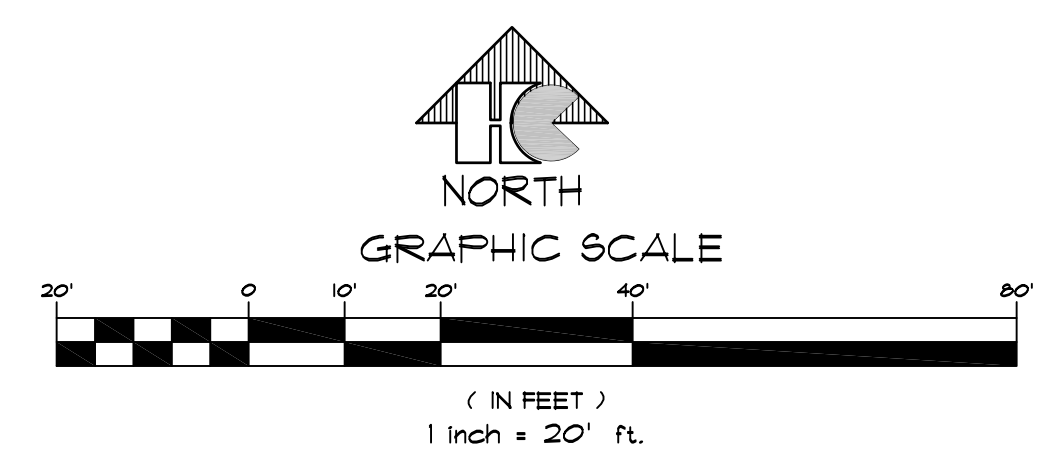


2 BIKE RACK DETAIL
SCALE: 1/2"=1'-0"

1 SITE PLAN
SCALE: 1"=20'-0"

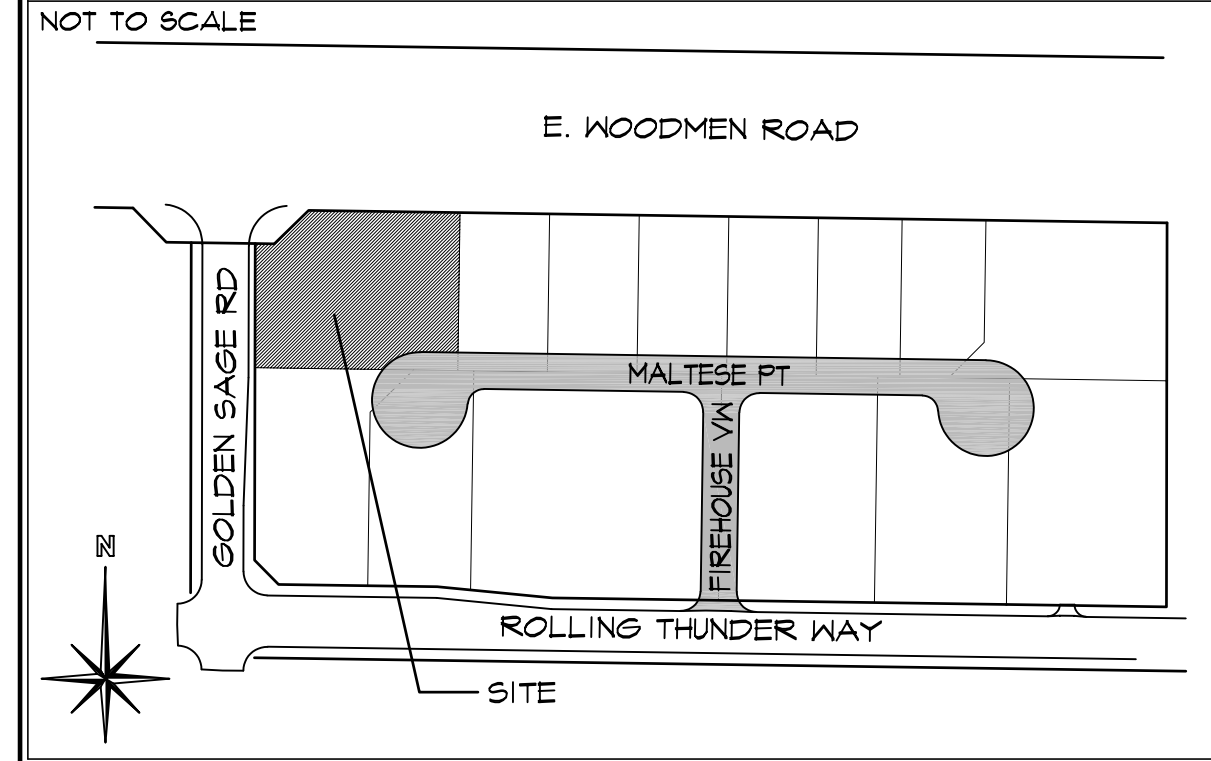


Approved
By: **Lindsay Darden**
Date: **12/23/2020**
El Paso County Planning & Community Development

DRAWING INDEX

- 1 - SITE PLAN, PROJECT INFORMATION, DRAWING INDEX
- 2 - SITE DETAILS
- 3 - GRADING & EROSION CONTROL PLAN
- 4 - HORIZONTAL CONTROL PLAN
- 5 - UTILITY PLAN
- 6 - LANDSCAPE COVER SHEET
- 7 - LANDSCAPE PLAN
- 8 - LANDSCAPE DETAILS
- 9 - PHOTOMETRIC PLANS
- 10 - DP BUILDING ELEVATIONS

VICINITY MAP



PROJECT INFORMATION

PROPERTY INFORMATION	
OWNER NAME:	TENENT INVESTMENTS, LLC 9019 ROYAL MELBOURNE CIRCLE PEYTON, COLORADO 80831
LEGAL DESCRIPTION:	
PARCEL NUMBER:	LOT 1 FILING 1 OF ROLLING THUNDER BUSINESS PARK 5311-01-001
ZONING:	PUD (GNTY FILE NO: PUD-08-002)
LOT SIZE:	48,400 SF (1.11 ACRES)
CURRENT USE:	GYMNASIUMS / AUTO REPAIR
FLOODPLAIN STATEMENT:	NONE (MAP NO: 08041C0535 G, DATED DECEMBER 7, 2018)
BUILDING INFORMATION	
GROSS BUILDING AREA:	10,000 SF
BUILDING OCCUPANCY:	A-3, B, F-2, S-2
TYPE OF CONSTRUCTION:	V-5
FIRE SYSTEMS:	SPRINKLED
AREA SEPARATION WALLS:	NONE
ZONING CODE STUDY	
PROPOSED PRINCIPAL USE:	LIGHT MANUFACTURING, OFFICE, WAREHOUSE AND AUTO REPAIR
STRUCTURAL COVERAGE OF LOT:	21%
PAVEMENT COVERAGE:	45%
STREET COVERAGE:	4%
BUILDING STRUCTURAL HEIGHT:	19'-8" (45'-0" MAX)
FRONT YARD SETBACK:	20'-0"
SIDE YARD SETBACK:	NONE
REAR YARD SETBACK:	25'-0"
REQUIRED PARKING SPACES:	
EXISTING AUTO REPAIR (5,000 S.F.)	
(1 SPACE PER EMPLOYEE:	
3 EMPLOYEES x 1 SPACE = 3)	
(3 SPACES PER SERVICE BAY:	
2 BAYS x 3 SPACES = 6)	
TOTAL REQUIRED:	
WAREHOUSE - (1 SPACE/1,000 S.F.)	4
(2,560 S.F. / 1,000 S.F.)	3
LIGHT MANUFACTURING (1 SPACE/750 S.F.)	2
(1,412 S.F. / 750 S.F.)	2
OFFICE - (1 SPACE/200 S.F.)	5
(1,020 S.F. / 200 S.F.)	1
H.C. - (1 SPACE/25 REQ'D)	45
TOTAL PARKING SPACES REQUIRED:	42
TOTAL PARKING PROVIDED:	42
STANDARD SPACES PROVIDED:	3
H.C. SPACES PROVIDED:	1 (14'x18')
LOADING SPACE PROVIDED:	2
BIKE PARKING REQUIRED:	2
TOTAL PARKING X 5%:	2
45 PARKING X 5%:	2
BIKE PARKING PROVIDED:	2
DEVELOPMENT SCHEDULE	
CONSTRUCTION:	WINTER 2020
LANDSCAPING:	FALL 2020
DEVELOPMENT APPLICANT	
COMPANY:	HAMMERS CONSTRUCTION, INC. 1411 WOOLSEY HEIGHTS COLO. SPRINGS, CO 80915
PHONE NUMBER:	(719)-510-1549
FAX NUMBER:	(719)-510-1008
APPLICANT NAME:	LISA PETERSON
APPLICANT E-MAIL:	lpeterson@hammersconstruction.com

SITE LEGEND

	PROPERTY LINE
	RIGHT OF WAY
	BUILDING SETBACK
	LANDSCAPE SETBACK
	DRAINAGE EASEMENT
	PUBLIC UTILITY EASEMENT
	ACCESS EASEMENT
	OPAQUE CHAINLINK FENCE
	STORM SEWER LINE
	RETAINING WALL
	NEW SIDEWALK LOCATIONS W/ CONTROL JOINTS @ 5'-0" O.C.
	PROPERTY CORNER
	TRAFFIC FLOW
	WALL FACK LIGHTING
	SIGN
	MANHOLE
	ELECTRICAL TRANSFORMER
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT

COUNTY FILE NO. COM-20-067

HAMMERS CONSTRUCTION INC.
COMMERCIAL GENERAL CONTRACTORS SPECIALIZING IN DESIGN/BUILD
PRESIDENT: STEVE R. HAMMERS
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TENENT INVESTMENT, LLC
BREWERY
10610 MALTESE POINT
PEYTON, CO 80831
EL PASO COUNTY, COLORADO

DATE: OCT 28, 2020
DRAWN BY: W. VENEROS
PROJ. MGR: E. SMITH
SCALE: SEE PLAN
APPROVED BY:
JOB NO: 1187

RESUBMITTALS:
12-4-20 / COMMENTS 11-5-20

1 of 10
SITE PLAN

GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- MECHANICAL TO PROVIDE INSULATED CURBS AT ALL EQUIPMENT.
- CONSULT CIVIL DRAWINGS FOR SITE LAYOUT, FINISHED GRADES, CATCH BASIN, STORM SEWER DESIGN AND UTILITY DESIGN.
- UNLESS NOTED OTHERWISE, ALL ELEVATIONS SHOWN ON THIS PLAN ARE IN RELATION TO FINISH FLOOR SET AT 100'-0".
- ALL SEWER, ELECTRICAL, PLUMBING, & MECHANICAL SHALL CONFORM WITH ALL LOCAL, STATE & NATIONAL CODES.
- ALL STL. ANGLES EXPOSED TO VIEW SHALL BE SHOP PRIMED & PAINTED.
- ALL WORK SHALL BE ERECTED & INSTALLED PLUMB LEVEL, SQUARE & TRUE & IN PROPER ALIGNMENT.
- MANUFACTURED MATERIALS, EQUIPMENT, ETC., SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS & INSTRUCTION, UNLESS OTHERWISE NOTED.
- REFER TO STRUCTURAL DRAWINGS FOR LOCATIONS, SIZES, THICKNESSES, MASSES, SLOPES & TOP OF SLABS, FOUNDATIONS, & GRADE BEAMS.
- FOUNDATIONS DETAILS SHOWN ON THE ARCHITECTURAL PLANS ARE PROVIDED FOR INFORMATION PURPOSES ONLY. STRUCTURAL DETAILS SHALL GOVERN.
- PROVIDE & INSTALL SIGNAGE AS REQUIRED BY LOCAL, STATE & FEDERAL REGULATIONS.
- ALL OWNER PROVIDED ITEMS WILL BE COORDINATED BETWEEN THE OWNER & CONTRACTOR FOR COORDINATION OF TYPE & REQUIREMENTS OF EQUIPMENT & TIME REQUIREMENTS TO KEEP A SCHEDULE.
- REFER TO ELECTRICAL DRAWINGS FOR TRANSFORMER, SITE LIGHTING, SWITCH GEAR & ALL OTHER RELATED ELECTRICAL INFORMATION AND DETAILS.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING, REFER TO CIVIL DRAWINGS.
- PROVIDE BACKER ROD & SEALANT AT ALL INTERIOR PANEL JOINTS THAT ARE EXPOSED.

RCP PLAN LEGEND

- === BULKHEAD, 3 3/8"x25 GA. STUDS W/ TRACK TOP & BTM
- EXISTING 2x4 GRID
- EXISTING LIGHT FIXTURE
- NEW LIGHT FIXTURE
- NEW LIGHT FIXTURE

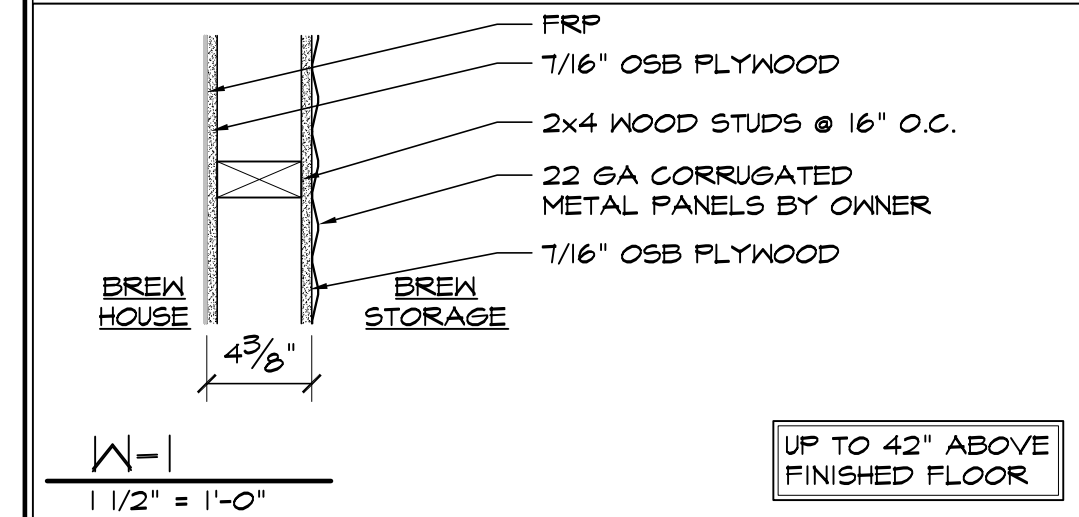
DEMO PLAN LEGEND

- EXISTING WALLS TO REMAIN
- //// AREAS TO BE DEMOLISHED
- OPENING TO BE IN-FILLED
- //// DEMO OPENING IN WALL

FLOOR PLAN LEGEND

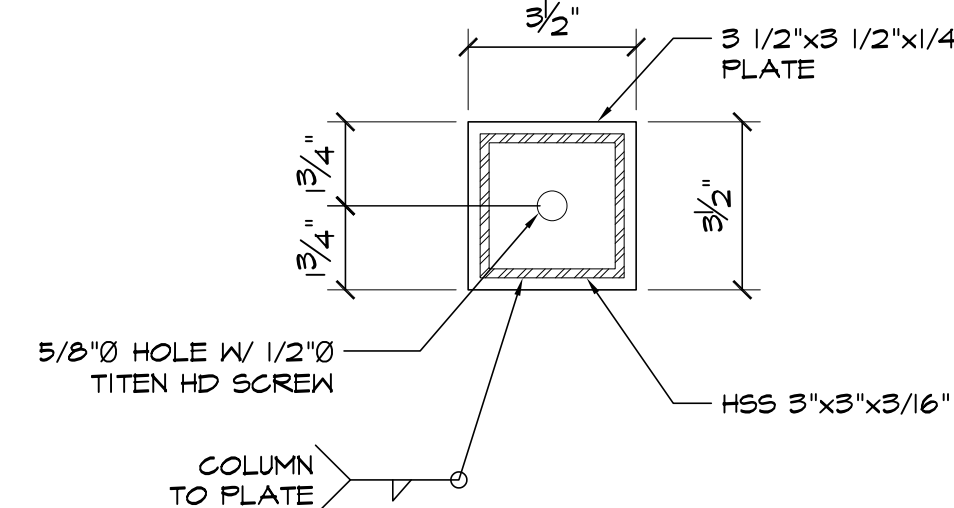
- EXISTING WALL
- 42" HIGH WALL

WALL TYPE DETAILS

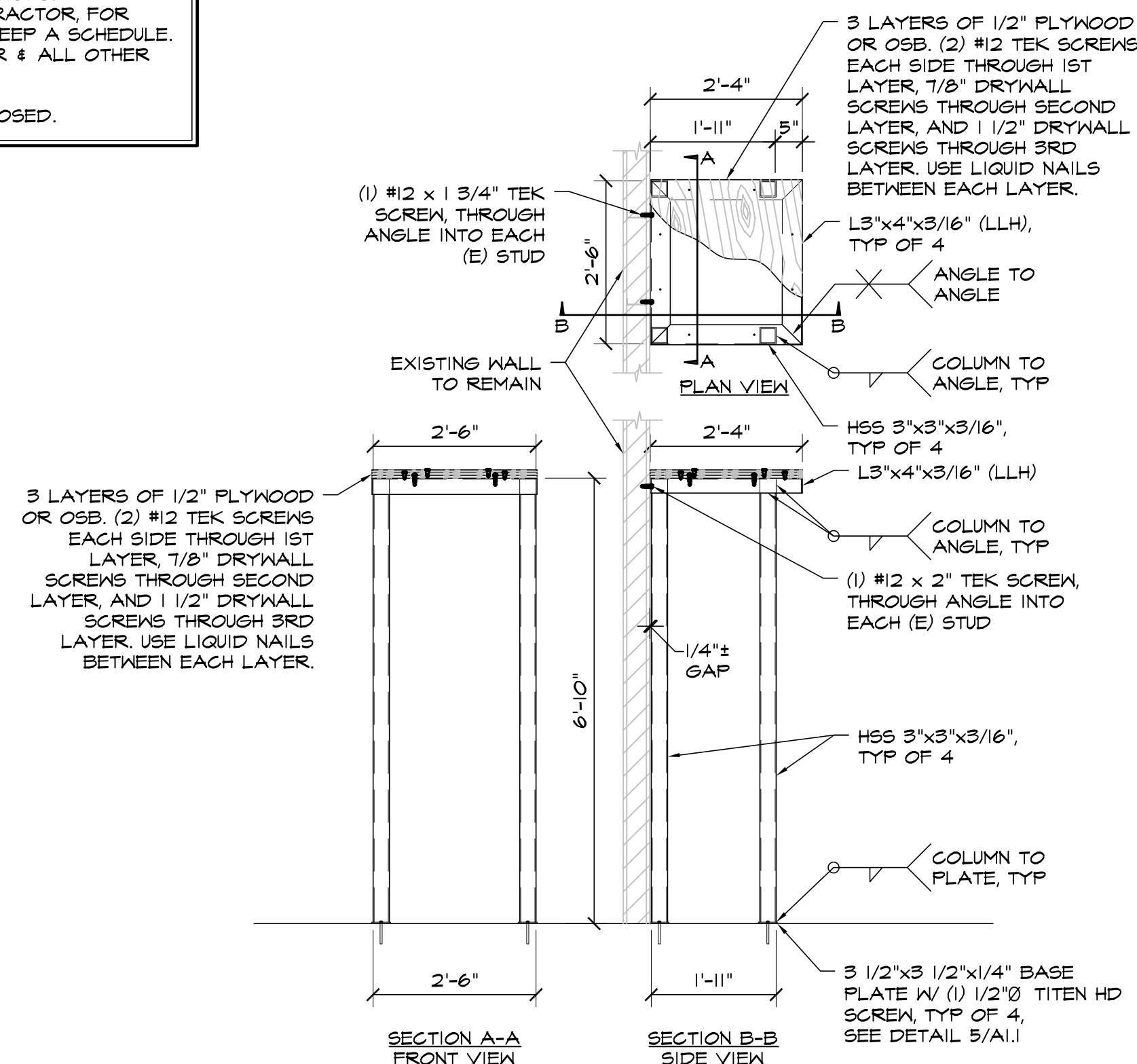


RCP NOTES

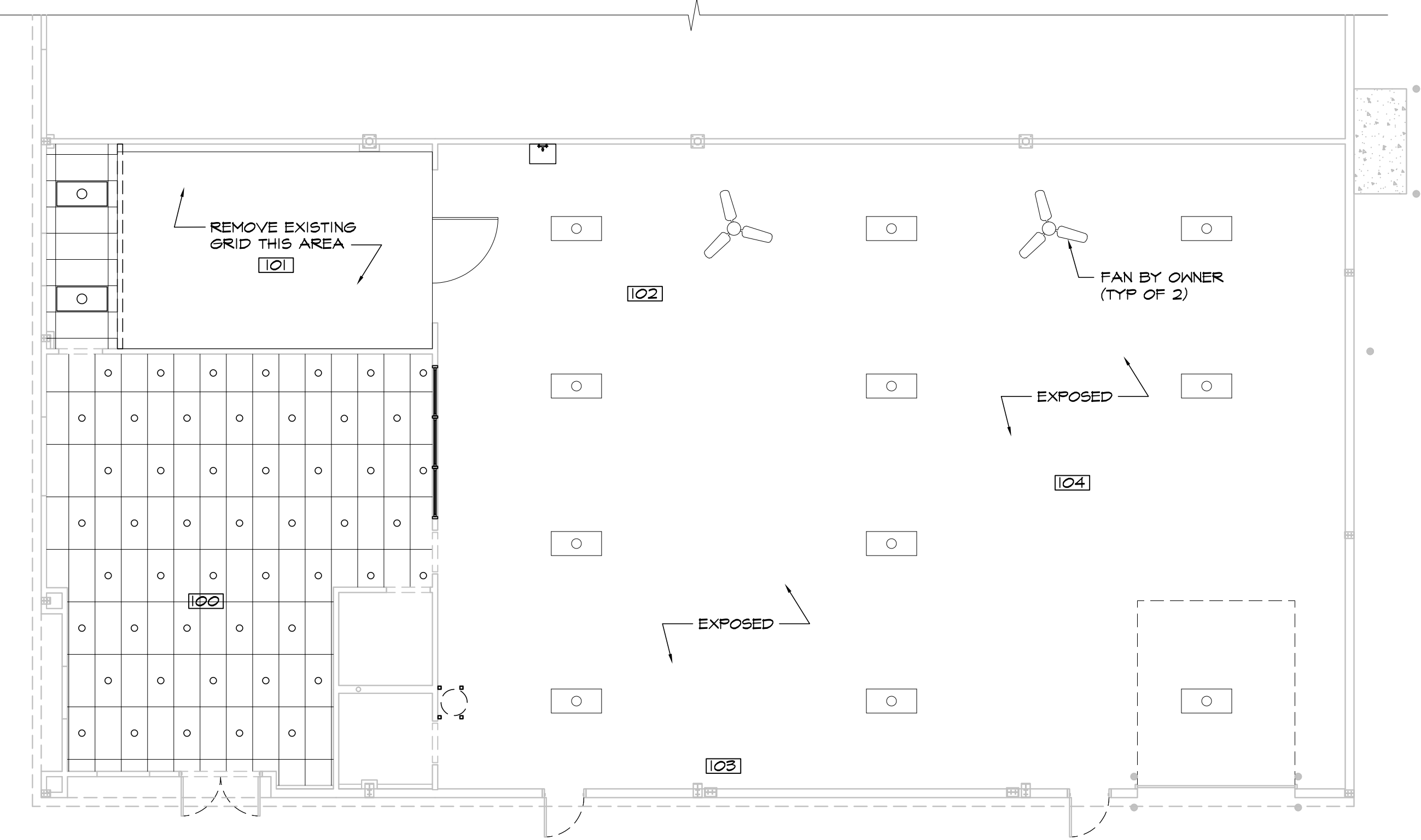
- REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE TYPES AND LOCATIONS.
- ELECTRICAL SUBCONTRACTOR TO COORDINATE WITH MECHANICAL EQUIPMENT PRIOR TO INSTALLATION.
- REFER TO MECHANICAL DRAWINGS FOR DIFFUSER LOCATIONS.
- CENTER ALL SPRINKLER HEADS IN CENTER OF PANEL (IF APPLICABLE).
- SPRINKLER SUBCONTRACTOR TO COORDINATE WITH MEP SUBS.
- SB = SEE SCHEDULES



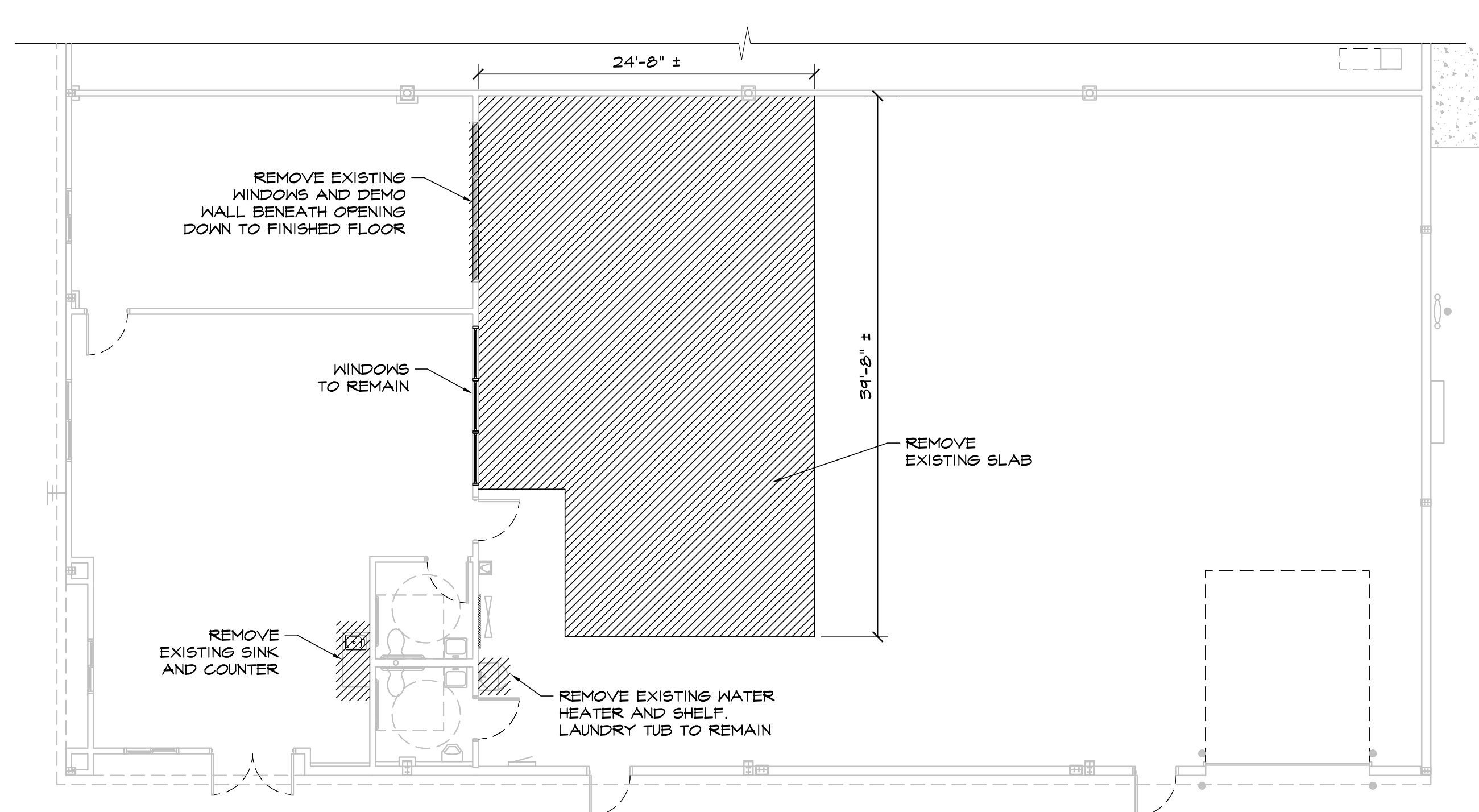
5 BASE PLATE DETAIL
SCALE: 3"=1'-0"



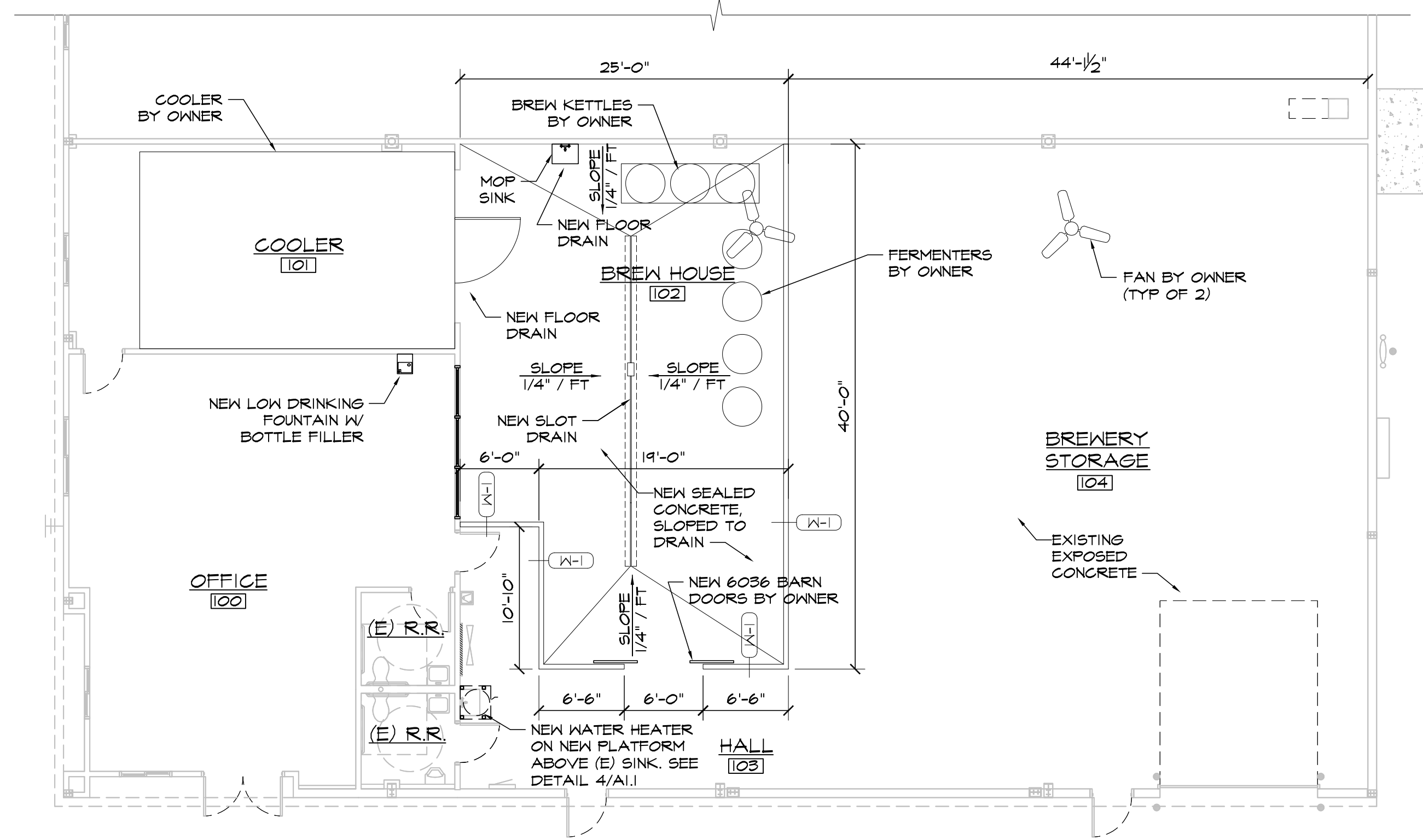
4 PLATFORM DETAIL
SCALE: 1/2"=1'-0"



3 REFLECTED CEILING PLAN
SCALE: 1/8"=1'-0"

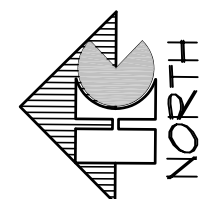


1 DEMO PLAN
SCALE: 1/8"=1'-0"



2 FLOOR PLAN
SCALE: 1/8"=1'-0"

Approved
By: Lindsay Darden
Date: 12/23/2020
El Paso County Planning & Community Development



DP SUBMITTAL ONLY
COUNTY FILE NO. COM-20-067

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- ▲

A1.1
FLOOR PLAN