

RETREAT AT PRAIRIERIDGE FILING NO. 4

COUNTY OF EL PASO, STATE OF COLORADO

CONSTRUCTION DRAWINGS

MARCH 2025

GENERAL CONSTRUCTION NOTES:

1. THE LOCATION OF EXISTING UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND MAY NOT INCLUDE ALL UTILITIES. THE EXCAVATION CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATED AND PRESERVE ANY AND ALL UTILITIES.
2. BEFORE COMMENCING ANY EXCAVATION, CALL 1-800-922-1987 FOR EXISTING UTILITY LOCATIONS.
3. THE CONTRACTOR WILL TAKE THE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES FROM DAMAGE DUE TO THIS OPERATION. ANY DAMAGE TO THE UTILITIES WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE, AND ANY SERVICE DISRUPTION WILL BE SETTLED BY THE CONTRACTOR.
4. ALL BACKFILL, SUB-BASE AND/OR BASE COURSE (CLASS 6) MATERIAL SHALL BE COMPACTED TO THE SOILS ENGINEER'S RECOMMENDATIONS, AND APPROVED BY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (PCD).
5. ALL STATIONING IS CENTERLINE UNLESS OTHERWISE INDICATED. ALL ELEVATIONS ARE CENTERLINE UNLESS OTHERWISE INDICATED.
6. THE CONTRACTOR SHALL REVEGETATE ALL DISTURBED AREAS AS SOON AS POSSIBLE AND EROSION CONTROL SHALL BE INSTALLED AND MAINTAINED IN A FUNCTIONAL MANNER AT ALL TIMES. DEVELOPER RESPONSIBLE FOR MAINTAINING DISTURBED AREAS UNTIL REVEGETATION IS COMPLETE.
7. ALL DISTURBED PAVEMENT EDGES SHALL BE CUT TO NEAT LINES. REPAIR SHALL CONFORM TO THE EPC ECM APPENDIX K - 1.2C.
8. ADDITIONAL EROSION CONTROL STRUCTURES MAY BE REQUIRED AT THE TIME OF CONSTRUCTION.
9. BUILDING CONTRACTORS WILL BE RESPONSIBLE FOR CONSTRUCTING POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
10. ASPHALT THICKNESS AND BASE COURSE THICKNESS (COMPACTED) FOR ROADS SHALL BE PER DESIGN REPORT BY OWNER'S GEOTECHNICAL ENGINEER. OWNER'S GEOTECHNICAL ENGINEER TO BE ON SITE AT TIME OF ROAD CONSTRUCTION TO EVALUATE SOIL CONDITIONS AND DETERMINE IF ADDITIONAL MEASURES ARE NECESSARY TO ASSURE STABILITY OF THE NEW ROADS. PAVEMENT DESIGN SHALL BE APPROVED BY PLANNING AND COMMUNITY DEVELOPMENT PRIOR TO CONSTRUCTION.
11. THE CONTRACTOR SHALL REVEGETATE ALL DISTURBED AREAS WITHIN 21 DAYS OF SUBSTANTIAL GRADING COMPLETION. EROSION CONTROL SHALL BE INSTALLED AND MAINTAINED IN A FUNCTIONAL MANNER AT ALL TIMES. DEVELOPER IS RESPONSIBLE FOR MAINTAINING DISTURBED AREAS UNTIL REVEGETATION IS COMPLETE.
12. TYPE M RIP-RAP WITH 4" OF TYPE II GRANULAR BEDDING AND MIRAFI 180N OR EQUAL MAY BE SUBSTITUTED WHERE TYPE L RIP-RAP WITH MIRAFI FW 700 OR EQUAL IS SPECIFIED
13. ALL MATERIALS AND INSTALLATION PROCEDURES SHALL BE IN COMPLIANCE WITH ANY AND ALL APPLICABLE EL PASO COUNTY STANDARDS.
14. LOCATION OF THE CONCRETE WASHOUT, STORAGE FOR MAINTENANCE EQUIPMENT AND TEMPORARY DISPOSAL AREAS WILL BE ADDED TO THIS PLAN BY SWMP ADMINISTRATOR UPON COORDINATION WITH SELECTED CONTRACTOR.

STANDARD NOTES FOR EL PASO COUNTY CONSTRUCTION PLANS:

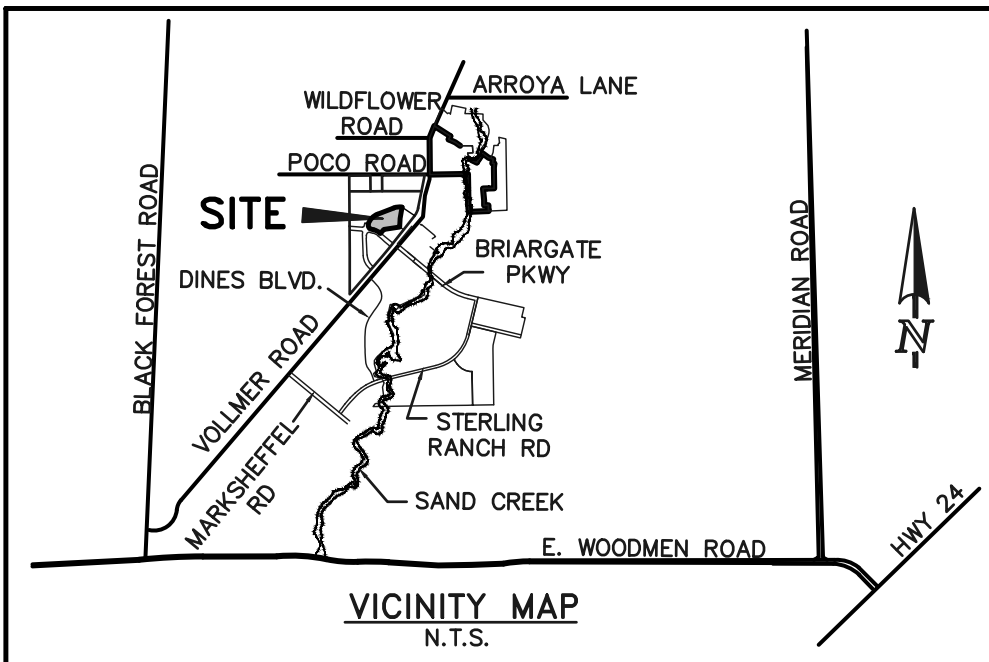
1. ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
3. CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
 - a. EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
 - b. CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
 - c. COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
 - d. CDOT M & S STANDARDS
4. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
5. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
6. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT - INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, (ECSO) AND STATE FUGITIVE DUST PERMITS.
8. CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
9. ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
10. CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
11. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
12. SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
13. SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS AND MUTCD CRITERIA.
14. CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
15. THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.
16. EL PASO COUNTY DOES NOT OWN AND IS NOT RESPONSIBLE FOR THE UNDERDRAINS OR GROUNDWATER DISCHARGE SYSTEMS SHOWN ON THESE PLANS AND ASSUMES NO LIABILITY FOR WATER RIGHTS ADMINISTRATION BY APPROVING THESE PLANS. MAINTENANCE AND WATER RIGHTS ARE THE RESPONSIBILITY OF THE DEVELOPER AND HOMEOWNERS ASSOCIATION.

SIGNING AND STRIPING NOTES:

1. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY WILL NOT BE VISIBLE UNDER DAY OR NIGHT CONDITIONS. AT NO TIME WILL IT BE ACCEPTABLE TO PAINT OVER EXISTING PAVEMENT MARKINGS.
3. ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT.
4. ALL SIGNS SHOWN ON THE SIGNING AND STRIPING PLAN SHALL BE NEW SIGNS. EXISTING SIGNS MAY REMAIN OR BE REUSED IF THEY MEET CURRENT EL PASO COUNTY AND MUTCD STANDARDS.
5. STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.
6. ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR.
7. ALL STREET NAME SIGNS SHALL HAVE "D" SERIES LETTERS, WITH LOCAL ROADWAY SIGNS BEING 4" UPPER-LOWER CASE LETTERING ON 8" BLANK AND NON-LOCAL ROADWAY SIGNS BEING 6" LETTERING, UPPER-LOWER CASE ON 12" BLANK, WITH A WHITE BORDER THAT IS NOT RECESSED. MULTI-LANE ROADWAYS WITH SPEED LIMITS OF 40 MPH OR HIGHER SHALL HAVE 8" UPPER-LOWER CASE LETTERING ON 18" BLANK WITH A WHITE BORDER THAT IS NOT RECESSED. THE WIDTH OF THE NON-RECESSED WHITE BORDERS SHALL MATCH PAGE 255 OF THE 2012 MUTCD "STANDARD HIGHWAY SIGNS".
8. ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.
9. ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75" X 1.75" SQUARE TUBE SIGN POST AND STUB POST BASE. FOR OTHER APPLICATIONS, REFER TO THE CDOT STANDARD S-614-8 REGARDING USE OF THE P2 BULBULAR STEEL POST SLIPBASE DESIGN.
10. ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.100" MINIMUM THICKNESS.
11. ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 125 MIL THICKNESS PREFORMED THERMOPLASTIC PAVEMENT MARKINGS WITH TAPERED LEADING EDGES PER CDOT STANDARD S-627-1. WORD AND SYMBOL MARKINGS SHALL BE THE NARROW TYPE. STOP BARS SHALL BE 24" IN WIDTH. CROSSWALKS LINES SHALL BE 12" WIDE AND 8' LONG PER CDOT S-627-1.
12. ALL LONGITUDINAL LINES SHALL BE A MINIMUM 15MIL THICKNESS EPOXY PAINT. ALL NON-LOCAL RESIDENTIAL ROADWAYS SHALL INCLUDE BOTH RIGHT AND LEFT EDGE LINE STRIPING AND ANY ADDITIONAL STRIPING AS REQUIRED BY CDOT S-627-1.
13. THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (719) 520-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING.
14. THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS (DPW) PRIOR TO ANY SIGNAGE OR STRIPING WORK WITHIN AN EXISTING EL PASO COUNTY ROADWAY.

BENCHMARKS:

- A. EAST 1/16TH CORNER OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPLE MERIDIAN LOCATED AT SOUTHEAST CORNER OF VOLLMER ROAD AND POCO ROAD APPROXIMATELY 50 FEET SOUTH OF THE CENTERLINE OF POCO ROAD. ELEVATION = 7211.95
- B. THE SOUTH LINE OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, BEING MONUMENTED AT THE WEST END WHICH IS THE SOUTHWEST CORNER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 28, BY A 3-1/4" ALUMINUM SURVEYORS CAP STAMPED "ESI PLS 10376, 2006" AND AT THE EAST END, WHICH IS A 30" WITNESS CORNER TO THE EAST OF THE EAST QUARTER CORNER OF SAID SECTION 28, BY A 3-1/4" ALUMINUM SURVEYORS CAP STAMPED "ESI 10376, 2006", IS ASSUMED TO BEAR N89°08'28"E, A DISTANCE OF 1356.68 FEET.



CONSTRUCTION PLAN SHEET INDEX

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SHEET 3 OF 18	GEC PLAN
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SHEET 7 OF 18	STREET PLAN & PROFILE (SUNSET VALE GROVE 0+00.00 TO 12+50.00)
SHEET 8 OF 18	STREET PLAN & PROFILE (SUNSET VALE GROVE 12+50.00 TO END)
SHEET 9 OF 18	STREET PLAN & PROFILE (BARLEY BEND PT, FURROW BEND PT & BIRCHFIELD HTS)
SHEET 10 OF 18	STREET PLAN & PROFILE (ECHO HAVEN VIEW & MAPLE CREST HTS)
SHEET 11-12 OF 18	PARKING AREA DETAILS
SHEET 13-14 OF 18	PARKING AREA DETAIL AND PEDESTRIAN RAMP DETAILED GRADING
SHEET 15 OF 18	STREET IMPROVEMENT SIGNAGE AND STRIPING PLAN
SHEET 16 OF 18	STREET LIGHT POLE LOCATION PLAN
SHEET 17 OF 18	PRIVATE STORM SEWER PLAN & PROFILE
SHEET 18 OF 18	DETAILS SHEET

AGENCIES:

OWNER/DEVELOPER:	CLASSIC SRJ LAND, LLC 2138 FLYING HORSE CLUB DR. COLORADO SPRINGS, CO 80921 MR. LOREN J. MORELAND (719) 592-9333
CIVIL ENGINEER:	CLASSIC CONSULTING ENGINEERS & SURVEYORS 619 N. CASCADE AVENUE, SUITE 200 COLORADO SPRINGS, COLORADO 80903 MR. MARC A. WHORTON, P.E. (719) 785-2802
COUNTY ENGINEERING:	EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT 2880 INTERNATIONAL CIRCLE, SUITE 110 COLORADO SPRINGS, COLORADO 80910 MS. CHARLENE DURHAM (719) 520-7951
GAS COMPANY:	BLACKHILLS ENERGY 37 WIDEFIELD BOULEVARD WIDEFIELD, COLORADO 80911 MR. GEORGE M. PETERSON, (719) 392-3491
ELECTRIC COMPANY:	MOUNTAIN VIEW ELECTRIC P.O. BOX 1600 LIMON, COLORADO 80828 MR. LES ULFERS, (719) 495-2283
FIRE DISTRICT:	BLACK FOREST FIRE PROTECTION DISTRICT 11445 TEACOUT ROAD COLORADO SPRINGS, CO 80908 INTERIM CHIEF JOSH BARTLETT, (719) 495-4300
TELEPHONE COMPANY:	CENTURY LINK (LOCATORS) 811 AT & T (LOCATORS) 811

APPROVALS:

DESIGN ENGINEER'S STATEMENT:

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.

MARC A. WHORTON, COLORADO P.E. #37155
FOR AND ON THE BEHALF OF CLASSIC CONSULTING ENGINEERS & SURVEYORS

DATE

OWNER/DEVELOPER'S STATEMENT:

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

LOREN J. MORELAND, VICE PRESIDENT/PROJECT MANAGER, CLASSIC HOMES
FOR AND ON BEHALF OF ELITE PROPERTIES OF AMERICA, INC.

DATE

EL PASO COUNTY:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2 AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR'S DISCRETION.

JOSHUA PALMER, P.E.
COUNTY ENGINEER / ECM ADMINISTRATOR

DATE

PCD No. SF

48 HOURS BEFORE YOU DIG,
CALL UTILITY LOCATORS

811

UTILITY NOTIFICATION CENTER OF COLORADO
IT'S THE LAW

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NO. REVISION

DATE

REVIEW:

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF
CLASSIC CONSULTING ENGINEERS AND SURVEYORS, LLC

MARC A. WHORTON, COLORADO P.E. #37155

DATE



619 N. Cascade Avenue, Suite 200 (719) 785-0790
Colorado Springs, Colorado 80903 (719) 785-0799(Fax)

RETREAT AT PRAIRIE RIDGE FILING NO. 4
CONSTRUCTION PLANS

TITLE SHEET

DESIGNED BY	PRA	SCALE	DATE	05/09/2025
DRAWN BY	KES	(H) 1"= N/A	SHEET	1 OF 18
CHECKED BY		(V) 1"= N/A	JOB NO.	1305.40

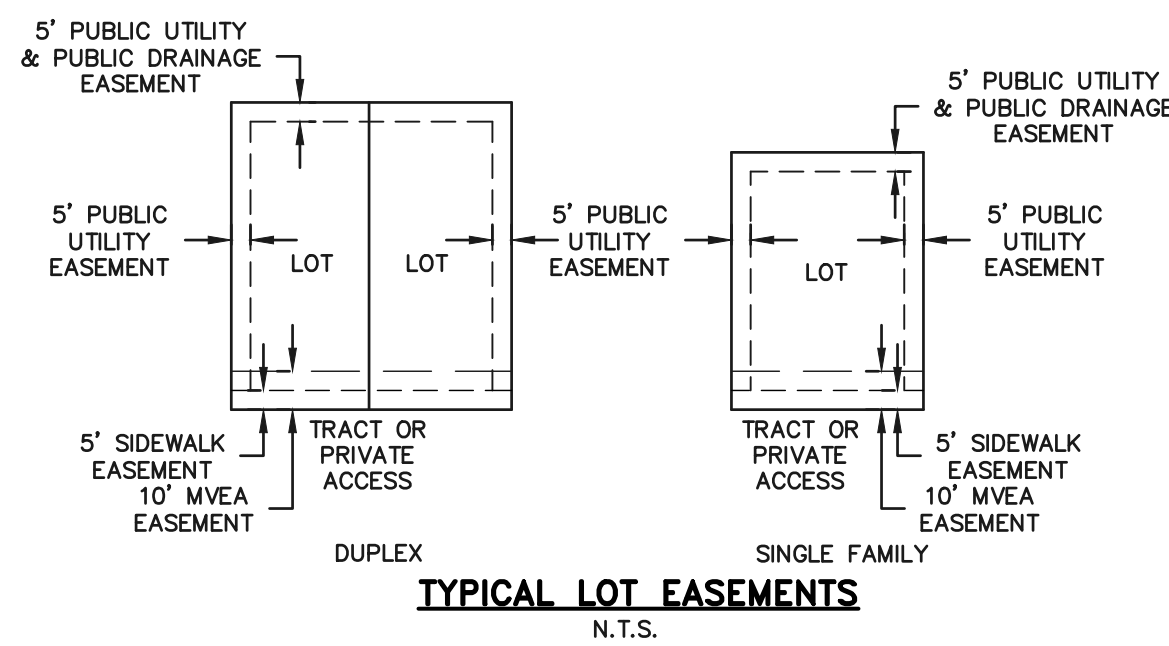


STANDARD NOTES FOR EL PASO COUNTY GRADING AND EROSION CONTROL PLANS

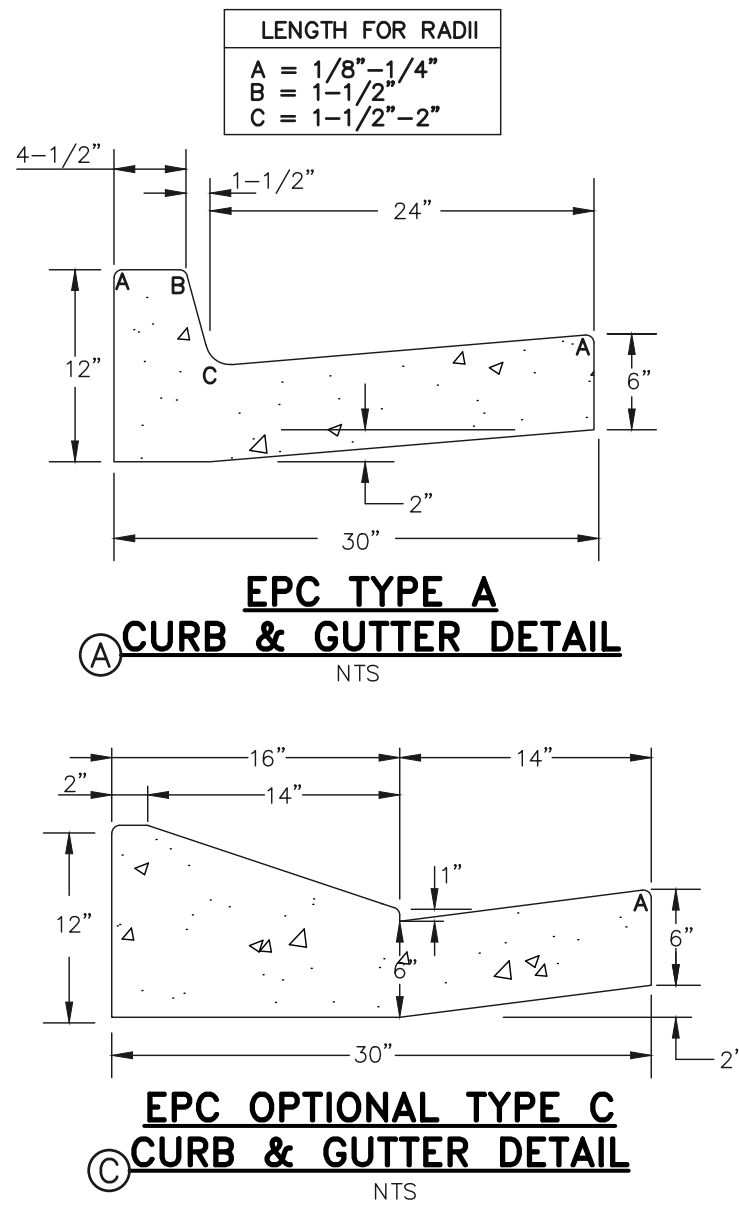
1. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE, AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY (EPC) STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE (LDC), THE ENGINEERING CRITERIA MANUAL (ECM), THE DRAINAGE CRITERIA MANUAL (DCM) VOLUME 1 AND 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
2. A PRECONSTRUCTION MEETING BETWEEN THE PERMIT HOLDER(S) AND EL PASO COUNTY SHALL BE HELD PRIOR TO ANY CONSTRUCTION ACTIVITIES. IT IS THE RESPONSIBILITY OF THE PERMIT HOLDER(S) TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY STAFF. NO LAND DISTURBANCE OR CONSTRUCTION ACTIVITIES BEYOND THE INSTALLATION OF THE INITIAL CONSTRUCTION CONTROL MEASURES (CCMS), AS INDICATED ON THE APPROVED GEC PLAN OR CDS WITH GEC PLANS, MAY OCCUR PRIOR TO RECEIVING A NOTICE TO PROCEED (NTP) ISSUED BY THE ECM ADMINISTRATOR. FAILURE TO OBTAIN A NOTICE TO PROCEED PRIOR TO BEGINNING LAND DISTURBING ACTIVITIES MAY RESULT IN AN IMMEDIATE STOP WORK ORDER (SWO).
3. CONSTRUCTION CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ACTIVITIES THAT COULD CONTRIBUTE POLLUTANTS TO STORMWATER. STORMWATER RUNOFF FROM ALL DISTURBED AREAS AND SOIL STORAGE AREAS MUST UTILIZE OR FLOW TO ONE OR MORE CCMS TO MINIMIZE EROSION OR SEDIMENT IN THE DISCHARGE. THE CCMS(S) MUST CONTAIN OR FILTER FLOWS IN ORDER TO PREVENT THE BYPASS OF FLOWS WITHOUT TREATMENT AND MUST BE APPROPRIATE FOR STORMWATER RUNOFF FROM DISTURBED AREAS AND FOR THE EXPECTED FLOW RATE, DURATION, AND FLOW CONDITIONS (E.G., SHEET OR CONCENTRATED FLOW).
4. ALL CCMS SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATING CONDITION UNTIL FINAL STABILIZATION IS ACHIEVED. THE QUALIFIED STORMWATER MANAGER (QSM) SHALL ASSESS THE ADEQUACY OF CCMS AT THE SITE AND IDENTIFY IF CHANGES TO THOSE CCMS ARE NEEDED TO ENSURE THE CONTINUED EFFECTIVE PERFORMANCE OF THE CCMS.
5. PRIOR TO CONSTRUCTION THE PERMIT HOLDER(S) SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
6. MANAGEMENT OF THE STORMWATER MANAGEMENT PLAN (SWMP) DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE DESIGNATED QSM. THE SWMP SHALL BE LOCATED ON-SITE OR DIGITALLY ACCESSIBLE AT ALL TIMES DURING CONSTRUCTION ACTIVITIES AND MUST BE IMPLEMENTED AS WRITTEN FROM THE START OF CONSTRUCTION ACTIVITY UNTIL FINAL STABILIZATION IS ACHIEVED. THE QSM SHALL AMEND THE SWMP WHEN THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE OF THE SITE WHICH WOULD REQUIRE THE IMPLEMENTATION OF NEW OR REVISED CCMS OR IF THE SWMP PROVES TO BE INEFFECTIVE IN CONTROLLING POLLUTANTS IN STORMWATER RUNOFF ASSOCIATED WITH CONSTRUCTION ACTIVITY OR WHEN CCMS ARE NO LONGER NECESSARY AND ARE REMOVED. THE QSM SHALL MAINTAIN A RECORD OF AMENDMENTS MADE TO THE SWMP THAT INCLUDES THE DATE AND IDENTIFICATION OF THE CHANGES.
7. EARTH DISTURBANCES SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY MINIMIZE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME. PRE-EXISTING VEGETATION SHALL BE PROTECTED AND MAINTAINED WITHIN 50 HORIZONTAL FEET OF A RECEIVING WATER UNLESS SHOWN TO BE INFEASIBLE AND SPECIFICALLY REQUESTED AND APPROVED. IN ADDITION TO MAINTAINING 50 HORIZONTAL FEET OF PRE-EXISTING VEGETATION UPGRADIENT OF A RECEIVING WATER (UNLESS INFEASIBLE AND APPROVED), THE PERMIT HOLDER(S) MUST INSTALL CCMS UPGRADIENT OF THE VEGETATIVE BUFFER.
8. TEMPORARY STABILIZATION MEASURES SHALL BE IMPLEMENTED ON DISTURBED AREAS AND STOCKPILES WHERE GROUND DISTURBING CONSTRUCTION ACTIVITY HAS PERMANENTLY CEASED OR TEMPORARILY CEASED FOR LONGER THAN 14 DAYS.
9. EROSION CONTROL BLANKET (ECB) OR OTHER APPROVED CONTROL MEASURE(S) SHALL BE USED ON SLOPES STEEPER THAN 3:1.
10. VEHICLE TRACKING CONTROLS (VTC) MUST BE IMPLEMENTED TO MINIMIZE VEHICLE TRACKING OF SEDIMENT FROM DISTURBED AREAS. VTCs MUST INCLUDE A STRUCTURE CONTROL MEASURE (E.G., TRACKING PAD) AND MAY INCLUDE A NON-STRUCTURAL CONTROL MEASURE (E.G., SWEEPING). MATERIAL TRACKED OFF-SITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
11. ANY TEMPORARY OR PERMANENT CONTROL MEASURE DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE A STABILIZED CONVEYANCE DESIGNED TO MINIMIZE EROSION AND THE DISCHARGE OF SEDIMENT OFF-SITE.
12. NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE CURB AND GUTTER, PERMANENT CONTROL MEASURES (PCMS), OR DITCHES EXCEPT WITH APPROVED SEDIMENT CONTROL MEASURES.
13. ALL PCMS SHALL BE INSTALLED AS DESIGNED IN THE APPROVED PLANS. ANY PROPOSED CHANGES THAT AFFECT THE DESIGN OR FUNCTION OF PCMS MUST BE APPROVED BY THE ECM ADMINISTRATOR PRIOR TO IMPLEMENTATION.
14. SOIL COMPACTION MUST BE MINIMIZED IN AREAS WHERE INFILTRATION PCMS WILL BE INSTALLED OR IN AREAS WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER. AREAS DESIGNATED FOR INFILTRATION PCMS SHALL ALSO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED. IF SOIL COMPACTION DOES OCCUR IN AREAS WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER OR IN AREAS WHERE INFILTRATION PCMS WILL BE INSTALLED, DECOMPACTION OF THE SOIL MUST BE COMPLETED PRIOR TO PLANTING OR INSTALLATION OF THE PCMS(S). AN INFILTRATION TEST MUST BE CONDUCTED FOR ALL INFILTRATION PCMS AND THE INFILTRATION TEST RESULTS SUBMITTED TO EL PASO COUNTY PRIOR TO PRELIMINARY ACCEPTANCE (PA).
15. FINAL STABILIZATION MUST BE IMPLEMENTED AT ALL APPLICABLE CONSTRUCTION SITES. FINAL STABILIZATION IS ACHIEVED WHEN ALL GROUND DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED AND PERMANENT STABILIZATION METHODS ARE COMPLETE. WHEN USING VEGETATIVE COVER AS A PERMANENT STABILIZATION METHOD, THE VEGETATION SHALL BE EVENLY DISTRIBUTED PERENNIAL VEGETATION AND OF THE VARIETY AND SPECIES FOUND IN THE COUNTY-APPROVED SEED MIXES OR IN THE APPROVED GEC PLAN. VEGETATION COVERAGE SHALL BE, AT A MINIMUM, EQUAL TO 70% OF WHAT WOULD HAVE BEEN PROVIDED BY NATIVE VEGETATION IN A LOCAL UNDISTURBED AREA OR ADEQUATE REFERENCE SITE. ALL TEMPORARY CCMS SHALL BE REMOVED UPON FINAL STABILIZATION AND PRIOR TO STORMWATER PERMIT TERMINATION.
16. STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF-SITE WATERS, INCLUDING WETLANDS.
17. CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO BE DISCHARGED OFFSITE OR TO ENTER STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR CONTROL MEASURES. CONCRETE WASHOUT AREAS SHALL NOT BE LOCATED IN AN AREA WHERE SHALLOW GROUNDWATER MAY BE PRESENT, OR WITHIN 50 FEET OF A SURFACE WATER BODY, CREEK, OR STREAM.
18. DURING CONSTRUCTION DEWATERING OPERATIONS, UNCONTAMINATED GROUNDWATER MAY BE DISCHARGED ON SITE IN ACCORDANCE WITH THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT'S (CDPHE) LOW RISK DISCHARGE GUIDANCE POLICY FOR DISCHARGES OF UNCONTAMINATED GROUNDWATER TO LAND. IF CONSTRUCTION DEWATERING OPERATIONS ARE UNABLE TO MEET ALL CRITERIA, CONDITIONS, AND CONTROL MEASURE REQUIREMENTS OF THE LOW RISK DISCHARGE GUIDANCE POLICY, A COLORADO DISCHARGE PERMIT SYSTEM (CDPS) GENERAL PERMIT C60800000 WILL BE REQUIRED.
19. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTE FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES, OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
20. THE PERMIT HOLDER(S) SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, SOIL, AND SAND THAT MAY ACCUMULATE IN ROADS, STORM DRAINS AND OTHER DRAINAGE CONVEYANCE SYSTEMS AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
21. THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
22. MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. APPROPRIATE CMS SHALL BE UTILIZED BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
23. BULK STORAGE (I.E., INDIVIDUAL CONTAINERS OF 55 GALLONS OR GREATER) OF ALLOWED PETROLEUM PRODUCTS OR OTHER ALLOWED LIQUID SHALL REQUIRE ADEQUATE SECONDARY CONTAINMENT, OR EQUIVALENT PROTECTION, TO CONTAIN ALL SPILLS ON-SITE AND TO PREVENT ANY SPILLED MATERIALS FROM ENTERING STATE WATERS, ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM, OR OTHER FACILITIES.
24. NO CHEMICAL(S) HAVING THE POTENTIAL TO BE RELEASED IN STORMWATER ARE TO BE STORED OR USED ON-SITE UNLESS PERMISSION FOR THE USE OF SUCH CHEMICAL(S) IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR. IN GRANTING APPROVAL FOR THE USE OF SUCH CHEMICAL(S), SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
25. ON AREAS OF EXPOSED SOIL, MINIMIZE DUST THROUGH THE APPROPRIATE APPLICATION OF WATER OR OTHER DUST SUPPRESSION TECHNIQUES. WATER APPLICATION MUST BE CONDUCTED IN A MANNER TO PREVENT DISCHARGE OFFSITE UNLESS AUTHORIZED BY A CDPS OR NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT.
26. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE ONLY AT APPROVED CONSTRUCTION ACCESS POINTS.
27. FOR SITES WHERE A SOILS REPORT IS REQUIRED, THE APPROVED SOILS REPORT FOR THIS SITE SHALL BE CONSIDERED A PART OF THESE PLANS.
28. PERMIT HOLDER(S) AND THEIR AGENTS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS OF THE LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL VOLUME 2, AND ENGINEERING CRITERIA MANUAL. ALL APPLICABLE LOCAL, STATE, AND FEDERAL PERMITS MUST BE OBTAINED PRIOR TO CONSTRUCTION. IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND OTHER LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, LOCAL, OR COUNTY AGENCIES, THE MOST RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
29. AT LEAST TEN (10) DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB ONE (1) ACRE OR MORE OR LESS THAN 1 ACRE AND PART OF A LARGER COMMON PLAN OF DEVELOPMENT OR SALE THAT WOULD DISTURB 1 OR MORE ACRES, THE PERMIT HOLDER(S) SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE (CDPS) TO THE CDPHE WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A SWMP, OF WHICH THIS GEC PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:

COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT
WATER QUALITY CONTROL DIVISION
WOOD - PERMITS
4300 CHERRY CREEK DRIVE SOUTH
DENVER, CO 80246-1530
ATTN: PERMITS UNIT

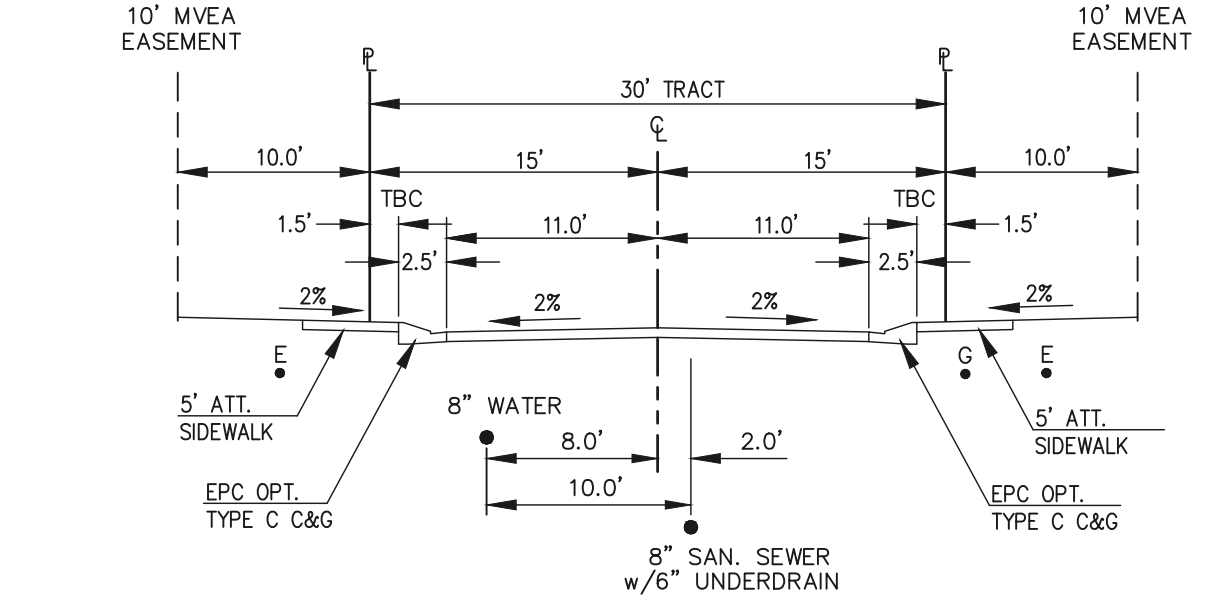
- NOTES:
1.) DIMENSIONS SHOWN ARE TYPICAL UNLESS OTHERWISE NOTED ON PLANS.
2.) SEE PLANS FOR EASEMENTS WITHIN TRACTS.
3.) DEPENDING UPON FINAL UTILITY DESIGN, SOME OF THE SIDE AND REAR EASEMENTS MAY NOT BE UTILIZED.



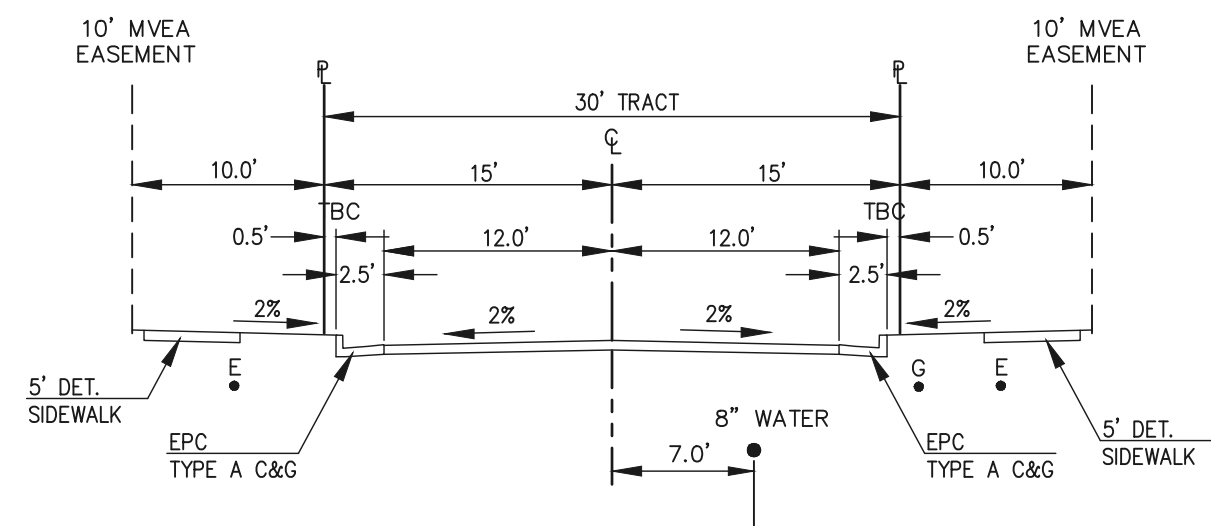
TYPICAL LOT EASEMENTS
N.T.S.



- NOTES:
1. ALL TYPE C CURB & GUTTER IS THE OPTIONAL TYPE C CURB & GUTTER PER EPC STANDARDS.



PRIVATE ROAD (30' WIDE TRACT)
OWNED & MAINTAINED BY THE HOA
N.T.S.
NO PARKING ALLOWED
(SUNSET VALE GROVE, BIRCHFIELD HEIGHTS, ECHO HAVEN VIEW, MAPLE CREST HEIGHTS)



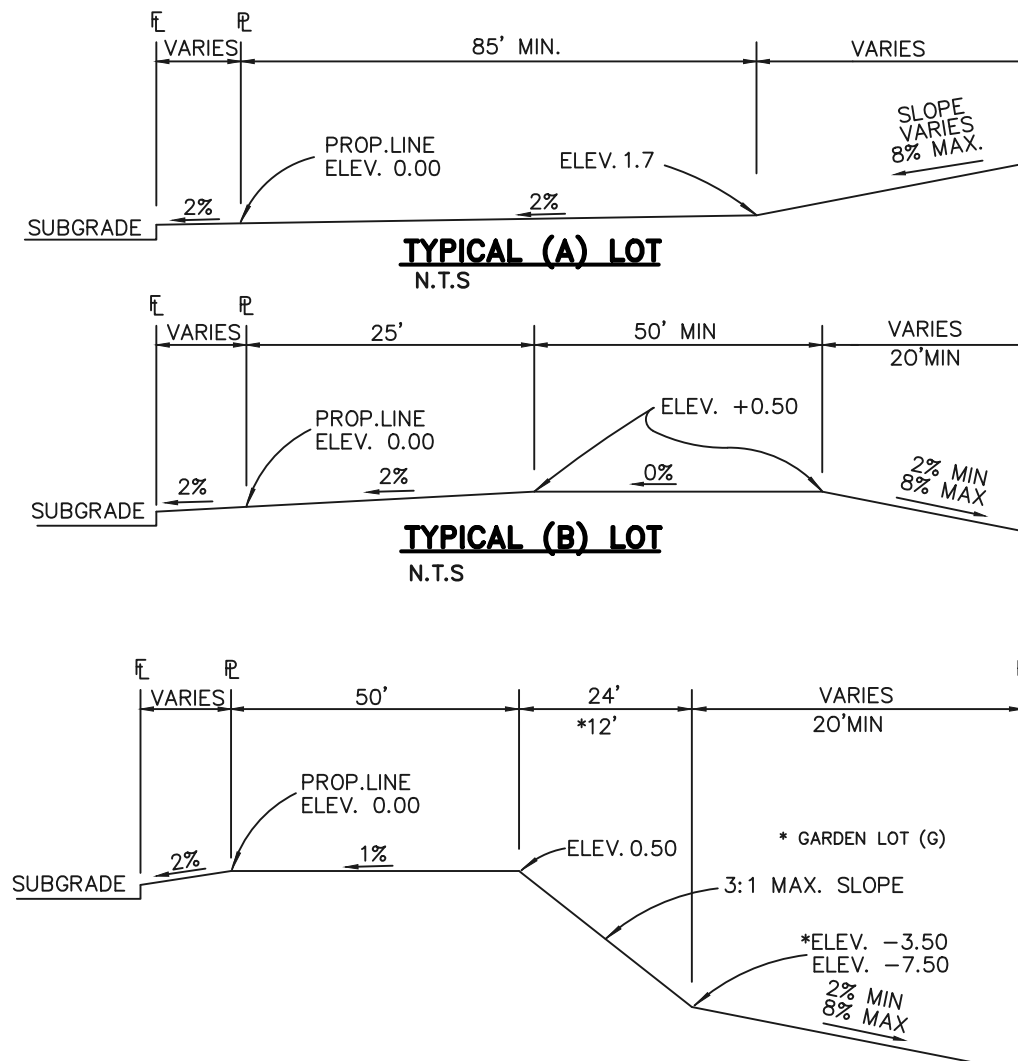
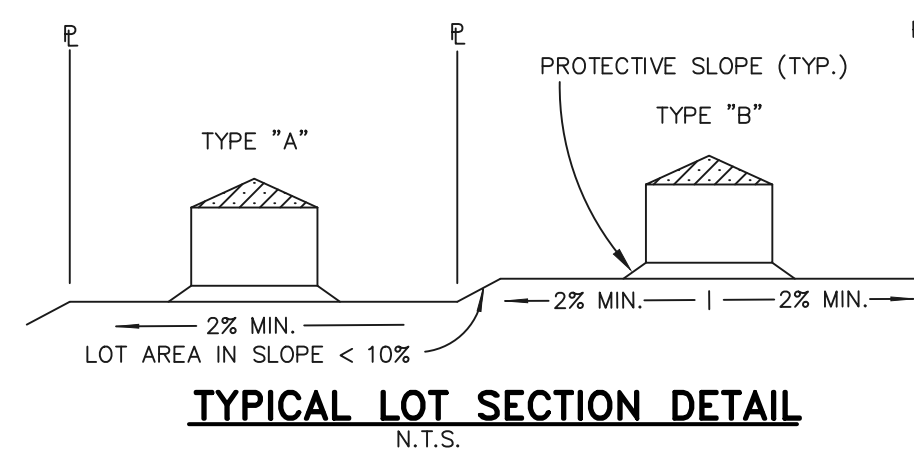
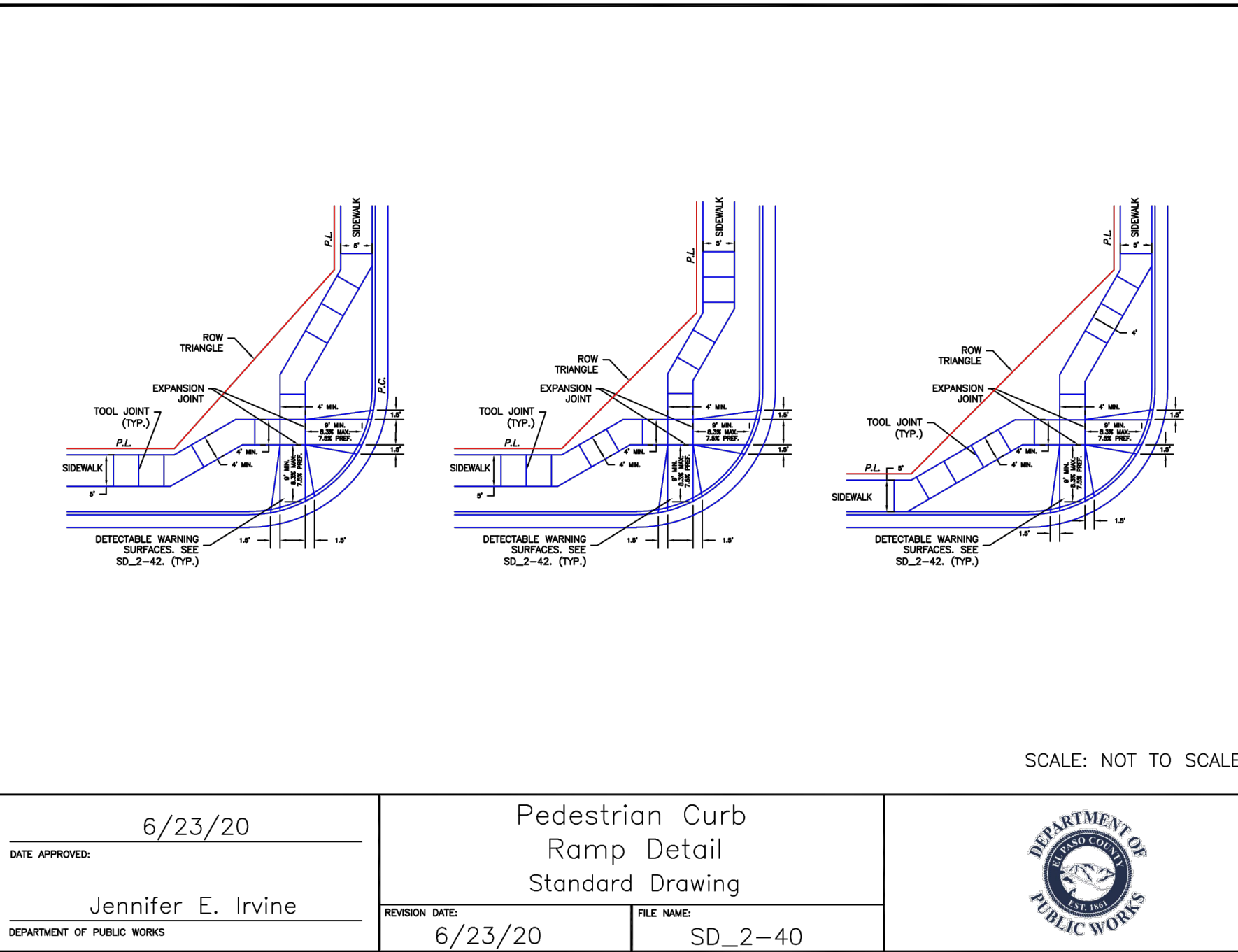
PRIVATE ENTRY ROAD (30' WIDE TRACT)
OWNED & MAINTAINED BY THE HOA
N.T.S.
NO PARKING ALLOWED
(BARLEY BEND POINT, FURROW BEND POINT)

SIDEWALK NOTE:

ALL SIDEWALKS ADJACENT TO PARKING STALLS ARE 6' WIDE TO ACCOUNT FOR 2' VEHICLE OVERHANG.

STANDARD PARKING STALL DIMENSIONS:

WIDTH = 9.0'
LENGTH = 18.0'
(LENGTH ALSO INCLUDES 2.0' OVERHANG IN FRONT)

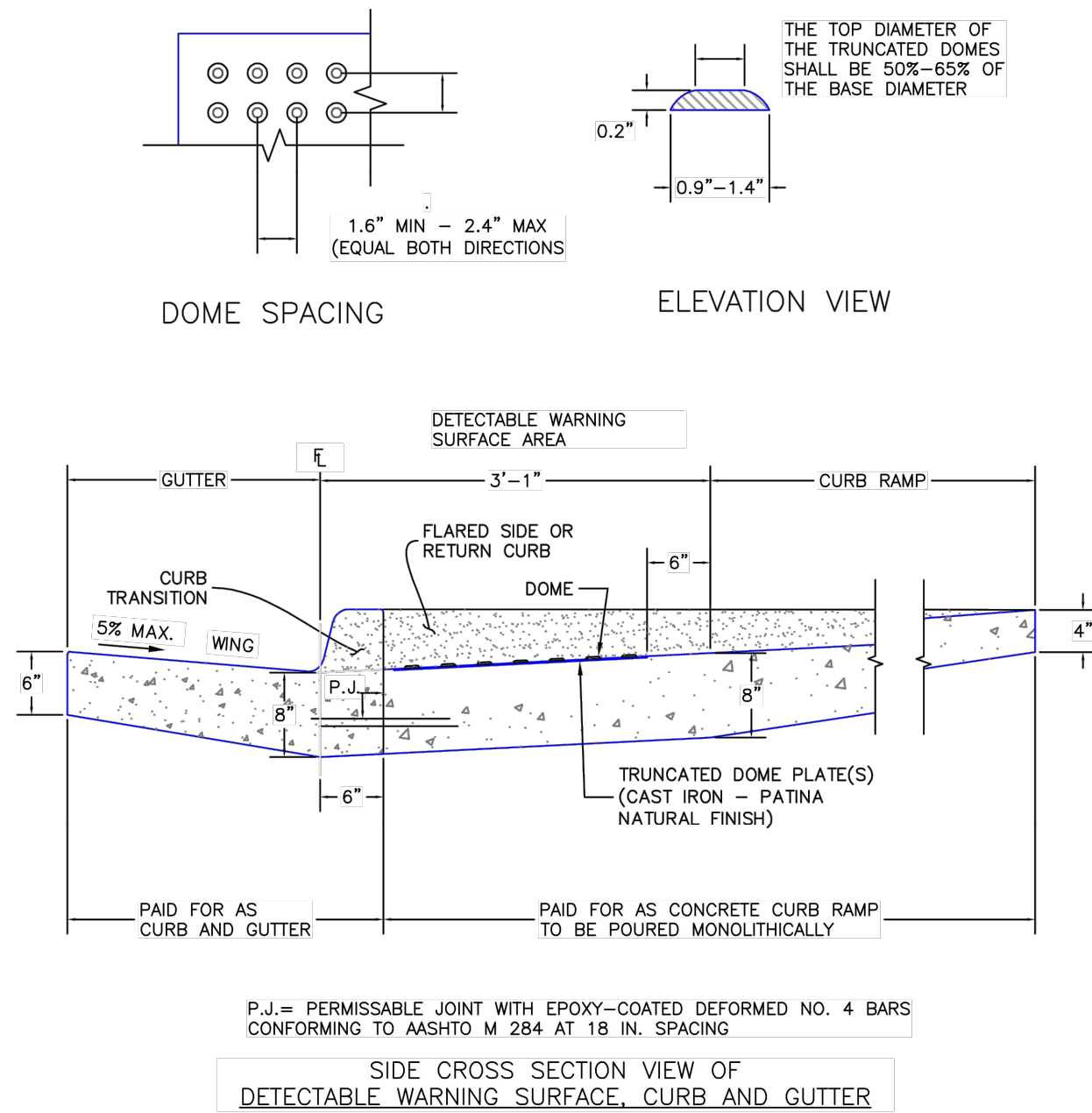


TYPICAL WALKOUT LOT (W/O) OR GARDEN (G)
N.T.S.

TYPICAL TRANSITION LOT (T)
N.T.S.

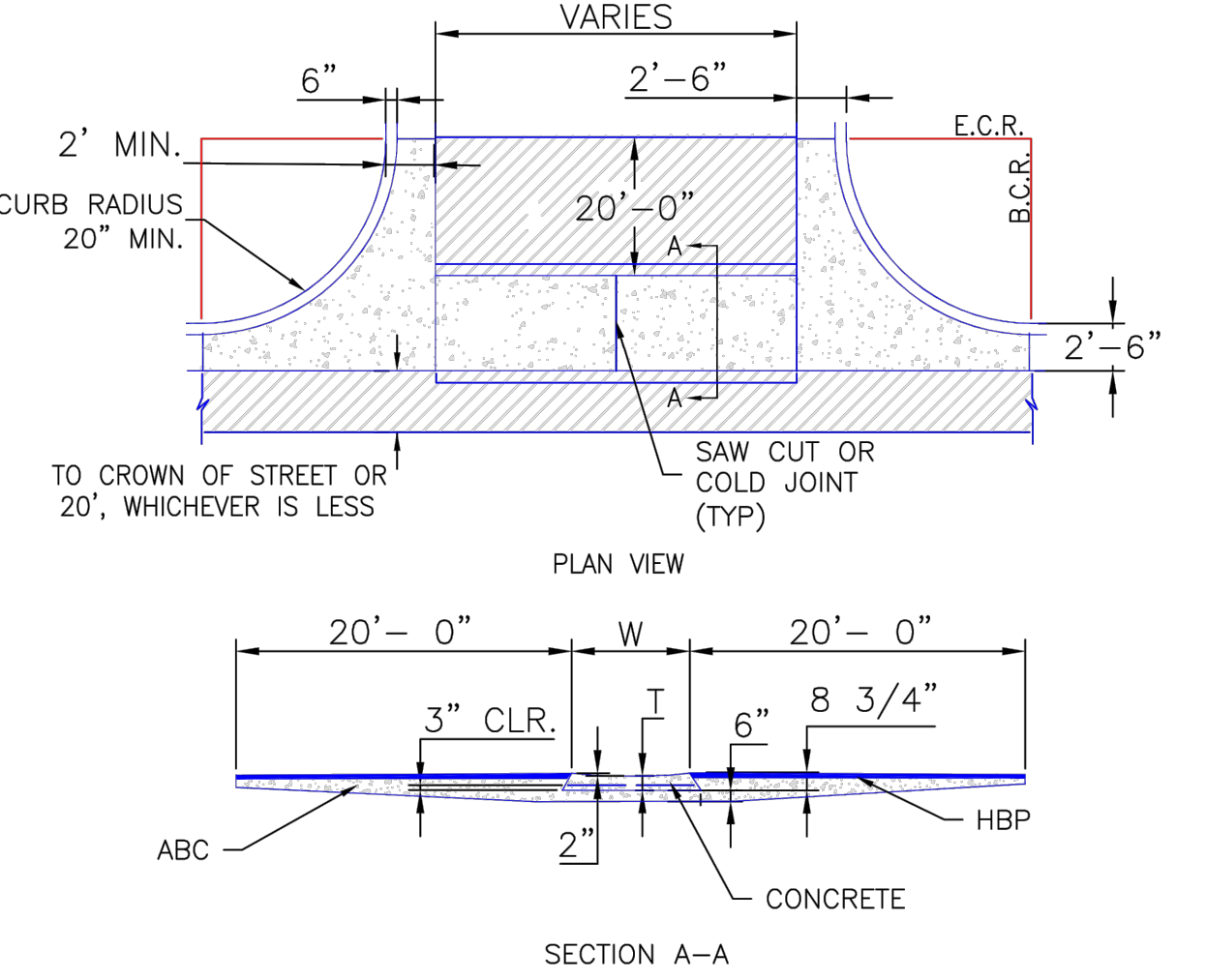
SIDE LOT SWALES ARE REQUIRED ON THE DOWNHILL LOTS, EITHER BY BUILDER OR GRADING CONTRACTOR.

TRUNCATED DOME DETAILS



Detectable Warning Surface Details
Standard Drawing

DATE APPROVED: JENNIFER E. IRVINE
REVISION DATE: 6/23/20
FILE NAME: SD_2-42



NOTES

1. W - WIDTH SHALL BE 6' FOR LOCAL, 8' FOR COLLECTORS, AND 10' FOR ARTERIAL ROADS.
2. T - SQUARED-OFF RETURN TO BE POURED MONOLITHICALLY, 8" PCC FOR LOCAL ROADS, 9" FOR COLLECTORS WITH 6x6 - 4.4 W.W.F. OR #4 REINFORCING BAR @ 18" EACH WAY.
3. [Hatched Area] = 3" MINIMUM ASPHALT DEPTH (2 LIFTS).
4. DESIGN TO SPECIFY ELEVATIONS AT PI AND PCR.

SCALE: NOT TO SCALE

8/11/11	Typical Cross Pan Layout Detail	PCD No. SF
DATE APPROVED: André P. Brackin	Standard Drawing	
REVISION DATE: 12/8/15	FILE NAME: SD_2-26	



RETREAT AT PRAIRIE RIDGE FILING NO. 4
CONSTRUCTION PLANS
STREET SECTIONS / GEC NOTES

DESIGNED BY	PRA	SCALE	DATE	05/09/2025
DRAWN BY	KES	(H) 1"= N/A	SHEET	2 OF 18
CHECKED BY	(V) 1"= N/A	JOB NO.	1305.40	

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BMP PHASING

- (SF) (INSTALLED PRIOR TO INITIAL PHASE WITH CONTINUED MAINTENANCE DURING INTERIM AND VERTICAL PHASES)
- (VTC) (INSTALLED PRIOR TO INITIAL PHASE WITH CONTINUED MAINTENANCE THROUGH INTERIM AND VERTICAL PHASES)
- (SCL) (INSTALLED DURING INITIAL PHASE WITH CONTINUED MAINTENANCE THROUGH INTERIM AND VERTICAL PHASES)
- (IP) (INSTALLED DURING INTERIM PHASE WITH CONTINUED MAINTENANCE THROUGH VERTICAL PHASE)
- (ECB) (INSTALLED DURING INTERIM PHASE WITH CONTINUED MAINTENANCE THROUGH VERTICAL PHASE)

LEGEND

LIMITS OF CONSTRUCTION/DISTURBANCE

PROPOSED CONTOUR-10

PROPOSED CONTOUR-2

EXISTING CONTOUR-10

EXISTING CONTOUR-2

CUT/FILL LINE

SILT FENCE

SILT FENCE

EROSION CONTROL BLANKET

VEHICLE TRACKING CONTROL

SEDIMENT CONTROL LOGS

INLET PROTECTION

TEMPORARY SEDIMENT BASIN

EXIST. DIRECTION OF FLOW

DIRECTION OF FLOW

HIGH POINT

LOW POINT

SEEDING/MULCHING NOTE:
SEEDING AND MULCHING SHALL BE INSTALLED INSIDE ENTIRE LIMITS OF GRADING EXCLUDING ROADWAY SURFACES, SIDEWALK AREAS AND RIP-RAP AREAS.

NOTE:
NO BATCH PLANTS ARE PROPOSED ON-SITE.

INSTALL VTC, CONSTRUCTION FENCING, BARRICADES AND SIGNAGE AS APPROPRIATE AT ACCESS POINT.

ALL AREAS TO BE VEGETATED WITH SEEDING SHOULD ALSO BE TEMPORARILY STABILIZED VIA SURFACE ROUGHENING OR SOME OTHER MEANS.

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DATE

REVIEW:

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MARC A. WHORTON, COLORADO P.E. #37155

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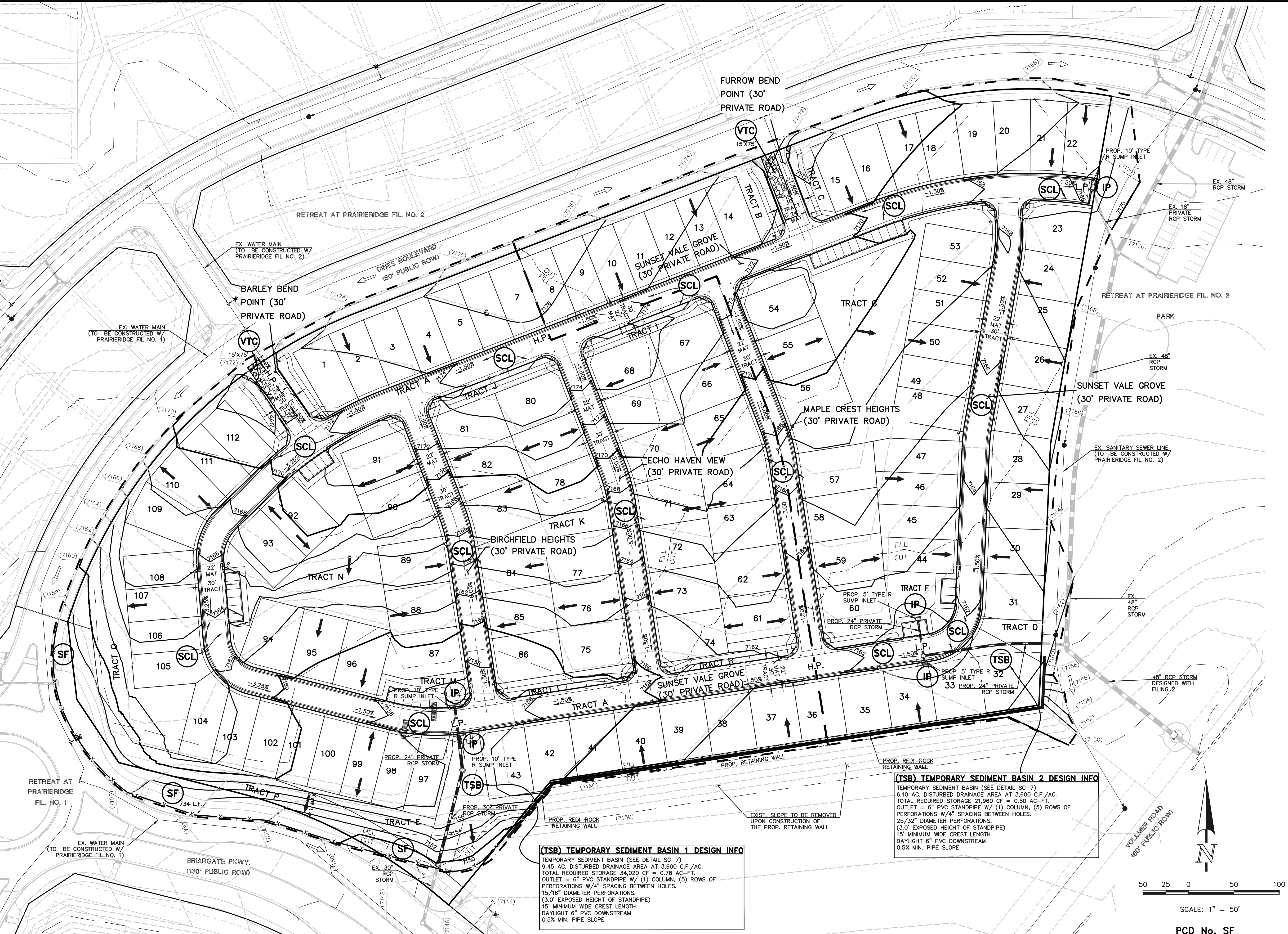
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CONSTRUCTION PLANS

GRADING AND EROSION CONTROL PLAN

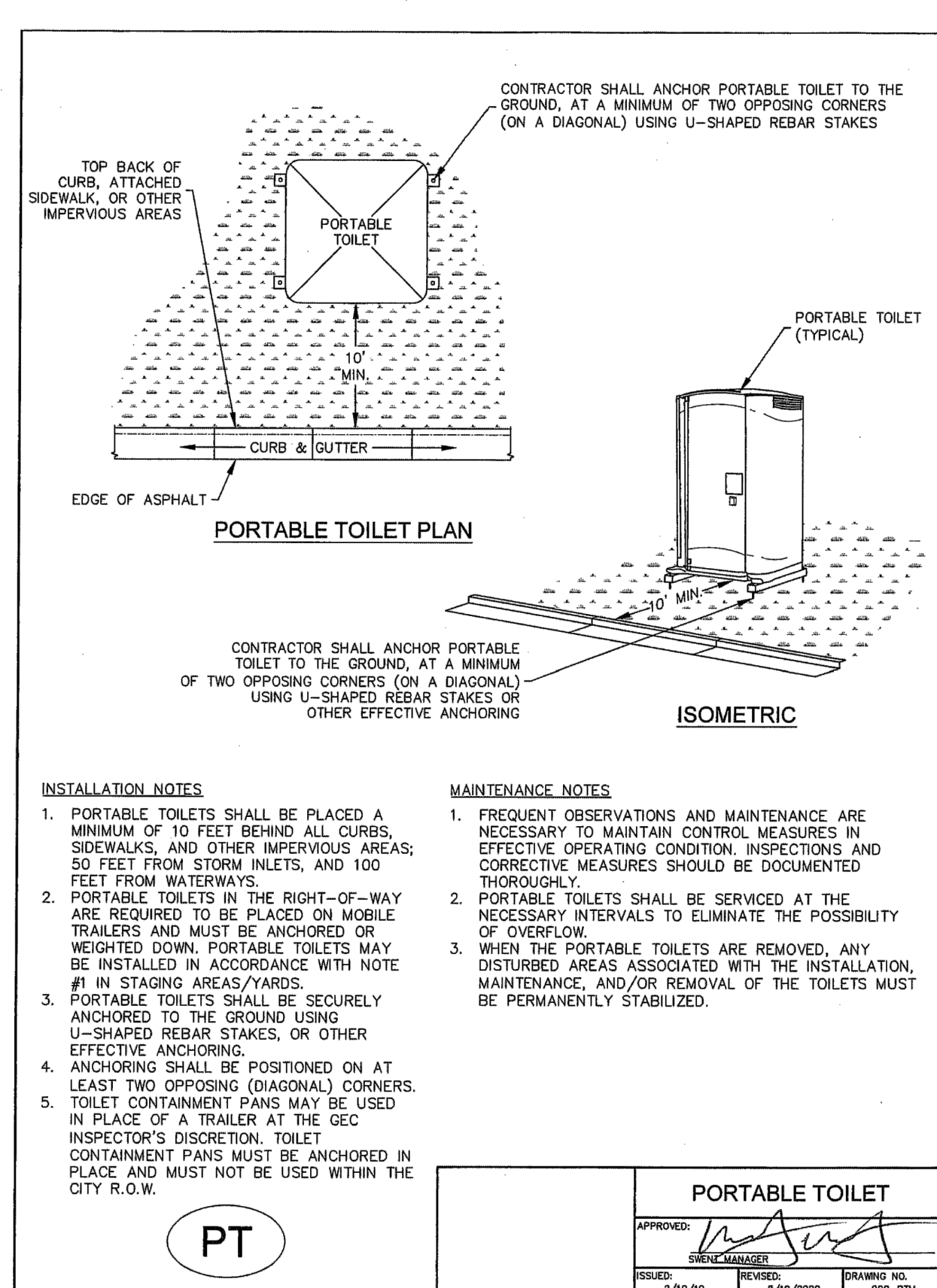
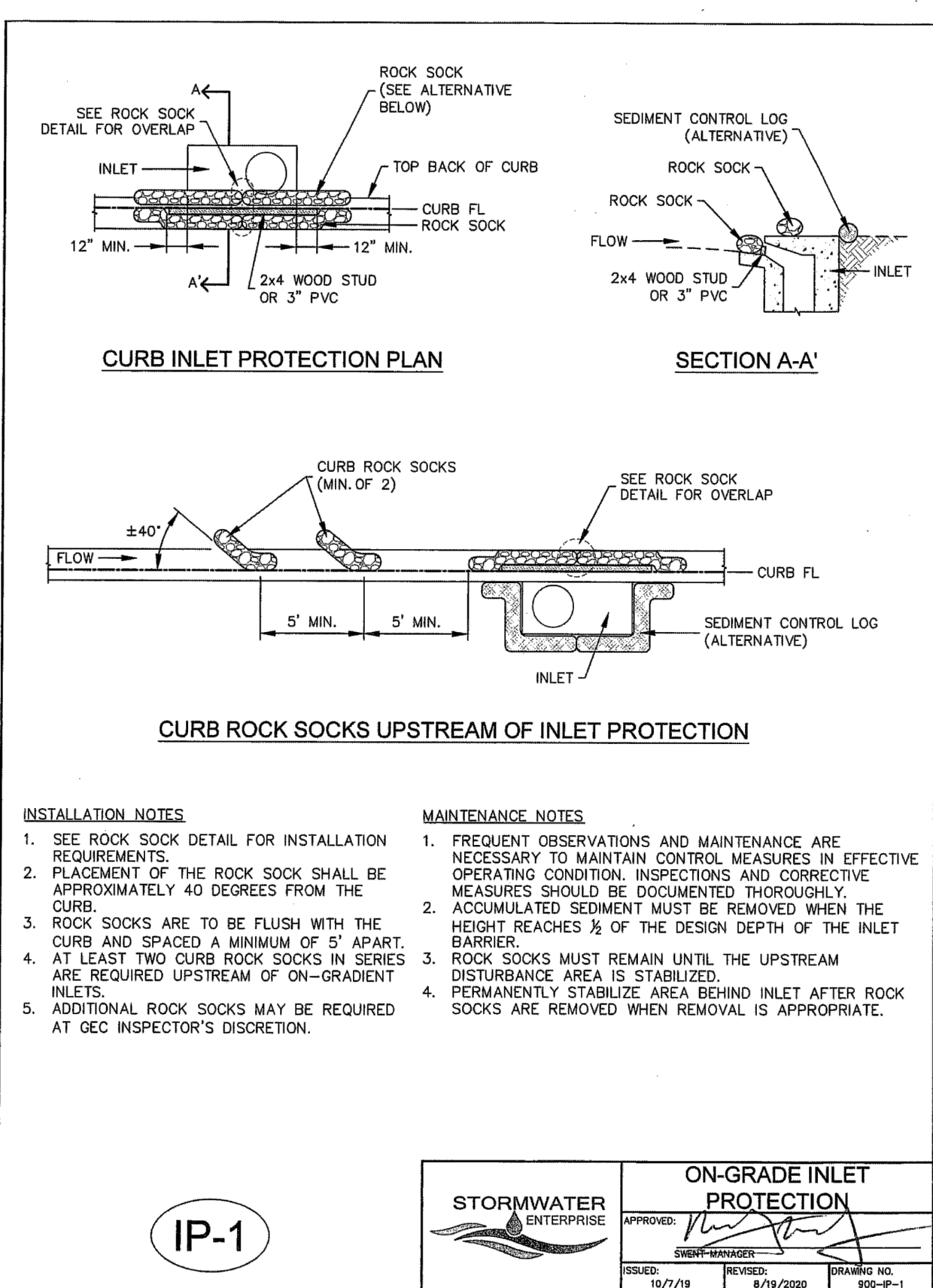
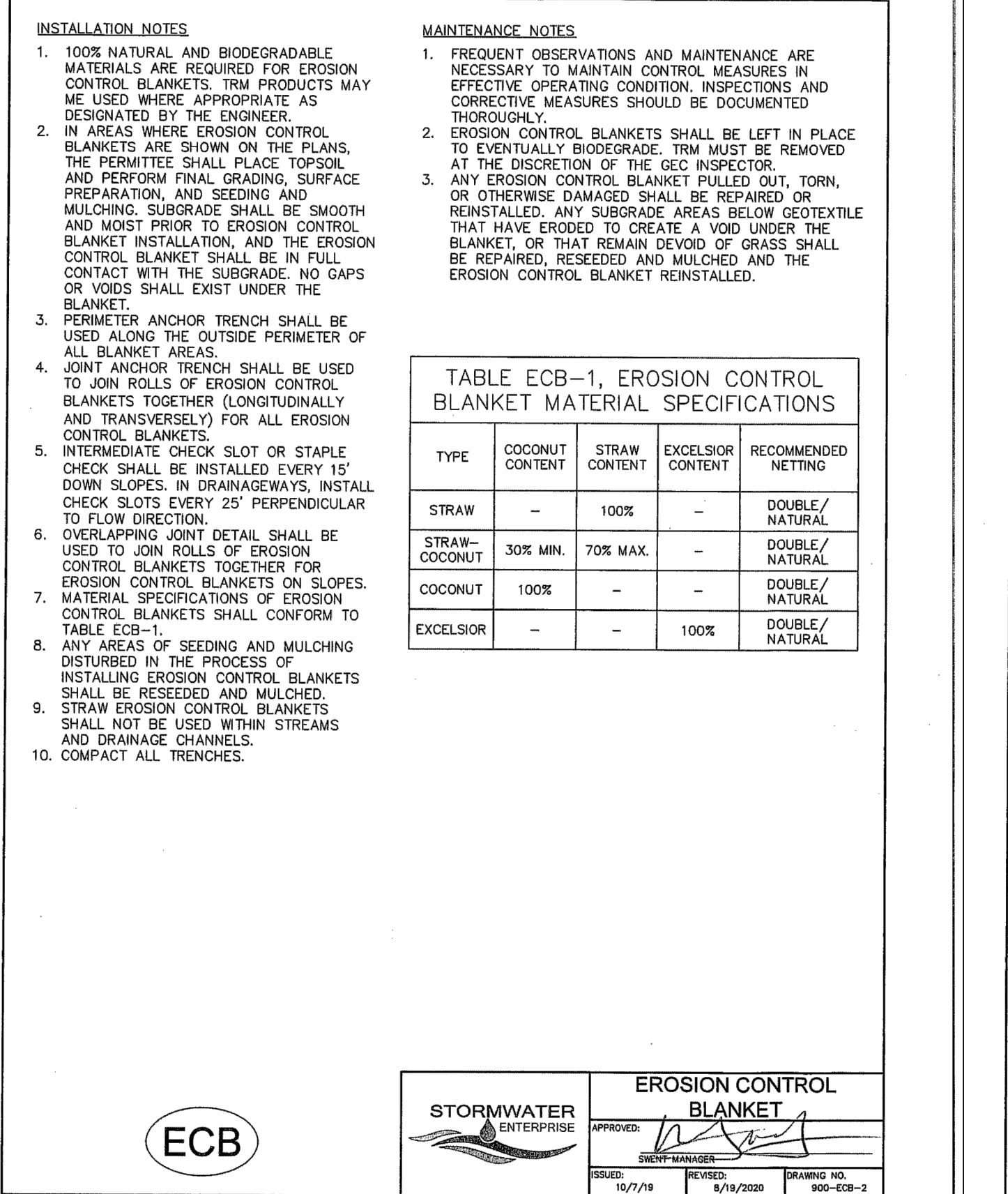
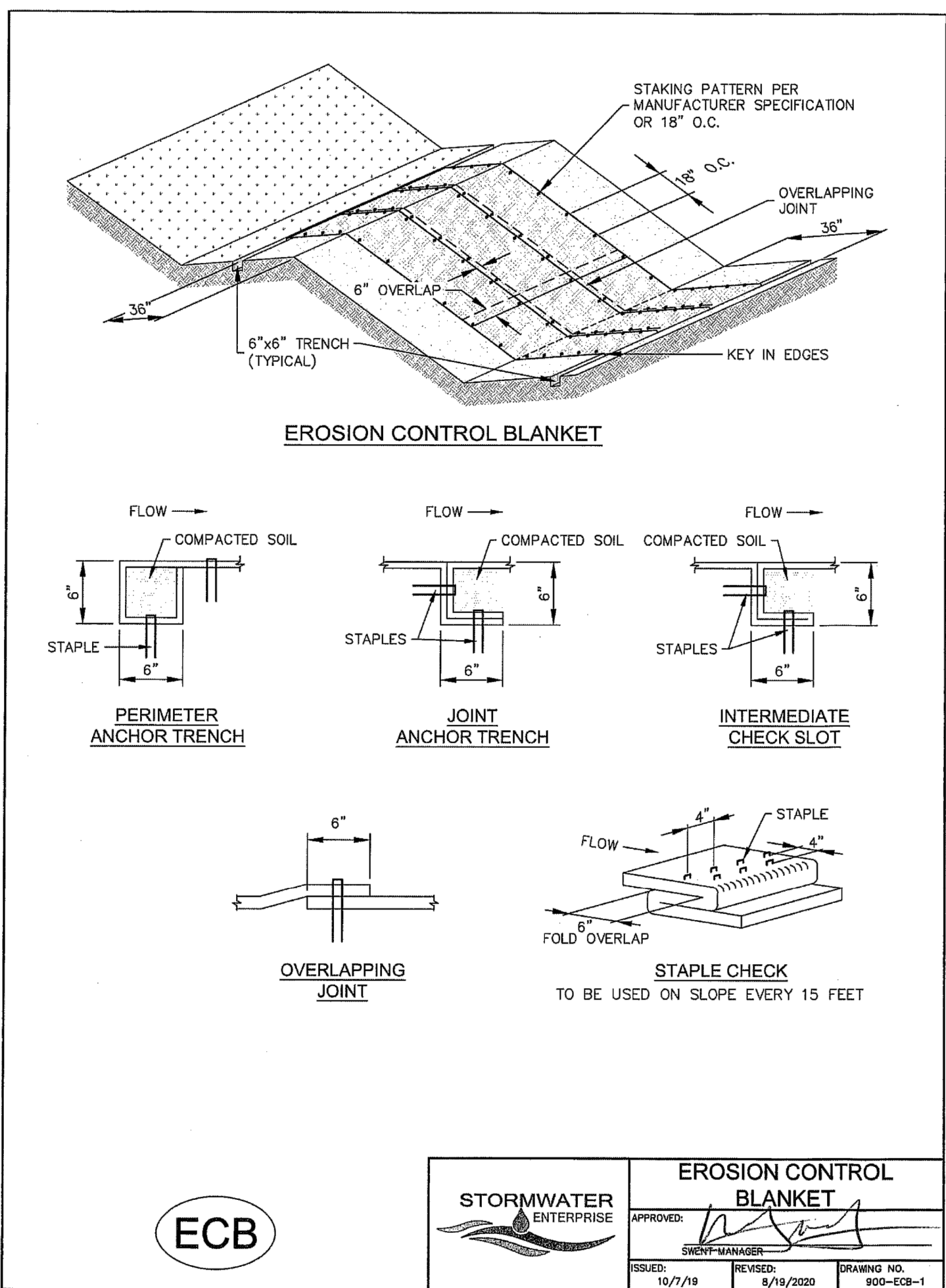
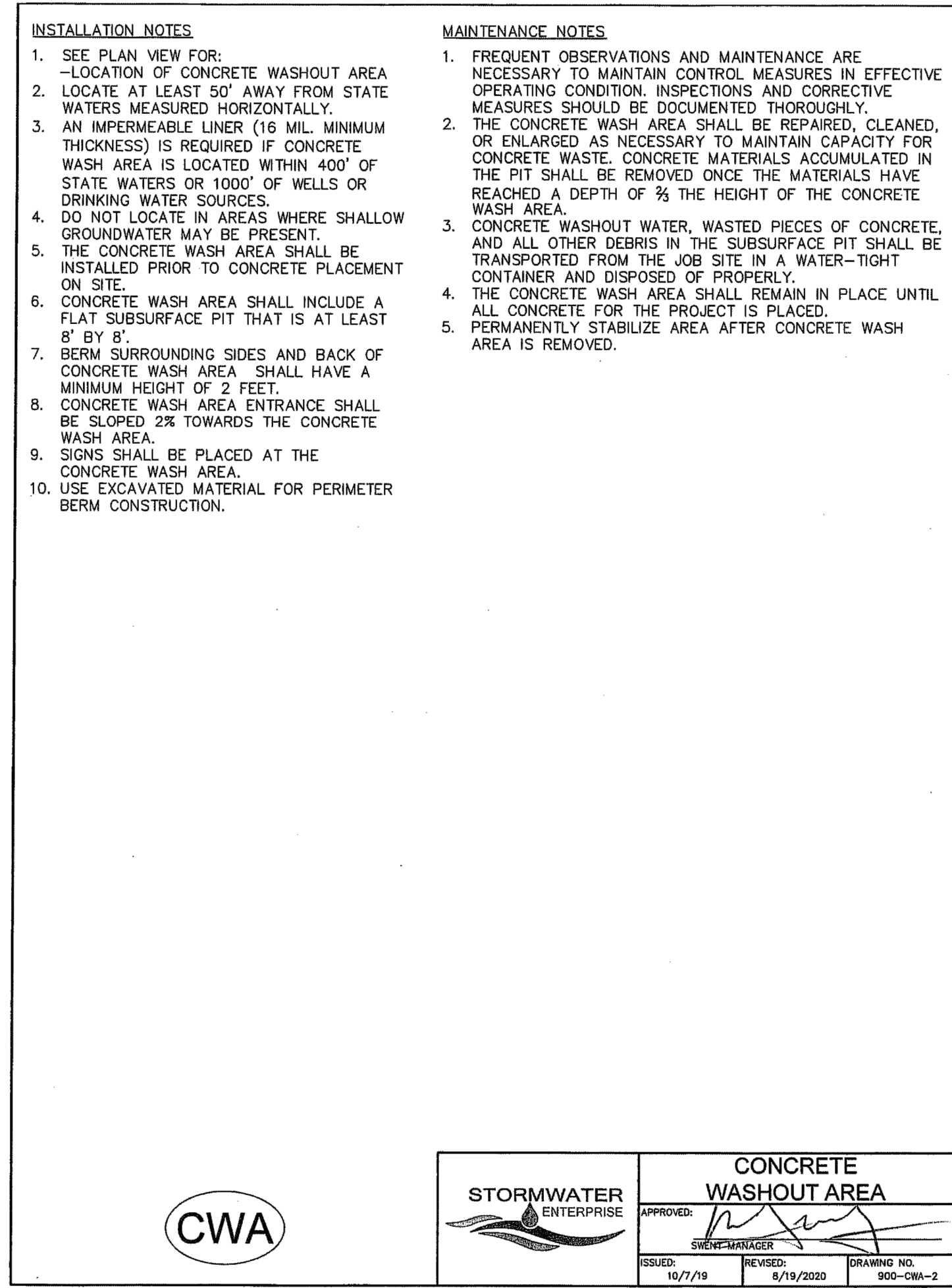
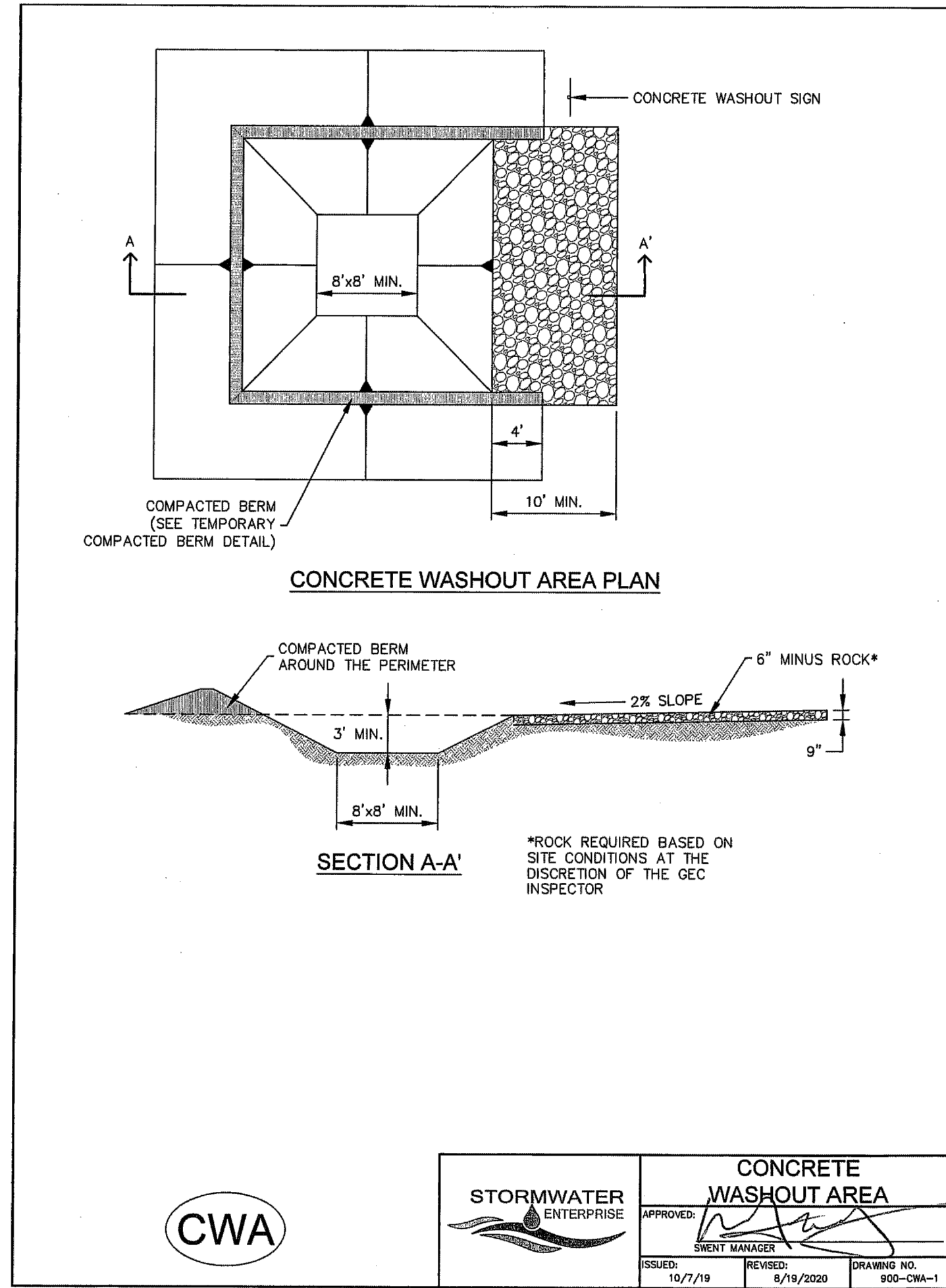
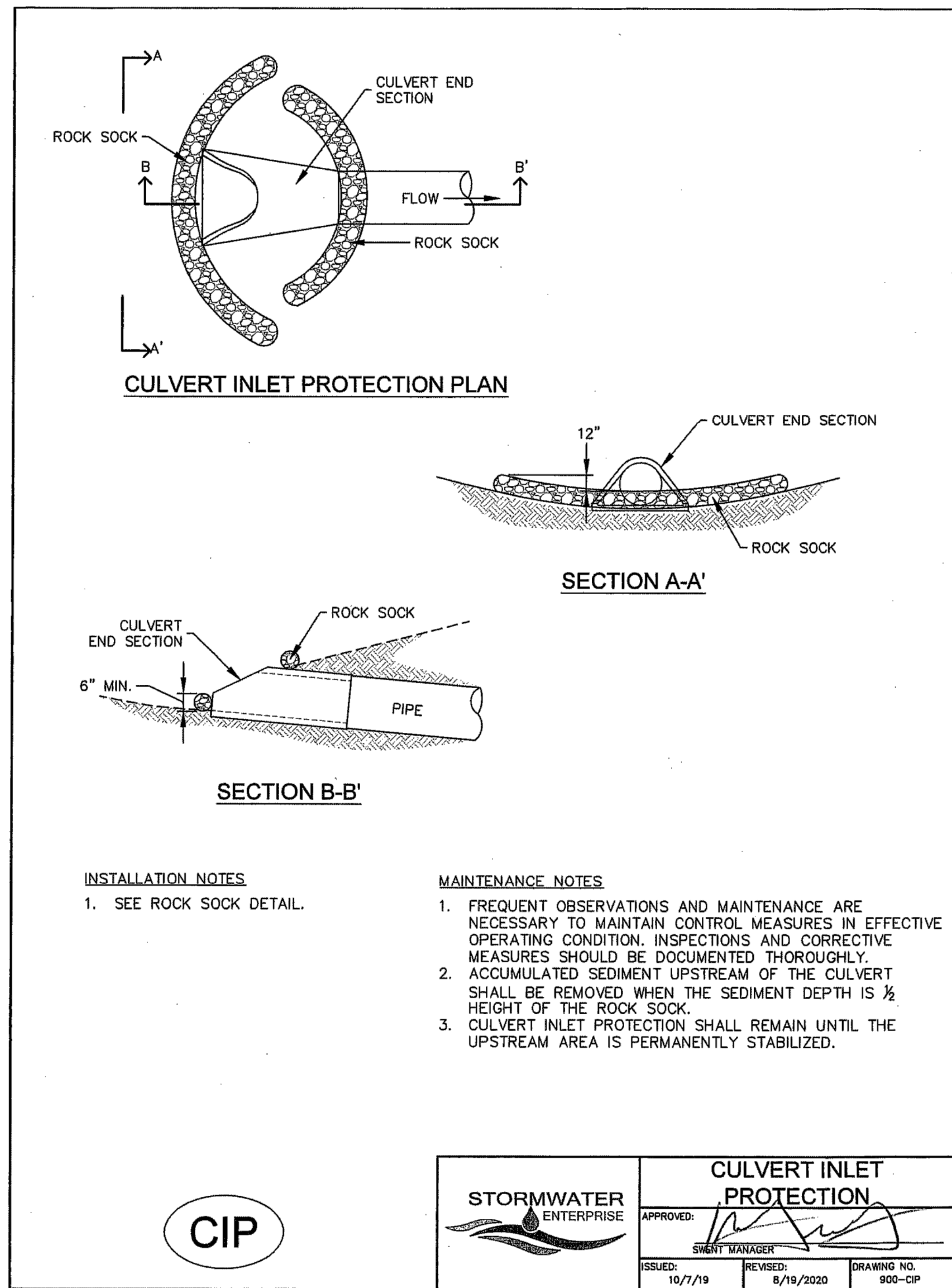
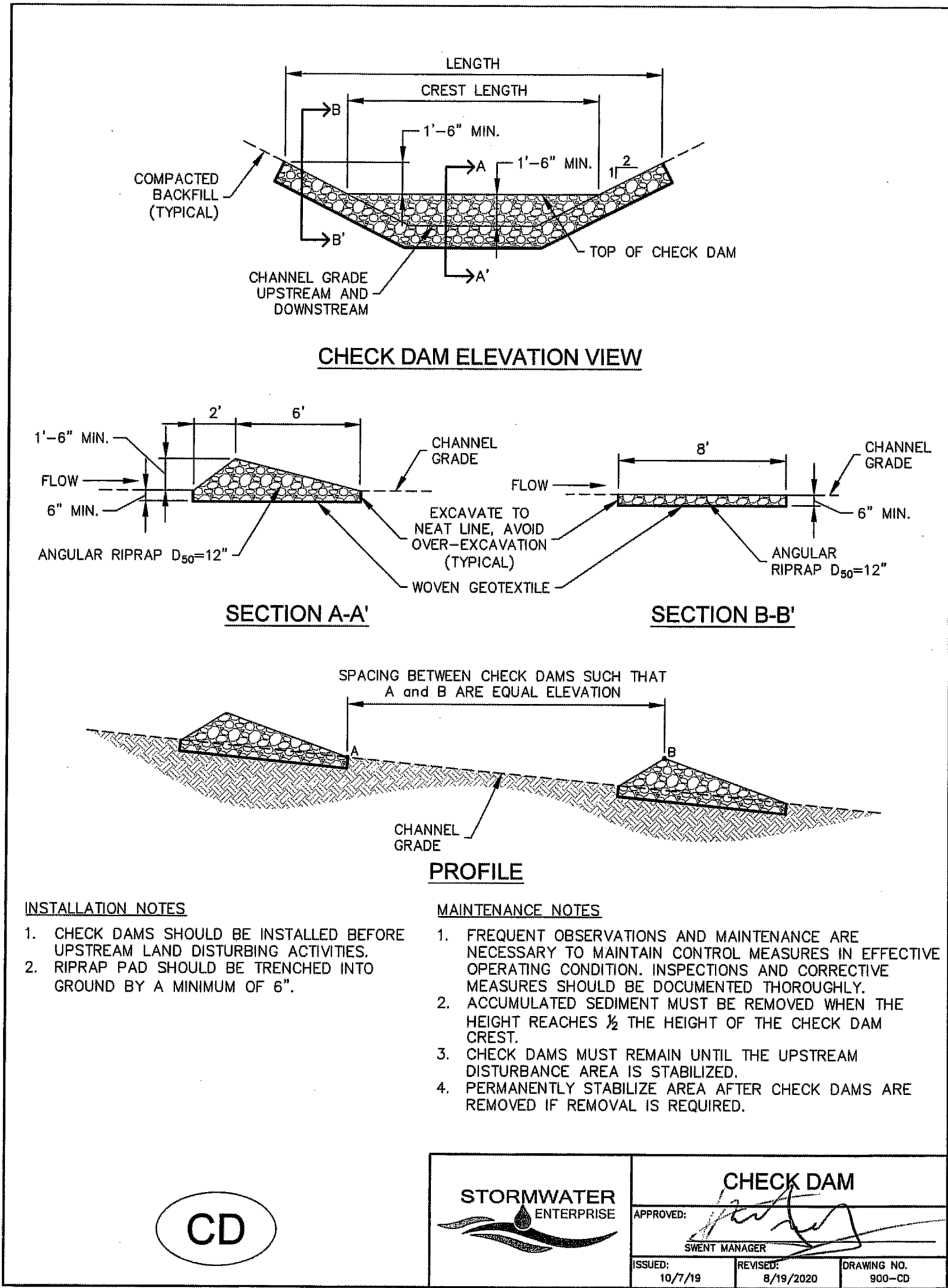
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CHECKED BY		(V) 1"= N/A	JOB NO.	1305.40

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SCALE: 1" = 50'

PCD No. SF



PCD No. SF

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CONSTRUCTION PLANS
GRADING AND EROSION CONTROL PLAN
DETAILS

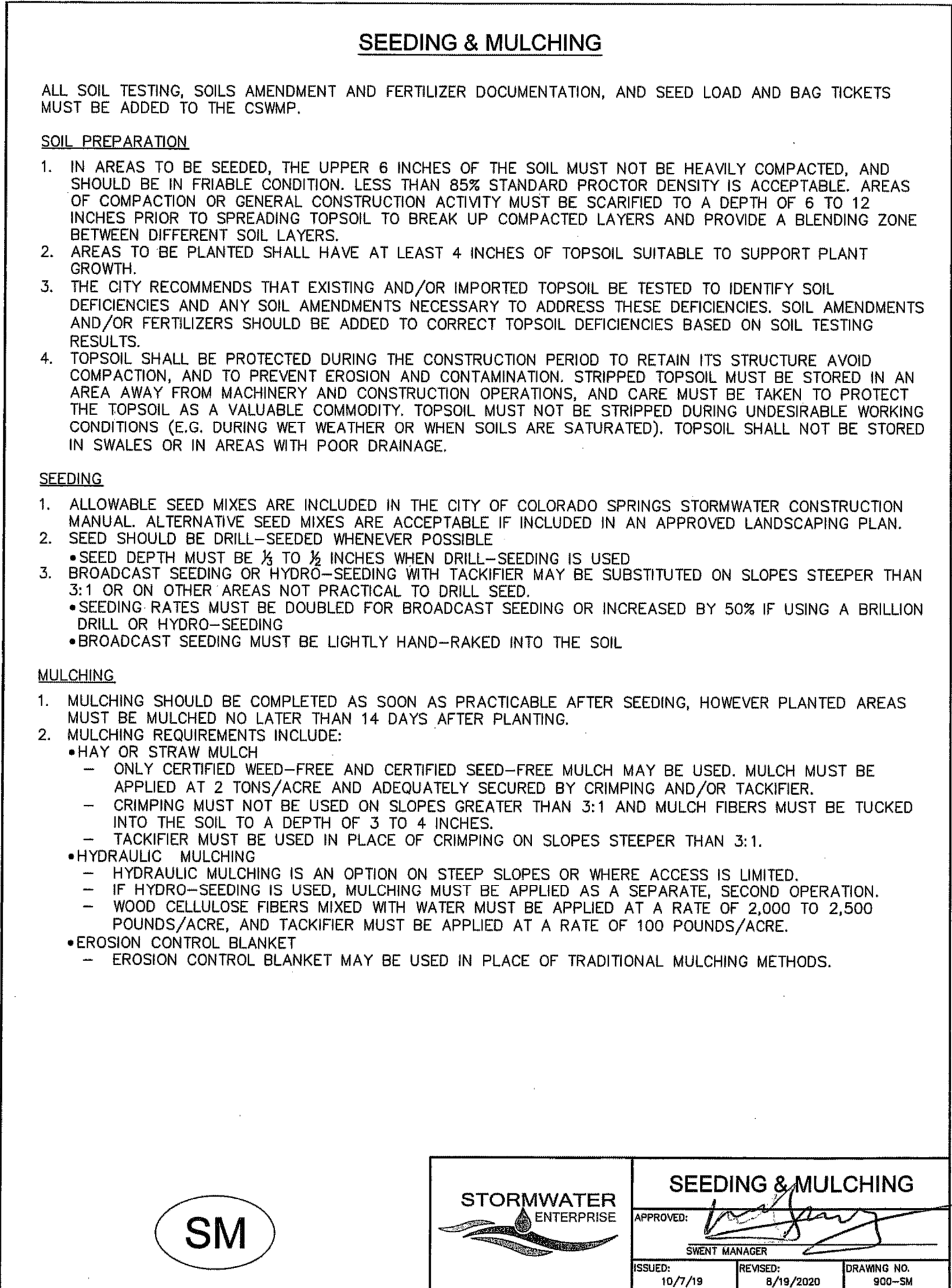
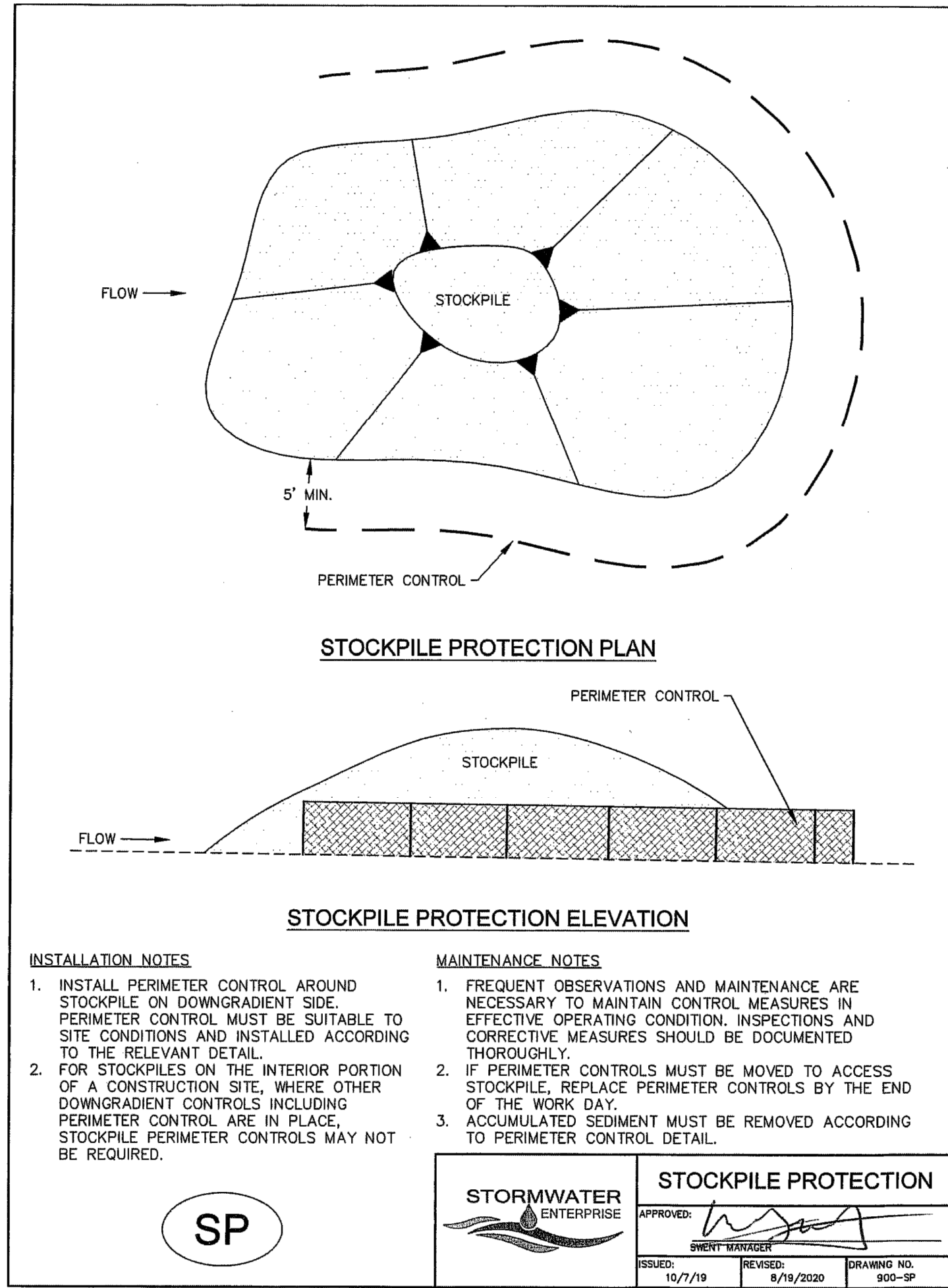
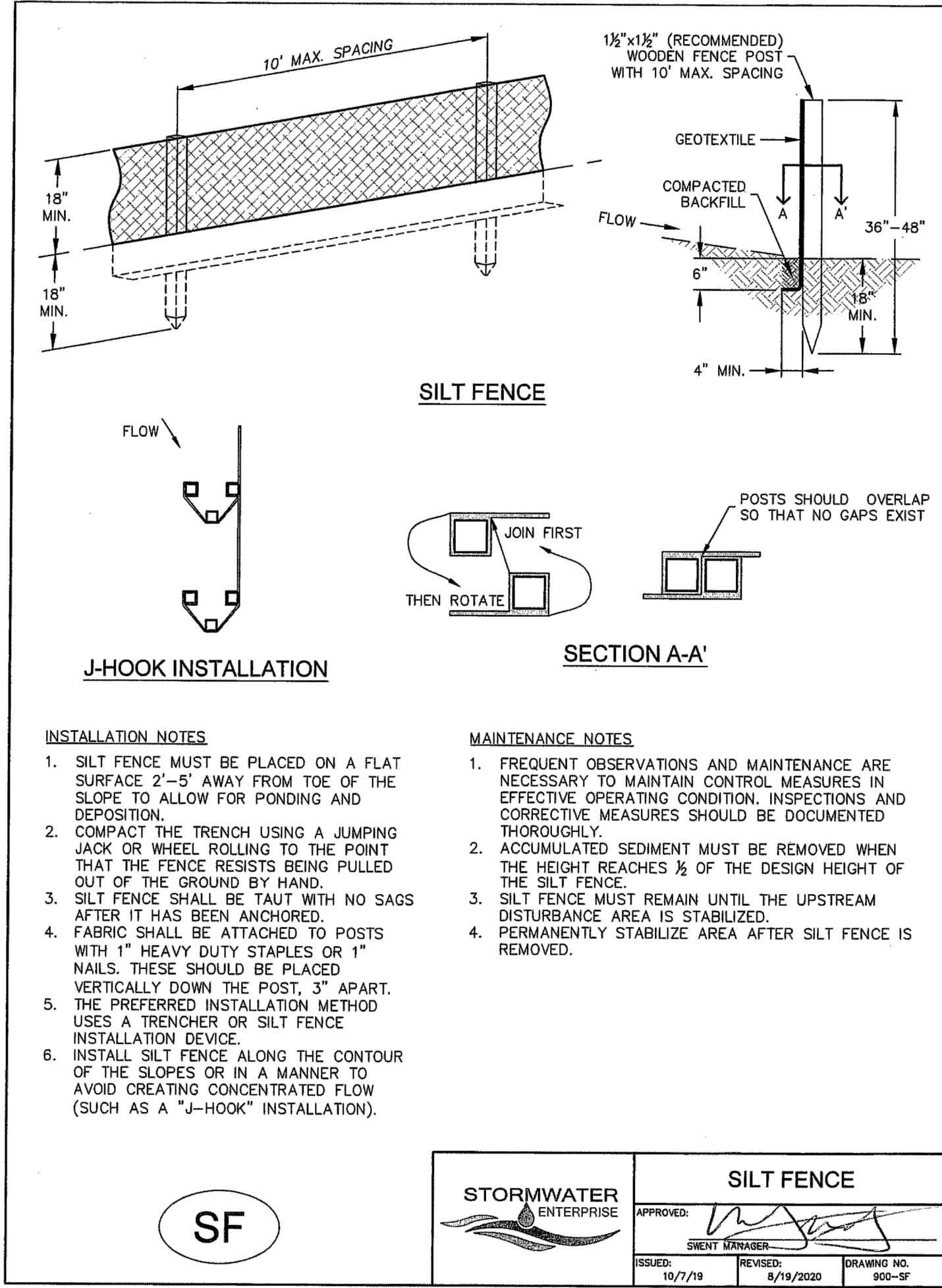
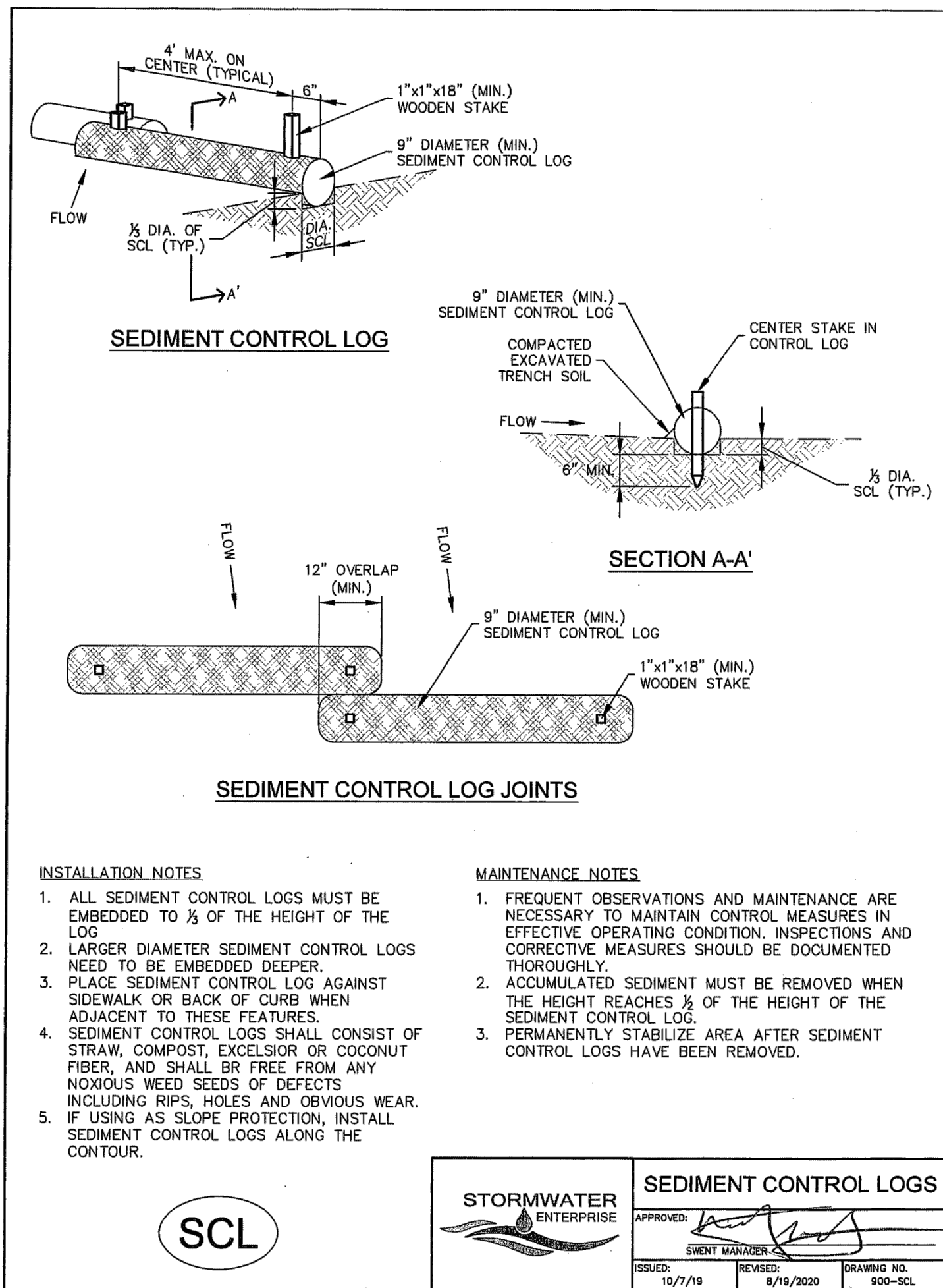
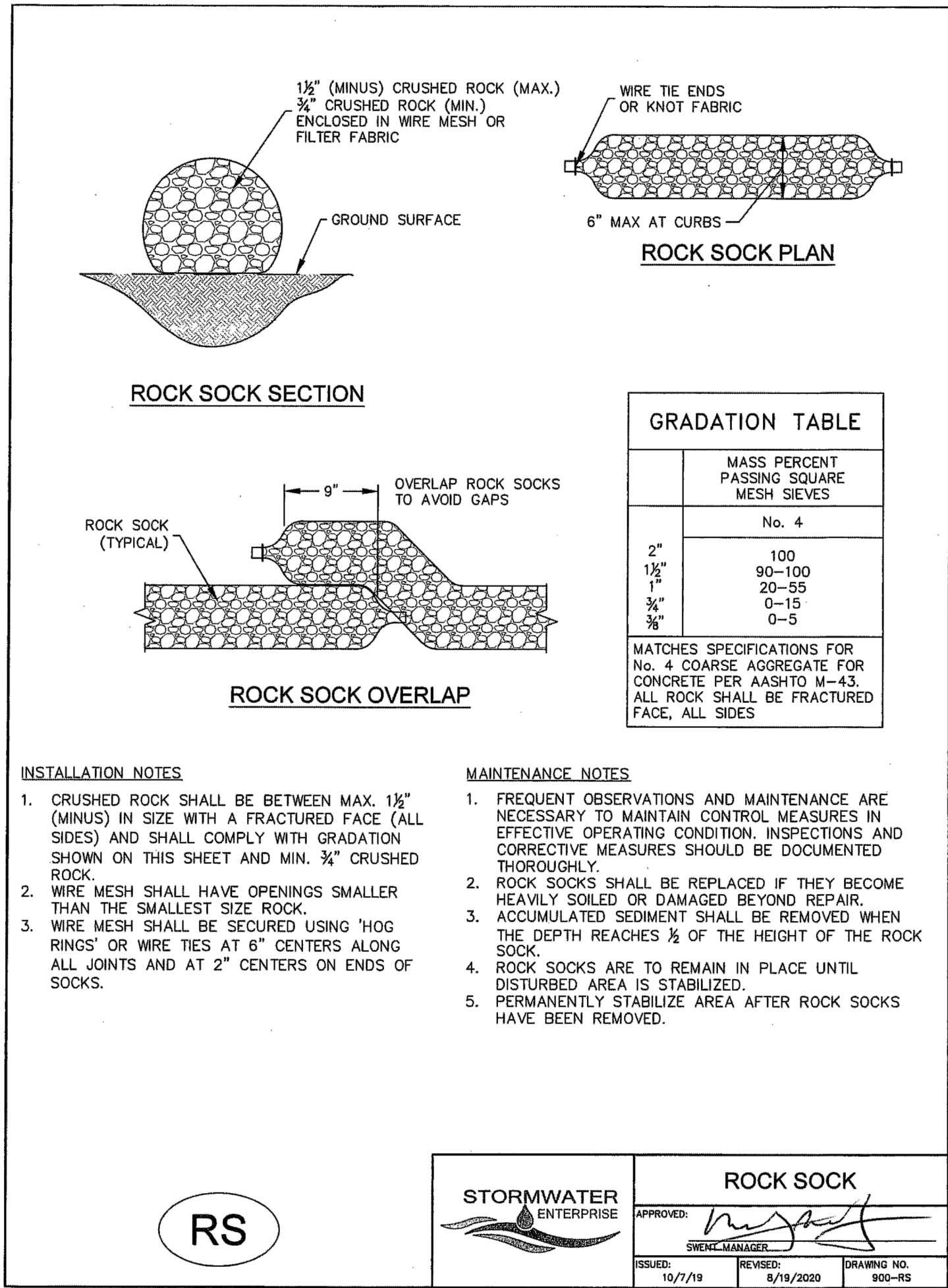
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Chapter 5
Native Vegetation Requirements and Guidelines

Table 5-1. El Paso County Conservation District All-Purpose Mix for Upland, Transition and Permanent Control Measure Areas

Common Name	Scientific Name	Growth Season / Form	% of Mix	Pounds PLS		
				Irrigated broadcast Irrigated hydroseeded	Non-irrigated broadcast Non-irrigated hydroseeded Irrigated drilled	Non-irrigated drilled
Bluestem, big	<i>Andropogon gerardii</i>	Warm, sod	20	4.4	2.2	1.1
Gramma, blue	<i>Bouteloua gracilis</i>	Warm, bunch	10	0.5	0.25	0.13
Green needlegrass ²	<i>Nassella viridula</i>	Cool, bunch	10	2	1	0.5
Wheatgrass, western ²	<i>Pascopyrum smithii</i>	Cool, sod	20	6.4	3.2	1.6
Gramma, sideoats	<i>Bouteloua curtipendula</i>	Warm, bunch	10	2	1	0.5
Switchgrass ²	<i>Panicum virgatum</i>	Warm, bunch/sod	10	0.8	0.4	0.2
Prairie sandreed	<i>Calamovilfa longifolia</i>	Warm, sod	10	1.2	0.6	0.3
Yellow indiagrass ²	<i>Sorghastrum nutans</i>	Warm, sod	10	2	1	0.5
Seed rate (lbs PLS/acre)				19.3	9.7	4.8

¹For portions of facilities located near or on the bottom or where wet soil conditions occur. Planting of potted nursery stock wetland plants 2-foot on-center is recommended for sites with wetland hydrology.

²Species that will do well in the bottom of pond areas.

City of Colorado Springs
Stormwater Enterprise

5-11

Stormwater Construction Manual
December 2020

Chapter 5
Native Vegetation Requirements and Guidelines

Table 5-2. El Paso County All-Purpose Low Grow Mix for Upland and Transition Areas

Common Name	Scientific Name	Growth Season / Form	% of Mix	Pounds PLS		
				Irrigated broadcast Irrigated hydroseeded	Non-irrigated broadcast Non-irrigated hydroseeded Irrigated drilled	Non-irrigated drilled
Buffalograss	<i>Buchloe dactyloides</i>	Warm, sod	25	9.6	4.8	2.4
Gramma, blue	<i>Bouteloua gracilis</i>	Warm, bunch	20	10.8	5.4	2.7
Gramma, sideoats	<i>Bouteloua curtipendula</i>	Warm, bunch	29	5.6	2.8	1.4
Green needlegrass	<i>Nassella viridula</i>	Cool, bunch	5	3.2	1.6	0.8
Wheatgrass, western	<i>Pascopyrum smithii</i>	Cool, sod	20	12	6	3
Dropsseed, sand	<i>Sporobolus cryptandrus</i>	Warm, bunch	1	0.8	0.4	0.2
Seed rate (lbs PLS/acre)				42	21	10.3

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Stormwater Enterprise

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Stormwater Construction Manual
December 2020

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RETREAT AT PRAIRIE RIDGE FILING NO. 4
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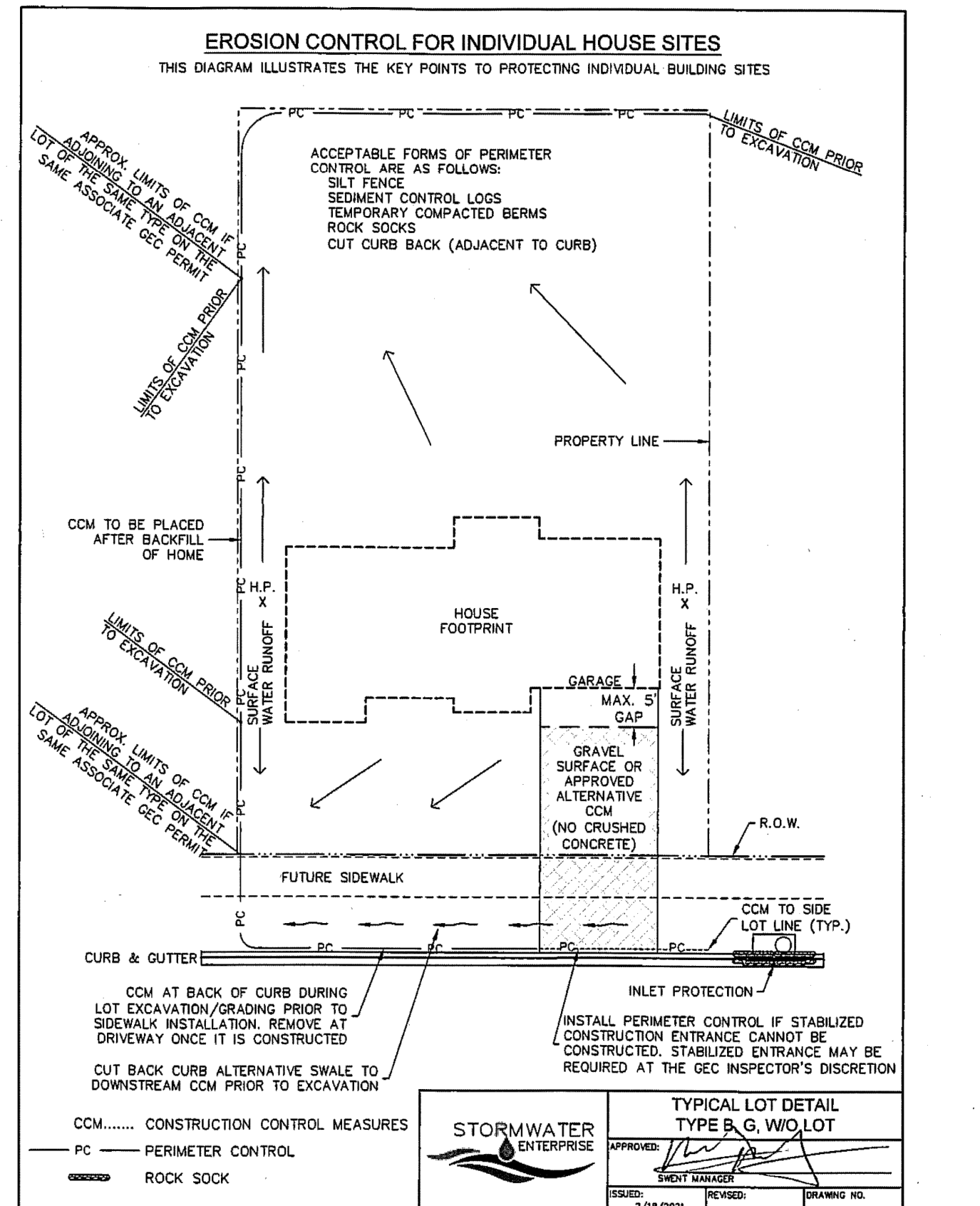
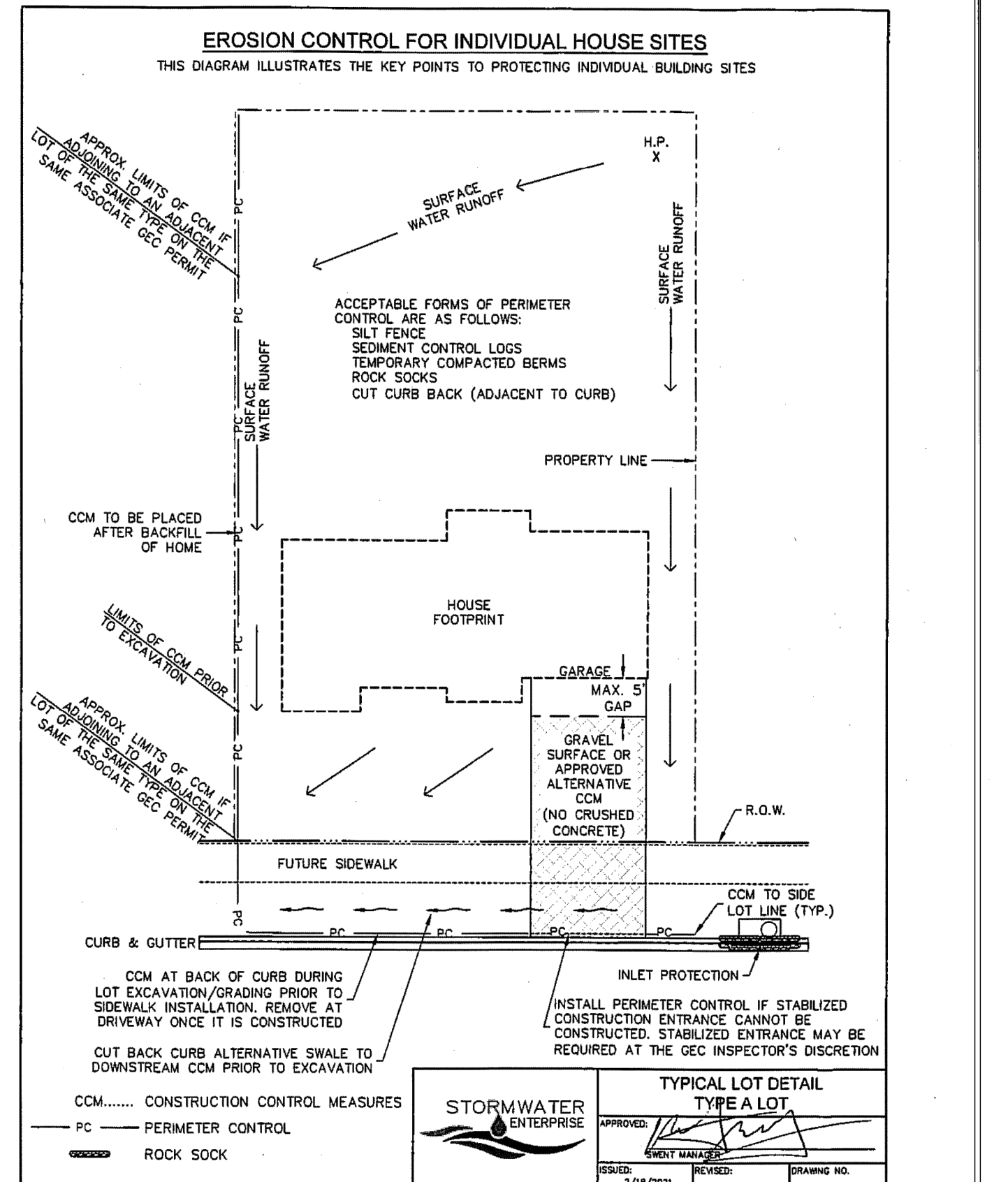
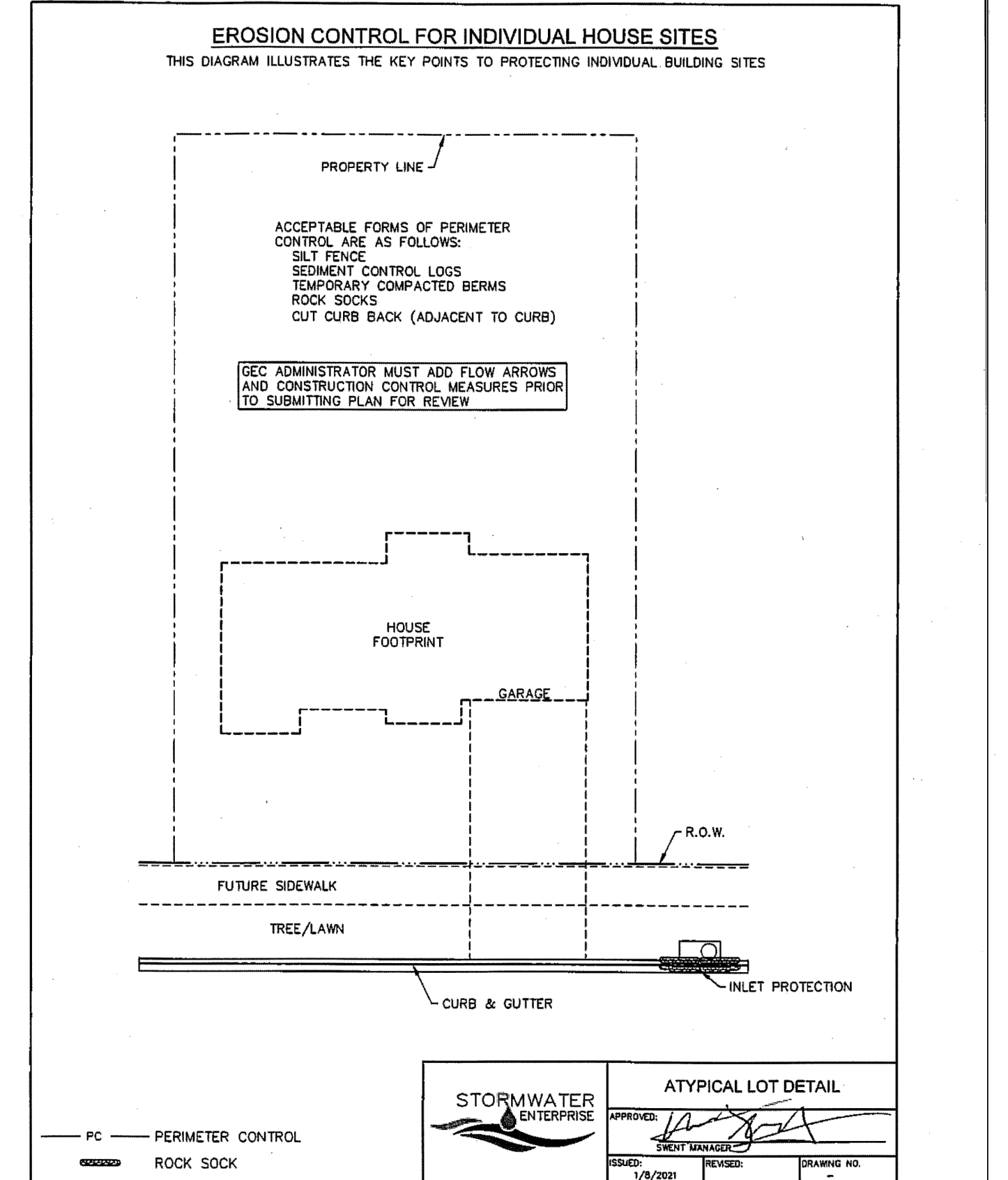
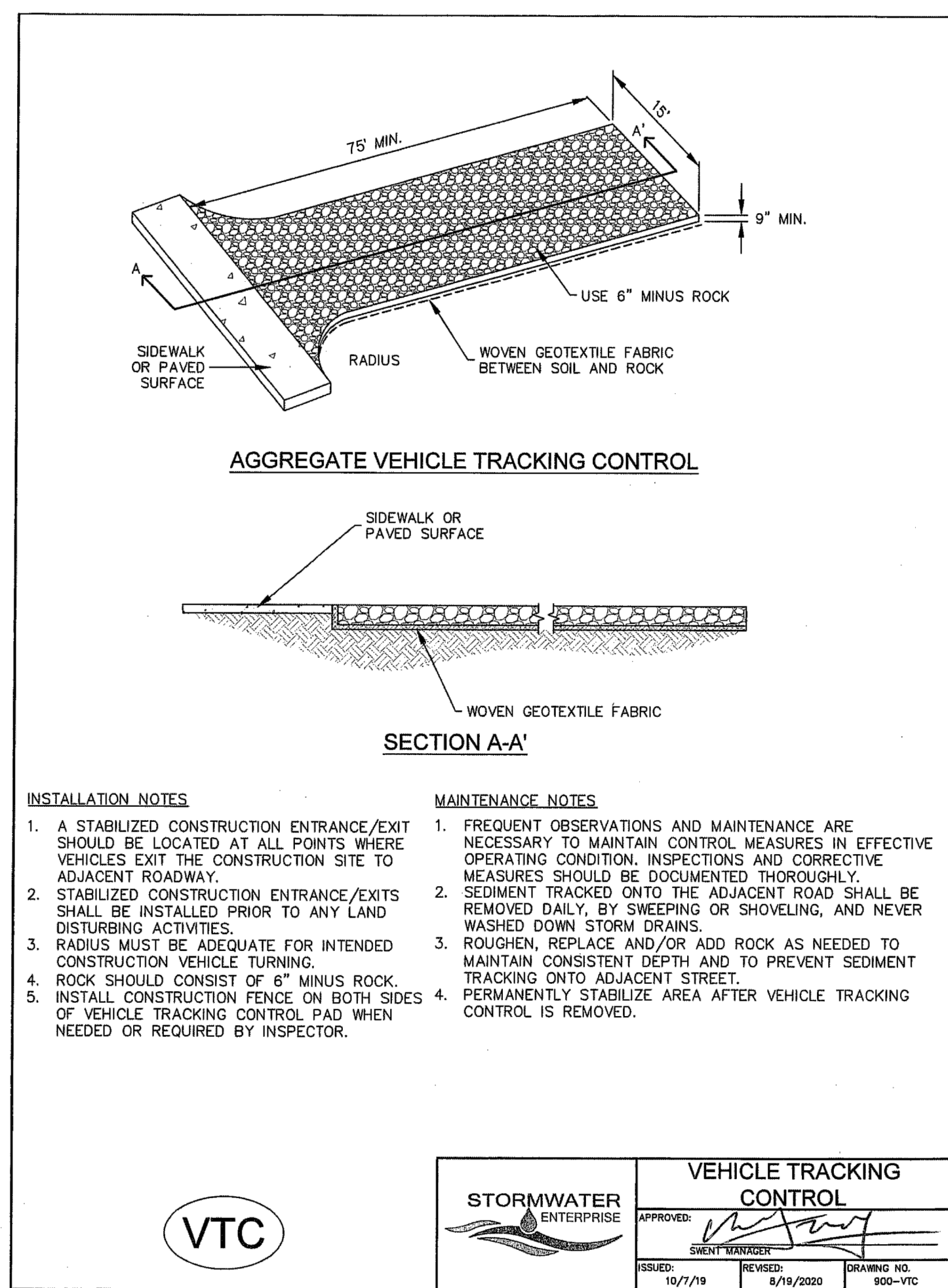
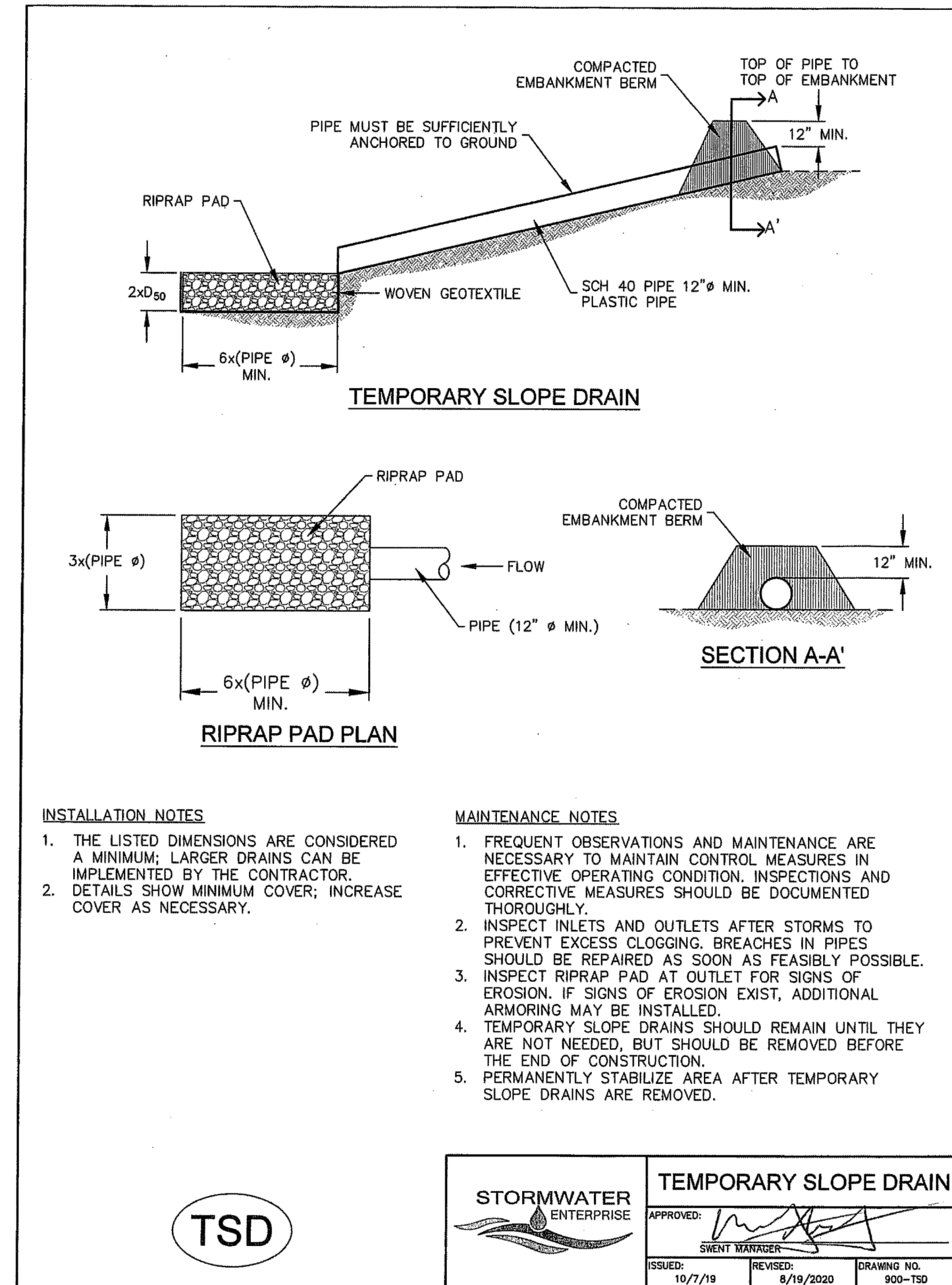
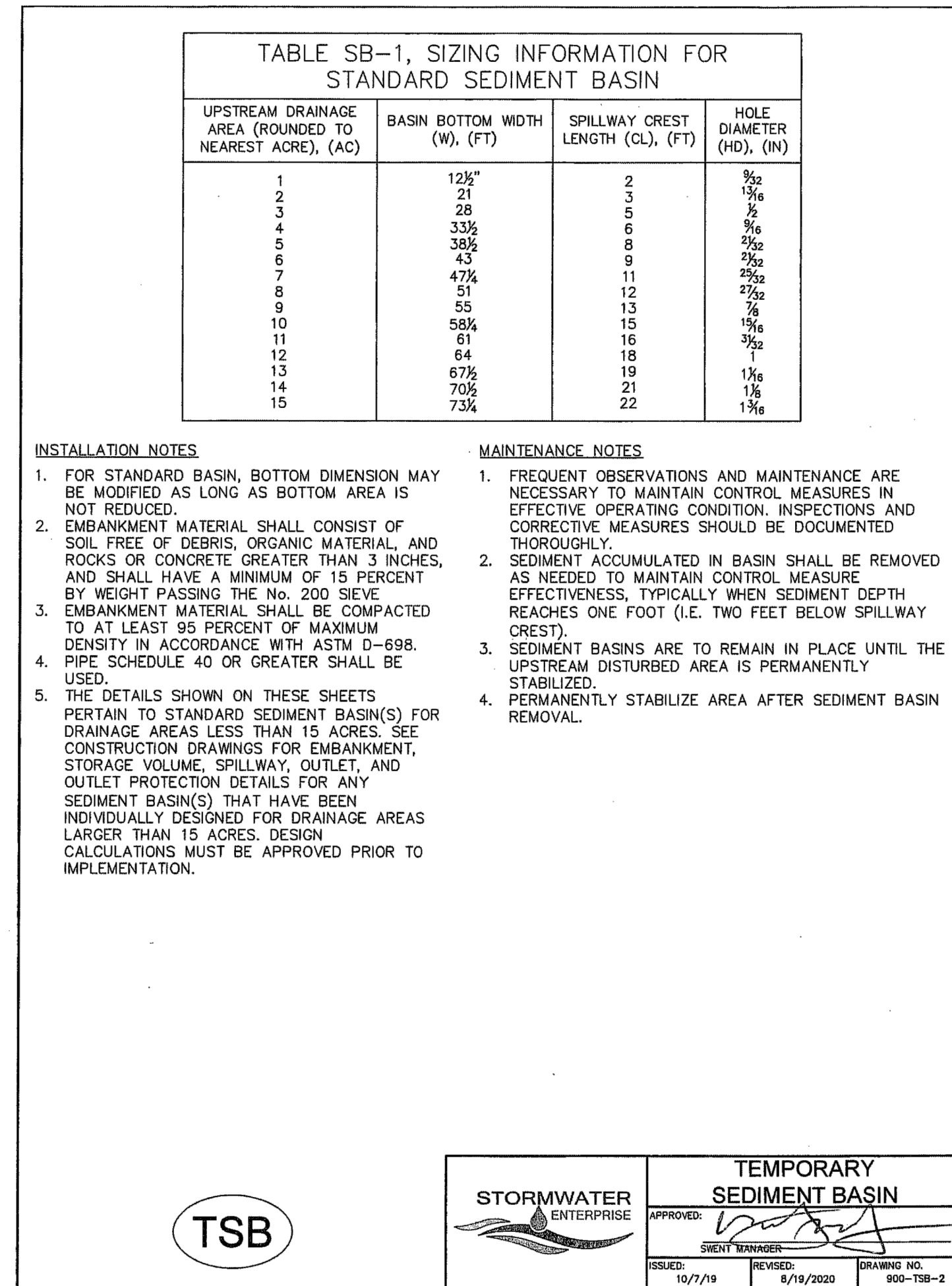
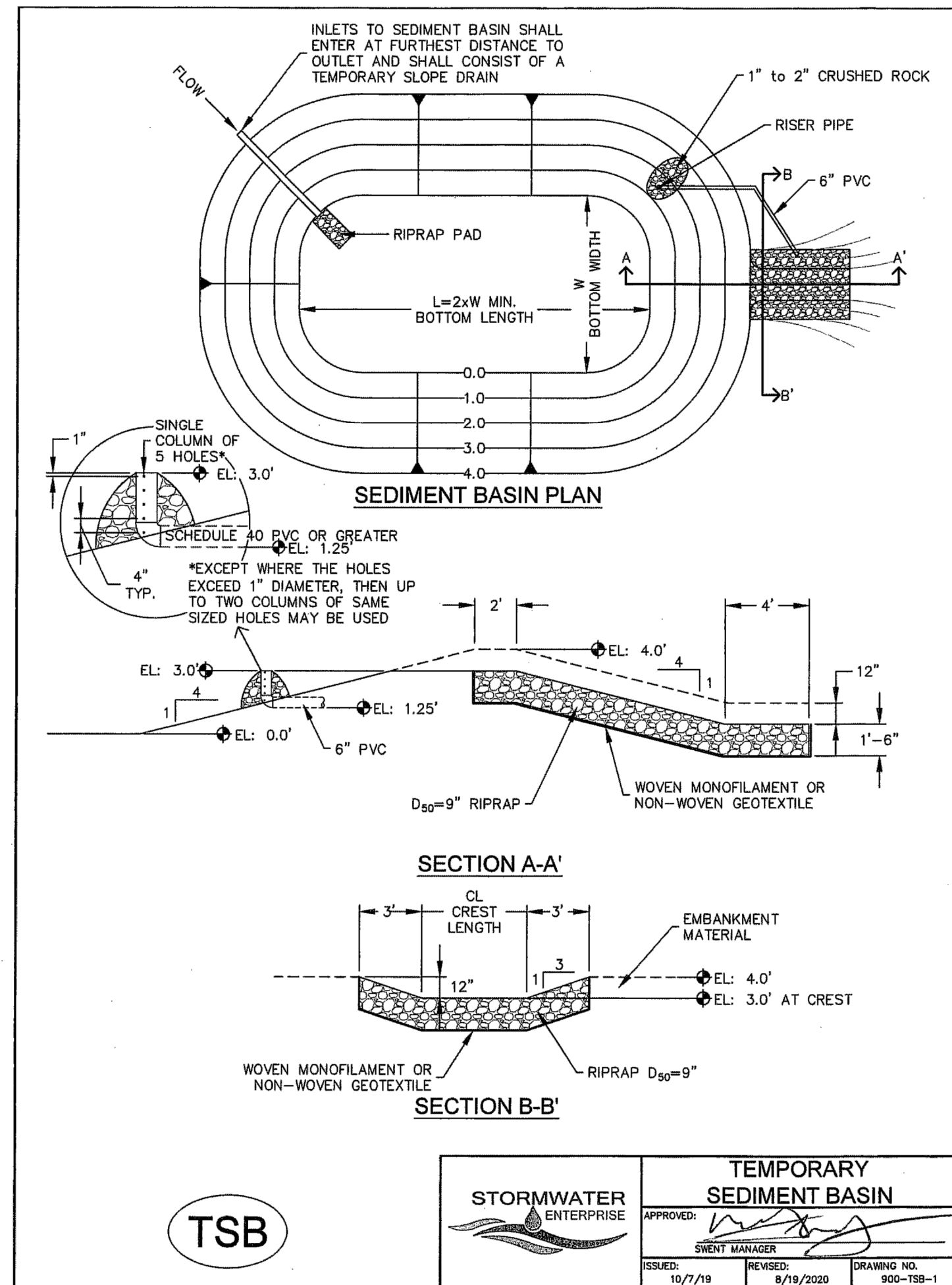
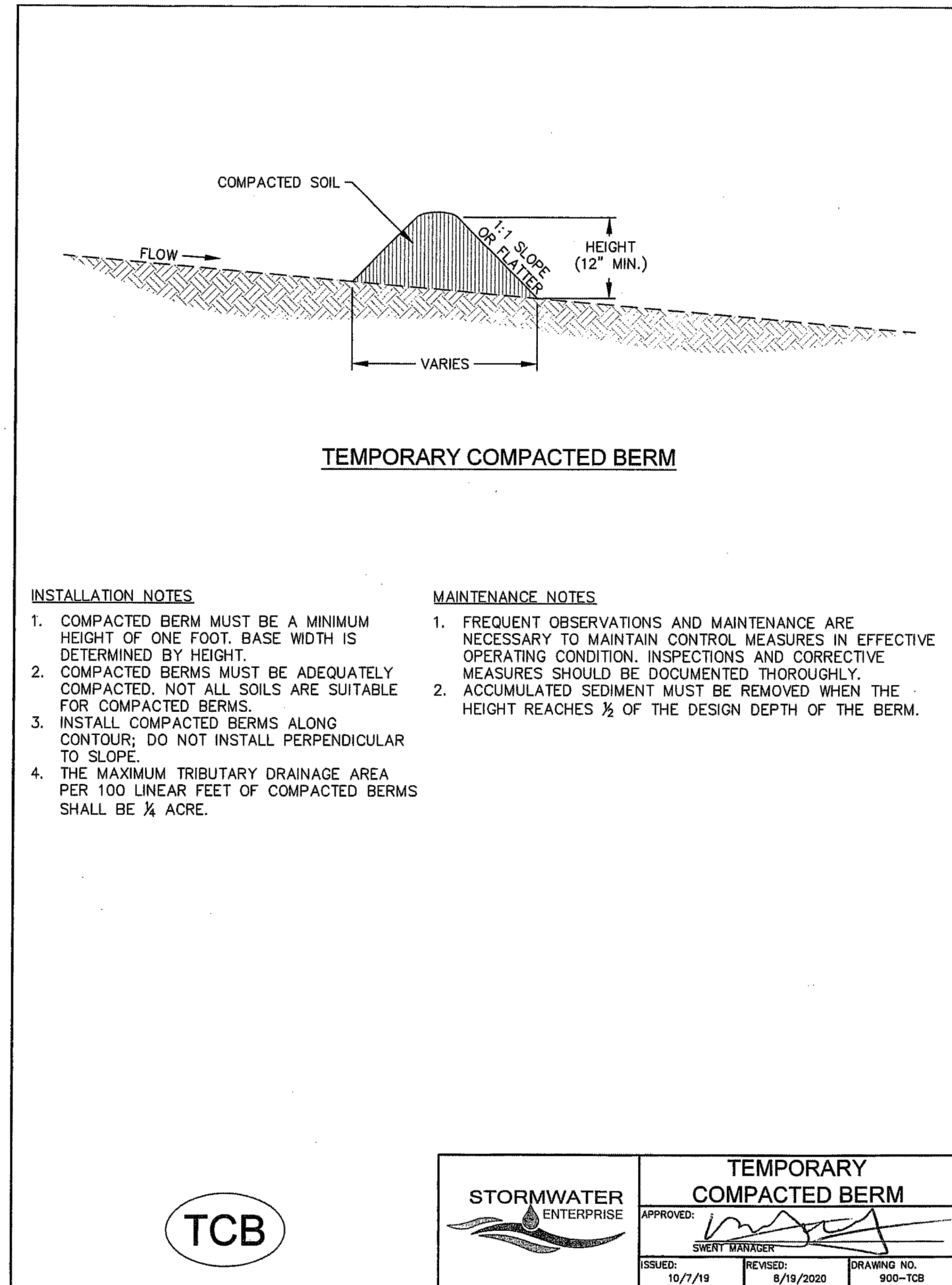
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DRAWN BY	KES	(H) 1"= N/A	SHEET	6 OF 18
CHECKED BY		(V) 1"= N/A	JOB NO.	1305.40

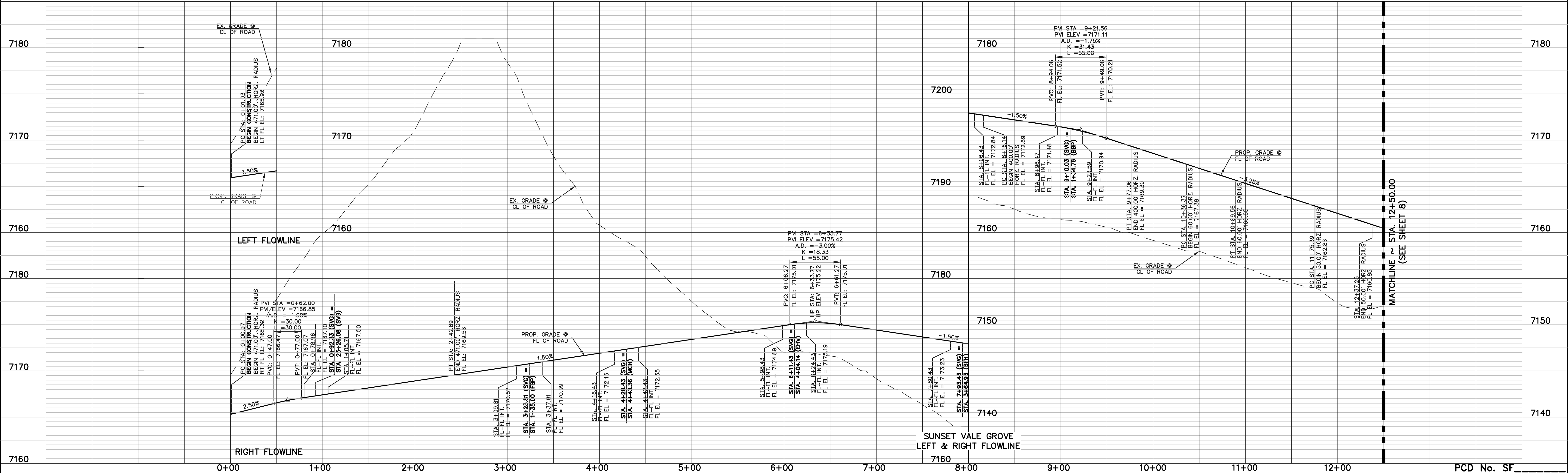
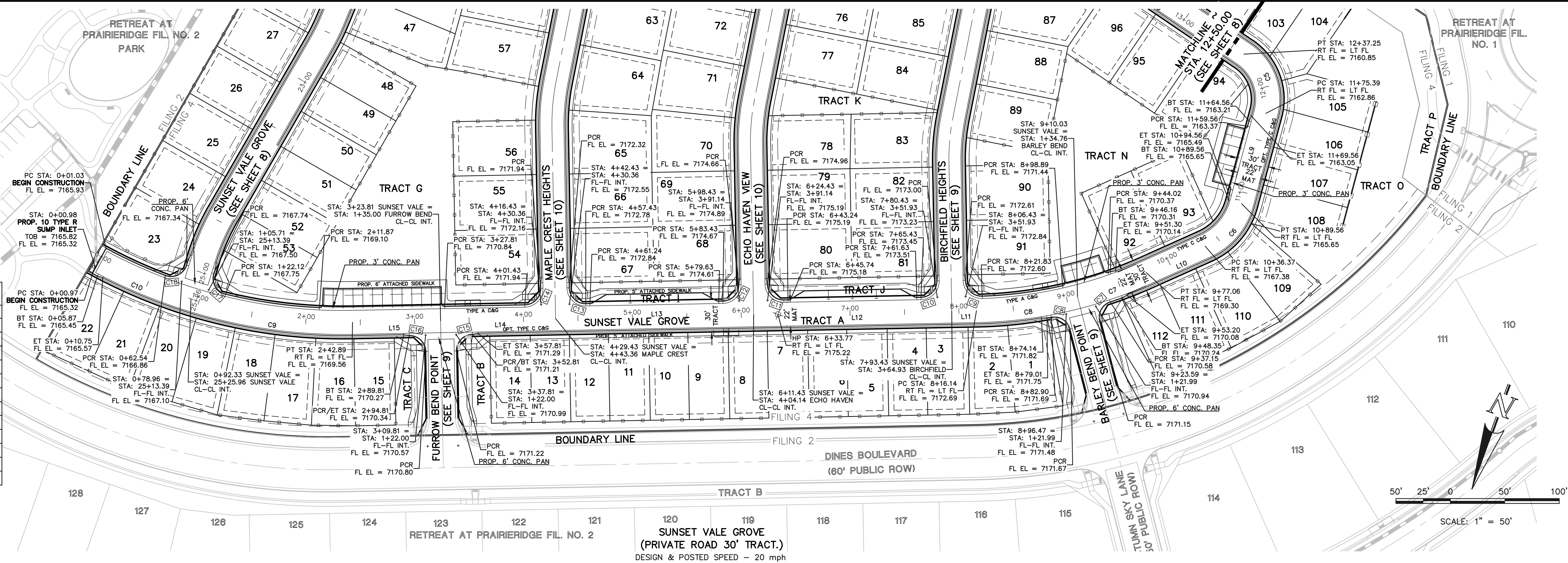
619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903

(719)785-0790
(719)785-0799(Fax)

CENTERLINE LINE TABLE		
LINE	LENGTH	BEARING
L9	85.83'	S04°55'38"E
L10	59.30'	S45°52'15"W
L11	22.70'	S68°55'19"W
L12	182.00'	S68°55'19"W
L13	182.00'	S68°55'19"W
L14	105.62'	S68°55'19"W
L15	80.92'	S68°55'19"W

CENTERLINE CURVE TABLE			
CURVE	LENGTH	RADIUS	DELTA
C5	61.86'	50.00'	70°53'27"
C6	53.20'	60.00'	50°47'53"
C7	67.04'	400.00'	9°36'08"
C8	93.89'	400.00'	13°26'56"
C9	150.56'	471.00'	18°18'53"
C10	96.53'	471.00'	11°44'33"

CURB CURVE TABLE (FLOWLINE)			
CURVE	LENGTH	RADIUS	DELTA
C7	22.54'	15.00'	86°06'53"
C8	22.54'	15.00'	86°06'53"
C9	23.78'	15.00'	90°48'56"
C10	23.56'	15.00'	90°00'00"
C11	23.56'	15.00'	90°00'00"
C12	23.56'	15.00'	90°00'00"
C13	23.56'	15.00'	90°00'00"
C14	23.56'	15.00'	90°00'00"
C15	23.56'	15.00'	90°00'00"
C16	23.56'	15.00'	90°00'00"
C17	24.51'	15.00'	93°37'26"
C18	24.51'	15.00'	93°37'26"



LEGEND

BOUNDARY LINE ---

ROW LINE ---

LINE ---

CURB & GUTTER ---

PED RAMP

LIGHT POLE

SIGN

TYPE R INLET

ABBREVIATIONS

BARLEY BEND POINT BBP

BIRCHFIELD HEIGHTS BFH

ECHO HAVEN VIEW EHV

FURROW BEND POINT FBP

MAPLE CREST HEIGHTS MCH

SUNNY VALE GROVE SVG

NOTES:

48 HOURS BEFORE YOU DIG, CALL UTILITY LOCATORS

811

UTILITY NOTIFICATION CENTER OF COLORADO IT'S THE LAW

STATEMENTS:

EL PASO COUNTY RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN; THE COUNTY HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY. RESUBMITTAL IS REQUIRED IF CONSTRUCTION HAS NOT COMMENCED WITHIN 180 DAYS OF REVIEW DATE.

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NO. REVISION

DATE

REVIEW:

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF CLASSIC CONSULTING ENGINEERS AND SURVEYORS, LLC

MARC A. WHORTON, COLORADO P.E. #37155 DATE

RETREAT AT PRAIRIERIDGE FILING NO. 4

CONSTRUCTION PLANS

PRIVATE STREET IMPROVEMENT PLAN

SUNSET VALE GROVE 0+00.00 TO 12+50.00

DESIGNED BY PRA SCALE DATE 05/09/2025

DRAWN BY KES (H) 1"= 50' SHEET 7 OF 18

CHECKED BY (V) 1"= 5' JOB NO. 1305.40

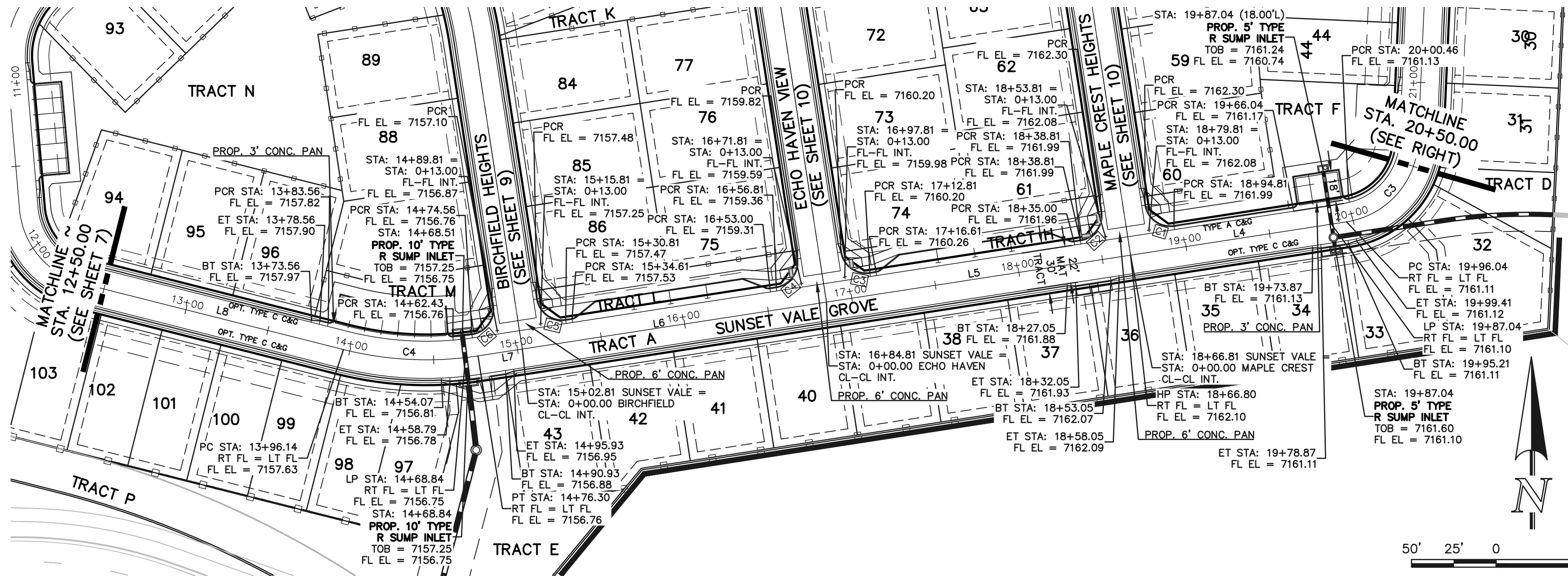
CLASSIC CONSULTING

619 N. Cascade Avenue, Suite 200 Colorado Springs, Colorado 80903 (719)785-0790 (719)785-0799(Fax)

CENTERLINE LINE TABLE		
LINE	LENGTH	BEARING
L1	39.78'	N02°45'48"W
L2	178.89'	N09°57'35"E
L3	172.93'	N02°32'52"E
L4	129.24'	N81°13'12"E
L5	182.00'	N81°13'12"E
L6	182.00'	N81°13'12"E
L7	26.51'	N81°13'12"E
L8	158.89'	S75°49'05"E

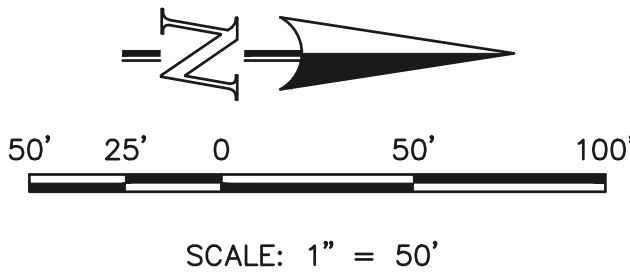
CENTERLINE CURVE TABLE			
CURVE	LENGTH	RADIUS	DELTA
C1	44.41'	200.00'	12°43'23"
C2	25.87'	200.00'	7°24'42"
C3	68.65'	50.00'	78°40'20"
C4	80.15'	200.00'	22°57'43"

CURB CURVE TABLE (FLOWLINE)			
CURVE	LENGTH	RADIUS	DELTA
C1	23.56'	15.00'	90°00'00"
C2	23.56'	15.00'	90°00'00"
C3	23.56'	15.00'	90°00'00"
C4	23.56'	15.00'	90°00'00"
C5	23.56'	15.00'	90°00'00"
C6	23.69'	15.00'	90°29'48"
C17	24.51'	15.00'	93°37'26"
C18	24.51'	15.00'	93°37'26"

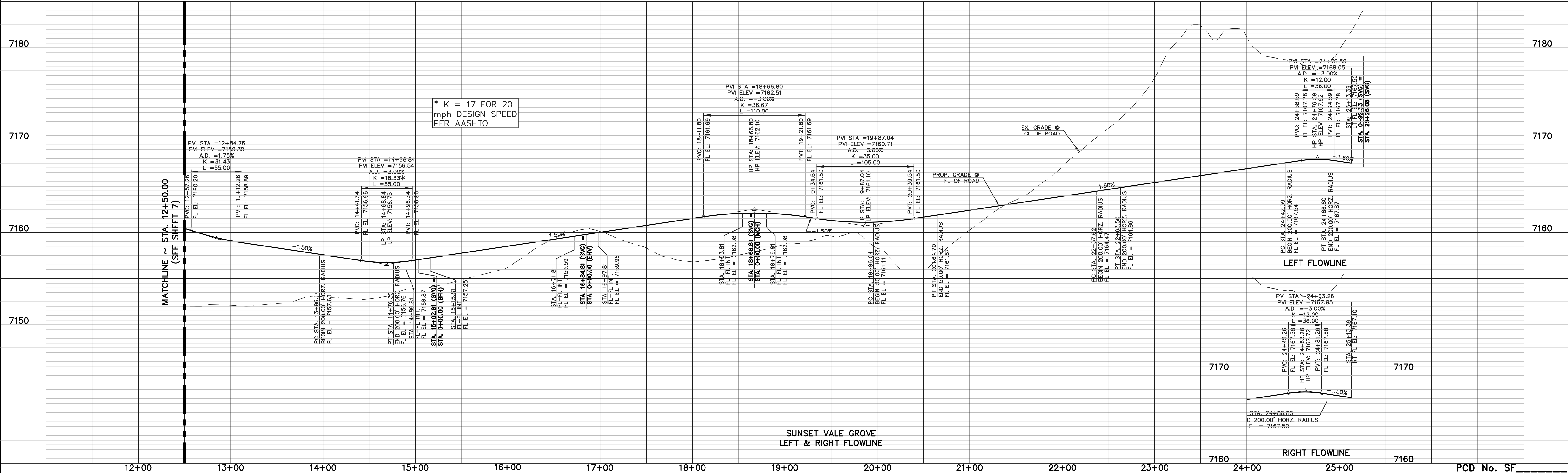


SUNSET VALE GROVE
(PRIVATE ROAD 30' TRACT.)
DESIGN & POSTED SPEED - 20 mph

SCALE: 1" = 50'



SCALE: 1" = 50'

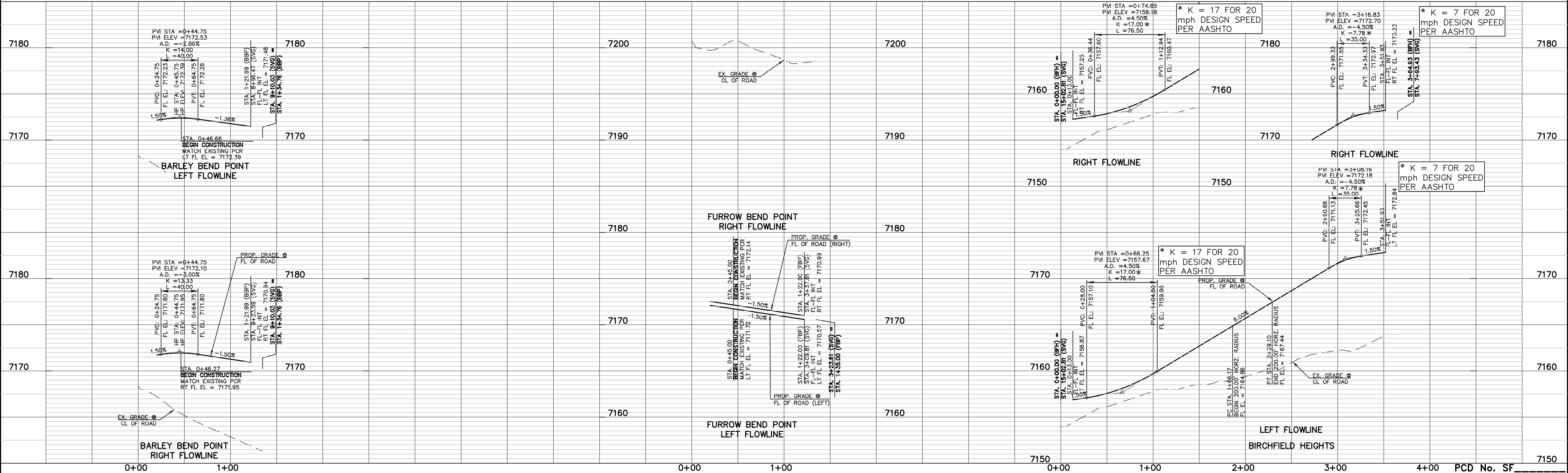
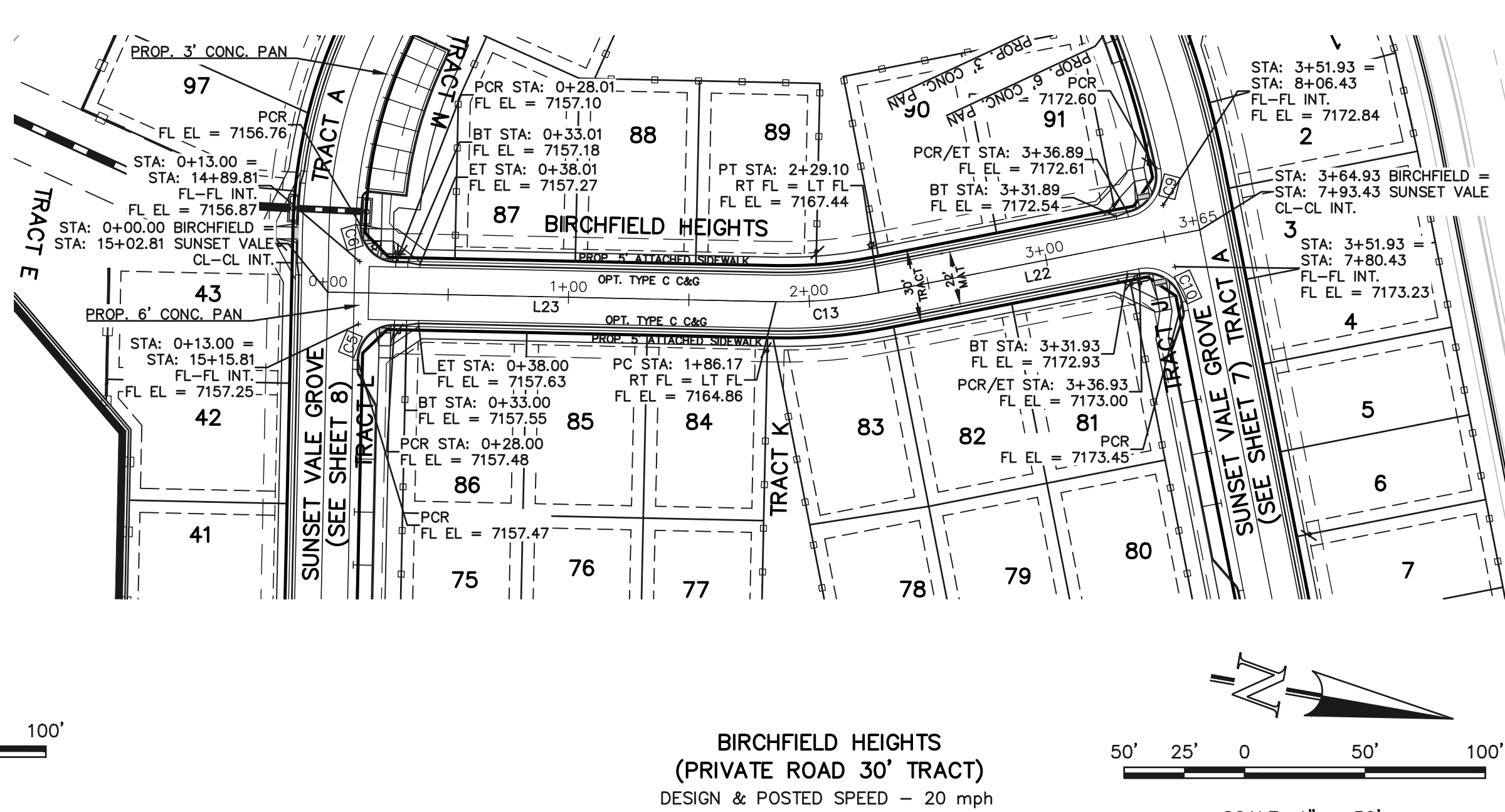
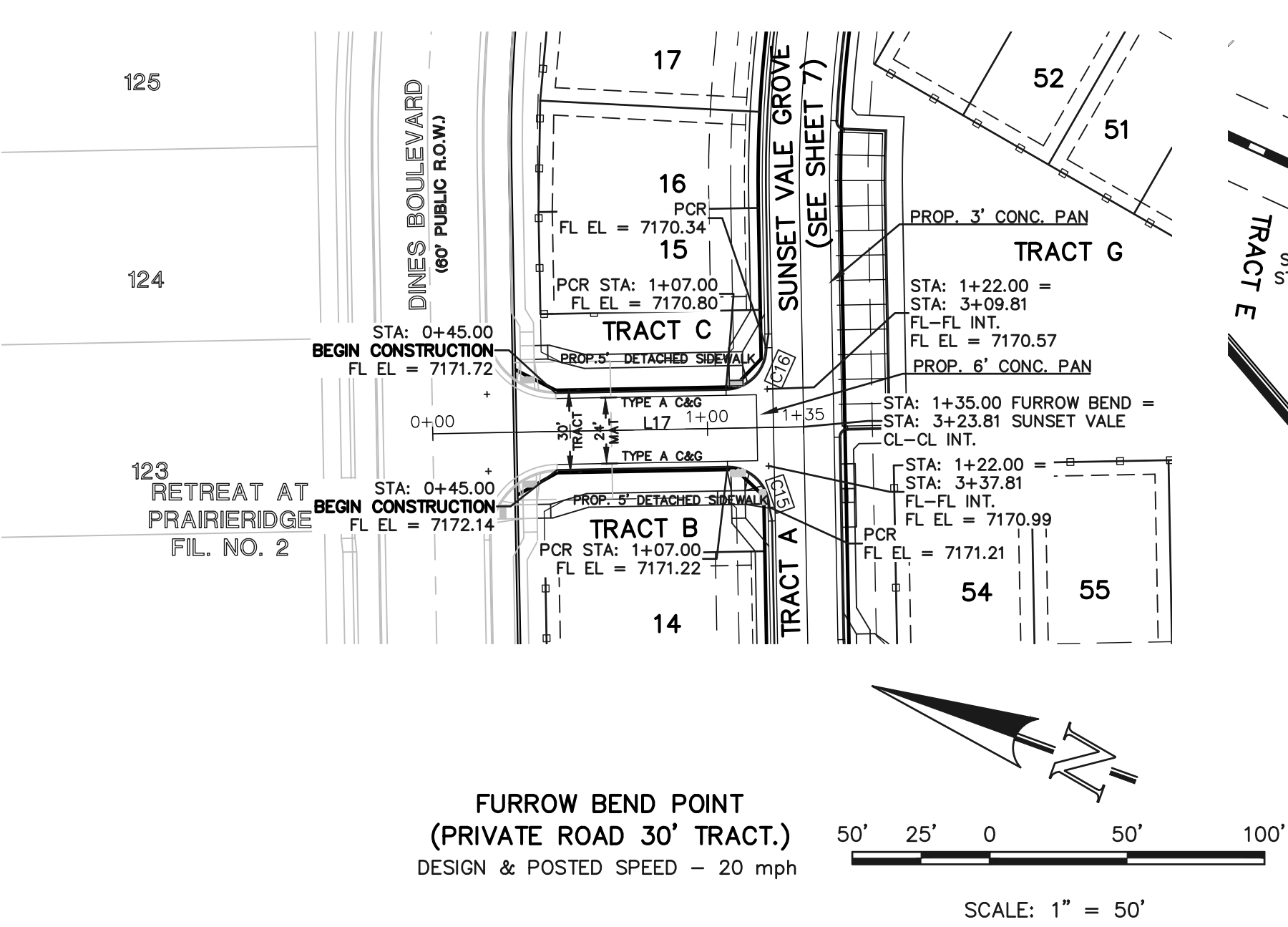
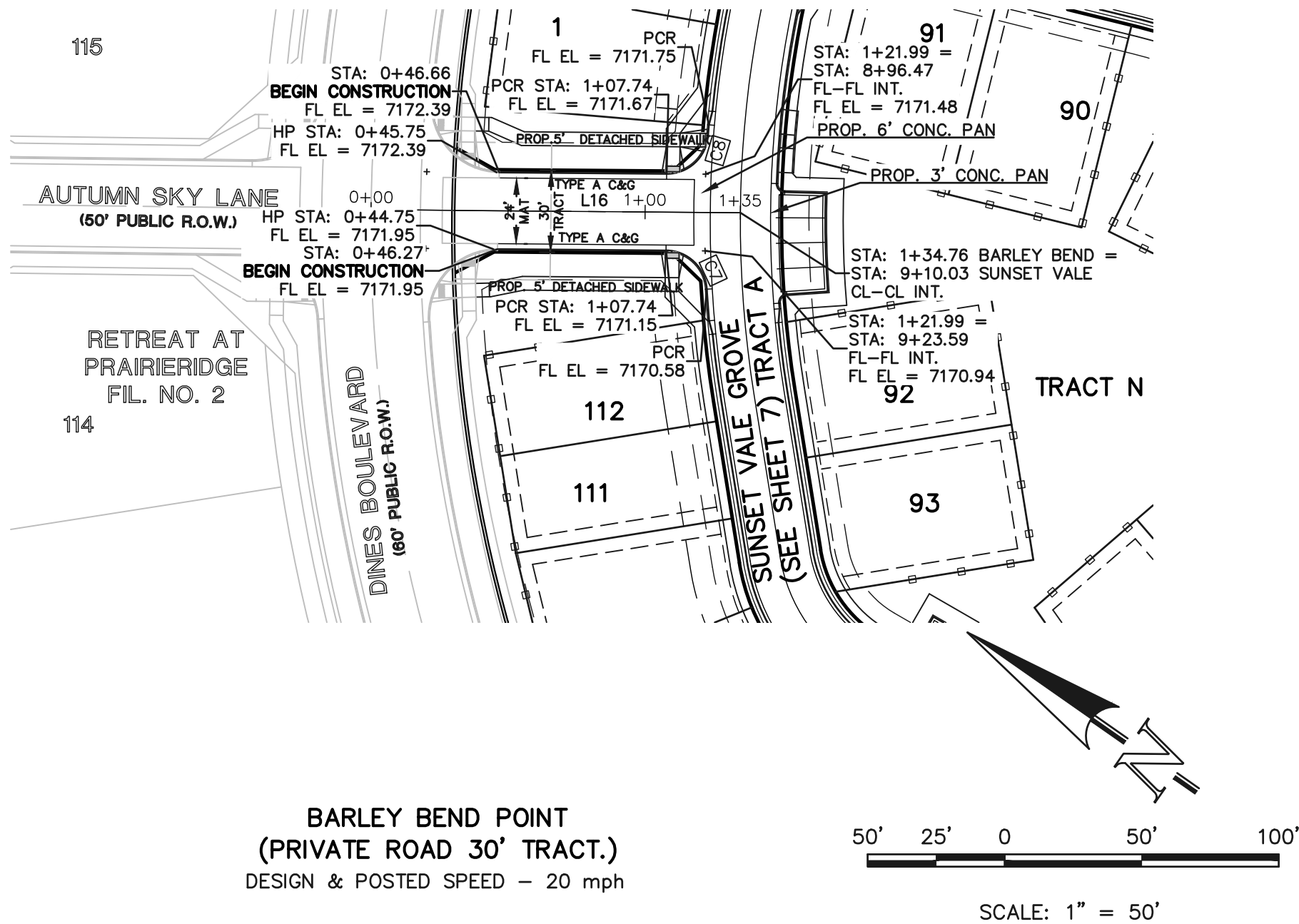


LEGEND BOUNDARY LINE ROW LINE LINE CURB & GUTTER PED RAMP LIGHT POLE SIGN TYPE R INLET	ABBREVIATIONS BARLEY BEND POINT BIRCHFIELD HEIGHTS ECHO HAVEN VIEW FURROW BEND POINT MAPLE CREST HEIGHTS SUNNY VALE GROVE	NOTES: DEVELOPER IS REQUIRED TO CONSTRUCT SIDEWALK ADJACENT TO AND THRU ALL TRACTS AS SHOWN (TYPICAL) THE WIDTH OF THE PEDESTRIAN RAMPS MUST MATCH THE WIDTH OF SIDEWALKS STATEMENTS: EL PASO COUNTY RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN; THE COUNTY HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY. RESUBMITTAL IS REQUIRED IF CONSTRUCTION HAS NOT COMMENCED WITHIN 180 DAYS OF REVIEW DATE. 48 HOURS BEFORE YOU DIG, CALL UTILITY LOCATORS 811 UTILITY NOTIFICATION CENTER OF COLORADO IT'S THE LAW. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.	NO. REVISION <table><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr></table>									DATE <table><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr></table>									REVIEW: PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF CLASSIC CONSULTING ENGINEERS AND SURVEYORS, LLC MARC A. WHORTON, COLORADO P.E. #37155 DATE	CLASSIC CONSULTING 619 N. Cascade Avenue, Suite 200 Colorado Springs, Colorado 80903 (719)785-0790 (719)785-0799(Fax)	RETREAT AT PRAIRIERIDGE FILING NO. 4 CONSTRUCTION PLANS PRIVATE STREET IMPROVEMENT PLAN SUNSET VALE GROVE 12+50.00 TO END <table><tr><td>DESIGNED BY</td><td>PRA</td><td>SCALE</td><td>DATE</td><td>05/09/2025</td></tr><tr><td>DRAWN BY</td><td>KES</td><td>(H) 1"= 50'</td><td>SHEET</td><td>8 OF 18</td></tr><tr><td>CHECKED BY</td><td>(V) 1"= 5'</td><td>JOB NO.</td><td colspan="2">1305.40</td></tr></table>	DESIGNED BY	PRA	SCALE	DATE	05/09/2025	DRAWN BY	KES	(H) 1"= 50'	SHEET	8 OF 18	CHECKED BY	(V) 1"= 5'	JOB NO.	1305.40	
DESIGNED BY	PRA	SCALE	DATE	05/09/2025																																		
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CHECKED BY	(V) 1"= 5'	JOB NO.	1305.40																																			

CURB CURVE TABLE (FLOWLINE)			
CURVE	LENGTH	RADIUS	DELTA
C5	23.56'	15.00'	90°00'00"
C6	23.69'	15.00'	90°29'48"
C7	22.54'	15.00'	86°06'53"
C8	22.54'	15.00'	86°06'53"
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C15	23.56'	15.00'	90°00'00"
C16	23.56'	15.00'	90°00'00"

CENTERLINE CURVE TABLE			
CURVE	LENGTH	RADIUS	DELTA
C13	42.93'	200.00'	121°7'53"

CENTERLINE LINE TABLE		
LINE	LENGTH	BEARING
L16	104.76'	N34°31'37"W
L17	105.00'	N21°04'41"W
L22	135.83'	N21°04'41"W
L23	186.17'	N08°46'48"W



LEGEND

BOUNDARY LINE ---

ROW LINE ---

LINE ---

CURB & GUTTER ---

PED RAMP

LIGHT POLE

SIGN

TYPE R INLET

ABBREVIATIONS

BARLEY BEND POINT BBP

BIRCHFIELD HEIGHTS BFH

ECHO HAVEN VIEW EHV

FURROW BEND POINT FBP

MAPLE CREST HEIGHTS MCH

SUNNY VALE GROVE SVG

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UTILITY NOTIFICATION CENTER OF COLORADO IT'S THE LAW

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MARC A. WHORTON, COLORADO P.E. #37155

DATE

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Colorado Springs, Colorado 80903

(719)785-0790
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RETREAT AT PRAIRIERIDGE FILING NO. 4 CONSTRUCTION PLANS

PRIVATE STREET IMPROVEMENT PLAN: BARLEY BEND PT, FURROW BEND PT & BIRCHFIELD HTS

DESIGNED BY PRA SCALE DATE 05/09/2025

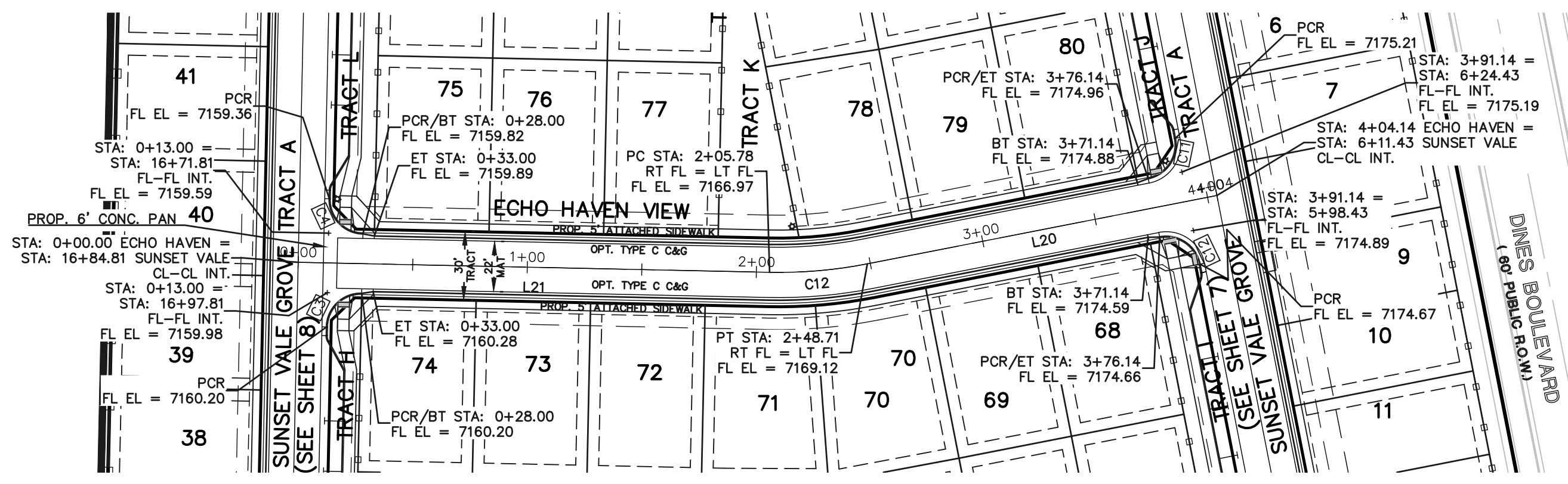
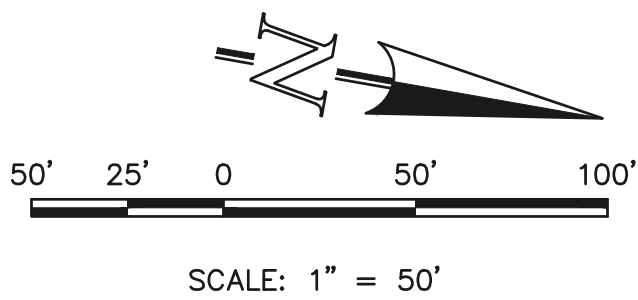
DRAWN BY KES (H) 1" = 50' SHEET 9 OF 18

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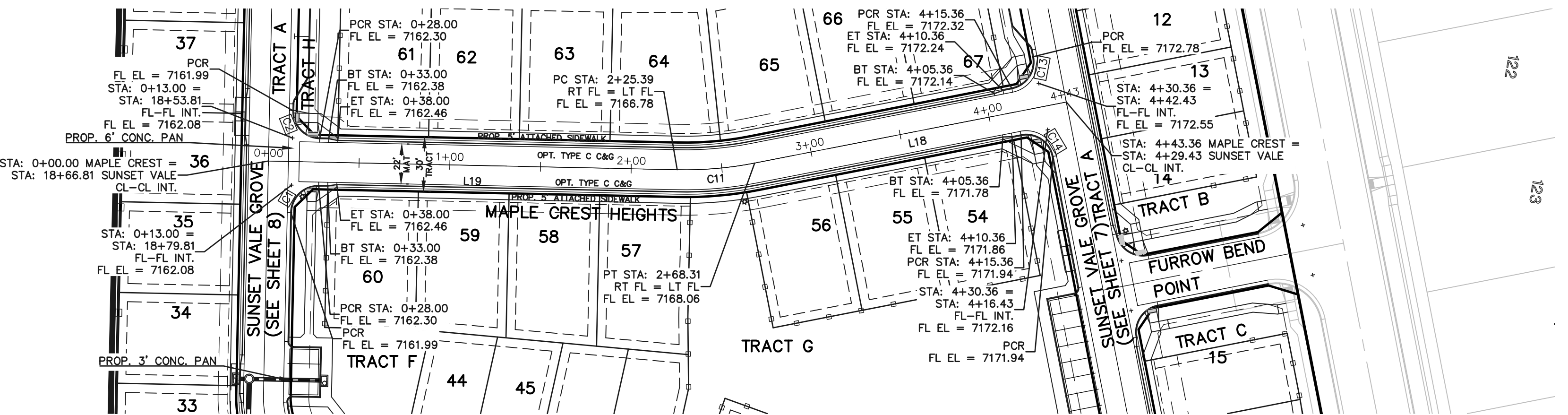
CENTERLINE LINE TABLE		
LINE	LENGTH	BEARING
L18	175.05'	N21°04'41"W
L19	225.39'	N08°46'48"W
L20	155.44'	N21°04'41"W
L21	205.78'	N08°46'48"W

CENTERLINE CURVE TABLE			
CURVE	LENGTH	RADIUS	DELTA
C11	42.93'	200.00'	12°17'53"
C12	42.93'	200.00'	12°17'53"

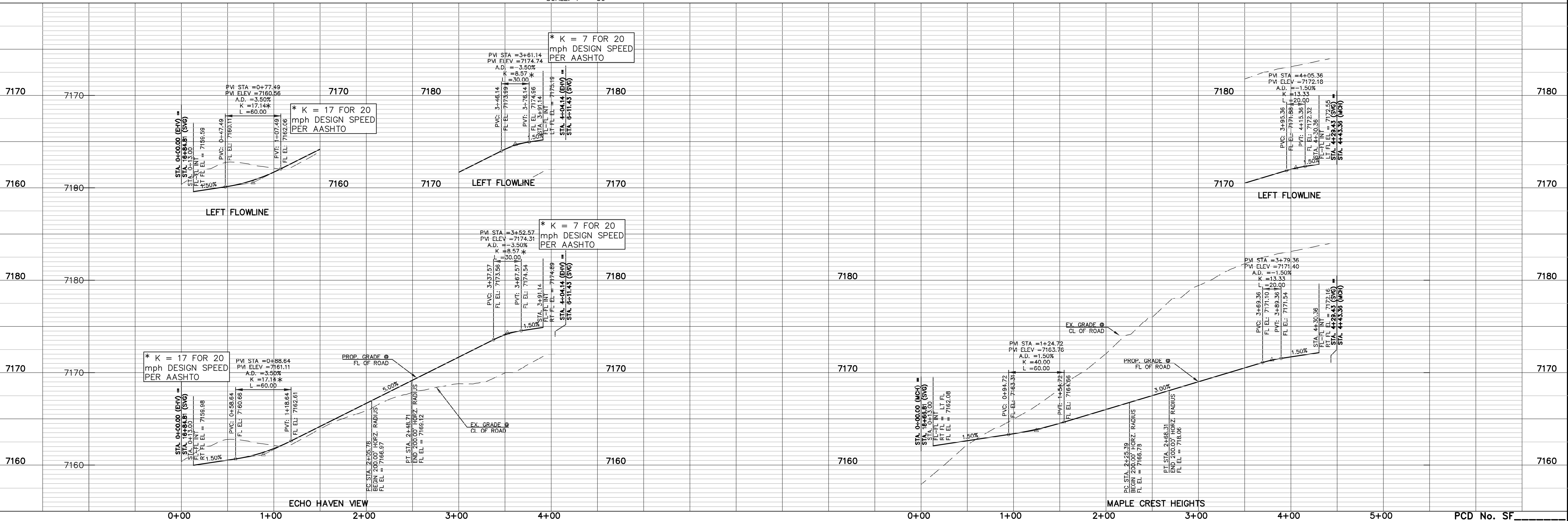
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ECHO HAVEN VIEW
(PRIVATE ROAD 30' TRACT)
DESIGN & POSTED SPEED - 20 mph



MAPLE CREST HEIGHTS
(PRIVATE ROAD 30' TRACT)
DESIGN & POSTED SPEED - 20 mph



LEGEND

BOUNDARY LINE ---

ROW LINE ---

LINE ---

CURB & GUTTER ---

PED RAMP

LIGHT POLE

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TYPE R INLET

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MARC A. WHORTON, COLORADO P.E. #37155 DATE

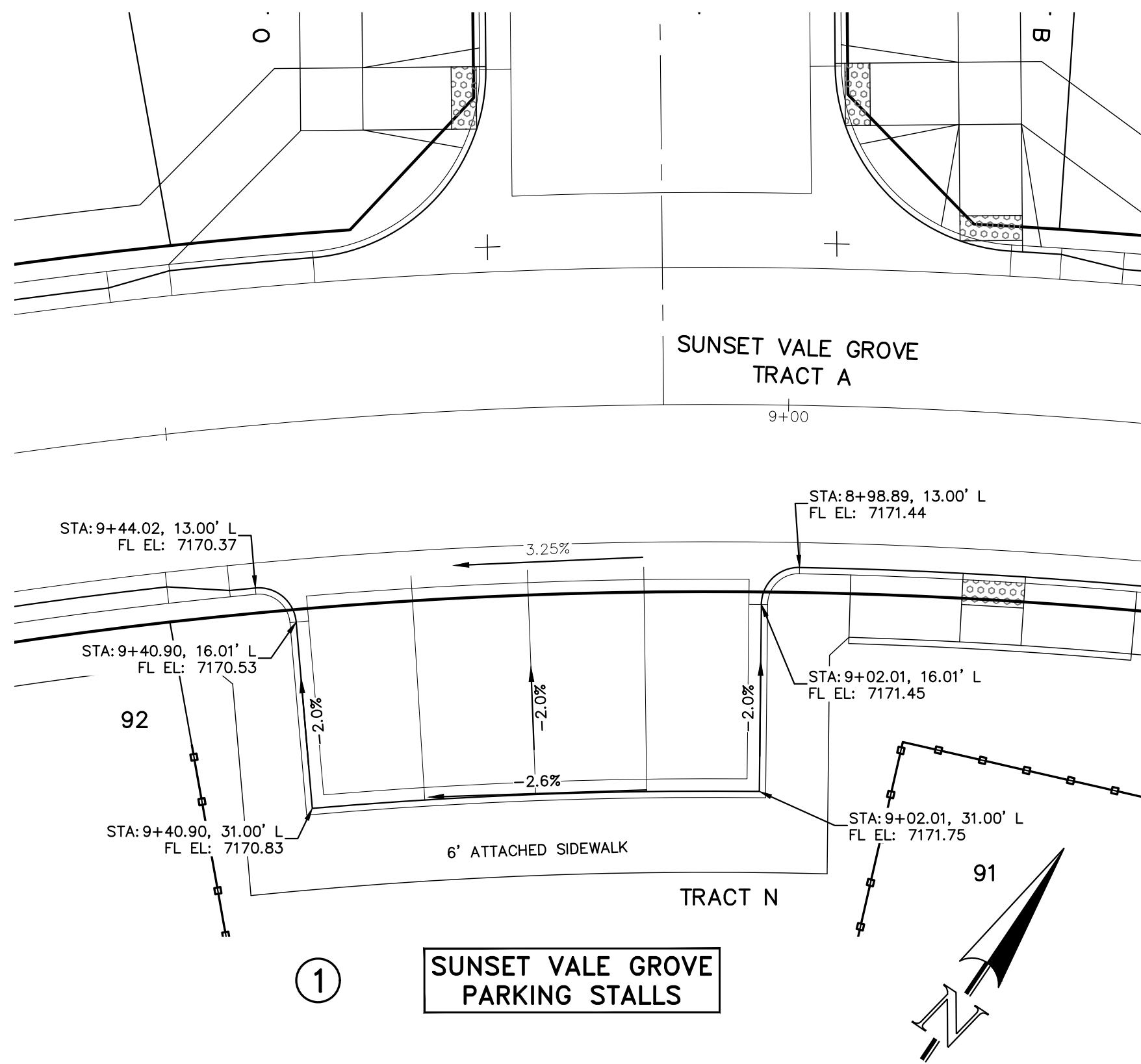
CLASSIC CONSULTING

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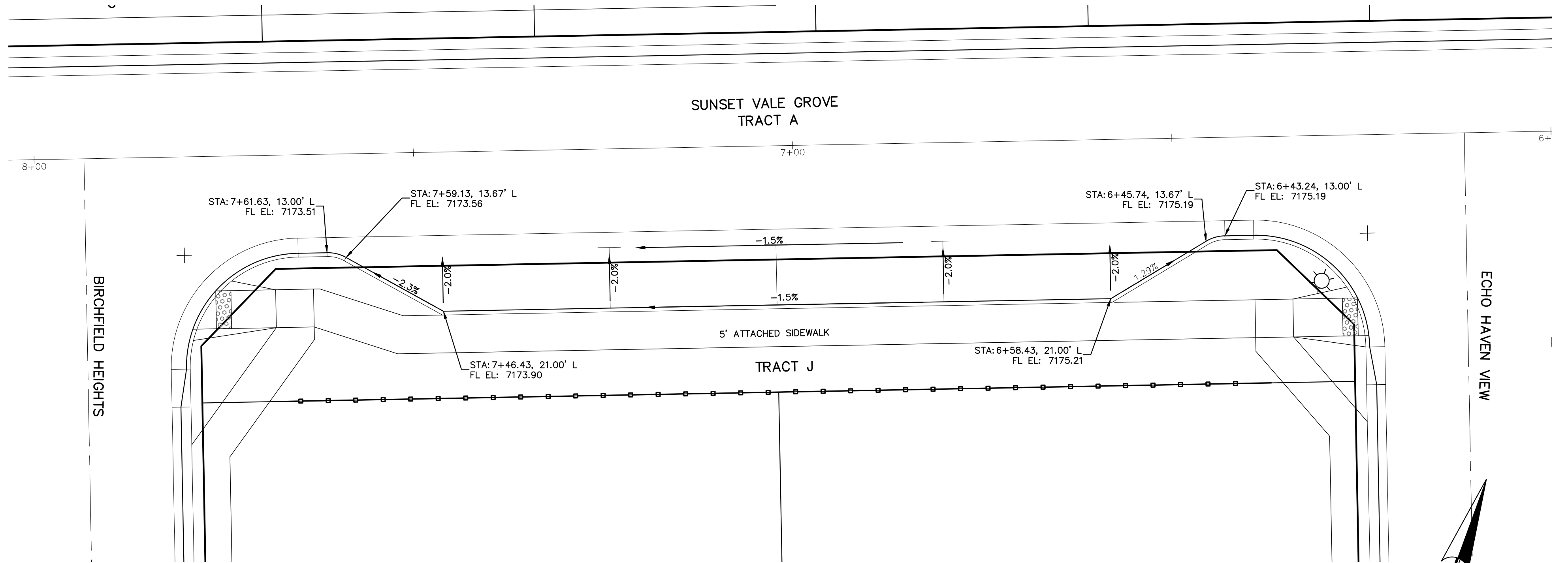
**RETREAT AT PRAIRIERIDGE FILING NO. 4
CONSTRUCTION PLANS**

PRIVATE STREET IMPROVEMENT PLAN
ECHO HAVEN VIEW & MAPLE CREST HEIGHTS

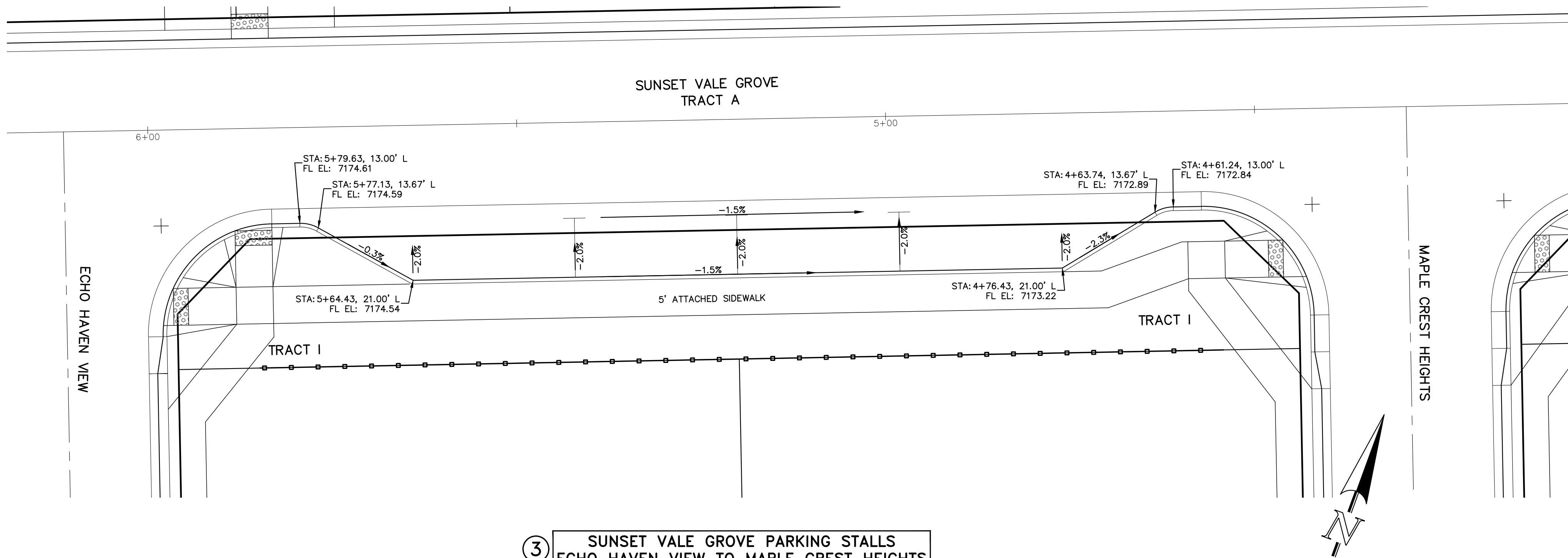
DESIGNED BY	PRA	SCALE	DATE	05/09/2025
DRAWN BY	KES	(H) 1"= 50'	SHEET	10 OF 18
CHECKED BY	(V) 1"= 5'	JOB NO.	1305.40	



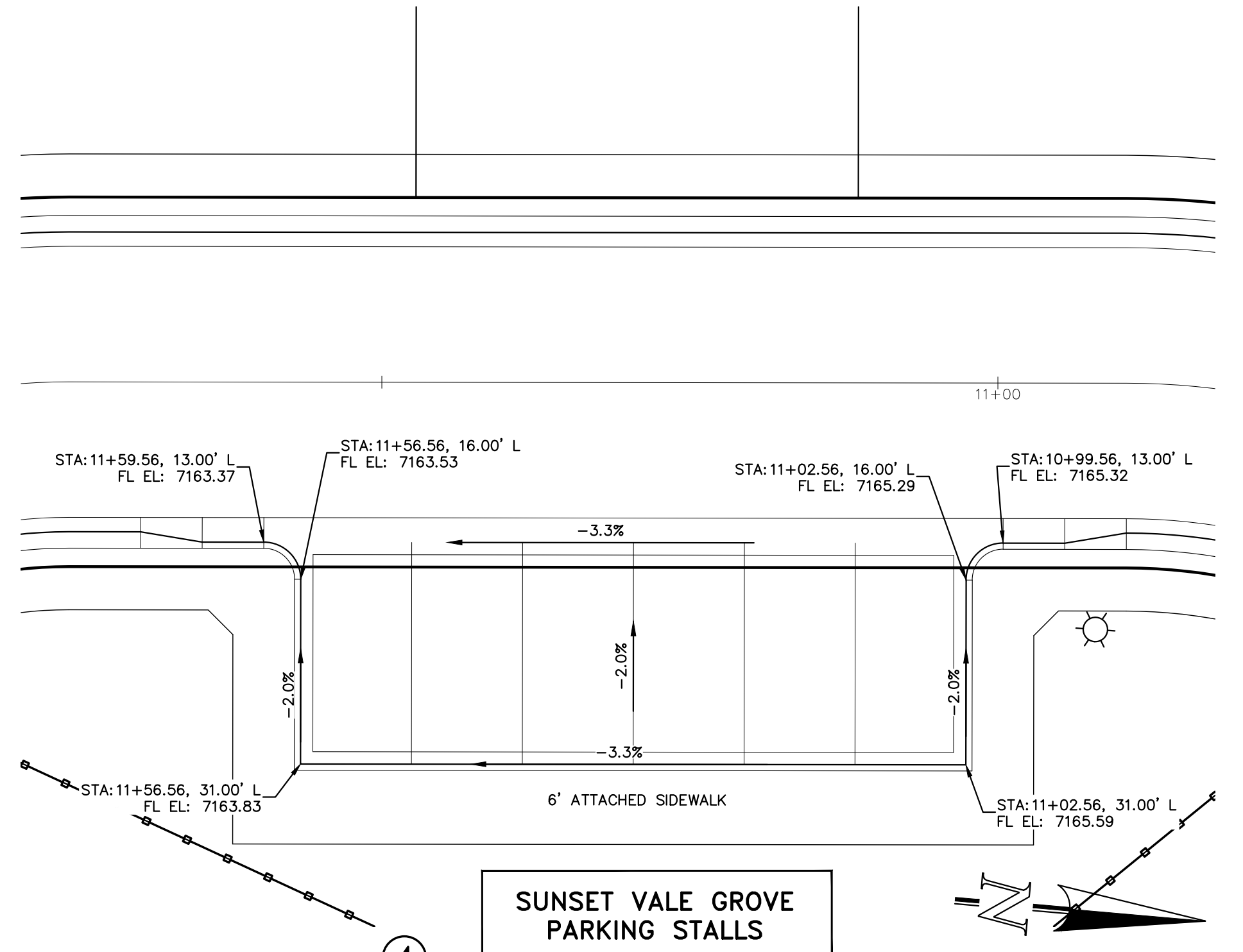
1
SUNSET VALE GROVE
PARKING STALLS



2
SUNSET VALE GROVE PARKING STALLS
BIRCHFIELD HEIGHTS TO ECHO HAVEN VIEW



3
SUNSET VALE GROVE PARKING STALLS
ECHO HAVEN VIEW TO MAPLE CREST HEIGHTS



4
SUNSET VALE GROVE
PARKING STALLS

PCD No. SF

10' 5' 0 10' 20'

SCALE: 1" = 10'

ALL RAMP DETAILS
AT SAME SCALE

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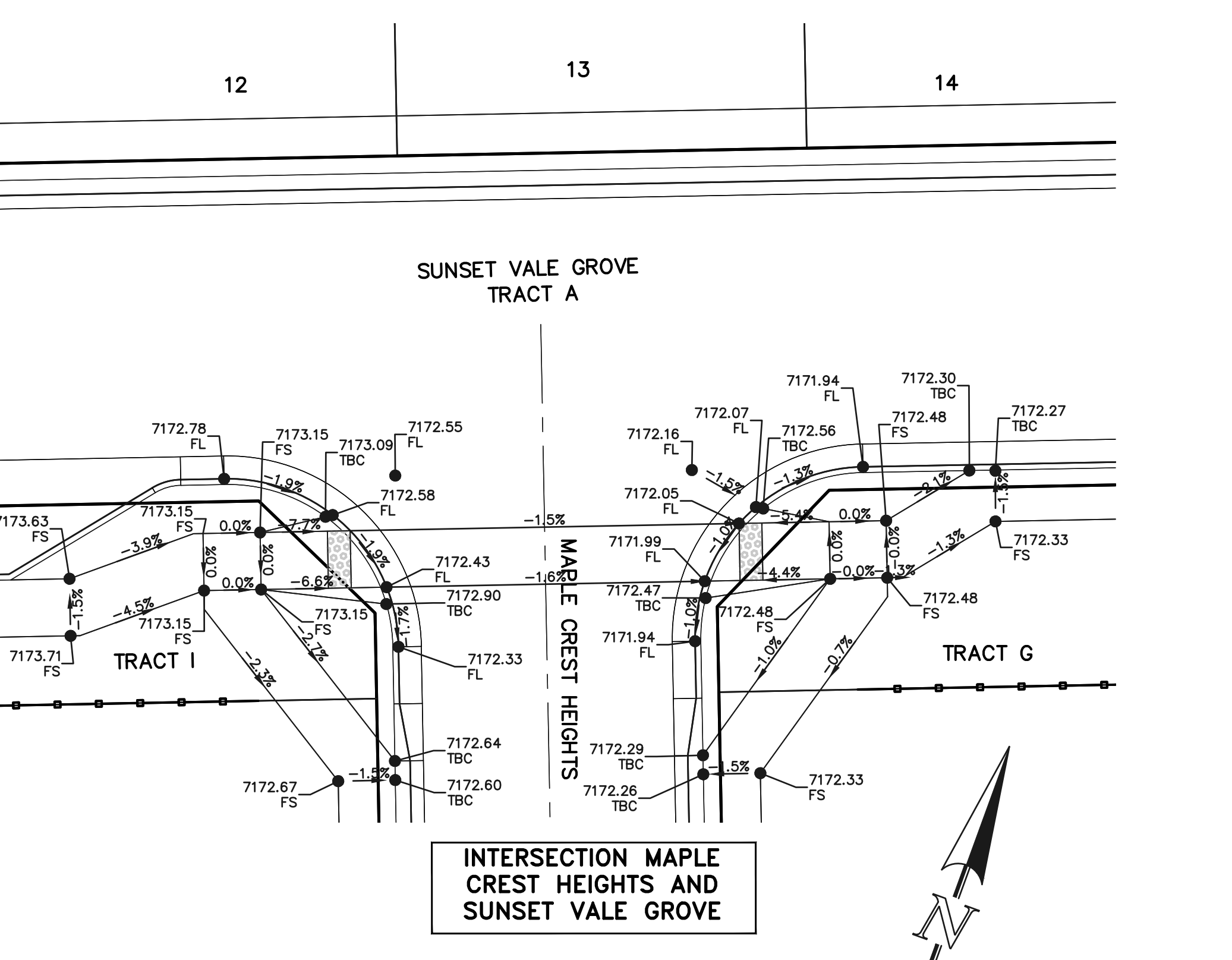
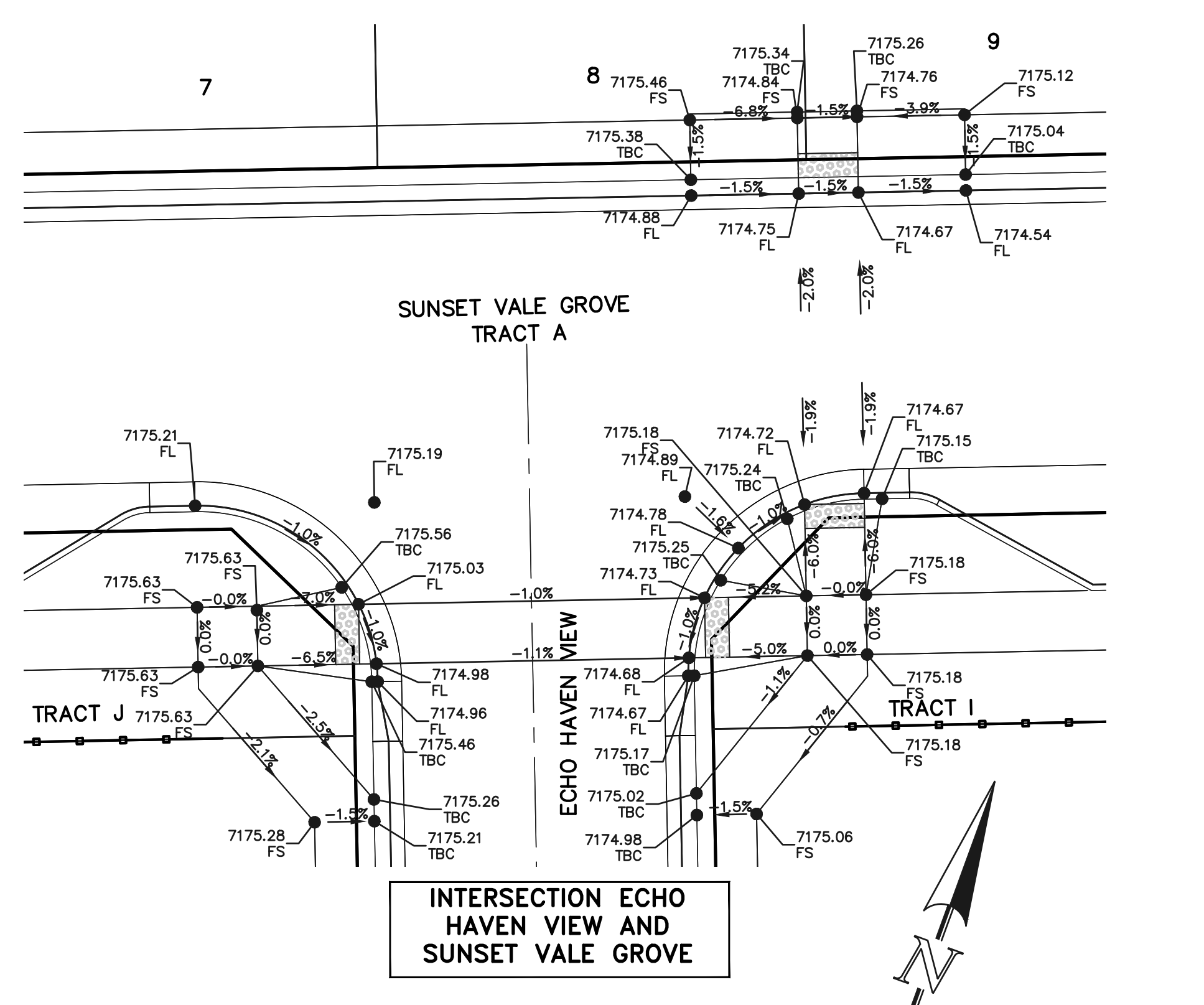
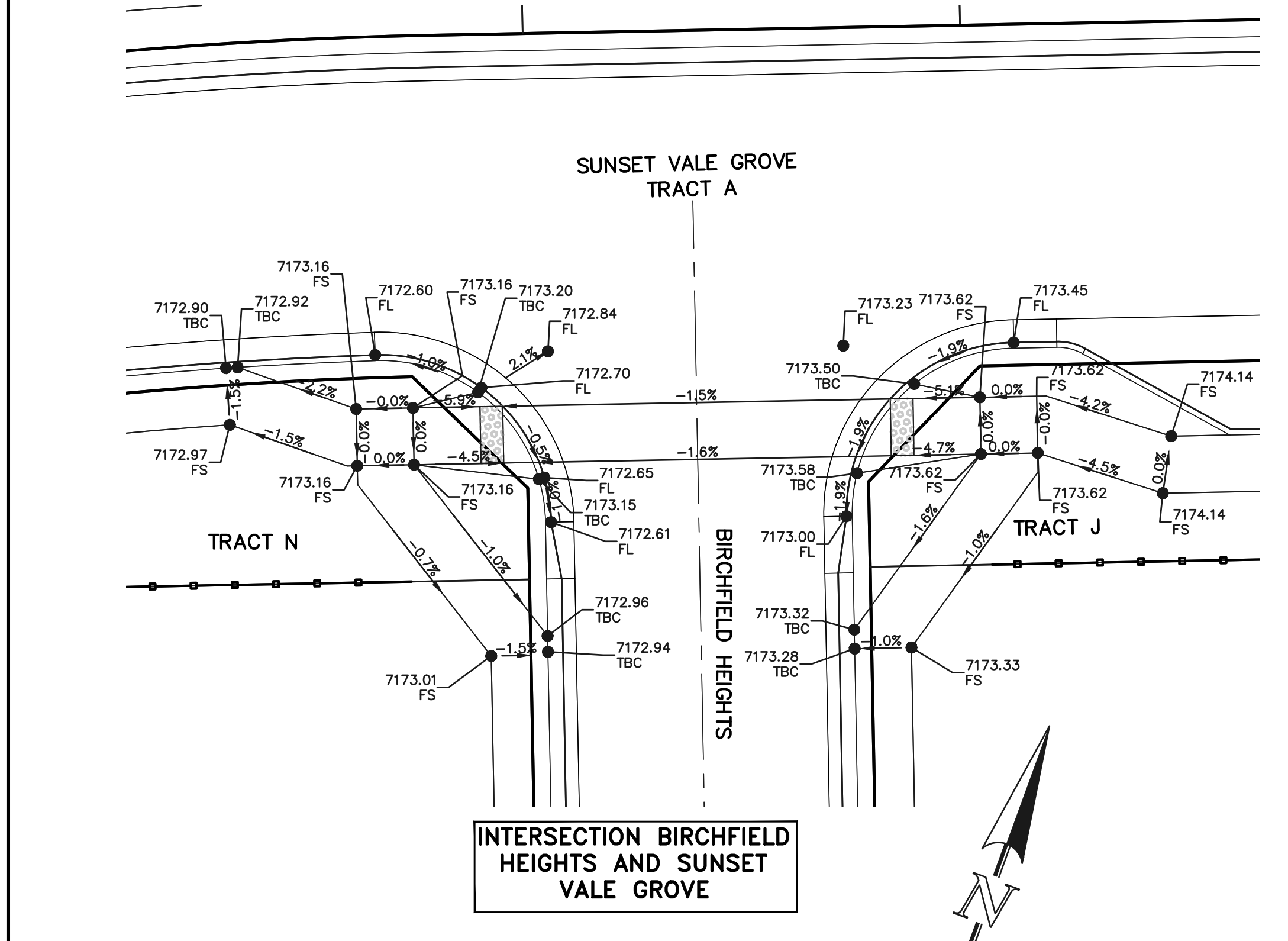
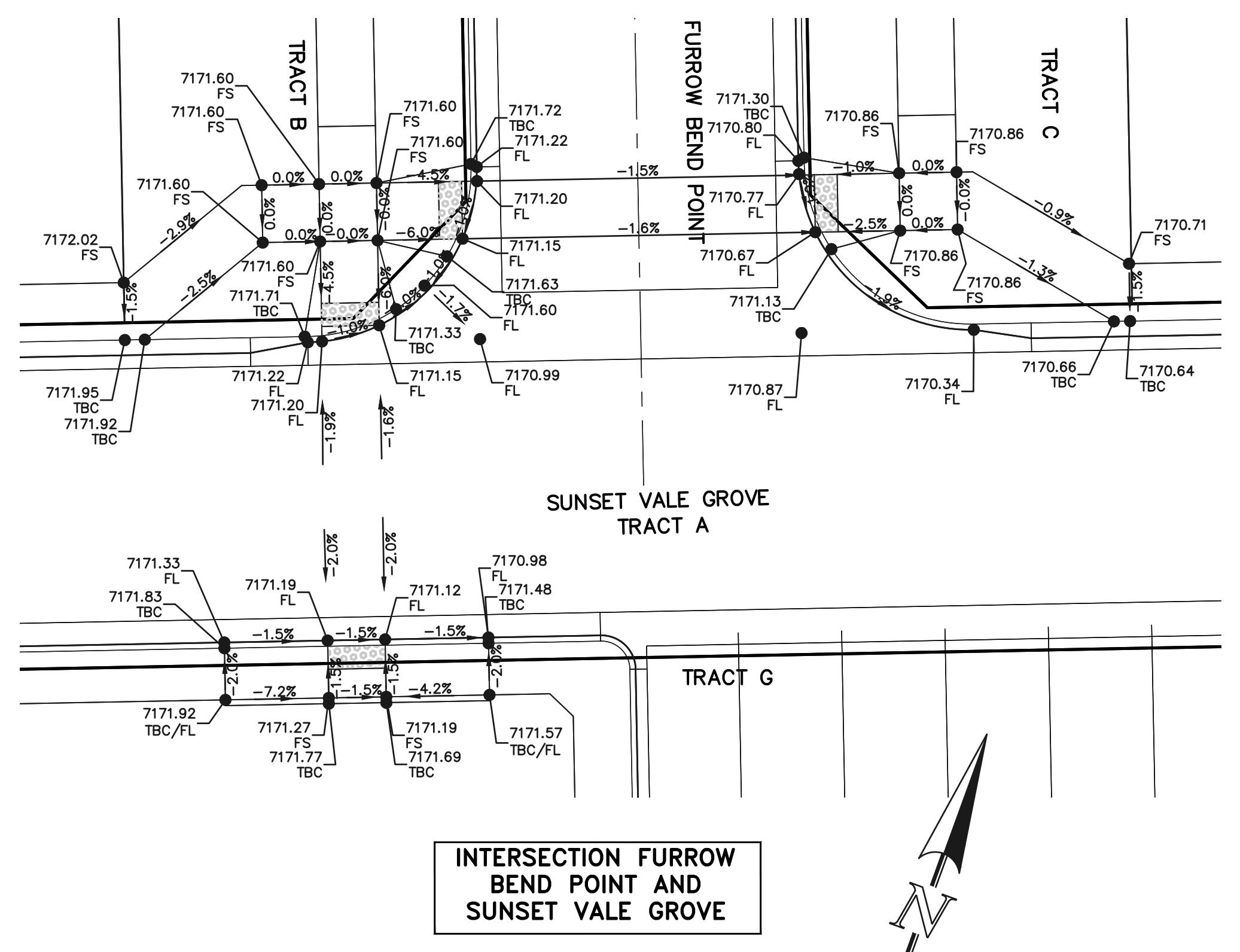
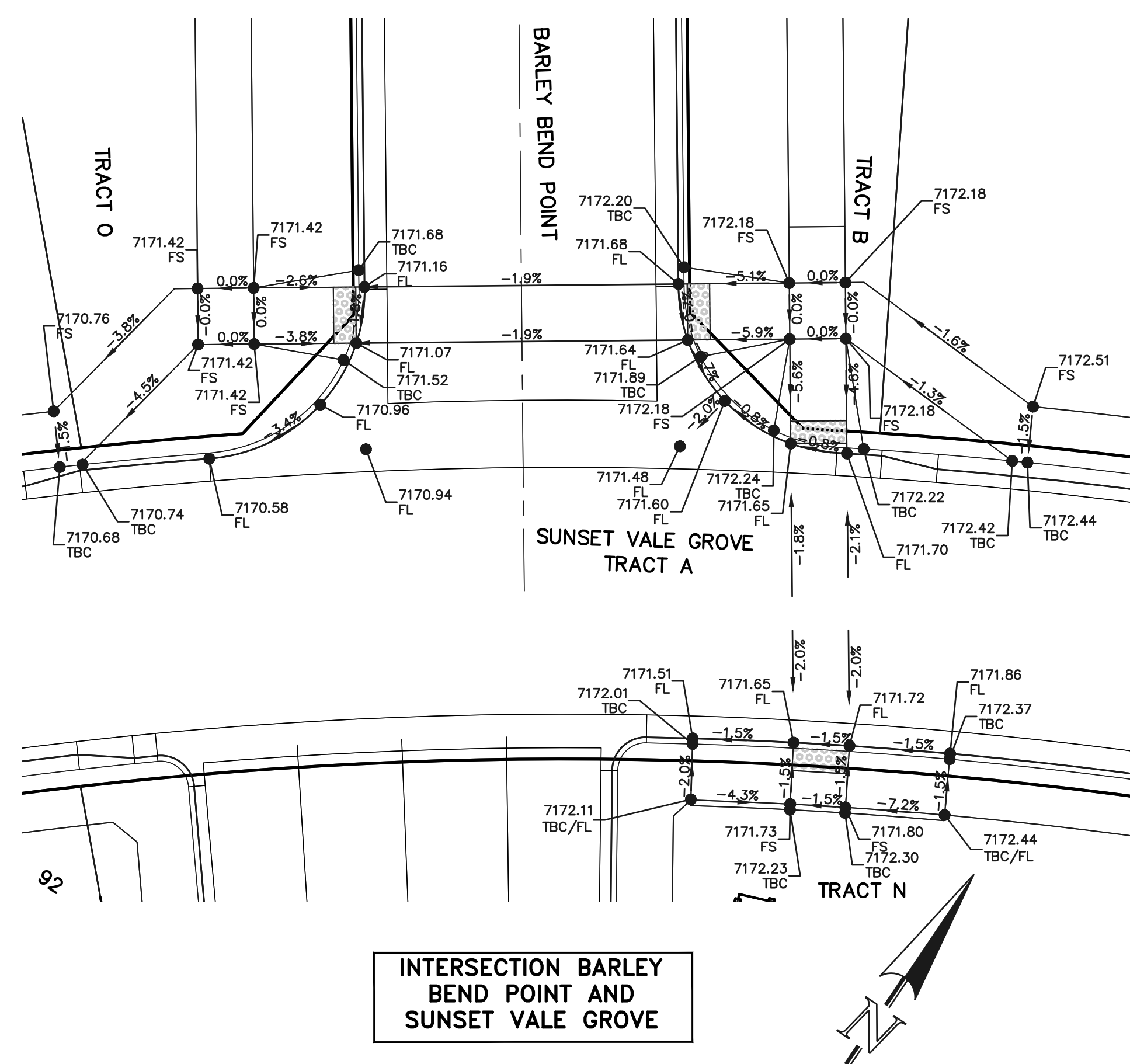
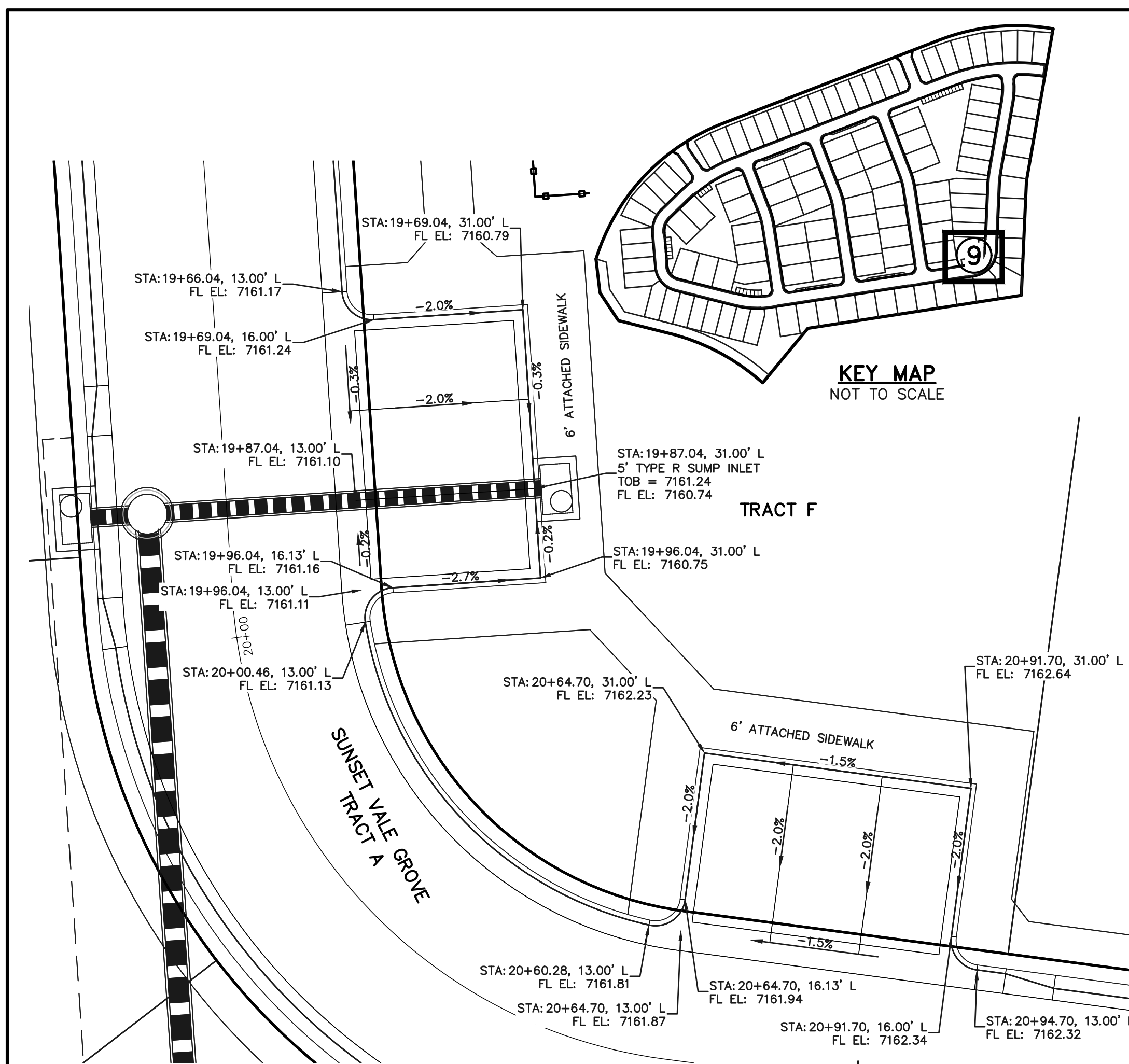
619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903

(719) 785-0790
(719) 785-0799 (fax)

RETREAT AT PRAIRIERIDGE FILING NO. 4
CONSTRUCTION PLANS
PRIVATE STREET IMPROVEMENT PLANS
PARKING AREA DETAILS

DESIGNED BY	MAW	SCALE	DATE	05/09/2025
DRAWN BY	KES	(H) 1" = 10'	SHEET	11 OF 18
CHECKED BY		(V) 1" = N/A	JOB NO.	1305.40





***STREET CROSS SECTION PAVING NOTE**
TYPICAL CROWN IS 2% UNLESS AT INTERSECTIONS
PLAN GRADES AND STREET CROSS SLOPES WILL VARY SEE INDIVIDUAL
SHEETS FOR INTERSECTION DESIGN.

10' 5' 0 10' 20'
SCALE: 1" = 10'

ALL RAMP DETAILS
AT SAME SCALE

PCD No. SF

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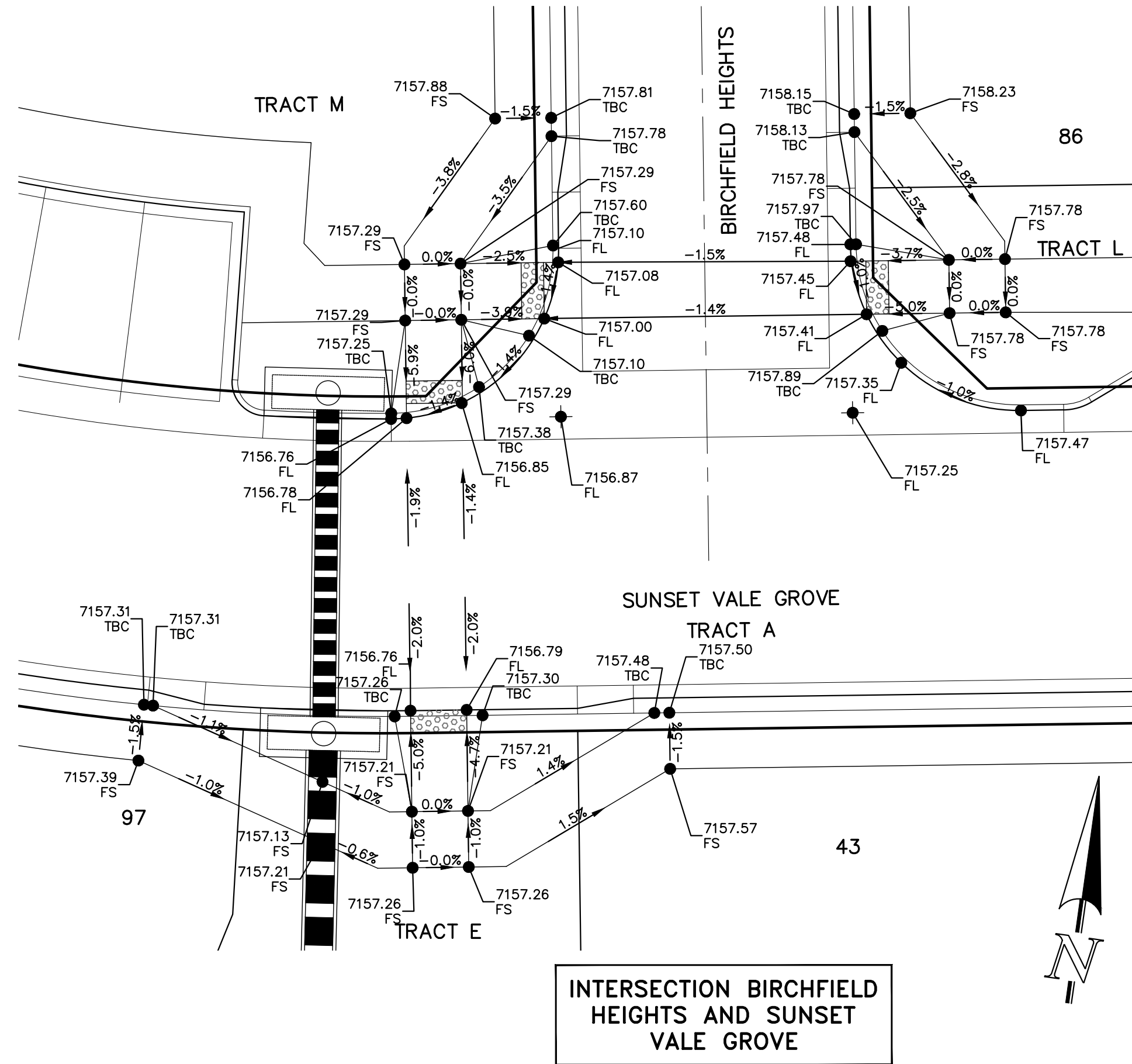
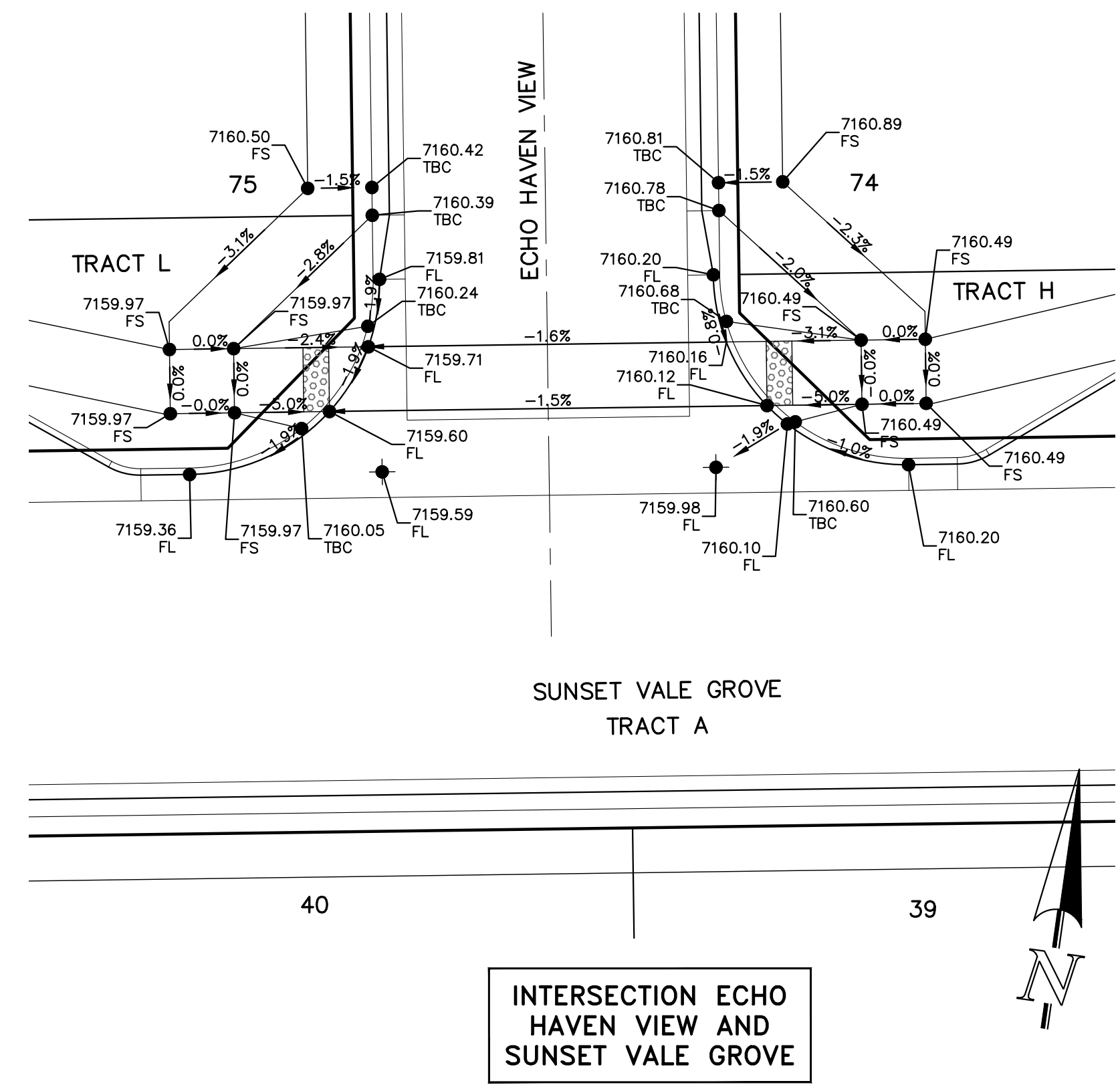
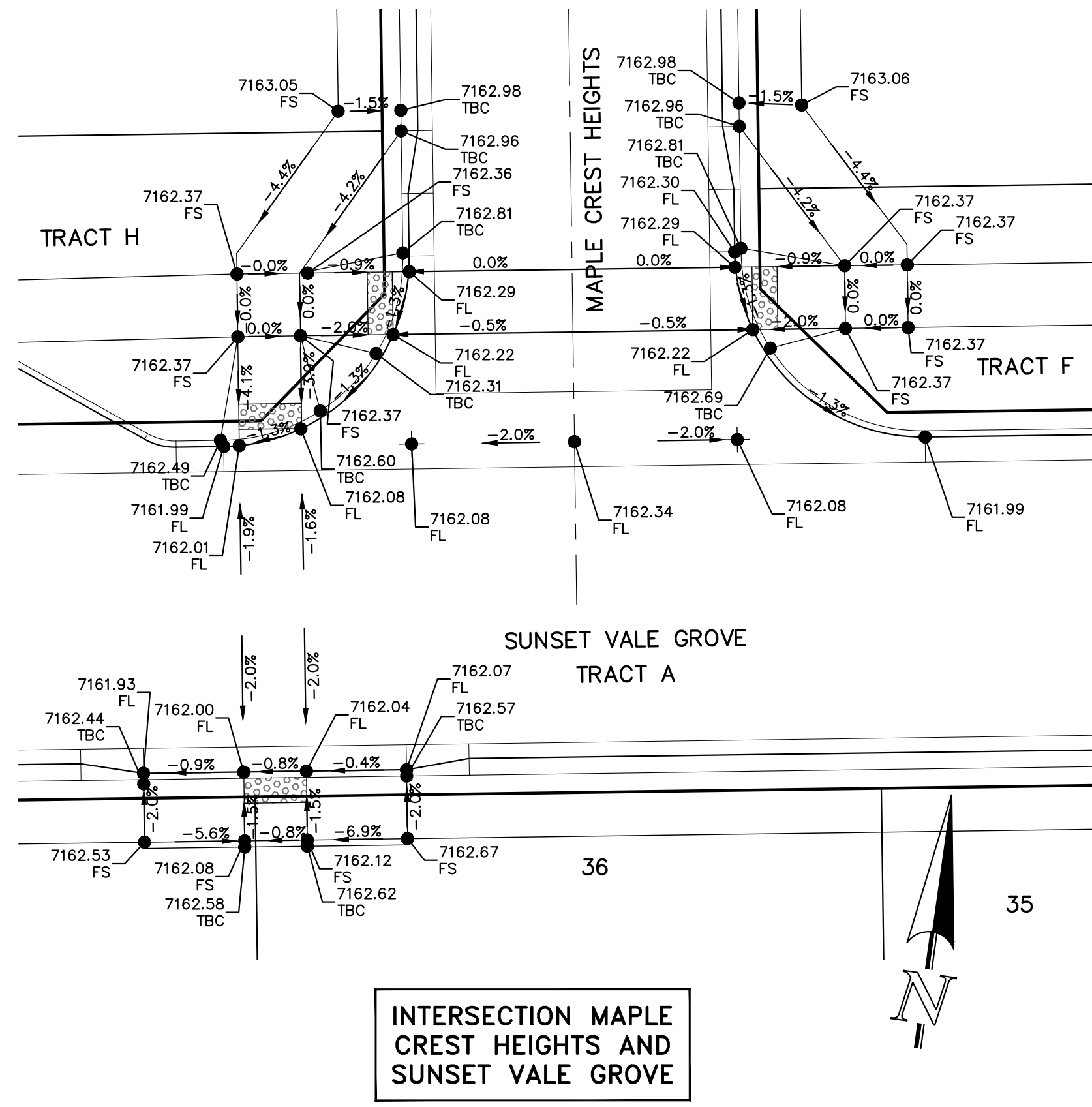
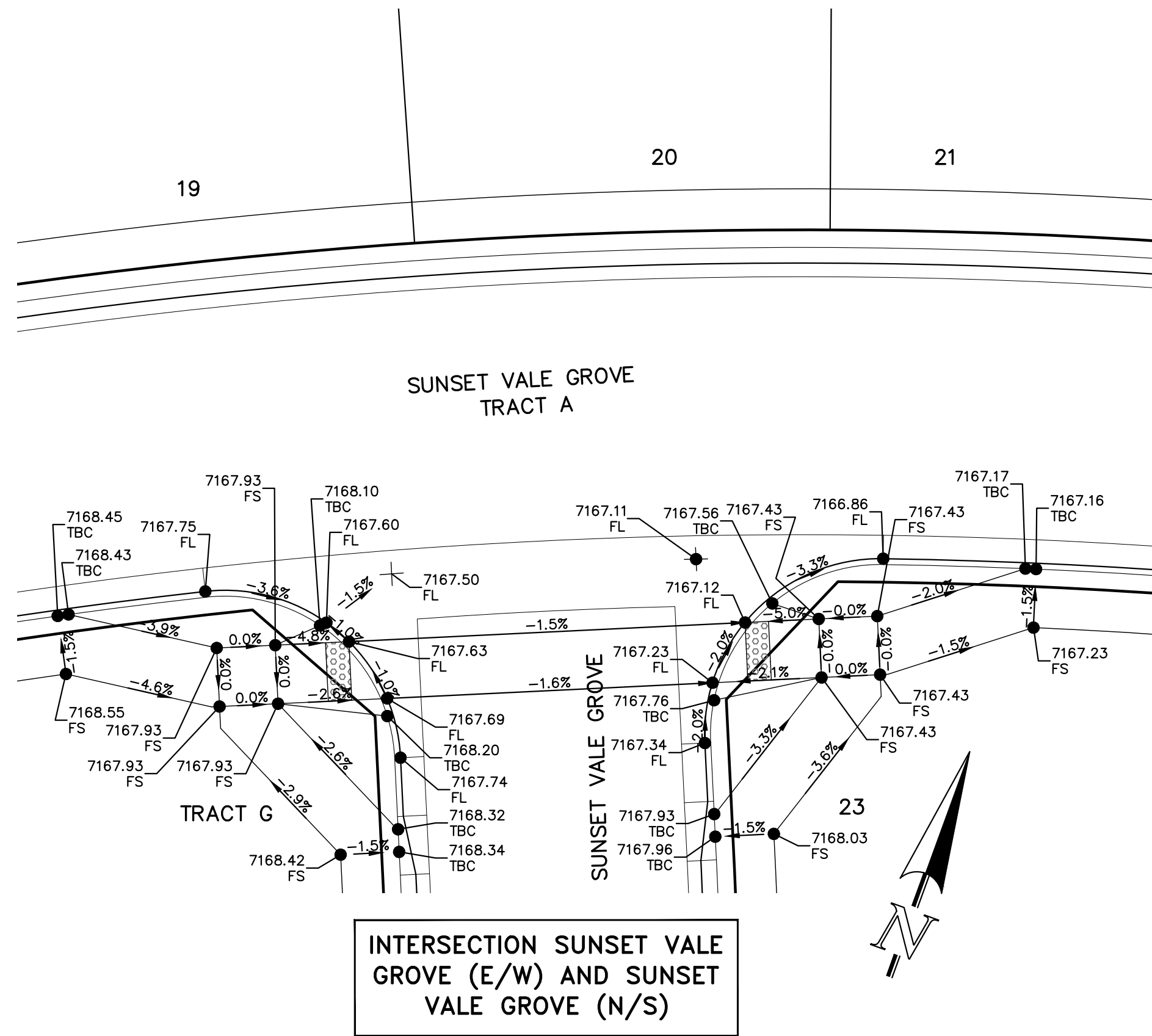
NO.	REVISION	DATE

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CLASSIC CONSULTING ENGINEERS AND SURVEYORS, LLC
MARC A. WHORTON, COLORADO P.E. #37155 DATE

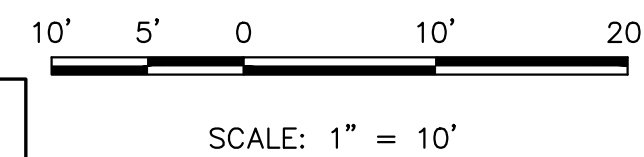
CLASSIC CONSULTING
619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903
(719) 785-0790
(719) 785-0799(Fax)

RETREAT AT PRAIRIERIDGE FILING NO. 4 CONSTRUCTION PLANS PRIVATE STREET IMPROVEMENT PLANS PARKING AREA & PEDESTRIAN RAMP DETAILS			
DESIGNED BY	MAW	SCALE	DATE 05/09/2025
DRAWN BY	KES	(H) 1"= 10'	SHEET 13 OF 18
CHECKED BY	(V) 1"= N/A	JOB NO.	1305.40

N:\130540\DRAWINGS\CONSTRUCTION\130540-13 ST PKG AREAS PED RAMPS-01.dwg, 7/16/2025 9:55:50 AM, 1:1, KS



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ALL RAMP DETAILS
AT SAME SCALE

PCD No. SF

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MIGHT BE CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND
PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NO. REVISION

DATE

REVIEW:

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF
CLASSIC CONSULTING ENGINEERS AND SURVEYORS, LLC

MARC A. WHORTON, COLORADO P.E. #37155

DATE

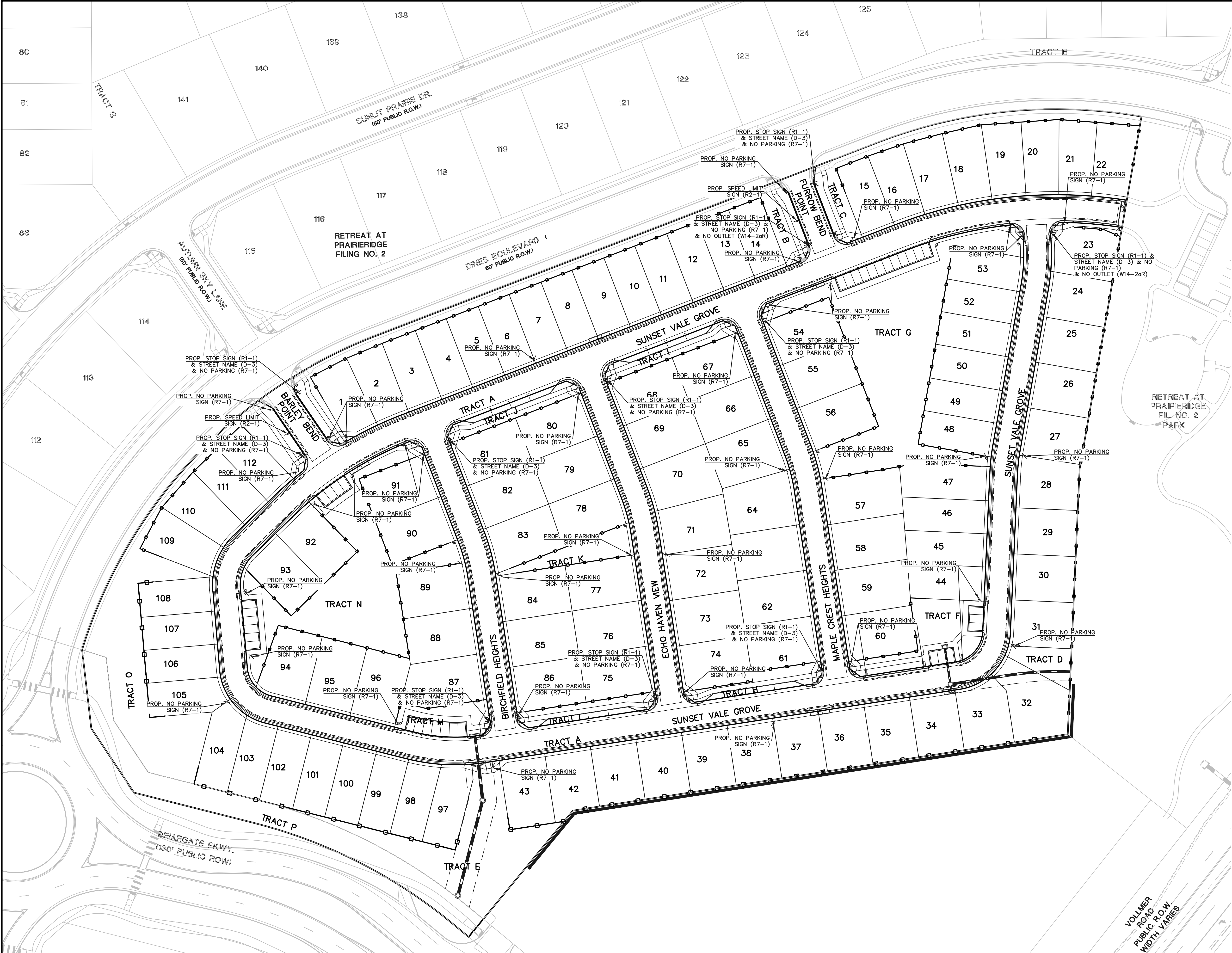


619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903
(719) 785-0790
(719) 785-0799 (fax)

RETREAT AT PRAIRIERIDGE FILING NO. 4
CONSTRUCTION PLANS
PRIVATE STREET IMPROVEMENT PLANS
PEDESTRIAN RAMP DETAILS

DESIGNED BY	MAW	SCALE	DATE	05/09/2025
DRAWN BY	KES	(H) 1"= 10'	SHEET 14	OF 18
CHECKED BY		(V) 1"= N/A	JOB NO.	1305.40





STRIPING LEGEND		
STRIPE O	PAVEMENT MARKINGS	MARKING DESCRIPTION
1	EDGE LINES (EPOXY)	SOLID WHITE, 4" WIDE

*NOTE: ALL STRIPING INSTALLATION SHALL BE PER COLORADO DEPARTMENT OF TRANSPORTATION "M&S STANDARDS" STANDARD PLAN NO. S-627-1

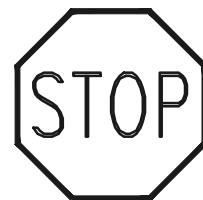


W14-2aR &
W14-2aL



SPEED LIMIT (R2-1)
24"x30"
(PRIVATE ROADS)

NOTE:
20 MPH SPEED LIMIT SIGN
FOR PRIVATE STREETS TO BE
PLACED AT ALL PUBLIC TO
PRIVATE STREET TRANSITION
POINTS.



STOP (R1-1)
30"x30"

Street Name

STREET NAME (D-3) (PUBLIC)
* SEE SHEET 29 FOR PRIVATE ROAD
STREET NAME SIGN DETAIL.

NOTE:

ALL INTERNAL SIGNS SHALL BE
4" FONT LETTER SIZE.

SIGNS AT STERLING RANCH ROAD
INTERSECTION SHALL BE 6" FONT
LETTER SIZE.



NO PARKING SIGN (R7-1)



50' 25' 0 50' 100'

SCALE: 1" = 50'

PCD No. SF

48 HOURS BEFORE YOU DIG,
CALL UTILITY LOCATORS
811

UTILITY NOTIFICATION CENTER OF COLORADO
IT'S THE LAW

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MARC A. WHORTON, COLORADO P.E. #37155

DATE

CLASSIC
CONSULTING

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Colorado Springs, Colorado 80903 (719) 785-0799(Fax)

RETREAT AT PRAIRIERIDGE FILING NO. 4
CONSTRUCTION PLANS

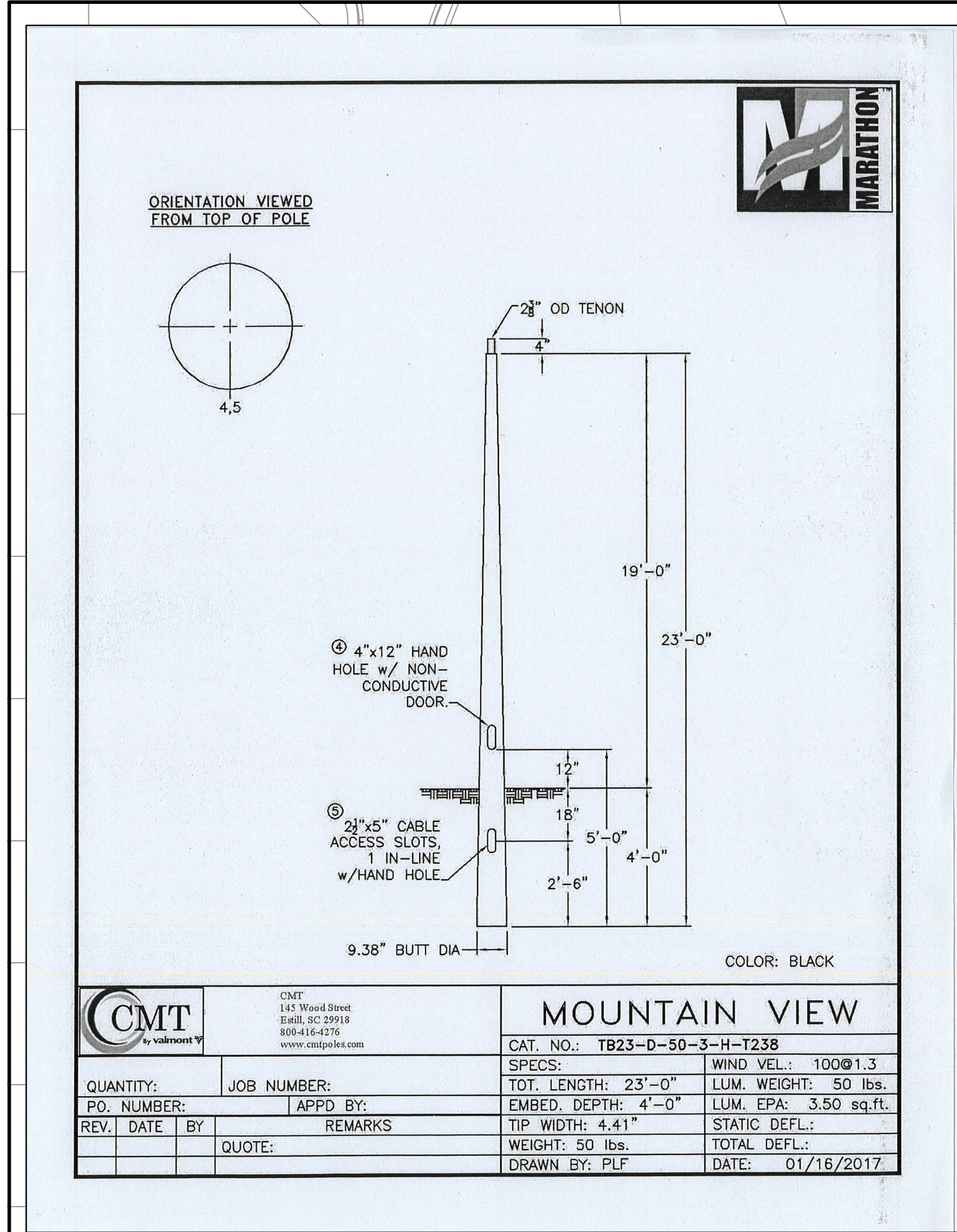
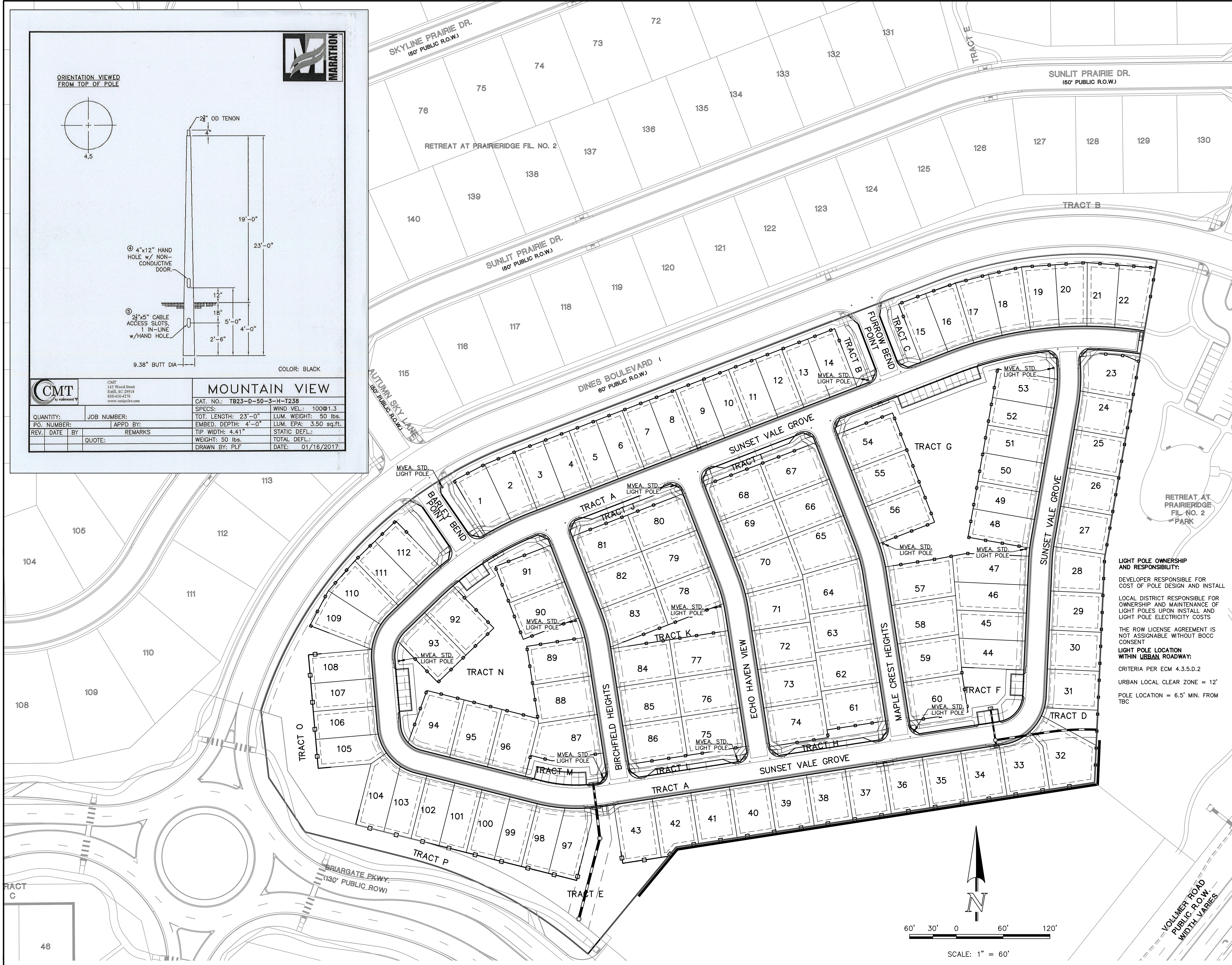
PRIVATE STREET IMPROVEMENT PLANS
SIGNAGE & STRIPING PLAN


DESIGNED BY MAW SCALE DATE 05/09/2025

DRAWN BY KES (H) 1"= 50' SHEET 15 OF 18

CHECKED BY (V) 1"= N/A JOB NO. 1305.40

CLASSIC
CONSULTING





Features:

- Die-cast aluminum housing and hood for long-life performance
- Die-cast trigger latch (TL) and captive thumbs screws option available for easy access to internal components
- Optical assembly designed for maximum performance, available in Type II, Type III and Type V
- Hinged hood and captive thumbs screws provision afford quick, easy access to electrical and optical area for servicing
- Slipfit with three set screws allows secure installation to pole sizes 2-3/8" or 3" O.D.
- Surge protection device (standard) exceeds ANSI C82.41 Category C1 criteria (surge tested at 10kV/5kA)
- Complies with ANSI: C136.2, C136.10, C136.15
- CSA listed and suitable for up to 30°C ambient
- Rated L70, LED life greater than 100,000 hours at 25°C
- Replaces up to 150W HPS light source incumbent models
- LED electronic 0V-10V dimmable driver
- DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/DLP to confirm which versions are qualified.

Applications:

- Streetscapes
- Walkways
- Pathways
- Parks

MVEA SPEC # 247 L 10LEDE10 MVOLT 4K RS AY PCLL

DIMENSIONS

Effective Projected Area (EPA)
The EPA for the American Revolution Series 247 is 1.6 sq. ft.
P5 or P7 option total height is 24.1 (600).
Approx. Wt. = 38 lbs.

All dimensions are inches (millimeters) unless otherwise noted.

ORDERING INFORMATION

Example: 247L 20LEDE10 MVOLT 4K RS AY

Series	Performance Package	Voltage	Color Temperature (CCT)
247L American Revolution LED	20LEDE10 20 Chips, 100 mA Driver, 72 input watts 20LEDE10 20 Chips, 100 mA Driver, 45 input watts 10LEDE10 10 Chips, 100 mA Driver, 38 input watts 10LEDE10 10 Chips, 100 mA Driver, 25 input watts 10LEDE10 10 Chips, 55 mA Driver, 18 input watts 10LEDE10 10 Chips, 350 mA Driver, 13 input watts	MVOLT Multi-volt, 120-277V 247 247V 480 480V	3K 3000K 4K 4000K 5K 5000K


Distribution	Options	Options	Options
R2 Type II R3 Type III R5 Type V	AY Acrylic PY Polycarbonate	Paint: (blank) Black (standard) GY Gray DB Dark Bronze WH White BZ Bronze	Miscellaneous: SS Stainless steel hardware NL NEMA Label XL Not CSA Listed TL Tool-less Entry LON Ladder Rest SH Shorting Cap NSH Not CSA Listed Shorting Cap HSH House Side Shield Black HSW House Side Shield White CR Enhanced Corrosion Resistant Finish RCC ROAM Dimming Node Cupola Cover

Notes:

- Other colors available, please contact factory
- PC and SH not available with NR option
- Taller cupola cover (RCC) is required when used with ROAM or other similar wireless monitoring control systems
- Standard failure mode: "Fail On"
- Photocontrols supplied with ANSI Standard Turn-On levels
- XL option is required
- Ships with unit, field installed
- Required when using ROAM or other similar wireless monitoring control systems

Warranty: Five-year limited warranty. Complete warranty terms located at: www.american-electric-lighting.com

48 HOURS BEFORE YOU DIG, CALL UTILITY LOCATORS 811 UTILITY NOTIFICATION CENTER OF COLORADO IT'S THE LAW		NO. REVISION	DATE	REVIEW:
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				MARC A. WHORTON, COLORADO P.E. #37155



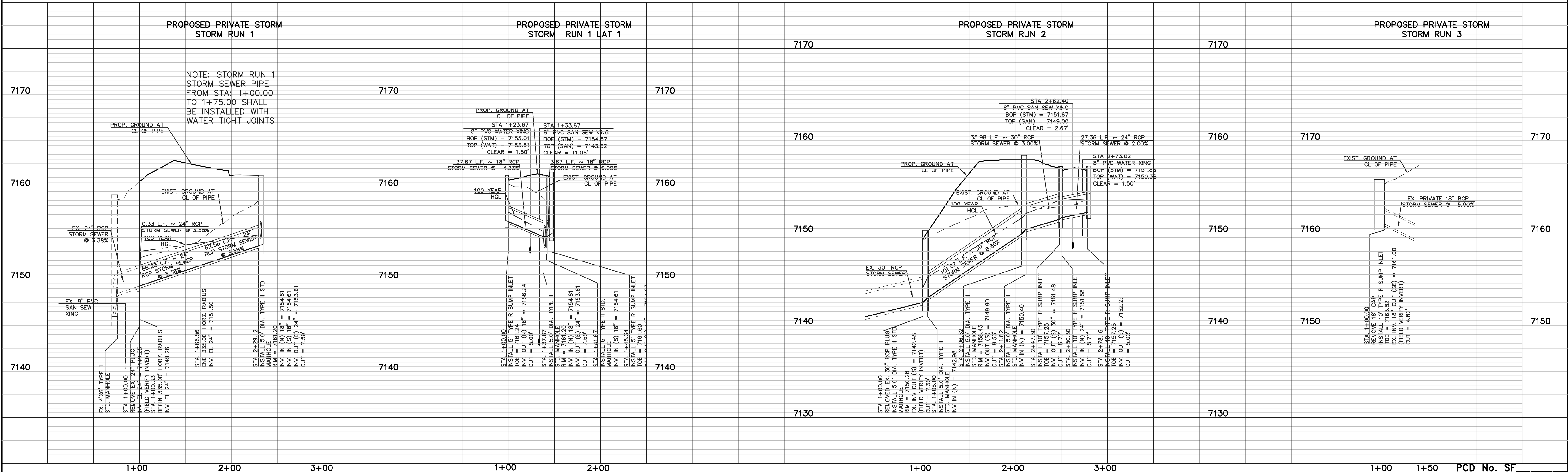
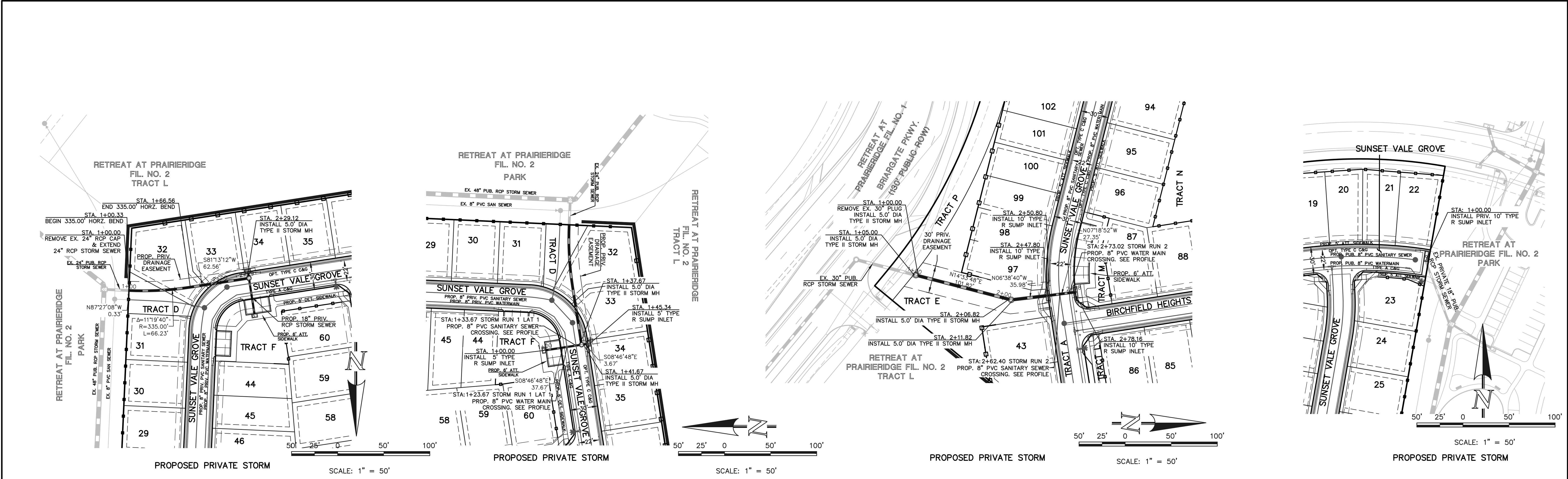
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PCD No. SF

RETREAT AT PRAIRIERIDGE FILING NO. 4
CONSTRUCTION PLANS
PRIVATE STREET IMPROVEMENT PLANS
STREET LIGHT POLE LOCATION PLAN

DESIGNED BY	MAW	SCALE	DATE	05/09/2025
DRAWN BY	KES	(H) 1" = 60'	SHEET	16 OF 18
CHECKED BY		(V) 1" = N/A	JOB NO.	1305.40



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MARC A. WHORTON, COLORADO P.E. #37155

DATE

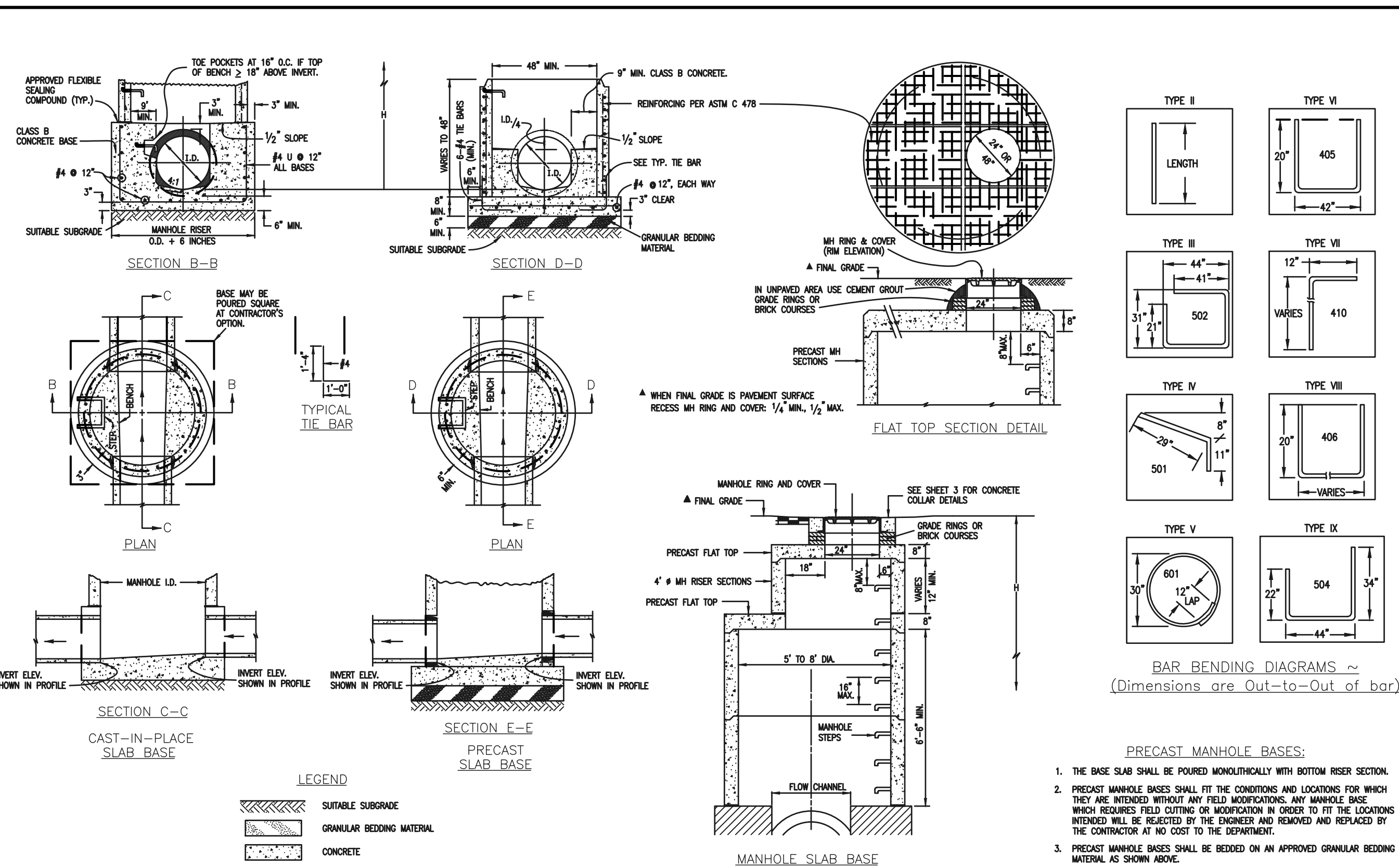
CLASSIC CONSULTING

619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903

(719)785-0790
(719)785-0799(Fax)

RETREAT AT PRAIRIERIDGE FILING NO. 4
CONSTRUCTION PLANS
PRIVATE STORM SEWER PLAN


DESIGNED BY	PRA	SCALE	DATE
DRAWN BY	KES	(H) 1"= 50'	05/09/2025
CHECKED BY	(V) 1"= 5'	SHEET 17 OF 18	JOB NO. 1305.40



GENERAL NOTES

1. ALL CONCRETE SHALL BE CLASS B.
2. CONCRETE WALLS SHALL BE FORMED ON BOTH SIDES AND SHALL BE 8 IN. THICK.
3. INLET STEPS SHALL BE IN ACCORDANCE WITH ASHRAE 14 199.
4. CURB FACE ASSEMBLY SHALL BE GALVANIZED AFTER WELDING.
5. EXPOSED CONCRETE CORNERS SHALL BE CHAMFERED 3/4 IN. CURB AND GUTTER CORNERS SHALL BE FINISHED TO MATCH THE EXISTING CURB AND GUTTER BEYOND THE TRANSITION GUTTER.
6. REINFORCING BARS SHALL BE DEFORMED AND SHALL HAVE A 2 IN. MINIMUM CLEARANCE. ALL REINFORCING BARS SHALL BE EPOXY COATED.
7. DIMENSIONS AND WEIGHTS OF TYPICAL MANHOLE RING AND COVER ARE NOMINAL.
8. MATERIAL FOR MANHOLE RINGS AND COVERS SHALL BE GRAY OR DUCTILE CAST IRON CONFORMING TO 712.06.
9. SAND PIPE ENTRIES INTO THE INLET ARE VARIABLE. THE DIMENSIONS SHOWN ARE TYPICAL. ACTUAL DIMENSIONS AND QUANTITIES FOR CONCRETE AND REINFORCEMENT SHALL BE AS REQUIRED IN THE WORK. QUANTITIES INCLUDE VOLUMES OCCUPIED BY PIPES.
10. STRUCTURAL STEEL SHALL BE GALVANIZED AND SHALL CONFORM TO THE REQUIREMENTS OF 712.06.

NOTE: FOR $L=5'$, $L=10'$ AND $L=15'$
REGULAR INLETS: TOTAL QUANTITIES
NEEDED ARE OUTSIDE OF
THE HEAVY BLACK LINE.
DROP BOX INLETS: TOTAL QUANTITY-
TIES NEEDED ARE INSIDE OF THE
HEAVY BLACK LINE



STEEL WEIGHTS DO NOT
INCLUDE STRUCTURAL
STEEL.

[illegible]

PCD No. SF

DESIGNED BY	MAW	SCALE	DATE	05/09/2025
DRAWN BY	KES	(H) 1"= 10'	SHEET	18 OF 18
CHECKED BY		(V) 1"= N/A	JOB NO.	1305.40

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