

**AGENCIES / CONTACTS:**

**CITY OF FOUNTAIN PUBLIC WORKS:** PUBLIC WORKS DIRECTOR / CITY ENGINEER  
16 SOUTH MAIN ST.  
FOUNTAIN, COLORADO 80817  
BEN SHEETS, P.E.  
(719) 545-4955

**CITY OF FOUNTAIN PUBLIC WORKS:** PUBLIC WORKS INSPECTOR  
16 SOUTH MAIN ST.  
FOUNTAIN, COLORADO 80817  
CARL SPENGLER  
(719) 654-3343

**CITY OF FOUNTAIN PLANNING DEPARTMENT:** PLANNING DEPARTMENT  
16 SOUTH MAIN ST.  
FOUNTAIN, COLORADO 80817  
KRISTY MARTINEZ  
(719) 522-2015

**WASTEWATER DEPARTMENT:** FOUNTAIN SANITATION DEPARTMENT  
1545 LINK RD.  
FOUNTAIN, COLORADO 80817  
JONATHAN MOORE, P.E.  
(719) 582-5503

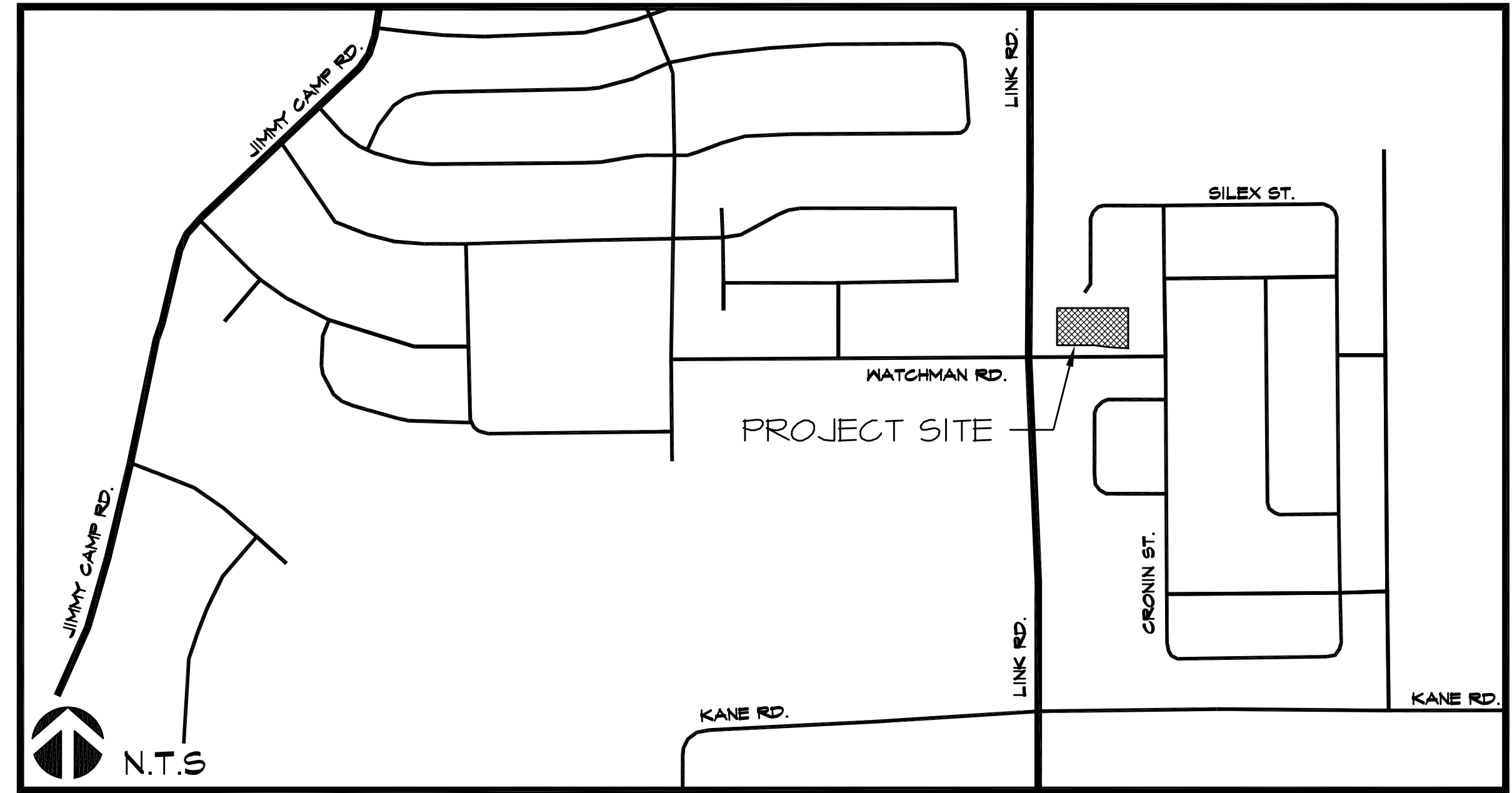
**WATER DEPARTMENT:** CITY WATER DEPARTMENT  
700 CHARTER OAK RANCH RD.  
FOUNTAIN, COLORADO 80817  
TAYLOR MURPHY  
(719) 522-2071

**GAS DEPARTMENT:** BLACK HILLS ENERGY  
7060 ALLEGRE ST.  
FOUNTAIN, COLORADO 80817  
SANTAGO TLERINA  
(719) 545-6655

**ELECTRICAL DEPARTMENT:** CITY OF FOUNTAIN ELECTRIC DEPARTMENT  
700 CHARTER OAK RANCH RD.  
FOUNTAIN, COLORADO 80817  
CARL CHRISTIAN  
(719) 522-2042

**FIRE DEPARTMENT:** FOUNTAIN FIRE DEPARTMENT  
811 NORTH SANTA FE AVE.  
FOUNTAIN, COLORADO 80817  
DEVIN GRAHAM  
(719) 582-7800

**OVERALL DEVELOPMENT PLAN  
FOR  
FOUNTAIN FIRE STATION #4  
SITE DEVELOPMENT PLAN  
MAY 2026**



VICINITY MAP

**SHEET INDEX**

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- SDP2 SITE DEVELOPMENT PLAN
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- SDP4 BUILDING ELEVATIONS
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- CO1 SEC COVER SHEET
- C1.1 SITE GRADING AND EROSION CONTROL PLAN
- C2.1 CIVIL AND EROSION CONTROL NOTES
- C2.2 CIVIL DETAILS
- C3.1 EROSION CONTROL DETAILS
- U1.1 SITE UTILITY PLAN
- U2.1 SITE UTILITY NOTES AND DETAILS
- U2.2 WASTEWATER NOTES AND DETAILS
- LI.1 LANDSCAPE PLAN
- LI.2 LANDSCAPE PLAN

**ADDRESS**

8422 WATCHMAN ROAD  
FOUNTAIN, CO 80817

**LEGAL DESCRIPTION**

LOT 228, ASPEN RANCH FILING NO 1, LOCATED IN THE NORTHEAST QUARTER OF SECTION 4, TOWNSHIP 16 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF FOUNTAIN, EL PASO COUNTY, COLORADO

**ADA ACCESSIBILITY NOTE:**

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATION AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF FOUNTAIN DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR FROMULGATED UNDER OR WITH RESPECT TO SUCH LAW.

**DEVELOPMENT PLAN NARRATIVE**

PROPOSED BUILD OUT OF A NEW FIRE STATION, TO INCLUDE PARKING LOT, PATIO, AND SIDEWALKS. PROPOSED CONNECTIONS TO EXISTING STORM WATER AND SANITARY SEWER.

**PERMITTED USES:**

SINGLE FAMILY RESIDENTIAL HOMES, COMMUNITY AMENITIES SUCH AS RECREATION AREAS, PLAYGROUNDS, OPEN SPACE AREAS, PICNIC STRUCTURES, PUBLIC STREETS, OFF STREET PARKING FOR OPEN SPACE AMENITIES, SIGNAGE, WALKWAYS, TRAILS, STORM WATER FACILITIES, DRAINAGE IMPROVEMENTS, AND UTILITIES

**DEVELOPMENT STANDARDS:**

- 1. AS ESTABLISHED BY ASPEN RANCH FUD (PLANNED UNIT DEVELOPMENT)
- 2. MINIMUM LOT SIZE: 4,000 SF
- 3. MAXIMUM BUILDING HEIGHT: 35 FT
- 4. MAXIMUM LOT COVERAGE: 45%
- 5. FRONT STRUCTURE SETBACK: 15 FT
- 6. GARAGE SETBACK: 20 FT
- 7. REAR YARD SETBACK: 15 FT
- 8. SIDE YARD SETBACK: 5 FT
- 9. CHAMFERED SETBACK: 5 FT
- 10. SIDE LOT CORNER SETBACK: 10 FT

**SITE AND BUILDING DATA:**

BUILDING CONSTRUCTION TYPE:	TYPE III-B
BUILDING OCCUPANCY:	R-3, S-1
BUILDING HEIGHT:	22 FT
LOT 228, 1.02 ACRES	44,282 SF 100.0%
LANDSCAPING / DRAINAGE:	15,549 SF 35.13%
PAVING / CONCRETE:	2,175 SF 4.91%
BUILDING AREA:	4,964 SF 11.21%

**PARKING REQUIREMENTS:** 1 PER SF OF GFA  
REQUIRED: / = SPACES  
ACCESSIBLE REQUIRED: 1 (1 VAN ACCESSIBLE)  
PROVIDED: 16 SPACES  
STANDARD (9) AND ACCESSIBLE SPACES  
BICYCLE SPACE (5% OF REQ'D PARKING SPACES)  
REQUIRED: 1 SPACE  
PROVIDED: 2 SPACES

**NEIGHBORING PROPERTIES:**

NORTH: PLANNED TRACK E OF ASPEN RANCH FUD  
EAST: PRIVATE RESIDENTIAL PROPERTIES OF ASPEN RANCH FUD  
SOUTH: WATCHMEN ROAD AND PRIVATE RESIDENTIAL PROPERTIES OF ASPEN RANCH FUD  
WEST: LINK ROAD AND PRIVATE RESIDENTIAL PROPERTIES

**UTILITY NOTES:**

1. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF FOUNTAIN AND FOUNTAIN SANITATION DISTRICT STANDARDS AND SPECIFICATIONS
2. AN APPROVED WATER PLAN SHALL BE OBTAINED BY THE OWNER/DEVELOPER PRIOR TO CONSTRUCTION OF WATER FACILITIES
3. AN APPROVED WASTEWATER PLAN SHALL BE OBTAINED BY THE OWNER/DEVELOPER PRIOR TO CONSTRUCTION OF WASTEWATER FACILITIES
4. AN APPROVED GAS PLAN SHALL BE OBTAINED BY THE NATURAL GAS PROVIDER PRIOR TO INSTALLATION
5. AN APPROVED ELECTRICAL SERVICE PLAN SHALL BE OBTAINED BY THE ELECTRICAL SERVICE PROVIDER PRIOR TO INSTALLATION

**GRADING NOTES:**

1. A GRADING AND EROSION CONTROL PLAN IS REQUIRED AND SHALL BE OBTAINED BY THE OWNER/DEVELOPER PRIOR TO ANY GRADING ACTIVITIES. ALL GRADING ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH THE CITY OF FOUNTAIN STANDARDS AND SPECIFICATIONS.

**STANDARD SERVICE PLAN NOTES**

1. ALL CONSTRUCTION METHODS AND MATERIALS SHALL MEET FOUNTAIN SANITATION DISTRICT STANDARDS
2. FINAL LOCATION OF ALL SEWER, WATER, AND GAS SERVICES TO BE APPROVED IN THE FIELD BY THE CONSTRUCTION MANAGER AND DISTRICT INSPECTOR PRIOR TO INSTALLATION
3. PROPERTY END OF ALL SEWER SERVICES TO BE MARKED WITH A 12X12" STEEL OR WOODEN POST EXTENDED VERTICALLY FROM THE FLOWLINE UTILITY LOCATIONS, WHETHER OR NOT SHOWN ON THIS PLAN. IN NO WAY RELIEVES THE CONTRACTOR FROM THE RESPONSIBILITY FOR CALLING FOR UTILITY LOCATIONS FROM THE APPROPRIATE AUTHORITIES PRIOR TO BEGINNING EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE TO LOCATE AND PROTECT ALL EXISTING UTILITIES WITHIN THE PROJECT. ANY DAMAGE TO EXISTING UTILITIES SHALL BE IMMEDIATELY REPAIRED AT THE CONTRACTOR'S SOLE EXPENSE
5. RESIDUE OF ANY MATERIAL IS AT THE DISCRETION OF THE DISTRICT INSPECTOR
6. ALL SANITARY SERVICES TO BE INSTALLED AT THE MINIMUM PERMISSIBLE GRADE OF 2.0% UNLESS OTHERWISE PRE-APPROVED BY THE FOUNTAIN SANITATION DISTRICT
7. ALL SANITARY SERVICE PIP SHALL BE GREEN GASKETED SDR35
8. SANITARY SEWER SERVICE CONNECTIONS ARE TO BE A MINIMUM OF 8 FEET FROM THE MANHOLE
9. THE CONTRACTOR SHALL NOTIFY FOUNTAIN SANITATION DISTRICT INSPECTOR (719-582-5503) 48 HOUR PRIOR TO THE START OF CONSTRUCTION TO OUTLINE METHODS OF CONSTRUCTION, MATERIALS TO BE USED, AND CONSTRUCTION STAKING
10. ALL SANITARY SEWER SERVICE LINES TO THE RESIDENTIAL LOTS SHALL BE 4 INCH DIAMETER PIPE. SEWER SERVICES SHALL BE EXTENDED 10 FEET INTO THE RESIDENTIAL LOTS TO AVOID GAS, ELECTRIC, AND WATER EASEMENTS ADJACENT TO THE RIGHT OF WAY
11. ALL TRENCH BACKFILL AND COMPACTION SHALL BE IN ACCORDANCE WITH SECTION PART C, ARTICLE II OF THE FOUNTAIN SANITATION DISTRICT STANDARD SPECIFICATION MANUAL

**FSD GENERAL SERVICE PLAN NOTES**

1. FOUNTAIN SANITATION DISTRICT DOES NOT GUARANTEE THE ACCURACY OF LOCATIONS OF EXISTING PIPELINES, MANHOLES, AND SERVICE LINES. IF FIELD CONDITIONS ARE FOUND TO BE DIFFERENT THAN SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE DISTRICT INSPECTOR AND THE DESIGN ENGINEER IMMEDIATELY
2. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITY FACILITIES AS A RESULT OF THEIR ACTIONS. THE CONTRACTOR SHALL MAKE ALL THE REQUIRED REPAIRS IMMEDIATELY TO THE SATISFACTION OF THE FOUNTAIN SANITATION DISTRICT
3. ALL FIELD STAKING SHALL COMPLY WITH THE WASTEWATER STANDARD SPECIFICATIONS
4. FINAL LOCATION OF ALL WASTEWATER SERVICES SHALL BE APPROVED IN THE FIELD BY THE DISTRICT INSPECTOR
5. ALL TRENCH BACKFILL AND COMPACTION SHALL BE IN ACCORDANCE WITH SECTION PART C, ARTICLE II OF THE FOUNTAIN SANITATION DISTRICT STANDARD SPECIFICATION MANUAL

**ENGINEER'S STATEMENT**

SIGNATURE (AFFIX SEAL): \_\_\_\_\_ DATE: \_\_\_\_\_  
COLORADO PROFESSIONAL ENGINEER NO. ( ) \_\_\_\_\_  
SITE DEVELOPMENT PLAN ACCEPTANCE:  
THE SITE DEVELOPMENT PLANS (EXCLUDING THE CONSTRUCTION DOCUMENTS) SUBMITTED APPEAR TO BE IN CONFORMANCE WITH THE CITY OF FOUNTAIN SUBMITTAL REQUIREMENTS AND STANDARD ENGINEERING PRINCIPLES AND PRACTICES APPEAR TO HAVE BEEN FOLLOWED. THE PROFESSIONAL ENGINEER SUBMITTED AND SEALING THE PLANS IS SOLELY RESPONSIBLE FOR THEIR ACCURACY AND VALIDITY. THE REVIEW IS ONLY VALID FOR ONE (1) YEAR FROM THE DATE BELOW.

**FOUNTAIN SANITATION DISTRICT**

PLANS ARE RECOMMENDED FOR USE IN CONSTRUCTION OF WASTEWATER COLLECTION SYSTEM FOR THIS PROJECT. DESIGN ENGINEER OF RECORD TAKES SOLE RESPONSIBILITY FOR ALL DESIGN ASPECTS OF THE PROJECT.

JONATHAN MOORE, P.E. \_\_\_\_\_ DATE \_\_\_\_\_  
FOUNTAIN SANITATION DISTRICT

**ENGINEER'S STATEMENT**

THIS GRADING AND EROSION CONTROL PLAN WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, OF SUCH WORK IS PERFORMED IN ACCORDANCE WITH THE GRADING AND EROSION CONTROL PLAN, THE WORK WILL NOT BECOME A HAZARD TO LIFE AND LIMB, ENDANGERING PROPERTY, OR ADVERSELY AFFECT THE SAFETY, USE, OR STABILITY OF A PUBLIC WAY, DRAINAGE CHANNEL, OR OTHER PROPERTY.

SIGNATURE (AFFIX SEAL): \_\_\_\_\_ DATE: \_\_\_\_\_  
COLORADO PROFESSIONAL ENGINEER NO. ( ) \_\_\_\_\_

**OWNER'S STATEMENT**

THE OWNER WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN INCLUDING TEMPORARY CONTROL MEASURE INSPECTION REQUIREMENTS AND FINAL STABILIZATION REQUIREMENTS. ACCORDING TO THE CITY OF COLORADO SPRINGS STORM WATER CONSTRUCTION MANUAL, I ACKNOWLEDGE THE RESPONSIBILITY TO DETERMINE WHETHER THE CONSTRUCTION ACTIVITIES ON THESE PLANS REQUIRE COLORADO DISCHARGE PERMIT SYSTEM (DPS) PERMITTING FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY.

OWNER SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_  
NAME OF OWNER: \_\_\_\_\_  
DBA: \_\_\_\_\_ PHONE: \_\_\_\_\_  
TITLE: \_\_\_\_\_ EMAIL: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ FAX: \_\_\_\_\_

**CITY OF FOUNTAIN GRADING & EROSION CONTROL REVIEW**

THIS GRADING AND EROSION CONTROL PLAN IS FILED IN ACCORDANCE WITH SECTION 12.04.160 OF THE CODE OF THE CITY OF FOUNTAIN. THIS PLAN IS REVIEWED IN ACCORDANCE WITH THE DRAINAGE CRITERIA MANUAL, VOL. I (JANUARY 2021) AND VOL. II (DECEMBER 2020), STORM WATER CONSTRUCTION MANUAL, LATEST REVISIONS.

BEN SHEETS, P.E., CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_  
NOTES: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**PROPERTY OWNER ACKNOWLEDGEMENT**

\_\_\_\_\_, BEING THE OWNER(S) OF THE LAND DESCRIBED HEREIN HAVE CAUSED SAID LAND TO BE SITE PLANNED UNDER THE NAME OF NEATHERCRAFT COMPANY OF COLORADO. ALL CONDITIONS, TERMS, AND SPECIFICATIONS DESIGNATED OR DESCRIBED ON THIS DOCUMENT SHALL BE BINDING ON THE OWNERS, THEIR HEIRS, SUCCESSORS, AND ASSIGNS.

NO CHANGES SHALL BE MADE TO THIS SITE DEVELOPMENT PLAN WITHOUT CITY APPROVAL. MINOR CHANGES TO THE SITE DEVELOPMENT PLAN MAY BE APPROVED ADMINISTRATIVELY BY THE CITY PLANNING DEPARTMENT. MAJOR CHANGES TO THIS SITE DEVELOPMENT PLAN, ESPECIALLY DELETIONS OF APPROVED ITEMS OR SUBSTANTIAL CHANGES IN BUILDING LOCATION SHALL BE SUBJECT TO THE SAME APPLICATION, REVIEW, AND APPEAL PROCESSES APPLICABLE TO THE ORIGINAL SITE DEVELOPMENT PLAN, ENGINEERING, GRADING, AND CONSTRUCTION PLANS ARE NOT PART OF THIS APPROVAL.

IN WITNESS WHEREOF, WE HAVE HERETO SET OUR HANDS AND SEALS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
(PROPERTY OWNER)

**NOTARY CERTIFICATE**

STATE OF COLORADO )  
) SS  
COUNTY OF EL PASO )  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.  
BY \_\_\_\_\_ (NAME AND TITLE)  
MY COMMISSION EXPIRES: \_\_\_\_\_  
ADDRESS OF NOTARY: \_\_\_\_\_  
\_\_\_\_\_  
NOTARY PUBLIC

**Fountain Fire Station #4**



**NEW FIRE STATION**

8422 Watchman Road  
Fountain, CO 80817

OWNERSHIP OF INSTRUMENTS OF SERVICE:  
ALL REPORTS, PLANS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, NOTES AND OTHER DOCUMENTS AND INSTRUMENTS PREPARED BY DESIGN PROFESSIONAL AS INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF THE DESIGN PROFESSIONAL. THE DESIGN PROFESSIONAL SHALL RETAIN ALL COMMON LAW STATUTORY AND OTHER RESERVED RIGHTS INCLUDING THE COPYRIGHT THEREIN.

**CRP ARCHITECTS AIA**  
100 E. St. Vrain, Suite 300  
Colorado Springs, Colorado 80903

DATE: 05.21.2026  
DRAWN BY: JEM  
CHECKED BY: MJK  
REVISED:

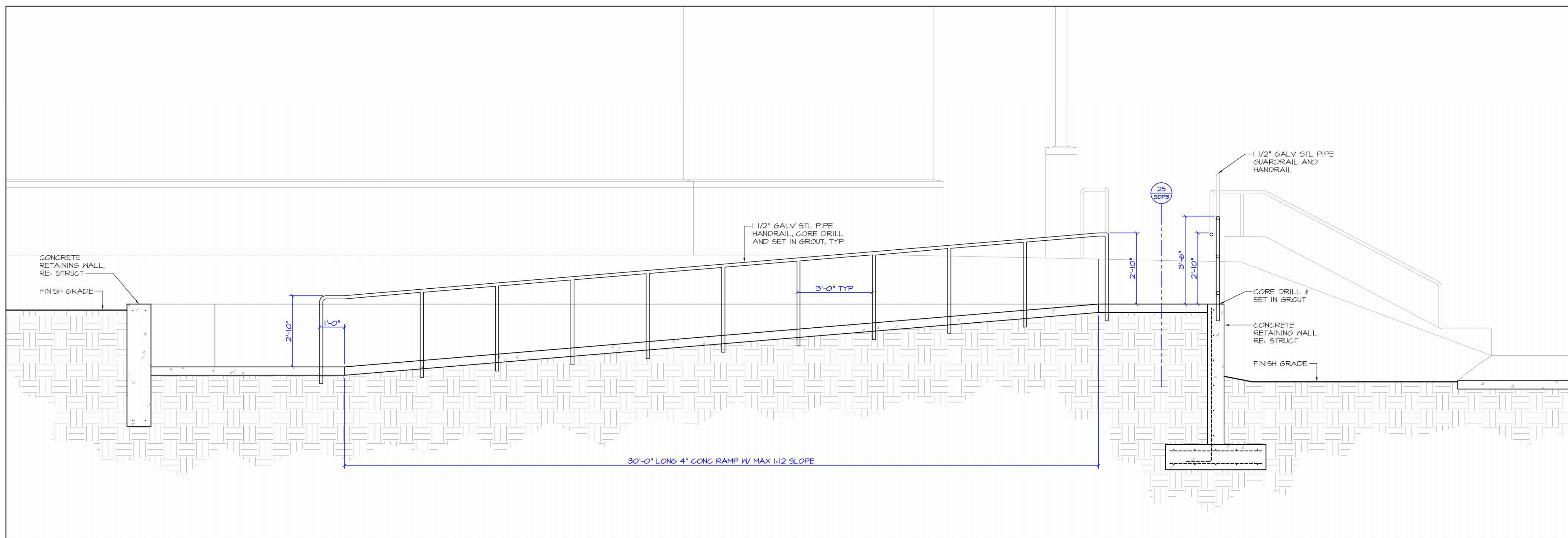


# Fountain Fire Station #4

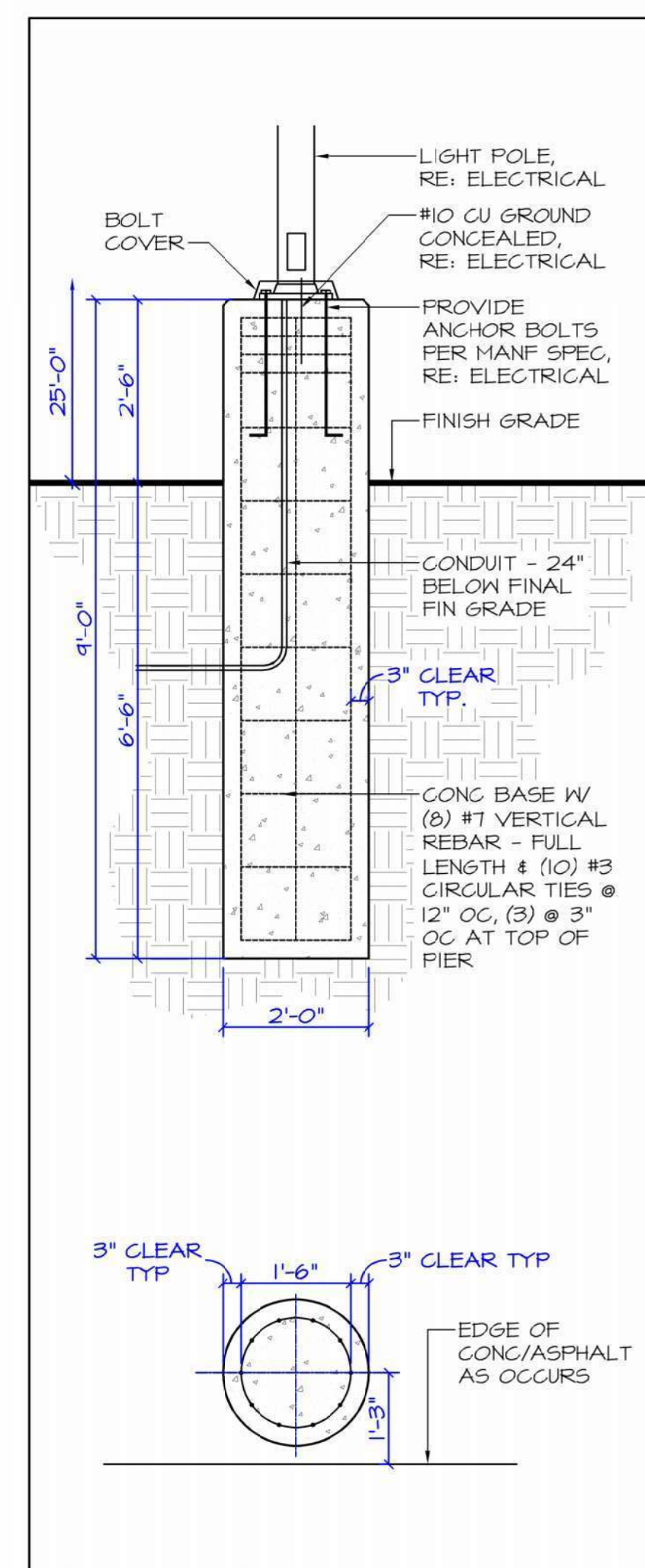


## NEW FIRE STATION

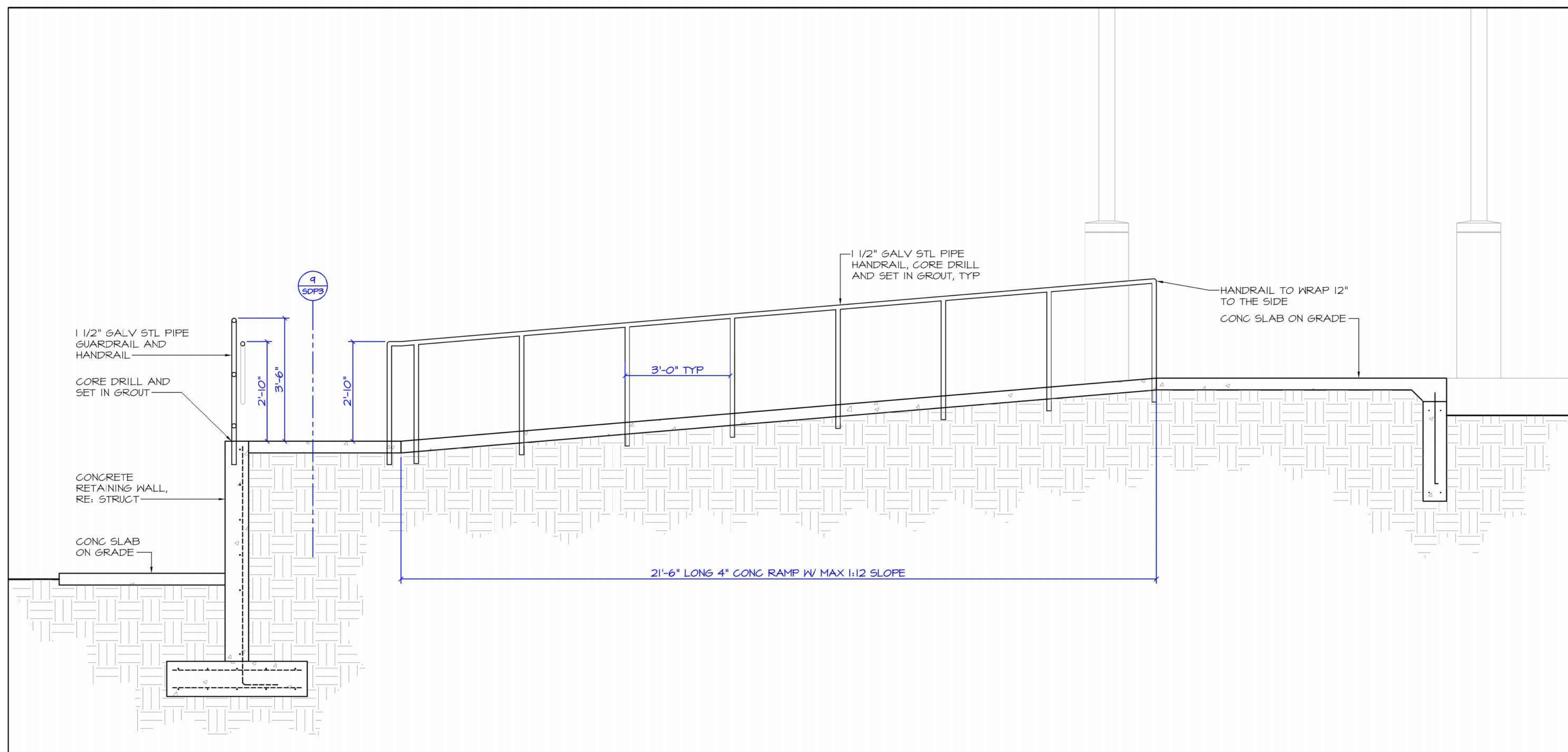
8422 Watchman Road  
Fountain, CO 80817



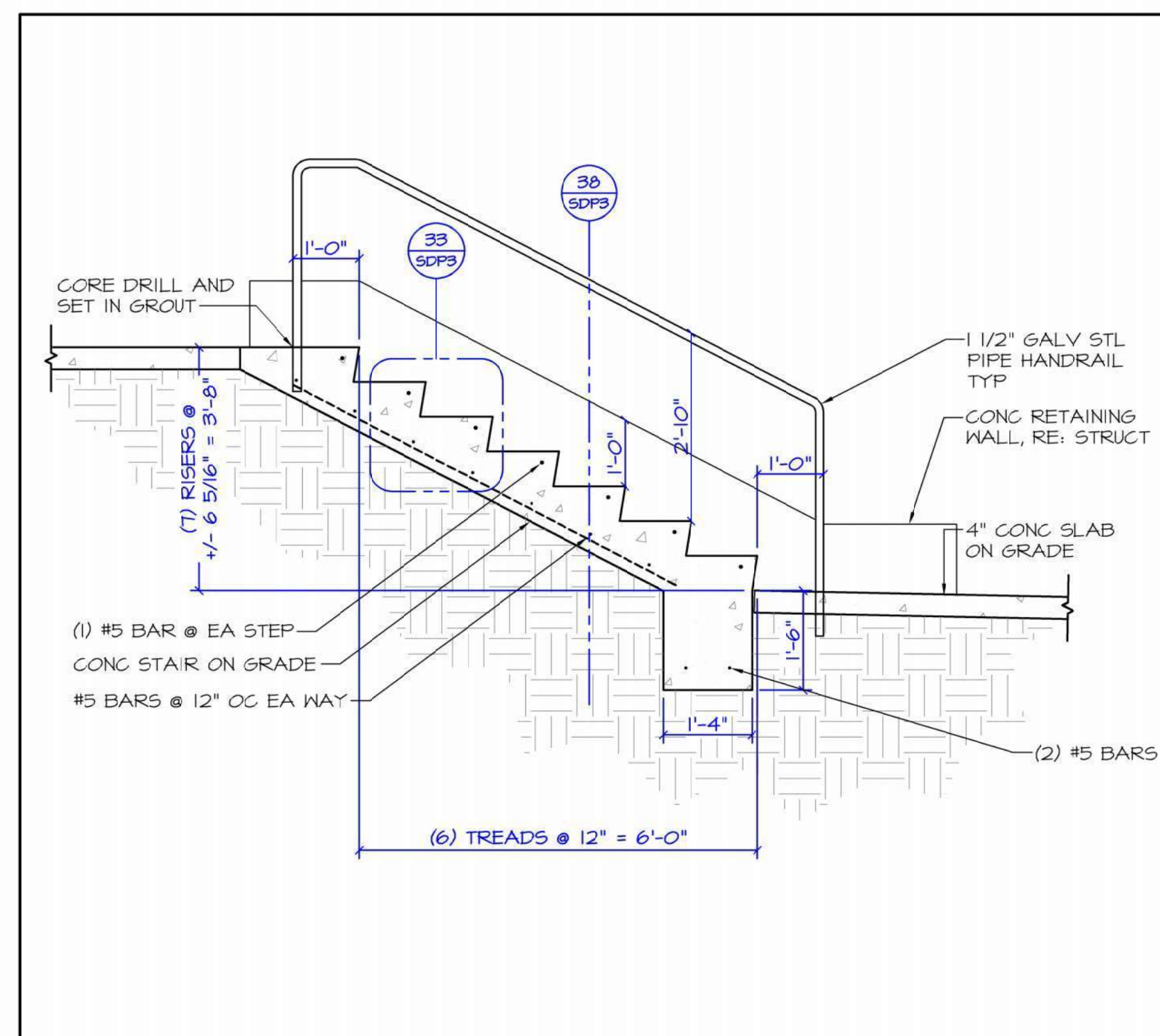
**9 RAMP SECTION**  
- 1/2" = 1'-0"



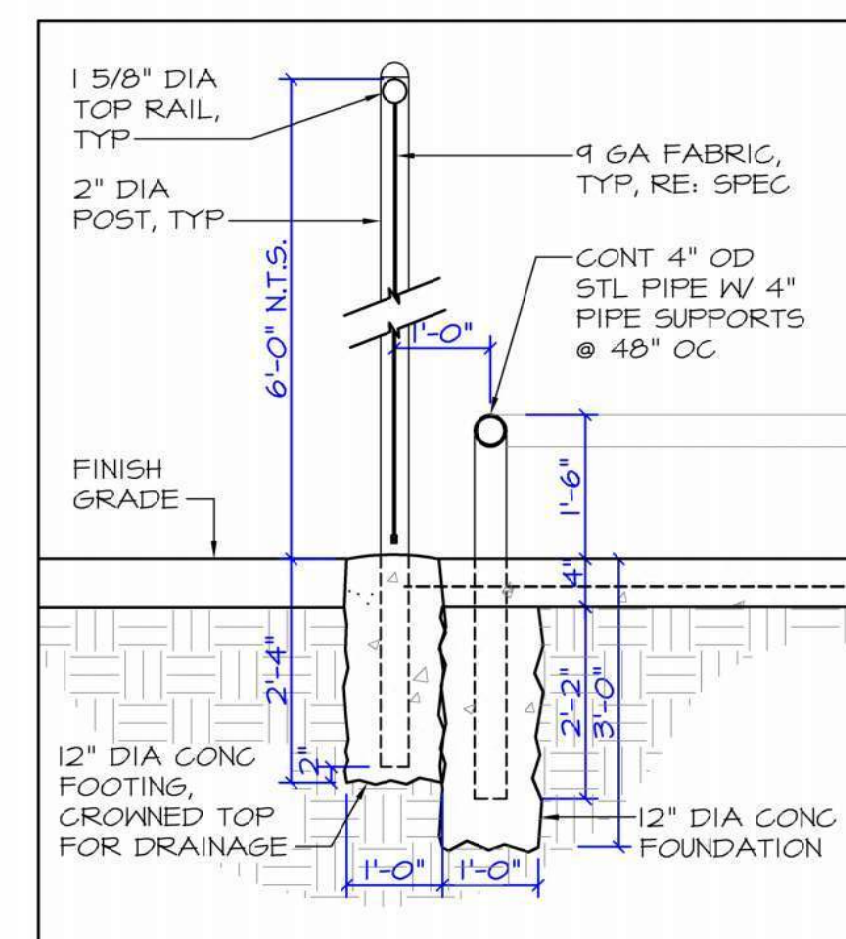
**16 LIGHT POLE DETAIL**  
- 1/2" = 1'-0"



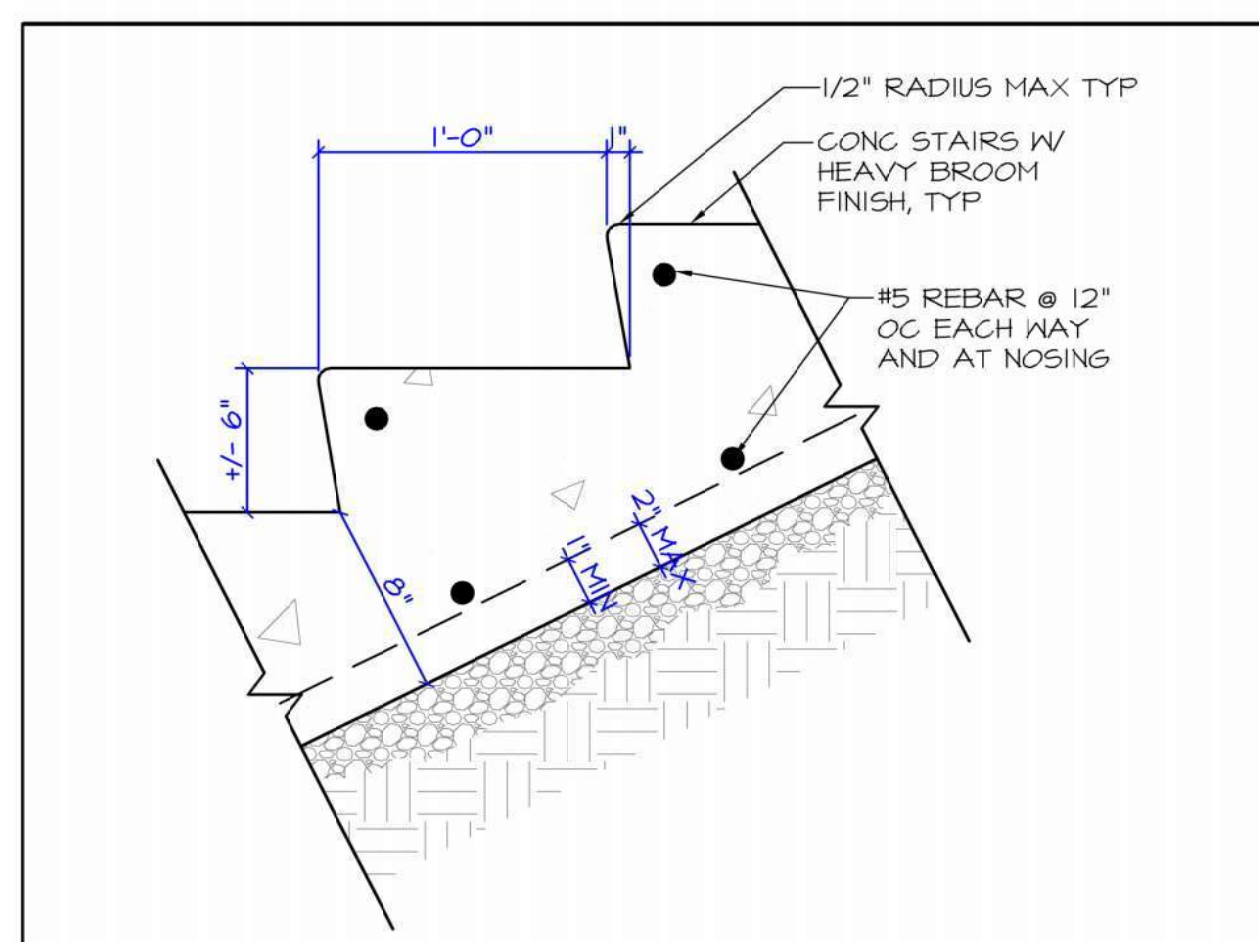
**25 RAMP SECTION**  
- 1/2" = 1'-0"



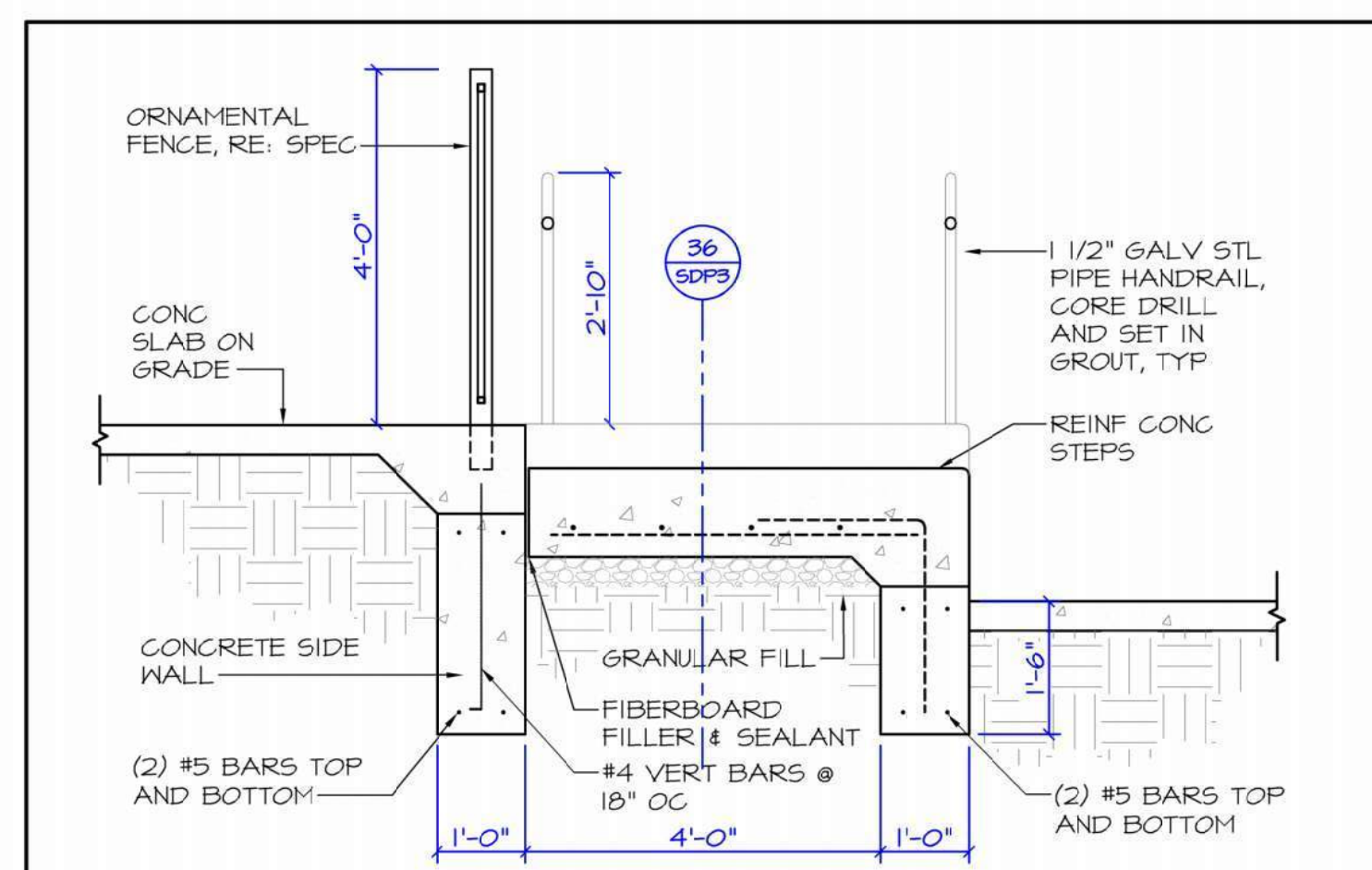
**30 STAIR SECTION**  
- 1/2" = 1'-0"



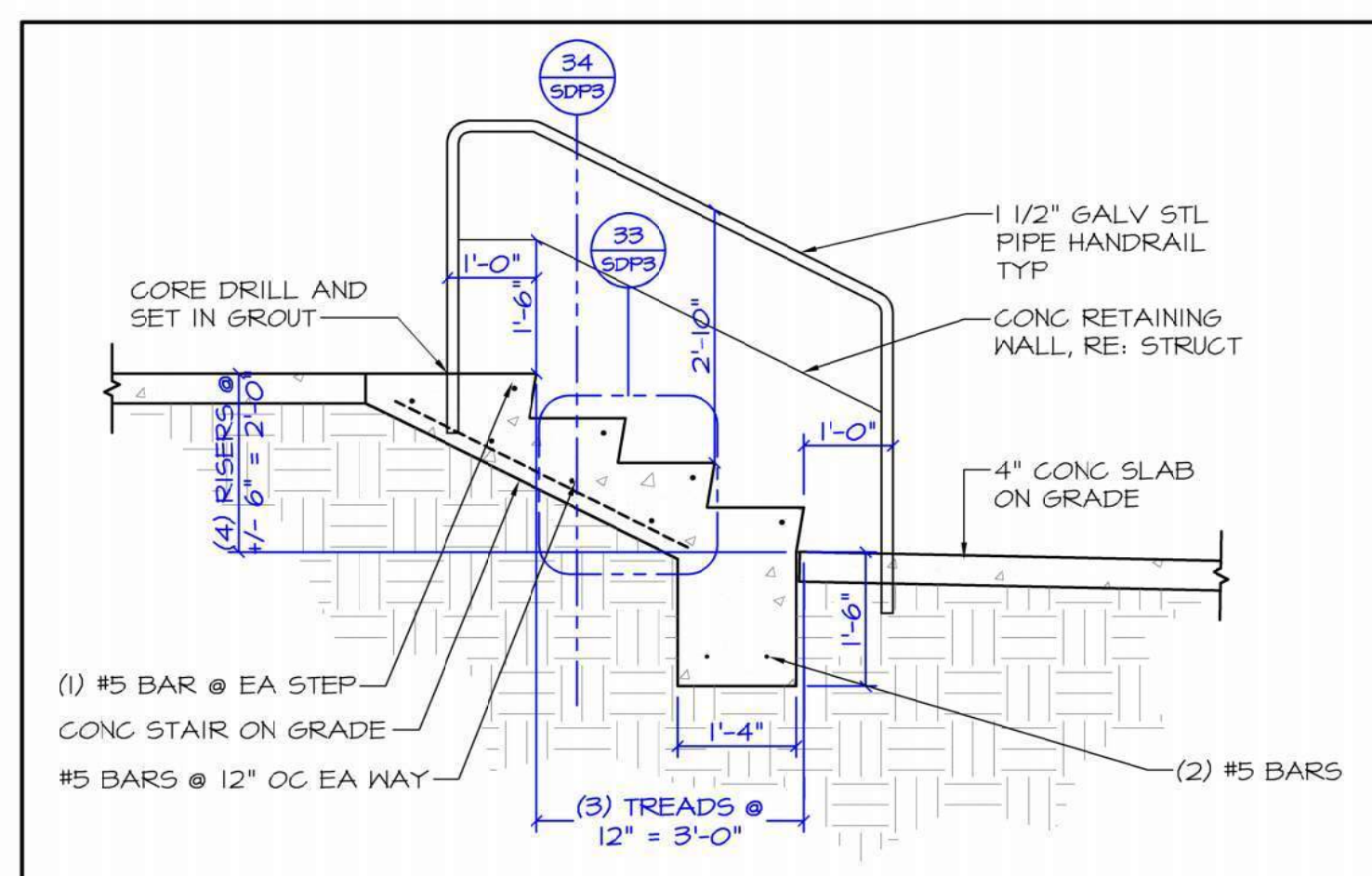
**24 TRASH ENCLOSURE**  
- 1/2" = 1'-0"



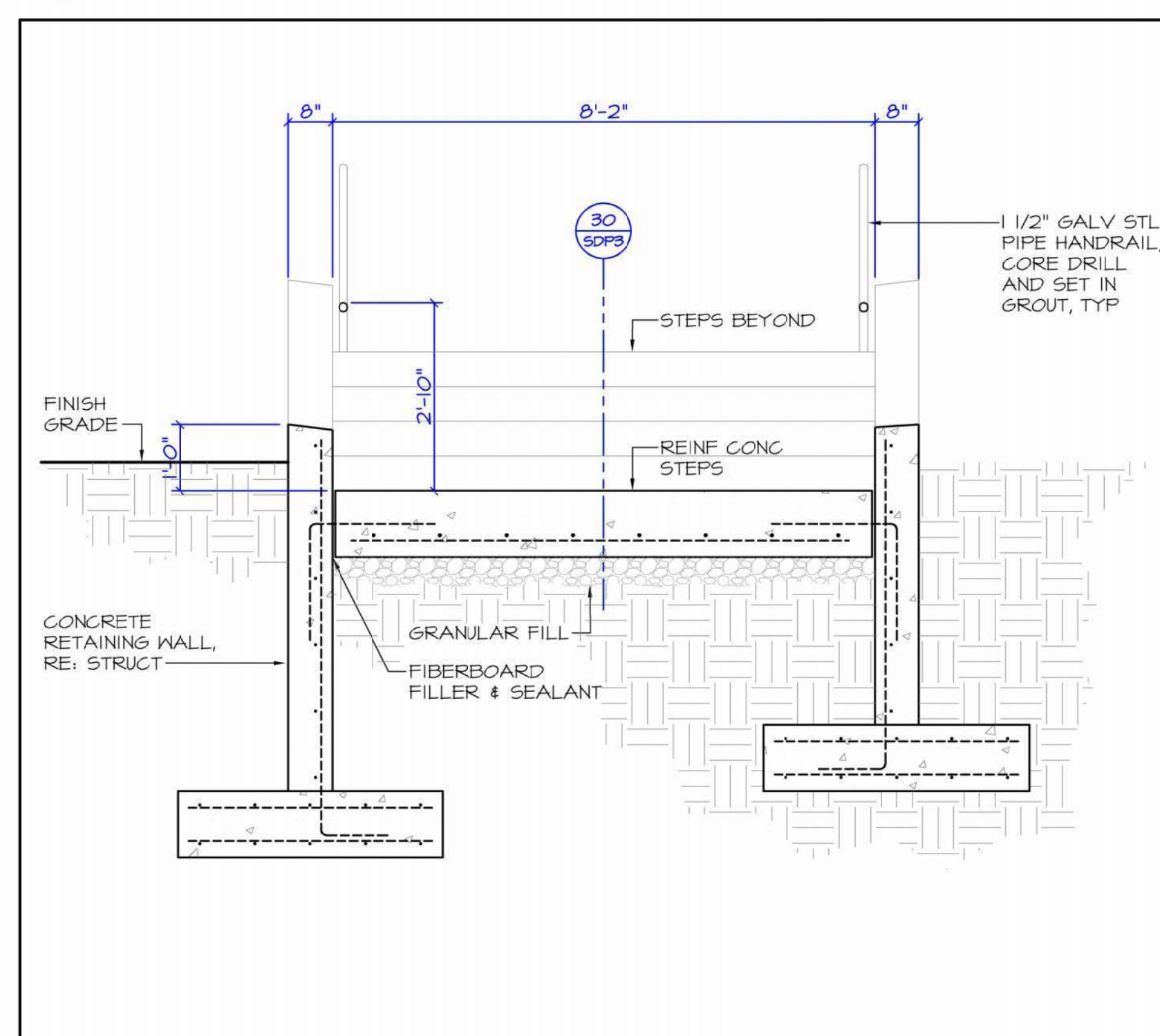
**33 STAIR TREAD DETAIL**  
- 1 1/2" = 1'-0"



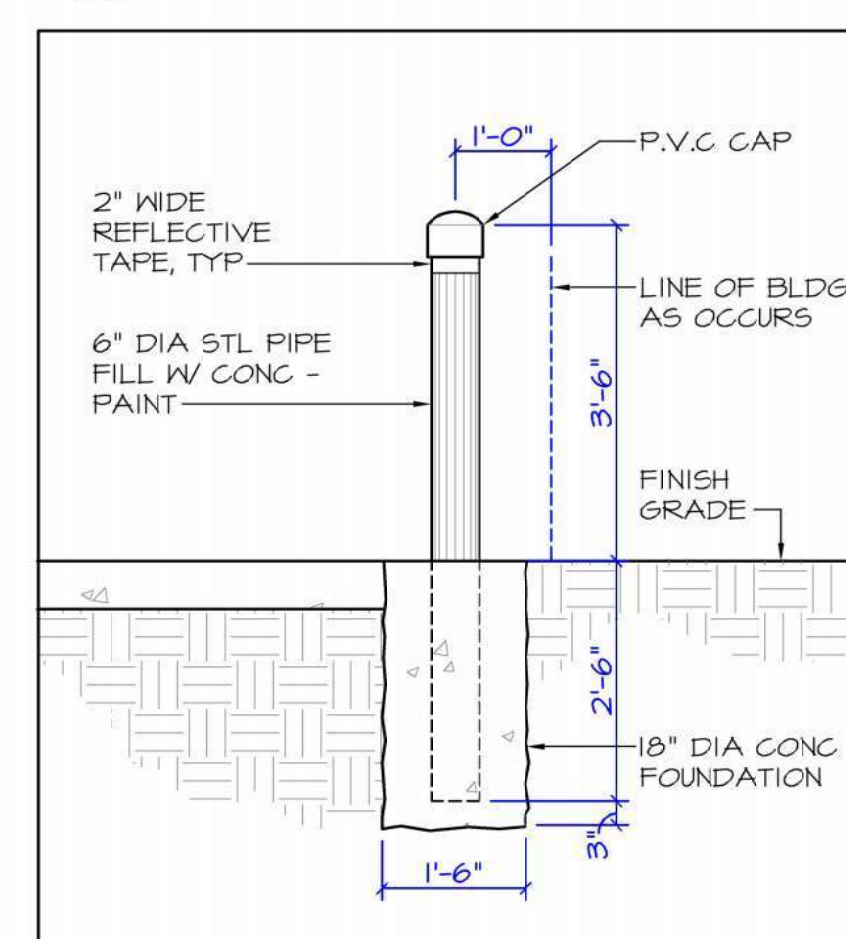
**34 STAIR STAIR**  
- 1/2" = 1'-0"



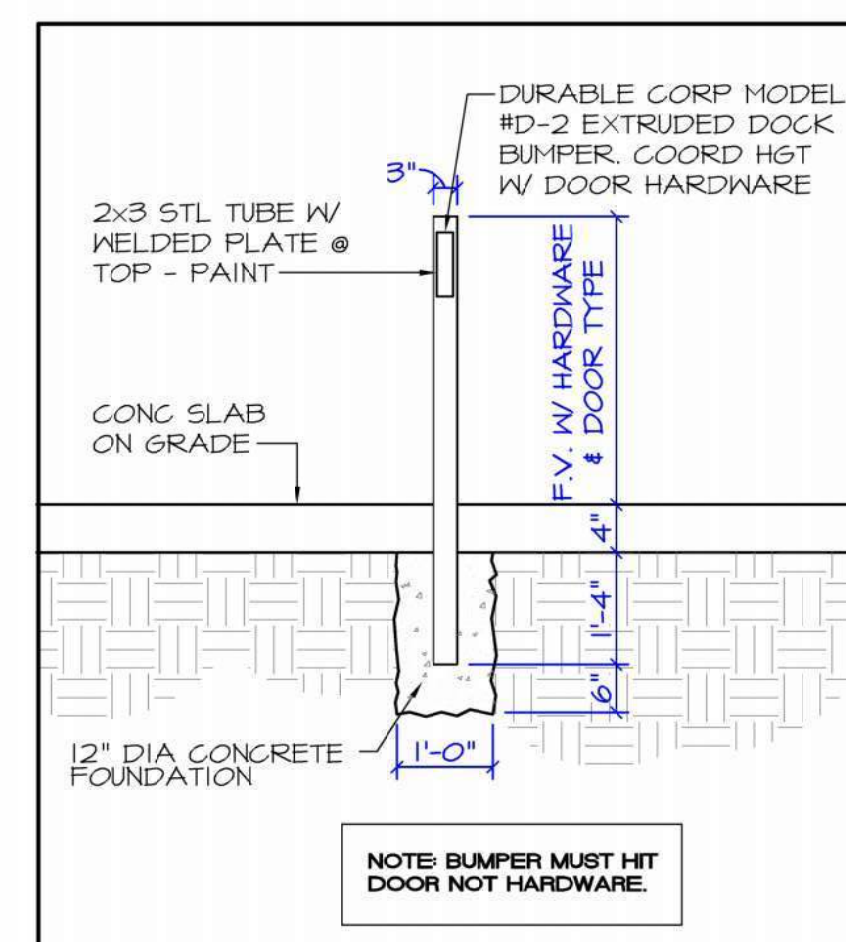
**36 STAIR SECTION**  
- 1/2" = 1'-0"



**38 STAIR SECTION**  
- 1/2" = 1'-0"



**34 BOLLARD DETAIL**  
- 1/2" = 1'-0"



**40 DOOR BOLLARD DETAIL**  
- 1/2" = 1'-0"

OWNERSHIP OF INSTRUMENTS OF SERVICE:  
ALL REPORTS, PLANS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, NOTES AND OTHER DOCUMENTS AND INSTRUMENTS PREPARED BY DESIGN PROFESSIONAL AS INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF THE DESIGN PROFESSIONAL. THE DESIGN PROFESSIONAL SHALL RETAIN ALL COMMON LAW STATUTORY AND OTHER RESERVED RIGHTS INCLUDING THE COPYRIGHT THEREIN.

**CRP ARCHITECTS AIA**  
100 E. St. Vrain, Suite 300  
Colorado Springs, Colorado 80903

### SITE DETAILS

DATE: 05.21.2026  
DRAWN BY: JEM  
CHECKED BY: MJK  
REVISED:

# Fountain Fire Station #4

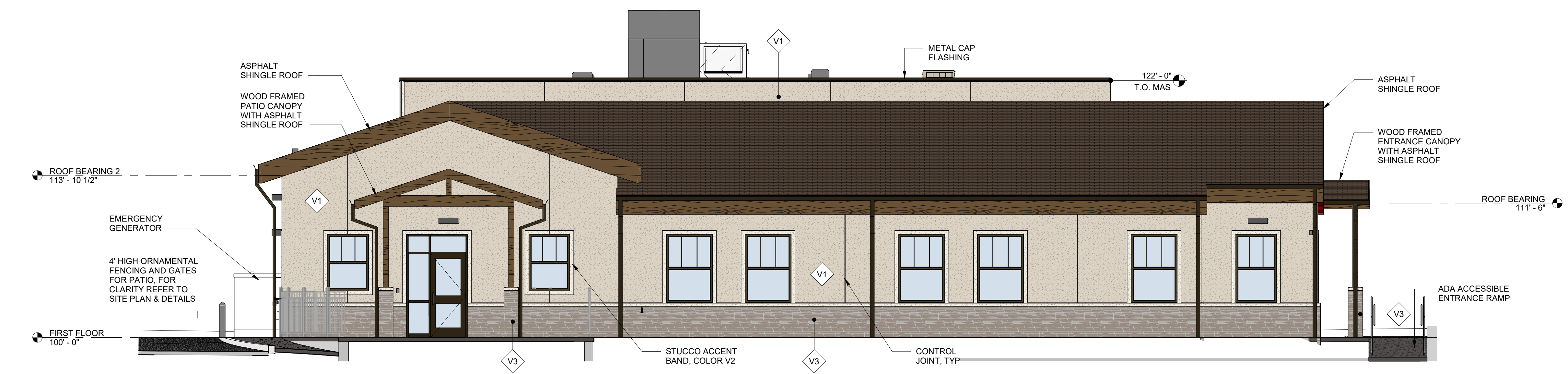


## NEW FIRE STATION

8422 Watchman Road  
Fountain, CO 80817

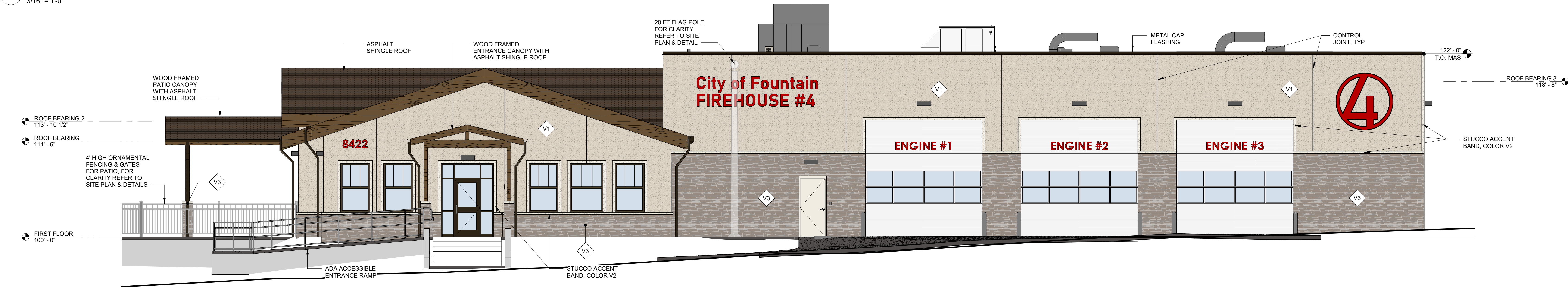
### EXTERIOR MATERIALS LIST

- V1 STUCCO VENEER - COLOR A (SHERWIN WILLIAMS NATURAL TAN)
- V2 STUCCO VENEER - COLOR B (SHERWIN WILLIAMS GREEK VILLA)
- V3 STONE VENEER - COLOR C (CLIFFSTONE WHITEBARK AS SHOWN BELOW)
- V4 CLIFFSTONE WHITEBARK
- V4 CMU VENEER - COLOR D (900WR GROUND FACE AS SHOWN BELOW)
- 900WR GROUND FACE



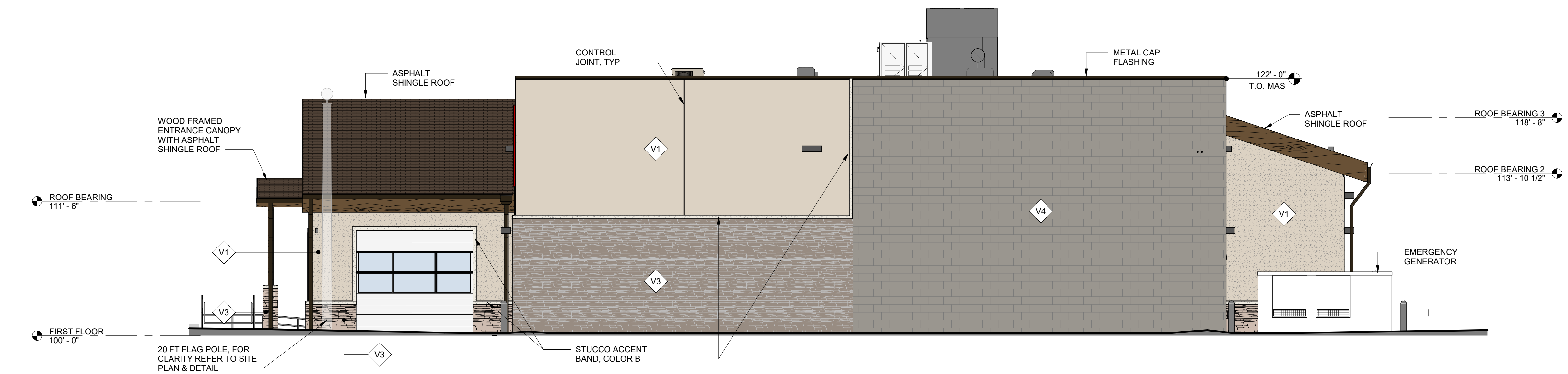
9 WEST ELEVATION

3/16" = 1'-0"



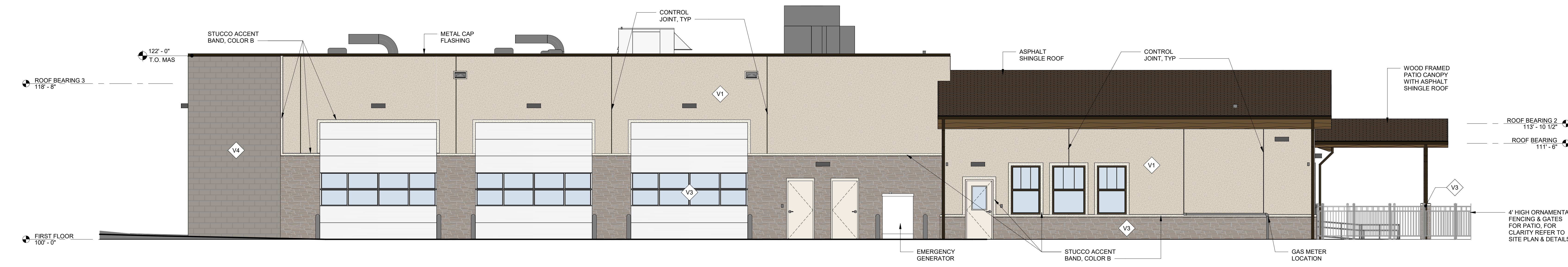
17 SOUTH ELEVATION

3/16" = 1'-0"



25 EAST ELEVATION

3/16" = 1'-0"



33 NORTH ELEVATION

3/16" = 1'-0"

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CRP ARCHITECTS AIA  
100 E. St. Vrain, Suite 300  
Colorado Springs, Colorado 80903

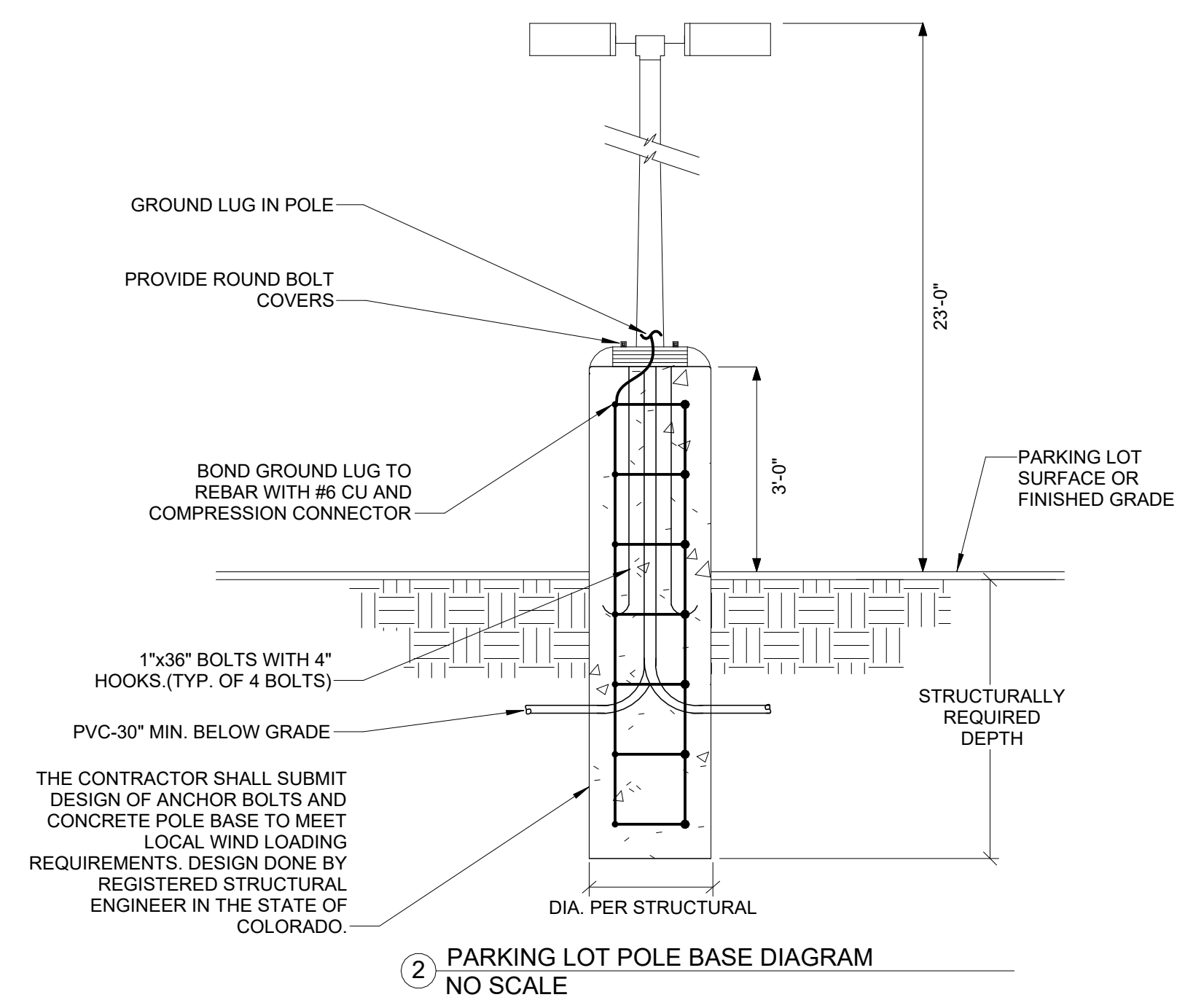
### BUILDING ELEVATIONS

SCALE: AS NOTED

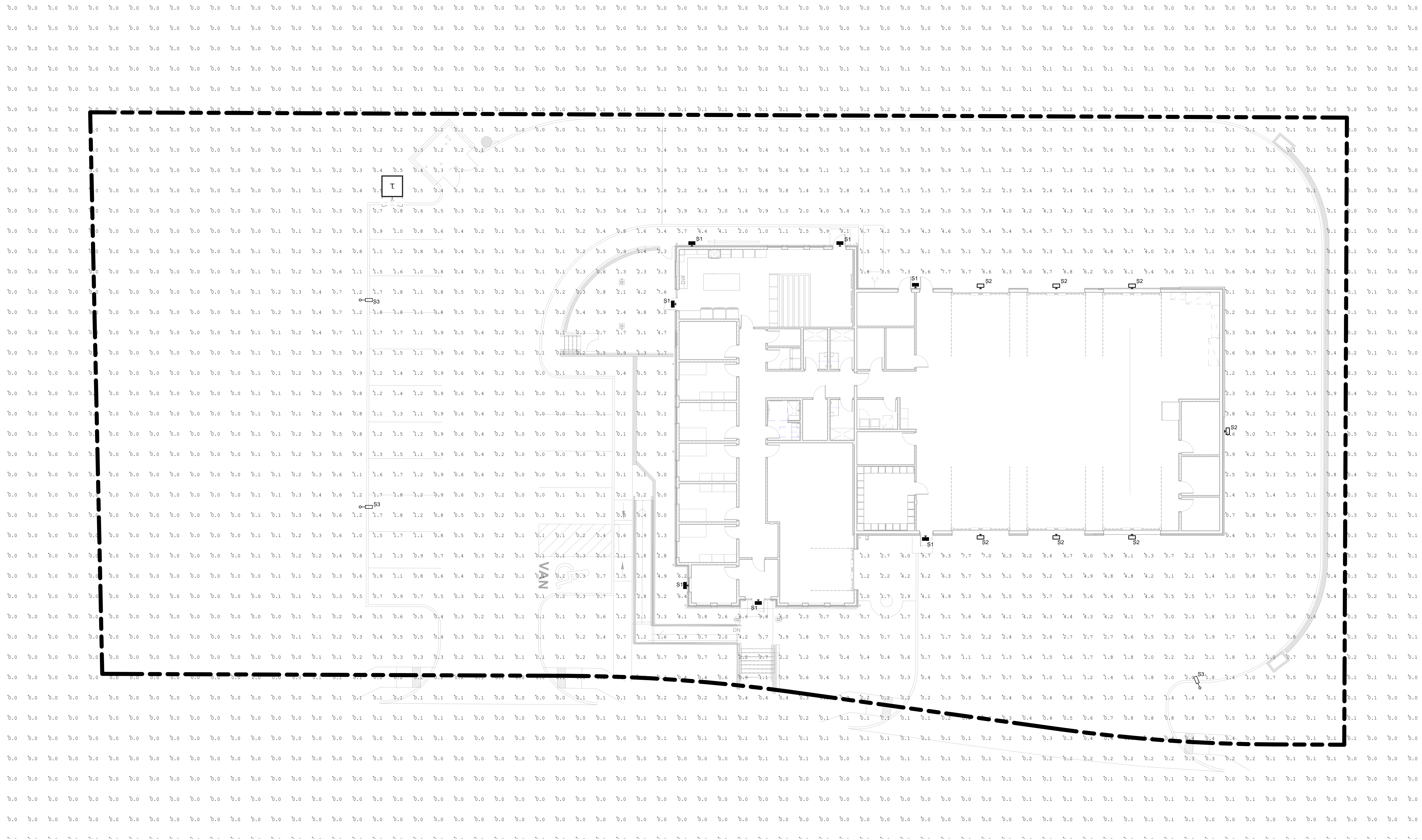
DATE: 05.21.2026  
DRAWN BY: JEM  
CHECKED BY: MJK  
REVISED:



Luminaire Schedule				
Tag	Description	LLF	Lumens	Watts
S1	TRAPEZOIDAL WALL PACK, VISUAL COMFORT FORWARD DISTRIBUTION, 4000K CCT	1.000	2024	14.53
S2	TRAPEZOIDAL WALL PACK, VISUAL COMFORT WIDE DISTRIBUTION, 4000K CCT	1.000	3214	22.55
S3	LOW PROFILE AREA HEAD, TYPE 3 DISTRIBUTION, FULL EXTERNAL GLARE SHIELD, 4000K CCT	1.000	2248	72.95



② PARKING LOT POLE BASE DIAGRAM  
 NO SCALE



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CRP ARCHITECTS AIA  
 100 E. St. Vrain, Suite 300  
 Colorado Springs, Colorado 80903

LIGHTING PHOTOMETRIC PLAN

SCALE: AS NOTED

PROJECT DATE:	05/21/2026
SHEET DATE:	05/21/2026
DRAWN BY:	BMG
CHECKED BY:	AM
REVISD:	

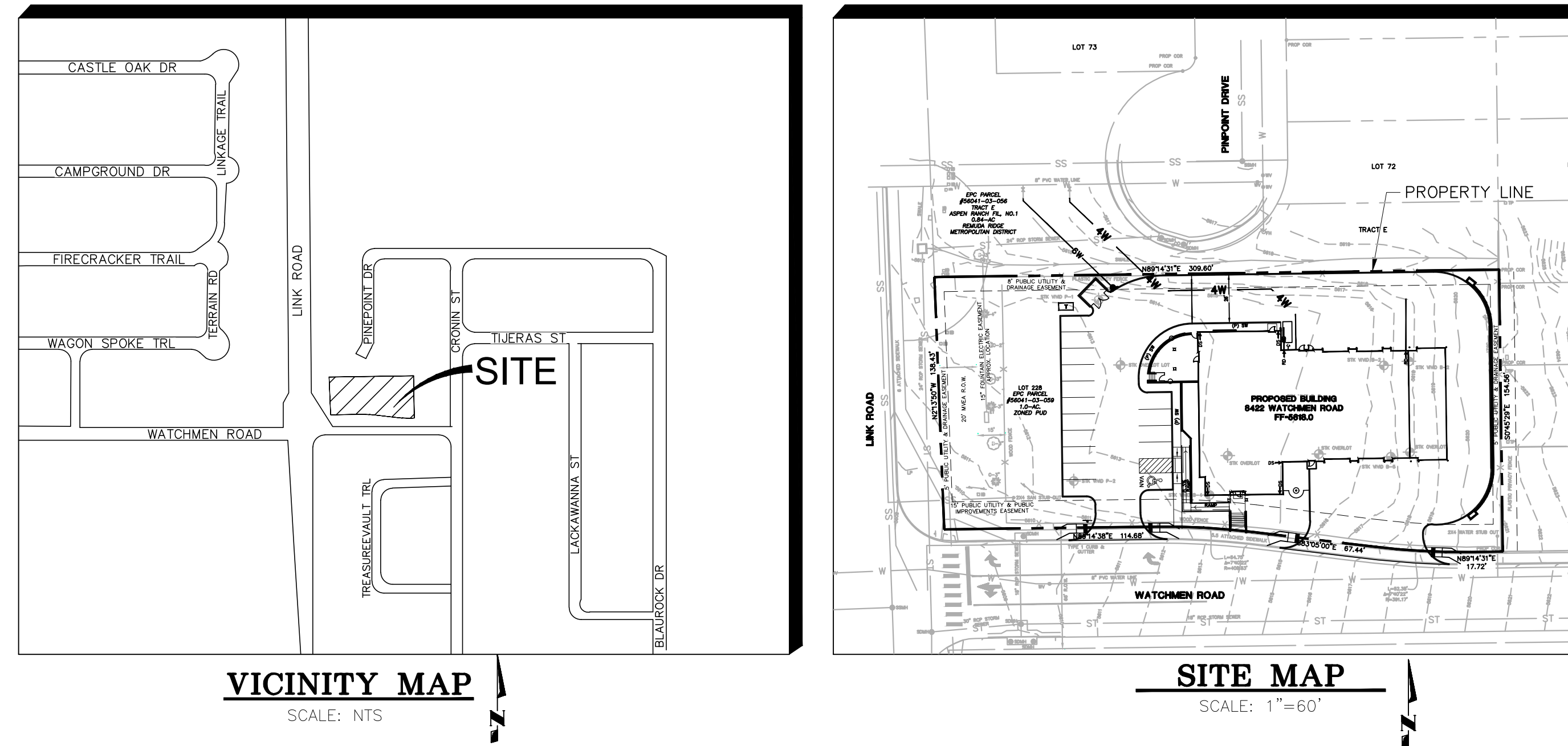
① SITE PHOTOMETRIC PLAN  
 1" = 10'-0"



ME Engineers, Inc.  
 1125 Kelly Johnson Blvd, Suite 301  
 Colorado Springs, CO 80920  
 t. 719.536.0037 / f. 719.536.0037  
 www.me-engineers.com

# FOUNTAIN EAST FIRE STATION #4 LOT 228, ASPEN RANCH FILING NO. 1

## CITY OF FOUNTAIN COUNTY OF EL PASO, STATE OF COLORADO GRADING & EROSION CONTROL (GEC) PLANS



PREPARED FOR:  
**CITY OF FOUNTAIN FIRE DEPARTMENT**  
116 S. MAIN STREET,  
FOUNTAIN, CO 80817

PREPARED BY:  
**JPS ENGINEERING**  
19 East Willamette Avenue  
Colorado Springs, Colorado 80903

www.jpsegr.com  
May, 2026

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C2.1	CIVIL & EROSION CONTROL NOTES
C2.2	CIVIL DETAILS
C3.1	EROSION CONTROL DETAILS

### AGENCIES/CONTACTS

**DEVELOPER:** CITY OF FOUNTAIN FIRE DEPARTMENT  
116 S. MAIN STREET, FOUNTAIN, CO 80817

**CIVIL ENGINEER:** JPS ENGINEERING, INC.  
19 E. WILLAMETTE AVE.  
COLORADO SPRINGS, CO 80903  
MR. JOHN P. SCHWAB, P.E. (719) 477-9429

**CITY PLANNING:** CITY OF FOUNTAIN  
116 S. MAIN STREET  
FOUNTAIN, CO 80817  
MS. KRISTY MARTINEZ (719) 322-2015

**CITY ENGINEERING:** CITY OF FOUNTAIN  
116 S. MAIN STREET  
FOUNTAIN, CO 80817  
MR. BEN SHEETS, P.E. (719) 393-4935

### ENGINEER'S STATEMENT

THIS GRADING AND EROSION CONTROL PLAN WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. IF SUCH WORK IS PERFORMED IN ACCORDANCE WITH THE GRADING AND EROSION CONTROL PLAN, THE WORK WILL NOT BECOME A HAZARD TO LIFE AND LIMB, ENDANGER PROPERTY, OR ADVERSELY AFFECT THE SAFETY, USE, OR STABILITY OF A PUBLIC WAY, DRAINAGE CHANNEL, OR OTHER PROPERTY.

SIGNATURE(AFFIX SEAL): \_\_\_\_\_ DATE: \_\_\_\_\_  
COLORADO PROFESSIONAL ENGINEER NO. 29891

### OWNER'S STATEMENT

THE OWNER WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN INCLUDING CONSTRUCTION CONTROL MEASURE INSPECTION REQUIREMENTS AND FINAL STABILIZATION REQUIREMENTS, ACCORDING TO THE CITY OF COLORADO SPRINGS STORMWATER CONSTRUCTION MANUAL. I ACKNOWLEDGE THE RESPONSIBILITY TO DETERMINE WHETHER THE CONSTRUCTION ACTIVITIES ON THESE PLANS REQUIRE COLORADO DISCHARGE PERMITS SYSTEM (CDPS) PERMITTING FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY.

DEVELOPER/OWNER SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

NAME OF DEVELOPER/OWNER: CITY OF FOUNTAIN FIRE DEPARTMENT

DBA: \_\_\_\_\_ PHONE: \_\_\_\_\_

TITLE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

ADDRESS: 116 S. MAIN STREET, FOUNTAIN, CO 80817

### CITY OF FOUNTAIN GRADING AND EROSION CONTROL REVIEW:

THIS GRADING AND EROSION CONTROL PLAN IS FILED IN ACCORDANCE WITH SECTION 12.04.160 OF THE CODE OF THE CITY OF FOUNTAIN. THIS PLAN IS REVIEWED IN ACCORDANCE WITH THE DRAINAGE CRITERIA MANUAL, VOL. I (JANUARY 2021) AND VOL. II (DECEMBER 2020); STORMWATER CONSTRUCTION MANUAL; LATEST REVISIONS.

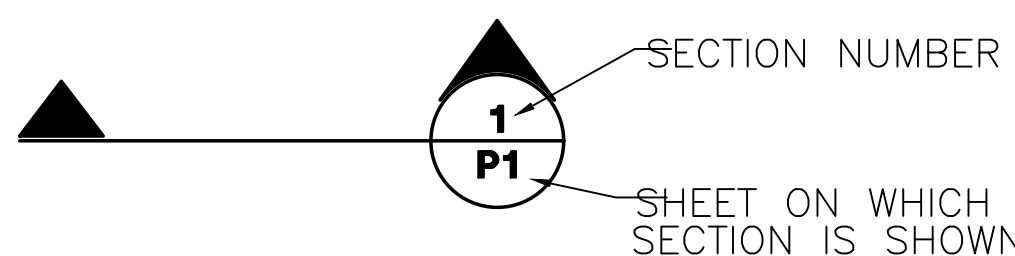
BENJAMIN E. SHEETS, P.E., CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

### GEC PLAN NOTES:

- APPROVAL OF THIS PLAN BY CITY DOES NOT GIVE THE CONTRACTOR PERMISSION TO GRADE ON PROPERTY OWNED BY OTHERS. IF APPLICABLE, CONTRACTOR SHALL COORDINATE ACCESS & GRADING IMPACTS WITH ANY IMPACTED PROPERTY OWNERS.
- COMPLY WITH RECOMMENDATIONS IN PROJECT GEOTECHNICAL REPORT.
- ALL EROSION CONTROL MEASURES SHALL CONFORM TO CITY OF COLORADO SPRINGS STORMWATER CONSTRUCTION MANUAL (REV. 12-20).
- REFER TO LANDSCAPE PLAN FOR VEGETATION REQUIREMENTS
- THERE ARE NO PROPOSED ASPHALT, CONCRETE BATCH PLANTS OR MASONRY MIX STATIONS
- NON-STRUCTURAL CONTROL MEASURES: STREET SWEEPING, SPILL CONTAINMENT.
- NO-BUILD AREAS ARE DELINEATED ON THE SUBDIVISION PLAT AND INCLUDE THE EXISTING ACCESS & UTILITY EASEMENTS.
- REFER TO SITE DEVELOPMENT PLANS FOR LANDSCAPE PLANS & DETAILS.
- THIS SITE IS NOT IMPACTED BY ANY PRESERVATION EASEMENTS.

### LEGEND

---	PROPERTY LINE
- - - -	FLOWLINE
- - - -	FEMA 100-YR FLOODPLAIN LIMITS
— LOD —	LIMIT OF DISTURBANCE/ CONSTRUCTION SITE BOUNDARY
— 5612 —	PROPOSED CONTOUR
— 5612 —	EXISTING CONTOUR
× 11.73	PROPOSED SPOT ELEVATION (FLOWLINE)
× 11.73	EXIST. SPOT ELEVATION
TW	TOP OF RETAINING WALL
BW	BOTTOM FACE OF RETAINING WALL (AT FINISHED GRADE)
(E)	EXISTING
(P)	PROPOSED
— CUT FILL —	CUT/FILL DEMARCATION LINE
→	ROOF DRAIN DOWNSPOUT W/CONNECTION TO 6" PVC UNDERGROUND COLLECTION LINE
NEW/EXISTING	
— - - -	SECTION LINE — NEW/EXISTING
— - - -	EASEMENT LINE — NEW/EXISTING
— 5612 — - - - 5612 - - -	CONTOUR — NEW/EXISTING
— - - -	PROPERTY LINE — NEW/EXISTING
— OHE — OHE — OHE — OHE —	OVERHEAD ELECTRIC LINE W/ POWER POLE NEW/EXISTING
— UGE — — — — UGE — — — —	UNDERGROUND ELECTRIC LINE NEW/EXISTING
— SS-4 — — — — SS-4 — — — —	SANITARY SEWER LINE
— WT — — — — WT — — — —	WATER LINE



**BENCHMARK:**  
RIM OF EXISTING STORM INLET AT  
SW CORNER OF PROPERTY RIM EL = 5609.58

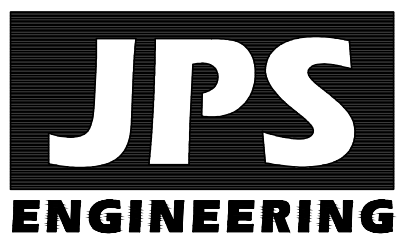
## Fountain Fire Station #4



### NEW FIRE STATION

8422 Watchman Road  
Fountain, CO 80817

### CONSTRUCTION DOCUMENTS



19 E. Willamette Ave.  
Colorado Springs, CO  
80903

PH: 719-477-9429  
FAX: 719-471-0766  
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**CRP ARCHITECTS AIA**  
100 E. St. Vrain, Suite 300  
Colorado Springs, Colorado 80903

### GEC COVER SHEET

DATE: 04.22.2025  
DRAWN BY: PV  
CHECKED BY: JPS  
REVISED: 05.20.2026

**LEGEND**

- FEMA 100-YEAR FLOODWAY
- FEMA 100-YR FLOODPLAIN
- PROPERTY LINE
- EASEMENT LINE
- PROPOSED EDGE OF PAVEMENT
- 5625----- PROPOSED CONTOUR
- 5625----- EXISTING CONTOUR
- ✕ 19.35 PROPOSED SPOT ELEVATION (FLOWLINE)
- ✕ 19.35 EXIST. SPOT ELEVATION
- TW TOP OF RETAINING WALL
- BW BOTTOM OF RETAINING WALL (AT FINISHED GRADE)
- (E) EXISTING
- (P) PROPOSED
- GI GRATED INLET (18" NYOPLAST OR EQUAL)
- CUT --- CUT/FILL DEMARCATION LINE
- FILL ---
- LOD --- LIMIT OF CONSTRUCTION/ DISTURBANCE
- DS → DOWNSPOUT CONNECTION TO STORM SEWER; INSTALL TRANSITION COUPLINGS & EXTEND 6" PVC (SDR35) AT 1.0% MIN. SLOPE TO SD
- ● ● ● ● ADA ACCESSIBLE ROUTE (MAX. 2.0% CROSS-SLOPE; MAX. 5.0% LONG SLOPE)

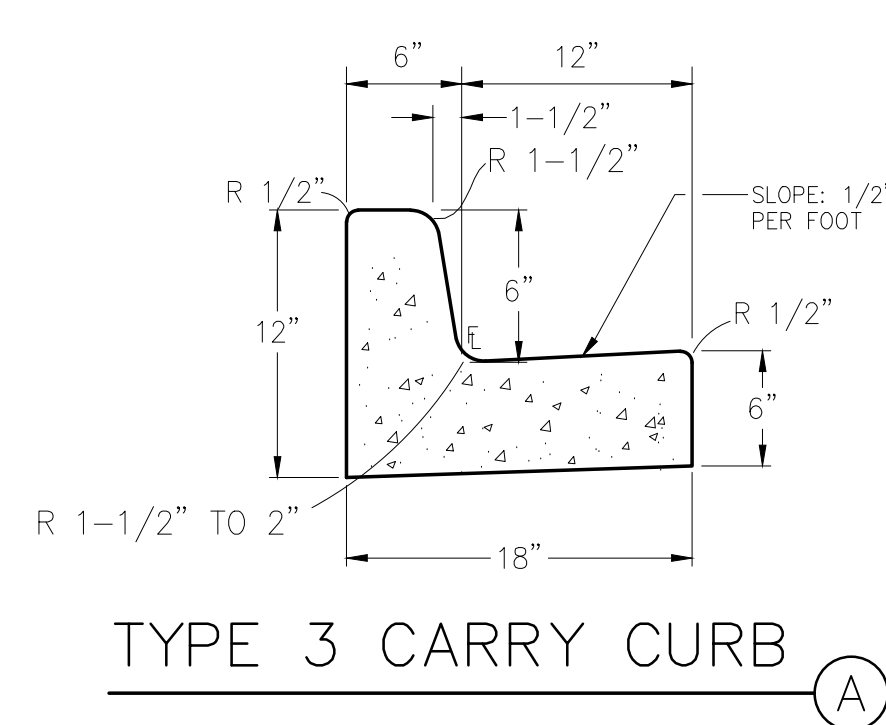
**KEYED NOTES:**

- 1 PREPARE AND COMPACT BUILDING FOUNDATION & SLABS PER PROJECT GEOTECHNICAL REPORT
- 2 PAVEMENT (PER GEOTECHNICAL REPORT)
- 3 LANDINGS AND SIDEWALK APPROACHING BUILDING SHALL MEET ANSI 117.1 STANDARDS FOR ADA ACCESS, MIN. 5' W LANDING W/ 2% MAX CROSS SLOPE

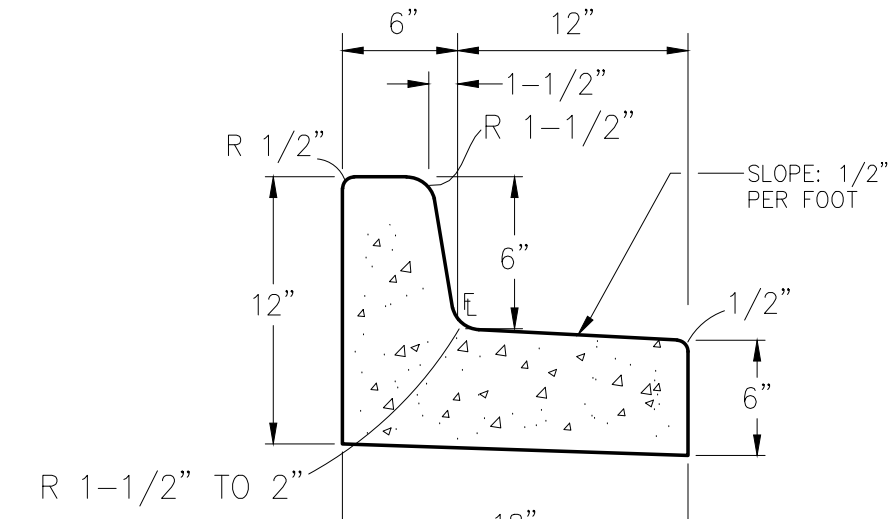
**ESTIMATED EARTHWORK QUANTITY:**

UNCLASSIFIED EXCAVATION (TOTAL CUT) = 465 CY  
 \*TOTAL FILL = 2,062 CY  
 NET (FILL) = 1,597 CY  
 \* (ASSUMES 15% COMPACTION FACTOR)

NOTE: THIS ESTIMATE IS PROVIDED FOR INFORMATION ONLY, REPRESENTING THE CALCULATED BULK EARTHWORK VOLUME TO FINISHED GRADE, EXCLUDING ANY ADJUSTMENT FOR PAVEMENT DEPTHS, ETC. CONTRACTOR SHALL MAKE HIS OWN DETERMINATION OF EARTHWORK QUANTITIES AS BASIS FOR BID PRICING AND NOTIFY ENGINEER OF ANY DISCREPANCIES.



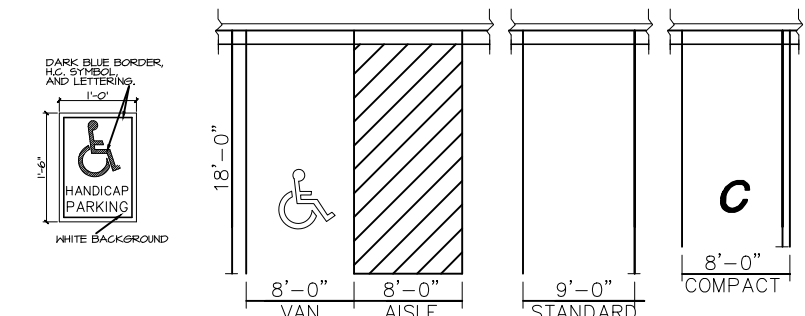
TYPE 3 CARRY CURB (A)



TYPE 3 SPILL CURB (B)

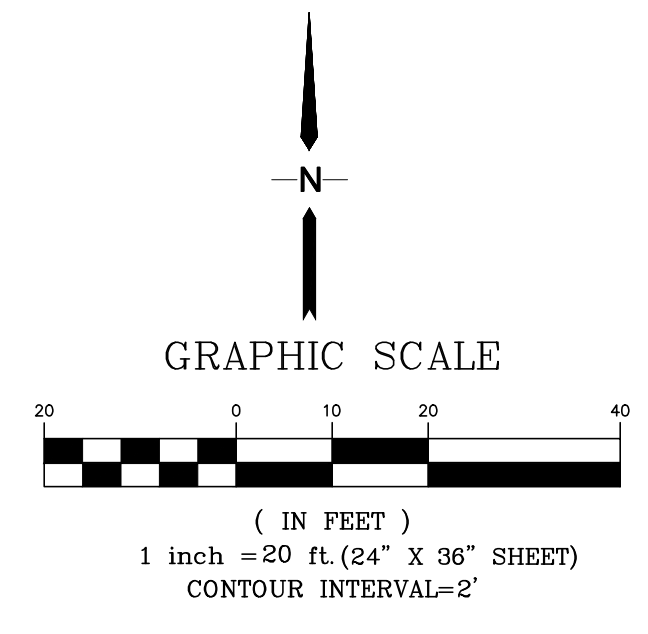
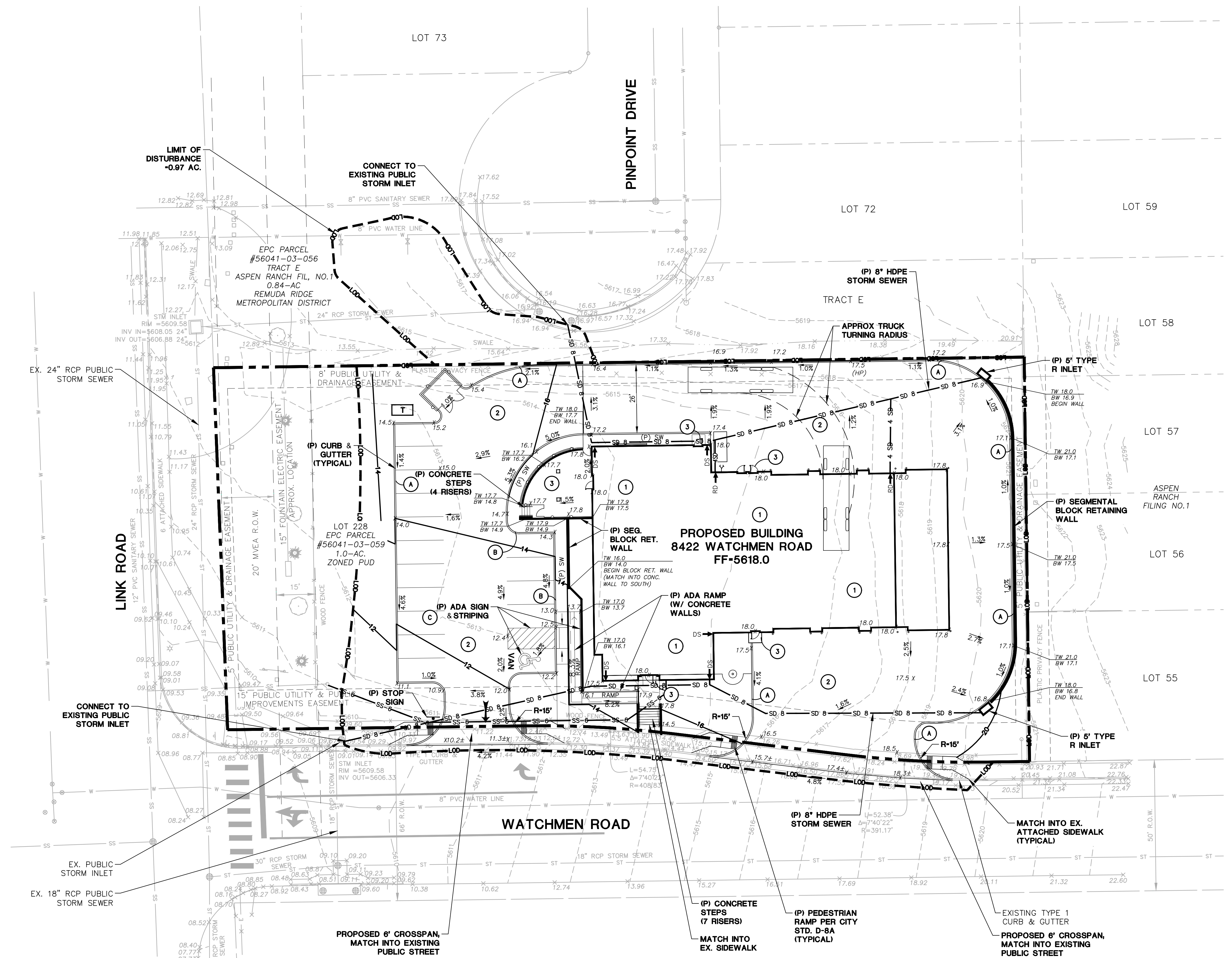
**SIGNING & STRIPING KEYED NOTES:**

- \*PROVIDE ALL REQUIRED SIGNAGE & STRIPING PER MUTCD STANDARDS
- © ADA SIGN (12"x18"; BLUE ON WHITE; MOUNTED MIN. 60" ABOVE GRADE)



ADA/STANDARD PARKING DETAIL  
 SCALE: NTS

**BENCHMARK:**  
 RIM OF EXISTING STORM INLET AT SW CORNER OF PROPERTY  
 RIM EL=5609.58



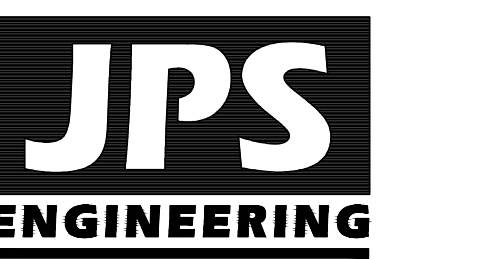
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**NEW FIRE STATION**

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**CRP ARCHITECTS AIA**  
 100 E. St. Vrain, Suite 300  
 Colorado Springs, Colorado 80903

**SITE GRADING & EROSION CONTROL PLAN**

PLAN NORTH  
 DATE: 07.10.2025  
 DRAWN BY: PV  
 CHECKED BY: JPS  
 REVISED: 05.20.2026

## STANDARD GEC PLAN NOTES

1. NO CLEARING, GRADING, EXCAVATION, OR OTHER LAND DISTURBING ACTIVITIES SHALL BE ALLOWED (EXCEPT FOR WORK DIRECTLY RELATED TO THE INSTALLATION OF INITIAL CONTROL MEASURES) UNTIL A CITY GEC PERMIT HAS BEEN ISSUED.
2. ALL LAND DISTURBING ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE APPROVED GEC PLAN AND CSWMP.
3. INITIAL CONTROL MEASURES SHALL BE INSTALLED AND INSPECTED PRIOR TO ANY LAND DISTURBANCE ACTIVITIES TAKING PLACE. AN INITIAL SITE INSPECTION WILL NOT BE SCHEDULED UNTIL A CITY GEC PERMIT HAS BEEN "CONDITIONALLY APPROVED." CALL CITY AT LEAST 48 HOURS PRIOR TO CONSTRUCTION TO SCHEDULE AN INITIAL INSPECTION AND OBTAIN FULL PERMIT APPROVAL.
4. INDIVIDUALS SHALL COMPLY WITH THE "COLORADO WATER QUALITY ACT" (TITLE 25, ARTICLE 8, CRS) AND THE "CLEAN WATER ACT" (33 USC 1344), INCLUDING REGULATIONS PROMULGATED AND CERTIFICATIONS AND PERMITS ISSUED, IN ADDITION TO THE REQUIREMENTS INCLUDED IN THE CITY'S MS4 PERMIT, STORMWATER CONSTRUCTION MANUAL. IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND WATER QUALITY CONTROL LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL OR STATE AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
5. STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS.
6. ALL CONSTRUCTION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION MEASURES ARE IMPLEMENTED. TEMPORARY CONSTRUCTION CONTROL MEASURES MUST BE REMOVED PRIOR TO PERMIT CLOSEOUT.
7. CONCRETE WASH WATER SHALL NOT BE DISCHARGED TO OR ALLOWED TO RUNOFF TO STATE WATERS OR ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
8. BUILDING, CONSTRUCTION, EXCAVATION, OR OTHER WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. CONSTRUCTION CONTROL MEASURES MAY BE REQUIRED BY THE CITY INSPECTOR IF DEEMED NECESSARY BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES (E.G. ESTIMATED TIME OF EXPOSURE, SEASON OF THE YEAR, ETC.)
9. ALL WASTES COMPOSED OF BUILDING MATERIALS MUST BE REMOVED FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
10. THE PERMITTEE SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, AND SAND THAT MAY ACCUMULATE IN THE STORM SEWER OR OTHER DRAINAGE CONVEYANCE SYSTEM AS A RESULT OF CONSTRUCTION ACTIVITIES.
11. THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS. MATERIALS SHALL NOT BE STORED IN A LOCATION WHERE THEY MAY BE CARRIED BY STORMWATER RUNOFF INTO THE STORM SEWER SYSTEM AT ANY TIME.
12. SPILL PREVENTION AND CONTAINMENT MEASURES SHALL BE USED AT ALL STORAGE, EQUIPMENT FUELING, AND EQUIPMENT SERVICING AREAS SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING THE MS4, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITY. BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE SECONDARY CONTAINMENT OR EQUIVALENT ADEQUATE PROTECTION. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY, OR CONTAINED UNTIL APPROPRIATE CLEANUP METHODS CAN BE EMPLOYED. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE FOLLOWED, ALONG WITH PROPER DISPOSAL METHODS.
13. SEDIMENT (MUD AND DIRT) TRANSPORTED ONTO A PUBLIC ROAD, REGARDLESS OF THE SIZE OF THE SITE, SHALL BE CLEANED AS SOON AS POSSIBLE AFTER DISCOVERY.
14. NO CHEMICALS ARE TO BE ADDED TO THE DISCHARGE UNLESS PERMISSION FOR THE USE OF A SPECIFIC CHEMICAL IS GRANTED BY THE STATE.
15. CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREAS SHALL BE COMPLETED WITHIN FOURTEEN (14) CALENDAR DAYS OF WHEN FINAL GRADING OR FINAL LAND DISTURBANCE HAS BEEN COMPLETED. DISTURBED AREAS WHICH ARE NOT AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN FOURTEEN (14) DAYS SHALL BE ROUGHENED, MULCHED, TACKIFIED. OR STABILIZED WITH TARPS WITHIN FOURTEEN (14) DAYS AFTER INTERIM GRADING. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN SIXTY (60) DAYS SHALL ALSO BE SEEDED, UNLESS AN ALTERNATIVE STABILIZATION MEASURE IS ACCEPTED AT THE INSPECTOR'S DISCRETION. ALL TEMPORARY CONSTRUCTION CONTROL MEASURES SHALL BE MAINTAINED UNTIL FINAL STABILIZATION IS ACHIEVED.
16. THE GEC PLAN WILL BE SUBJECT TO RE-REVIEW AND RE-ACCEPTANCE BY THE CITY SHOULD ANY OF THE FOLLOWING OCCUR: GRADING DOES NOT COMMENCE WITHIN TWELVE (12) MONTHS OF THE CITY'S ACCEPTANCE OF THE PLAN, THE CONSTRUCTION SITE IS IDLE FOR TWELVE (12) CONSECUTIVE MONTHS, A CHANGE IN PROPERTY OWNERSHIP OCCURS, THE PLANNED DEVELOPMENT CHANGES, OR ANY OTHER MAJOR MODIFICATIONS ARE PROPOSED AS DEFINED IN THE STORMWATER CONSTRUCTION MANUAL.
17. IT IS NOT PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH ON ANY UTILITY EASEMENT OR UTILITY RIGHT-OF-WAY WITHOUT WRITTEN APPROVAL FROM THE UTILITY OWNER. CITY ACCEPTANCE OF THE GEC PLAN AND CSWMP DOES NOT SATISFY THIS REQUIREMENT. THE PLAN SHALL NOT INCREASE OR DIVERT WATER TOWARDS UTILITY FACILITIES. ANY CHANGES TO EXISTING UTILITY FACILITIES TO ACCOMMODATE THE PLAN MUST BE APPROVED BY THE AFFECTED UTILITY OWNER PRIOR TO IMPLEMENTING THE PLAN. THE COST TO RELOCATE OR PROTECT EXISTING UTILITIES OR TO PROVIDE INTERIM ACCESS SHALL BE AT THE APPLICANT'S EXPENSE.
18. APPLICANT REPRESENTS AND WARRANTS THAT THEY HAVE THE LEGAL AUTHORITY TO GRADE AND/OR CONSTRUCT IMPROVEMENTS ON ADJACENT PROPERTY. THE CITY HAS NOT REVIEWED THE DEVELOPER'S AUTHORITY TO MODIFY ADJACENT PROPERTY. AN APPROVED GEC PERMIT DOES NOT PROVIDE APPROVAL FOR THE APPLICANT TO PERFORM WORK ON ADJACENT PROPERTY.
19. ALL UTILITY INSTALLATIONS WITHIN THE LIMITS OF DISTURBANCE SHOWN ON THIS PLAN ARE COVERED UNDER THIS PLAN. LOCATIONS OF UTILITIES WITHIN THE LIMITS OF DISTURBANCE MAY BE MODIFIED AFTER PLAN APPROVAL AS A FIELD CHANGE. UTILITY INSTALLATIONS RELATED TO THE PRIVATE DEVELOPMENT THAT EXTEND BEYOND THE LIMITS OF DISTURBANCE SHOWN ON THIS PLAN ARE CONSIDERED TO BE PART OF THE LARGER DEVELOPMENT, AND THEREFORE REQUIRE A PLAN MODIFICATION OR SEPARATE PLAN FOR THE ADDITIONAL DISTURBANCE AREA.

## DESCRIPTION OF CONSTRUCTION ACTIVITIES:

ANTICIPATED STARTING AND COMPLETION TIME PERIOD OF SITE GRADING:  
START: SEPTEMBER, 2026  
COMPLETION: SEPTEMBER, 2027

EXPECTED DATE ON WHICH THE FINAL STABILIZATION WILL BE COMPLETED: AUGUST, 2028

AREAS – TOTAL AREA OF THE SITE TO BE CLEARED, EXCAVATED, OR GRADED: 1.0 ACRES

RECEIVING WATERS – NAME OF RECEIVING WATERS: JIMMY CAMP CREEK

SOILS INFORMATION: USTIC TORRIFLUVENTS (HYDROLOGIC SOILS GROUP B)

## ADA CONSTRUCTION NOTE:

COMPLIANCE WITH THE AMERICANS OR DISABILITIES ACT ("ADA") AND OTHER FEDERAL AND STATE ACCESSIBILITY LAWS IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. THEREFORE, COMPLIANCE WITH CITY CODES DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. THE CITY OF FOUNTAIN IS NOT RESPONSIBLE FOR ENFORCEMENT OF THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS.

## EROSION CONTROL NOTES:

AT LEAST TEN DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB 1 ACRE OR MORE. THE OWNER OR OPERATOR OF THE CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY CONTROL DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:

COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT  
WATER QUALITY CONTROL DIVISION  
WQCD-PERMITS  
4300 CHERRY CREEK DRIVE SOUTH  
DENVER, COLORADO 80246-1530  
ATTN.: PERMITS UNIT

## EXISTING VEGETATION:

NATIVE GRASSES

## SEEDING MIX:

(SEED MIX TO BE APPROVED BY CITY OF FOUNTAIN PRIOR TO APPLICATION)

SEEDING & FERTILIZER APPLICATION: DRILL SEED OR HYDRO-SEED PER CDOT SPEC. SECTION 212.

MULCHING APPLICATION: CONFORM TO CDOT SPEC-SECTION 213.

## SEDIMENT CONTROL MAINTENANCE PROGRAM:

	FREQUENCY
PERIODIC SITE INSPECTIONS	BI-WEEKLY
RE-VEGETATION OF EXPOSED SOILS	WITHIN 21 DAYS OF GRADING
SEDIMENT REMOVAL FROM BMP'S	MONTHLY
REMOVAL OF BMP'S	AFTER STABILIZATION ACHIEVED

AND AFTER ANY PRECIPITATION OR SNOW MELT EVENT THAT CAUSES SURFACE EROSION.

ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED WHEN THE SEDIMENT LEVEL REACHES ONE HALF THE HEIGHT OF THE BMP OR AT ANY TIME THAT SEDIMENT OR DEBRIS ADVERSELY IMPACTS THE FUNCTION OF THE BMP.

## GENERAL CIVIL NOTES:

1. ALL CONSTRUCTION SHALL MEET THE FOLLOWING STANDARDS & SPECIFICATIONS:
  - \* INTERNATIONAL BUILDING CODE PER CURRENT PPRBD CODE
  - \* PIKES PEAK REGIONAL BUILDING CODE, LATEST EDITION
  - \* CITY OF FOUNTAIN STANDARD SPECIFICATIONS
  - \* CITY OF COLORADO SPRINGS ENGINEERING SPECIFICATIONS, LATEST EDITION (WHERE REFERENCED BY CITY OF FOUNTAIN SPECS)
  - \* PIKES PEAK PAVING SPECIFICATIONS
  - \* PROJECT GEOTECHNICAL REPORT
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD LOCATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION.
3. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THESE APPROVED PLANS AND ONE (1) COPY OF THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES:
4. STORM DRAIN PIPE SHALL BE RCP CLASS III OR CMP, WITH CLASS C BEDDING UNLESS OTHERWISE NOTED.
5. STATIONING IS AT CENTERLINE UNLESS OTHERWISE NOTED. ALL ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE FROM FACE OF CURB UNLESS OTHERWISE NOTED. LENGTHS SHOWN FOR STORM SEWER PIPES ARE TO CENTER OF MANHOLE.
6. CONTRACTOR SHALL COORDINATE WITH GAS, ELECTRIC, TELEPHONE AND CABLE T.V. UTILITY SUPPLIERS FOR INSTALLATION OF ALL UTILITIES. MINIMUM COVER FOR ALL DRY UTILITIES SHALL BE 36".
7. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, DEBRIS, WASTE AND OTHER UNSUITABLE FILL MATERIAL FOUND WITHIN THE LIMITS OF EXCAVATION.
8. MATCH INTO EXISTING GRADES AT 3:1 MAX CUT AND FILL SLOPES.
9. REVEGETATION OF ALL DISTURBED AREAS SHALL BE DONE WITH 4" TOPSOIL AND DRY LAND GRASS SEED (SEED MIX TO BE APPROVED BY CITY AT TIME OF APPLICATION AND AFTER FINE GRADING IS COMPLETE.
10. EROSION CONTROL SHALL CONSIST OF SILT FENCE AND OTHER CONTROL MEASURES AS SHOWN ON THE DRAWING, AND TOPSOIL WITH GRASS SEED, WHICH WILL BE WATERED UNTIL VEGETATION HAS BEEN RE-ESTABLISHED.
11. THE EROSION CONTROL MEASURES OUTLINED ON THIS PLAN ARE THE RESPONSIBILITY OF THE CONTRACTOR TO MONITOR AND REPLACE, REGRADE, AND REBUILD AS NECESSARY UNTIL VEGETATION IS RE-ESTABLISHED.
12. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES IN A MANNER THAT WILL PROTECT ADJACENT PROPERTIES AND PUBLIC FACILITIES FROM THE ADVERSE EFFECTS OF EROSION AND SEDIMENTATION AS A RESULT OF CONSTRUCTION AND EARTHWORK ACTIVITIES WITHIN THE PROJECT SITE.
13. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS DETERMINED BY SITE CONDITIONS.
14. THE CONTRACTOR WILL TAKE THE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES FROM DAMAGE DUE TO THIS OPERATION. ANY DAMAGE TO THE UTILITIES WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE, AND ANY SERVICE DISRUPTION WILL BE SETTLED BY THE CONTRACTOR.
15. ALL BACKFILL, SUB-BASE, AND/OR BASE COURSE MATERIAL SHALL BE COMPACTED PER THE PROJECT GEOTECHNICAL REPORT AND APPLICABLE CITY SPECIFICATIONS.
16. CONCRETE USED IN CURB AND GUTTER, SIDEWALK, AND CROSSSPAN CONSTRUCTION SHALL MEET CITY CRITERIA.
17. ALL FINISHED GRADES SHALL HAVE A MINIMUM 1.0% SLOPE TO PROVIDE POSITIVE DRAINAGE.
18. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO BEGINNING WORK.

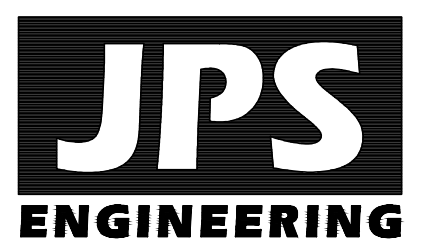
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CRP ARCHITECTS AIA  
100 E. St. Vrain, Suite 300  
Colorado Springs, Colorado 80903

## CIVIL AND EROSION CONTROL NOTES

PLAN NORTH  
DATE: 07.10.2025  
DRAWN BY: PV  
CHECKED BY: JPS  
REVISED: 05.20.2026

C2.1



# Fountain Fire Station #4



## NEW FIRE STATION

8422 Watchman Road  
Fountain, CO 80817

### CONSTRUCTION DOCUMENTS

### ROCK SOCK SECTION

GRADATION TABLE	
MASS PERCENT PASSING SIEVE	MIN. - MAX.
No. 4	100 - 100
10	100 - 100
20	100 - 100
40	100 - 100
60	100 - 100
100	100 - 100

INSTALLATION NOTES:  
1. CRUSHED ROCK SHALL BE BETWEEN MAX. 10" (MINUS) IN SIZE WITH A FRACTURED FACE (ALL SIDES) AND SHALL COMPLY WITH GRADATION SHOWN ON THIS SHEET AND MIN. 30" CRUSHED ROCK SHALL BE USED FOR THE 10' LENGTH OF THE ROCK SOCK.  
2. WIRE MESH SHALL HAVE OPENINGS SMALLER THAN THE SMALLEST SIZE ROCK.  
3. WIRE MESH SHALL BE SECURED USING HOOD RINGS OR WIRE TIES AT 6" CENTERS ALONG ALL EDGES AND AT 2' CENTERS ON ENDS OF SOCKS.  
4. ROCK SOCKS ARE TO REMAIN IN PLACE UNTIL PERMANENT STABILIZATION IS COMPLETED. PERMANENT STABILIZATION AREA AFTER ROCK SOCKS HAVE BEEN REMOVED.

MAINTENANCE NOTES:  
1. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.  
2. ROCK SOCKS SHALL BE REMOVED IF THEY BECOME HEAVILY SOILED OR DAMAGED BEFORE REPAIR. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN THE HEIGHT REACHES 3/4 OF THE DESIGN DEPTH OF THE SILT FENCE.  
3. SILT FENCE MUST REMAIN UNTIL THE UPSTREAM DISTURBANCE AREA IS STABILIZED. PERMANENT STABILIZATION SHALL BE COMPLETED BEFORE SILT FENCE IS REMOVED WHEN REMOVAL IS APPROPRIATE.

STORMWATER INTERPRETIVE: CD, CWA, SF, PT, VTC, SR, SM, C31

### SILT FENCE SUMP INLET PROTECTION PLAN

INSTALLATION NOTES:  
1. SEE SILT FENCE DETAIL FOR INSTALLATION REQUIREMENTS.  
2. SUMP SHALL BE PLACED AT EACH CORNER OF A WALL AND AT THE END OF A WALL.  
3. SUMP SHALL BE PLACED AT THE END OF A WALL.  
4. SUMP SHALL BE PLACED AT THE END OF A WALL.

MAINTENANCE NOTES:  
1. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.  
2. ACCUMULATED SEDIMENT MUST BE REMOVED WHEN THE HEIGHT REACHES 3/4 OF THE DESIGN DEPTH OF THE SILT FENCE.  
3. SILT FENCE MUST REMAIN UNTIL THE UPSTREAM DISTURBANCE AREA IS STABILIZED.  
4. PERMANENT STABILIZATION SHALL BE COMPLETED BEFORE SILT FENCE IS REMOVED WHEN REMOVAL IS APPROPRIATE.

STORMWATER INTERPRETIVE: IP-1, IP-3, CWA, SF, PT, VTC, SR, SM, C31

### CURB INLET PROTECTION PLAN

INSTALLATION NOTES:  
1. SEE ROCK SOCK DETAIL FOR INSTALLATION REQUIREMENTS.  
2. ROCK SOCKS SHALL BE PLACED AT EACH CORNER OF A WALL AND AT THE END OF A WALL.  
3. ROCK SOCKS SHALL BE PLACED AT THE END OF A WALL.  
4. ROCK SOCKS SHALL BE PLACED AT THE END OF A WALL.

MAINTENANCE NOTES:  
1. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.  
2. ACCUMULATED SEDIMENT MUST BE REMOVED WHEN THE HEIGHT REACHES 3/4 OF THE DESIGN DEPTH OF THE SILT FENCE.  
3. SILT FENCE MUST REMAIN UNTIL THE UPSTREAM DISTURBANCE AREA IS STABILIZED.  
4. PERMANENT STABILIZATION SHALL BE COMPLETED BEFORE SILT FENCE IS REMOVED WHEN REMOVAL IS APPROPRIATE.

STORMWATER INTERPRETIVE: IP-1, IP-3, CWA, SF, PT, VTC, SR, SM, C31

### CHECK DAM ELEVATION VIEW

INSTALLATION NOTES:  
1. CHECK DAMS SHOULD BE INSTALLED BEFORE UPSTREAM AND DOWNSTREAM ACTIVITIES.  
2. RIPRAP PAD SHOULD BE TRENCHED INTO GROUND BY A MINIMUM OF 6".

MAINTENANCE NOTES:  
1. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.  
2. ACCUMULATED SEDIMENT MUST BE REMOVED WHEN THE HEIGHT REACHES 3/4 OF THE HEIGHT OF THE CHECK DAM.  
3. CHECK DAMS MUST REMAIN UNTIL THE UPSTREAM DISTURBANCE AREA IS STABILIZED.  
4. PERMANENT STABILIZATION AREA AFTER CHECK DAMS ARE REMOVED IF REMOVAL IS REQUIRED.

STORMWATER INTERPRETIVE: CD, CWA, SF, PT, VTC, SR, SM, C31

### STOCKPILE PROTECTION PLAN

INSTALLATION NOTES:  
1. PERIMETER CONTROL MUST BE SUITABLE TO SITE CONDITIONS AND INSTALLED ACCORDING TO THE RELEVANT DETAIL.  
2. PERIMETER CONTROL MUST BE SUITABLE TO SITE CONDITIONS AND INSTALLED ACCORDING TO THE RELEVANT DETAIL.

MAINTENANCE NOTES:  
1. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.  
2. PERIMETER CONTROL MUST BE SUITABLE TO SITE CONDITIONS AND INSTALLED ACCORDING TO THE RELEVANT DETAIL.

STORMWATER INTERPRETIVE: SP, CWA, SF, PT, VTC, SR, SM, C31

### PORTABLE TOILET PLAN

INSTALLATION NOTES:  
1. PORTABLE TOILETS SHALL BE PLACED AT A MINIMUM OF 10' FROM ALL CURBS, DRIVEWAYS, AND OTHER IMPERVIOUS AREAS.  
2. PORTABLE TOILETS SHALL BE SERVICED AT THE NEAREST AVAILABLE SERVICE AREA.  
3. PORTABLE TOILETS SHALL BE SERVICED AT THE NEAREST AVAILABLE SERVICE AREA.  
4. PORTABLE TOILETS SHALL BE SERVICED AT THE NEAREST AVAILABLE SERVICE AREA.

MAINTENANCE NOTES:  
1. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.  
2. PORTABLE TOILETS SHALL BE SERVICED AT THE NEAREST AVAILABLE SERVICE AREA.  
3. PORTABLE TOILETS SHALL BE SERVICED AT THE NEAREST AVAILABLE SERVICE AREA.  
4. PORTABLE TOILETS SHALL BE SERVICED AT THE NEAREST AVAILABLE SERVICE AREA.

STORMWATER INTERPRETIVE: PT, CWA, SF, VTC, SR, SM, C31

### SILT FENCE

INSTALLATION NOTES:  
1. SILT FENCE MUST BE PLACED ON A FLAT SURFACE 2'-3' AWAY FROM THE CURB.  
2. SILT FENCE MUST BE PLACED ON A FLAT SURFACE 2'-3' AWAY FROM THE CURB.  
3. SILT FENCE MUST BE PLACED ON A FLAT SURFACE 2'-3' AWAY FROM THE CURB.

MAINTENANCE NOTES:  
1. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.  
2. ACCUMULATED SEDIMENT MUST BE REMOVED WHEN THE HEIGHT REACHES 3/4 OF THE DESIGN DEPTH OF THE SILT FENCE.  
3. SILT FENCE MUST REMAIN UNTIL THE UPSTREAM DISTURBANCE AREA IS STABILIZED.  
4. PERMANENT STABILIZATION SHALL BE COMPLETED BEFORE SILT FENCE IS REMOVED.

STORMWATER INTERPRETIVE: SF, CWA, SF, PT, VTC, SR, SM, C31

### J-HOOK INSTALLATION

INSTALLATION NOTES:  
1. J-HOOKS SHALL BE PLACED ON A FLAT SURFACE 2'-3' AWAY FROM THE CURB.  
2. J-HOOKS SHALL BE PLACED ON A FLAT SURFACE 2'-3' AWAY FROM THE CURB.  
3. J-HOOKS SHALL BE PLACED ON A FLAT SURFACE 2'-3' AWAY FROM THE CURB.

MAINTENANCE NOTES:  
1. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.  
2. ACCUMULATED SEDIMENT MUST BE REMOVED WHEN THE HEIGHT REACHES 3/4 OF THE DESIGN DEPTH OF THE SILT FENCE.  
3. SILT FENCE MUST REMAIN UNTIL THE UPSTREAM DISTURBANCE AREA IS STABILIZED.  
4. PERMANENT STABILIZATION SHALL BE COMPLETED BEFORE SILT FENCE IS REMOVED.

STORMWATER INTERPRETIVE: SF, CWA, SF, PT, VTC, SR, SM, C31

### CONCRETE WASHOUT AREA

INSTALLATION NOTES:  
1. SEE PLAN NEW FOR LOCATION OF CONCRETE WASHOUT AREA.  
2. CONCRETE WASH AREA SHALL BE PLACED AT A MINIMUM OF 10' FROM ALL CURBS, DRIVEWAYS, AND OTHER IMPERVIOUS AREAS.  
3. CONCRETE WASH AREA SHALL BE PLACED AT A MINIMUM OF 10' FROM ALL CURBS, DRIVEWAYS, AND OTHER IMPERVIOUS AREAS.

MAINTENANCE NOTES:  
1. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.  
2. CONCRETE WASH AREA SHALL BE PLACED AT A MINIMUM OF 10' FROM ALL CURBS, DRIVEWAYS, AND OTHER IMPERVIOUS AREAS.  
3. CONCRETE WASH AREA SHALL BE PLACED AT A MINIMUM OF 10' FROM ALL CURBS, DRIVEWAYS, AND OTHER IMPERVIOUS AREAS.

STORMWATER INTERPRETIVE: CWA, SF, PT, VTC, SR, SM, C31

### VEHICLE TRACKING CONTROL

INSTALLATION NOTES:  
1. A STABILIZED CONSTRUCTION ENTRANCE MUST BE LOCATED AT ALL POINTS WHERE VEHICLES EXIT THE CONSTRUCTION SITE TO ADJACENT ROADWAYS.  
2. STABILIZED CONSTRUCTION ENTRANCES/EXITS SHALL BE INSTALLED FROM TOY LANDS, WASHED DOWN, STORM DRAINS, AND OTHER DRAINAGE FEATURES.  
3. STABILIZED CONSTRUCTION ENTRANCES/EXITS SHALL BE INSTALLED FROM TOY LANDS, WASHED DOWN, STORM DRAINS, AND OTHER DRAINAGE FEATURES.

MAINTENANCE NOTES:  
1. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.  
2. STABILIZED CONSTRUCTION ENTRANCES/EXITS SHALL BE INSTALLED FROM TOY LANDS, WASHED DOWN, STORM DRAINS, AND OTHER DRAINAGE FEATURES.  
3. STABILIZED CONSTRUCTION ENTRANCES/EXITS SHALL BE INSTALLED FROM TOY LANDS, WASHED DOWN, STORM DRAINS, AND OTHER DRAINAGE FEATURES.

STORMWATER INTERPRETIVE: VTC, CWA, SF, PT, VTC, SR, SM, C31

### Stabilized Staging Area (SSA) SM-6

INSTALLATION NOTES:  
1. SEE PLAN NEW FOR LOCATION OF STAGING AREA.  
2. STAGING AREA SHALL BE STABILIZED PRIOR TO OTHER OPERATIONS ON THE SITE.  
3. STAGING AREA SHALL BE STABILIZED PRIOR TO OTHER OPERATIONS ON THE SITE.

MAINTENANCE NOTES:  
1. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.  
2. STAGING AREA SHALL BE STABILIZED PRIOR TO OTHER OPERATIONS ON THE SITE.  
3. STAGING AREA SHALL BE STABILIZED PRIOR TO OTHER OPERATIONS ON THE SITE.

STORMWATER INTERPRETIVE: SSA, CWA, SF, PT, VTC, SR, SM, C31

### SEEDING & MULCHING SM

INSTALLATION NOTES:  
1. ALL SOIL TESTING, SOILS AMENDMENT AND FERTILIZER DOCUMENTATION, AND SEED LOAD AND BAG TICKETS MUST BE ADDED TO THE COMP.  
2. SEEDING SHALL BE COMPLETED AS SOON AS PRACTICABLE AFTER SEEDING. HOWEVER PLANTED AREAS MUST BE MULCHED NO LATER THAN 14 DAYS AFTER PLANTING.  
3. MULCHING REQUIREMENTS INCLUDE:  
- MULCH SHALL BE 2" DEEP, FREE AND CERTIFIED SEED-FREE MULCH MAY BE USED. MULCH MUST BE APPLIED AT 10 POUNDS PER SQUARE YARD AND ADEQUATELY SECURED BY CHAINS AND/OR HOOKS.  
- CHAINS MUST NOT BE USED ON SLOPES GREATER THAN 3:1 AND MULCH FIBERS MUST BE TUCKED INTO THE SOIL TO A DEPTH OF 1 TO 4 INCHES.  
- TACKIFIER MUST BE USED IN PLACE OF CHAINS ON SLOPES STEEPER THAN 3:1.  
- HYDROSEEDING: MULCHING IS AN OPTION ON STEEP SLOPES OR WHERE ACCESS IS LIMITED.  
- IF HYDRO-SEEDING IS USED, MULCHING MUST BE APPLIED AS A SEPARATE SECOND OPERATION.  
- WOOD CHIPS/SHREDDED TREES MUST BE APPLIED AT A RATE OF 2,000 TO 3,000 POUNDS/ACRE, AND TACKIFIER MUST BE APPLIED AT A RATE OF 100 POUNDS/ACRE.  
- EROSION CONTROL BLANKET MAY BE USED IN PLACE OF TRADITIONAL MULCHING METHODS.

MAINTENANCE NOTES:  
1. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.  
2. ACCUMULATED SEDIMENT MUST BE REMOVED WHEN THE HEIGHT REACHES 3/4 OF THE HEIGHT OF THE CHECK DAM.  
3. CHECK DAMS MUST REMAIN UNTIL THE UPSTREAM DISTURBANCE AREA IS STABILIZED.  
4. PERMANENT STABILIZATION AREA AFTER CHECK DAMS ARE REMOVED IF REMOVAL IS REQUIRED.

STORMWATER INTERPRETIVE: SM, CWA, SF, PT, VTC, SR, SM, C31

### CHECK DAM

INSTALLATION NOTES:  
1. CHECK DAMS SHOULD BE INSTALLED BEFORE UPSTREAM AND DOWNSTREAM ACTIVITIES.  
2. RIPRAP PAD SHOULD BE TRENCHED INTO GROUND BY A MINIMUM OF 6".

MAINTENANCE NOTES:  
1. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.  
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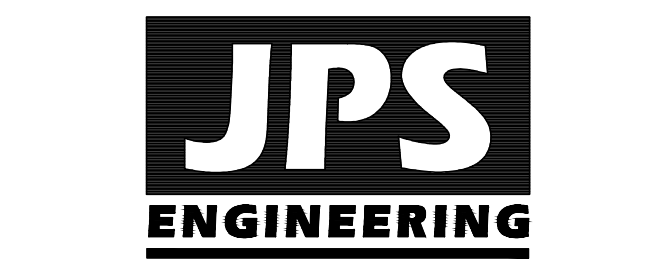
STORMWATER INTERPRETIVE: CD, CWA, SF, PT, VTC, SR, SM, C31

### SURFACE ROUGHENING SR

INSTALLATION NOTES:  
1. SURFACE ROUGHENING MAY BE USED IN AREAS FLATTER THAN 2:1.  
2. SURFACE ROUGHENING MAY BE USED IN AREAS FLATTER THAN 2:1.  
3. SURFACE ROUGHENING MAY BE USED IN AREAS FLATTER THAN 2:1.

MAINTENANCE NOTES:  
1. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.  
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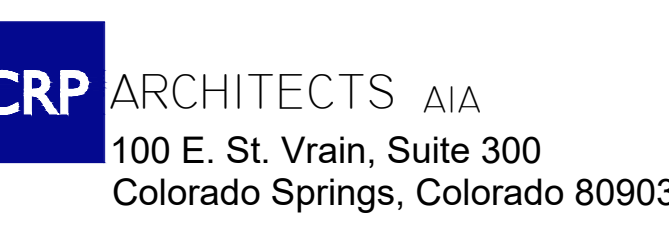
STORMWATER INTERPRETIVE: SR, CWA, SF, PT, VTC, SR, SM, C31



19 E. Willamette Ave.  
Colorado Springs, CO  
80903

PH: 719-477-9429  
FAX: 719-471-0766  
www.jpsengr.com

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100 E. St. Vrain, Suite 300  
Colorado Springs, Colorado 80903

### EROSION CONTROL DETAILS

DATE: 04.22.2025  
DRAWN BY: PV  
CHECKED BY: JPS  
REVISED: 05.20.2026

# CITY OF FOUNTAIN WATER UTILITY TECHNICAL PROJECTS REVIEW

THE PROJECT DOCUMENTS THAT THIS ENDORSEMENT IS AFFIXED TO HAVE BEEN REVIEWED BY THE WATER UTILITY STAFF FOR CONFORMANCE TO THE WATER UTILITY DISTRIBUTION SYSTEM DESIGN AND CONSTRUCTION SPECIFICATIONS AND STANDARDS, AS DEFINED IN THE CITY OF FOUNTAIN ORDINANCE NUMBER 1664. THIS REVIEW DOES NOT AMEND THE COLORADO STATUTORY RESPONSIBILITIES OF THE DESIGN PROFESSIONAL WHO PREPARED THESE DOCUMENTS AND IS VALID ONLY FOR THE SET OF DOCUMENTS DATED \_\_\_\_\_. ANY REVISIONS LATER THAN THAT DATE REQUIRE WATER UTILITY REVIEW INDEPENDENT OF THIS REVIEW. ANY CONDITIONS NOT ADDRESSED IN THESE DOCUMENTS ARE SUBJECT TO THE WATER STANDARDS. THE WATER UTILITY IS NOT RESPONSIBLE FOR THE LAYOUT OR CONSTRUCTION METHODOLOGY EMPLOYED BY THE CONTRACTOR IN EXECUTING THESE DOCUMENTS.

REVIEWED BY: \_\_\_\_\_ SIGNATURE \_\_\_\_\_  
 \_\_\_\_\_ LETTERED NAME: \_\_\_\_\_ DATE: \_\_\_\_\_

## FOUNTAIN SANITATION DISTRICT REVIEW DESIGN ENGINEER'S STATEMENT:

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY FOUNTAIN SANITATION DISTRICT FOR DETAILED SANITARY SEWER CONSTRUCTION, AND SPECIFICATIONS.

\_\_\_\_\_  
 SIGNATURE NAME: \_\_\_\_\_ DATE \_\_\_\_\_  
 \_\_\_\_\_ P.E. # \_\_\_\_\_  
 FOR AND BEHALF OF \_\_\_\_\_

## DEVELOPERS STATEMENT:

THE OWNER WILL COMPLY WITH THE REQUIREMENTS OF FOUNTAIN SANITATION DISTRICT REGULATIONS AND STANDARD SPECIFICATIONS. OWNER WILL COMPLY WITH THE CONSTRUCTION DRAWINGS PREPARED BY HIS/HER CIVIL ENGINEER.

DEVELOPER/OWNER SIGNATURE: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 NAME OF DEVELOPER/OWNER: \_\_\_\_\_  
 TITLE: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_

## FOUNTAIN SANITATION DISTRICT:

PLANS ARE RECOMMENDED FOR USE IN CONSTRUCTION OF WASTEWATER COLLECTION SYSTEM FOR THIS PROJECT. DESIGN ENGINEER OF RECORD TAKES SOLE RESPONSIBILITY FOR ALL DESIGN ASPECTS OF THE PROJECT.

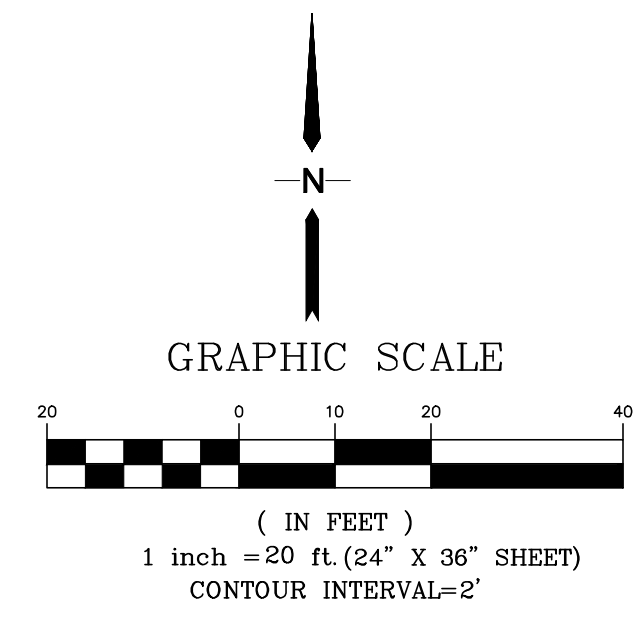
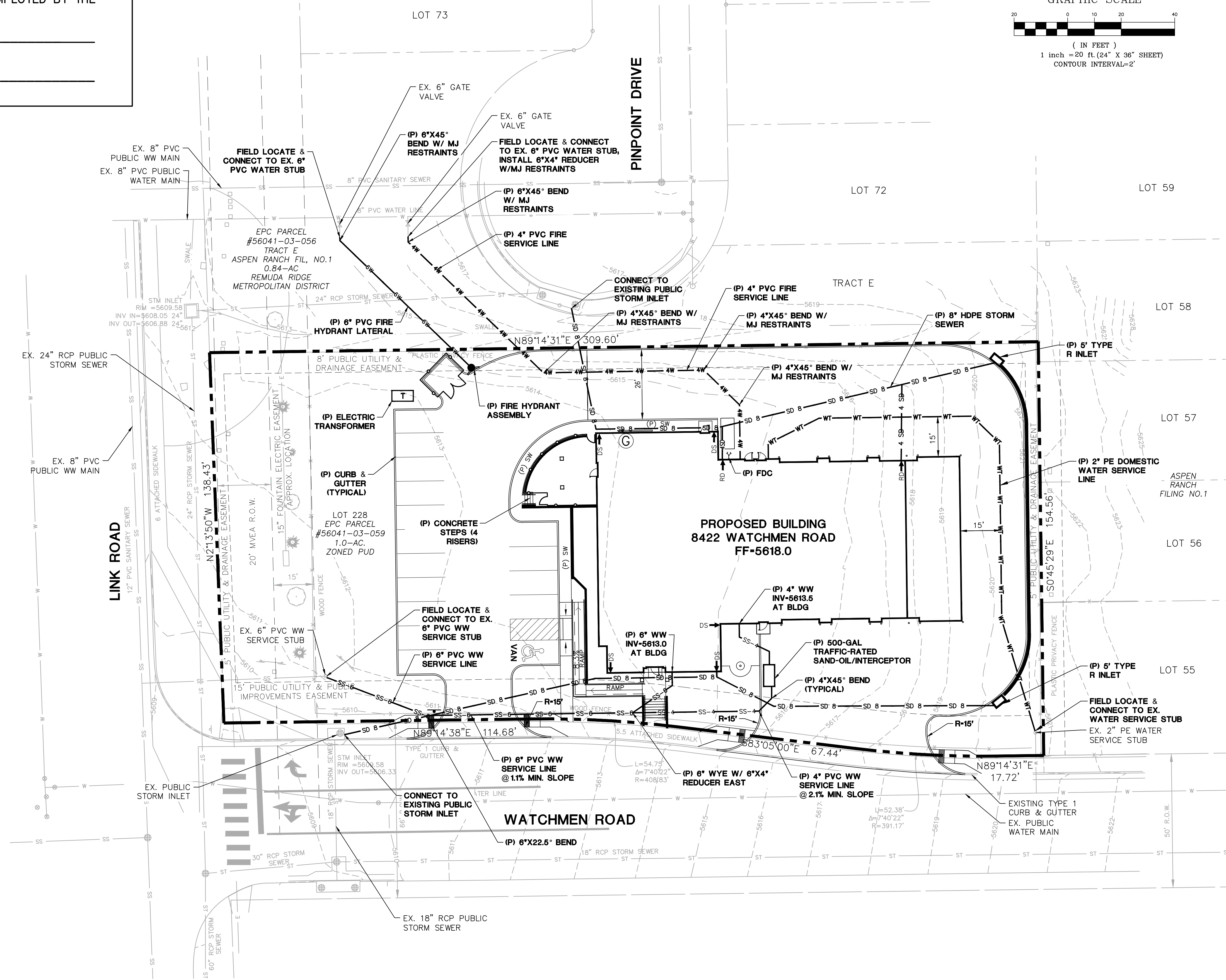
\_\_\_\_\_  
 JONATHAN MOORE, P.E. DATE \_\_\_\_\_  
 FOUNTAIN SANITATION DISTRICT - DISTRICT ENGINEER

ELECTRIC NOTE: DEVELOPER TO RUN ELECTRIC SERVICE FROM BUILDING TO TRANSFORMER; ELECTRIC METERING WILL BE INSTALLED ON THE BUILDING.

## LEGEND:

---	---	SECTION LINE - NEW/EXISTING
---	---	EASEMENT LINE - NEW/EXISTING
---5612---	---5612---	CONTOUR - NEW/EXISTING
---	---	PROPERTY LINE - NEW/EXISTING
OHE	OHE	OVERHEAD ELECTRIC LINE W/ POWER POLE NEW/EXISTING
UGE	UGE	UNDERGROUND ELECTRIC LINE NEW/EXISTING
SS-4	SS-4	SANITARY SEWER LINE
WT	WT	WATER LINE
		SECTION NUMBER
		SHEET ON WHICH SECTION IS SHOWN

**BENCHMARK:**  
 RIM OF EXISTING STORM INLET  
 AT SW CORNER OF PROPERTY  
 RIM EL=5609.58



### GENERAL UTILITY NOTES:

- ALL WATER AND SEWER INSTALLATIONS SHALL CONFORM TO CITY OF FOUNTAIN WATER & FOUNTAIN SANITATION DISTRICT STANDARD SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD LOCATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION.
- ALL POTABLE WATER PIPING WILL BE BEDDED WITH SQUEEGEE SAND (100% PASSING 3/8") OR WELL-GRADED CRUSHED CONCRETE MIXED WITH FINES

### KEYED NOTES:

- (G) CONNECT TO EXISTING UNDERGROUND GAS SERVICE LINE (COORDINATE WITH BLACK HILLS ENERGY)
- (E) COORDINATE WITH CITY FOR ELECTRIC SERVICE CONNECTIONS
- (T) COORDINATE W/ CENTURY LINK FOR TELEPHONE SERVICE
- (W) PROPOSED WATER SERVICE CONNECTION W/FORD TAPPING SLEEVE, FB-1001 CORP.STOP, & B46-333 CURB STOP; PE WATER SERVICE LINE W/TRACER WIRE #6 AT 4' COVER DEPTH PER CITY STD. DWG-37 & CH.7 OF CITY WATER SPECS

### UTILITY PLAN SHEET INDEX

U1.1	SITE UTILITY PLAN
U2.1	SITE UTILITY NOTES AND DETAILS
U2.2	WASTEWATER NOTES AND DETAILS

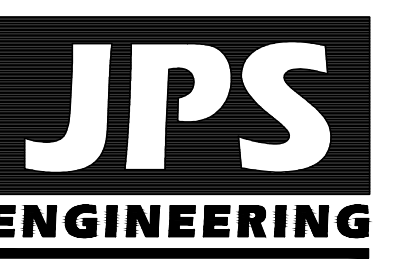
# Fountain Fire Station #4



## NEW FIRE STATION

8422 Watchman Road  
 Fountain, CO 80817

### CONSTRUCTION DOCUMENTS



19 E. Willamette Ave.  
 Colorado Springs, CO 80903

PH: 719-477-9429  
 FAX: 719-471-0766  
 www.jpsegr.com

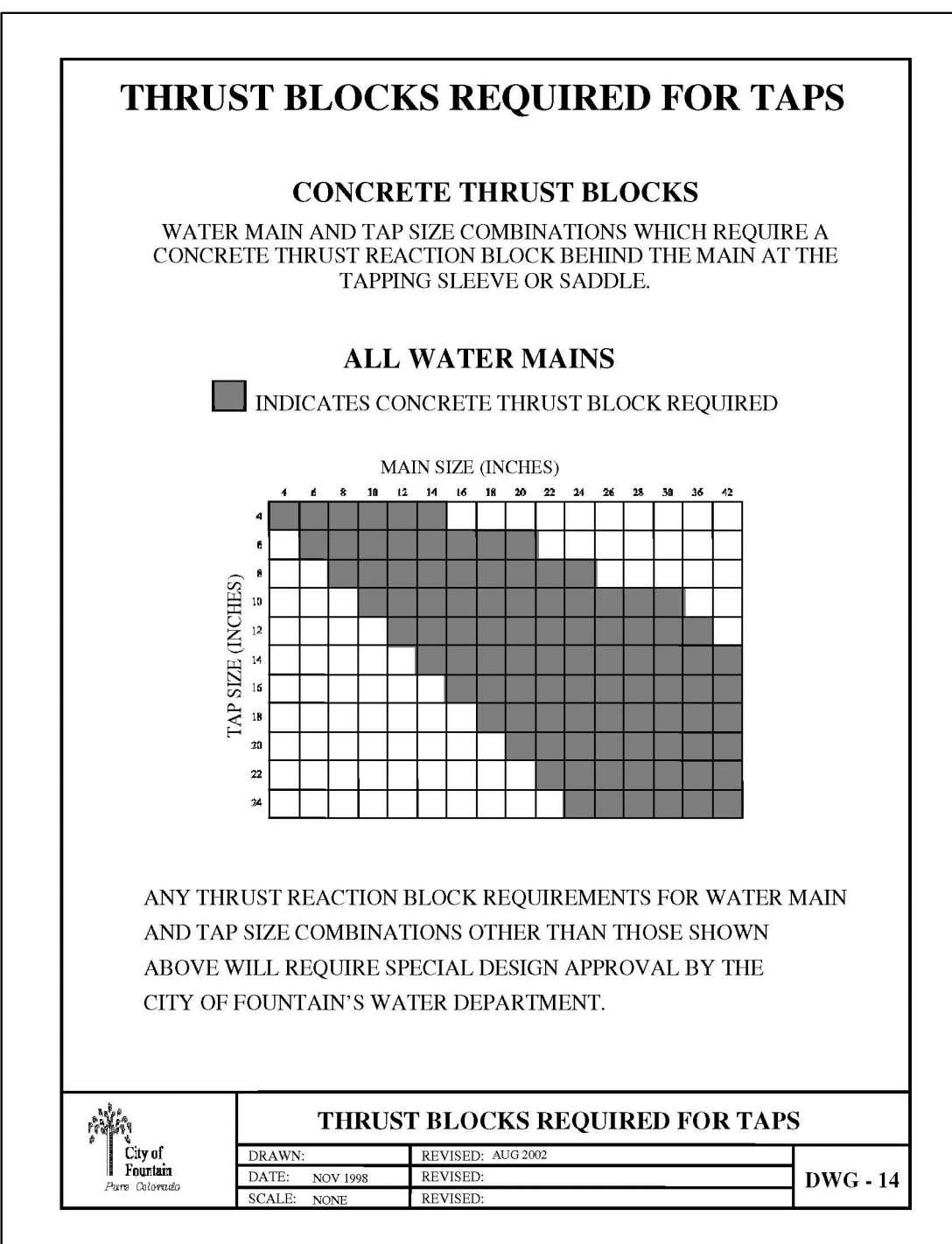
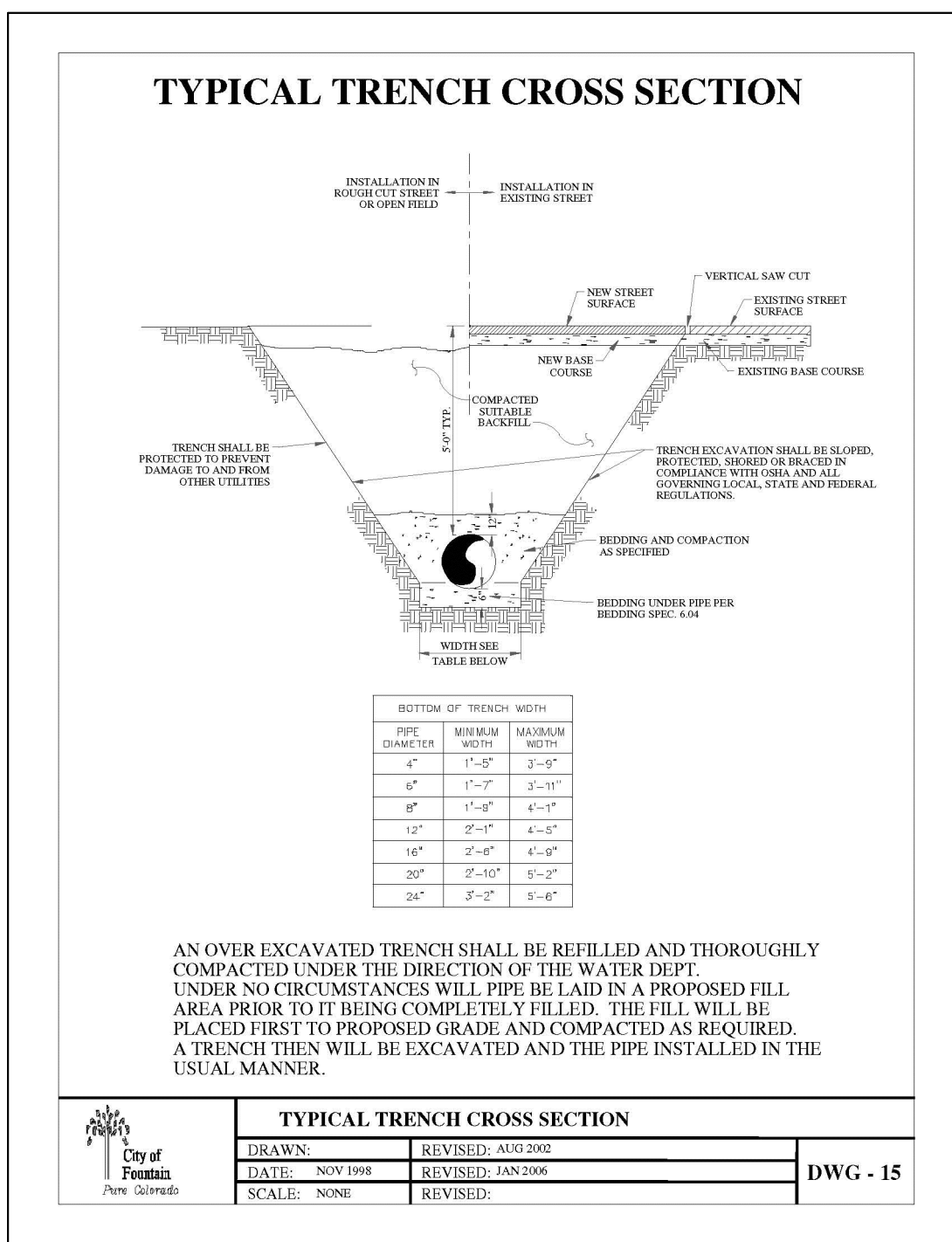
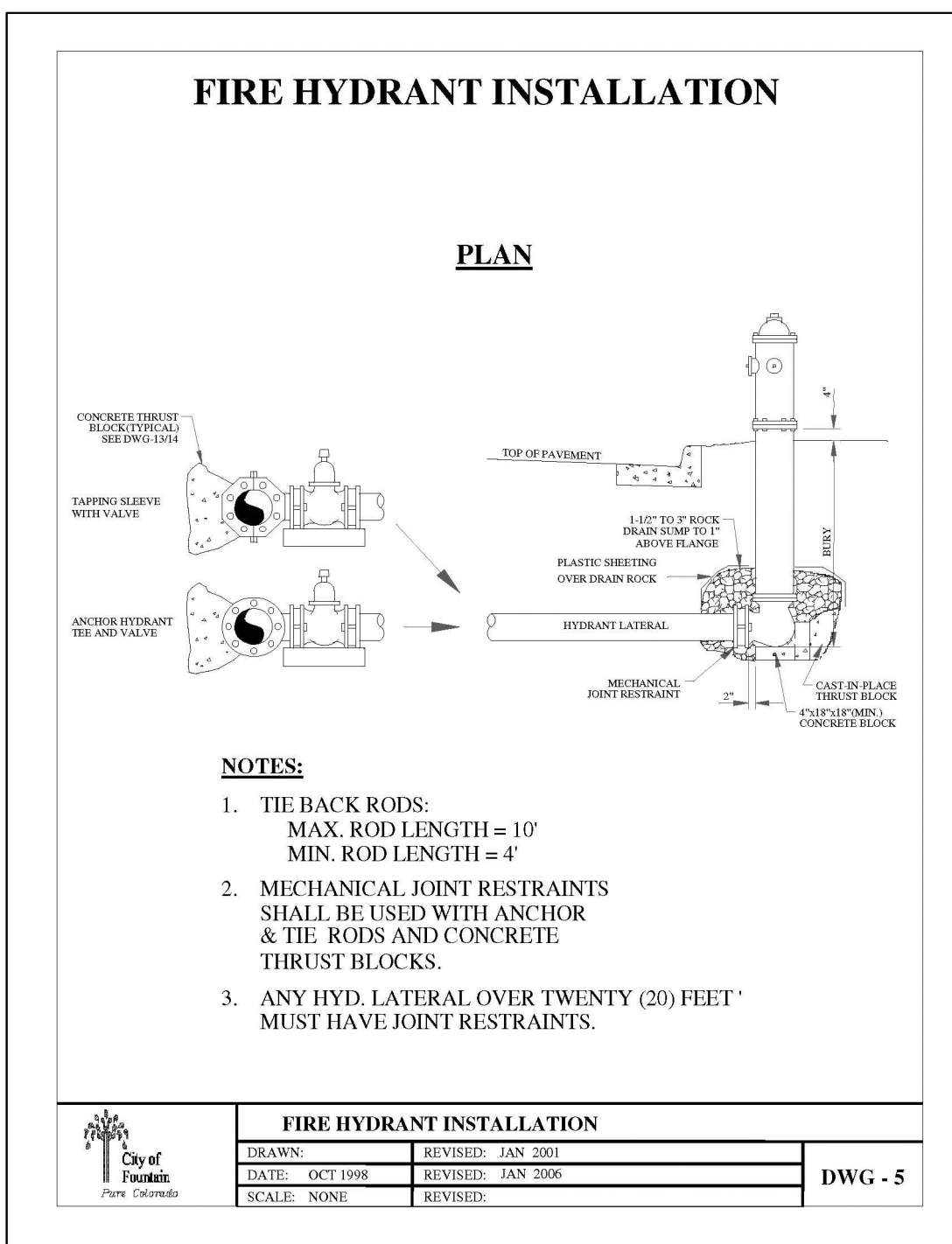
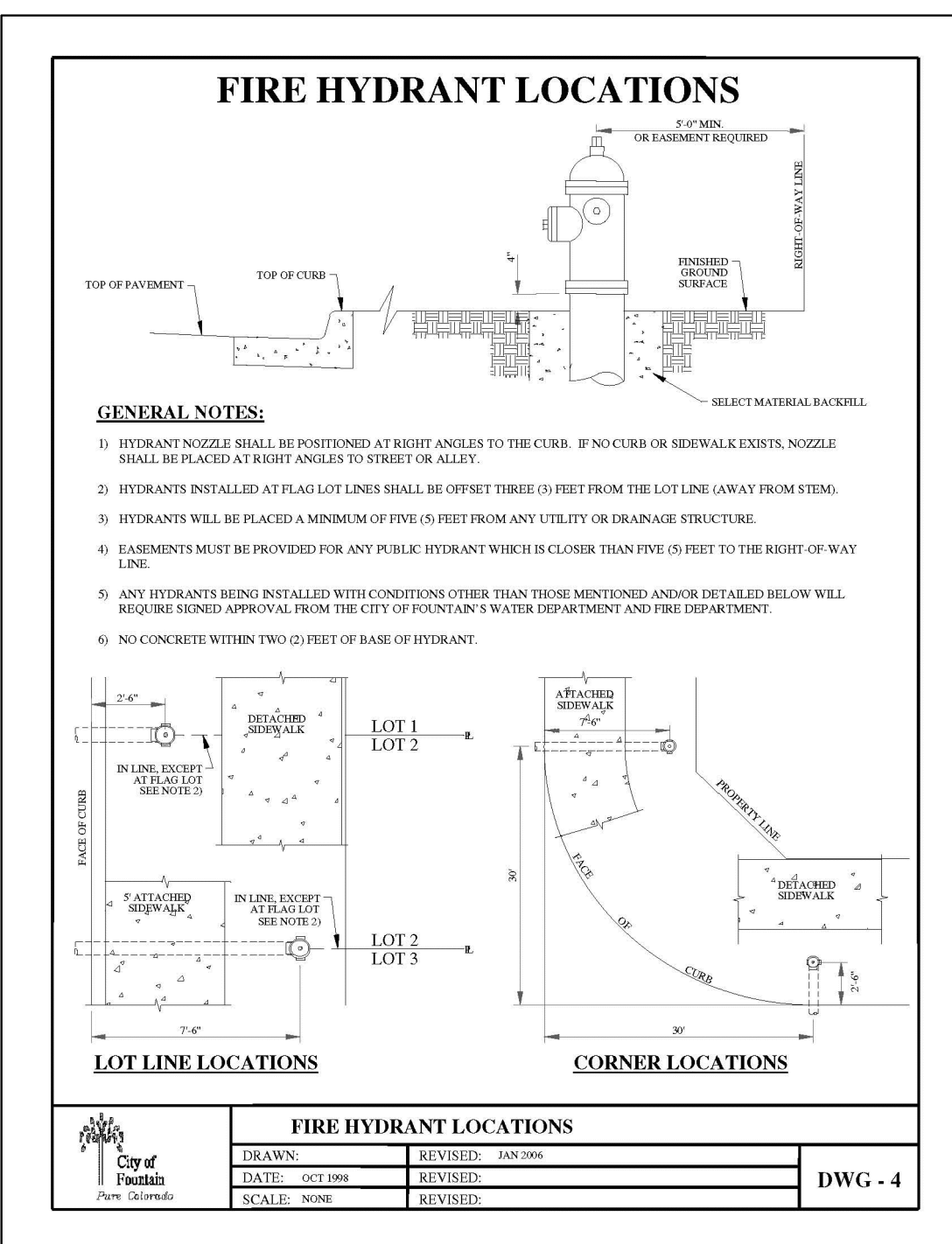
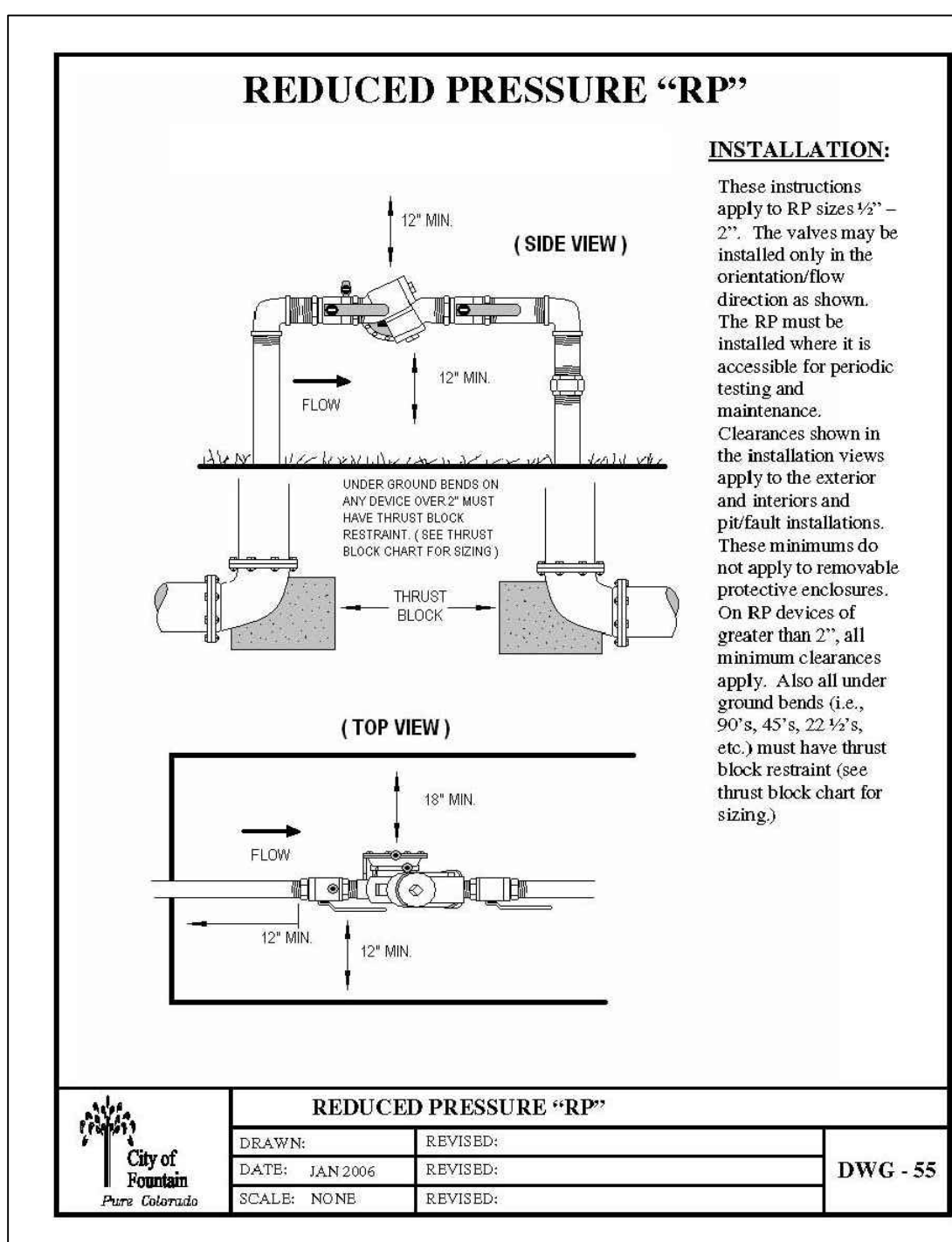
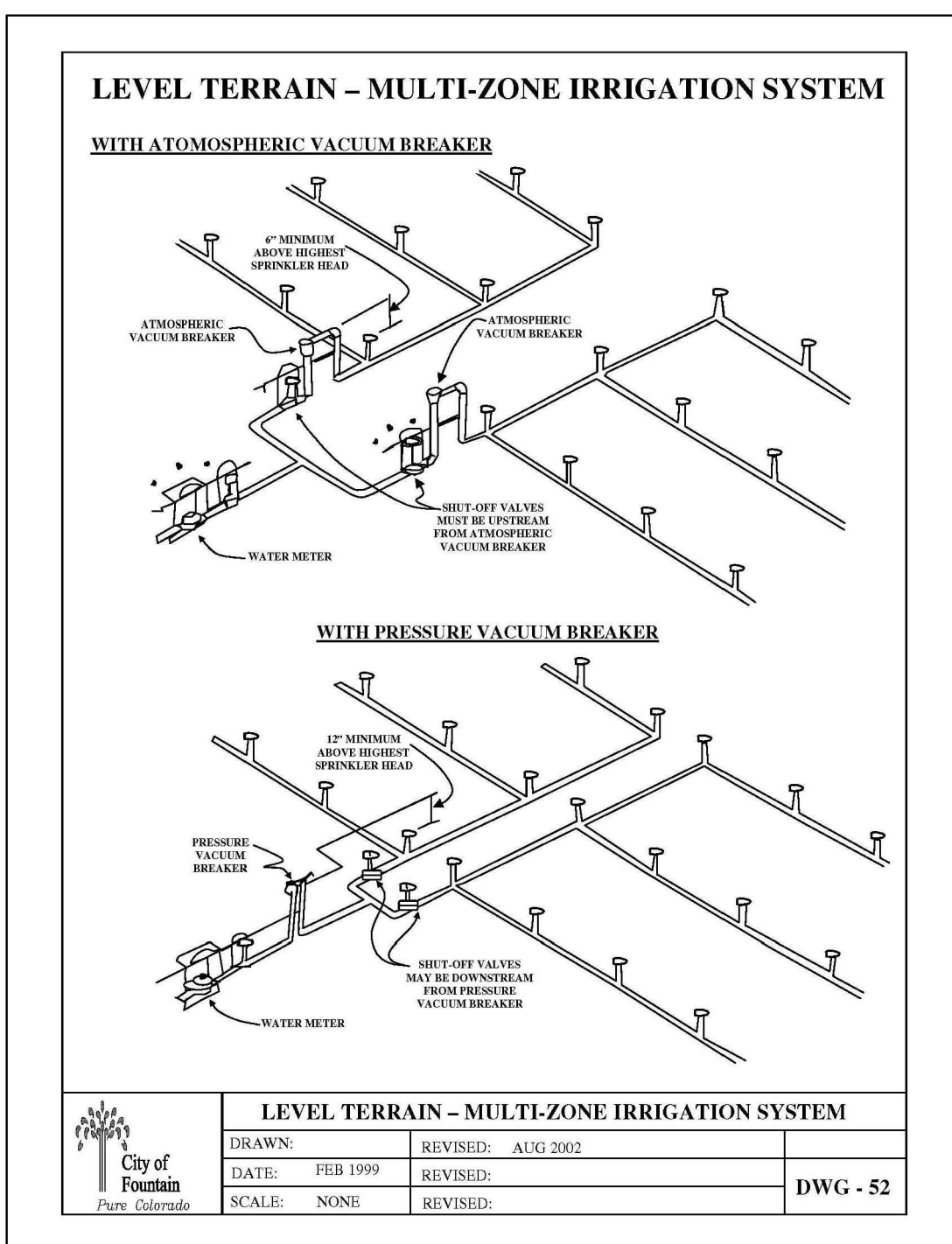
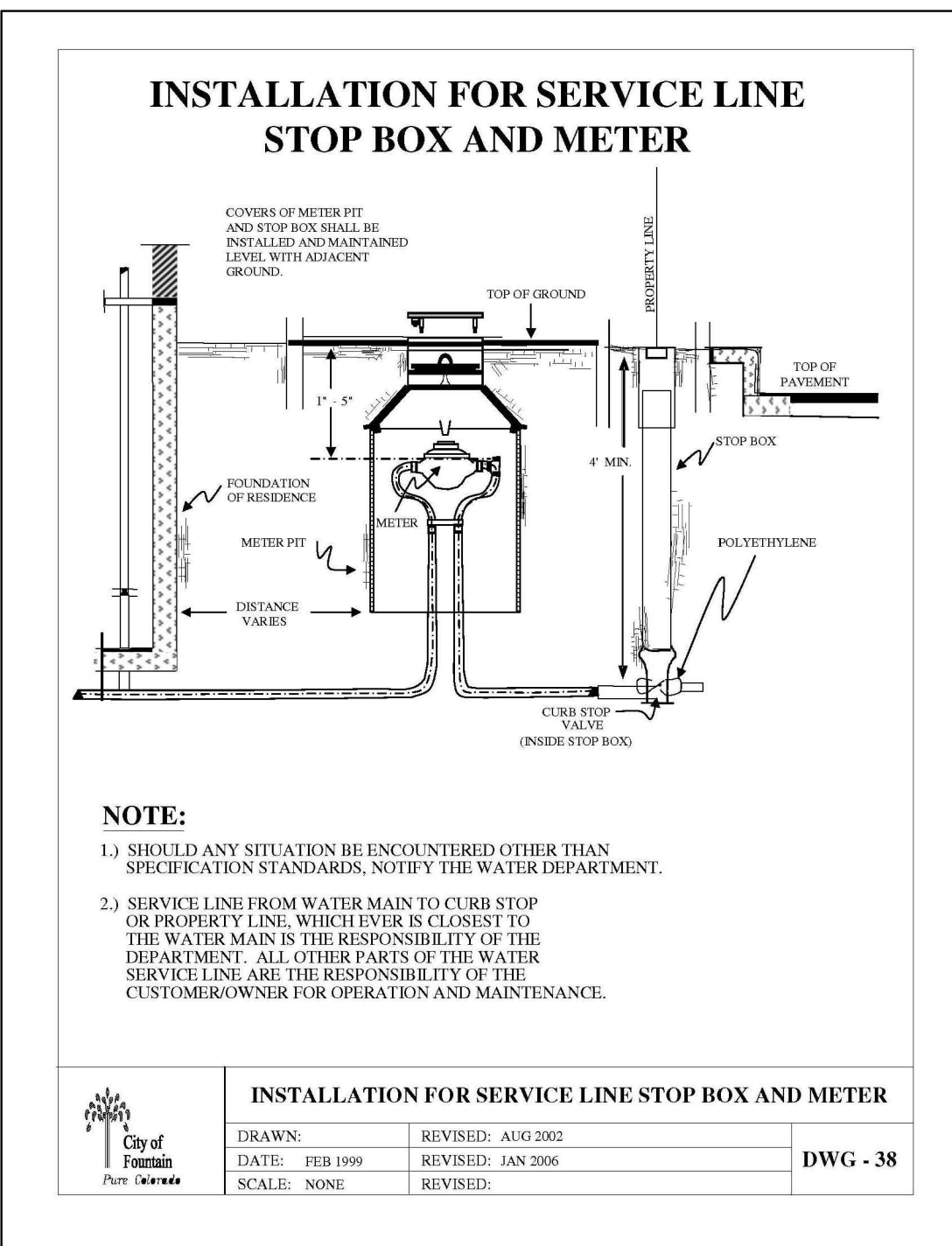
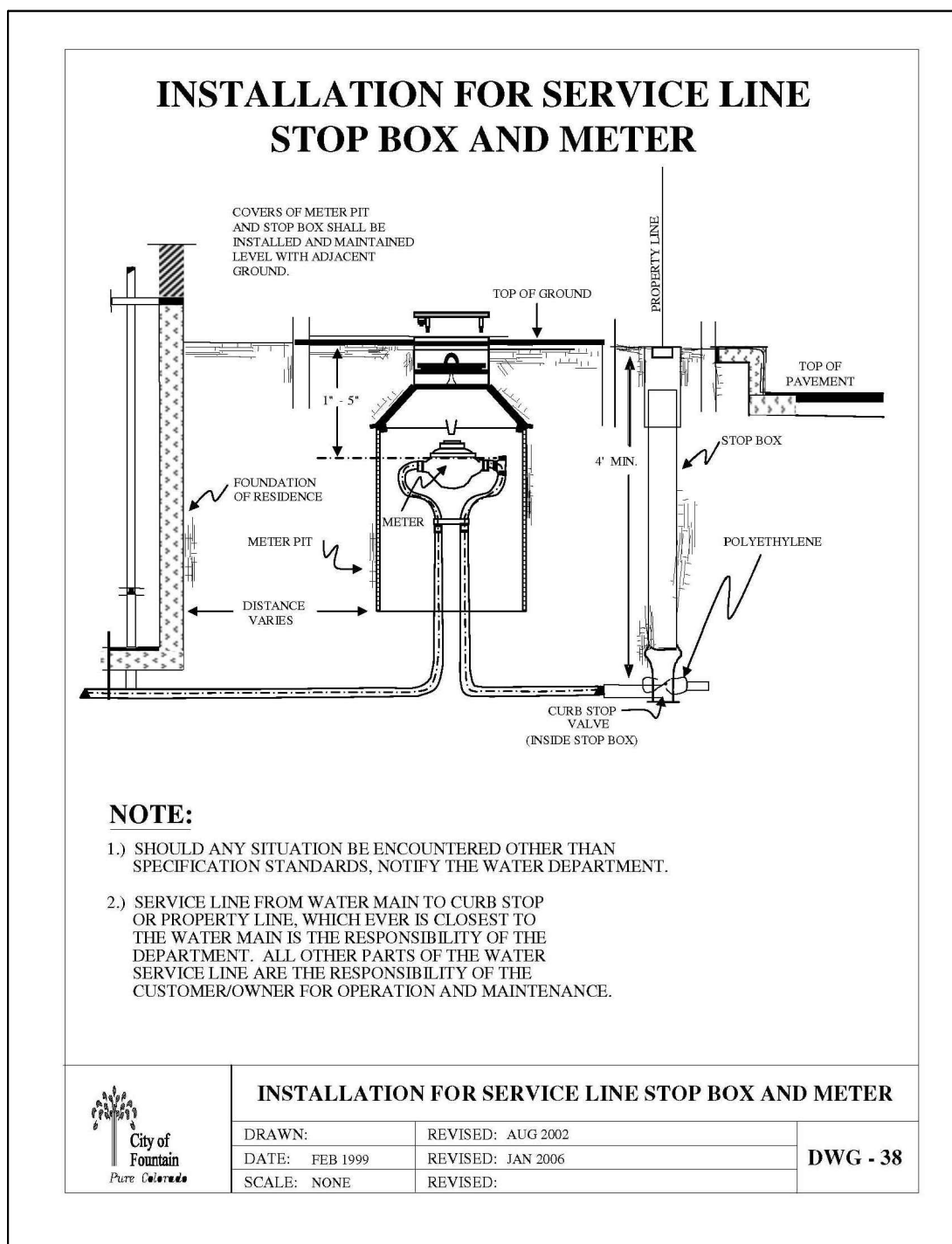
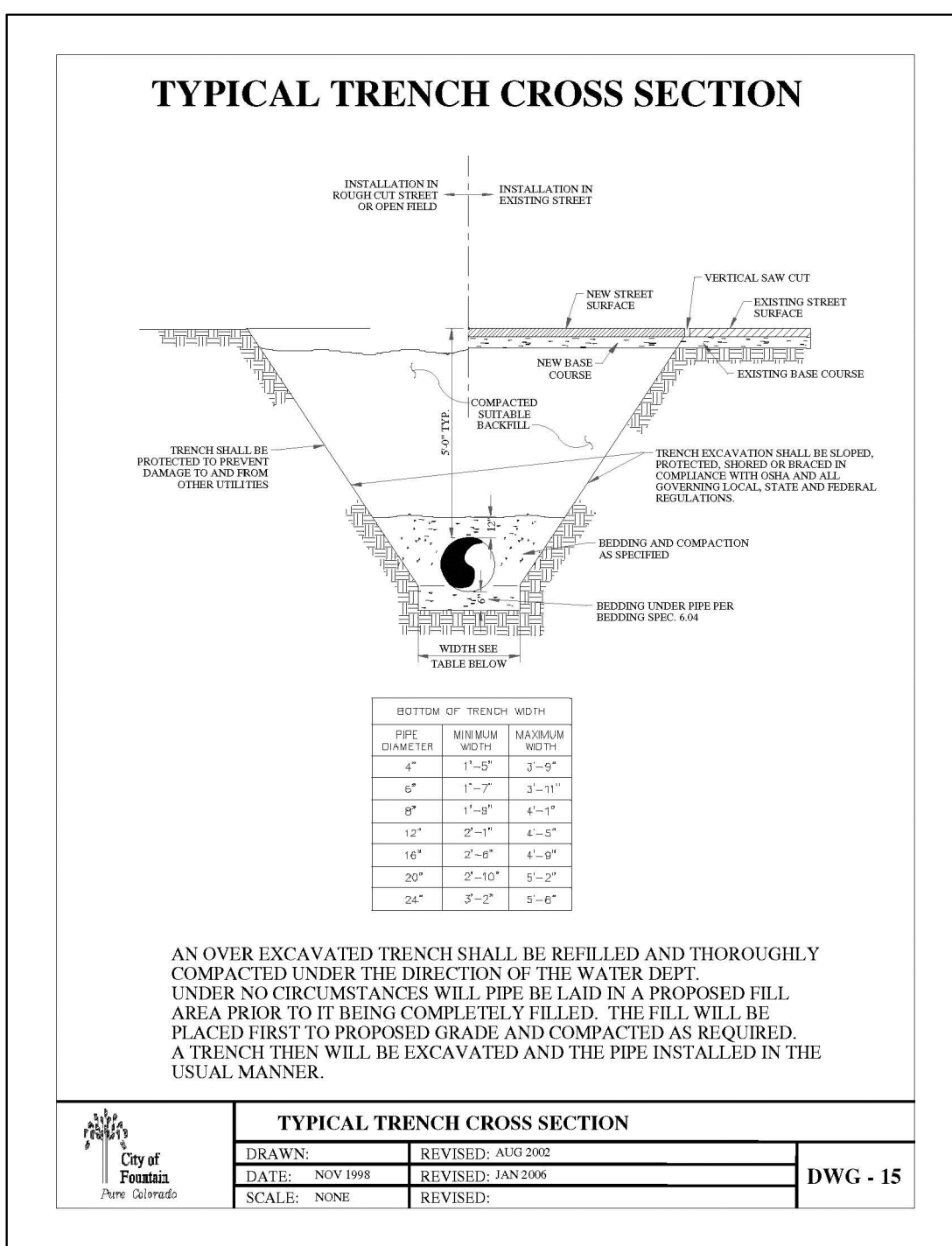
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**CRP ARCHITECTS AIA**  
 100 E. St. Vrain, Suite 300  
 Colorado Springs, Colorado 80903

### SITE UTILITY PLAN

DATE: 04.22.2025  
 DRAWN BY: PV  
 CHECKED BY: JPS  
 REVISED: 05.20.2026

**U1.1**



## GENERAL UTILITY NOTES:

1. ALL WATER AND SEWER INSTALLATIONS SHALL CONFORM TO CITY OF FOUNTAIN WATER & FOUNTAIN SANITATION DISTRICT STANDARD SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD LOCATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION.
3. REVEGETATION OF ALL DISTURBED SLOPES SHALL BE DONE WITH DRY LAND GRASS SEED WITHIN 30 DAYS AFTER FINE GRADING IS COMPLETE.
4. STORM DRAIN PIPE SHALL BE RCP (CLASS III) UNLESS OTHERWISE NOTED.
5. STORM DRAIN PIPE BEDDING SHALL BE CLASS C.
6. SANITARY SEWER PIPE SHALL BE PVC ASTM D3034-SDR 35 OR ASTM F679 UNLESS OTHERWISE NOTED.
7. STATIONING IS AT CENTERLINE UNLESS OTHERWISE NOTED.
8. ALL ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE FROM FACE OF CURB UNLESS OTHERWISE NOTED.
9. WATER PIPES AND FITTINGS SHALL BE INSTALLED PER CITY OF FOUNTAIN SPECIFICATIONS. ALL TRENCH BEDDING, THRUST BLOCKS AND REVERSE ANCHORS SHALL BE INSTALLED PER CITY OF FOUNTAIN STANDARDS. ALL WATER PIPE SHALL BE PVC SDR-14. DISINFECT ION AND TESTING SHALL BE COMPLETED PER CITY OF FOUNTAIN SPECIFICATIONS.
10. LENGTHS SHOWN FOR STORM SEWER PIPES ARE TO CENTER OF MANHOLE.
11. CONTRACTOR SHALL MAKE WATER CONNECTIONS WITHOUT SHUTDOWN OR NOTIFY CITY OF FOUNTAIN AND AFFECTED RESIDENTS OF ANY SERVICE SHUTDOWNS NECESSARY TO CONNECT TO EXISTING LINES.
12. BENDS, DEFLECTION & CUT PIPE LENGTHS SHALL BE USED TO HOLD HORIZONTAL ALIGNMENT OF SEWER AND WATER LINES TO 10 FEET SEPARATION AT ALL POINTS REQUIRED. ALIGNMENT CONSTRUCTION STAKES SHALL BE PLACED AT 25' INTERVALS ALONG CURVES FOR PLACEMENT OF SEWER AND WATER LINES.
13. FIRE HYDRANT ASSEMBLIES SHALL BE INSTALLED PER CITY OF FOUNTAIN STANDARDS (5.18B) AND SHALL INCLUDE LATERAL, VALVE, ELBOW, HYDRANT, THRUST BLOCKS & RESTRAINTS.
14. DUCTILE IRON PIPE FITTINGS AND HYDRANTS SHALL BE WRAPPED IN POLYETHYLENE.
15. SERVICE LINES SHALL BE INSTALLED PER CITY OF FOUNTAIN STANDARDS.
16. CONTRACTOR SHALL COORDINATE WITH GAS, ELECTRIC, TELEPHONE AND CABLE T.V. UTILITY SUPPLIERS FOR INSTALLATION OF ALL UTILITIES. MINIMUM COVER FOR ALL UTILITIES SHALL BE 36".
17. UTILITY BEDDING SHALL BE PLACED PER CITY OF FOUNTAIN AND FOUNTAIN SD REQUIREMENTS. ALL SANITARY SEWER PIPELINE EMBEDMENT SHALL BE IN ACCORDANCE WITH THE FOUNTAIN SANITATION DISTRICT SEWER USE REGULATIONS AND STANDARD SPECIFICATIONS.
18. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, DEBRIS, WASTE AND OTHER UNSUITABLE FILL MATERIAL FOUND WITHIN THE LIMITS OF EXCAVATION.
19. ELECTRONIC FILE OF SITE DRAWING IS AVAILABLE FROM ENGINEER FOR CONSTRUCTION STAKING REFERENCE.
20. REFER TO CITY OF FOUNTAIN SPECIFICATIONS FOR BACKFILL AND COMPACTION SPECIFICATIONS, ALSO MEET ALL CITY OF FOUNTAIN BACKFILL SPECIFICATIONS IN THE ROADWAY R.O.W.'S.
21. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS.
22. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL MATERIALS TO CITY/DISTRICT FOR APPROVAL PRIOR TO BEGINNING WORK.
23. WATER MAIN FITTINGS 5' OR LESS APART REQUIRE ALL-THREAD (2 EA. 3/4").
24. INSTALLATION OF CURVILINEAR SANITARY SEWER MAINS SHALL FOLLOW MANUFACTURER'S RECOMMENDATIONS.
25. INSTALL POLY-WRAP AS BOND BREAKER AT ALL THRUST BLOCKS.
26. ANY WATER LINE LOWERINGS UNDER STORM DRAIN SHALL MEET CITY OF FOUNTAIN SPECIFICATIONS. ANY STEEL SLEEVES IN ROADWAY R.O.W. NEED TO MEET 50-YEAR DESIGN LIFE MINIMUM. LOWERINGS SHALL CONFORM TO CITY STANDARD DRAWING 20.
27. SEWER MAINS SHALL BE TV INSPECTED AFTER INSTALLATION FOR APPROVAL BY FOUNTAIN SANITATION DISTRICT.
28. THE WATER MAIN HAS BEEN DESIGNED TO PROVIDE FOR A MINIMUM OF 4-FEET OF CLEARANCE BETWEEN THE GUTTER LIP AND THE CENTER LINE OF THE WATER MAIN. THE CONTRACTOR SHALL INSTALL THE WATER MAIN IN ACCORDANCE WITH THE CONSTRUCTION DRAWINGS, PROVIDING FOR A MINIMUM OF 4-FEET OF CLEARANCE AS DESIGNED.
29. STORM SEWER MAINS SHALL BE TV INSPECTED AFTER INSTALLATION FOR APPROVAL BY THE CITY OF FOUNTAIN PUBLIC WORKS.
30. CURBS TO BE MARKED WITH "W" AND "S" FOR RESPECTIVE LOCATIONS OF SERVICE LINES TO LOTS FOR WATER AND SEWER.
31. A PRECONSTRUCTION CONFERENCE IS REQUIRED NO LESS THAN 7 CALENDAR DAYS PRIOR TO STARTING CONSTRUCTION OF THE WASTEWATER COLLECTION SYSTEM SHOWN ON THE SUBJECT PLANS. ATTENDANCE IS REQUIRED BY THE INSTALLATION CONTRACTOR'S REPRESENTATIVE AND THE DEVELOPER'S/OWNER'S REPRESENTATIVE WITH THE FOUNTAIN SANITATION DISTRICT REPRESENTATIVES & ALL UTILITY PROVIDERS.
32. COORDINATE ALL ROAD CLOSURES AND TRAFFIC CONTROL PLANS WITH CITY OF FOUNTAIN PUBLIC WORKS DEPARTMENT, 322-2036.
33. MANHOLE ENTRY PERMIT: THE FOUNTAIN SANITATION DISTRICT WILL AUTHORIZE THE CONTRACTOR TO ENTER DISTRICT-OWNED MANHOLES; HOWEVER, THE DISTRICT WILL NOT ISSUE AN ENTRY PERMIT TO THE CONTRACTOR FOR ANY CONFINED SPACES. PRIOR TO ANY ENTRY, THE CONTRACTOR SHALL PROVIDE HIS OWN PERSONNEL CAPABLE AND QUALIFIED TO ISSUE AN ENTRY PERMIT AND SHALL BE EQUIPPED FOR ENTRY INTO CONFINED SPACES. THE FOUNTAIN SANITATION DISTRICT WILL ASSUME NO RESPONSIBILITY FOR THE CONTRACTOR'S ENTRY INTO DISTRICT-OWNED MANHOLES.
34. GATE VALVES ARE REQUIRED ON EACH SIDE OF ALL TEES AND CROSSES WITHIN THE PROJECT.
35. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE SECURITY OF THE EXISTING WASTEWATER PIPELINE SUCH THAT NO FOREIGN MATERIAL OF ANY MANNER MAY BE ALLOWED TO ENTER THE EXISTING ACTIVE WASTEWATER COLLECTION SYSTEM OF THE FOUNTAIN SANITATION DISTRICT. SHOULD ANY PIPE DEBRIS, DIRT, MUD, ROCKS, CONCRETE, HMA OR OTHER FOREIGN MATERIAL ENTER THE EXISTING PIPELINE OR ANY OTHER DOWNSTREAM SEGMENTS, ALL ACTIONS NECESSARY TO REMOVE AND RECTIFY ANY DAMAGE WHICH MAY BE CAUSED BY THAT MATERIAL ARE THE RESPONSIBILITY OF THE CONTRACTOR.

## CITY OF FOUNTAIN WATER NOTES:

1. ALL PIPES, SERVICE LINES AND APPURTENANT INSTALLATIONS SHALL BE INSTALLED WITH 6 GA. COATED COPPER TRACER WIRE AFFIXED EVERY 3 FEET.
2. ALL PIPES AND SERVICE LINES SHALL BE INSTALLED WITH A MINIMUM COVER OF 4' AND MAXIMUM OF 5'.
3. ALL GATE VALVES AND FIRE HYDRANTS SHALL OPEN TO THE LEFT.
4. ALL WATER SERVICE LINES SHALL BE HDPE DR-7 200 PSI MINIMUM, IPS SIZE, UTILIZING COMPRESSION FITTINGS WITH STEEL STIFFENERS.
5. WATER SERVICE CORPORATION STOPS AND CURB STOPS SHALL BE MANUFACTURED BY FORD METER BOX CO.
6. SERVICE LINE CONNECTIONS TO PVC MAINS SHALL UTILIZE STAINLESS STEEL BAND TAPPING SADDLES MANUFACTURED BY FORD OR ROMAC.
7. ALL PVC WATER MAINS SHALL BE AWWA C900 DR-14.
8. ALL NEW FIRE HYDRANTS ARE PREFERRED TO BE AVK SERIES 2780 'NOSTALGIC' STYLE DRY BARREL.
9. ALL PIPE JOINTS ON FIRE HYDRANT LATERALS AND PRIVATE FIRE SPRINKLER LINES SHALL UTILIZE MJ BELL RESTRAINTS.
10. ALL PIPE FITTINGS SHALL BE MADE OF DUCTILE IRON COMPLYING WITH AWWA C153 AND SHALL BE AFFIXED TO A MAGNESIUM ANODE AND BE WRAPPED IN POLYETHYLENE SHEETING.
11. ALL WATER MAINS AND PUBLIC PORTIONS OF WATER SERVICE LINES SHALL BE BEDDED WITH SELECT MATERIAL FROM 6" TO 12" ABOVE THE PIPE IN ACCORDANCE WITH CLASS C BEDDING.
12. WHEN CROSSING SANITARY OR STORM SEWER FACILITIES, ALL POTABLE WATER FACILITIES SHALL CROSS ABOVE THE CONFLICTING UTILITY WITH 18" OF VERTICAL CLEARANCE FROM OD TO OD. WHEN THIS IS NOT FEASIBLE, OR DIFFERING CONDITIONS ARE ENCOUNTERED IN THE FIELD, THE WATER INSPECTOR SHALL BE INFORMED AND ADDITIONAL PROTECTIVE AND/OR CONTAINMENT MEASURES WILL BE REQUIRED AT THE OWNER'S EXPENSE.
13. THE CONTRACTOR IS RESPONSIBLE FOR CONDUCTING, AND SUPPLYING ALL EQUIPMENT FOR, THE BACTERIOLOGICAL AND PRESSURE ACCEPTANCE TESTING OF ALL NEW WATER MAINS, TO BE PERFORMED UNDER THE SUPERVISION OF THE CITY'S WATER/WASTEWATER INSPECTOR. PRESSURE TESTING OF FIRE SPRINKLER LINES SHALL BE COORDINATED WITH THE CITY OF FOUNTAIN FIRE MARSHAL.

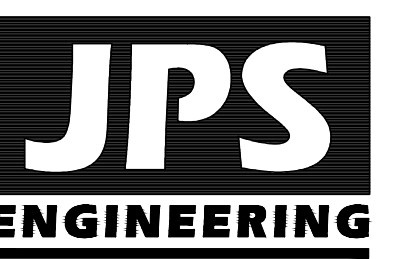
## Fountain Fire Station #4



## NEW FIRE STATION

8422 Watchman Road  
Fountain, CO 80817

## CONSTRUCTION DOCUMENTS



19 E. Willamette Ave.  
Colorado Springs, CO  
80903

PH: 719-477-9429  
FAX: 719-471-0766  
www.jpsegr.com

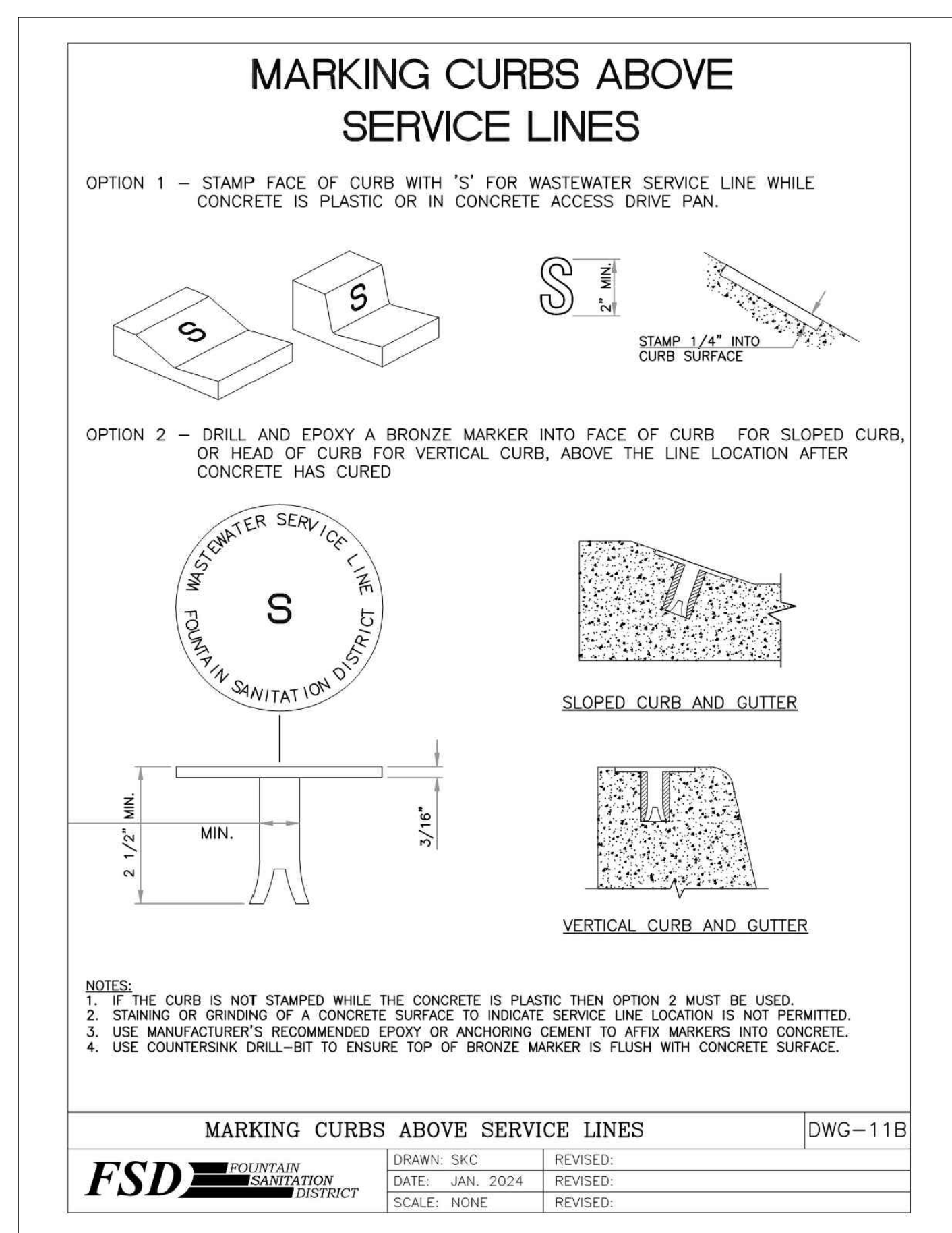
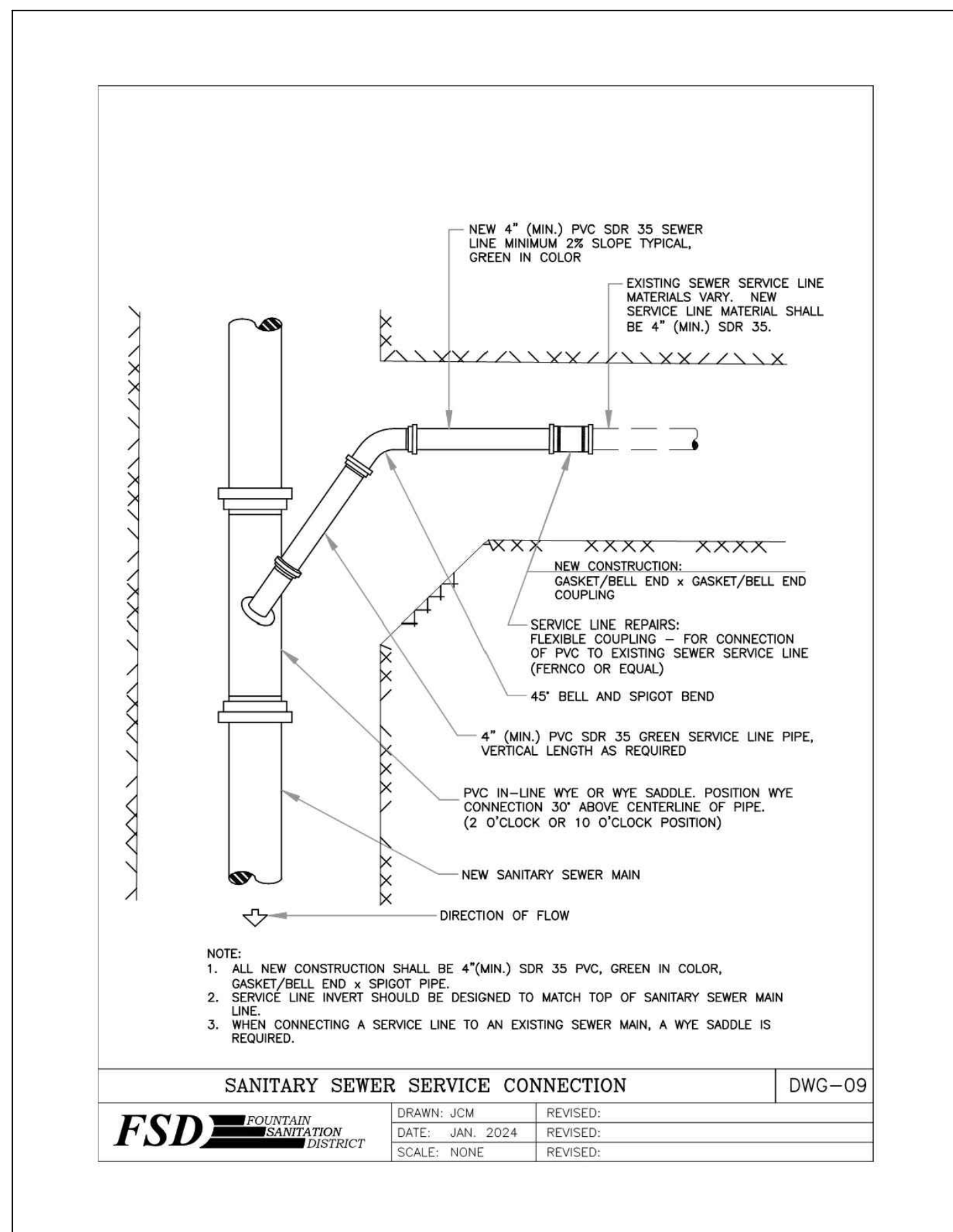
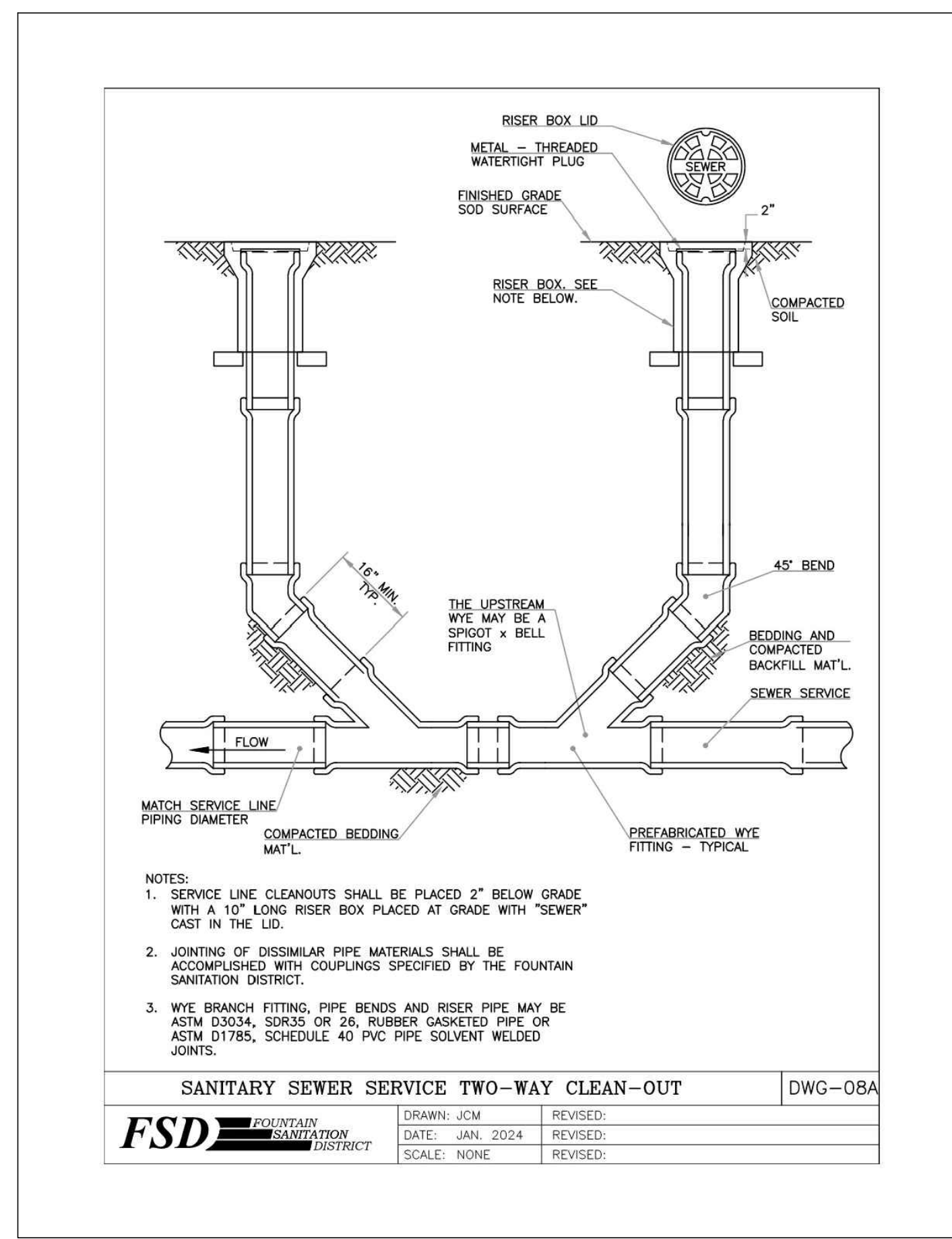
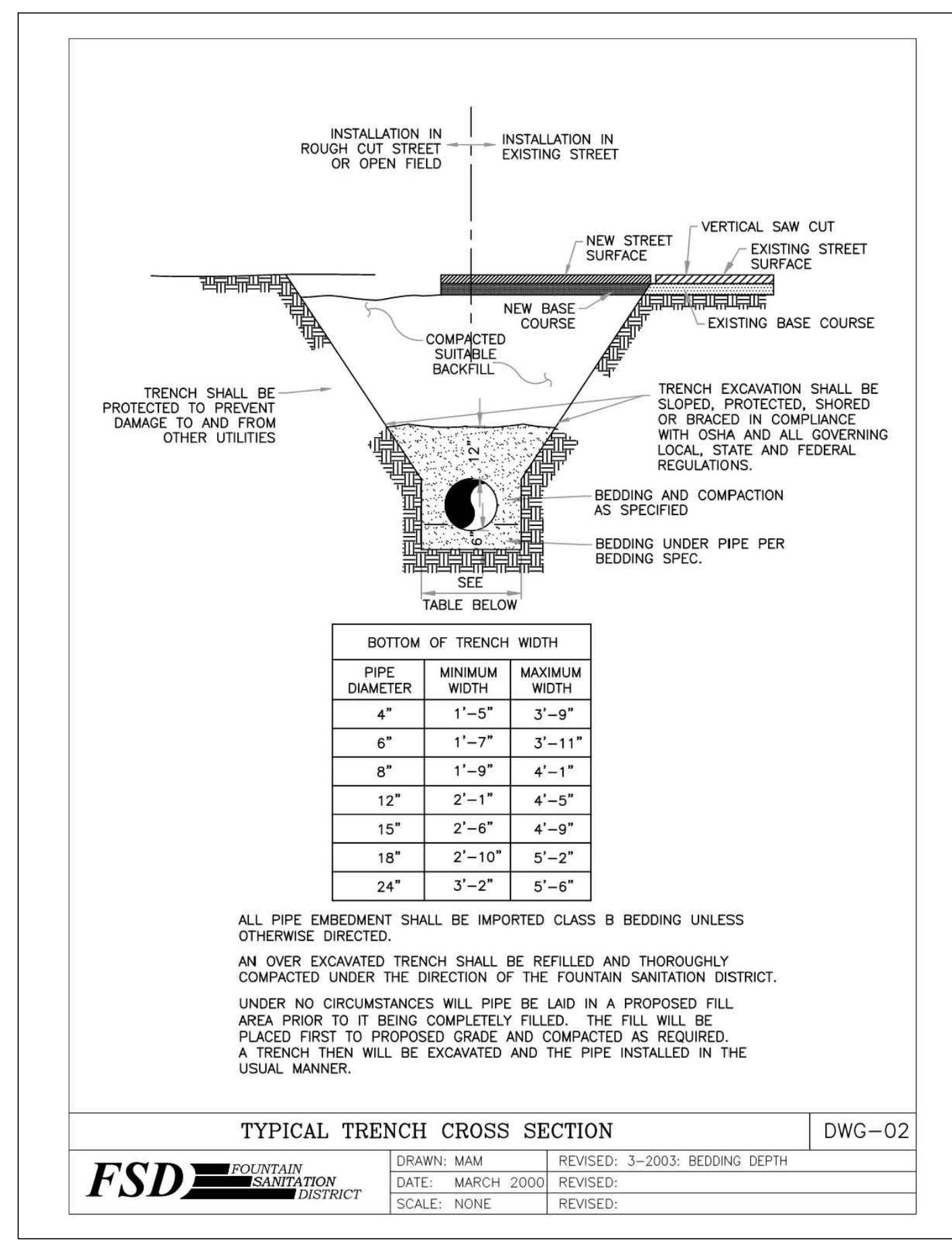
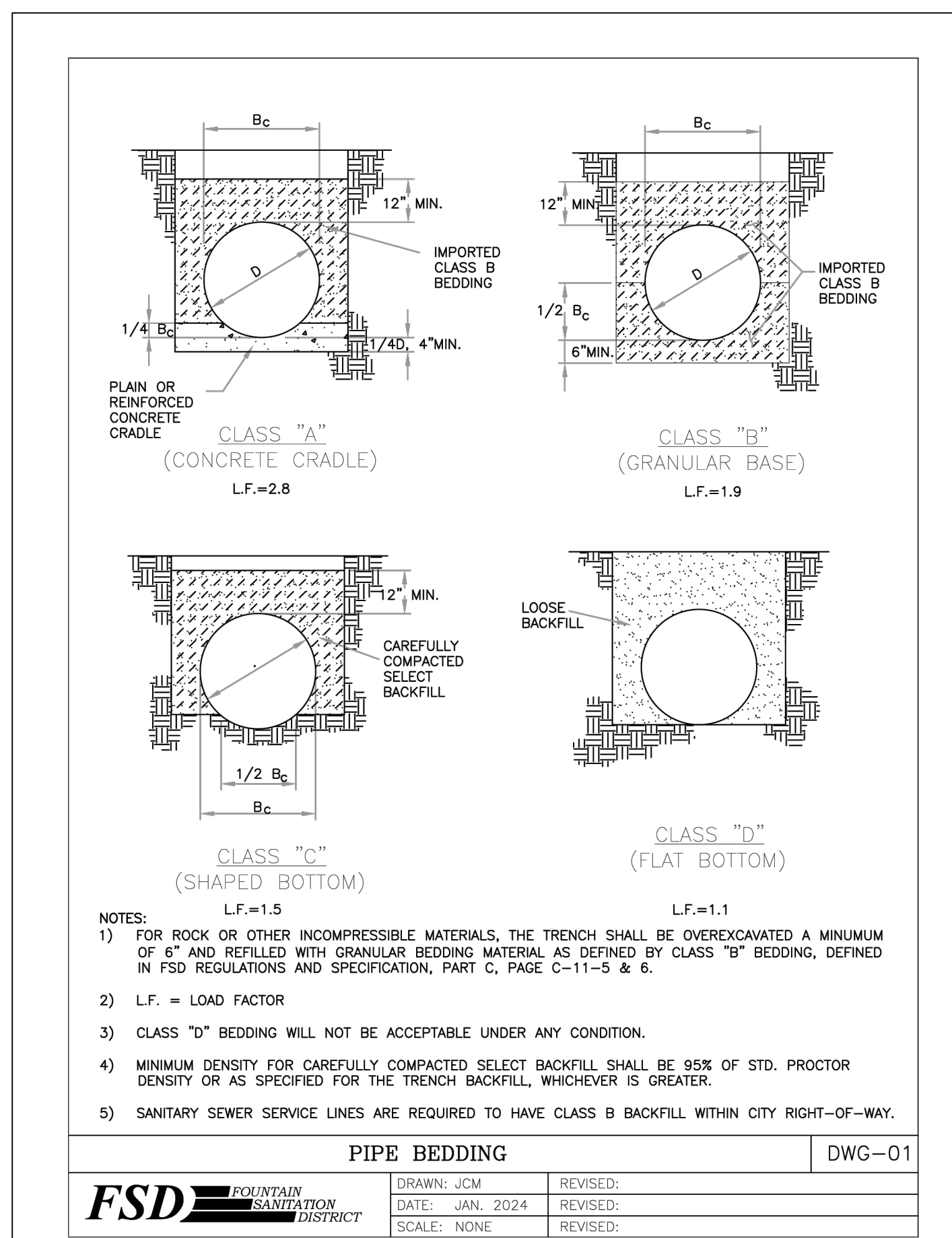
OWNERSHIP OF INSTRUMENTS OF SERVICE:  
ALL REPORTS, PLANS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, NOTES AND OTHER DOCUMENTS AND INSTRUMENTS PREPARED BY DESIGN PROFESSIONAL AS INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF THE DESIGN PROFESSIONAL. THE DESIGN PROFESSIONAL SHALL RETAIN ALL COMMON LAW STATUTORY AND OTHER RESERVED RIGHTS INCLUDING THE COPYRIGHT THEREIN.

CRP ARCHITECTS AIA  
100 E. St. Vrain, Suite 300  
Colorado Springs, Colorado 80903

## SITE UTILITY NOTES AND DETAILS

PLAN  
NORTH

DATE: 04.22.2025  
DRAWN BY: PV  
CHECKED BY: JPS  
REVISED: 05.20.2026



**FSD GENERAL SERVICE PLAN NOTES**

THE CONTRACTOR SHALL NOTIFY THE FOUNTAIN SANITATION DISTRICT OFFICE (719-382-5303) A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

**GENERAL:**

1. ALL CONSTRUCTION METHODS AND MATERIALS SHALL MEET FOUNTAIN SANITATION DISTRICT STANDARD SPECIFICATIONS.
2. FOUNTAIN SANITATION DISTRICT DOES NOT GUARANTEE THE ACCURACY OF LOCATIONS OF EXISTING PIPELINES, MANHOLES, AND SERVICE LINES. IF FIELD CONDITIONS ARE FOUND TO BE DIFFERENT THAN SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE DISTRICT INSPECTOR AND THE DESIGN ENGINEER IMMEDIATELY.
3. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITY FACILITIES AS A RESULT OF THEIR ACTIONS. THE CONTRACTOR SHALL MAKE ALL THE REQUIRED REPAIRS IMMEDIATELY TO THE SATISFACTION OF FOUNTAIN SANITATION DISTRICT.
4. ALL FIELD STAKING SHALL COMPLY WITH THE WASTEWATER STANDARD SPECIFICATIONS.
5. FINAL LOCATION OF ALL WASTEWATER SERVICES SHALL BE APPROVED IN THE FIELD BY THE DISTRICT INSPECTOR.
6. ALL TRENCH BACKFILL AND COMPACTION SHALL BE IN ACCORDANCE WITH SECTION PART C, ARTICLE II OF THE FOUNTAIN SANITATION DISTRICT STANDARD SPECIFICATIONS MANUAL.

**SANITARY SEWER CONSTRUCTION NOTES:**

1. ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH FOUNTAIN SANITATION DISTRICT DESIGN CRITERIA AND CONSTRUCTION SPECIFICATIONS, EXCEPT AS SHOWN BY THE DEVELOPER AND DESIGN PROFESSIONAL OF RECORD ON THESE CONSTRUCTION DOCUMENTS.
2. CONTRACTOR SHALL FIELD VERIFY LOCATION AND ELEVATION OF EXISTING INVERTS PRIOR TO INSTALLATION OF NEW SANITARY SEWER SYSTEM.
3. THE CONTRACTOR ASSUMES RESPONSIBILITY FOR THE PROTECTION OF ALL UTILITIES DURING THE WORK. PRIOR TO ANY EXCAVATION, CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO AT 811 AT LEAST TWO WORKING DAYS PRIOR TO DIGGING.
4. ALL SANITARY SEWER PIPELINES WITHIN THIS PROJECT SHALL BE AIR TESTED AND VIDEO INSPECTED PER THE FOUNTAIN SANITATION DISTRICT (FSD) STANDARD SPECIFICATIONS.
5. ALL SANITARY SEWER MANHOLES AND APPURTENANCES SHALL BE IN COMPLETE COMPLIANCE WITH THE FSD STANDARD SPECIFICATIONS.
6. WHERE NECESSARY, THE CONTRACTOR SHALL PROVIDE 3 DEGREE BENDS ON ALL CURVILINEAR SANITARY SEWER PIPE AT THE LOCATIONS SHOWN ON THE PLANS. ALL AS-CONSTRUCTED RECORDS AND OTHER REQUIREMENTS OF THE SUBDIVISION PUBLIC IMPROVEMENTS AGREEMENT SHALL BE COMPLETED PRIOR TO CONSIDERATION OF ACCEPTANCE OF THE SYSTEM BY THE DISTRICT.
7. SANITARY SEWER SERVICE LINES SHALL BE LOCATED PER THE DETAIL ON THE UTILITY SERVICE PLAN, THE DIMENSIONS GIVEN AT EACH LOT WHERE ATYPICAL INSTALLATION IS REQUIRED OR AT THE DIRECTION OF THE FOUNTAIN SANITATION DISTRICT REPRESENTATIVE.
8. SERVICE STUBS SHALL BE INSTALLED A MINIMUM OF SEVEN FEET (7') INTO THE PROPERTY, UNLESS OTHERWISE SHOWN, AND THE END OF THE STUB SHALL BE MARKED WITH A 2"x4"x12" STEEL OR WOODEN POST.
9. ALL AS-CONSTRUCTED RECORDS AND OTHER REQUIREMENTS OF THE SUBDIVISION PUBLIC IMPROVEMENTS AGREEMENT SHALL BE COMPLETED PRIOR TO CONSIDERATION OF ACCEPTANCE OF THE SYSTEM BY THE DISTRICT.
10. OVERLOT GRADING AND STREET SUBGRADE MUST BE WITHIN ± ONE (1) FOOT PRIOR TO ANY UTILITY INSTALLATION.
11. WHILE CONSTRUCTING THE SANITARY SEWER SYSTEM THE CONTRACTOR SHALL HAVE IN HIS POSSESSION AT LEAST ONE "APPROVED FOR CONSTRUCTION" SET OF UPDATED PLANS AT ALL TIMES. APPROVED FIELD MODIFICATIONS TO PLAN SETS SHALL BE CLEARLY IDENTIFIED IN RED INK ON THE PLANS BY THE CONTRACTOR PER FIELD CONSTRUCTION. THESE AS-BUILT CHANGES SHALL BE DATED AND SUBMITTED TO THE ENGINEER OF RECORD. THE ENGINEER OF RECORD SHALL PREPARE A COMPLETE SET OF "AS CONSTRUCTED" DRAWINGS AND DELIVER THE SETS TO THE FOUNTAIN SANITATION DISTRICT PRIOR TO FINAL ACCEPTANCE OF THE SANITARY SEWER SYSTEM. ALL AS-CONSTRUCTED RECORDS AND OTHER REQUIREMENTS OF THE SUBDIVISION PUBLIC IMPROVEMENTS AGREEMENT SHALL BE COMPLETED PRIOR TO CONSIDERATION OF ACCEPTANCE OF THE SYSTEM BY THE DISTRICT.

**FOUNTAIN SANITATION DISTRICT REVIEW**

**DESIGN ENGINEER'S STATEMENT:**

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY FOUNTAIN SANITATION DISTRICT FOR DETAILED SANITARY SEWER CONSTRUCTION, AND SPECIFICATIONS.

\_\_\_\_\_  
 SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
 NAME: \_\_\_\_\_, P.E. # \_\_\_\_\_  
 FOR AND BEHALF OF \_\_\_\_\_

**DEVELOPERS STATEMENT:**

THE OWNER WILL COMPLY WITH THE REQUIREMENTS OF FOUNTAIN SANITATION DISTRICT REGULATIONS AND STANDARD SPECIFICATIONS. OWNER WILL COMPLY WITH THE CONSTRUCTION DRAWINGS PREPARED BY HIS/HER CIVIL ENGINEER.

DEVELOPER/OWNER SIGNATURE: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 NAME OF DEVELOPER/OWNER: \_\_\_\_\_  
 TITLE: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_

**FOUNTAIN SANITATION DISTRICT:**

PLANS ARE RECOMMENDED FOR USE IN CONSTRUCTION OF WASTEWATER COLLECTION SYSTEM FOR THIS PROJECT.  
 DESIGN ENGINEER OF RECORD TAKES SOLE RESPONSIBILITY FOR ALL DESIGN ASPECTS OF THE PROJECT.

\_\_\_\_\_  
 JONATHAN MOORE, P.E. DATE \_\_\_\_\_  
 FOUNTAIN SANITATION DISTRICT - DISTRICT ENGINEER

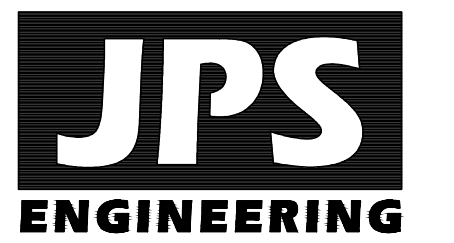
**Fountain Fire Station #4**



**NEW FIRE STATION**

8422 Watchman Road  
 Fountain, CO 80817

**CONSTRUCTION DOCUMENTS**



19 E. Willamette Ave.  
 Colorado Springs, CO 80903

PH: 719-477-9429  
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**CRP ARCHITECTS AIA**  
 100 E. St. Vrain, Suite 300  
 Colorado Springs, Colorado 80903

**WASTEWATER NOTES AND DETAILS**

PLAN NORTH  
 DATE: 04.22.2025  
 DRAWN BY: PV  
 CHECKED BY: JPS  
 REVISED: 05.20.2026

# Fountain Fire Station #4



## NEW FIRE STATION

8422 Watchman Road  
Fountain, CO 80817

DESIGN DEVELOPMENT



### LANDSCAPE REQUIREMENTS TABLE

LOCATION	REQUIREMENT	CALCULATION	# TREES / SHRUBS REQ.	# TREES / SHRUBS PROVIDED
LINK ROAD (LS)	10' LANDSCAPE SETBACK, 1 TREE & 2 SHRUBS PER 20'	139 LF	7 TREES / 14 SHRUBS	7 TREES EXISTING / 14 SHRUBS
WATCHMEN DRIVE (LS)	10' LANDSCAPE SETBACK, 1 TREE & 2 SHRUBS PER 20'	307 LF	16 TREES / 31 SHRUBS	2 TREES / 31 SHRUBS
NORTH BUFFER ZONE (LB)	15' LANDSCAPE SETBACK, 1 TREE & 2 SHRUBS PER 20'	NA	0/0	0/0
PARKING LOT (MV)	1 TREE PER 8 PARKING SPACES 5% OF PARKING AREA	15 SPACES 1 HC SPACE TOTAL AREA 0 SQ. FT.	2 TREES 0 SQ. FT.	2 TREES 0 SQ. FT.

LIVE COVER: ALL LANDSCAPE AREAS MEET THE 50% LIVE PLANT MATERIAL REQUIREMENT  
SEED/SOD GRASS AREAS: 100%  
ROCK AREAS: 0 SF ROCK, 0 SF LIVE COVER (NOT INCLUDING TREES) AT MATURE WIDTH

### GENERAL SITE NOTES

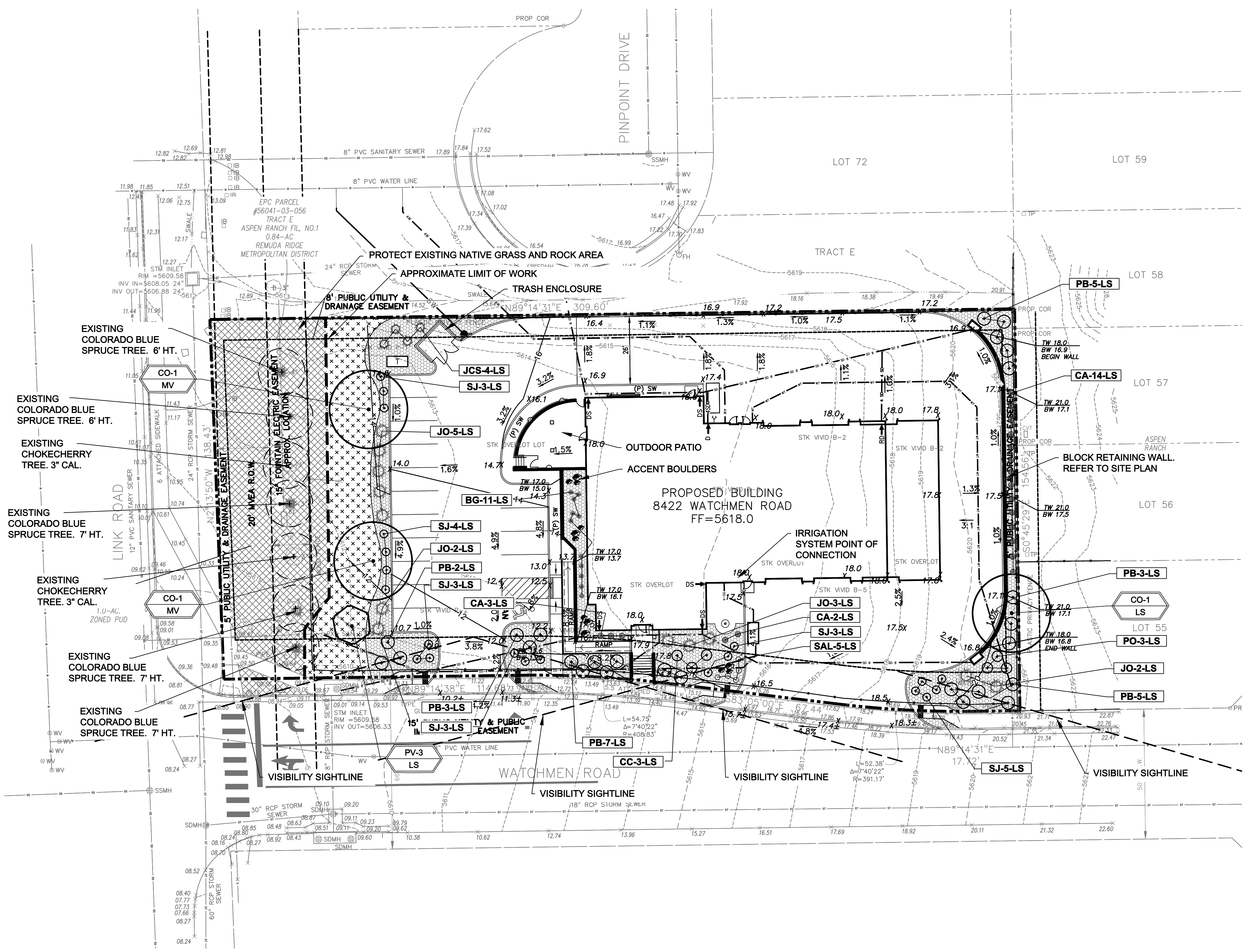
- CONTRACTOR RESPONSIBLE FOR COORDINATING AND INSTALLING ALL SLEEVING REQUIRED FOR SITE CONSTRUCTION INCLUDING BUT NOT LIMITED TO DRAINAGE, IRRIGATION, LIGHTING, AND ELECTRICAL. COORDINATE WITH GENERAL CONTRACTOR. ALL PLANTING AREAS SHALL BE SLEEVED (3" DOW PVC) FOR DRIP IRRIGATION.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT CONNECTION POINTS AND AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR ALL APPLICABLE AGENCIES.
- ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF PUBLIC IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH IN LOCAL CITY STANDARDS AND SPECIFICATIONS AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE HIGHER QUALITY STANDARD SHALL APPLY. ALL WORK SHALL BE INSPECTED AND APPROVED BY THE APPROPRIATE GOVERNING AGENCIES.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED CONSTRUCTION DOCUMENTS, ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS, AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB, ON-SITE AT ALL TIMES.
- ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARDS, UNLESS SPECIFICALLY STATED OTHERWISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS TRACKED FROM THE SITE.

### FIRE SIGNAGE NOTE

ANY VEGETATION THAT MAY GROW TO OR IMMEDIATELY OBSTRUCT ANY FIRE LANE SIGNAGE WILL BE PLANTED IN SUCH A WAY TO PREVENT ANY FUTURE OBSTRUCTION OF SUCH SIGNAGE.

### LAYOUT NOTE

CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNERS REPRESENTATIVE OR LANDSCAPE ARCHITECT. DEVIATIONS FROM THE APPROVED PLAN WILL REQUIRE APPROVAL BY CITY OF FOUNTAIN PLANNING AND OWNER REPRESENTATIVE.



### PLANT SCHEDULE

Symbol	Abbr.	Quantity	Botanical Name	Common Name	Mature W x Ht.	Planting Size
<b>DECIDUOUS TREES:</b>						
CO	3	Celtis occidentalis 'Seedless var'	Common Hackberry Seedless 30' x 40'	Ball & Berl.		
PV	1	Prunus virginiana 'Sucker Punch'	Sucker Punch Canada Red Cherry 15'	2-1/2" cal.		2-1/2" cal.
<b>EVERGREEN SHRUBS:</b>						
JCS	4	Juniperus x chinensis 'Spartan'	Spartan Juniper	3-4' x 12-15'	5 gal.	Container
JO	10	Juniperus Chinensis 'Old Gold'	Old Gold Juniper	4-6' x 3-4'	5 gal.	
<b>DECIDUOUS SHRUBS:</b>						
CC	3	Caryopteris x clandonensis 'Drk Knt'	Dark Knight Blue Mist Spirea	2' x 2-4'	5 gal.	
PB	24	Prunus besseyi	Western Sand Cherry	5-8' x 18"	5 gal.	
PO	3	Potentilla fruticosa 'Abbotwood'	Abbotwood Potentilla	2-4' x 2-4'	5 gal.	
SJ	19	Spiraea japonica 'Magic Carpet'	Magic Carpet, Spirea	1-2' x 1-2'	5 gal.	
<b>PERENNIALS &amp; ORNAMENTAL GRASSES:</b>						
SAL	5	Salvia nemorosa 'May Night'	May Night Salvia	24 x 24"	1 gal.	
BG	11	Bouteloua gracilis 'blond ambition'	Blonde Ambition Grass	2' x 2'	1 gal.	
CA	19	Calamagrostis acutiflora 'Kari Foerster'	Feather Reed Grass	1-3' x 2-3'	1 gal.	

QUANTITIES SHOWN IN LEGEND ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL MATERIALS PER PLAN.

### GROUND COVER LEGEND

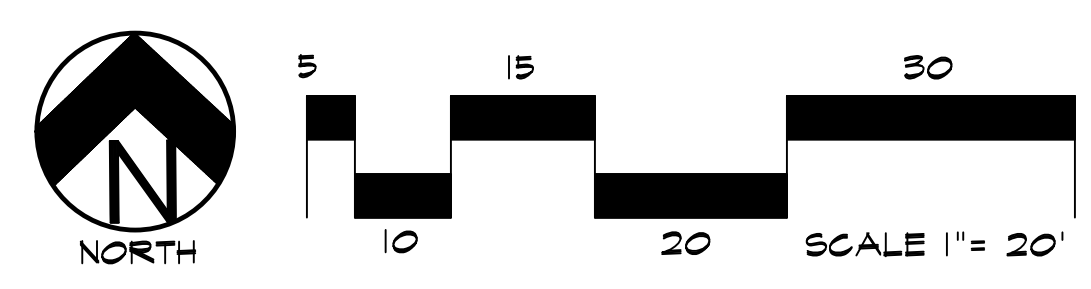
SYMBOL	DESCRIPTION	APPROX. SF
[Pattern]	Clear Creek Rock: 1.5" Diameter (with weed barrier) Submit sample to owner for approval prior to ordering	
[Pattern]	Native Seed Grass Submit seed mix to owner for approval prior to ordering	
[Pattern]	Protect existing native grass/rock	
[Pattern]	Accent Boulders: Cottonwood or approved equal Large: 36" L x 24" HT. x 24" W Small: 24" L x 18" HT. x 18" W	
[Line]	Steel Edger. See notes	
[Line]	Property Line	

QUANTITIES SHOWN IN LEGEND ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL MATERIALS PER PLAN.

### GRADE NOTE

GRADE SHALL BE ESTABLISHED BASED ON GRADING PLAN BY OTHERS, AND FOR LANDSCAPE MATERIALS PER PLAN. FINAL SOIL GRADE FOR 8-12" DIAMETER ROCK AREAS SHALL BE 4" BELOW TOP OF SIDEWALK CURB/PAVING. AT ALL OTHER ROCK AREAS GRADE SHALL BE 3" BELOW SIDEWALK CURB. AT SOOSED AREAS GRADE SHALL BE 1" BELOW TOP OF SIDEWALK CURB.

## LANDSCAPE PLAN



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CRP ARCHITECTS AIA  
100 E. St. Vrain, Suite 300  
Colorado Springs, Colorado 80903

LANDSCAPE PLAN

DATE: 05.14.2026  
DRAWN BY:  
CHECKED BY:  
REVISED:

### INSTALLATION NOTES

REMOVE EXISTING TREES, DEBRIS AND WEEDS FROM SITE PRIOR TO CONSTRUCTION (AS SHOWN PER PLAN).  
 LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SITE DURING CONSTRUCTION. WEEDS AND TRASH SHALL BE REMOVED DAILY AS REQUIRED.  
 LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL THEFTS OR DAMAGE TO PLANT MATERIAL. ONCE PLANT MATERIAL IS DELIVERED TO JOB SITE.  
 EXISTING TOPSOIL TO BE STOCKPILED ON-SITE AND USED DURING CONSTRUCTION TO ESTABLISH GRADES WITHIN LANDSCAPE AREAS AS SHOWN PER PLAN.  
 CONTRACTOR SHALL REFER TO ASSOCIATED LANDSCAPE CONTRACTORS OF COLORADO HANDBOOK (ALCO), 2007 REVISED EDITION FOR ALL CONSTRUCTION FOR THIS SITE. CONTACT OWNER/LANDSCAPE ARCHITECT FOR QUESTIONS.  
 QUANTITIES SHOWN IN PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PLANT MATERIAL PER PLAN.  
 ALL ROCK COVER AREAS ONLY TO BE PREPARED WITH POLYPROPYLENE WEED BARRIER WITH STAPLES AT 9" O.C. FABRIC SHALL BE OVERLAPPED 6" MIN. AND SECURED WITH STAPLES.  
 GROUND COVER SHALL BE CONTINUOUS UNDER ALL SHRUBS THROUGHOUT PROJECT SITE. REFER TO PLANTING DETAILS.  
 TREES AND SHRUBS TO RECEIVE ORGANIC MULCH PER DETAILS, INCLUDING ROCK AREAS-SEE DETAILS, UNLESS OTHERWISE SPECIFIED. ORGANIC MULCH TO BE CASCADE GRADE WITH NO LANDSCAPE FABRIC 4" DEPTH.  
 DO NOT PLANT SHRUBS OR TREES OF INCOMPATIBLE WATER REQUIREMENTS IMMEDIATELY ADJACENT (MINIMUM 5') TO ANOTHER.  
 PLANT BACKFILL SHALL BE 70% NATIVE ON-SITE SOIL, AND 30% BREW-GRO BIOCOMP CLASS 1 (OR CITY APPROVED EQUAL).  
 PER OWNER REQUEST A REPRESENTATIVE SAMPLE OF THE BOTANICAL NAME TAGS, FURNISHED BY THE NURSERY STOCK PROVIDER SHALL REMAIN ATTACHED TO THE PLANTS UNTIL FINAL INSPECTION.  
 LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF STORM DRAINAGE FROM ADJACENT LANDSCAPE AREAS OR BUILDING DOWNSPOUTS WILL ADVERSELY AFFECT LANDSCAPE AREAS PER THE PLAN.  
 DECORATIVE BOLDERS SHALL BE BURIED 1/2 BELOW GRADE AND SHALL NOT OBSTRUCT VEHICULAR SIGHTLINES IF APPLICABLE.  
 TREE STAKES SHALL BE LOGSPELLE.  
 PRIOR TO INSTALLING PLANTS OR GROUND COVER BROADCAST GREEN PLANT SAFE WEED PRE-EMERGENT IN ALL PLANTING AREAS PER MANUFACTURER RECOMMENDATIONS. WWW.PREEMERGENT.COM

### CITY MAINTENANCE NOTE

ALL LANDSCAPING SHALL BE REASONABLY MAINTAINED, AND ANY PLANT MATERIAL SHALL BE REPLACED WITHIN THIRTY (30) DAYS OF ITS DAMAGE OR BY AN AGREED UPON DATE IF SEASONAL CONDITIONS PROHIBIT REPLACEMENT WITHIN THIRTY (30) DAY REQUIRED TIME.  
 THE MAINTENANCE OF LANDSCAPING IN THE PUBLIC RIGHT OF WAY IN ALL ZONING DISTRICTS SHALL BE THE RESPONSIBILITY OF THE ADJUTING PROPERTY OWNER.  
 ANY CHANGES MADE TO THE LANDSCAPE PLAN REQUIRES CITY OF FOUNTAIN APPROVAL.

### IRRIGATION NOTES

AN UNDERGROUND IRRIGATION SYSTEM WITH SURFACE DRIP COMPONENTS WILL BE USED TO IRRIGATE ALL PLANT MATERIAL AND HAND WATERING FOR GRASS AREAS. INSTALL PER LOCAL CODE. SYSTEM TO BE DESIGN-BUILD.  
 THE IRRIGATION SYSTEM IS TO RUN OFF A 3/4" METEERED TAP PER CITY STANDARDS. COORDINATE WITH OWNER'S REPRESENTATIVE AND OTHER TRADES TO GET WATER TAP AT LOCATION SHOWN. COORDINATE WITH CITY WATER TO INSURE PROPER INSTALLATION. VERIFY PRESSURE AND DISCHARGE RATE ON SITE PRIOR TO CONSTRUCTION OF IRRIGATION SYSTEM BEYOND THE METER AND BACKFLOW. HGD RECOMMENDS INSTALLING A SUB-METER AND BACKFLOW FOR IRRIGATION TO PREVENT ANY CHANCE OF DOMESTIC WATER SUPPLY CONTAMINATION.  
 MAXIMUM FLOW AT ANY ONE TIME SHALL BE 10 GPM BASED ON 3/4" TAP SIZE.  
 HUNTER AND/OR RAINBIRD EQUIPMENT MUST BE USED UNLESS OWNER APPROVES.  
 USE REDUCED PRESSURE BACKFLOW PREVENTER W/LOOKING BOX. INSTALL PER WATER STANDARDS AND CODE.  
 SYSTEM TO HAVE MAIN SHUT OFF VALVE PRIOR TO ANY CONTROL VALVE.  
 PIPE FROM VALVE BOX TO SPRINKLER HEADS TO BE 1/2" CLASS 200 PVC OR POLY PIPE.  
 IRRIGATION SUPPLY LINES AND SLEEVINGS SHALL BE CLASS 200 PVC.  
 TUBING TUBE TO EACH PLAN TO BE 1/4" POLYETHYLENE VINYL TUBING.  
 VERIFY ACTUAL PRESSURE AT TIME OF INSTALLATION.  
 ALL TREES & SHRUBS TO HAVE DRIP SYSTEM AS DESCRIBED.  
 NATIVE SEED TO HAVE TEMPORARY (GARDEN HOSE) SPRINKLERS.  
 NO LANDSCAPING IN EXCESS OF THIRTY-SIX (36) INCHES IN HEIGHT SHALL BE CONSTRUCTED OR MAINTAINED IN THE SITE VISIBILITY TRIANGLES.  
 ALL TREES TO HAVE 30" MULCH RING PER DETAILS.

### SEEDING NOTES

SEED MIX "A": NATIVE SEED TO BE EL PASO COUNTY CONSERVATION DISTRICT ALL-PURPOSE SEED MIX. SOIL PREPARATION AND SEEDING METHODS SHALL FOLLOW ALL GUIDELINES PER CITY OF COLORADO SPRINGS STORMWATER ENTERPRISE CONSTRUCTION MANUAL, SECTION 5, DATED DECEMBER 2020. REFER TO TABLE 5-1 FOR SEED MIX SOIL. BE AMENDED BREW-GRO BIOCOMP CLASS 1 (OR CITY APPROVED EQUAL) AT 2 C.Y./1000 SF FILLED INTO TOP 4" OF SOIL PRIOR TO SEEDING.  
 DEPENDING ON WEATHER, SEED SHALL BE INSTALLED WITHIN THE FOLLOWING TIME FRAMES: SEPTEMBER 1 UNTIL CONSISTENT GROUND FREEZE FOR SPRING ESTABLISHMENT (DOMINANT SEEDING); SPRING THRU UNTIL JUNE 1 FOR SPRING AND SUMMER ESTABLISHMENT (ACTIVE SEEDING).  
 FOR HYDRO-SEEDING ALL SEEDED AREAS SHALL RECEIVE NOT LESS THAN 1 TON PER ACRE (2000 LBS) OF VIRGIN WOOD CELLULOSE HYDRO-MULCH AND 100 LBS PER ACRE OF ORGANIC FERTILIZER.  
 FOR AREAS 1' OR GREATER USE FLECTERA HP-FGM (CITY OF COLORADO SPRINGS APPROVED) AS ALTERNATIVE TO BIODEGRADABLE BLANKETS. INSTALL PER MANUFACTURER.  
 SEEDED LANDSCAPE AREAS SHALL HAVE NO BARE AREAS LARGER THAN SIX (6) SQUARE INCHES 15 DAYS AFTER GERMINATION.  
 DRILL SEEDING: SEEDING EQUIPMENT USED FOR APPLYING SEED MIXTURES SHALL BE DESIGNED, MODIFIED OR EQUIPPED TO REGULATE THE APPLICATION RATE AND PLANTING DEPTH OF THE SEED MIXTURE. SEED SHALL BE UNIFORMLY DISTRIBUTED IN THE DRILL HOPPER DURING THE DRILLING OPERATION. A RANGE/LAND DRILL CAPABLE OF MIXING DIFFERENT SIZES AND WEIGHTS OF SEEDS SHALL BE USED. THE DRILL SHALL BE EQUIPPED WITH DOUBLE DISK FURROW OPENERS, DEPTH BANDS, PRESS WHEELS OR GRAG CHAINS.  
 THE SEED SHALL BE DRILLED APPROXIMATELY 2" INCH BELOW THE SOIL SURFACE. HALF OF THE TOTAL RATE OF SEED APPLICATION SHALL BE DRILLED IN 1 DIRECTION, WITH THE REMAINDER OF THE SEED RATE DRILLED AT 90 DEGREES FROM THE FIRST DIRECTION/DO NOT DRILL OR SOY SEED DURING HIGH WINDS OR WHEN THE GROUND IS FROZEN OR OTHERWISE UNABLE TO BE WORKED.  
 ALL SEEDED AREAS LESS THAN 21' SHALL RECEIVE NO LESS THAN 2 TONS PER ACRE (400 LBS) OF CERTIFIED WEED FREE STRAW MULCH. STRAW MULCH SHALL BE APPLIED IN A UNIFORM MANNER BY MULCH SPREADER OR BY HAND. STRAW MULCH SHALL BE CRIMPED OR ANCHORED INTO THE SEEDBED IMMEDIATELY FOLLOWING SPREADING BY USING A MULCH TILLER (CRUMPER). MULCH TILLERS SHALL HAVE ROUND, NOTCHED-BLADES SPACED 3/4" APART MIN. AND SHALL HAVE SUFFICIENT HEIGHT TO FORCE THE VEGETATIVE MULCH A MINIMUM DEPTH OF 3-INCHES INTO THE SOIL. ALL MULCH TILLING SHALL BE DONE PERPENDICULAR TO THE FLOW-LINE OF THE SLOPE (ALONG CONTOURS). HAND CRIMPING SHALL BE PERFORMED ON AREAS WHERE MECHANICAL METHODS CANNOT BE USED.  
 MULCH SHALL BE APPLIED TO SEEDED AREAS INCLUDING DAMP GROUND WITHIN 24 HOURS FOLLOWING THE COMPLETION OF SEEDING OPERATIONS FOR THE AREA. MULCHING SHALL NOT BE PERFORMED DURING ADVERSE WEATHER CONDITION OR WHEN WIND PREVENTS UNIFORM DISTRIBUTION. APPLICATION SHALL BE IN A MANNER TO NOT SERIOUSLY DISTURB THE SEEDBED SURFACE.  
 ON-GOING MAINTENANCE RECOMMENDATIONS FOR SEED GRASS  
 WELL ESTABLISHED SEEDED LAWN SHALL BE A HEALTHY, WELL-ROOTED, EVEN-COLORED, AND FREE OF WEEDS, BARE AREAS, AND SURFACE IRREGULARITIES.  
 THE MATURE HEIGHT OF NATIVE GRASS IS EXPECTED TO BE MAINTAINED AT ABOUT 8" HIGH AND MOWED TO 2" ONCE ANNUALLY IN THE LATE WINTER OR EARLY SPRING, AND IRRIGATED ON REDUCED WATER SCHEDULE.  
 THE SUCCESS OF PERMANENT NATIVE GRASS SEEDING CAN RARELY BE EVALUATED ACCURATELY PRIOR TO THE END OF ITS SECOND FULL GROWING SEASON. SEEDING SUCCESS DEPENDS UPON CONTROL OF WEED COMPETITION DURING THE FIRST TWO GROWING SEASONS. IN ADDITION, THE SITE SHOULD BE MONITORED ANNUALLY FOR UNDESIRABLE PLANT SPECIES.  
 THE SITE SHOULD BE MONITORED FOR UNDESIRABLE PLANT SPECIES. IF WEED CONTROL NEEDS TO BE PERFORMED DURING THE FIRST YEAR OF PLANT GROWTH, UTILIZE ONE OF TWO METHODS. REGARDLESS OF WHICH METHOD OF WEED CONTROL IS USED, COMPLETE BEFORE FLOWERING OF WEED SEED HEADS. SINCE WEED SPECIES MAY DEVELOP MATURE SEED HEADS AT DIFFERENT TIME OF THE GROWING SEASON, WEED CONTROL EFFORTS WILL BE REQUIRED.  
 1. HAND FULL NOXIOUS WEEDS, REMOVING AS MUCH OF THE ROOT SYSTEM AS POSSIBLE.  
 2. USE WEED EATERS TO SELECTIVELY CUT OFF THE SEED HEADS OF NOXIOUS WEEDS. USE SELECTIVE BROADLEAF HERBICIDE SUCH AS 2,4-D WITH A BACKPACK SPRAYER OR HOSE APPLICATOR. BE CAREFUL NOT TO APPLY HERBICIDE ON MORE THAN ONE SQUARE FOOT IN ANY GIVEN AREA. CONTRACTOR TO NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE OF ANY SUSPECTED SOIL PROBLEMS AT THE END OF THE FIRST GROWING SEASON. BROADBAND APPLICATIONS OF HERBICIDE CAN BE COMPLETED AFTER NATIVE GRASS SPECIES REACH MATURE HEIGHT.

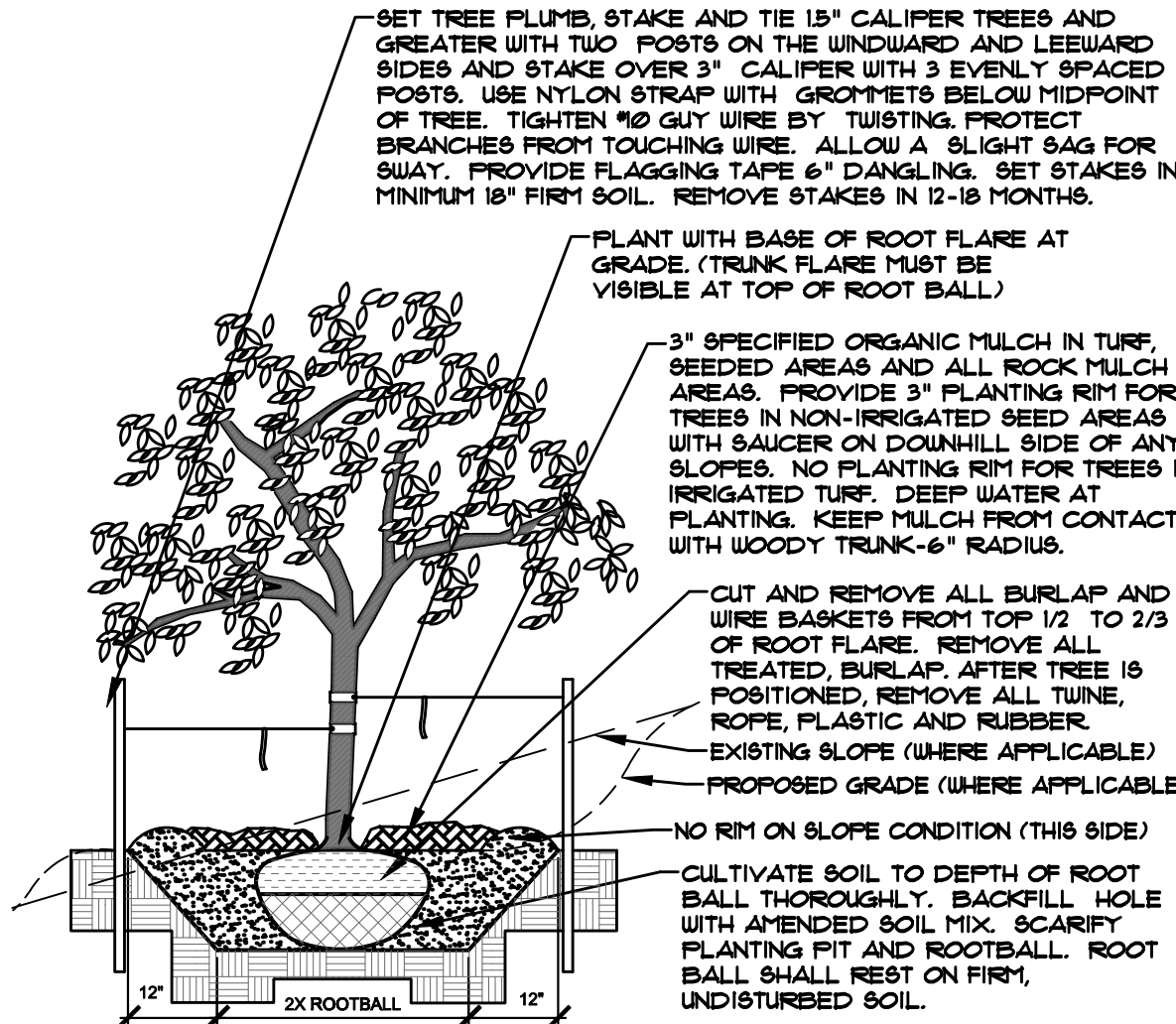
### MAINTENANCE NOTE

ON-GOING MAINTENANCE DURING CONSTRUCTION:  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ON-GOING MAINTENANCE OF ALL COMPLETED LANDSCAPE AND IRRIGATION WORK AS DEFINED UNDER CONTRACT WITH OWNER.  
 BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND CONTINUE UNTIL LANDSCAPE WORK IS COMPLETED, ACCEPTED BY OWNER, AND IF REQUESTED A FORMAL MAINTENANCE PERIOD IS INITIATED. MAINTAIN LAWNS BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING REPLANTING AS REQUIRED THROUGH CONSTRUCTION PERIOD. REMULCH WITH NEWMULCH IN AREAS WHERE MULCH HAS BEEN DISTURBED BY CONSTRUCTION OPERATIONS SUFFICIENTLY TO NULLIFY ITS PURPOSE. CONTRACTOR SHALL REPAIR SEEDED AREAS DAMAGED BY TRAFFIC AND/OR VANDALISM DURING THE CONSTRUCTION PERIOD.  
 IF THE IRRIGATION SYSTEM IS NOT AVAILABLE FOR PROPER WATERING AT THE TIME OF INSTALLATION, PROVIDE AND MAINTAIN TEMPORARY PIPING, HOSES, AND LAWN WATERING EQUIPMENT AS REQUIRED TO CONVEY WATER FROM SOURCES AND TO KEEP THE LAWN AREAS UNIFORMLY MOIST AS REQUIRED FOR PROPER GROWTH. FAILURE OF THE IRRIGATION SYSTEM SHALL NOT RELIEVE THE INSTALLER OF THE RESPONSIBILITY TO PROVIDE THE REQUIRED WATER. COORDINATE WITH OWNER.  
 ONE-YEAR WARRANTY  
 AS AGREED TO WITH OWNER CONTRACTOR SHALL PROVIDE ONE-YEAR WARRANTY ON ALL PLANT MATERIAL, GRASSES AND IRRIGATION SYSTEM.  
 REPLACEMENT OF DEAD, DISEASED OR SUBSTANTIALLY DAMAGED PLANT MATERIALS SHALL BE OF THE SAME OR SIMILAR TYPE AS SET FORTH IN THE LANDSCAPE PLAN. REPLACEMENT SHALL BE MADE IN A TIME PERIOD NOT EXCEEDING 15 DAYS. PLANT MATERIAL, NEEDING REPLACEMENT DURING WINTER MONTHS SHALL BE REPLACED AT THE START OF THE NEXT GROWING SEASON.  
 THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION SYSTEM MAINTENANCE OF THIS SITE AND ANY RIGHT-OF-WAY AREAS BETWEEN THE CURB AND PROPERTY BOUNDARIES OF THIS SITE. MAINTENANCE OF THIS INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, MOWING, SEEDING, FERTILIZING, WOOD MULCH AND ROCK ADDITIONS, PRUNING AND PLANT MATERIAL REPLACEMENTS. ALL MAINTENANCE SHALL BE DONE IN ACCORDANCE WITH THE ALCO SPECIFICATIONS HANDBOOK REV EDITION 2007. OWNER SHOULD CONTACT LANDSCAPE CONTRACTOR OR LANDSCAPE ARCHITECT REGARDING ANY QUESTIONS RELATING TO THE LANDSCAPE OR IRRIGATION SYSTEM.

### SOIL PREP NOTES

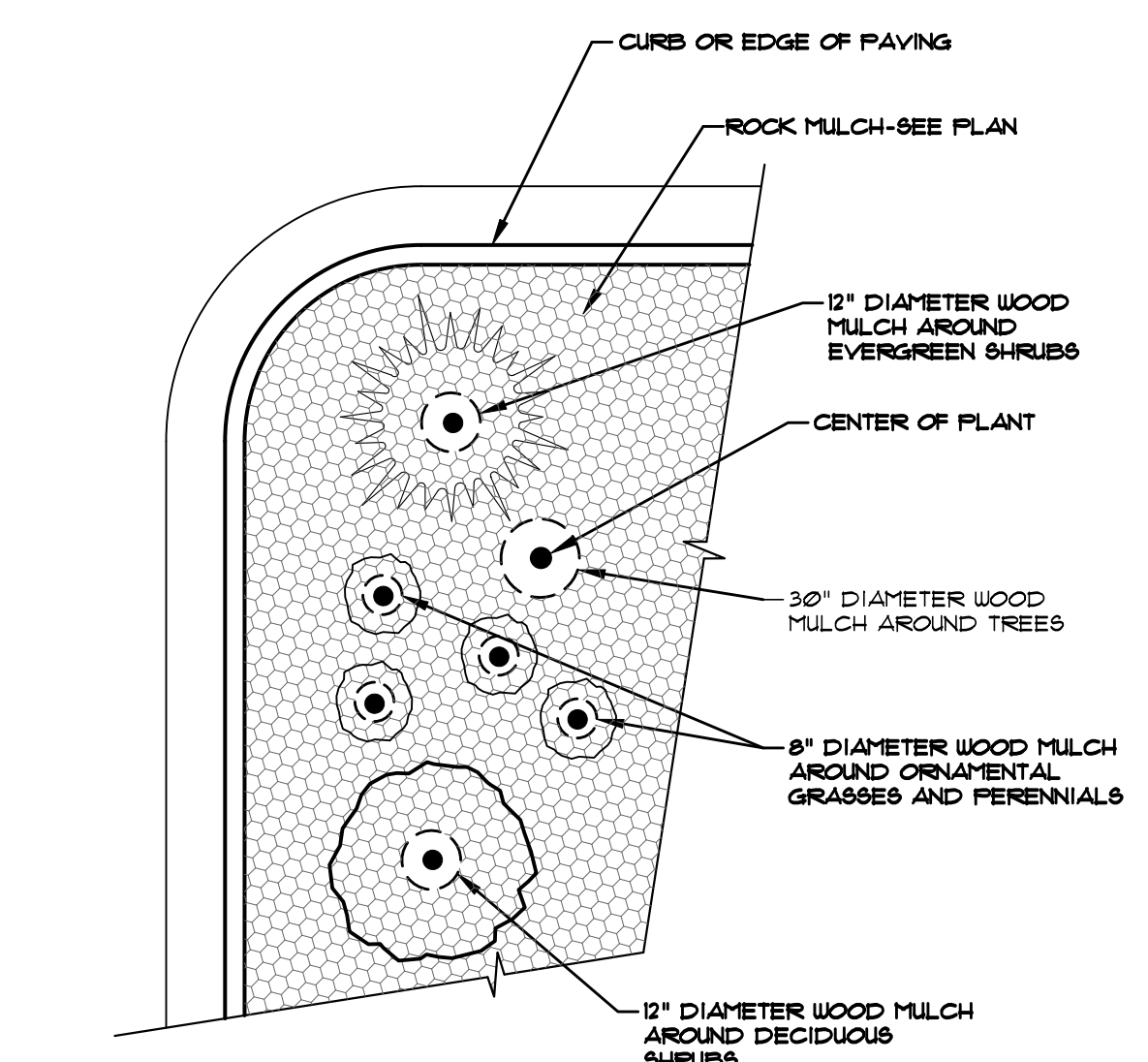
SOIL PREPARATION FOR UNDISTURBED OR COMPACTED AREAS FOR PLANTING AREAS:  
 A. RIP EXISTING SOIL TO A DEPTH OF NINE (9) INCHES MINIMUM IN ONE DIRECTION USING AN AGRICULTURAL RIPPER WITH TINES SPACED NO FURTHER THAN EIGHTEEN (18) INCHES APART OR TILL TO 2" DEPTH. AREAS ADJACENT TO WALKS, STRUCTURES, CURBS, ETC., WHERE THE USE OF LARGE MECHANICAL EQUIPMENT IS DIFFICULT SHALL BE WORKED WITH SMALLER EQUIPMENT OR BY HAND.  
 B. REMOVE ALL RUBBLE, STONES AND EXTRANEOUS MATERIAL OVER TWO (2) INCHES IN DIAMETER FROM THE SITE.  
 C. AT ALL TREE PLANTING AREAS IN ISLANDS EXCAVATE TO 36" DEPTH AND REMOVE EXISTING SOIL IF ACCEPTABLE OR REPLACE WITH GRADE 6" TOPSOIL.

NOTES:  
 • MARK NORTH SIDE OF TREE AT NURSERY AND ALIGN TREE TO NORTH WHEN PLANTING.  
 • DO NOT REMOVE OR CUT LEADER.  
 • PRUNE ONLY DEAD, BROKEN, CROSSING, OR WEAK BRANCHES (OR NARROW CROTCHES) IMMEDIATELY PRIOR TO PLANTING. DO NOT REMOVE TERMINAL BUDS THAT EXTEND TO TREE CROWN.  
 • NO STRUCTURAL PRUNING OF TREE UNTIL AFTER ESTABLISHMENT PERIOD (2 GROWING SEASONS).  
 • REMOVE ANY DOUBLE LEADER UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE.  
 • KEEP PLANTS MOIST AND SHADED UNTIL PLANTING. AVOID FALL PLANTING IF POSSIBLE.  
 • AMENDED BACK FILL SHALL BE 10% SOIL FROM PLANTING PIT AND 90% ORGANIC MATERIAL.  
 • WRAP TRUNK ON EXPOSED SITES OR SPECIES WITH THIN BARK. USE EPOXY RESIN.  
 • UNRIP OCTOBER 15 AND REMOVE BY MARCH 1.  
 • DO NOT FERTILIZE TREE DURING THE FIRST GROWING SEASON.  
 • COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT & DISEASE RECOMMENDATIONS PRIOR TO PLANTING.



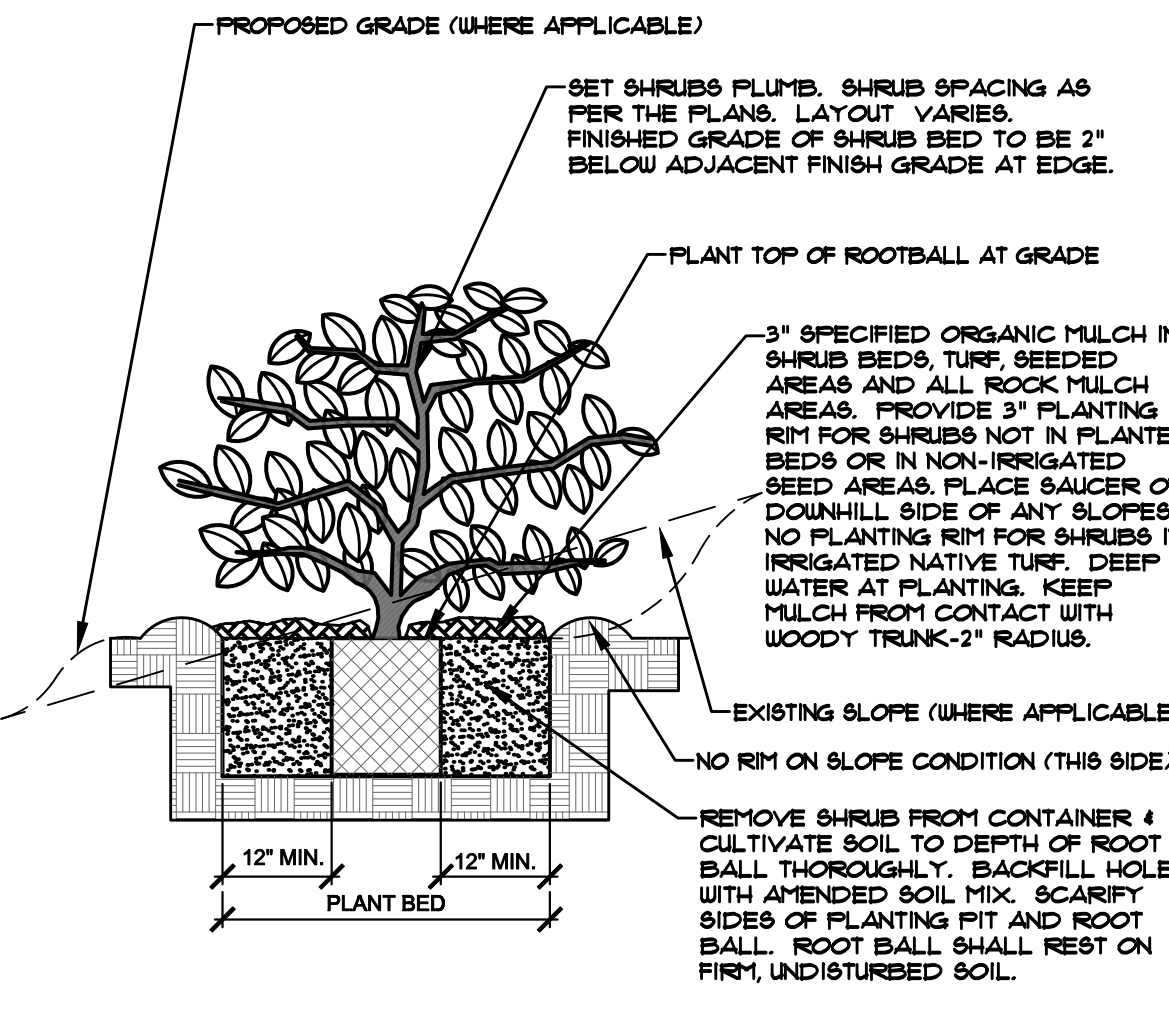
**A DECIDUOUS TREE PLANTING DETAIL**  
NOT TO SCALE

NOTES:  
 • CONTRACTOR TO INSTALL WOOD MULCH RINGS AROUND LANDSCAPING AS SHOWN BELOW FOR ALL TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES INSTALLED IN ROCK MULCHED AREAS. ROCK SHALL BE CLEAR FROM SHRUBS IN UNIFORM CIRCLE AND WOOD MULCH APPLIED AT 2" DEPTH. SEE CONSTRUCTION DETAILS FOR INSTALLATION PROCESS.  
 • REFER TO LANDSCAPE PLANS FOR ALL TREE, SHRUB AND ORNAMENTAL GRASS LOCATIONS



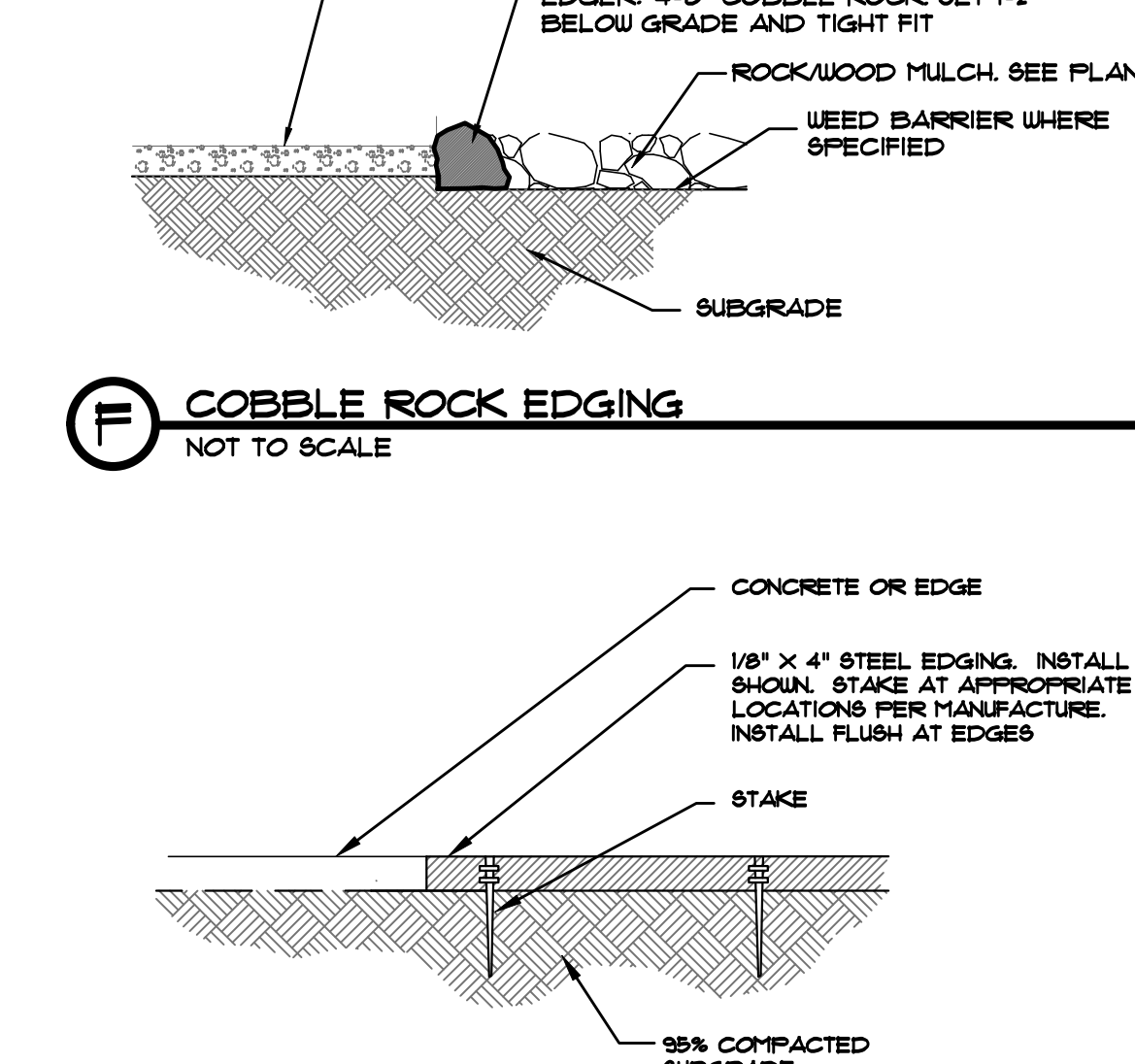
**D TYPICAL PLANT MATERIAL TREATMENT**  
NOT TO SCALE

NOTES:  
 • PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.  
 • KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.  
 • DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.  
 • AMENDED BACK FILL SHALL BE 10% SOIL FROM PLANTING PIT AND 90% ORGANIC MATERIAL.  
 • FOR ROOT END AT BOTTOM OF BALL SPLIT ROOT BALL VERTICALLY FROM BOTTOM HALFWAY TO TOP. SPREAD THE TWO HALVES OVER A MOUND OF SOIL IN PLANTING PIT.  
 • FOR POT BOUND PLANTS ONLY: MAKE 4-8 VERTICAL CUTS IN ROOT BALL 1\"/>

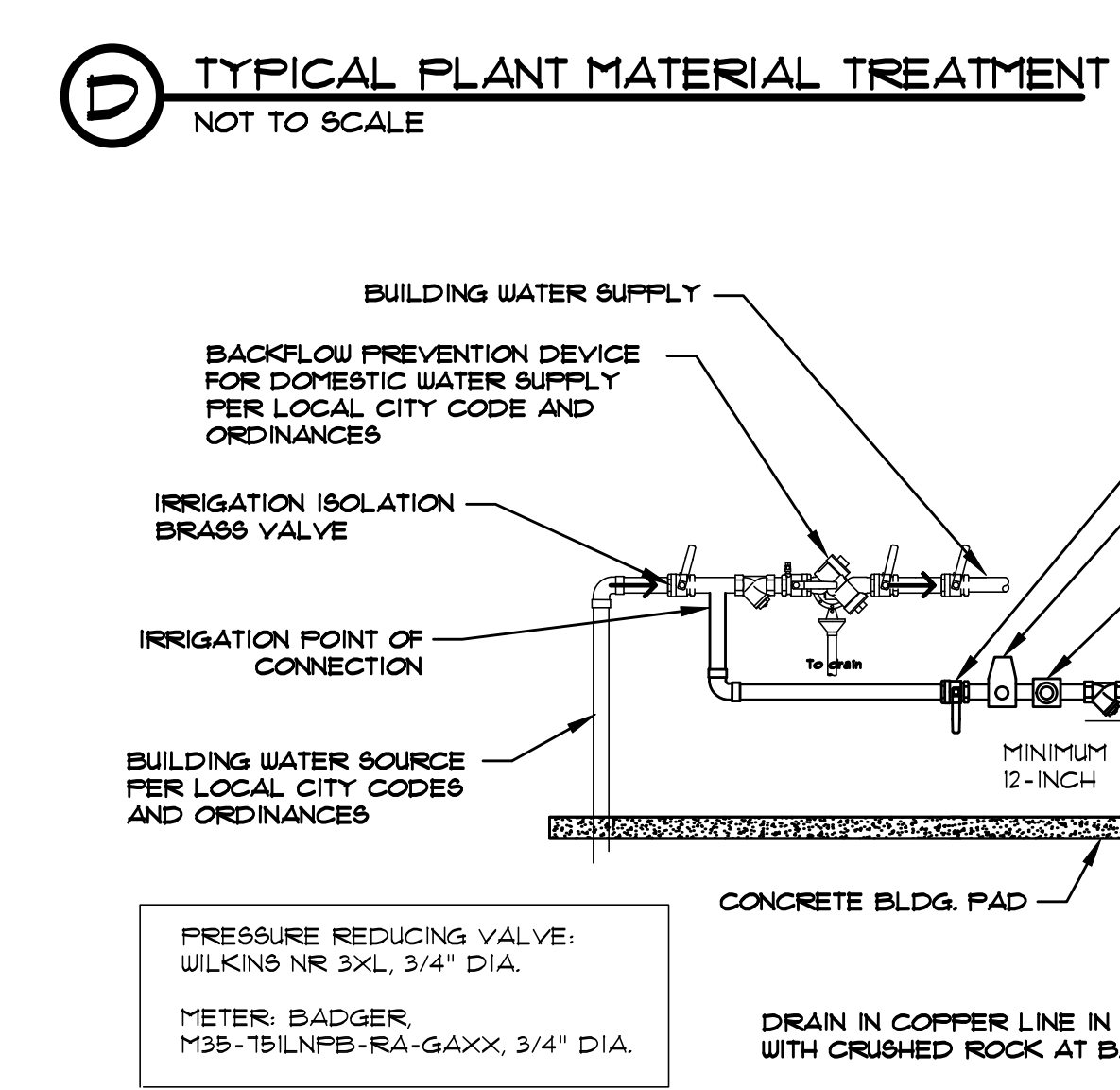


**B SHRUB PLANTING DETAIL**  
NOT TO SCALE

NOTES:  
 • CONTRACTOR TO INSTALL WOOD MULCH RINGS AROUND LANDSCAPING AS SHOWN BELOW FOR ALL TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES INSTALLED IN ROCK MULCHED AREAS. ROCK SHALL BE CLEAR FROM SHRUBS IN UNIFORM CIRCLE AND WOOD MULCH APPLIED AT 2" DEPTH. SEE CONSTRUCTION DETAILS FOR INSTALLATION PROCESS.  
 • REFER TO LANDSCAPE PLANS FOR ALL TREE, SHRUB AND ORNAMENTAL GRASS LOCATIONS



**E STEEL EDGING**  
NOT TO SCALE

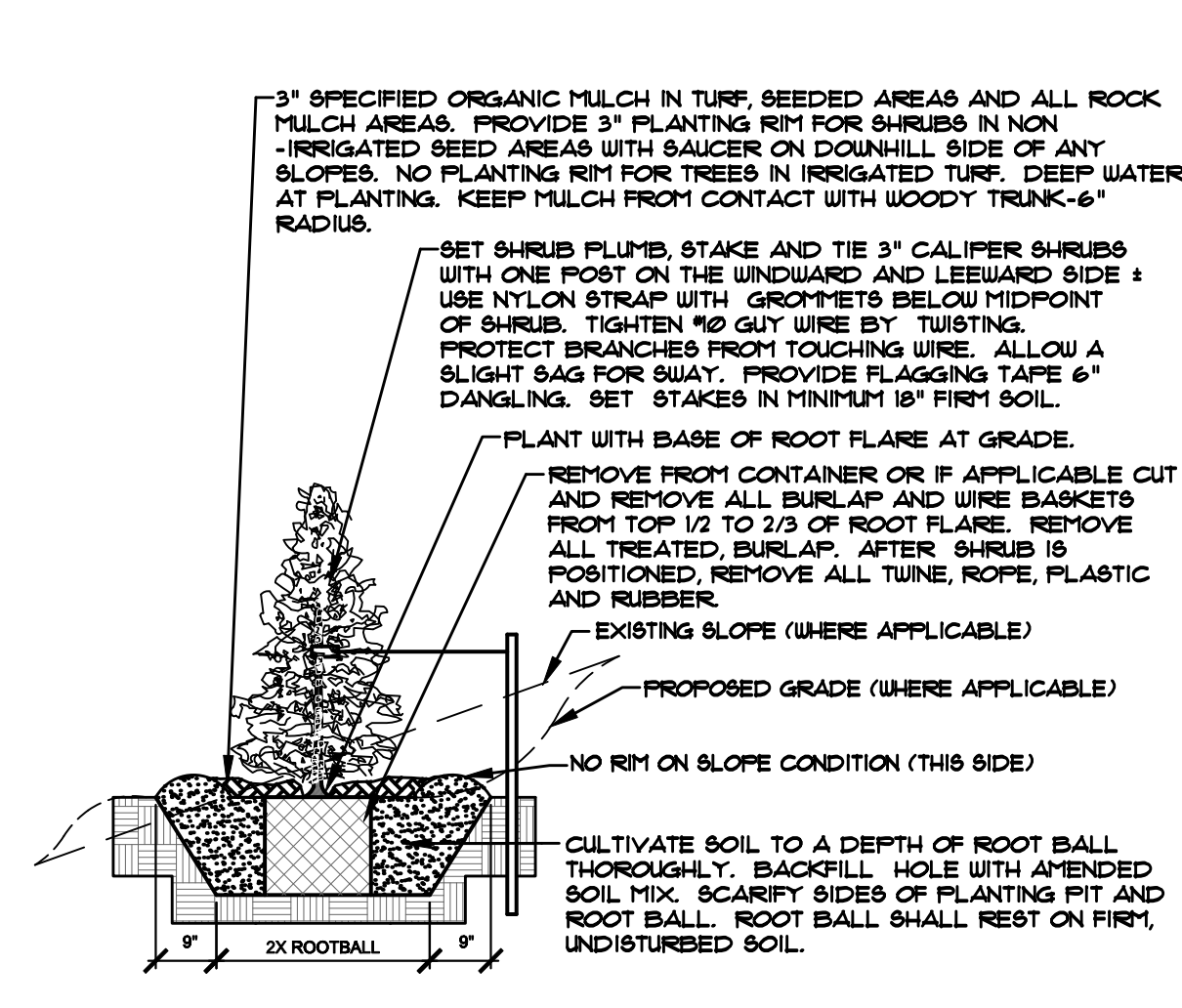


**C COBBLE ROCK EDGING**  
NOT TO SCALE



**G IRRIGATION (3/4\"/>NOT TO SCALE (THIS IS DIAGNOSTIC) (INSTALL PER LOCAL CODES)**

NOTES:  
 • DO NOT REMOVE OR CUT LEADER.  
 • PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.  
 • REMOVE ANY DOUBLE LEADER UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE.  
 • KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.  
 • AVOID FALL PLANTING IF POSSIBLE.  
 • AMENDED BACKFILL SHALL BE 10% SOIL FROM PLANTING PIT AND 90% ORGANIC MATERIAL.  
 • FOR ROOT END AT BOTTOM OF BALL SPLIT ROOT BALL VERTICALLY FROM BOTTOM HALFWAY TO TOP. SPREAD THE TWO HALVES OVER A MOUND OF SOIL IN PLANTING PIT.  
 • FOR POT BOUND PLANTS ONLY: MAKE 4-8 VERTICAL CUTS IN ROOT BALL 1\"/>



**C UPRIGHT EVERGREEN SHRUB PLANTING DETAIL**  
NOT TO SCALE

# Fountain Fire Station #4



## NEW FIRE STATION

8422 Watchman Road  
Fountain, CO 80817

### DESIGN DEVELOPMENT



OWNERSHIP OF INSTRUMENTS OF SERVICE:  
 ALL REPORTS, PLANS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, NOTES AND OTHER DOCUMENTS AND INSTRUMENTS PREPARED BY DESIGN PROFESSIONAL AS INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF THE DESIGN PROFESSIONAL. THE DESIGN PROFESSIONAL SHALL RETAIN ALL COMMON LAW STATUTORY AND OTHER RESERVED RIGHTS INCLUDING THE COPYRIGHT THEREOF.

CRP ARCHITECTS AIA  
 100 E. St. Vrain, Suite 300  
 Colorado Springs, Colorado 80903

LANDSCAPE PLAN

DATE: 05.14.2026  
 DRAWN BY:  
 CHECKED BY:  
 REVISED: