

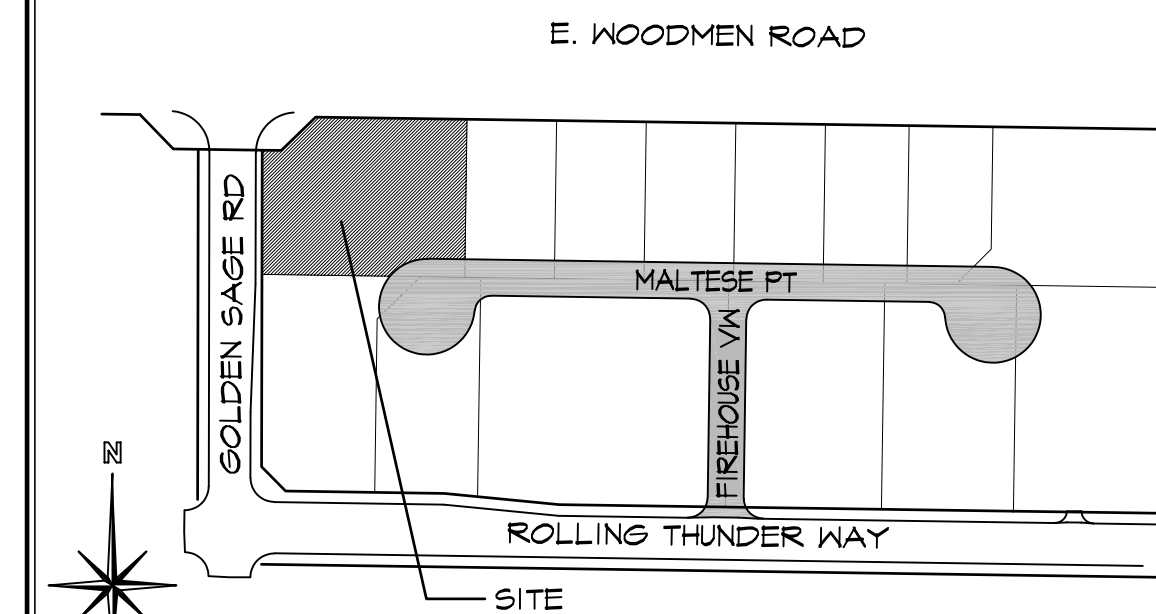
① SITE PLAN
SCALE: 1"=20'-0"

DRAWING INDEX

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VICINITY MAP

NOT TO SCALE



PROJECT INFORMATION

PROPERTY INFORMATION	TENENT INVESTMENTS, LLC
OWNER NAME:	9019 ROYAL MELBOURNE CIRCLE PEYTON, COLORADO 80831
LEGAL DESCRIPTION:	LOT 1, FILING 1 OF ROLLING THUNDER BUSINESS PARK 53111-01-001
PARCEL NUMBER:	PUD (NTY FILE NO: PUD-08-002)
ZONING:	48,400 SF (1.11 ACRES)
LOT SIZE:	WAREHOUSE / STORAGE
CURRENT USE:	NONE (MAP NO. 080410033 S, DATED DECEMBER 1, 2018)
FLOODPLAIN STATEMENT:	
BUILDING INFORMATION	10,000 SF
GROSS BUILDING AREA:	F-2, B, F-2, S-2
BUILDING OCCUPANCY:	V-B
TYPE OF CONSTRUCTION:	SPRINKLED
FIRE SYSTEMS:	NONE
AREA SEPARATION WALLS:	
ZONING CODE STUDY	OFFICE, PERSONAL IMPROVEMENT, STORAGE, BREWERY 21%
PROPOSED PRINCIPAL USE:	45%
STRUCTURAL COVERAGE OF LOT:	4%
PAYMENT COVERAGE:	19'-8" (45'-0" MAX)
STREET COVERAGE:	20'-0"
BUILDING STRUCTURAL HEIGHT:	NONE
FRONT YARD SETBACK:	25'-0"
SIDE YARD SETBACK:	
REAR YARD SETBACK:	
REQUIRED PARKING SPACES:	
OFFICE - (1 SPACE/ 100 S.F.)	10
(925 S.F. / 100 S.F.)	
PERSONAL IMPROVEMENT -	
(1 SPACE/250 S.F.)	5
(1,415 S.F. / 250 S.F.)	
WAREHOUSE - (1 SPACE/1,000 S.F.)	1
(48,400 S.F. / 1,000 S.F.)	3
NUMBER OF EMPLOYEES • MAX SHIFT	1
H.C. (1 SPACE/25 REQ'D)	1
TOTAL PARKING SPACES REQUIRED:	22
TOTAL PARKING PROVIDED:	34
STANDARD SPACES PROVIDED:	32
H.C. SPACES PROVIDED:	2
LOADING SPACE PROVIDED:	1 (14'x18')
(SEE DETAIL 1 OF 2 FOR DIMENSIONS)	
List Bike Parking Required and Provided	
DEVELOPMENT SCHEDULE	
CONSTRUCTION:	SUMMER 2020
LANDSCAPING:	SUMMER 2020
DEVELOPMENT APPLICANT	
COMPANY:	HAMMERS CONSTRUCTION, INC.
	1411 WOOLSEY HEIGHTS COLO. SPGS, CO 80915 (719)-570-1599
PHONE NUMBER:	(719)-570-1008
FAX NUMBER:	LISA PETERSON
APPLICANT NAME:	lpeterson@hammersconstruction.com
APPLICANT E-MAIL:	

uses should match those on the PUD:

Brewery (Light Manufacturing) and whatever is in the other half of the building.

the Health Club has not yet been approved. There is no office shown on the brewery floorplan.

SITE LEGEND

---	PROPERTY LINE
---	RIGHT OF WAY
---	BUILDING SETBACK
---	LANDSCAPE SETBACK
---	DRAINAGE EASEMENT
---	PUBLIC UTILITY EASEMENT
---	ACCESS EASEMENT
---	OPAQUE CHAINLINK FENCE
---	GAS LINE
---	WATER LINE
---	ELECTRICAL LINE
---	SANITARY SEWER LINE
---	STORM SEWER LINE
---	RETAINING WALL
---	NEW SIDEWALK LOCATIONS W/ CONTROL JOINTS • 5'-0" O.C.
●	PROPERTY CORNER
→	TRAFFIC FLOW
□	WALL PACK LIGHTING
—	SIGN
⊕	MANHOLE
⊞	ELECTRICAL TRANSFORMER
⊙	EXISTING FIRE HYDRANT
⊙	PROPOSED FIRE HYDRANT

COUNTY FILE NO. COM-20-067

HAMMERS
CONSTRUCTION INC.

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TENENT INVESTMENT, LLC
FLOOR PLAN
10610 MALTESE POINT
PEYTON, CO 80831
EL PASO COUNTY, COLORADO

DATE: APRIL 7, 2020
DRAWN BY: A. BURTON
PROJ. MGR: E. SMITH
SCALE: SEE PLAN
APPROVED BY:
JOB NO: 1187

△ SUBMITTALS:

1 of 1
SITE PLAN