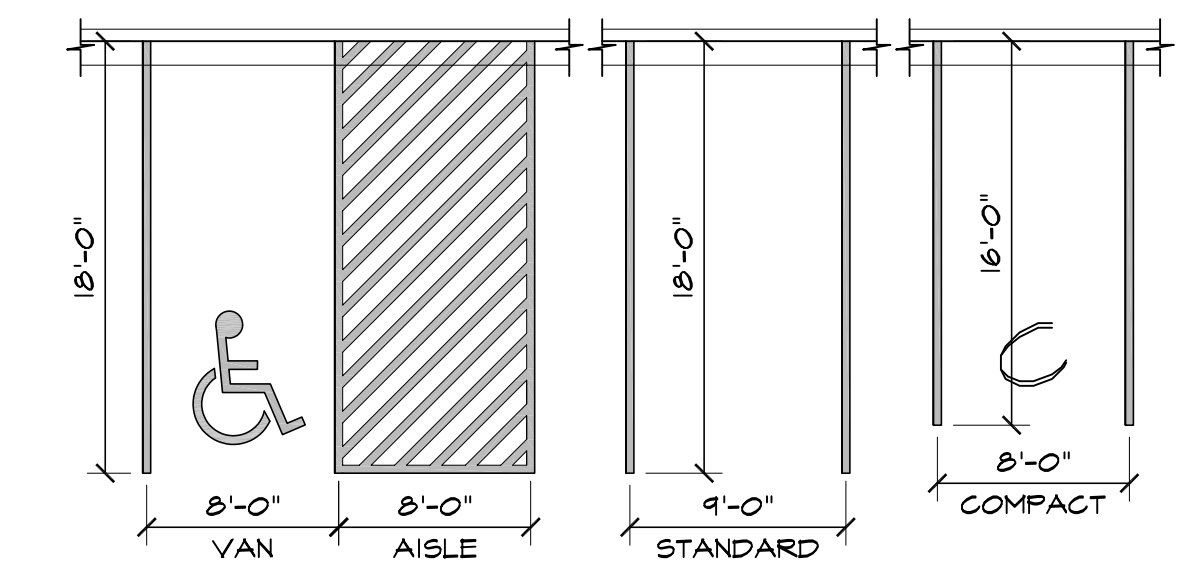
9 CMU TRASH ENCLOSURE DTL
SCALE: 3/8"=1'-0"



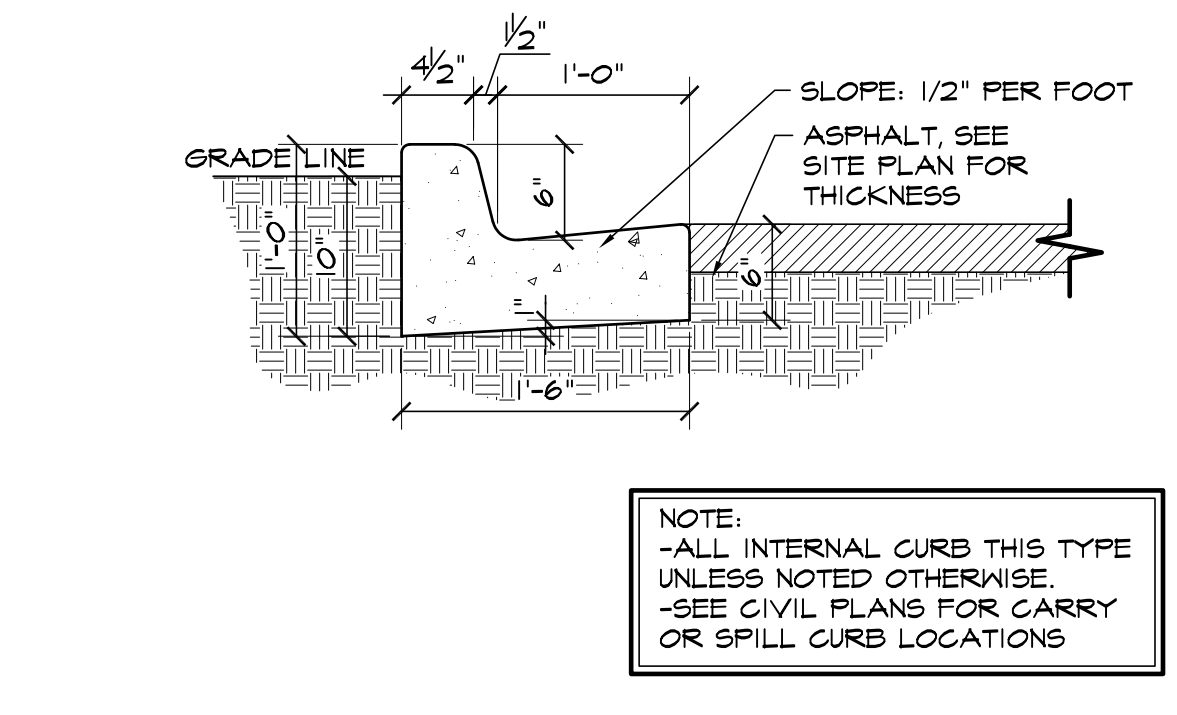
5 FIRE LANE SIGN
SCALE: 1/2"=1'-0"



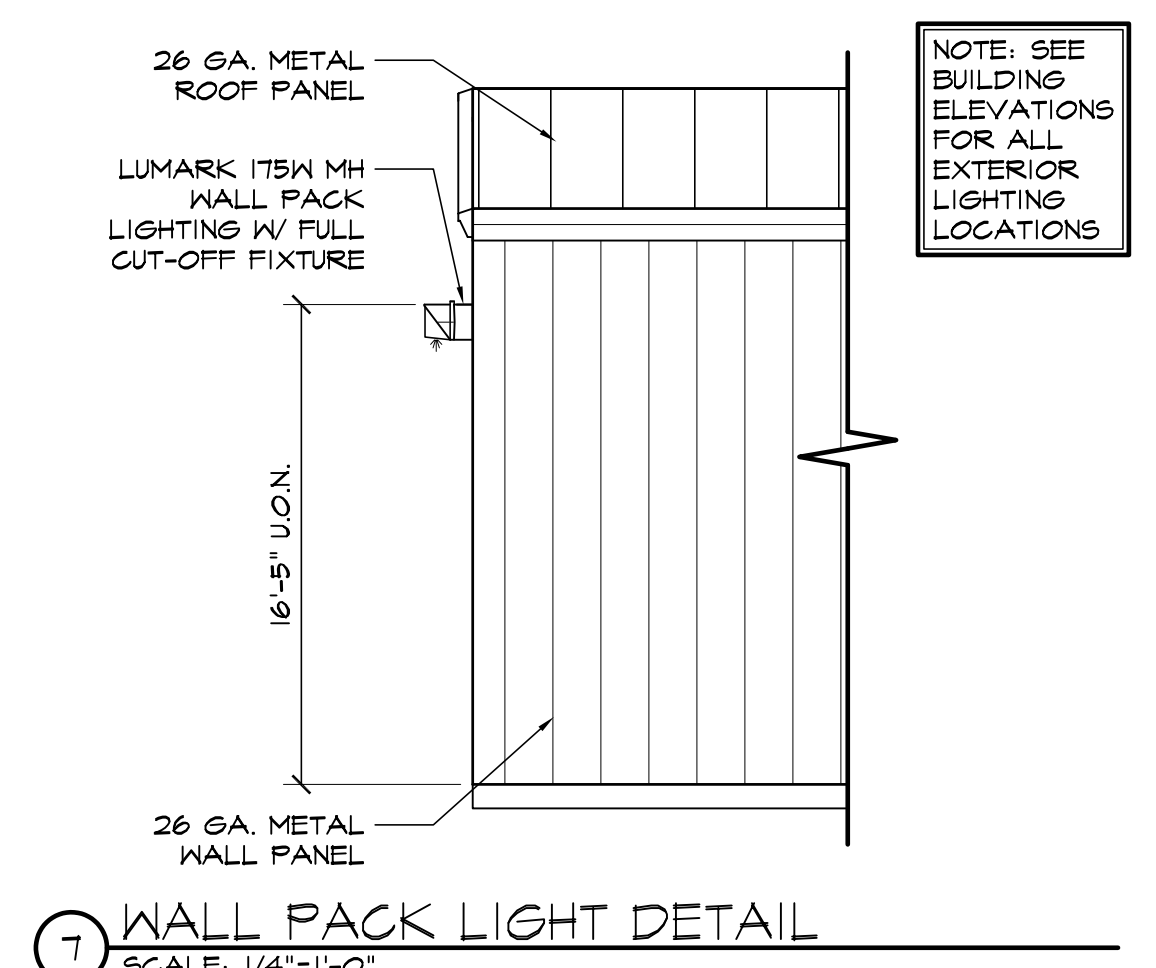
6 HANDICAPPED PARKING SIGN
SCALE: 1 1/2"=1'-0"



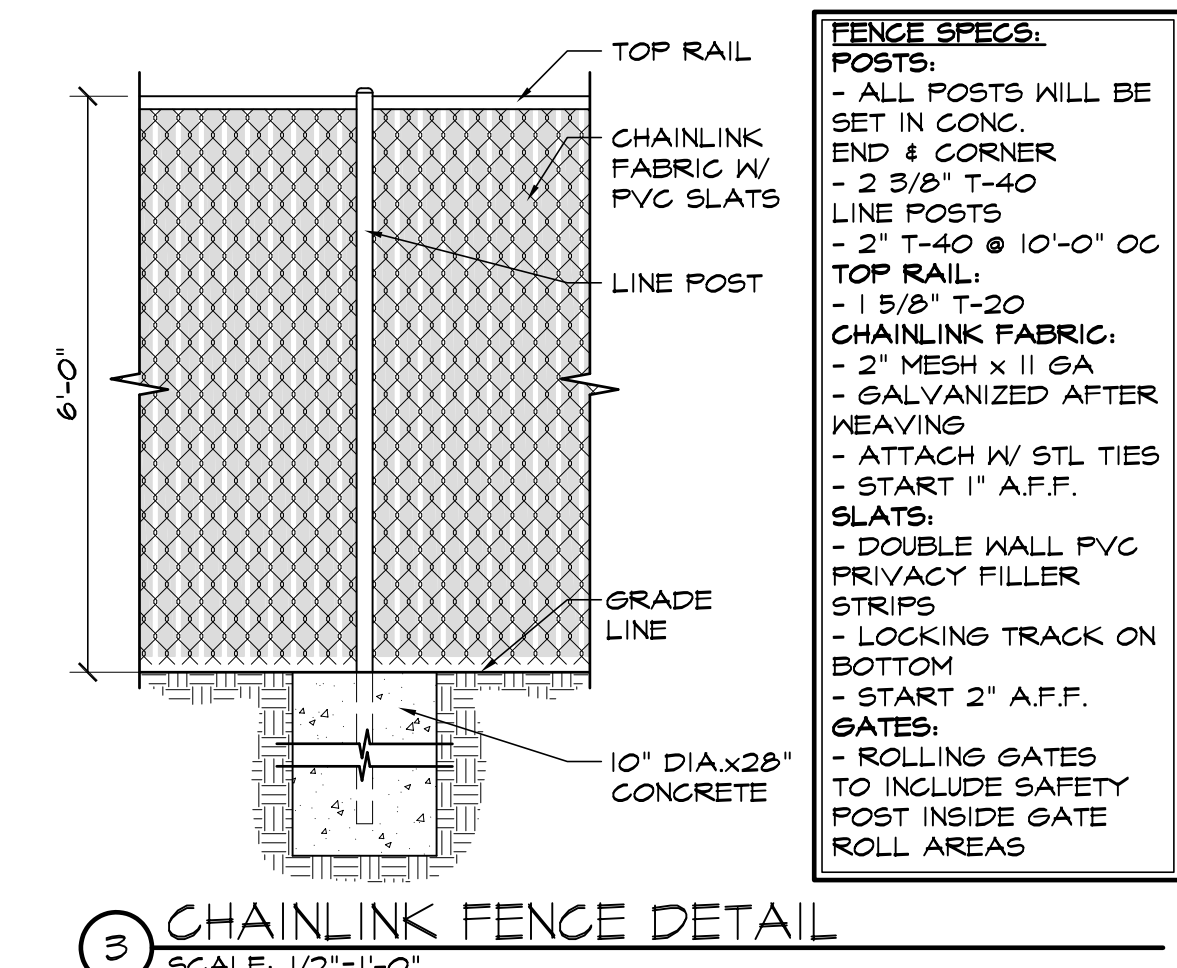
1 ADA / STANDARD PARKING
SCALE: 1/8"=1'-0"



2 EPC TYPE B CURB
SCALE: 1"=1'-0"

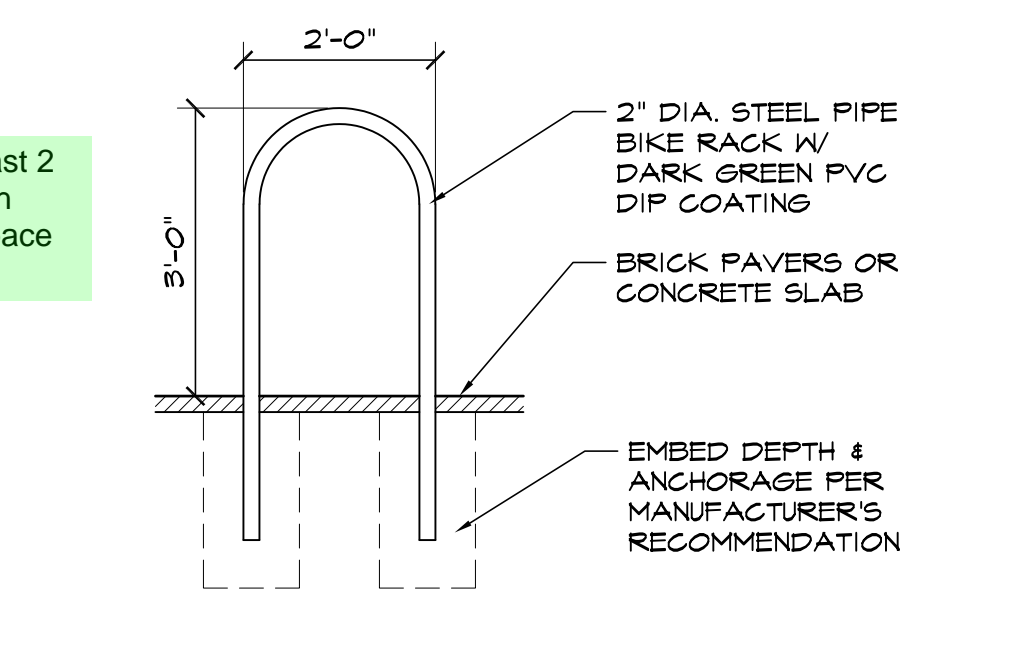


7 WALL PACK LIGHT DETAIL
SCALE: 1/4"=1'-0"

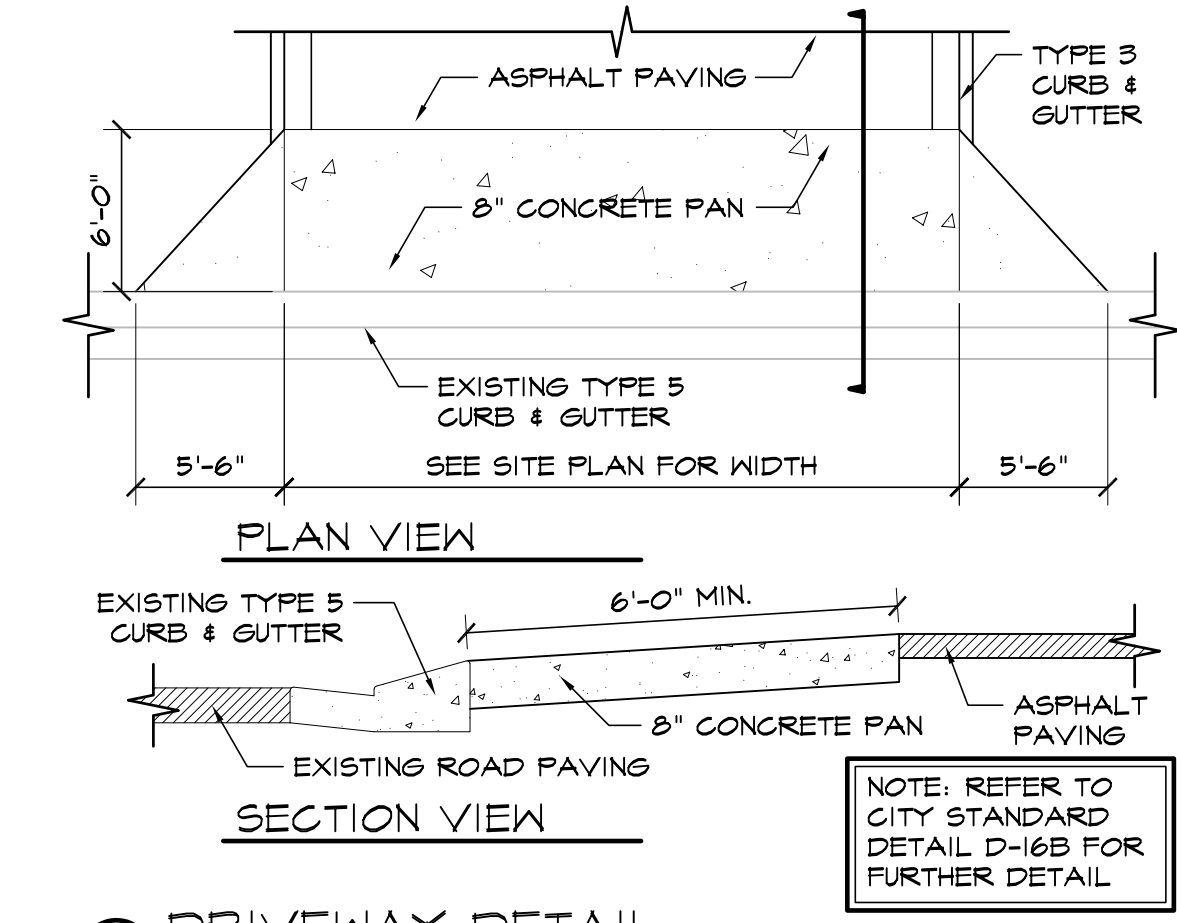


3 CHAINLINK FENCE DETAIL
SCALE: 1/2"=1'-0"

Bicycle parking facilities shall be at least 2 feet in width and 5 1/2 feet in length, with additional back-out or maneuvering space of at least 5 feet.



8 BIKE RACK DETAIL
SCALE: 1/2"=1'-0"



4 DRIVEWAY DETAIL
NOT TO SCALE

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