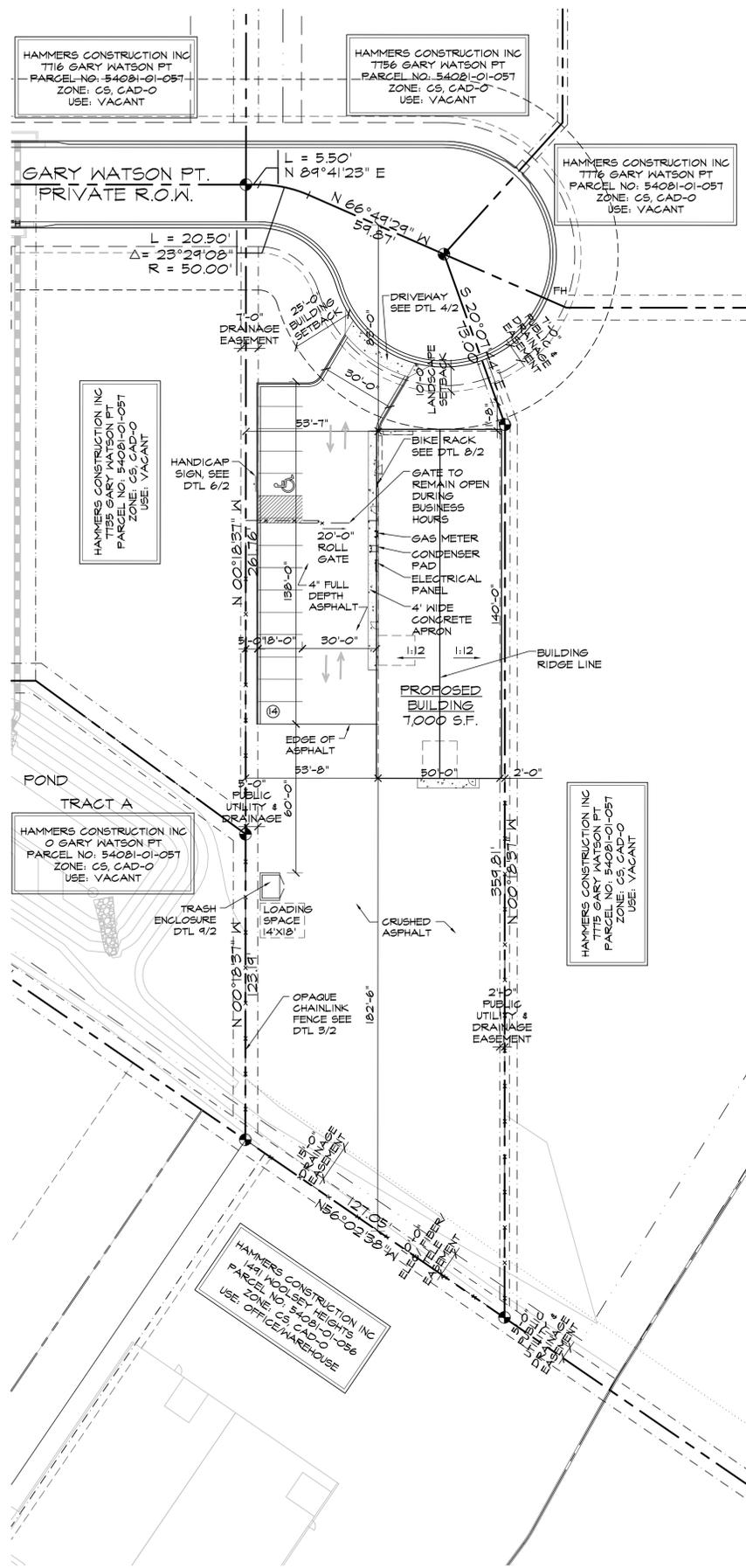


ADA NOTES

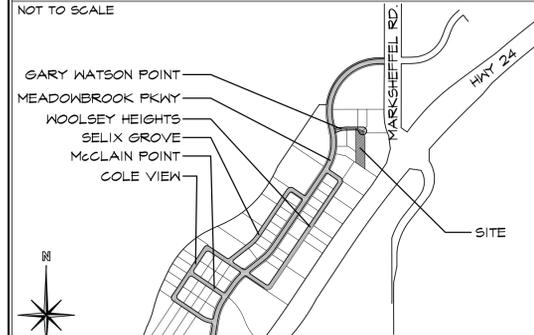
THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.



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- 7 OF 12 - GRADING & EROSION DETAILS & NOTES
- L1.1 - 8 OF 12 - LANDSCAPE PLAN
- L1.2 - 4 OF 12 - LANDSCAPE DETAILS & NOTES
- 10 OF 12 - PHOTOMETRIC SITE PLAN
- 11 OF 12 - LIGHTING CUT SHEETS
- 12 OF 12 - DP BUILDING ELEVATIONS

VICINITY MAP

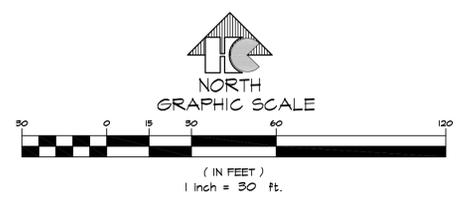


PROJECT INFORMATION

PROPERTY INFORMATION	
OWNER NAME:	HAMMERS CONSTRUCTION INC. 1411 WOOLSEY HEIGHTS COLORADO SPRINGS, CO 80915
LEGAL DESCRIPTION:	CLAREMONT BUSINESS PARK 2 FIL. NO. 1 LOT 3
PARCEL NUMBER:	54021-01-057
ZONING:	CS
LOT SIZE:	41,722 SF (0.96 ACRES)
CURRENT USE:	VACANT
FLOODPLAIN STATEMENT:	ZONE X (MAP NO. 08041C0756 G, DATED DEC. 7, 2018)
ZONING CODE STUDY	
PROPOSED PRINCIPAL USE:	OFFICE & WAREHOUSE
STRUCTURAL COVERAGE:	17%
PAVEMENT COVERAGE:	67%
STREET COVERAGE:	2%
BUILDING STRUCTURAL HEIGHT:	18'-7 3/8" (45'-0" MAX)
FRONT YARD SETBACK:	25'-0"
SIDE YARD SETBACK:	0'-0"
REAR YARD SETBACK:	0'-0"
BUILDING INFORMATION	
GROSS BUILDING AREA:	7,000 SF
BUILDING OCCUPANCY:	B/S-2
TYPE OF CONSTRUCTION:	II-B
FIRE SYSTEMS:	NONE
EXTERIOR FIRE WALLS:	1 HR (EAST SIDE ONLY)
REQUIRED PARKING SPACES	
OFFICE-(1 SPACE/200 S.F.) (1,300 S.F. / 200 S.F.)	7
WAREHOUSE-(1 SPACE/1,000 S.F.) (5,700 S.F. / 1,000 S.F.)	6
H.C.-(1 SPACE/25 REQ'D)	1
TOTAL PARKING SPACES REQUIRED:	14
TOTAL PARKING PROVIDED:	14
STANDARD SPACES PROVIDED:	13
H.C. SPACES PROVIDED:	1
COMPACT SPACES PROVIDED:	0
LOADING SPACE PROVIDED (SEE DETAIL 1/2 FOR DIMENSIONS)	1 (14'x18')
DEVELOPMENT SCHEDULE	
CONSTRUCTION:	SPRING 2021
LANDSCAPING:	SUMMER 2021
DEVELOPMENT APPLICANT	
COMPANY:	HAMMERS CONSTRUCTION, INC. 1411 WOOLSEY HEIGHTS COLO. SPGS., CO 80915
PHONE NUMBER:	(719)-570-1599
FAX NUMBER:	(719)-570-7008
APPLICANT NAME:	LISA PETERSON
APPLICANT E-MAIL:	lpeterson@hammersconstruction.com

SITE LEGEND

---	PROPERTY LINE
---	RIGHT OF WAY
---	BUILDING SETBACK
---	LANDSCAPE SETBACK
---	DRAINAGE EASEMENT
---	ELEC/FIBER TELE EASEMENT
---	ACCESS EASEMENT
---	UTILITY & DRAINAGE EASEMENT
---	UTILITY EASEMENT
x x x x x x x x	OPAQUE CHAINLINK FENCE
o o o o o o o o	GAS LINE
w w w w w w w w	WATER LINE
- - - - -	ELECTRICAL LINE
s s s s s s s s	SANITARY SEWER LINE
---	STORM SEWER LINE
* * * * *	NEW SIDEWALK LOCATIONS W/ CONTROL JOINTS @ 5'-0" O.C.
●	PROPERTY CORNER
→	TRAFFIC FLOW
□	WALL PACK LIGHTING
— —	SIGN
○	MANHOLE
□	ELECTRICAL TRANSFORMER
○	EXISTING FIRE HYDRANT
●	PROPOSED FIRE HYDRANT
□	WALK DOOR OR OVERHEAD DOOR LOCATIONS



SITE PLAN
SCALE: 1"=30'-0"

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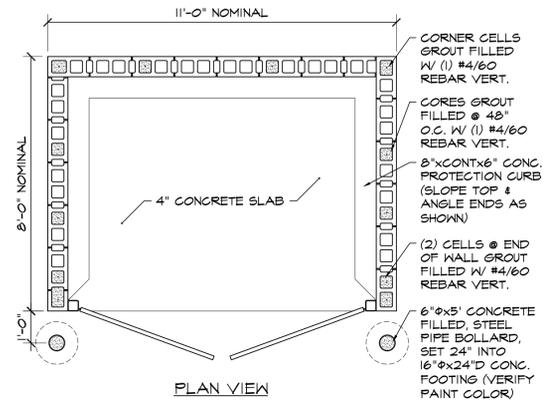
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CBP 2-1, LOT 3
7755 GARY WATSON POINT
COLORADO SPRINGS, CO 80915
EL PASO COUNTY, COLORADO

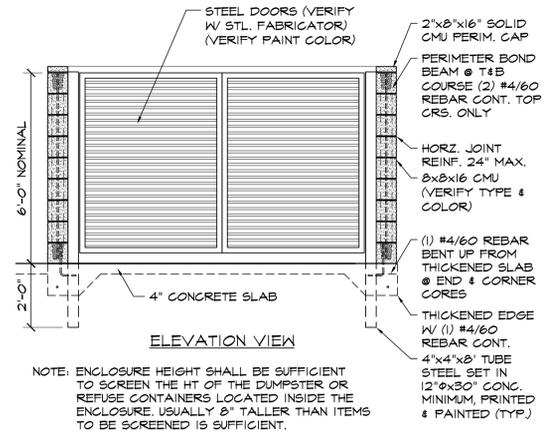
DATE: FEB 23, 2021
DRAWN BY: W. VENEROS
PROJ. MGR: R. GREEN
SCALE: SEE PLAN
APPROVED BY:
JOB NO: 1161

RESUBMITTALS:
4-16-21 / COMMENTS 3/24/21
5-3-21 / COMMENTS 5-3-21
5-14-21 / COMMENTS 5-13-21

1 of 12
SITE PLAN



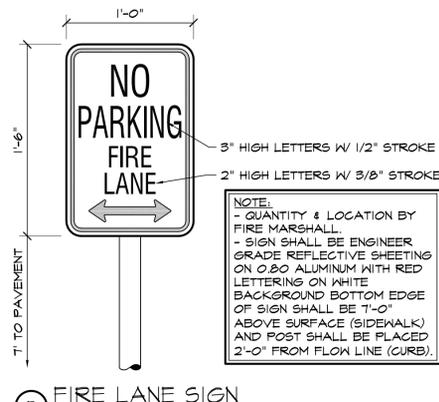
PLAN VIEW



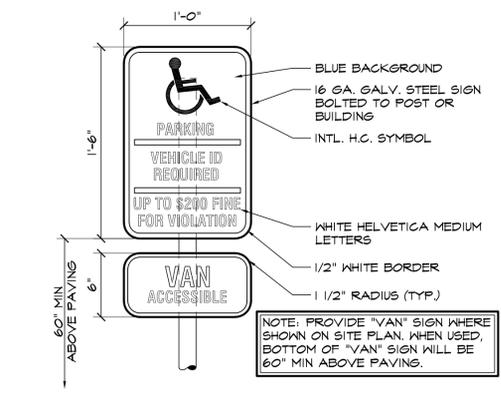
ELEVATION VIEW

9 CMU TRASH ENCLOSURE DTL
SCALE: 3/8"=1'-0"

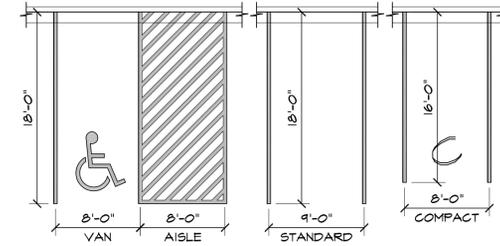
NOTE: ENCLOSURE HEIGHT SHALL BE SUFFICIENT TO SCREEN THE HT OF THE DUMPSTER OR REFUSE CONTAINERS LOCATED INSIDE THE ENCLOSURE, USUALLY 8' TALLER THAN ITEMS TO BE SCREENED IS SUFFICIENT.



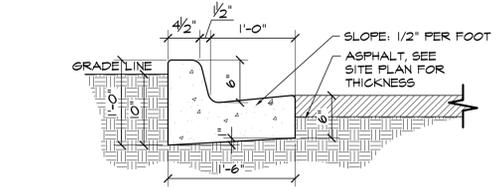
5 FIRE LANE SIGN
SCALE: 1/2"=1'-0"



6 HANDICAPPED PARKING SIGN
SCALE: 1/2"=1'-0"

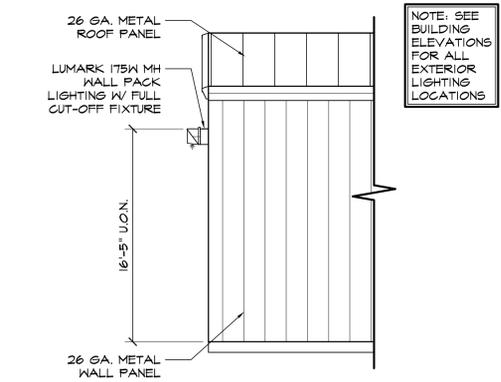


1 ADA / STANDARD PARKING
SCALE: 1/8"=1'-0"

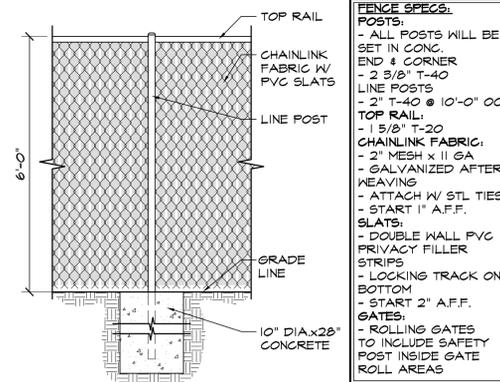


2 EPC TYPE B CURB
SCALE: 1"=1'-0"

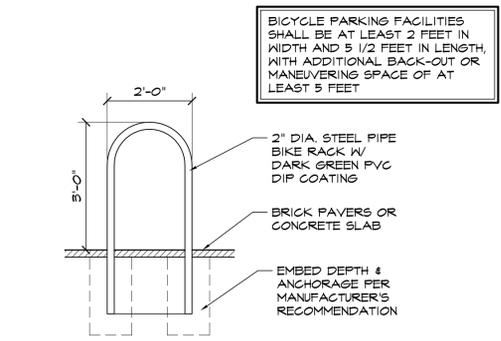
NOTE: ALL INTERNAL CURB THIS TYPE UNLESS NOTED OTHERWISE. SEE CIVIL PLANS FOR CARRY OR SPILL CURB LOCATIONS.



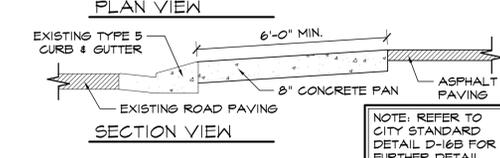
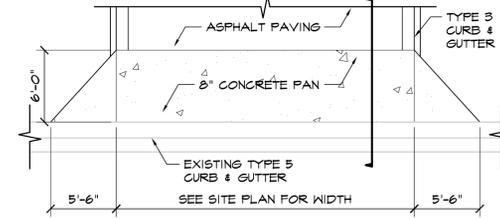
7 WALL PACK LIGHT DETAIL
SCALE: 1/4"=1'-0"



8 CHAINLINK FENCE DETAIL
SCALE: 1/2"=1'-0"



9 BIKE RACK DETAIL
SCALE: 1/2"=1'-0"



4 DRIVEWAY DETAIL
NOT TO SCALE

EL PASO COUNTY FILE NO. PPR-21-011

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