

ADA NOTES

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

Add symbology to legend.
This is a van accessible area. We feel this is not necessary to add to the legend as this is standard striping designation for any parking lot. This hatch always refer to a no parking area. Furthermore, we show this detailed in our parking detail located on page 2, detail 1

Please label.
The dashed lines are our overhead door locations. The middle line is our ridge line. We have been doing plans in EPC for 30 years and have never had to call this out before. We feel this is labeled adequately with the remaining plan set, via building elevations and floor plan. We like to keep our plan sets consistent and we have already gotten 3 plans approval without this label within this subdivision. Therefore, we feel these labels are not needed.

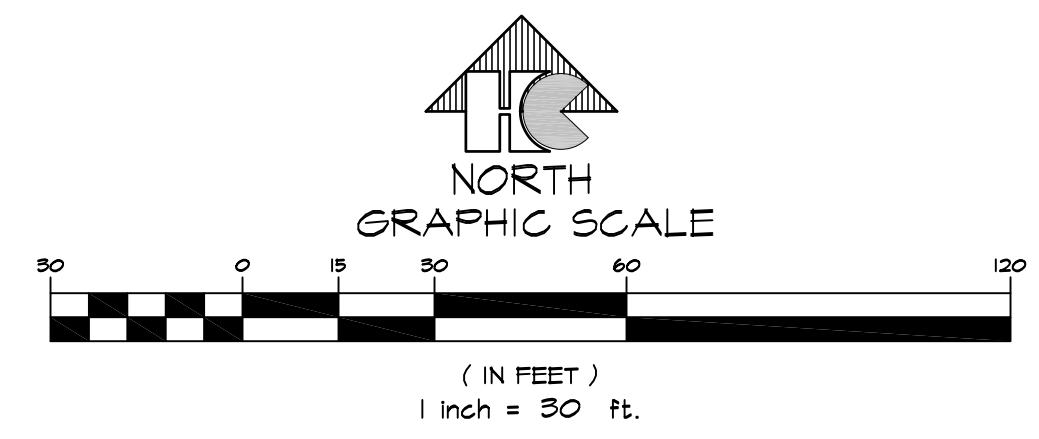
What is this line for? Please label.
The middle line is our ridge line. The other line is a dimension line. We have been doing plans in EPC for 30 years and have never had to call this out before. We feel this is labeled adequately with the remaining plan set, via building elevations and floor plan. We like to keep our plan sets consistent and we have already gotten 3 plans approval without this label within this subdivision. Therefore, we feel these labels are not needed.

What will the "crushed asphalt" area be used for? Will there be outside storage? Please label accordingly.
Crushed asphalt is a cost savings to keep erosion measures down and give a more finished look. There will be no outside storage. This area will be for vehicle turn around. If a client decides to store at a later date, they will be responsible for providing screening and going through special use process if it is warranted

Plat states this is supposed to be a public utility easement as well. Please adjust label.
Corrected

This symbology looks similar. Please change symbology.
We have been doing plans in EPC for 30 years and have kept this legend the same, we have never had an issue with previously approved plans. We like to keep our plans consistent and feel this change is not needed. In addition, we label these setbacks for further clarification

Please label retaining wall.
No retaining wall is proposed. This is our standard legend. We have removed this label for clarity.



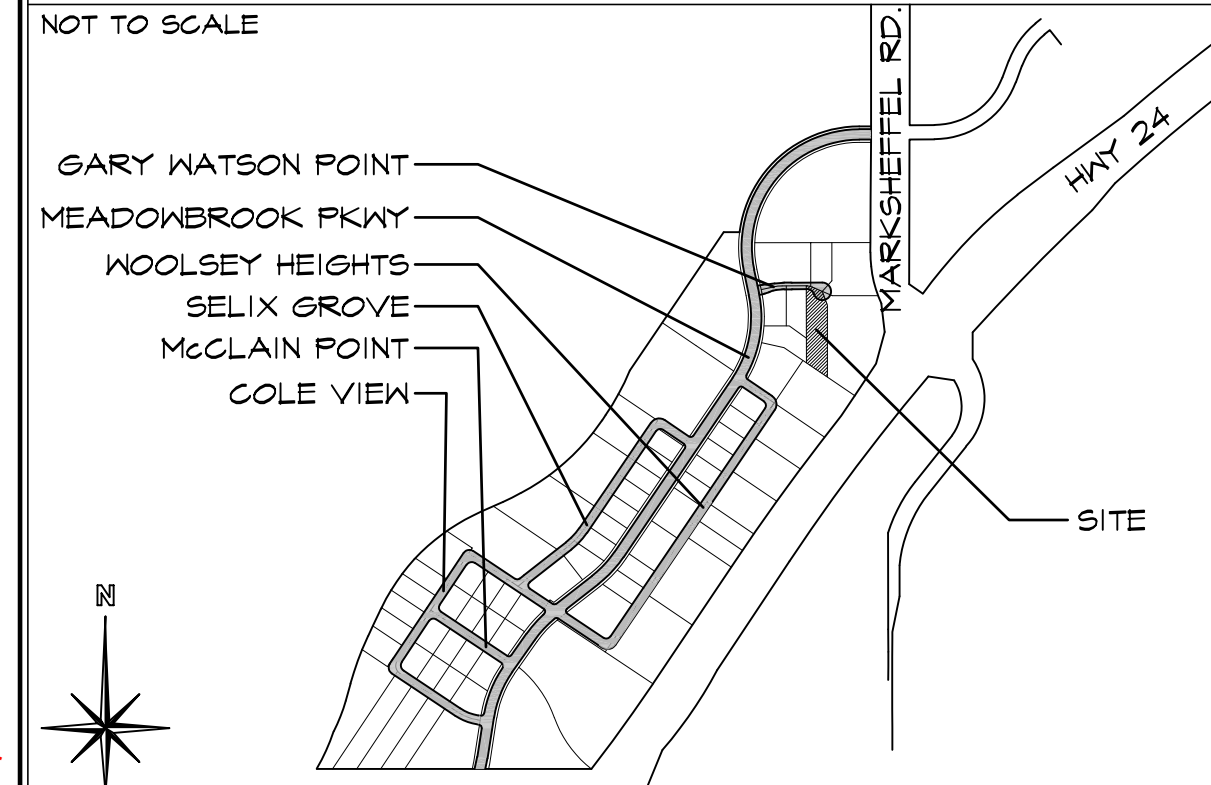
SITE PLAN
SCALE: 1"=30'-0"

Added PCD File No. PPR2111

DRAWING INDEX

- 1 OF 12 - SITE PLAN & PROJECT INFORMATION, DRAWING INDEX
- 2 OF 12 - SITE DETAILS
- 3 OF 12 - UTILITY SERVICE PLAN COVER SHEET
- 4 OF 12 - UTILITY SERVICE PLAN
- 5 OF 12 - GRADING & EROSION COVER SHEET
- 6 OF 12 - GRADING & EROSION CONTROL PLAN
- 7 OF 12 - GRADING & EROSION DETAILS & NOTES
- L1.1 - 8 OF 12 - LANDSCAPE PLAN
- L1.2 - 4 OF 12 - LANDSCAPE DETAILS & NOTES
- 10 OF 12 - PHOTOMETRIC SITE PLAN
- 11 OF 12 - LIGHTING CUT SHEETS
- 12 OF 12 - DP BUILDING ELEVATIONS

VICINITY MAP



PROJECT INFORMATION

PROPERTY INFORMATION	
OWNER NAME:	HAMMERS CONSTRUCTION INC. 1411 WOOLSEY HEIGHTS COLORADO SPRINGS, CO 80915
LEGAL DESCRIPTION: CLAREMONT BUSINESS PARK 2 FIL. NO. 1 LOT 3	
PARCEL NUMBER:	54081-01-057
ZONING:	CS
LOT SIZE:	41,122 SF (0.96 ACRES)
CURRENT USE:	VACANT
FLOODPLAIN STATEMENT:	ZONE X (MAP NO. 08041C0756 G, DATED DEC. 7, 2018)
ZONING CODE STUDY:	
PROPOSED PRINCIPAL USE:	OFFICE & WAREHOUSE
STRUCTURAL COVERAGE:	17%
PAVEMENT COVERAGE:	67%
STREET COVERAGE:	2%
BUILDING STRUCTURAL HEIGHT:	18'-1 3/8" (45'-0" MAX)
FRONT YARD SETBACK:	25'-0"
SIDE YARD SETBACK:	0'-0"
REAR YARD SETBACK:	0'-0"
BUILDING INFORMATION:	
GROSS BUILDING AREA:	7,000 SF
BUILDING OCCUPANCY:	B/S-2
TYPE OF CONSTRUCTION:	II-B
FIRE SYSTEMS:	NONE
EXTERIOR FIRE WALLS:	1 HR (EAST SIDE ONLY)
REQUIRED PARKING SPACES	
OFFICE-(1 SPACE/200 S.F.) (1,500 S.F. / 200 S.F.)	7
WAREHOUSE-(1 SPACE/1,000 S.F.) (5,700 S.F. / 1,000 S.F.)	6
H.C.-(1 SPACE/25 REQD)	1
TOTAL PARKING SPACES REQUIRED:	14
TOTAL PARKING PROVIDED:	14
STANDARD SPACES PROVIDED:	13
H.C. SPACES PROVIDED:	1
COMPACT SPACES PROVIDED:	0
LOADING SPACE PROVIDED:	1 (14'X18')
(SEE DETAIL 1/2 FOR DIMENSIONS)	
DEVELOPMENT SCHEDULE	
CONSTRUCTION:	WINTER 2021
LANDSCAPING:	SPRING 2021
DEVELOPMENT APPLICANT	
COMPANY:	HAMMERS CONSTRUCTION, INC. 1411 WOOLSEY HEIGHTS COLO. SPGS., CO 80915
PHONE NUMBER:	(719)-570-1599
FAX NUMBER:	(719)-570-7008
APPLICANT NAME:	LISA PETERSON
APPLICANT E-MAIL:	lpeterson@hammersconstruction.com

SITE LEGEND

	PROPERTY LINE
	RIGHT OF WAY
	BUILDING SETBACK
	LANDSCAPE SETBACK
	DRAINAGE EASEMENT
	ELEC/FIBER TELE EASEMENT
	ACCESS EASEMENT
	UTILITY & DRAINAGE EASEMENT
	UTILITY EASEMENT
	OPAQUE CHAINLINK FENCE
	GAS LINE
	WATER LINE
	ELECTRICAL LINE
	SANITARY SEWER LINE
	STORM SEWER LINE
	RETAINING WALL
	NEW SIDEWALK LOCATIONS W/ CONTROL JOINTS @ 5'-0" O.C.
	PROPERTY CORNER
	SIGN
	EXISTING FIRE HYDRANT
	TRAFFIC FLOW
	MANHOLE
	PROPOSED FIRE HYDRANT
	WALL PACK LIGHTING
	ELECTRICAL TRANSFORMER

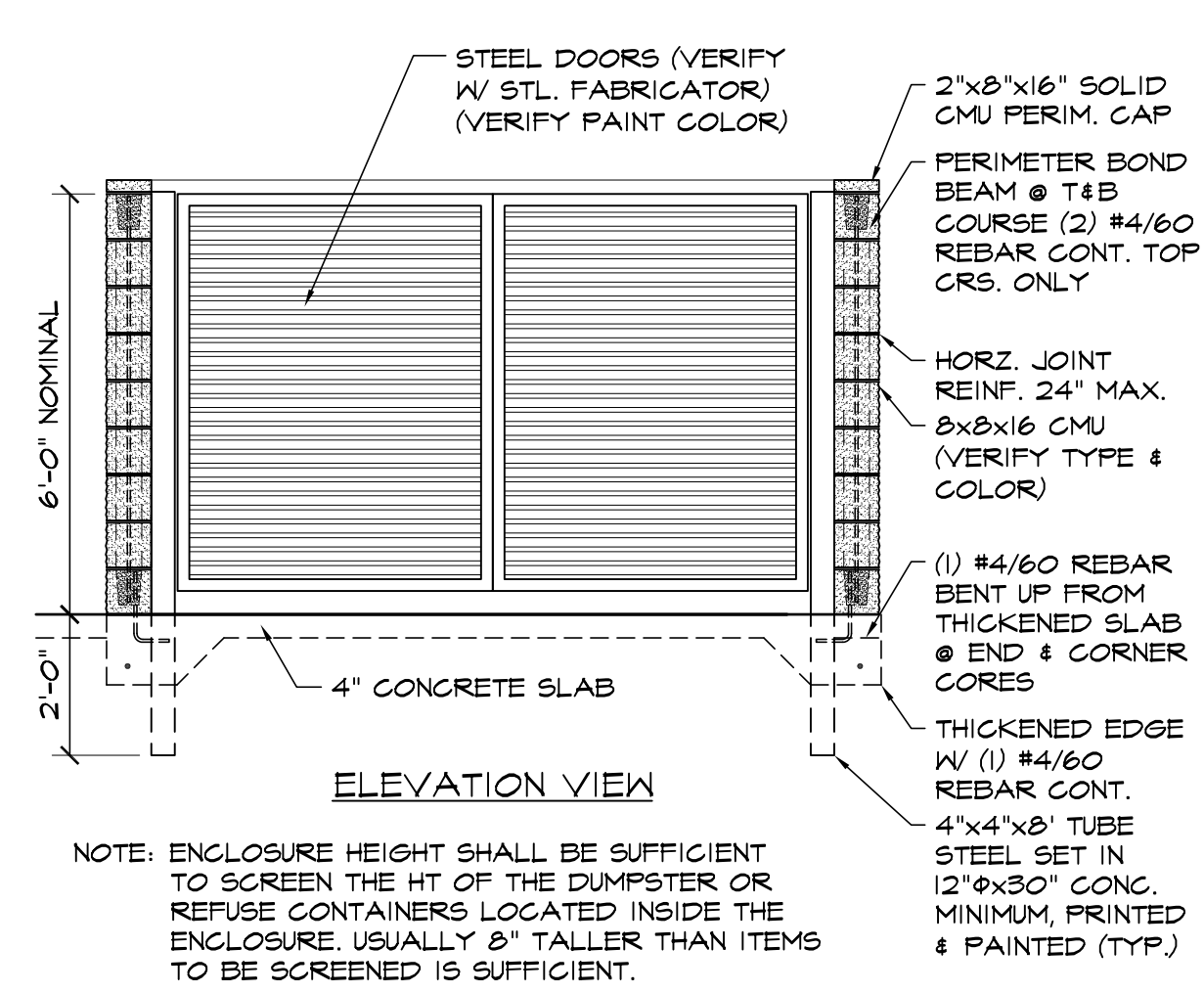
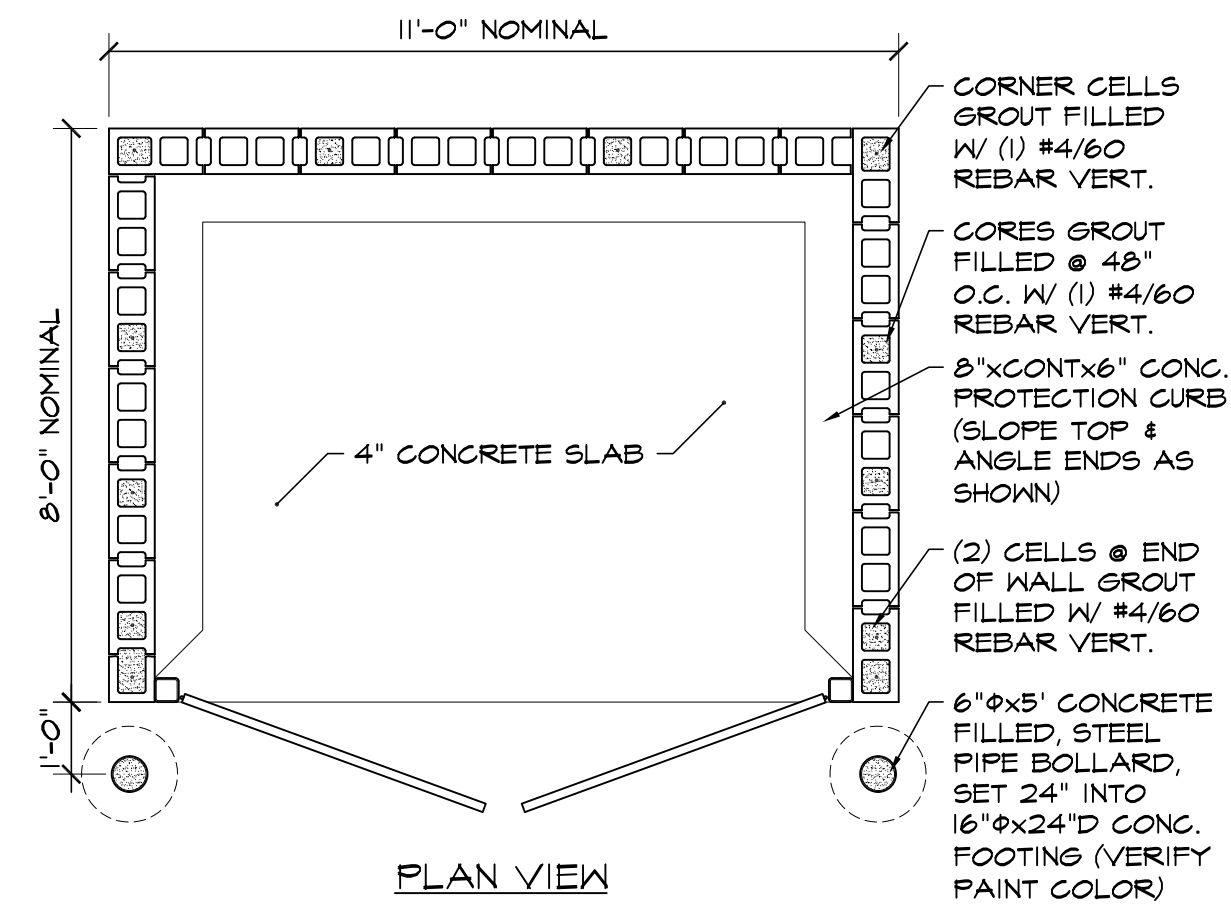
HAMMERS CONSTRUCTION INC.
COMMERCIAL GENERAL CONTRACTORS SPECIALIZING IN DESIGN/BUILD
PRESIDENT: STEVE R. HAMMERS
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CBP 2-1, LOT 3
7755 GARY WATSON POINT
COLORADO SPRINGS, CO 80915
EL PASO COUNTY, COLORADO

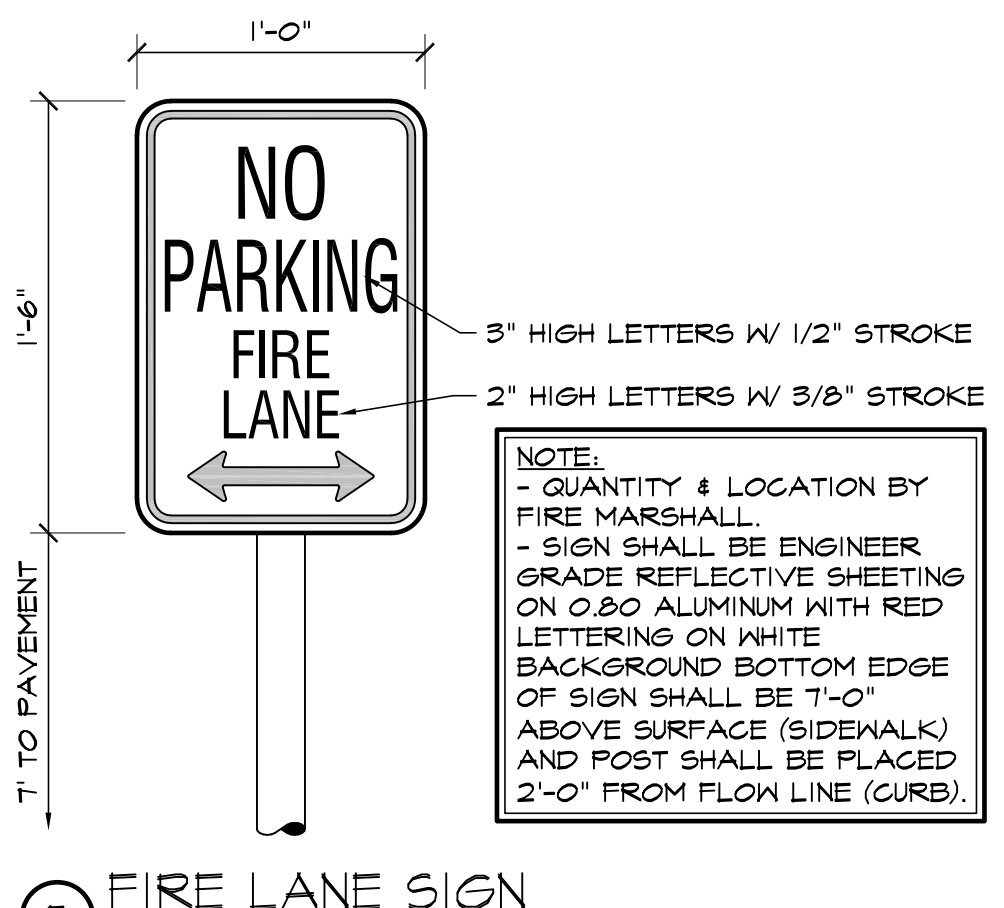
DATE: FEB. 23, 2021
DRAWN BY: W. VENEROS
PROJ. MGR: R. GREEN
SCALE: SEE PLAN
APPROVED BY:
JOB NO: 1161

RESUBMITTALS:
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▲
▲
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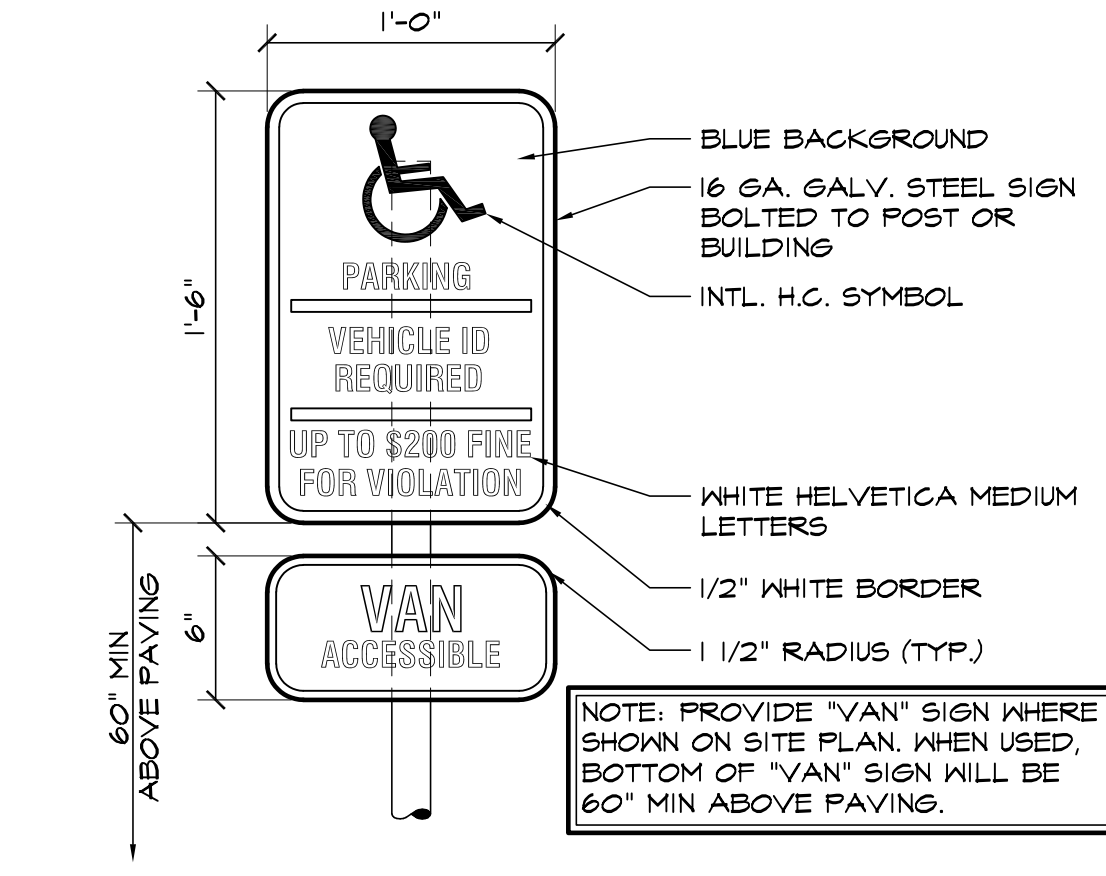


9 CMU TRASH ENCLOSURE DTL
SCALE: 3/8"=1'-0"

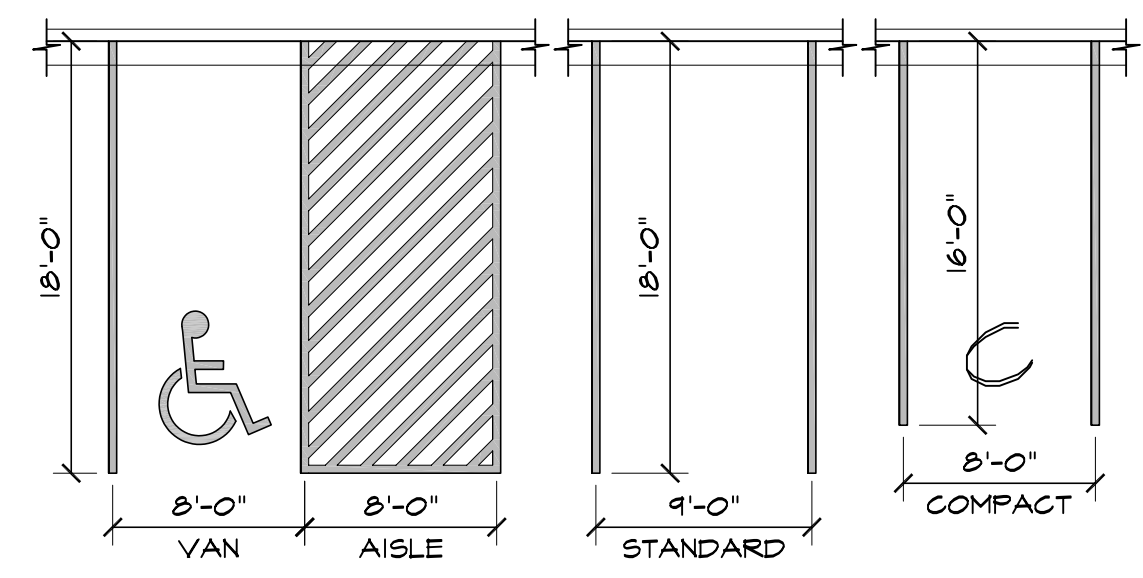
NOTE: ENCLOSURE HEIGHT SHALL BE SUFFICIENT TO SCREEN THE HT OF THE DUMPSTER OR REFUSE CONTAINERS LOCATED INSIDE THE ENCLOSURE, USUALLY 8' TALLER THAN ITEMS TO BE SCREENED IS SUFFICIENT.



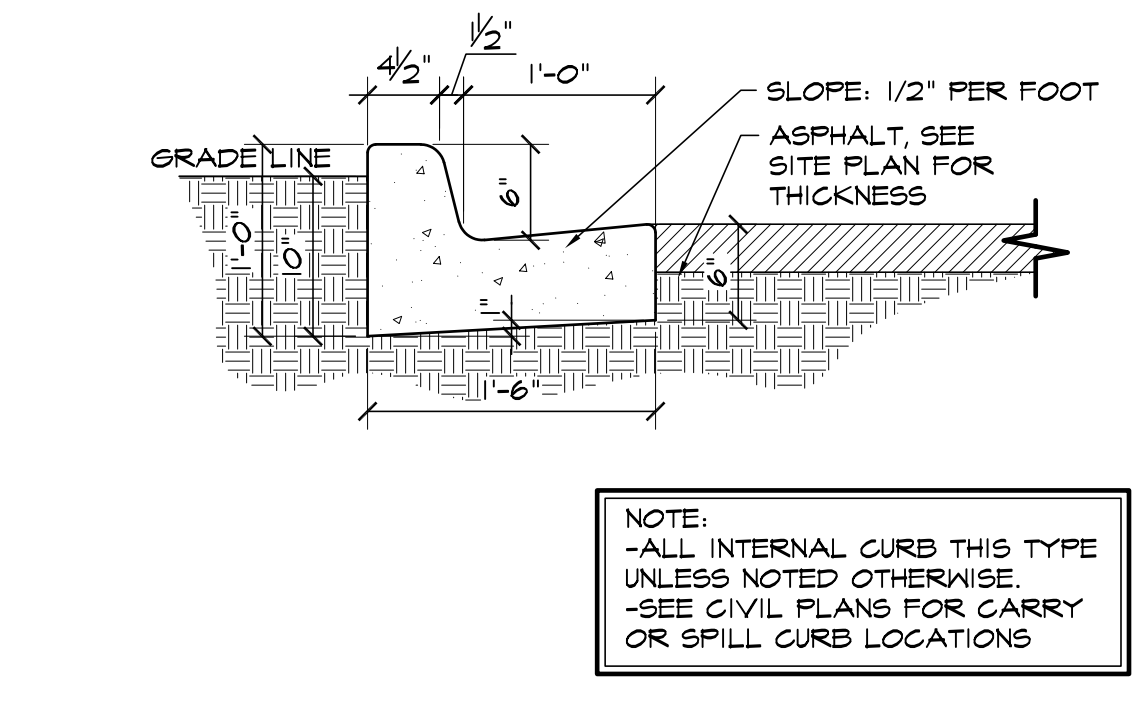
5 FIRE LANE SIGN
SCALE: 1/2"=1'-0"



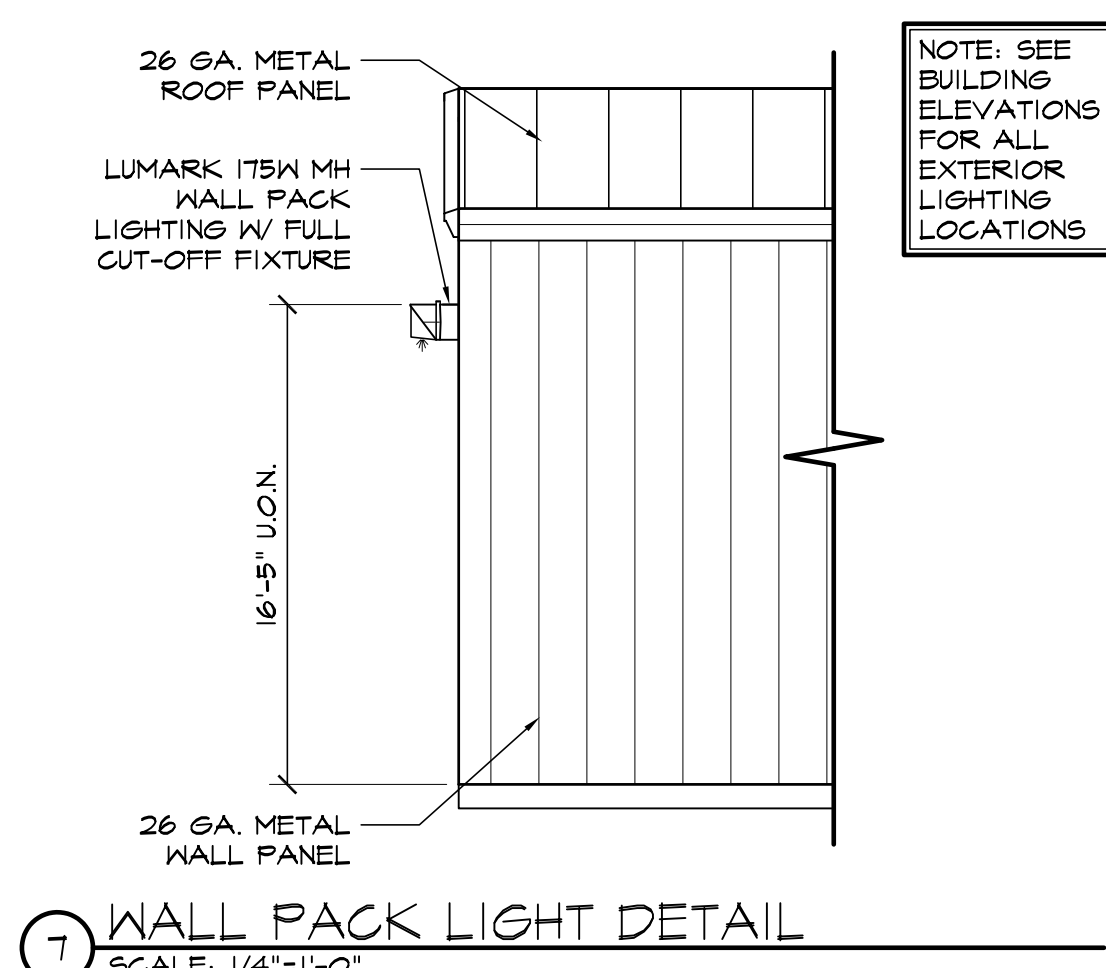
6 HANDICAPPED PARKING SIGN
SCALE: 1/2"=1'-0"



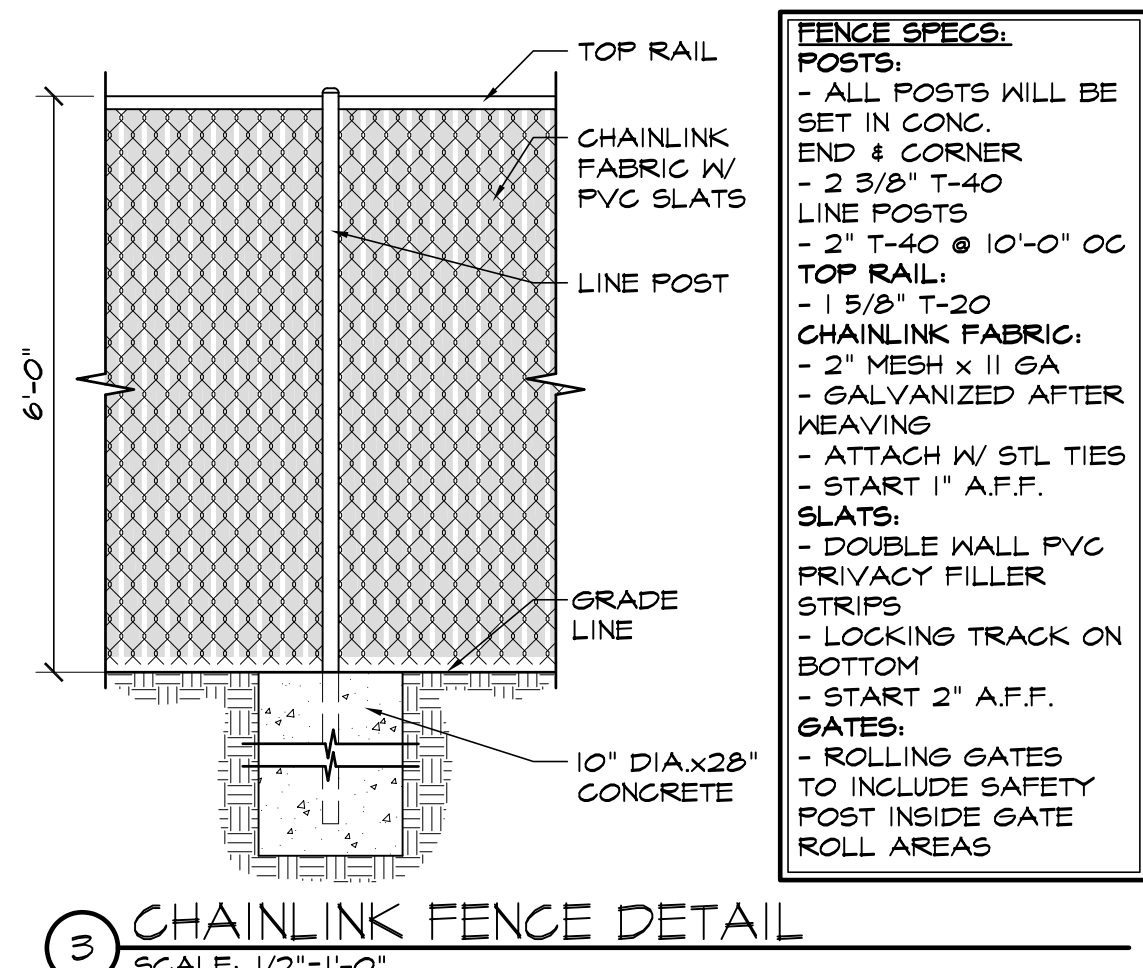
1 ADA / STANDARD PARKING
SCALE: 1/8"=1'-0"



2 EPC TYPE B CURB
SCALE: 1"=1'-0"



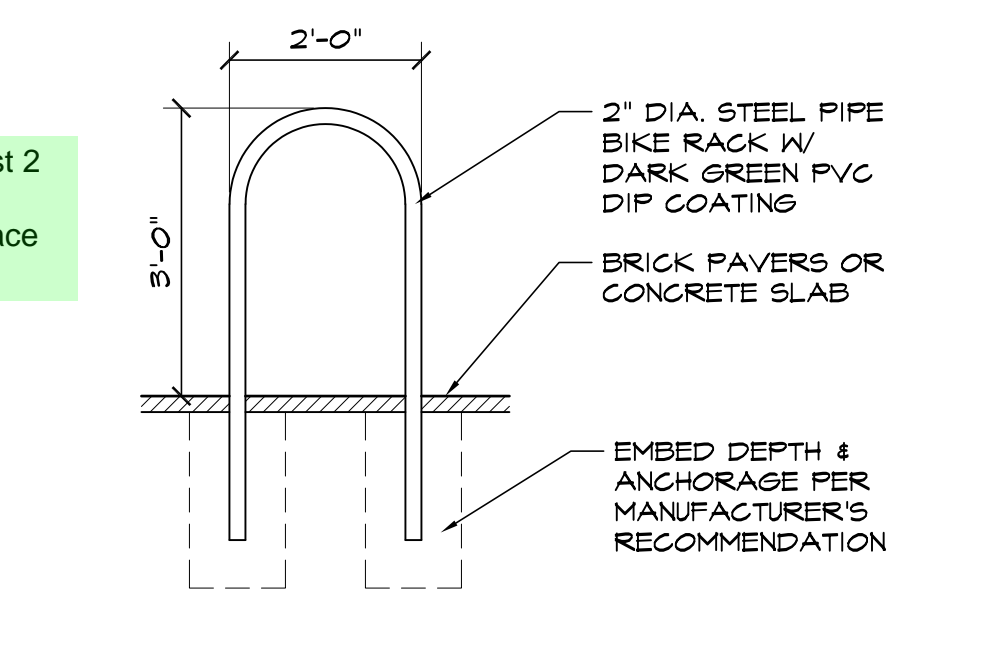
7 WALL PACK LIGHT DETAIL
SCALE: 1/4"=1'-0"



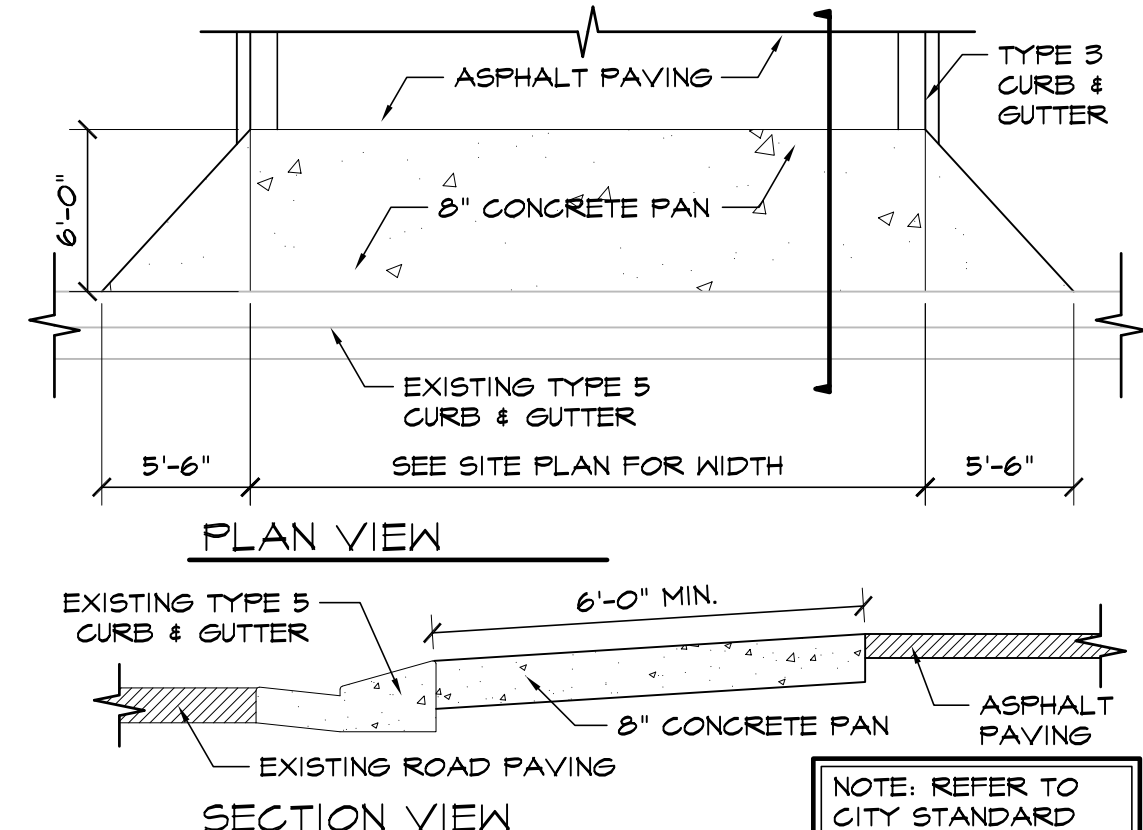
3 CHAINLINK FENCE DETAIL
SCALE: 1/2"=1'-0"

Bicycle parking facilities shall be at least 2 feet in width and 5 1/2 feet in length, with additional back-out or maneuvering space of at least 5 feet.

Noted



8 BIKE RACK DETAIL
SCALE: 1/2"=1'-0"



4 DRIVEWAY DETAIL
NOT TO SCALE

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