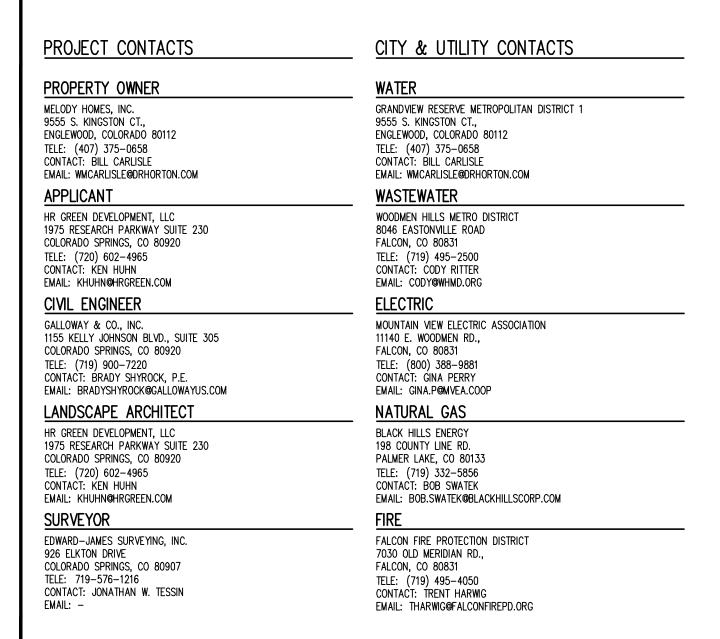
MELODY HOMES, INC.

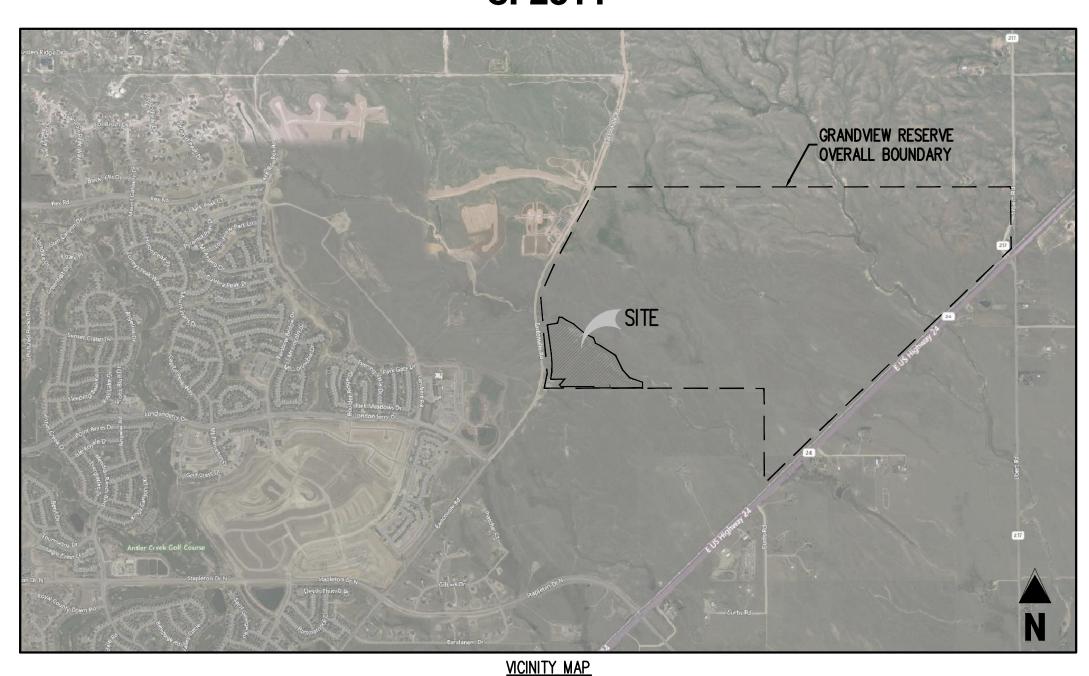
GRANDVIEW RESERVE FILING NO. 1

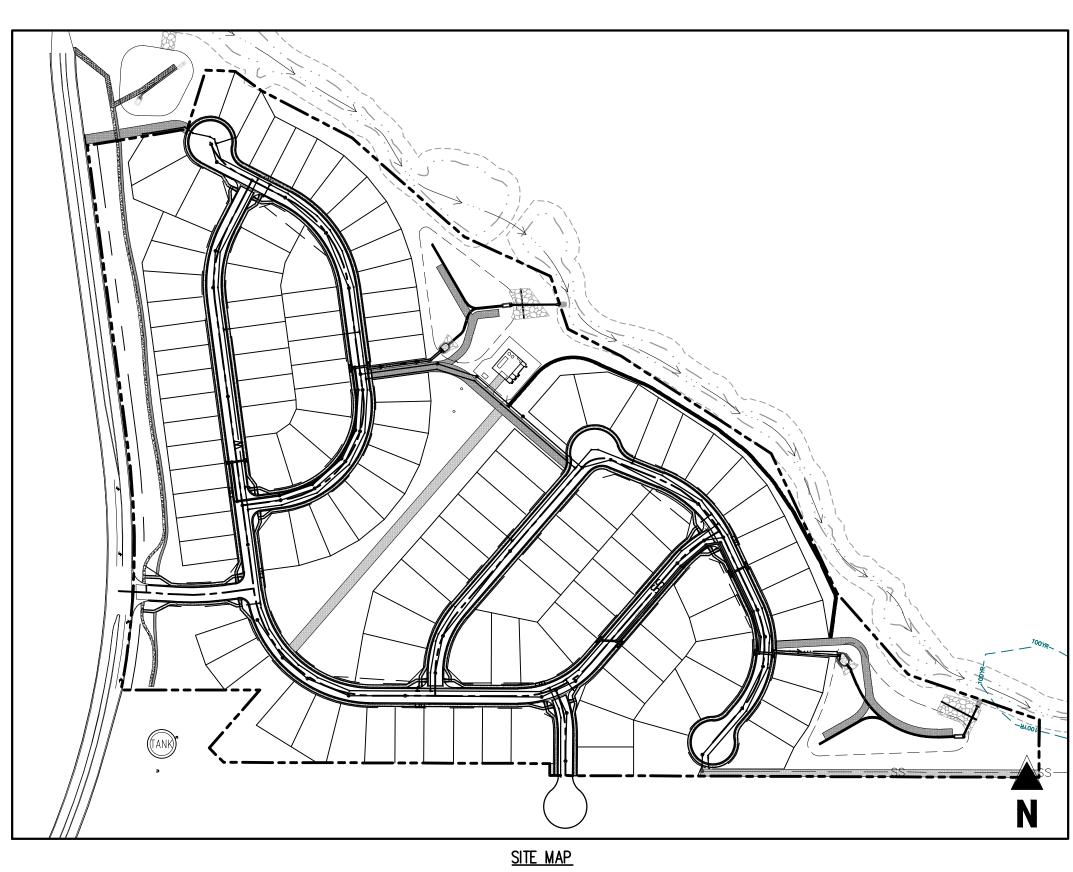
A TRACT OF LAND BEING A PORTION OF SOUTHWEST QUARTER SECTION 21, AND A PORTION OF THE NORTHWEST QUARTER OF SECTION 28; TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE SIXTH PRINCIPAL MERIDIAN EASTONVILLE RD & REX RD

ROADWAY AND STORM SEWER CONSTRUCTION PLANS

SF2311







SHEET LIST SHEET NUMBER SHEET TITLE SHEET DESCRIPTION CO.0 COVER SHEET CO.1 NOTES CO.2 OVERALL SHEET CO.3 OVERALL HORIZONTAL CONTROL C1.0 KEY MAP C1.1 ROADWAY P&P C1.2 ROADWAY P&P C1.3 ROADWAY P&P C1.4 ROADWAY P&P C1.5 ROADWAY P&P C1.6 ROADWAY P&P C1.7 ROADWAY P&P C1.8 ROADWAY P&P C1.9 ROADWAY P&P C1.10 ROADWAY P&P C1.11 ROADWAY P&P ROADWAY P&P C1.12 C1.13 FIRE ACCESS P&P FIRE ACCESS P&P C1.14 SITE DETAILS C1.15 SITE DETAILS C1.16 INTERSECTION DETAIL C2.2 INTERSECTION DETAIL INTERSECTION DETAIL C2.4 C2.5 INTERSECTION DETAIL C2.6 INTERSECTION DETAIL STORM DRAIN PLAN & PROFILE C3.1 STORM DRAIN DETAILS C4.1 C4.2 STORM DRAIN DETAILS C4.3 STORM DRAIN DETAILS STORM DRAIN DETAILS C4.4 C5.1 SIGNAGE PLAN

GRANDVIEW RESERVE FILING NO. 1. A TRACT OF LAND BEING A PORTION OF SOUTHWEST QUARTER SECTION 21, AND A PORTION OF THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO.

BENCHMARK

NGS BENCHMARK F 24 A STANDARD DISK, STAMPED F 24 1929 AND SET IN THE TOP OF A CONCRETE POST PROJECTING ABOUT 6 INCHES ABOVE GROUND. ALONG THE CHICAGO, ROCK ISLAND AND PACIFIC RAILROAD, 52 FEET NORTHWEST OF THE CENTERLINE OF U.S. HIGHWAY 24, 48 FEET SOUTHEAST OF THE CENTERLINE OF THE TRACK. NAVD88 ELEVATION = 6866.33

BASIS OF BEARING

THE NORTH LINE OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, STATE OF COLORADO BEING MONUMENTED AT EACH END BY A 3-1/4" ALUMINUM SURVEYORS CAP STAMPED "PSINC LS 30087" AND ASSUMED TO BEAR S89'47'04"E. A DISTANCE OF 5285.07 FEET.

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION A

NOTE: CONTRACTOR MUST COORDINATE WORK WITH UTILITY COMPANY AND CITY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK

CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below. ENGINEER PRIOR TO CONSTRUCTION.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY. EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

EL PASO COUNTY

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND / OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/ OR ACCURACY OF THIS DOCUMENT. FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

JOSHUA PALMER, P.E. COUNTY ENGINEER / ECM ADMINISTRATOR

OWNER'S STATEMENT I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN.

BILL CARLISLE MELODY HOMES, INC. **ENGINEER'S STATEMENT**

THIS GRADING AND EROSION CONTROL PLAN WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. SAID PLAN HAS BEEN PREPARED ACCORDING THE CRITERIA ESTABLISHED BY THE COUNTY FOR GRADING AND EROSION CONTROL PLANS. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY AN NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARING THIS PLAN.

BRADY A. SHYROCK, COLORADO P.E. NO. 0038164

COVER SHEET

JDM, BLB

03/15/2024

Date Issue / Description

Colorado Springs, CO 80920

GallowayUS.com

COPYRIGHT

SO

THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY.

COPYRIGHTS AND INFRINGEMENTS WILL BE

America's Builder

ENFORCED AND PROSECUTED.

LIST OF ABBREVIATIONS

Δ – DEFLECTION ANGLE

R — RADIUS CB - CHORD BEARING

C — CHORD LENGTH N - NORTH/NORTHING W - WEST E - EAST/EASTING

DET — DETAIL ex – existing

PC - POINT OF CURVATURE/PORTLAND CEMENT WWF — WELDED WIRE FABRIC

OC - ON CENTER FDC - FIRE DEPARTMENT CONNECTION CT - COURT DR - DRIVE

REC - RECEPTION NUMBER ø, DIA – DIAMETER PT - POINT OF TANGENCY

MIN — MINIMUM MAX - MAXIMUM HDPE - HIGH DENSITY POLYETHYLENE

GENERAL NOTES:

- 1. ALL UTILITY CONSTRUCTION TO BE CONDUCTED IN CONFORMANCE WITH THE CURRENT WOODMEN HILLS METROPOLITAN DISTRICT (WHMD, THE DISTRICT) SPECIFICATIONS.
- 2. ALL PLANS ON THE JOB SITE SHALL BE SIGNED BY THE DISTRICT AND THE DISTRICT'S ENGINEER. ANY REVISION TO THE PLANS SHALL BE SO NOTED WITH THE OLD DRAWING MARKED
- 3. ALL STATIONING IS CENTER LINE UNLESS OTHERWISE NOTED. ALL ELEVATIONS ARE CENTER LINE UNLESS OTHERWISE NOTED.
- 4. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE DISTRICT. THE DISTRICT RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
- 5. ALL WATER AND SEWER SERVICE LOCATIONS SHALL BE CLEARLY MARKED ON EITHER THE CURB HEAD OR THE FACE OF THE CURB, WITH AN "S" FOR SEWER AND A "W" FOR WATER.
- 6. DUCTILE IRON PIPES, INCLUDING FITTINGS, VALVES AND FIRE HYDRANTS, SHALL BE WRAPPED WITH POLYETHYLENE TUBING, DOUBLE BONDED AT EACH JOINT AND ELECTRICALLY ISOLATED. BONDING AND ANODE CONNECTIONS SHALL BE THOROUGHLY COATED WITH BITUMINOUS COATENCES.
- 7. ALL DUCTILE IRON PIPE LESS THAN 12 INCHES AND FITTINGS SHALL HAVE CATHODIC PROTECTION USING TWO NO. 6 WIRES WITH 17 LB. MAGNESIUM ANODES EVERY 400 FEET AND 9 LB. MAGNESIUM ANODES AT EACH FITTING. ALL DUCTILE IRON PIPE 12 INCHES AND GREATER AND FITTINGS SHALL HAVE CATHODIC PROTECTION USING TWO NO. 6 WIRES WITH 17 LB. MAGNESIUM ANODES EVERY 300 FEET AND 9 LB. MAGNESIUM ANODES AT EACH FITTING.
- 8. ALL PIPE MATERIAL, BACKFILL AND INSTALLATION SHALL CONFORM TO THE APPLICABLE SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS, COLORADO DEPARTMENT OF TRANSPORTATION, EL PASO COUNTY DEPARTMENT OF TRANSPORTATION, COLORADO SPRINGS UTILITIES AND THE GEOTECHNICAL ENGINEER.
- 9. COMPACTION TESTS SHALL BE 95% STANDARD PROCTOR AS DETERMINED BY ASTM D698, UNLESS OTHERWISE APPROVED BY THE DISTRICT OR HIGHER STANDARD AS IMPOSED BY ANOTHER AGENCIES HAVING RIGHT-OF-WAY JURISDICTION. THIS SHALL INCLUDE ALL VALVES, FIRE HYDRANT RUNS, WATER & SEWER SERVICE LINES AND MANHOLES. ALL REPORTS SHALL BE SUBMITTED TO THE DISTRICT FOR REVIEW AND APPROVAL.
- 10. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE DRAWINGS ARE APPROXIMATE ONLY. THE LOCATION OF ALL UTILITIES SHALL BE FIELD VERIFIED PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES. THE DISTRICT SHALL BE NOTIFIED OF ANY DEVIATIONS TO THE LINE AND/OR GRADE AS DEPICTED ON THE PLANS. CONTRACTOR SHALL SUBMIT TO THE DISTRICT AND THE ENGINEER OF RECORD A REPORT OF THE FIELD VERIFIED INFORMATION PRIOR TO THE START OF CONSTRUCTION.
- 11. ALL BENDS SHALL BE FIELD STAKED PRIOR TO THE START OF CONSTRUCTION.
- 12. BENDS, DEFLECTION & CUT PIPE LENGTHS SHALL BE USED TO HOLD HORIZONTAL ALIGNMENT OF SEWER AND WATER LINES TO NO MORE THAN 0.5' FROM THE DESIGNED ALIGNMENT. CONSTRUCTION STAKES TO BE AT 25' INTERVALS ALONG CURVES TO ASSURE LOCATION OF PIPE LINE CONSTRUCTION.
- 13. AT ALL LOCATIONS WHERE CAP AND STUB IS NOTED ON DRAWINGS, PROVIDE A PLUG AT THE END OF THE PIPE JOINT NEAREST THE SPECIFIED STATION. PROVIDE A REVERSE ANCHOR AT ALL WATER LINE PLUGS.
- 14. ALL UNUSED SALVAGED WATER UTILITY MATERIAL SHALL BE RETURNED TO THE METROPOLITAN DISTRICT AS REQUESTED.
- 15. AT THE CONTRACTOR'S EXPENSE, ALL UTILITY MAINS SHALL BE SUPPORTED AND PROTECTED SUCH THAT THEY SHALL FUNCTION CONTINUOUSLY DURING CONSTRUCTION OPERATIONS. SHOULD A UTILITY MAIN FAIL AS A RESULT OF THE CONTRACTOR'S OPERATION, IT SHALL BE REPLACED IMMEDIATELY BY THE CONTRACTOR OR BY THE DISTRICT AT FULL COST OF LABOR AND MATERIALS TO THE CONTRACTOR/DEVELOPER.
- 16. PUMPING OR BYPASS OPERATIONS SHALL BE REVIEWED AND APPROVED BY BOTH THE DISTRICT AND THE DISTRICT ENGINEER PRIOR TO EXECUTION.
- 17. THE CONTRACTOR SHALL REPLACE OR REPAIR DAMAGE TO ALL SURFACE IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO FENCES, LANDSCAPING, CURB AND GUTTER AND/OR ASPHALT THAT MAY BE CAUSED DURING CONSTRUCTION.
- 18. ALL CONTRACTORS WORKING ON OR NEAR A WATER OR SEWER FACILITY (TO INCLUDE SERVICE LINES) SHALL HAVE LIABILITY INSURANCE NAMING THE DISTRICT AS AN ADDITIONAL INSURED AND SHALL PROVIDE A CURRENT COPY OF WORKERS COMPENSATION INSURANCE ON FILE WITH THE DISTRICT. NO WORK CAN PROCEED WITHOUT CURRENT CERTIFICATES ON FILE AT THE DISTRICTS. OFFICE.
- 19. THE CONTRACTOR SHALL NOTIFY THE DISTRICT AND ALL AFFECTED UTILITY COMPANIES
 ADJACENT TO THE PROPOSED UTILITY CONSTRUCTION A MINIMUM OF 48 HOURS AND A MAXIMUM
 OF 96 HOURS PRIOR TO THE START OF CONSTRUCTION. A WEEKLY CONSTRUCTION MEETING
 SHALL BE REQUIRED WITH THE CONTRACTOR, DISTRICT ENGINEER AND ALL OTHER PARTIES AS
 DEEMED NECESSARY BY THE DISTRICT.
- 20. COMMENCEMENT OF CONSTRUCTION OF WATER/SEWER SYSTEMS WITHIN METROPOLITAN DISTRICT:

 A) PRIOR TO THE START OF CONSTRUCTION, A PRE-CONSTRUCTION MEETING IS REQUIRED A
 MINIMUM OF 48 HOURS IN ADVANCE OF COMMENCEMENT OF WORK. A REPRESENTATIVE OF
 THE OWNER OR DEVELOPER, A REPRESENTATIVE OF THE CONTRACTOR AND DESIGN ENGINEER
 ARE REQUIRED TO ATTEND. CONTACT THE DISTRICT TO SCHEDULE THE PRE-CONSTRUCTION
 MEETING. NO PRE-CONSTRUCTION MEETING CAN BE SCHEDULED PRIOR TO FOUR (4)
 SIGNED/APPROVED PLAN SETS ARE RECEIVED BY THE DISTRICT.
- B) THE CONTRACTOR IS REQUIRED TO NOTIFY THE DISTRICT A MINIMUM OF 48 HOURS AND A MAXIMUM OF 2 WEEKS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO NOTIFY AFFECTED UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION ADJACENT TO THE KNOWN UTILITY LINES.
- 21. TESTING OF FACILITIES:

 A) THE CONTRACTOR SHALL NOTIFY THE DISTRICT A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF ANY TESTING.

 B) ALL SECTIONS OF WATER LINE ARE TO MEET THE FOLLOWING PRESSURE TESTING
- REQUIREMENTS

 TEST 100 % OF ALL LINES

 MUST PASS PRESSURE TEST TO 200 PSI FOR TWO HOURS (UNLESS OTHERWISE
- APPROVED ON THE PLANS).

 C) ALL SANITARY SEWER FACILITIES ARE TO MEET THE FOLLOWING TESTING REQUIREMENTS

 ALL LINES SHALL BE JET CLEANED PRIOR TO VACUUM OR PRESSURE TESTING

 ALL MANHOLES SHALL BE VACUUM TESTED WITH DISTRICT STAFF PRESENT PRIOR TO
 - CCTV INSPECTION.

 SEWER MAINS TO BE PRESSURE TEST PRIOR TO CCTV INSPECTION
 ALL LINES SHALL BE CCTV INSPECTED AND VIDEO SHALL TO BE SUBMITTED
 TO THE DISTRICT FOR REVIEW AND APPROVAL.
- 22. PRELIMINARY ACCEPTANCE SHALL BE DEFINED AS THE POINT IN TIME THAT THE DISTRICT ACCEPTS THE FACILITY FOR USE. ALL SURFACE IMPROVEMENTS AND RESTORATION SHALL BE COMPLETED WITHIN 30 DAYS OF COMMENCEMENT. SHOULD THE CONTRACTOR FAIL TO COMPLETE ALL SURFACE IMPROVEMENTS AND RESTORATION WITHIN 30 DAYS OF COMMENCEMENT OF SERVICE, THE DISTRICT, AT THEIR DISCRETION, MAY ELECT TO COMPLETE THE IMPROVEMENTS AT THE CONTRACTORS COST.
- 23. FINAL ACCEPTANCE BY THE DISTRICT OF ANY LINE OR SYSTEM SHALL NOT OCCUR UNTIL COMPLETION OF FINAL ASPHALT LAYERS AND/OR FINAL COMPLETION AND/OR RESTORATION OF ALL SURFACE IMPROVEMENTS. THE WARRANTY PERIOD FOR ALL FACILITIES PRIOR TO FINAL ACCEPTANCE SHALL BE 24 MONTHS COMMENCING AFTER PRELIMINARY ACCEPTANCE.
- 24. ACCEPTANCE:
- A) THE DISTRICT MAY GIVE PRELIMINARY ACCEPTANCE ONCE ALL OF THE TESTS ON ALL THE LINES HAVE BEEN COMPLETED AND A WALK-THRU HAS OCCURRED.

 B) A SECOND ACCEPTANCE MAY OCCUR ONCE FIRST LIFT OF ASPHALT GOES DOWN AND A SECOND WALK-THRU OF THE SYSTEM OCCURS. IF ALL FACILITIES ARE CLEAN AND ACCESSIBLE, A FINAL ACCEPTANCE MAY OCCUR (THE DISTRICT MAY REQUIRE CLEANING AND RE-VIDEO OF THE SYSTEM, DEPENDING ON THE SEVERITY OF THE CONTAMINATION).
- 25. ALL WATER AND SEWER MAINS, INCLUDING SERVICE LINES, SHALL HAVE "AS-BUILT" DRAWINGS PREPARED AND APPROVED PRIOR TO PRELIMINARY ACCEPTANCE BY THE DISTRICT.
- 26. ALL COMMERCIAL/BUSINESS DEVELOPMENTS SHALL HAVE AN EIGHT INCH (MIN.) WATER MAIN LOOPED THROUGH THE PROPOSED PROPERTY WITH GATE VALVES LOCATED WHERE THE MAIN ENTERS THE PROPERTY LINE. AN EIGHT INCH SEWER MAIN SHALL BE INSTALLED FOR SERVICE TO COMMERCIAL/BUSINESS DEVELOPMENTS, AND A MANHOLE SHALL BE LOCATED WHERE THE MAIN ENTERS THE PROPERTY. THE END OF THE MAINS SHALL BE MARKED WITH THE APPROPRIATE COLORED CARSONITE MARKER ALONG WITH TRACER WIRE.
- 27. AFTER REVIEW AND APPROVAL OF PLANS FOR THE EXTENSION OF LINES, FACILITIES AND/OR SERVICES, CONSTRUCTION MUST BE COMMENCED WITHIN 18 MONTHS FOR RESIDENTIAL SUBDIVISIONS AND 12 MONTHS FOR ANY COMMERCIAL INSTALLATIONS.
- 28. INSPECTION FEES: CALL THE DISTRICT (719-495-2500) FOR FEE SCHEDULE.

WATER SYSTEM INSTALLATION NOTES

29. ALL WATER AND FORCE MAIN PIPE SHALL BE AWWA C900 PVC, OR EQUAL, PRESSURE CLASS 200. ALL WATER AND FORCE MAIN FITTINGS SHALL HAVE MECHANICAL RESTRAINTS AND THRUST BLOCKS. ALL WATER AND FORCE MAIN PIPE SHALL HAVE A MINIMUM COVER DEPTH OF FIVE AND ONE—HALF (5.5) FEET.

- 30. ALL WATER VALVES ASSOCIATED WITH THE POTABLE WATER SYSTEM SHALL BE OPEN CLOCKWISE. ALL VALVES INSTALLED IN LANDSCAPED AREAS AND/OR NOT WITHIN PAVED STREETS SHALL BE MARKED WITH CARSONITE MARKERS. ALL VALVES ASSOCIATED WITH THE RAW WATER SYSTEM SHALL BE OPEN COUNTERCLOCKWISE AND MARKED WITH CARSONITE MARKERS AS APPLICABLE.
- 31. THE DEVELOPER OR HIS ENGINEER SHALL LOCATE ALL FIRE HYDRANTS AND SERVICE STUB OUTS FOR FUTURE DEVELOPMENT. ANY REQUIRED REALIGNMENT, (HORIZONTAL OR VERTICAL), SHALL BE AT THE EXPENSE OF THE DEVELOPER. FIRE HYDRANT LOCATION SHALL BE REVIEWED AND APPROVED BY THE APPLICABLE FIRE AUTHORITY.
- 32. FIRE HYDRANTS SHALL BE OPEN RIGHT WITH 7/8" X 7/8" SQUARE TAPERED ALONG WITH SERVICE CAPS. LUBRICATION TYPE: (GREASE). ACCEPTABLE BRAND IS KENNEDY
- 33. ALL MAIN LINES (PVC & DUCTILE IRON) SHALL BE INSTALLED WITH COATED #12 TRACER WIRE WITH TEST STATIONS AT INTERVALS NO GREATER THAN 500 FT (VALVE BOXES CAN BE USED AT INTERSECTIONS AND SERVICE STUBS).
- 34. CONTRACTOR SHALL MAKE CONNECTIONS TO EXISTING WATER LINE WITHOUT SHUTDOWN, OR ELSE NOTIFY THE DISTRICT OF ANY SERVICE SHUTDOWNS NECESSARY TO CONNECT TO EXISTING
- 35. IRRIGATION SERVICES SHALL HAVE A STOP AND WASTE CURB STOP VALVE INSTALLED ALONG WITH TRACER WIRE EXTENDING BACK TO THE MAIN LINE.
- 36. COMMENCEMENT OF USE OF WATER LINES AND/OR SYSTEMS:

 A) NO WATER FACILITY SHALL BE PLACED IN SERVICE UNTIL AFTER THE COMPLETION OF ALL
- PRESSURE TESTING, FLUSHING, BAC-T TESTING, COMPACTION TESTING, AND AS-BUILT DRAWINGS ARE SUBMITTED AND APPROVED BY THE DISTRICT.

 B) NO WATER FACILITY SHALL BE PLACED IN SERVICE UNTIL ALL SERVICE LINES ARE COMPLETED AND THE FIRST LIFT OF ASPHALT IS COMPLETED OVER THE LINE. IN THE CASE WHERE NO ASPHALT IS TO BE PLACED OVER THE LINE, SURFACE
- IMPROVEMENTS SHALL BE COMPLETED PRIOR TO USE OF THE FACILITY.

 C) ALL EASEMENTS (PLATTED OR DEEDED) ARE DEDICATED, EXECUTED BY THE

WASTEWATER SYSTEM INSTALLATION NOTES

DISTRICT, AND RECORDED.

- 37. SANITARY SEWER LENGTHS ARE MH CENTER-MH CENTER. ALL SANITARY SEWER PIPES SHALL BE SDR 35 PVC OR EQUAL. SEWER LINES MAY NOT EXCEED 7% GRADE FOR ANY SIZE WITHOUT PRIOR APPROVAL OF THE DISTRICT. ALL NEWLY CONSTRUCTED RESIDENTIAL SANITARY SEWER TAPS SHALL USE PRE-MANUFACTURED IN-LINE PVC PUSH-ON WYES. TAPPING SADDLES MAY ONLY BE USED FOR TAPPING PRE-EXISTING MAINS.
- 38. ALL SANITARY SEWER MANHOLES SHALL BE WRAPPED WITH RU116 RUBR—NEK JOINT WRAP OR EQUIVALENT AND COATED.
- 39. COMMENCEMENT OF USE OF SEWER LINES AND/OR SYSTEMS:
- A) NO SANITARY SEWER FACILITY SHALL BE PLACED IN SERVICE UNTIL THE COMPLETION OF ALL JET CLEANING, PRESSURE TESTING, VACUUM TESTING, CCTV INSPECTION, COMPACTION TESTING, AND AS—BUILT DRAWINGS ARE SUBMITTED AND APPROVED BY THE DISTRICT.

 B) NO SANITARY SEWER FACILITY SHALL BE PLACED IN SERVICE UNTIL ALL SERVICE LINES
- B) NO SANITARY SEWER FACILITY SHALL BE PLACED IN SERVICE UNTIL ALL SERVICE LINES ARE COMPLETED AND THE FIRST LIFT OF ASPHALT IS COMPLETED OVER THE LINE. IN THE CASE WHERE NO ASPHALT IS TO BE PLACED OVER THE LINE, ANY REQUIRED SURFACE IMPROVEMENTS SHALL BE COMPLETED PRIOR TO USE OF THE FACILITY.
- C) ALL NECESSARY EASEMENTS (PLATTED OR DEEDED) ARE DEDICATED, EXECUTED BY THE DISTRICT, AND RECORDED.
- D) DOWNSTREAM PLUG CAN BE REMOVED ONCE FIRST LIFT OF ASPHALT IS DOWN AND THE ABOVE REQUIREMENTS ARE MET.
- THE ABOVE GUIDELINES ARE SUBJECT TO CHANGE AT ANY TIME.

STANDARD NOTES FOR EL PASO COUNTY CONSTRUCTION PLANS:

- 1. ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
- 2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
- 3. CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
- A. EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
 B. CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1
- C. COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
 D. CDOT M & S STANDARDS
- 4. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER—THE—FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY
- 5. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- 6. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (PCD) INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
- 7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS—ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
- 8. CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
- 9. ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
- 10. CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
- 11.ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS
- 12. SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
- 13. SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DOT AND MUTCD CRITERIA. [IF
- APPLICABLE, ADDITIONAL SIGNING AND STRIPING NOTES WILL BE PROVIDED.]

 14. CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DOT, INCLUDING
- 14. CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DOT, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
- 15. THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF—SITE DISTURBANCE, GRADING. OR CONSTRUCTION.

SIGNING AND STRIPING NOTES:

- 1. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL
- ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

 2. REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY WILL NOT BE VISIBLE UNDER DAY OR NIGHT CONDITIONS. AT NO TIME WILL IT BE ACCEPTABLE TO PAINT OVER EXISTING PAVEMENT MARKINGS.

 3. ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO
- COUNTY PLANNING AND COMMUNITY DEVELOPMENT.

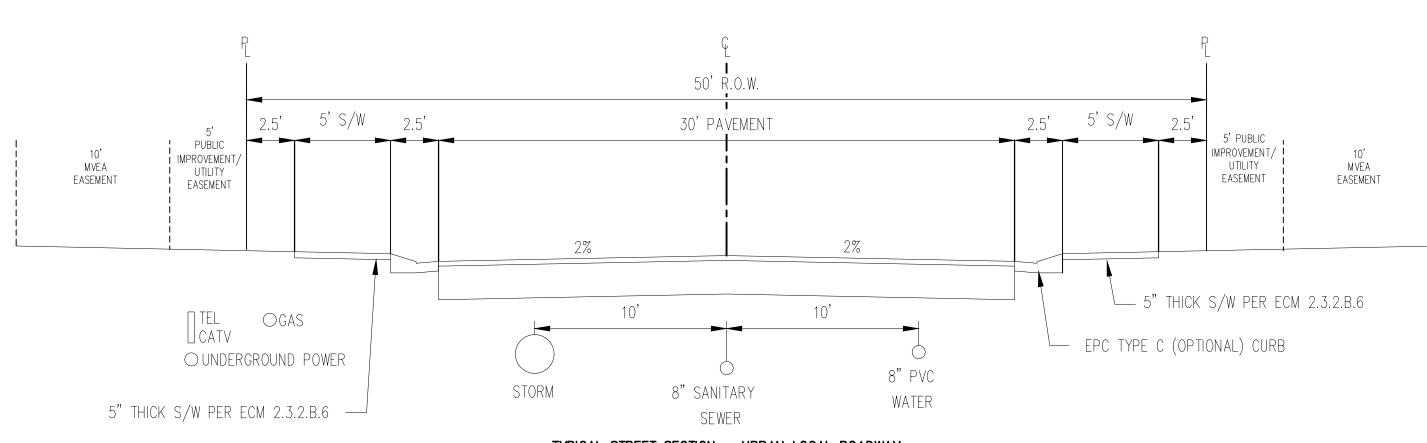
 4. ALL SIGNS SHOWN ON THE SIGNING AND STRIPING PLAN SHALL BE NEW SIGNS. EXISTING SIGNS MAY REMAIN OR BE REUSED IF THEY MEET CURRENT EL PASO COUNTY AND MUTCD
- STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.
 ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR.
 ALL STREET NAME SIGNS SHALL HAVE 'D"SERIES LETTERS, WITH LOCAL ROADWAY SIGNS BEING 4"UPPER-LOWER CASE LETTERING ON 8"BLANK AND NON-LOCAL ROADWAY SIGNS BEING 6" LETTERING, UPPER-LOWER CASE ON 12"BLANK, WITH A WHITE BORDER THAT IS NOT RECESSED. MULTI-LANE ROADWAYS WITH SPEED LIMITS OF 35 MPH OR HIGHER SHALL HAVE 8" UPPER-LOWER CASE LETTERING ON 12"BLANK WITH A WHITE BORDER THAT IS NOT RECESSED. THE WIDTH OF THE NON-RECESSED WHITE BORDERS SHALL MATCH PAGE 255 OF THE 2012 MUTCD "STANDARD HIGHWAY SIGNS". SIGNAL POLE MOUNTED AND OVERHEAD STREET NAME SIGNS SHALL BE PER MUTCD SIZE STANDARDS.
- ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.
 ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75°X 1.75°SQUARE TUBE SIGN POST AND STUB POST BASE. FOR OTHER APPLICATIONS, REFER TO THE CDOT STANDARD S-614-8 REGARDING USE OF THE P2 TUBULAR STEEL POST SLIPBASE DESIGN.
- 10. ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.100"MINIMUM THICKNESS.

 11.ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE
 A MINIMUM 125 MIL THICKNESS PREFORMED THERMOPLASTIC PAVEMENT MARKINGS WITH
 TAPERED LEADING EDGES PER CDOT STANDARD S—627—1. STOP MARK SHALL BE 24"IN WIDTH.
- CROSSWALKS LINES SHALL BE 24"WIDE AND A MINIMUM OF 9' LONG.

 12. WORD AND SYMBOL MARKINGS SHALL BE THE NARROW TYPE.

 13. ALL LONGITUDINAL LINES SHALL BE A MINIMUM 15MIL THICKNESS EPOXY PAINT. ALL NON-LOCAL RESIDENTIAL ROADWAYS SHALL INCLUDE BOTH RIGHT AND LEFT EDGE LINE
- STRIPING AND ANY ADDITIONAL STRIPING AS REQUIRED BY CDOT S-627-1.

 14. THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT
 (719) 520-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING.
- 15. THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS (DPW) PRIOR TO ANY SIGNAGE OR STRIPING WORK WITHIN AN EXISTING EL PASO COUNTY ROADWAY.



TYPICAL STREET SECTION — URBAN LOCAL ROADWAY

N.T.S.

BRIXHAM DR, KATE MEADOW LN, FARM CIRCLE CT,

MILL YARD CIR, STARCROSS CT

Galloway

1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719.900.7220 GallowayUS.com

COPYRIGHT
THESE PLANS ARE AN INSTRUMENT OF SERVICE
AND ARE THE PROPERTY OF GALLOWAY, AND MAY
NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED
WITHOUT THE WRITTEN CONSENT OF GALLOWAY.
COPYRIGHTS AND INFRINGEMENTS WILL BE
ENFORCED AND PROSECUTED.

D·R·HORTON America's Builder

TRUCTION DOCUMENTS DVIEW RESERVE FILING NO. 1 DY HOMES, INC.

Date Issue / Description In

 Project No:
 HRG02

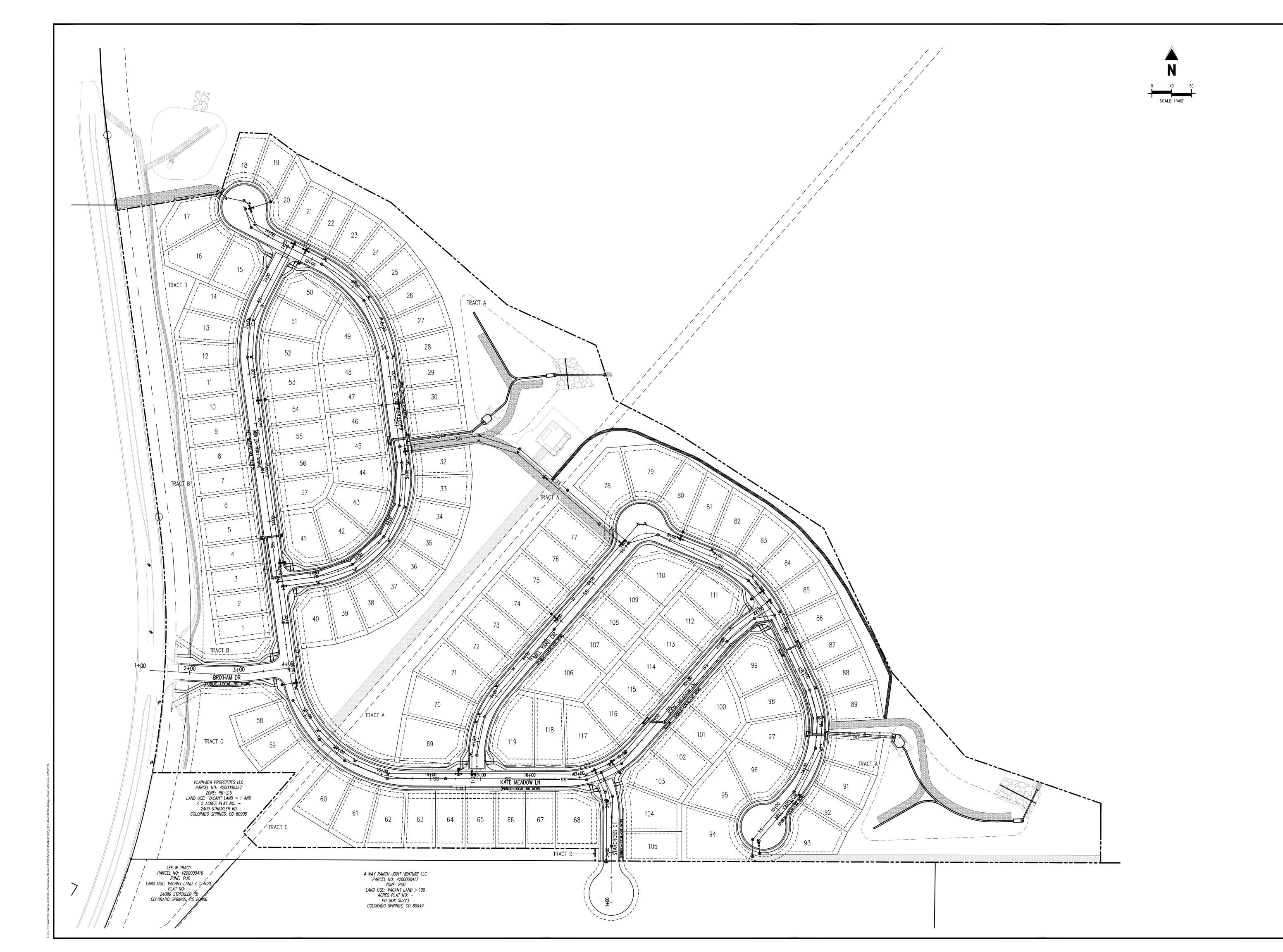
 Drawn By:
 JDM, BLB

 Checked By:
 CMWJ

 Date:
 03/15/2024

NOTES

C0.1



1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719.900.7220 GallowayUS.com

COPYRIGHT

THESE PLANS ARE AN INSTRUMENT OF SERVICE
AND ARE THE PROPERTY OF GALLOWAY, AND MAY
NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED
WITHOUT THE WRITTEN CONSENT OF GALLOWAY.
COPYRIGHTS AND INFRINGEMENTS WILL BE
ENFORCED AND PROSECUTED.

D·R·HORTON® America's Builder

rs Ig No.

Project No:	HRG02
Drawn By:	JDM, BLB
Checked By:	CMWJ
Date:	03/15/2024

OVERALL SHEET



1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719.900.7220 GallowayUS.com

COPYRIGHT

ADJACENT PROPERTY BOUNDARY LINE

EXISTING ADJACENT LOT LINE

EXISTING FLOOD ZONE SETBACK

PROPOSED GRAVEL PER ECM TABLE D-7

PROPOSED CURB AND GUTTER EXISTING CURB AND GUTTER PROPOSED SIDEWALK PROPOSED TRAIL

RIPRAP OUTFALL PADS

EXISTING SIGN PROPOSED SIGN PROPOSED CONCRETE EXISTING CONCRETE

- PROPOSED LOT LINE

THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

D·R·HORTON

America's Builder

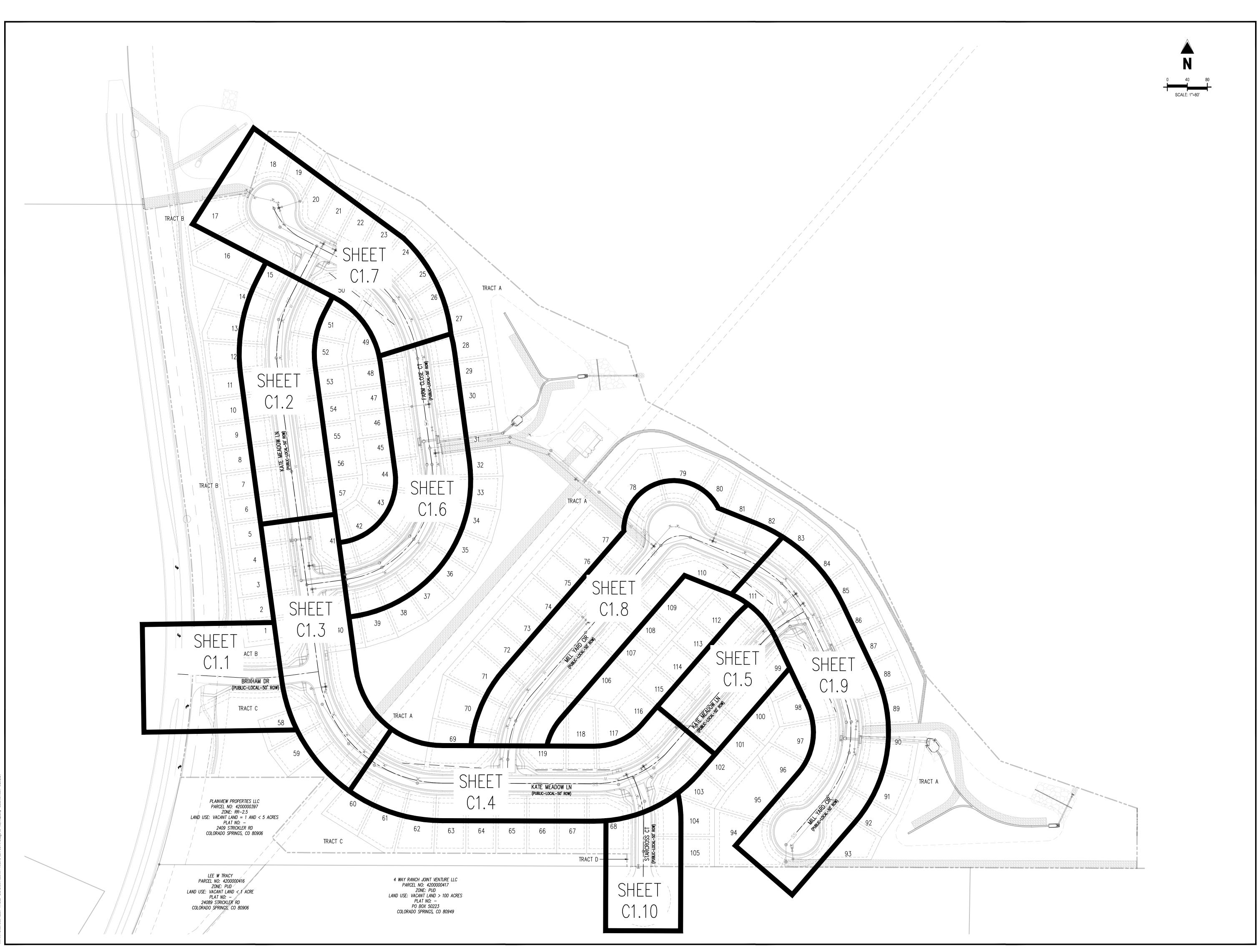
လ ပာ

#	Date	Issue / Description	Init.
_			
_		-	
-			
-			
_			
_			
_		-	
_			
_			
_			
_			
_			
-			
_			
_			
_			

Project No:	HRG02
Drawn By:	JDM, BLB
Checked By:	CMWJ
Date:	03/15/2024
OVEDALL HODIZONTAL	

OVERALL HORIZONTAL CONTROL

Call before you dig.



1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719.900.7220 GallowayUS.com

COPYRIGHT

THESE PLANS ARE AN INSTRUMENT OF SERVICE
AND ARE THE PROPERTY OF GALLOWAY, AND MAY
NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED
WITHOUT THE WRITTEN CONSENT OF GALLOWAY.
COPYRIGHTS AND INFRINGEMENTS WILL BE
ENFORCED AND PROSECUTED.

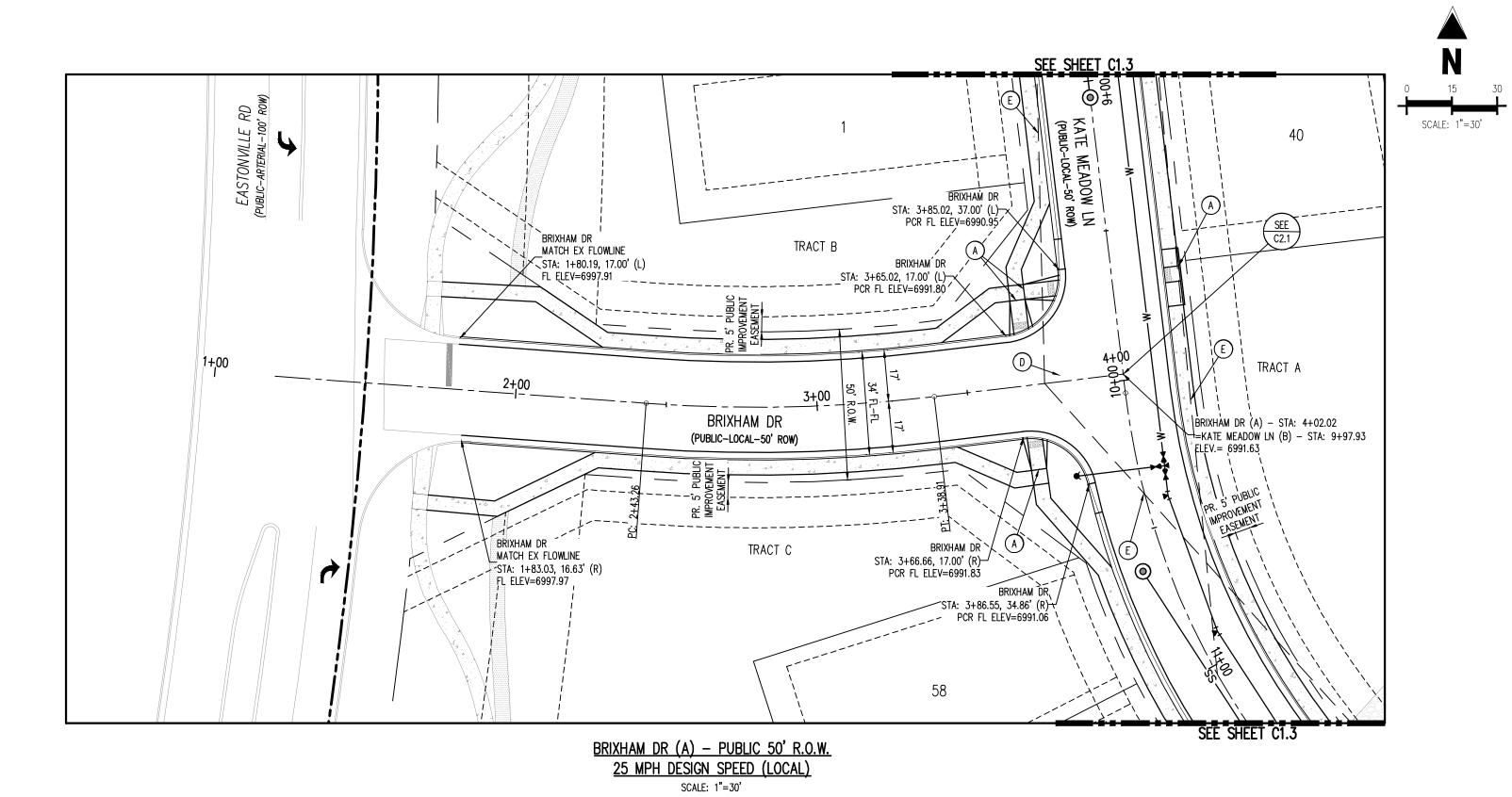
D·R·HORTON° America's Builder

G NO.

JDM, BLB 03/15/2024

KEY MAP

Sheet 5 of 33

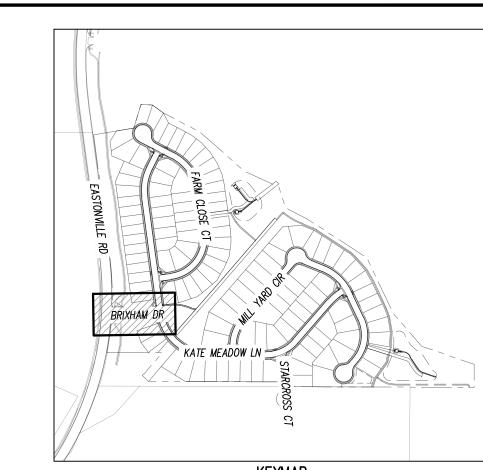


HP STA: 1+94.29 HP ELEV.= 6998.46 PVI STA: 3+18 PVI STA: 2+17 .PVI ELEV.= 6999.15. ...PVI ELEV.= 6993.31 K: 12.00 K = 26.00LVC= 93.43' LVC= 98.42' PROP. GRADE @ / CL OF ROAD _ EXISTING GRADE

> BRIXAM DR (A) (STA: 1+00 - 4+30) SCALES: HORIZONTAL 1"=30', VERTICAL 1"=6'

4+30

0+50



KEYMAP SCALE: 1"=500'

	SCALE: 1 = 300
SITE LEGEND	
	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	RIGHT OF WAY BOUNDARY LINE
	SECTION LINE
	EXISTING ADJACENT LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	ROAD CENTERLINE
	PROPOSED RIDGE LINE
	PROPOSED SWALE LINE
	EXISTING SWALE LINE
100YR100YR_	FLOODPLAIN BOUNDARY
	EXISTING FLOOD ZONE
	EXISTING FLOOD ZONE SETBACK
	PROPOSED CURB AND GUTTER
	EXISTING CURB AND GUTTER
	PROPOSED SIDEWALK
	PROPOSED TRAIL
	PROPOSED GRAVEL PER ECM TABLE D-7
	RIPRAP OUTFALL PADS
	EXISTING SIGN
	PROPOSED SIGN
4	PROPOSED CONCRETE
	EXISTING CONCRETE

. ALIGNMENT AND PROFILES ARE IN RELATION TO THE CENTERLINE OF ROADWAY, THEREFORE STORM SEWER MANHOLE RIMS AND INLETS MAY APPEAR TO NOT MEET FINISH

- 2. STORM SEWER TBC ELEVATIONS ON ALL STORM DRAIN CURB INLETS ARE LOCATED AT THE MIDDLE. CONTRACTOR TO ENSURE THE INLET MATCHES THE SLOPE OF THE ADJACENT ROADWAY CENTER LINE.
- ALL STORM SEWER PIPING SHALL USE WATERTIGHT JOINTS.
 SEE GRADING PLAN FOR ALL GRADING INFORMATION 5. ALL STORM SEWER SHALL BE CLASS III RCP
- 6. ALL STORM SEWER MANHOLES SHALL BE TYPE 1 UNLESS OTHERWISE NOTED
- (A) PEDESTRIAN RAMP, SEE DETAILS (EPC SD_2-40 & SD_2-41)
- B) PROPOSED 10' CURB TRANSITION
- © PROPOSED 5' CURB TRANSITION
- D PROPOSED 6' CONCRETE CROSS PAN, SEE DETAIL (EPC SD_2-26)
- E PROPOSED SIGHT DISTANCE TRIANGLE

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT

CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION BETWEEN STORM SEWER AND POTABLE WATER OR WASTEWATER. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION

BASIS OF BEARING

THE NORTH LINE OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, STATE OF COLORADO BEING MONUMENTED AT EACH END BY A 3-1/4" ALUMINUM SURVEYORS CAP STAMPED "PSINC LS 30087" AND ASSUMED TO BEAR S89'47'04"E, A DISTANCE OF 5285.07 FEET.

BENCHMARK

NGS BENCHMARK F 24 A STANDARD DISK, STAMPED F 24 1929 AND SET IN THE TOP OF A CONCRETE POST PROJECTING ABOUT 6 INCHES ABOVE GROUND. ALONG THE CHICAGO, ROCK ISLAND AND PACIFIC RAILROAD, 52 FEET NORTHWEST OF THE CENTERLINE OF U.S. HIGHWAY 24, 48 FEET SOUTHEAST OF THE CENTERLINE OF THE TRACK. NAVD88 ELEVATION = 6866.33

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below. ENGINEER PRIOR TO CONSTRUCTION.



 \mathbb{C} a \mathbb{H} before you dig. 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719.900.7220 GallowayUS.com

COPYRIGHT THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

D·R·HORTON

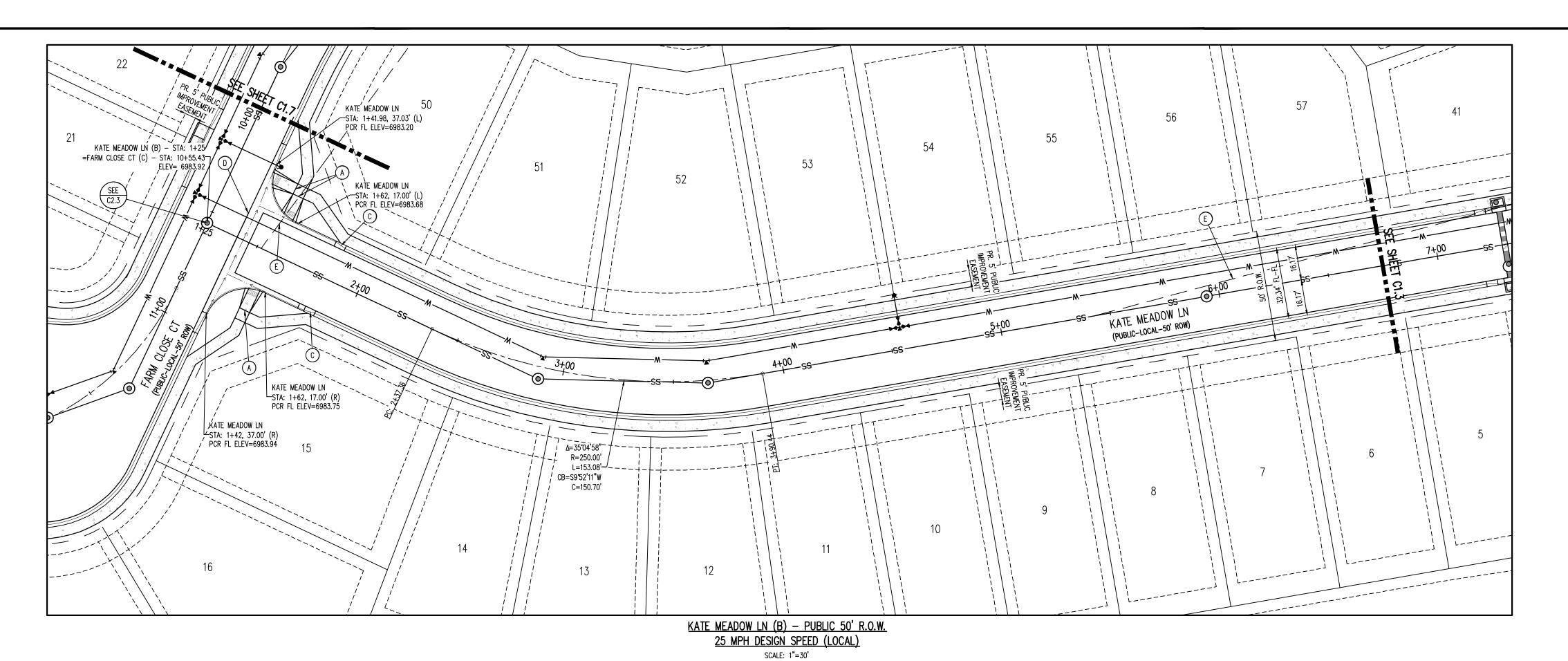
America's Builder

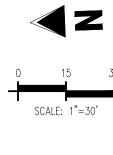
S S S CONSTRUCTION DOCUMENTS GRANDVIEW RESERVE FILING MELODY HOMES, INC. SF2311

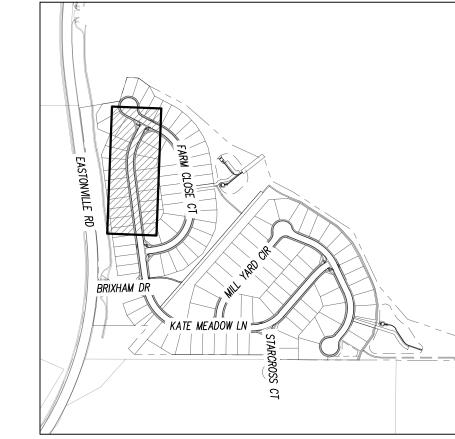
Date Issue / Description

Project No: JDM, BLB Checked By: 03/15/2024 **ROADWAY P&P**

Sheet 6 of 33







KEYMAP SCALE: 1"=500'

	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	RIGHT OF WAY BOUNDARY LINE
	SECTION LINE
	EXISTING ADJACENT LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	ROAD CENTERLINE
	PROPOSED RIDGE LINE
	PROPOSED SWALE LINE
	EXISTING SWALE LINE
100YR 100YR-	FLOODPLAIN BOUNDARY
	EXISTING FLOOD ZONE
	EXISTING FLOOD ZONE SETBACK
	PROPOSED CURB AND GUTTER
	EXISTING CURB AND GUTTER
1 A A	PROPOSED SIDEWALK
	PROPOSED TRAIL
	PROPOSED GRAVEL PER ECM TABLE D-7
	RIPRAP OUTFALL PADS
	EXISTING SIGN
	PROPOSED SIGN
44	PROPOSED CONCRETE

SITE LEGEND

ALIGNMENT AND PROFILES ARE IN RELATION TO THE CENTERLINE OF ROADWAY. THEREFORE STORM SEWER MANHOLE RIMS AND INLETS MAY APPEAR TO NOT MEET FINISH

EXISTING CONCRETE

- 2. STORM SEWER TBC ELEVATIONS ON ALL STORM DRAIN CURB INLETS ARE LOCATED AT THE MIDDLE. CONTRACTOR TO ENSURE THE INLET MATCHES THE SLOPE OF THE ADJACENT ROADWAY CENTER LINE.
- 3. ALL STORM SEWER PIPING SHALL USE WATERTIGHT JOINTS.
 4. SEE GRADING PLAN FOR ALL GRADING INFORMATION 5. ALL STORM SEWER SHALL BE CLASS III RCP
- 6. ALL STORM SEWER MANHOLES SHALL BE TYPE 1 UNLESS OTHERWISE NOTED (A) PEDESTRIAN RAMP, SEE DETAILS (EPC SD_2-40 & SD_2-41)
- B PROPOSED 10' CURB TRANSITION
- C PROPOSED 5' CURB TRANSITION
- D PROPOSED 6' CONCRETE CROSS PAN, SEE DETAIL (EPC SD_2-26)
- E PROPOSED SIGHT DISTANCE TRIANGLE

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT

CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION BETWEEN STORM SEWER AND POTABLE WATER OR WASTEWATER. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION
DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION

BASIS OF BEARING

THE NORTH LINE OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, STATE OF COLORADO BEING MONUMENTED AT EACH END BY A 3-1/4" ALUMINUM SURVEYORS CAP STAMPED "PSINC LS 30087" AND ASSUMED TO BEAR S89°47'04"E, A DISTANCE OF 5285.07 FEET.

BENCHMARK

NGS BENCHMARK F 24 A STANDARD DISK, STAMPED F 24 1929 AND SET IN THE TOP OF A CONCRETE POST PROJECTING ABOUT 6 INCHES ABOVE GROUND. ALONG THE CHICAGO, ROCK ISLAND AND PACIFIC RAILROAD, 52 FEET NORTHWEST OF THE CENTERLINE OF U.S. HIGHWAY 24, 48 FEET SOUTHEAST OF THE CENTERLINE OF THE TRACK. NAVD88 ELEVATION = 6866.33

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below. ENGINEER PRIOR TO CONSTRUCTION.



 \mathbb{Call} before you dig. 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719.900.7220 GallowayUS.com

COPYRIGHT THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

D·R·HORTON

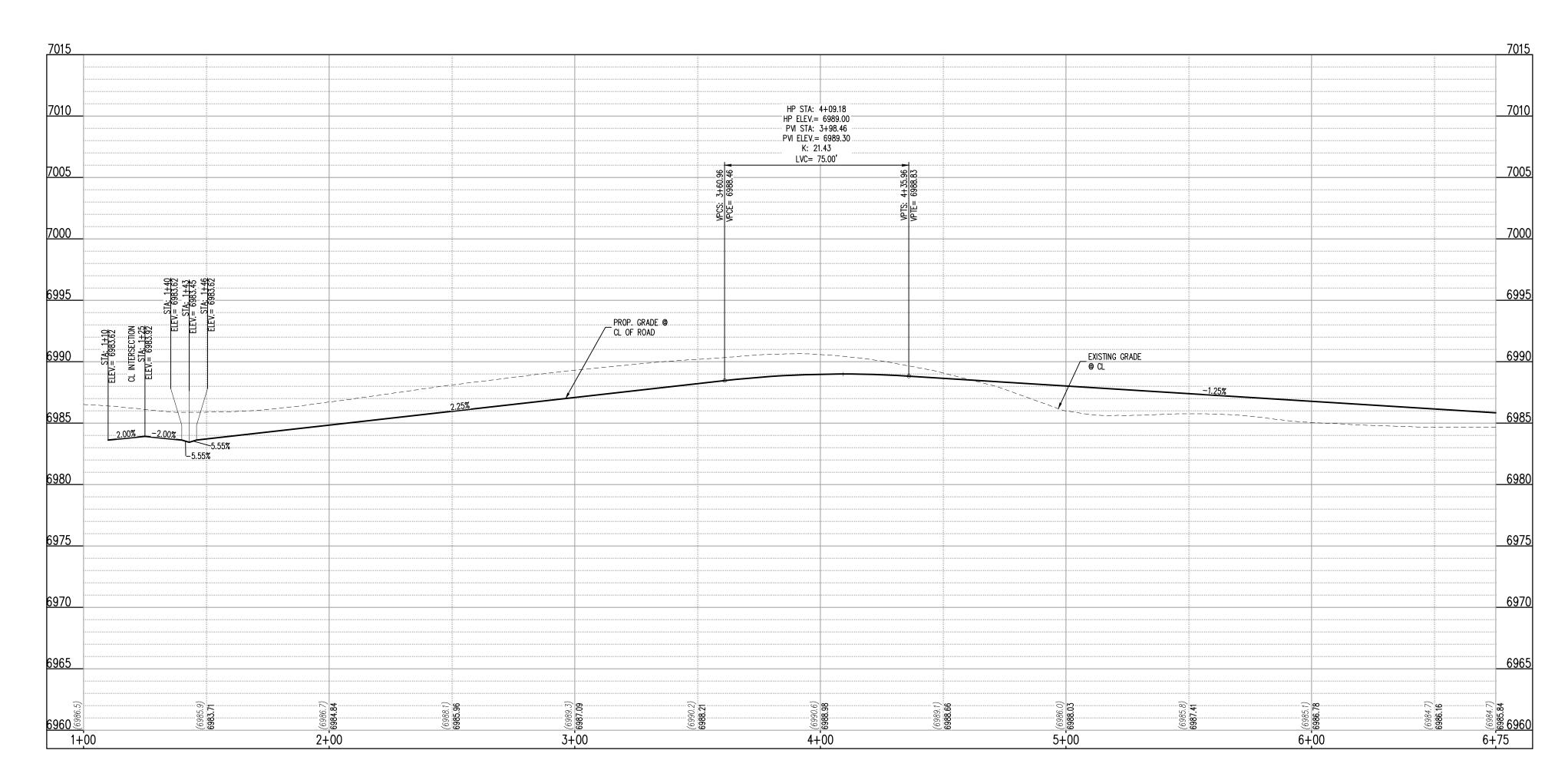
America's Builder

S S S CONSTRUCTION DOCUMENTS GRANDVIEW RESERVE FILING MELODY HOMES, INC. SF2311

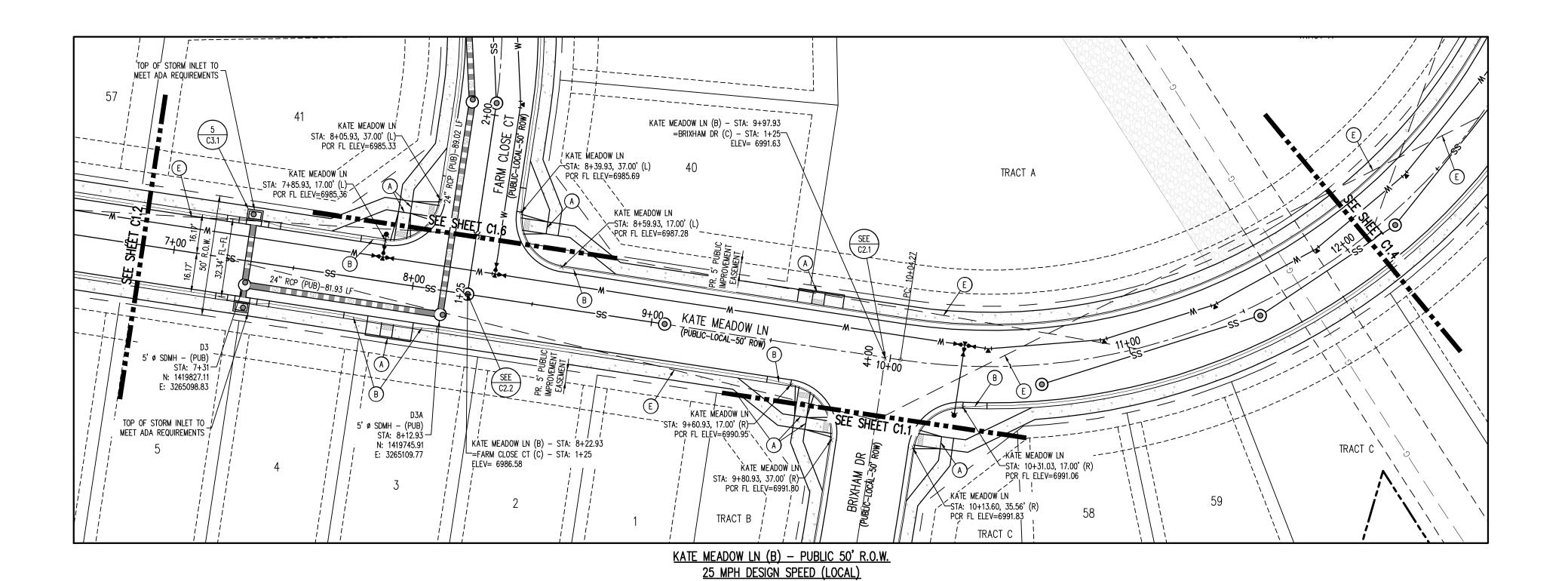
Date Issue / Description

Project No:	HRG02
Drawn By:	JDM, BLB
Checked By:	CMWJ
Date:	03/15/2024
ROADWAY P&P	

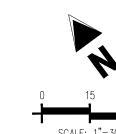
Sheet 7 of 33

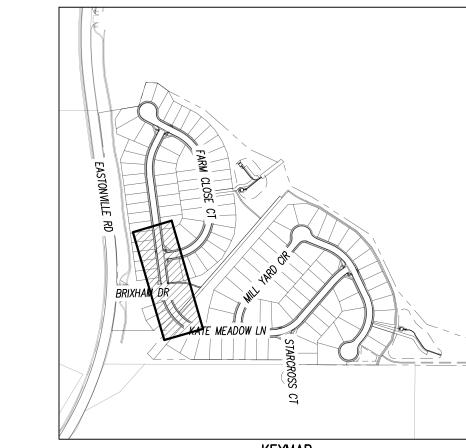


KATE MEADOW LN (B) (STA: 1+00 - 6+75) SCALES: HORIZONTAL 1"=30', VERTICAL 1"=6'



SCALE: 1"=30'





KEYMAP SCALE: 1"=500'

<u>SITE LEGEND</u>	
	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	RIGHT OF WAY BOUNDARY LINE
	SECTION LINE
	EXISTING ADJACENT LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	ROAD CENTERLINE
	PROPOSED RIDGE LINE
	PROPOSED SWALE LINE
	EXISTING SWALE LINE
- — — — 100YR- — — — 100YR-	FLOODPLAIN BOUNDARY
	EXISTING FLOOD ZONE
	EXISTING FLOOD ZONE SETBACK
	PROPOSED CURB AND GUTTER
	EXISTING CURB AND GUTTER
	PROPOSED SIDEWALK
	PROPOSED TRAIL
	PROPOSED GRAVEL PER ECM TABLE D-7
	RIPRAP OUTFALL PADS
	EXISTING SIGN
	PROPOSED SIGN
4	PROPOSED CONCRETE

CITE LECEND

. ALIGNMENT AND PROFILES ARE IN RELATION TO THE CENTERLINE OF ROADWAY, THEREFORE STORM SEWER MANHOLE RIMS AND INLETS MAY APPEAR TO NOT MEET FINISH

- STORM SEWER TBC ELEVATIONS ON ALL STORM DRAIN CURB INLETS ARE LOCATED AT THE MIDDLE. CONTRACTOR TO ENSURE THE INLET MATCHES THE SLOPE OF THE ADJACENT ROADWAY CENTER LINE. 3. ALL STORM SEWER PIPING SHALL USE WATERTIGHT JOINTS.
- 4. SEE GRADING PLAN FOR ALL GRADING INFORMATION 5. ALL STORM SEWER SHALL BE CLASS III RCP 6. ALL STORM SEWER MANHOLES SHALL BE TYPE 1 UNLESS OTHERWISE NOTED
- (A) PEDESTRIAN RAMP, SEE DETAILS (EPC SD_2-40 & SD_2-41)
- B PROPOSED 10' CURB TRANSITION
- C PROPOSED 5' CURB TRANSITION
- D PROPOSED 6' CONCRETE CROSS PAN, SEE DETAIL (EPC SD_2-26)
- E PROPOSED SIGHT DISTANCE TRIANGLE

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION BETWEEN STORM SEWER AND POTABLE WATER OR WASTEWATER. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION

BASIS OF BEARING

THE NORTH LINE OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, STATE OF COLORADO BEING MONUMENTED AT EACH END BY A 3-1/4" ALUMINUM SURVEYORS CAP STAMPED "PSINC LS 30087" AND ASSUMED TO BEAR S89'47'04"E, A DISTANCE OF 5285.07 FEET.

BENCHMARK

NGS BENCHMARK F 24 A STANDARD DISK, STAMPED F 24 1929 AND SET IN THE TOP OF A CONCRETE POST PROJECTING ABOUT 6 INCHES ABOVE GROUND. ALONG THE CHICAGO, ROCK ISLAND AND PACIFIC RAILROAD, 52 FEET NORTHWEST OF THE CENTERLINE OF U.S. HIGHWAY 24, 48 FEET SOUTHEAST OF THE CENTERLINE OF THE TRACK. NAVD88 ELEVATION = 6866.33

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below. ENGINEER PRIOR TO CONSTRUCTION.



 \mathbb{C} a \mathbb{H} before you dig. 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

1155 Kelly Johnson Blvd., Suite 305

Colorado Springs, CO 80920

719.900.7220 GallowayUS.com

COPYRIGHT THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.



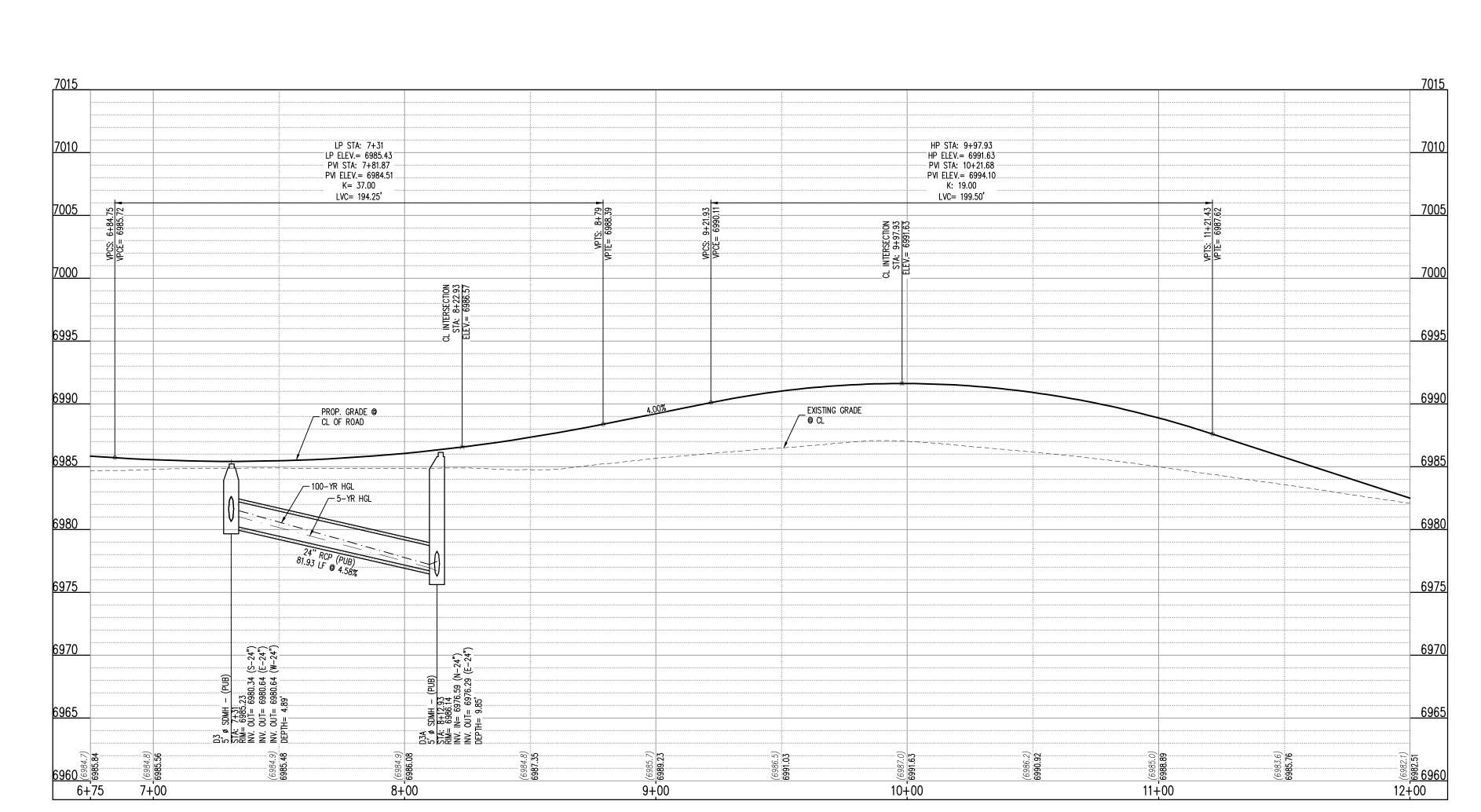
CONSTRUCTION DOCUMENTS GRANDVIEW RESERVE FILING MELODY HOMES, INC. SF2311

S S S

Date Issue / Description

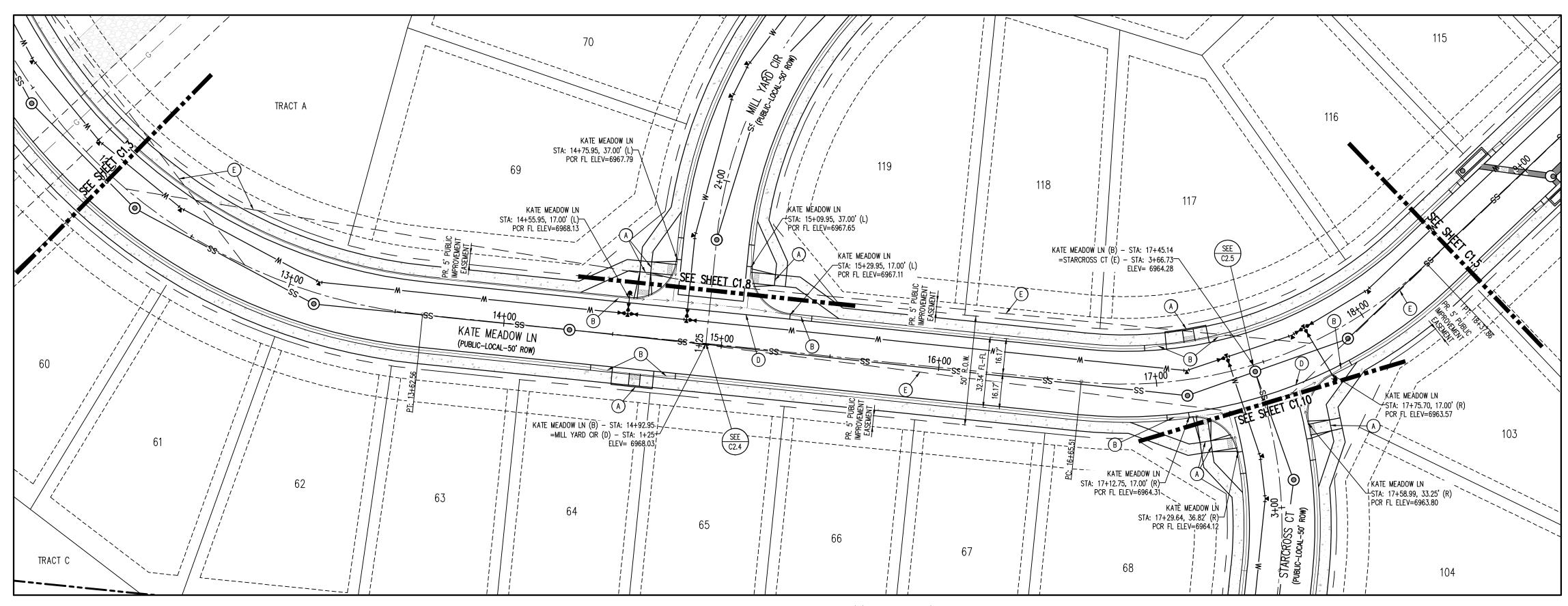
Project No:	HRG02
Drawn By:	JDM, BLB
Checked By:	CMWJ
Date:	03/15/2024
ROADWAY P&P	

Sheet 8 of 33



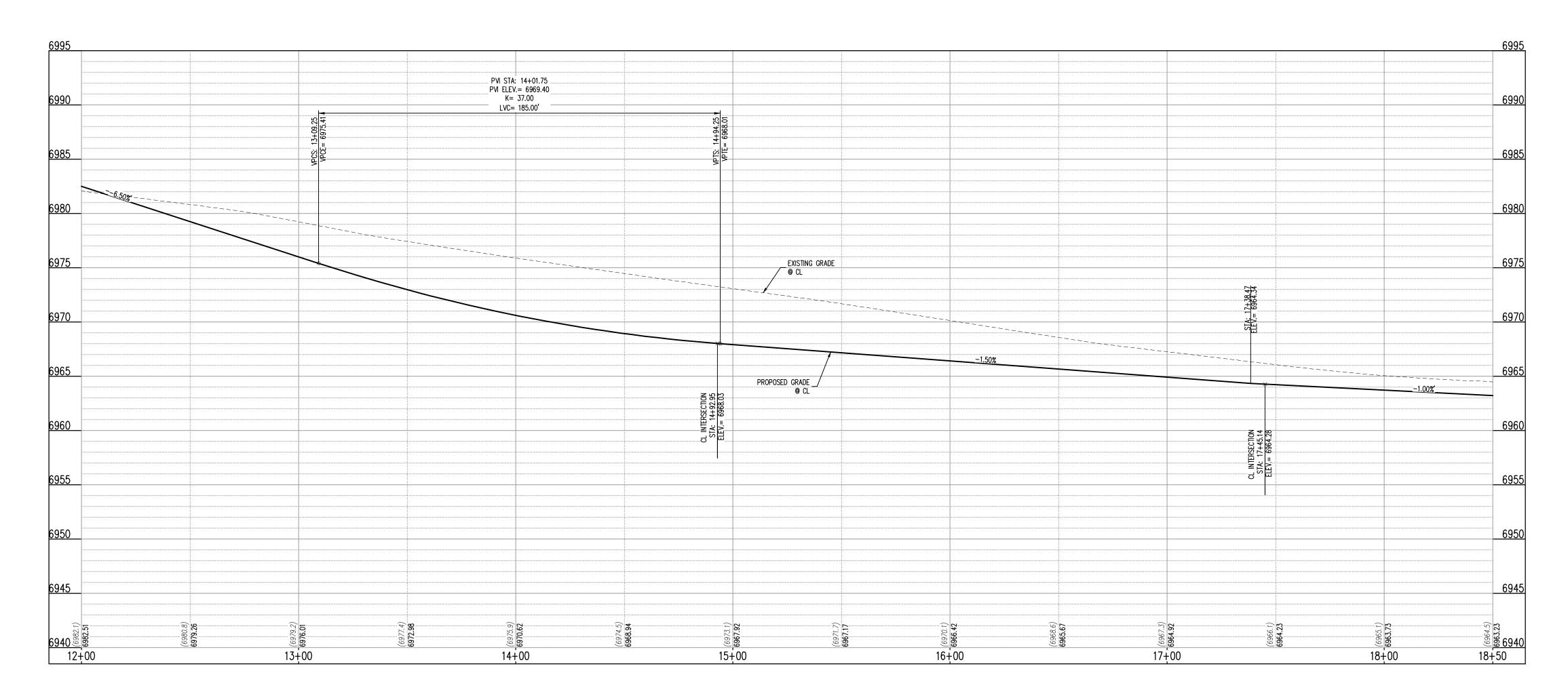
KATE MEADOW LN (B) (STA: 6+75 - 12+00)

SCALES: HORIZONTAL 1"=30', VERTICAL 1"=6'

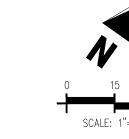


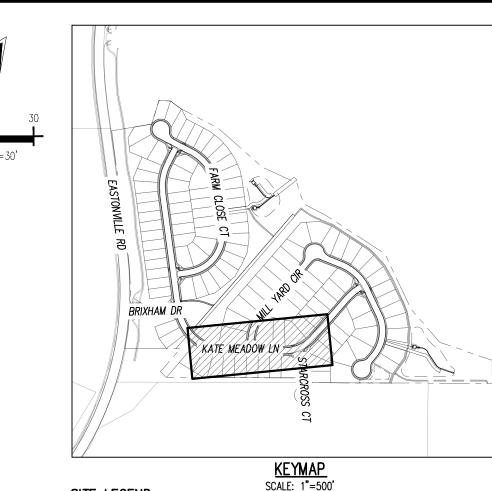
KATE MEADOW LN (B) - PUBLIC 50' R.O.W. 25 MPH DESIGN SPEED (LOCAL)

SCALE: 1"=30'



KATE MEADOW LN (B) (STA: 12+00 - 18+50) SCALES: HORIZONTAL 1"=30', VERTICAL 1"=6'





SITE LEGEND	SCALE: 1"=500'
	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	RIGHT OF WAY BOUNDARY LINE
	SECTION LINE
	EXISTING ADJACENT LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	ROAD CENTERLINE
	PROPOSED RIDGE LINE
	PROPOSED SWALE LINE
	EXISTING SWALE LINE
- — — —100YR— — —100YR—	FLOODPLAIN BOUNDARY
	EXISTING FLOOD ZONE
	EXISTING FLOOD ZONE SETBACK
	PROPOSED CURB AND GUTTER
	EXISTING CURB AND GUTTER
1 A A	PROPOSED SIDEWALK
	PROPOSED TRAIL
	PROPOSED GRAVEL PER ECM TABLE D-7
	RIPRAP OUTFALL PADS
	EXISTING SIGN
	PROPOSED SIGN
4	PROPOSED CONCRETE
	EXISTING CONCRETE

- ALIGNMENT AND PROFILES ARE IN RELATION TO THE CENTERLINE OF ROADWAY. THEREFORE STORM SEWER MANHOLE RIMS AND INLETS MAY APPEAR TO NOT MEET FINISH
- 2. STORM SEWER TBC ELEVATIONS ON ALL STORM DRAIN CURB INLETS ARE LOCATED AT THE MIDDLE. CONTRACTOR TO ENSURE THE INLET MATCHES THE SLOPE OF THE ADJACENT ROADWAY CENTER LINE. 3. ALL STORM SEWER PIPING SHALL USE WATERTIGHT JOINTS.
- 4. SEE GRADING PLAN FOR ALL GRADING INFORMATION 5. ALL STORM SEWER SHALL BE CLASS III RCP
- 6. ALL STORM SEWER MANHOLES SHALL BE TYPE 1 UNLESS OTHERWISE NOTED
- (A) PEDESTRIAN RAMP, SEE DETAILS (EPC SD_2-40 & SD_2-41)
- B) PROPOSED 10' CURB TRANSITION
- C PROPOSED 5' CURB TRANSITION
- D PROPOSED 6' CONCRETE CROSS PAN, SEE DETAIL (EPC SD_2-26)
- (E) PROPOSED SIGHT DISTANCE TRIANGLE

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION BETWEEN STORM SEWER AND POTABLE WATER OR WASTEWATER. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION

BASIS OF BEARING

THE NORTH LINE OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, STATE OF COLORADO BEING MONUMENTED AT EACH END BY A 3-1/4" ALUMINUM SURVEYORS CAP STAMPED "PSINC LS 30087" AND ASSUMED TO BEAR S89'47'04"E, A DISTANCE OF 5285.07 FEET.

BENCHMARK

NGS BENCHMARK F 24 A STANDARD DISK, STAMPED F 24 1929 AND SET IN THE TOP OF A CONCRETE POST PROJECTING ABOUT 6 INCHES ABOVE GROUND. ALONG THE CHICAGO, ROCK ISLAND AND PACIFIC RAILROAD, 52 FEET NORTHWEST OF THE CENTERLINE OF U.S. HIGHWAY 24, 48 FEET SOUTHEAST OF THE CENTERLINE OF THE TRACK. NAVD88 ELEVATION = 6866.33

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below. ENGINEER PRIOR TO CONSTRUCTION.

 \mathbb{C} a \mathbb{H} before you dig.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920

719.900.7220

GallowayUS.com

COPYRIGHT THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.



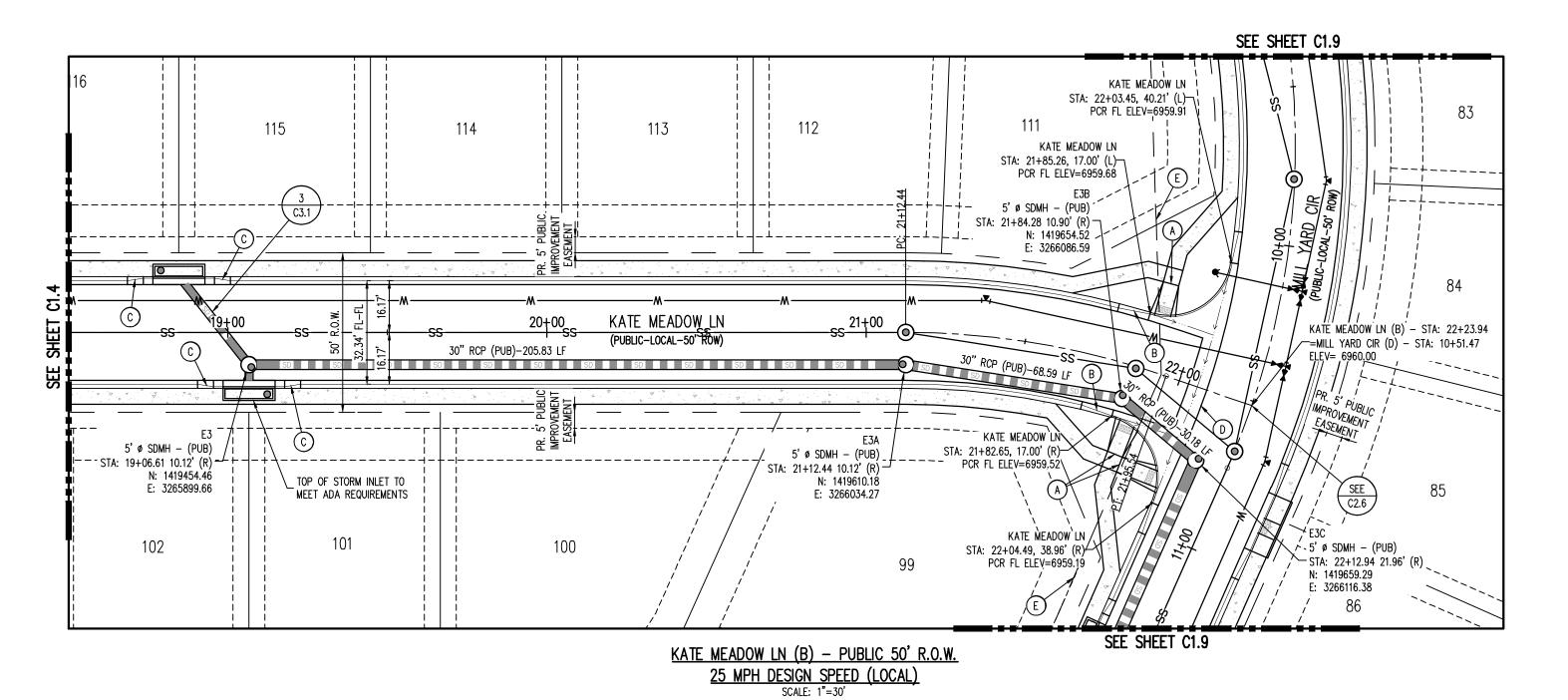
CONSTRUCTION DOCUMENTS GRANDVIEW RESERVE FILING MELODY HOMES, INC. SF2311

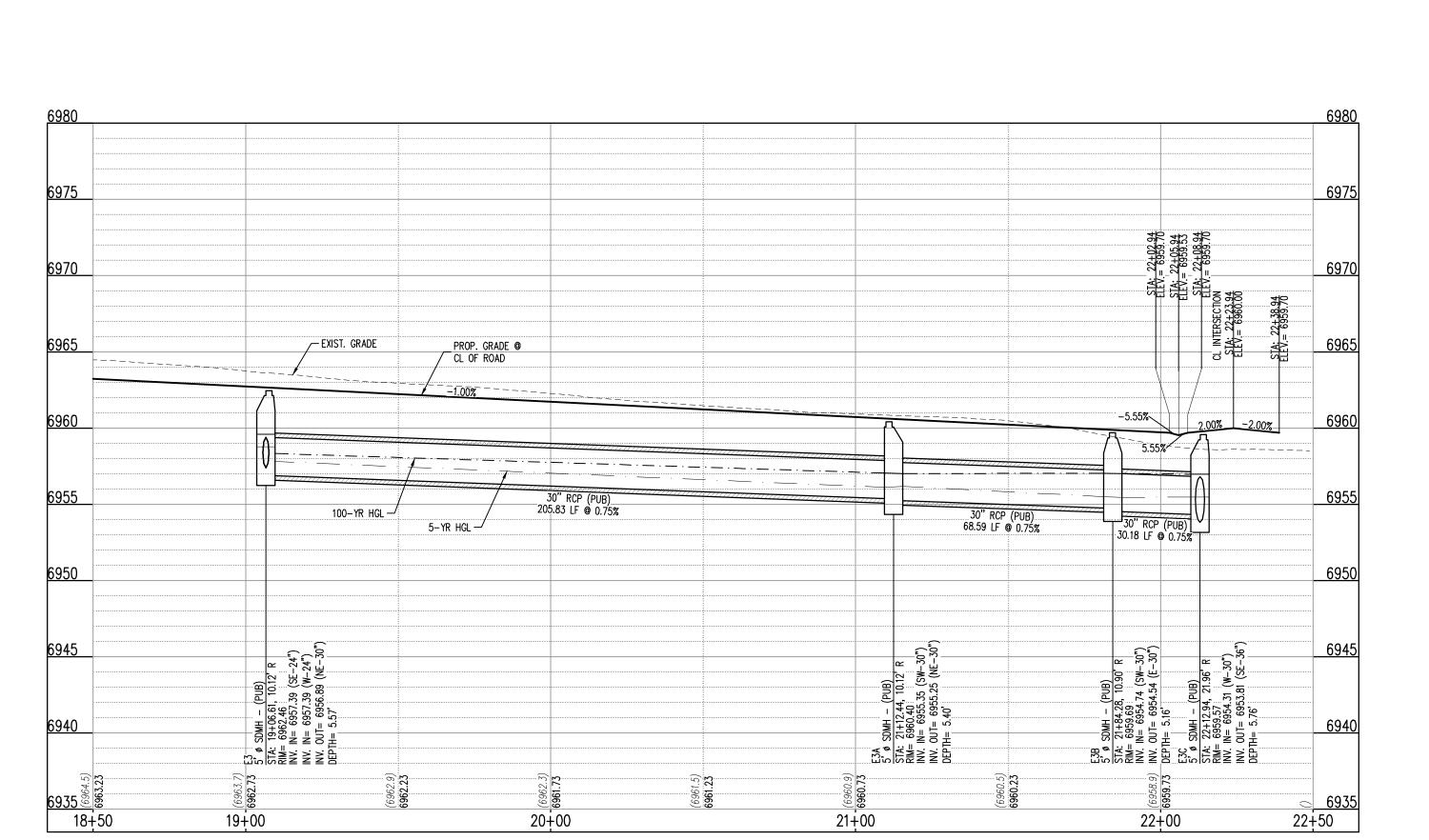
Date Issue / Description

JDM, BLB 03/15/2024

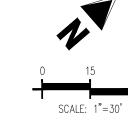
ROADWAY P&P

Sheet 9 of 33





KATE MEADOW LN (B) (STA: 18+50 - 22+50) SCALES: HORIZONTAL 1"=30', VERTICAL 1"=6'





	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	RIGHT OF WAY BOUNDARY LINE
	SECTION LINE
	EXISTING ADJACENT LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	ROAD CENTERLINE
	PROPOSED RIDGE LINE
	PROPOSED SWALE LINE
	EXISTING SWALE LINE
- — — —100YR— — —100YR—	FLOODPLAIN BOUNDARY
	EXISTING FLOOD ZONE
	EXISTING FLOOD ZONE SETBACK
	PROPOSED CURB AND GUTTER
	EXISTING CURB AND GUTTER
, A, A, A,	PROPOSED SIDEWALK
	PROPOSED TRAIL
	PROPOSED GRAVEL PER ECM TABLE D-7
	RIPRAP OUTFALL PADS
	EXISTING SIGN
	PROPOSED SIGN
4	PROPOSED CONCRETE
	EXISTING CONCRETE

SITE LEGEND

- ALIGNMENT AND PROFILES ARE IN RELATION TO THE CENTERLINE OF ROADWAY, THEREFORE STORM SEWER MANHOLE RIMS AND INLETS MAY APPEAR TO NOT MEET FINISH
- 2. STORM SEWER TBC ELEVATIONS ON ALL STORM DRAIN CURB INLETS ARE LOCATED AT THE MIDDLE. CONTRACTOR TO ENSURE THE INLET MATCHES THE SLOPE OF THE ADJACENT ROADWAY CENTER LINE.
- 3. ALL STORM SEWER PIPING SHALL USE WATERTIGHT JOINTS.
- 4. SEE GRADING PLAN FOR ALL GRADING INFORMATION 5. ALL STORM SEWER SHALL BE CLASS III RCP
- 6. ALL STORM SEWER MANHOLES SHALL BE TYPE 1 UNLESS OTHERWISE NOTED
- (A) PEDESTRIAN RAMP, SEE DETAILS (EPC SD_2-40 & SD_2-41)
- B) PROPOSED 10' CURB TRANSITION
- © PROPOSED 5' CURB TRANSITION
- D PROPOSED 6' CONCRETE CROSS PAN, SEE DETAIL (EPC SD_2-26)
- (E) PROPOSED SIGHT DISTANCE TRIANGLE

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION BETWEEN STORM SEWER AND POTABLE WATER OR WASTEWATER. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION

BASIS OF BEARING

NAVD88 ELEVATION = 6866.33

THE NORTH LINE OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, STATE OF COLORADO BEING MONUMENTED AT EACH END BY A 3-1/4" ALUMINUM SURVEYORS CAP STAMPED "PSINC LS 30087" AND ASSUMED TO BEAR S89'47'04"E, A DISTANCE OF 5285.07 FEET.

BENCHMARK

NGS BENCHMARK F 24 A STANDARD DISK, STAMPED F 24 1929 AND SET IN THE TOP OF A CONCRETE POST PROJECTING ABOUT 6 INCHES ABOVE GROUND. ALONG THE CHICAGO, ROCK ISLAND AND PACIFIC RAILROAD, 52 FEET NORTHWEST OF THE CENTERLINE OF U.S. HIGHWAY 24, 48 FEET SOUTHEAST OF THE CENTERLINE OF THE TRACK.

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below. ENGINEER PRIOR TO CONSTRUCTION.

 \mathbb{C} a \mathbb{H} before you dig.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719.900.7220 GallowayUS.com

COPYRIGHT THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.



America's Builder

CONSTRUCTION DOCUMENTS GRANDVIEW RESERVE FILING MELODY HOMES, INC. SF2311

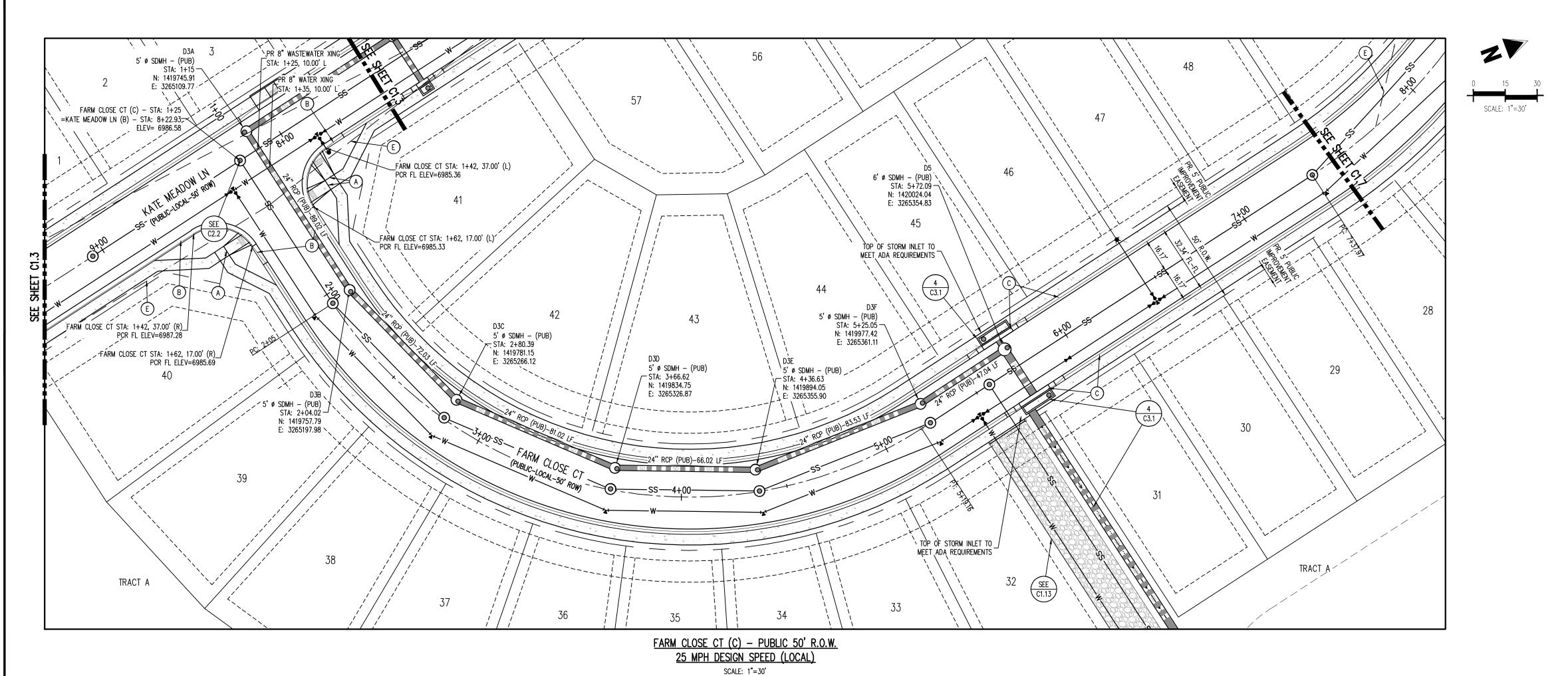
S S S

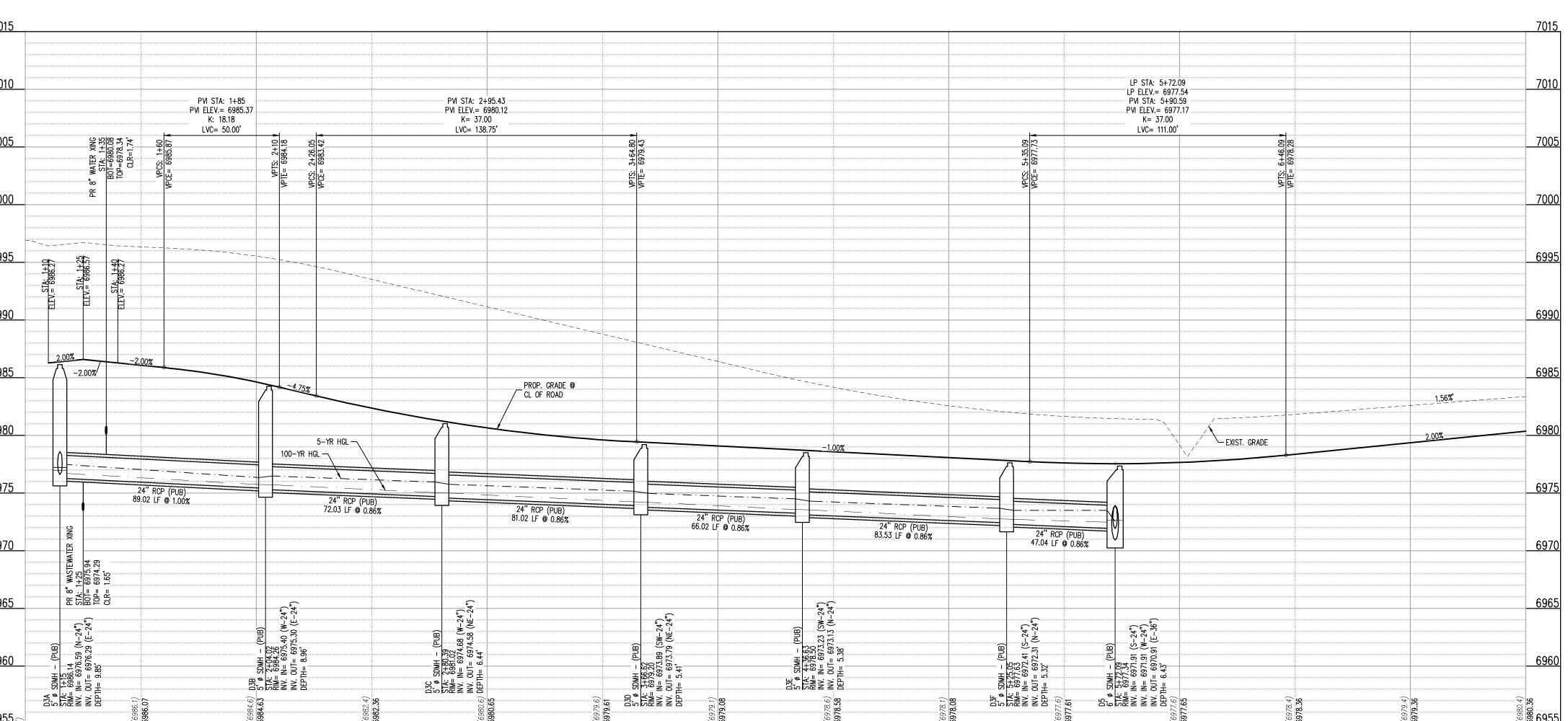
Date Issue / Description

Project No: JDM, BLB Checked By: 03/15/2024

ROADWAY P&P

Sheet 10 of 33





FARM CLOSE CT (C) (STA: 1+00 - 7+50) SCALES: HORIZONTAL 1"=30', VERTICAL 1"=6'

5+00

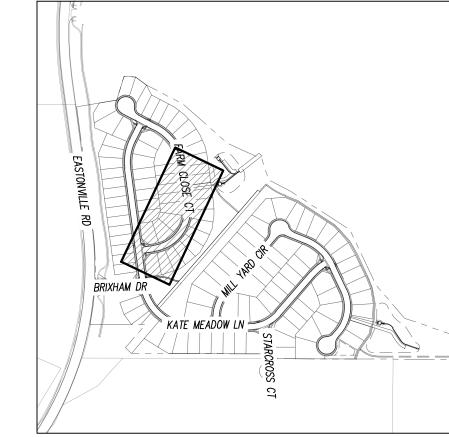
6+00

4+00

1+00

2+00

3+00



KEYMAP SCALE: 1"=500'

	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	RIGHT OF WAY BOUNDARY LINE
	SECTION LINE
	EXISTING ADJACENT LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	ROAD CENTERLINE
	PROPOSED RIDGE LINE
	PROPOSED SWALE LINE
	EXISTING SWALE LINE
- — — —100YR— — —100YR—	FLOODPLAIN BOUNDARY
	EXISTING FLOOD ZONE
	EXISTING FLOOD ZONE SETBACK
	PROPOSED CURB AND GUTTER
	EXISTING CURB AND GUTTER
	PROPOSED SIDEWALK
	PROPOSED TRAIL
	PROPOSED GRAVEL PER ECM TABLE D-7
	RIPRAP OUTFALL PADS
	EXISTING SIGN
	PROPOSED SIGN
4	PROPOSED CONCRETE
	EXISTING CONCRETE

SITE LEGEND

. ALIGNMENT AND PROFILES ARE IN RELATION TO THE CENTERLINE OF ROADWAY, IHEREFURE STURM SEWER MANHULE RIMS AND INLETS MAY APPEAR TO NOT MEET FINISH

- 2. STORM SEWER TBC ELEVATIONS ON ALL STORM DRAIN CURB INLETS ARE LOCATED AT THE MIDDLE. CONTRACTOR TO ENSURE THE INLET MATCHES THE SLOPE OF THE ADJACENT ROADWAY CENTER LINE. 3. ALL STORM SEWER PIPING SHALL USE WATERTIGHT JOINTS.
- 4. SEE GRADING PLAN FOR ALL GRADING INFORMATION 5. ALL STORM SEWER SHALL BE CLASS III RCP 6. ALL STORM SEWER MANHOLES SHALL BE TYPE 1 UNLESS OTHERWISE NOTED
- A PEDESTRIAN RAMP, SEE DETAILS (EPC SD_2-40 & SD_2-41)
- B) PROPOSED 10' CURB TRANSITION
- C PROPOSED 5' CURB TRANSITION
- D PROPOSED 6' CONCRETE CROSS PAN, SEE DETAIL (EPC SD_2-26)
- (E) PROPOSED SIGHT DISTANCE TRIANGLE

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION BETWEEN STORM SEWER AND POTABLE WATER OR WASTEWATER. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION

BASIS OF BEARING

THE NORTH LINE OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, STATE OF COLORADO BEING MONUMENTED AT EACH END BY A 3-1/4" ALUMINUM SURVEYORS CAP STAMPED "PSINC LS 30087" AND ASSUMED TO BEAR S89'47'04"E, A DISTANCE OF 5285.07 FEET.

BENCHMARK

7+50

7+00

NGS BENCHMARK F 24 A STANDARD DISK, STAMPED F 24 1929 AND SET IN THE TOP OF A CONCRETE POST PROJECTING ABOUT 6 INCHES ABOVE GROUND. ALONG THE CHICAGO, ROCK ISLAND AND PACIFIC RAILROAD, 52 FEET NORTHWEST OF THE CENTERLINE OF U.S. HIGHWAY 24, 48 FEET SOUTHEAST OF THE CENTERLINE OF THE TRACK. NAVD88 ELEVATION = 6866.33

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below. ENGINEER PRIOR TO CONSTRUCTION.

 \mathbb{C}_{\square} before you dig.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920

719.900.7220

GallowayUS.com

COPYRIGHT

AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

THESE PLANS ARE AN INSTRUMENT OF SERVICE

D·R·HORTON America's Builder

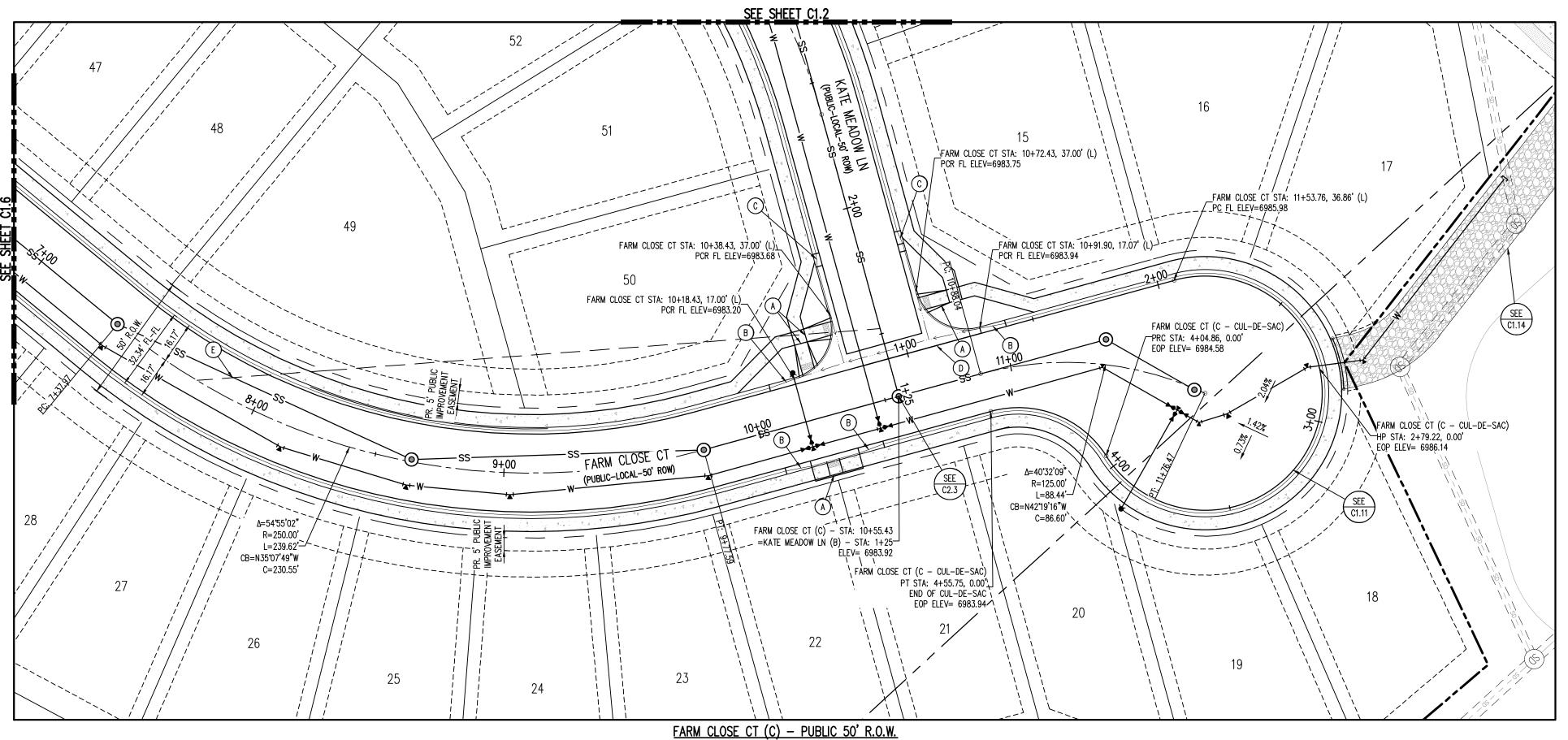
S S S N DOCUMENT ESERVE FILING S, INC. CONSTRUCTION [
SRANDVIEW RES
MELODY HOMES,
SF2311

Date Issue / Description

Project No: JDM, BLB CMWJ Checked By 03/15/2024

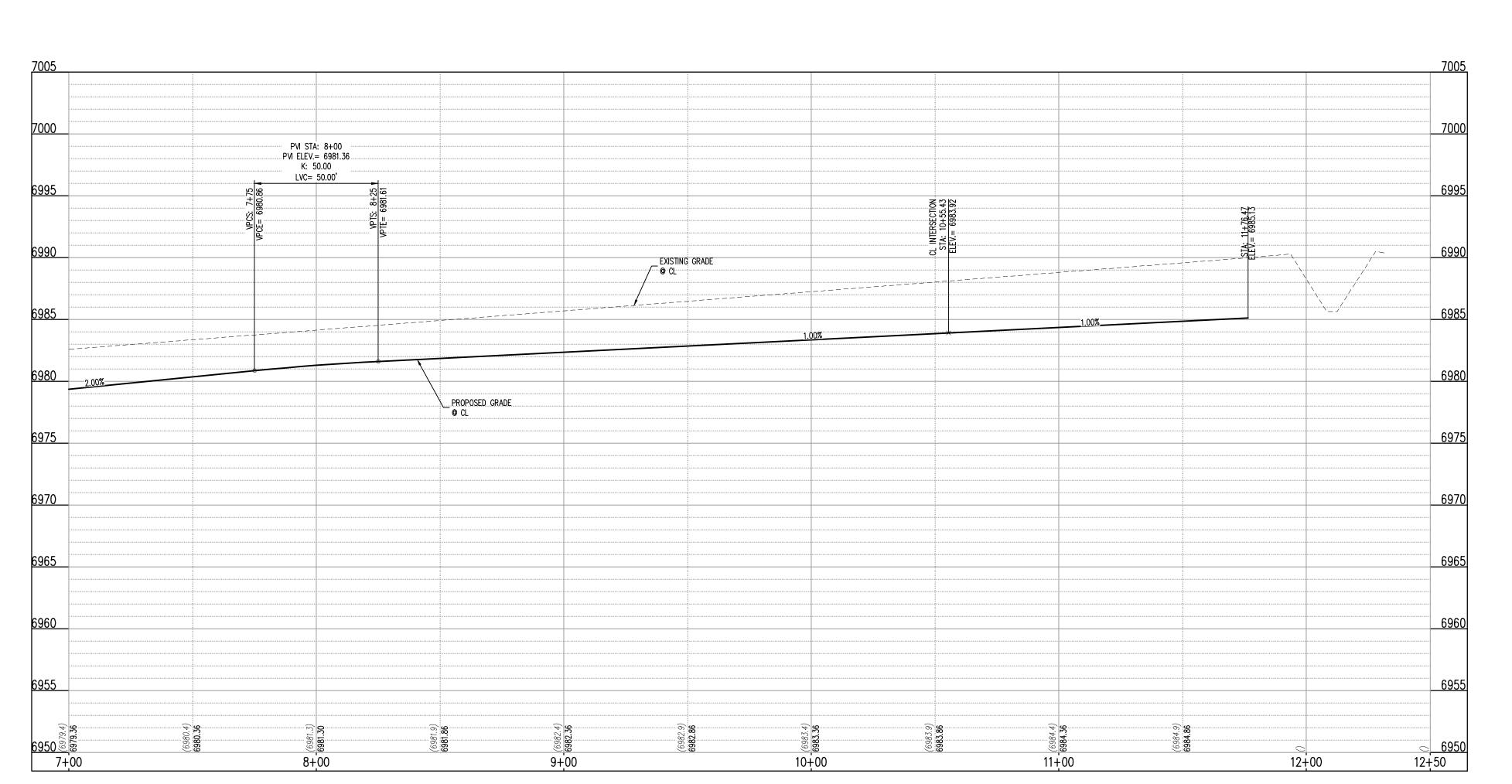
ROADWAY P&P

Sheet 11 of 33



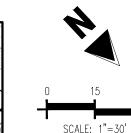
25 MPH DESIGN SPEED (LOCAL)

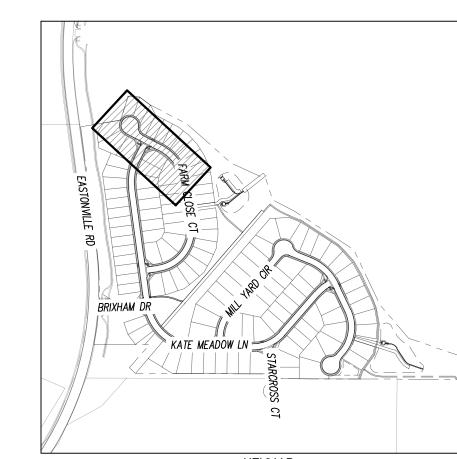
SCALE: 1"=30'



FARM CLOSE CT (C) (STA: 7+50 - 12+50)

SCALES: HORIZONTAL 1"=30', VERTICAL 1"=6'





KEYMAP SCALE: 1"=500'

SITE LEGEND	SCALE: 1"=500'
	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	RIGHT OF WAY BOUNDARY LINE
	SECTION LINE
	EXISTING ADJACENT LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	ROAD CENTERLINE
	PROPOSED RIDGE LINE
	PROPOSED SWALE LINE
$-\!\!\!\!-\!\!\!\!-\!\!\!\!-\!\!\!\!-\!\!\!\!-\!\!\!\!-\!\!\!\!-\!$	EXISTING SWALE LINE
100YR 100YR-	FLOODPLAIN BOUNDARY
	EXISTING FLOOD ZONE
	EXISTING FLOOD ZONE SETBACK
	PROPOSED CURB AND GUTTER
	EXISTING CURB AND GUTTER
	PROPOSED SIDEWALK
	PROPOSED TRAIL
	PROPOSED GRAVEL PER ECM TABLE D-7
	RIPRAP OUTFALL PADS
	EXISTING SIGN
	PROPOSED SIGN
4	PROPOSED CONCRETE
	EXISTING CONCRETE

- ALIGNMENT AND PROFILES ARE IN RELATION TO THE CENTERLINE OF ROADWAY THEREFORE STORM SEWER MANHOLE RIMS AND INLETS MAY APPEAR TO NOT MEET FINISH
- 2. STORM SEWER TBC ELEVATIONS ON ALL STORM DRAIN CURB INLETS ARE LOCATED AT THE MIDDLE. CONTRACTOR TO ENSURE THE INLET MATCHES THE SLOPE OF THE ADJACENT ROADWAY CENTER LINE.
- 3. ALL STORM SEWER PIPING SHALL USE WATERTIGHT JOINTS. 4. SEE GRADING PLAN FOR ALL GRADING INFORMATION
- 5. ALL STORM SEWER SHALL BE CLASS III RCP 6. ALL STORM SEWER MANHOLES SHALL BE TYPE 1 UNLESS OTHERWISE NOTED
- A PEDESTRIAN RAMP, SEE DETAILS (EPC SD_2-40 & SD_2-41)
- B) PROPOSED 10' CURB TRANSITION
- C PROPOSED 5' CURB TRANSITION
- D) PROPOSED 6' CONCRETE CROSS PAN, SEE DETAIL (EPC SD_2-26)
- E PROPOSED SIGHT DISTANCE TRIANGLE

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION BETWEEN STORM SEWER AND POTABLE WATER OR WASTEWATER. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION

BASIS OF BEARING

THE NORTH LINE OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, STATE OF COLORADO BEING MONUMENTED AT EACH END BY A 3-1/4" ALUMINUM SURVEYORS CAP STAMPED "PSINC LS 30087" AND ASSUMED TO BEAR S89°47'04"E, A DISTANCE OF 5285.07 FEET.

BENCHMARK

NGS BENCHMARK F 24 A STANDARD DISK, STAMPED F 24 1929 AND SET IN THE TOP OF A CONCRETE POST PROJECTING ABOUT 6 INCHES ABOVE GROUND. ALONG THE CHICAGO, ROCK ISLAND AND PACIFIC RAILROAD, 52 FEET NORTHWEST OF THE CENTERLINE OF U.S. HIGHWAY 24, 48 FEET SOUTHEAST OF THE CENTERLINE OF THE TRACK. NAVD88 ELEVATION = 6866.33

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below. ENGINEER PRIOR TO CONSTRUCTION.



2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719.900.7220 GallowayUS.com

COPYRIGHT THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

D·R·HORTON

America's Builder

CONSTRUCTION DOCUMENTS GRANDVIEW RESERVE FILING MELODY HOMES, INC. SF2311

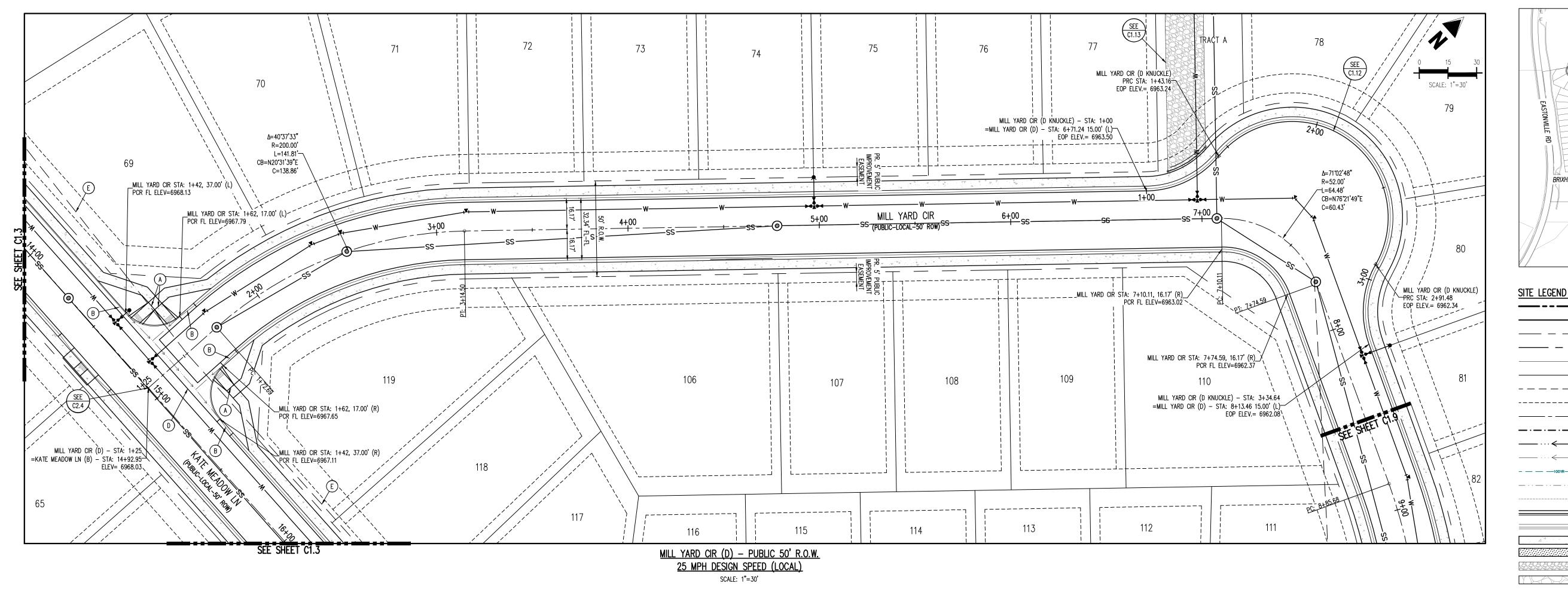
വ വ

Date Issue / Description

_					
_		-			
_		-			
-		-			_
_	-	-			
_		-			
		-			
-					

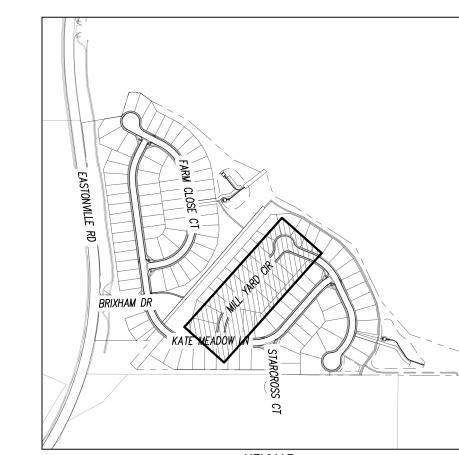
Project No:	HRG02
Drawn By:	JDM, BLB
Checked By:	CMWJ
Date:	03/15/2024
ROADWAY P&P	

Sheet 12 of 33



HP STA: 1+99.70 HP ELEV.= 6968.42 -- PVI STA: 1+90.20 .. PVI ELEV.= 6968.61... K: 19.00 LVC= 57.00' — EXIST. GRADE ______ -5.55% PROP. GRADE @ CL OF ROAD 1+00 2+00 4+00 8+50 3+00 5+00 6+00 7+00 8+00

MILL YARD CIR (D) (STA: 1+00 - 8+50) SCALES: HORIZONTAL 1"=30', VERTICAL 1"=6'



KEYMAP SCALE: 1"=500'

	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	RIGHT OF WAY BOUNDARY LINE
	SECTION LINE
	EXISTING ADJACENT LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	ROAD CENTERLINE
	PROPOSED RIDGE LINE
— · · · ←	PROPOSED SWALE LINE
···	EXISTING SWALE LINE
- — — —100YR— — —100YR—	FLOODPLAIN BOUNDARY
	EXISTING FLOOD ZONE
	EXISTING FLOOD ZONE SETBACK
	PROPOSED CURB AND GUTTER
	EXISTING CURB AND GUTTER
	PROPOSED SIDEWALK
	PROPOSED TRAIL
	PROPOSED GRAVEL PER ECM TABLE D-7
	RIPRAP OUTFALL PADS
	EXISTING SIGN
	PROPOSED SIGN
	PROPOSED CONCRETE

THEREFORE STORM SEWER MANHOLE RIMS AND INLETS MAY APPEAR TO NOT MEET FINISH

- 2. STORM SEWER TBC ELEVATIONS ON ALL STORM DRAIN CURB INLETS ARE LOCATED AT THE MIDDLE. CONTRACTOR TO ENSURE THE INLET MATCHES THE SLOPE OF THE ADJACENT ROADWAY CENTER LINE. 3. ALL STORM SEWER PIPING SHALL USE WATERTIGHT JOINTS.
- 4. SEE GRADING PLAN FOR ALL GRADING INFORMATION 5. ALL STORM SEWER SHALL BE CLASS III RCP 6. ALL STORM SEWER MANHOLES SHALL BE TYPE 1 UNLESS OTHERWISE NOTED
- A PEDESTRIAN RAMP, SEE DETAILS (EPC SD_2-40 & SD_2-41)

EXISTING CONCRETE

- B) PROPOSED 10' CURB TRANSITION
- C PROPOSED 5' CURB TRANSITION
- D PROPOSED 6' CONCRETE CROSS PAN, SEE DETAIL (EPC SD_2-26)
- (E) PROPOSED SIGHT DISTANCE TRIANGLE

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT

CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION BETWEEN STORM SEWER AND POTABLE WATER OR WASTEWATER. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION

BASIS OF BEARING

THE NORTH LINE OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, STATE OF COLORADO BEING MONUMENTED AT EACH 6945 END BY A 3-4" ALUMINUM SURVEYORS CAP STAMPED "PSINC LS 30087" AND ASSUMED TO BEAR S89'47'04"E, A DISTANCE OF 5285.07 FEET.

BENCHMARK

NGS BENCHMARK F 24 A STANDARD DISK, STAMPED F 24 1929 AND SET IN THE TOP OF A CONCRETE POST PROJECTING ABOUT 6 INCHES ABOVE GROUND. ALONG THE CHICAGO, ROCK ISLAND AND PACIFIC RAILROAD, 52 FEET NORTHWEST OF THE CENTERLINE OF U.S. HIGHWAY 24, 48 FEET SOUTHEAST OF THE CENTERLINE OF THE TRACK. NAVD88 ELEVATION = 6866.33

CAUTION - NOTICE TO CONTRACTOR

ENGINEER PRIOR TO CONSTRUCTION.

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below.

 \mathbb{C} a \mathbb{H} before you dig. 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

Colorado Springs, CO 80920

719.900.7220

GallowayUS.com

COPYRIGHT THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

America's Builder

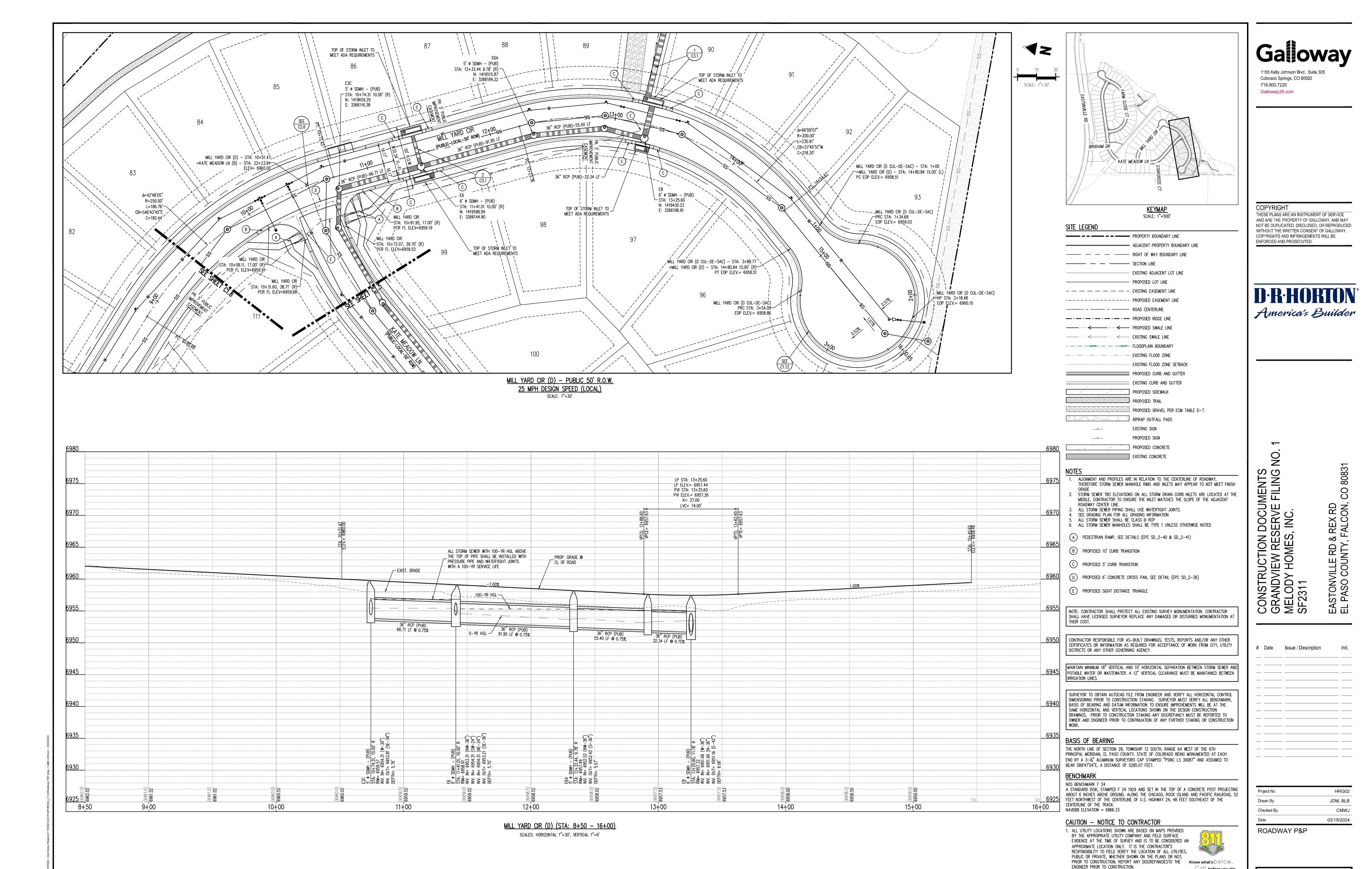
JCTION DOCUMENTS EW RESERVE FILING HOMES, INC. TRUC IDVIEN IDY HO

Date Issue / Description

Project No: JDM, BLB CMWJ 03/15/2024

ROADWAY P&P

Sheet 13 of 33

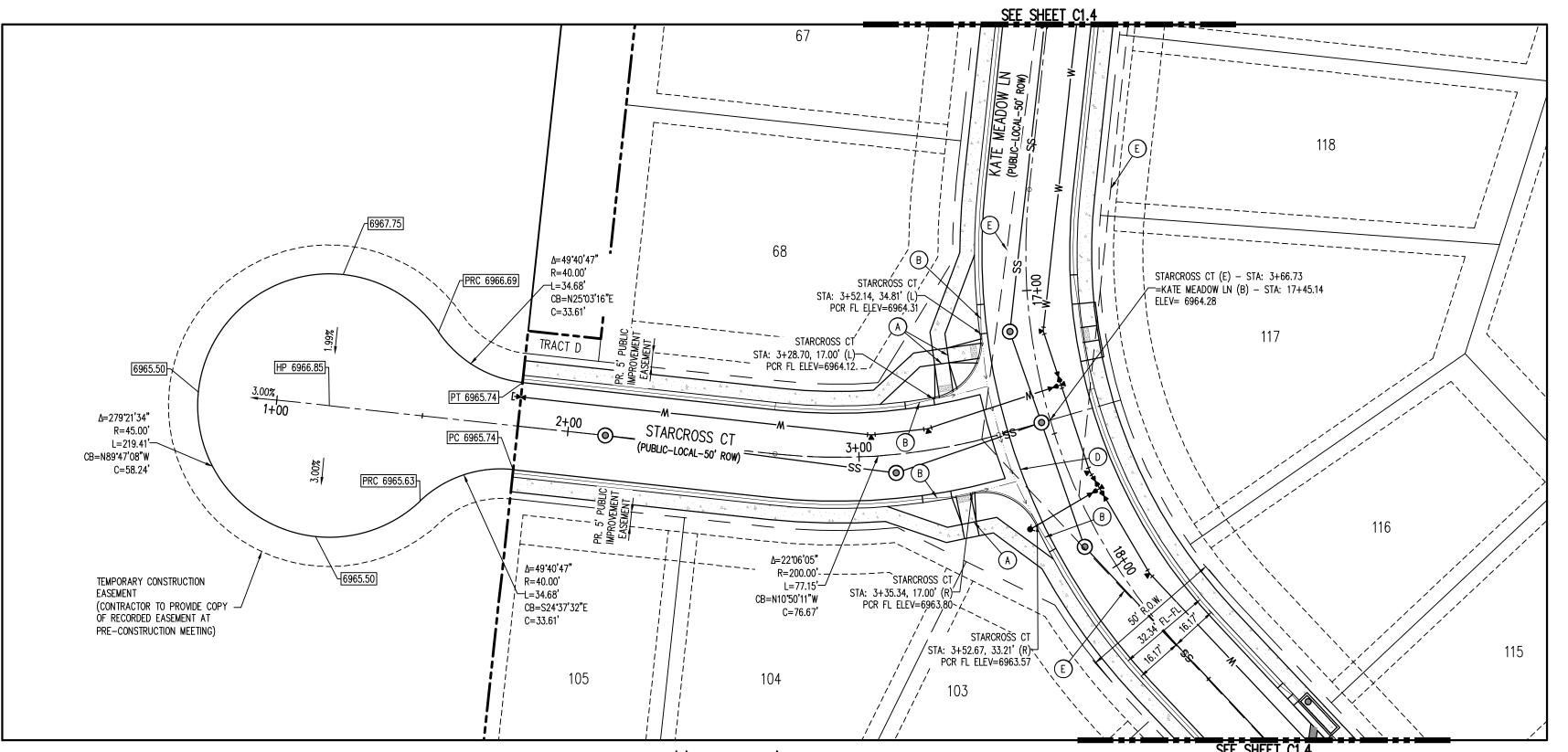


ENGINEER PRIOR TO CONSTRUCTION.

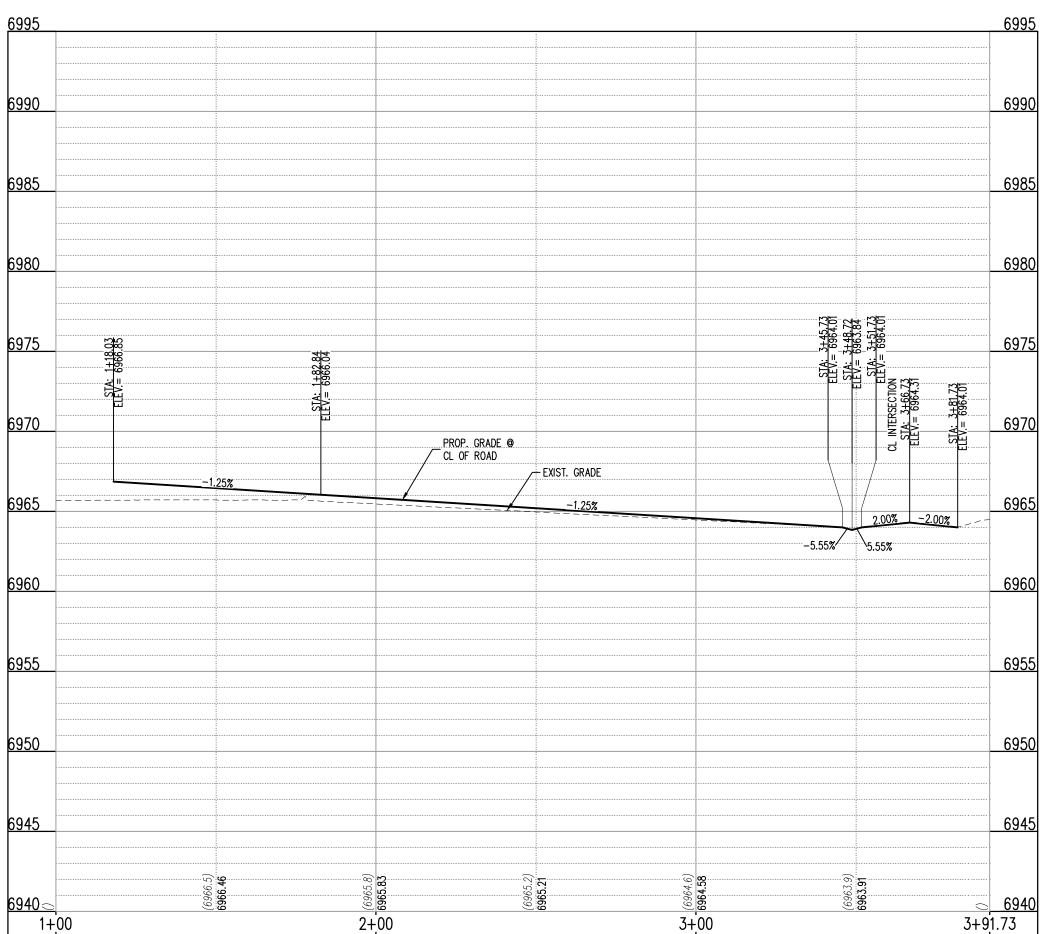
Call before you dig.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

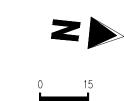
Sheet 14 of 33

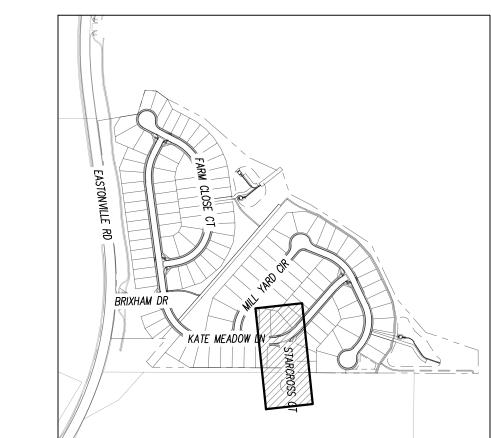


STARCROSS CT (E) - PUBLIC 50' R.O.W. 25 MPH DESIGN SPEED (LOCAL)
SCALE: 1"=30'



STARCROSS CT (E) (STA: 1+00 - 3+91.73) SCALES: HORIZONTAL 1"=30', VERTICAL 1"=6'





KEYMAP SCALE: 1"=500'

SITE LEGEND	SCALE: 1"=500'
•	PROPERTY BOUNDARY LINE
	- ADJACENT PROPERTY BOUNDARY LINE
	— RIGHT OF WAY BOUNDARY LINE
	- SECTION LINE
	- EXISTING ADJACENT LOT LINE
	- PROPOSED LOT LINE
	— EXISTING EASEMENT LINE
	- PROPOSED EASEMENT LINE
	— ROAD CENTERLINE
	- PROPOSED RIDGE LINE
	- PROPOSED SWALE LINE
	- EXISTING SWALE LINE
- — — —100YR- — — —100YR	- FLOODPLAIN BOUNDARY
	— EXISTING FLOOD ZONE
	EXISTING FLOOD ZONE SETBACK
	PROPOSED CURB AND GUTTER
	EXISTING CURB AND GUTTER
	PROPOSED SIDEWALK
	PROPOSED TRAIL
	PROPOSED GRAVEL PER ECM TABLE D-7
	RIPRAP OUTFALL PADS
	EXISTING SIGN
	PROPOSED SIGN
4	PROPOSED CONCRETE
	EXISTING CONCRETE

- ALIGNMENT AND PROFILES ARE IN RELATION TO THE CENTERLINE OF ROADWAY. THEREFORE STORM SEWER MANHOLE RIMS AND INLETS MAY APPEAR TO NOT MEET FINISH
- 2. STORM SEWER TBC ELEVATIONS ON ALL STORM DRAIN CURB INLETS ARE LOCATED AT THE MIDDLE. CONTRACTOR TO ENSURE THE INLET MATCHES THE SLOPE OF THE ADJACENT
- ROADWAY CENTER LINE. 3. ALL STORM SEWER PIPING SHALL USE WATERTIGHT JOINTS.
- 4. SEE GRADING PLAN FOR ALL GRADING INFORMATION 5. ALL STORM SEWER SHALL BE CLASS III RCP 6. ALL STORM SEWER MANHOLES SHALL BE TYPE 1 UNLESS OTHERWISE NOTED
- (A) PEDESTRIAN RAMP, SEE DETAILS (EPC SD_2-40 & SD_2-41)
- B) PROPOSED 10' CURB TRANSITION
- © PROPOSED 5' CURB TRANSITION
- D PROPOSED 6' CONCRETE CROSS PAN, SEE DETAIL (EPC SD_2-26)
- E PROPOSED SIGHT DISTANCE TRIANGLE

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION BETWEEN STORM SEWER AND POTABLE WATER OR WASTEWATER. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWNGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION

BASIS OF BEARING

THE NORTH LINE OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, STATE OF COLORADO BEING MONUMENTED AT EACH END BY A 3-1/4" ALUMINUM SURVEYORS CAP STAMPED "PSINC LS 30087" AND ASSUMED TO BEAR S89'47'04"E, A DISTANCE OF 5285.07 FEET.

BENCHMARK

NGS BENCHMARK F 24 A STANDARD DISK, STAMPED F 24 1929 AND SET IN THE TOP OF A CONCRETE POST PROJECTING ABOUT 6 INCHES ABOVE GROUND. ALONG THE CHICAGO, ROCK ISLAND AND PACIFIC RAILROAD, 52 FEET NORTHWEST OF THE CENTERLINE OF U.S. HIGHWAY 24, 48 FEET SOUTHEAST OF THE CENTERLINE OF THE TRACK. NAVD88 ELEVATION = 6866.33

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below. ENGINEER PRIOR TO CONSTRUCTION.



2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

Colorado Springs, CO 80920 719.900.7220 GallowayUS.com

COPYRIGHT THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

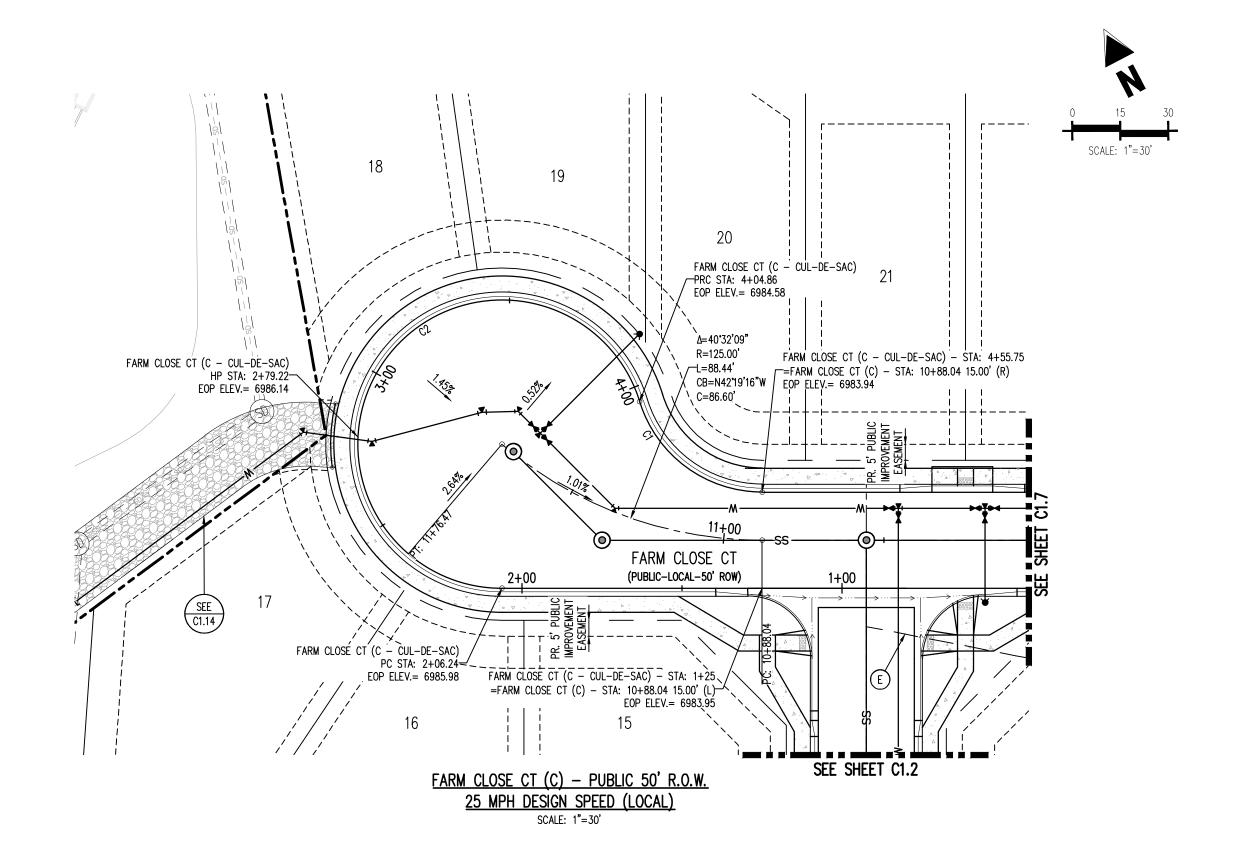


America's Builder

വ വ CONSTRUCTION DOCUMENTS GRANDVIEW RESERVE FILING MELODY HOMES, INC. SF2311

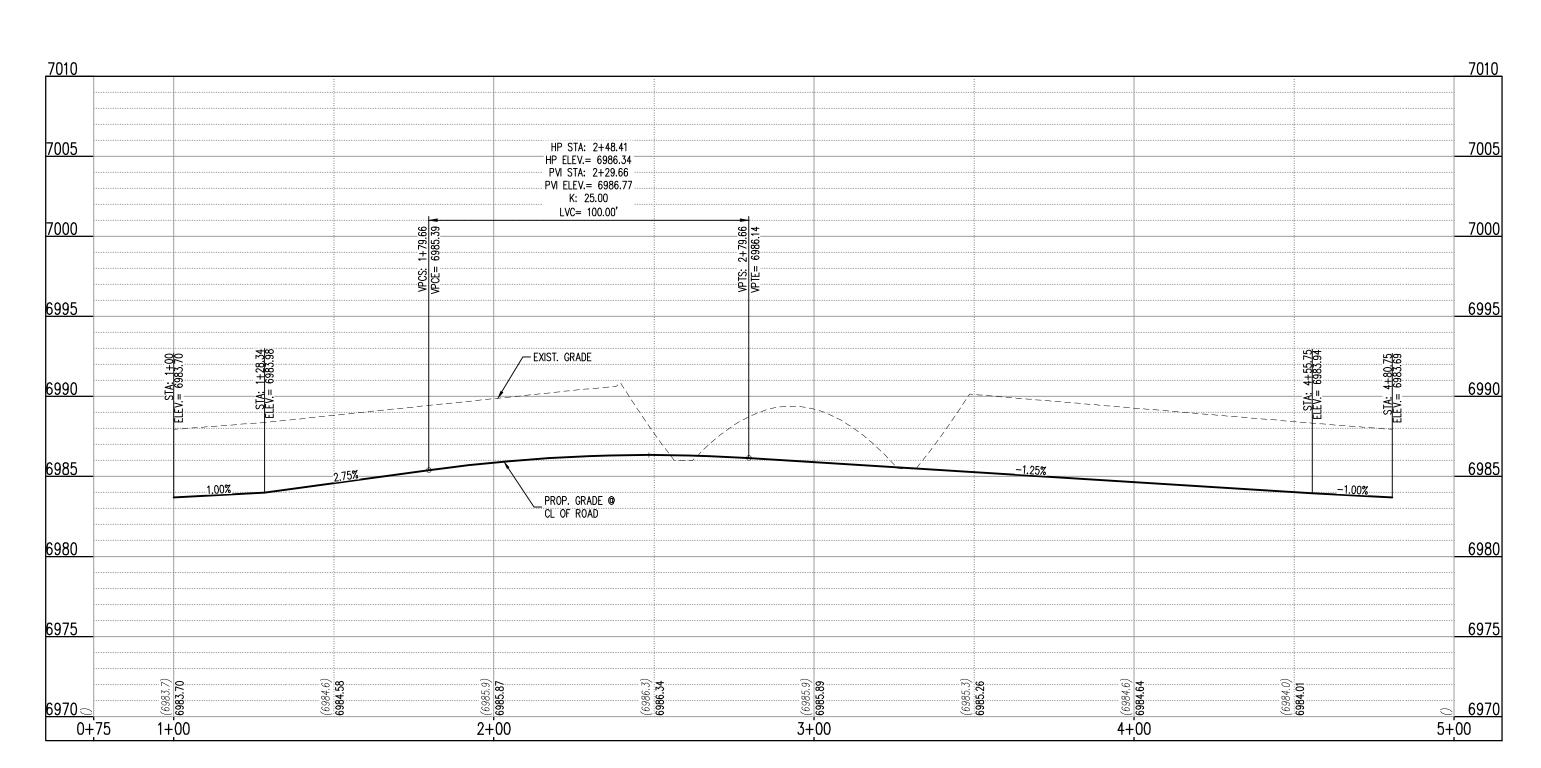
Date Issue / Description

JDM, BLB Checked By: 03/15/2024 **ROADWAY P&P**

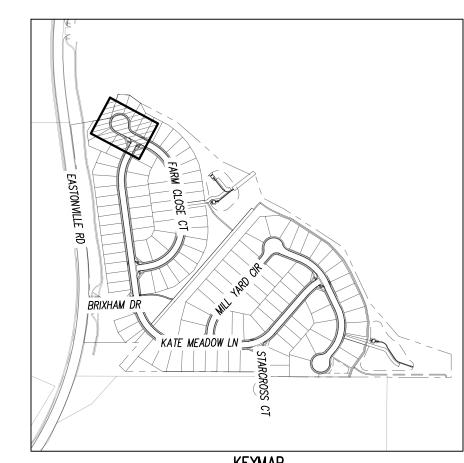


EDGE OF PAVEMENT CURVE SEGMENT TABLE					
CURVE TAG #	DELTA	LENGTH (FT)	RADIUS (FT)	CHORD BEARING	CHORD LENGTH (
C1	72°53'43"	50.89	40.00	S26°08'29"E	47.53
C2	252°53'43"	198.62	45.00	N63°51'31"E	72.40

NOTE: ALIGNMENT AND PROFILE IS ALONG EDGE OF PAVEMENT



MILL YARD CIR (C) (STA: 1+00 - 4+80.75) SCALES: HORIZONTAL 1"=30', VERTICAL 1"=6'



KEYMAP SCALE: 1"=500'

	SCALE: 1 = 500
SITE LEGEND	
	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	RIGHT OF WAY BOUNDARY LINE
	SECTION LINE
	EXISTING ADJACENT LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	ROAD CENTERLINE
	PROPOSED RIDGE LINE
	PROPOSED SWALE LINE
	EXISTING SWALE LINE
100YR 100YR-	FLOODPLAIN BOUNDARY
	EXISTING FLOOD ZONE
	EXISTING FLOOD ZONE SETBACK
	PROPOSED CURB AND GUTTER
	EXISTING CURB AND GUTTER
A	PROPOSED SIDEWALK
	PROPOSED TRAIL
	PROPOSED GRAVEL PER ECM TABLE D-7
	RIPRAP OUTFALL PADS
	EXISTING SIGN
	PROPOSED SIGN
4	PROPOSED CONCRETE

1. ALIGNMENT AND PROFILES ARE IN RELATION TO THE CENTERLINE OF ROADWAY, THEREFORE STORM SEWER MANHOLE RIMS AND INLETS MAY APPEAR TO NOT MEET FINISH

EXISTING CONCRETE

- 2. STORM SEWER TBC ELEVATIONS ON ALL STORM DRAIN CURB INLETS ARE LOCATED AT THE MIDDLE. CONTRACTOR TO ENSURE THE INLET MATCHES THE SLOPE OF THE ADJACENT ROADWAY CENTER LINE.
- 3. ALL STORM SEWER PIPING SHALL USE WATERTIGHT JOINTS. 4. SEE GRADING PLAN FOR ALL GRADING INFORMATION
- 5. ALL STORM SEWER SHALL BE CLASS III RCP 6. ALL STORM SEWER MANHOLES SHALL BE TYPE 1 UNLESS OTHERWISE NOTED
- (A) PEDESTRIAN RAMP, SEE DETAILS (EPC SD_2-40 & SD_2-41)
- B PROPOSED 10' CURB TRANSITION
- C PROPOSED 5' CURB TRANSITION
- D PROPOSED 6' CONCRETE CROSS PAN, SEE DETAIL (EPC SD_2-26)
- (E) PROPOSED SIGHT DISTANCE TRIANGLE

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION BETWEEN STORM SEWER AND POTABLE WATER OR WASTEWATER. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWNGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION

BASIS OF BEARING

THE NORTH LINE OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, STATE OF COLORADO BEING MONUMENTED AT EACH END BY A 3-1/4" ALUMINUM SURVEYORS CAP STAMPED "PSINC LS 30087" AND ASSUMED TO BEAR S89'47'04"E, A DISTANCE OF 5285.07 FEET.

BENCHMARK

NGS BENCHMARK F 24 A STANDARD DISK, STAMPED F 24 1929 AND SET IN THE TOP OF A CONCRETE POST PROJECTING ABOUT 6 INCHES ABOVE GROUND. ALONG THE CHICAGO, ROCK ISLAND AND PACIFIC RAILROAD, 52 FEET NORTHWEST OF THE CENTERLINE OF U.S. HIGHWAY 24, 48 FEET SOUTHEAST OF THE CENTERLINE OF THE TRACK. NAVD88 ELEVATION = 6866.33

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below. ENGINEER PRIOR TO CONSTRUCTION.



 \mathbb{C}_{\square} before you dig. 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719.900.7220 GallowayUS.com

COPYRIGHT THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.



America's Builder

CONSTRUCTION DOCUMENTS GRANDVIEW RESERVE FILING MELODY HOMES, INC. SF2311

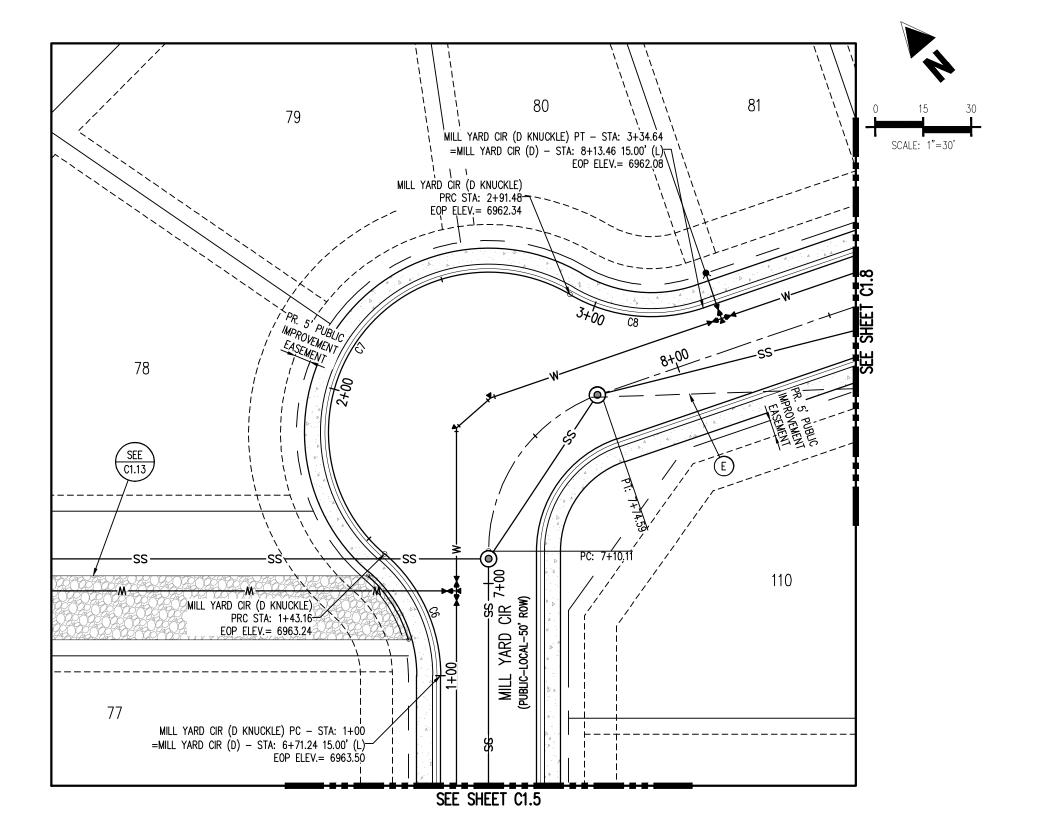
လ ပာ

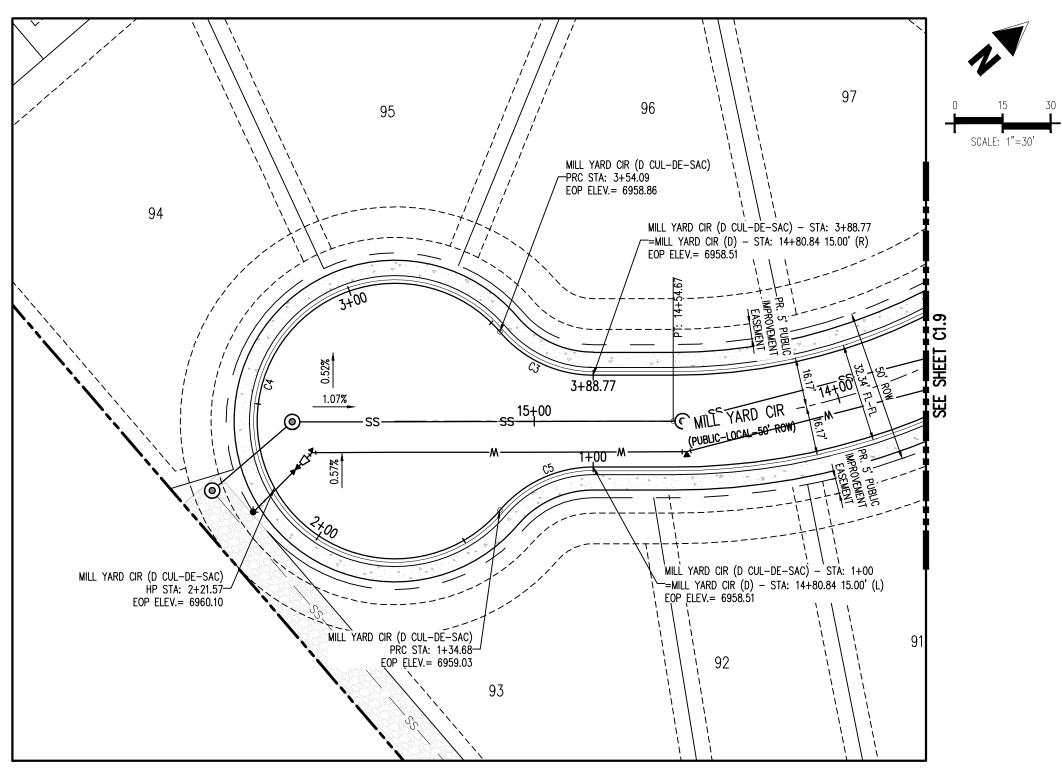
Date Issue / Description

Project No: JDM, BLB CMWJ Checked By: 03/15/2024

ROADWAY P&P

Sheet 16 of 33





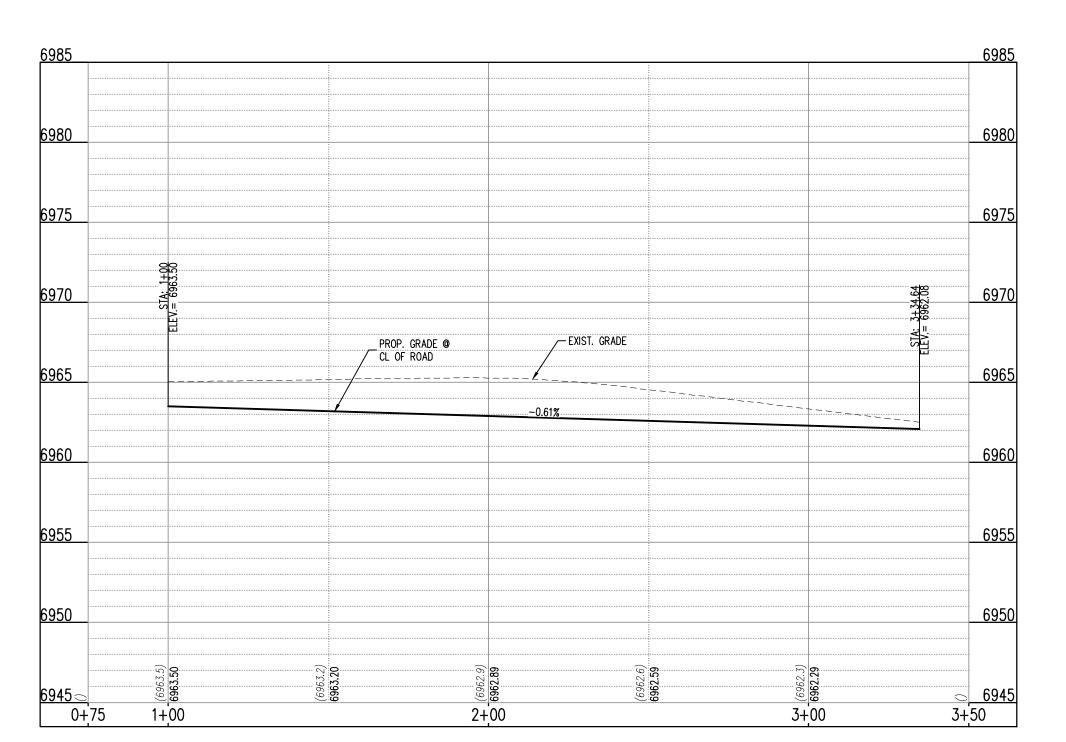
MILL YARD CIR (D CUL-DE-SAC) - PUBLIC 50' R.O.W. 25 MPH DESIGN SPEED (LOCAL)

MILL YARD CIR (D KNUCKLE) - PUBLIC 50' R.O.W. 25 MPH DESIGN SPEED (LOCAL) SCALE: 1"=30'

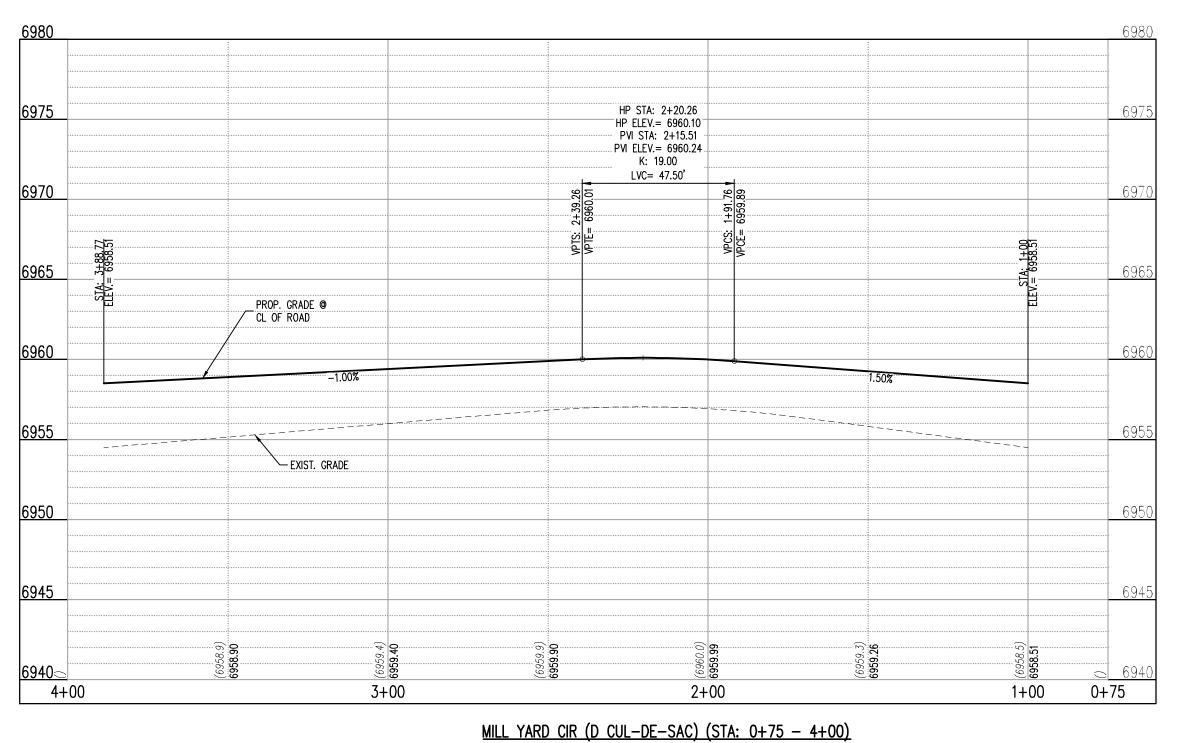
> NOTE: ALIGNMENT AND PROFILE IS ALONG EDGE OF PAVEMENT

EDGE OF PAVEMENT CURVE SEGMENT TABLE					
CURVE TAG #	DELTA	LENGTH (FT)	RADIUS (FT)	CHORD BEARING	CHORD LENGTH (F
C3	49'40'47"	34.68	40.00	N65'40'49"E	33.61
C4	279°21'34"	219.41	45.00	N49°09'35"W	58.24
C5	49°40'47"	34.68	40.00	S16'00'01"W	33.61
C6	49°27'30"	43.16	50.00	N16°06'40"E	41.83
C7	169°57'48"	148.32	50.00	N76°21'49"E	99.62
C8	49°27'30"	43.16	50.00	S43"23'02"E	41.83

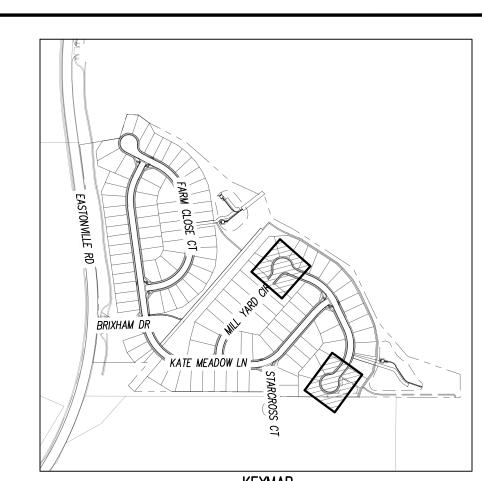
NOTE: ALIGNMENT AND PROFILE IS ALONG EDGE OF PAVEMENT



MILL YARD CIR (D KNUCKLE) (STA: 0+75 - 3+50) SCALES: HORIZONTAL 1"=30', VERTICAL 1"=6'



SCALES: HORIZONTAL 1"=30', VERTICAL 1"=6'



KEYMAP SCALE: 1"=500'

SITE LEGEND

	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	RIGHT OF WAY BOUNDARY LINE
	SECTION LINE
	EXISTING ADJACENT LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	ROAD CENTERLINE
	PROPOSED RIDGE LINE
	PROPOSED SWALE LINE
	EXISTING SWALE LINE
- — — —100YR— — —100YR—	FLOODPLAIN BOUNDARY
	EXISTING FLOOD ZONE
	EXISTING FLOOD ZONE SETBACK
	PROPOSED CURB AND GUTTER
	EXISTING CURB AND GUTTER
	PROPOSED SIDEWALK
	PROPOSED TRAIL
	PROPOSED GRAVEL PER ECM TABLE D-7
	RIPRAP OUTFALL PADS
	EXISTING SIGN
	PROPOSED SIGN
	PROPOSED CONCRETE

- 1. ALIGNMENT AND PROFILES ARE IN RELATION TO THE CENTERLINE OF ROADWAY. THEREFORE STORM SEWER MANHOLE RIMS AND INLETS MAY APPEAR TO NOT MEET FINISH
- 2. STORM SEWER TBC ELEVATIONS ON ALL STORM DRAIN CURB INLETS ARE LOCATED AT THE MIDDLE. CONTRACTOR TO ENSURE THE INLET MATCHES THE SLOPE OF THE ADJACENT ROADWAY CENTER LINE.
- 3. ALL STORM SEWER PIPING SHALL USE WATERTIGHT JOINTS. 4. SEE GRADING PLAN FOR ALL GRADING INFORMATION 5. ALL STORM SEWER SHALL BE CLASS III RCP

EXISTING CONCRETE

- 6. ALL STORM SEWER MANHOLES SHALL BE TYPE 1 UNLESS OTHERWISE NOTED
- A PEDESTRIAN RAMP, SEE DETAILS (EPC SD_2-40 & SD_2-41)
- B PROPOSED 10' CURB TRANSITION
- C PROPOSED 5' CURB TRANSITION
- D PROPOSED 6' CONCRETE CROSS PAN, SEE DETAIL (EPC SD_2-26)
- E PROPOSED SIGHT DISTANCE TRIANGLE

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION BETWEEN STORM SEWER AND POTABLE WATER OR WASTEWATER. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWNGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION

BASIS OF BEARING

THE NORTH LINE OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, STATE OF COLORADO BEING MONUMENTED AT EACH END BY A 3-1/4" ALUMINUM SURVEYORS CAP STAMPED "PSINC LS 30087" AND ASSUMED TO BEAR S89°47'04"E, A DISTANCE OF 5285.07 FEET.

BENCHMARK

NGS BENCHMARK F 24 A STANDARD DISK, STAMPED F 24 1929 AND SET IN THE TOP OF A CONCRETE POST PROJECTING ABOUT 6 INCHES ABOVE GROUND. ALONG THE CHICAGO, ROCK ISLAND AND PACIFIC RAILROAD, 52 FEET NORTHWEST OF THE CENTERLINE OF U.S. HIGHWAY 24, 48 FEET SOUTHEAST OF THE CENTERLINE OF THE TRACK. NAVD88 ELEVATION = 6866.33

<u>CAUTION - NOTICE TO CONTRACTOR</u>

 ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below. ENGINEER PRIOR TO CONSTRUCTION.

Call before you dig.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719.900.7220 GallowayUS.com

COPYRIGHT THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

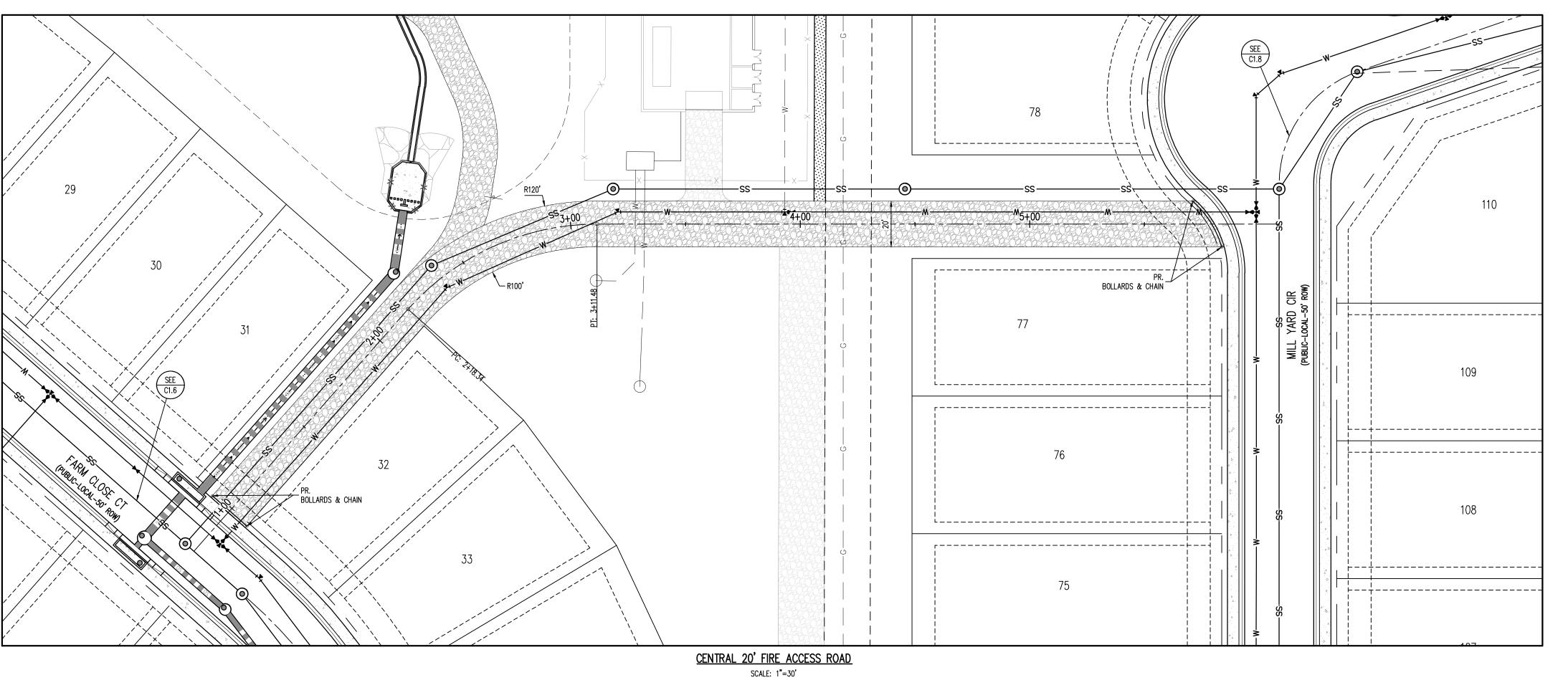
D·R·HORTON America's Builder

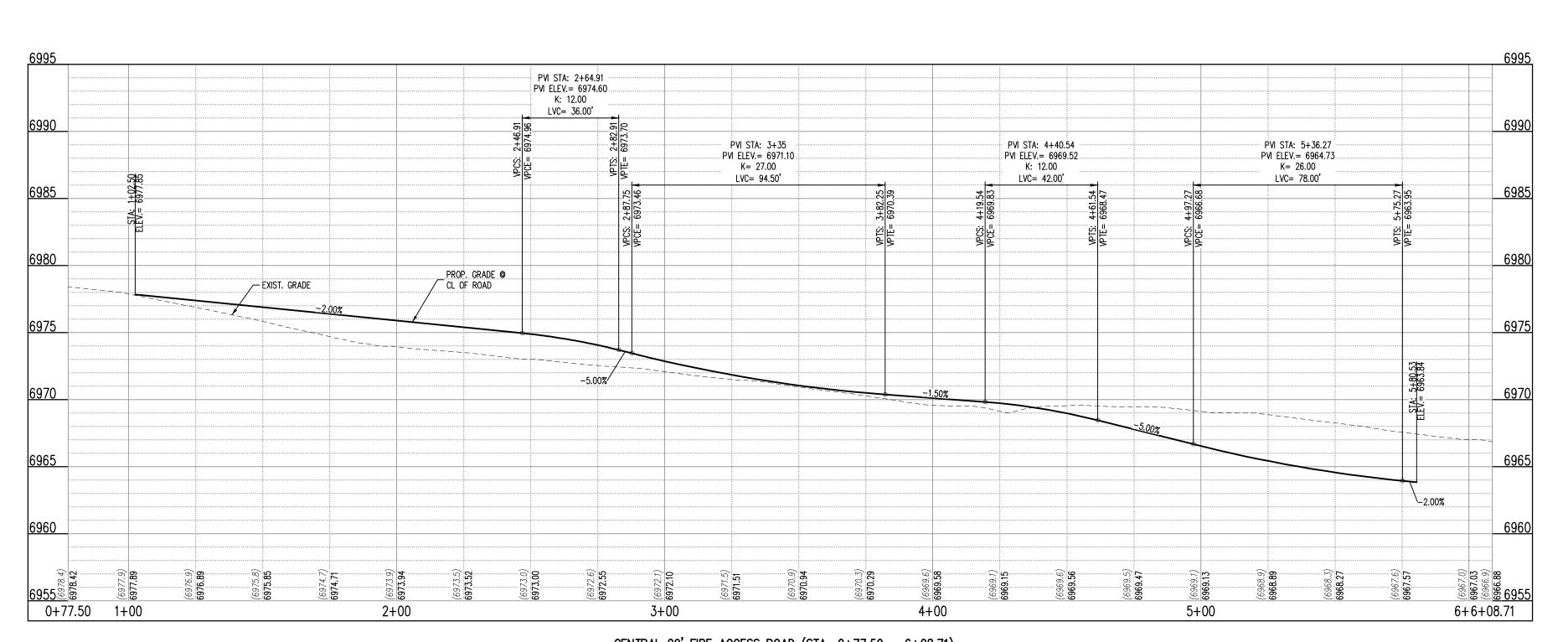
S S S CONSTRUCTION DOCUMENTS GRANDVIEW RESERVE FILING MELODY HOMES, INC. SF2311

Date Issue / Description

JDM, BLB 03/15/2024

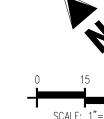
ROADWAY P&P

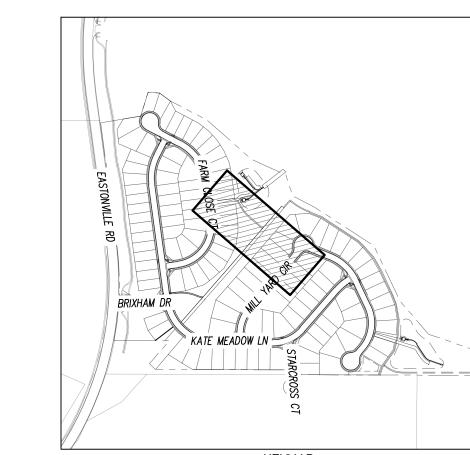




<u>CENTRAL 20' FIRE ACCESS ROAD (STA: 0+77.50 - 6+08.71)</u>

SCALES: HORIZONTAL 1"=30', VERTICAL 1"=6'





SITE LEGEND	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	RIGHT OF WAY BOUNDARY LINE
	SECTION LINE
	EXISTING ADJACENT LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	ROAD CENTERLINE
	PROPOSED RIDGE LINE
←	PROPOSED SWALE LINE
	EXISTING SWALE LINE
100YR 100YR-	FLOODPLAIN BOUNDARY
	EXISTING FLOOD ZONE
	EXISTING FLOOD ZONE SETBACK
	PROPOSED CURB AND GUTTER
	EXISTING CURB AND GUTTER
	PROPOSED SIDEWALK
	PROPOSED TRAIL
	PROPOSED GRAVEL PER ECM TABLE D-7
	RIPRAP OUTFALL PADS
	EXISTING SIGN
	PROPOSED SIGN
4	PROPOSED CONCRETE

1. ALIGNMENT AND PROFILES ARE IN RELATION TO THE CENTERLINE OF ROADWAY. THEREFORE STORM SEWER MANHOLE RIMS AND INLETS MAY APPEAR TO NOT MEET FINISH

EXISTING CONCRETE

- 2. STORM SEWER TBC ELEVATIONS ON ALL STORM DRAIN CURB INLETS ARE LOCATED AT THE MIDDLE. CONTRACTOR TO ENSURE THE INLET MATCHES THE SLOPE OF THE ADJACENT ROADWAY CENTER LINE. 3. ALL STORM SEWER PIPING SHALL USE WATERTIGHT JOINTS.
- 4. SEE GRADING PLAN FOR ALL GRADING INFORMATION 5. ALL STORM SEWER SHALL BE CLASS III RCP
- 6. ALL STORM SEWER MANHOLES SHALL BE TYPE 1 UNLESS OTHERWISE NOTED
- A PEDESTRIAN RAMP, SEE DETAILS (EPC SD_2-40 & SD_2-41)
- B PROPOSED 10' CURB TRANSITION
- C PROPOSED 5' CURB TRANSITION
- D PROPOSED 6' CONCRETE CROSS PAN, SEE DETAIL (EPC SD_2-26)
- (E) PROPOSED SIGHT DISTANCE TRIANGLE

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION BETWEEN STORM SEWER AND POTABLE WATER OR WASTEWATER. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWNGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION

BASIS OF BEARING

THE NORTH LINE OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, STATE OF COLORADO BEING MONUMENTED AT EACH END BY A 3-1/4" ALUMINUM SURVEYORS CAP STAMPED "PSINC LS 30087" AND ASSUMED TO BEAR S89°47'04"E, A DISTANCE OF 5285.07 FEET.

BENCHMARK

NGS BENCHMARK F 24 A STANDARD DISK, STAMPED F 24 1929 AND SET IN THE TOP OF A CONCRETE POST PROJECTING ABOUT 6 INCHES ABOVE GROUND. ALONG THE CHICAGO, ROCK ISLAND AND PACIFIC RAILROAD, 52 FEET NORTHWEST OF THE CENTERLINE OF U.S. HIGHWAY 24, 48 FEET SOUTHEAST OF THE CENTERLINE OF THE TRACK. NAVD88 ELEVATION = 6866.33

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below. ENGINEER PRIOR TO CONSTRUCTION.



Call before you dig. 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719.900.7220 GallowayUS.com

COPYRIGHT THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.



America's Builder

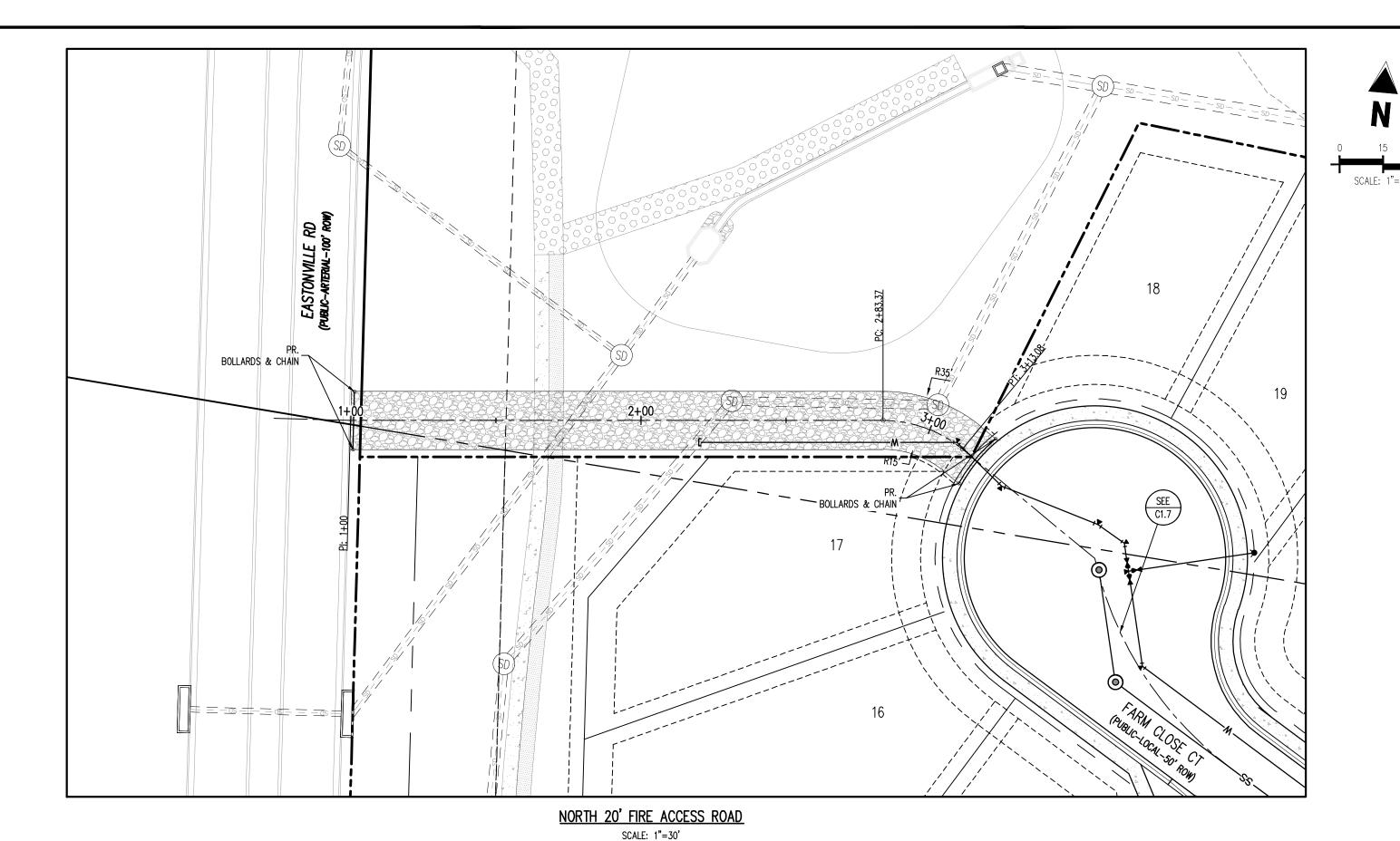
CONSTRUCTION DOCUMENTS GRANDVIEW RESERVE FILING MELODY HOMES, INC. SF2311

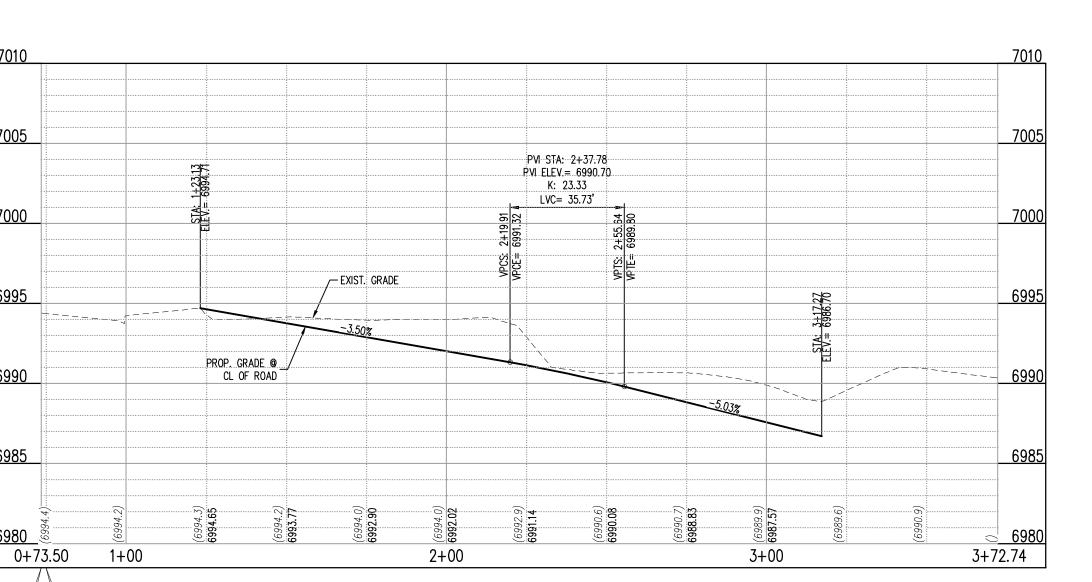
Date Issue / Description

Project No: JDM, BLB CMWJ Checked By: 03/15/2024

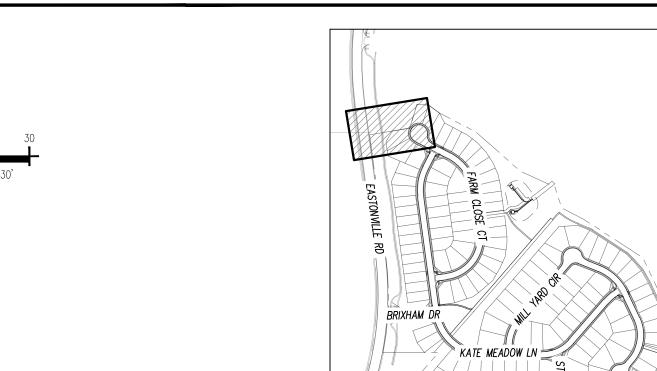
FIRE ACCESS P&P

Sheet 18 of 33

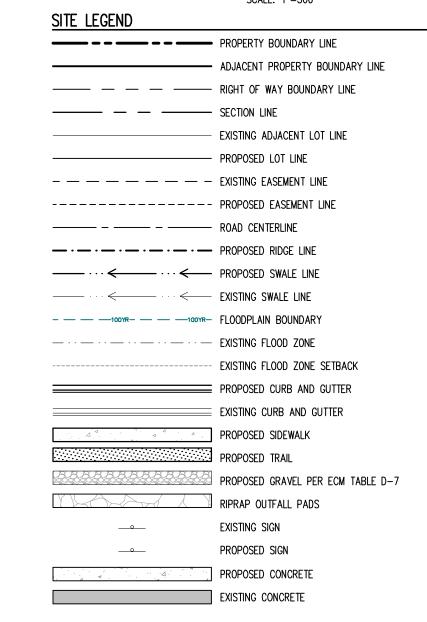




NORTH 20' FIRE ACCESS ROAD (STA: 0+73.50 - 3+72.74) SCALES: HORIZONTAL 1"=30', VERTICAL 1"=6'



KEYMAP SCALE: 1"=500'



- 1. ALIGNMENT AND PROFILES ARE IN RELATION TO THE CENTERLINE OF ROADWAY. THEREFORE STORM SEWER MANHOLE RIMS AND INLETS MAY APPEAR TO NOT MEET FINISH
- 2. STORM SEWER TBC ELEVATIONS ON ALL STORM DRAIN CURB INLETS ARE LOCATED AT THE MIDDLE. CONTRACTOR TO ENSURE THE INLET MATCHES THE SLOPE OF THE ADJACENT ROADWAY CENTER LINE. 3. ALL STORM SEWER PIPING SHALL USE WATERTIGHT JOINTS.
- 4. SEE GRADING PLAN FOR ALL GRADING INFORMATION
- 5. ALL STORM SEWER SHALL BE CLASS III RCP 6. ALL STORM SEWER MANHOLES SHALL BE TYPE 1 UNLESS OTHERWISE NOTED
- A PEDESTRIAN RAMP, SEE DETAILS (EPC SD_2-40 & SD_2-41)
- B) PROPOSED 10' CURB TRANSITION
- C PROPOSED 5' CURB TRANSITION
- D PROPOSED 6' CONCRETE CROSS PAN, SEE DETAIL (EPC SD_2-26)
- (E) PROPOSED SIGHT DISTANCE TRIANGLE

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION BETWEEN STORM SEWER AND POTABLE WATER OR WASTEWATER. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION
DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO
OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION

BASIS OF BEARING

THE NORTH LINE OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, STATE OF COLORADO BEING MONUMENTED AT EACH END BY A 3-1/4" ALUMINUM SURVEYORS CAP STAMPED "PSINC LS 30087" AND ASSUMED TO BEAR S89°47'04"E, A DISTANCE OF 5285.07 FEET.

BENCHMARK

NGS BENCHMARK F 24 A STANDARD DISK, STAMPED F 24 1929 AND SET IN THE TOP OF A CONCRETE POST PROJECTING ABOUT 6 INCHES ABOVE GROUND. ALONG THE CHICAGO, ROCK ISLAND AND PACIFIC RAILROAD, 52 FEET NORTHWEST OF THE CENTERLINE OF U.S. HIGHWAY 24, 48 FEET SOUTHEAST OF THE CENTERLINE OF THE TRACK. NAVD88 ELEVATION = 6866.33

CAUTION - NOTICE TO CONTRACTOR

THE ENGINEER PRIOR TO CONSTRUCTION.

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below. ENGINEER PRIOR TO CONSTRUCTION.



Call before you dig. 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO

1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719.900.7220 GallowayUS.com

COPYRIGHT THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.



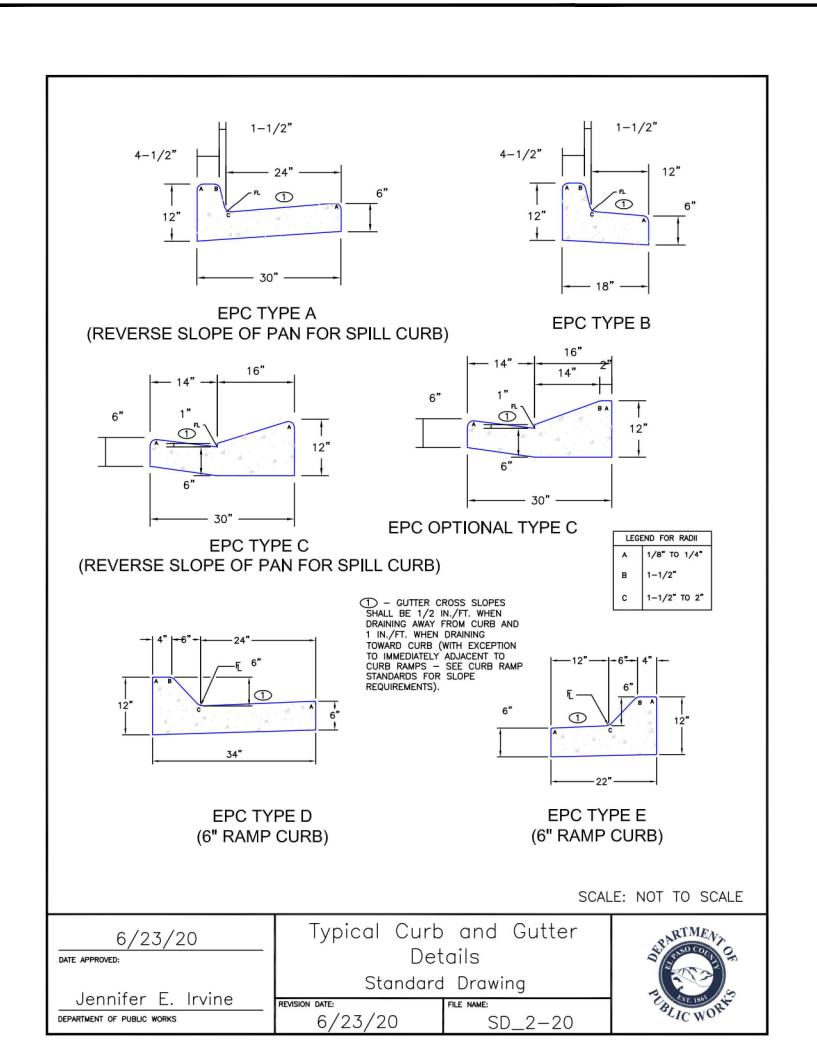
CONSTRUCTION DOCUMENTS GRANDVIEW RESERVE FILING MELODY HOMES, INC. SF2311

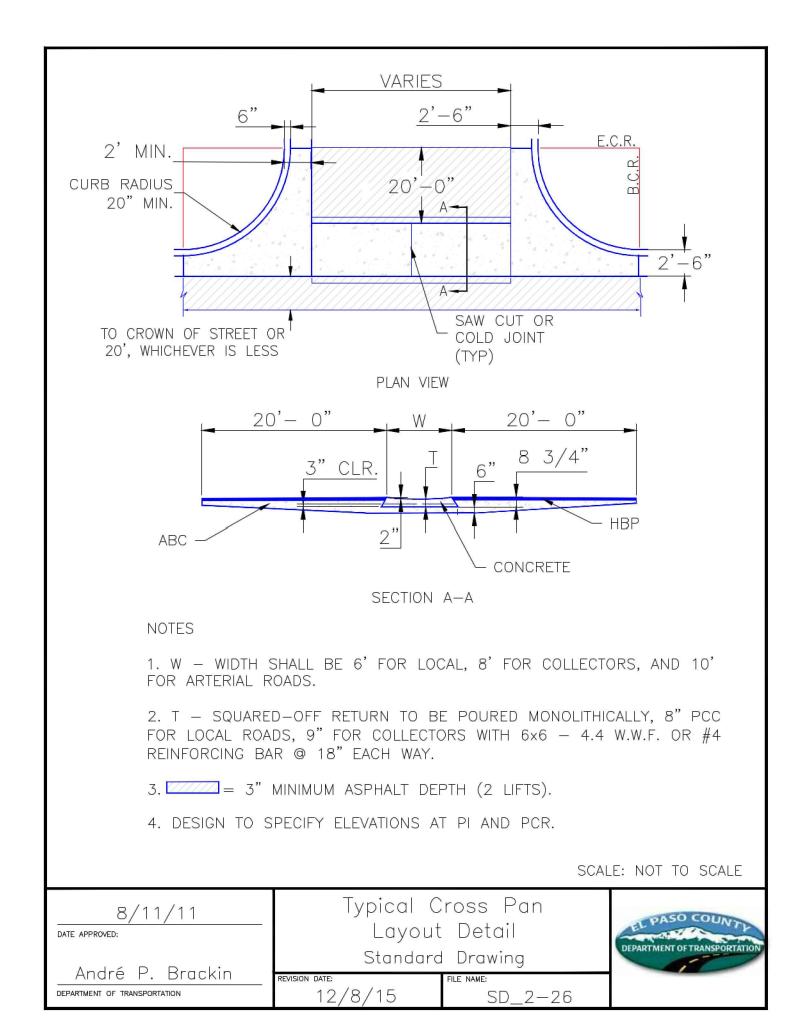
လွှ

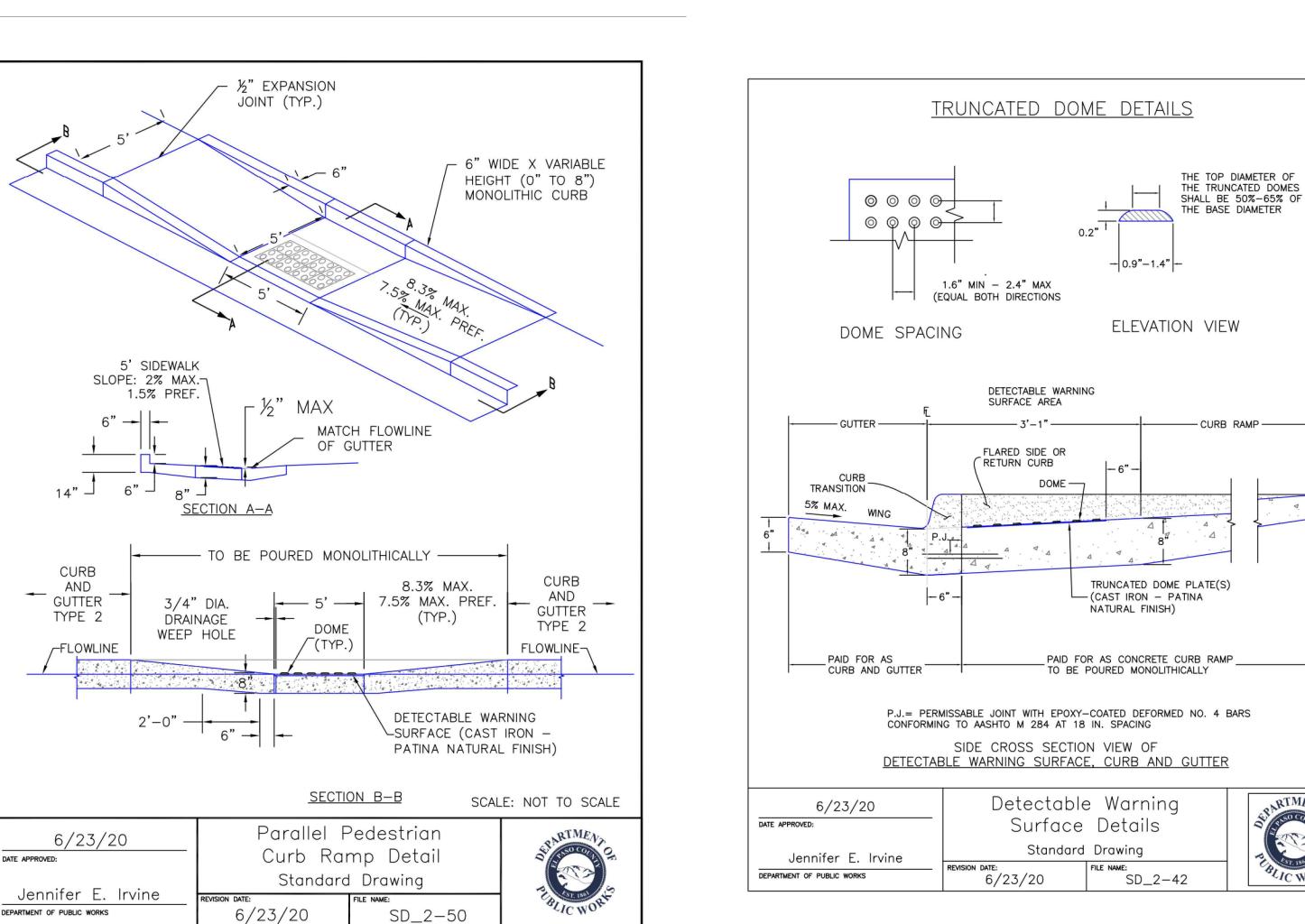
Date Issue / Description

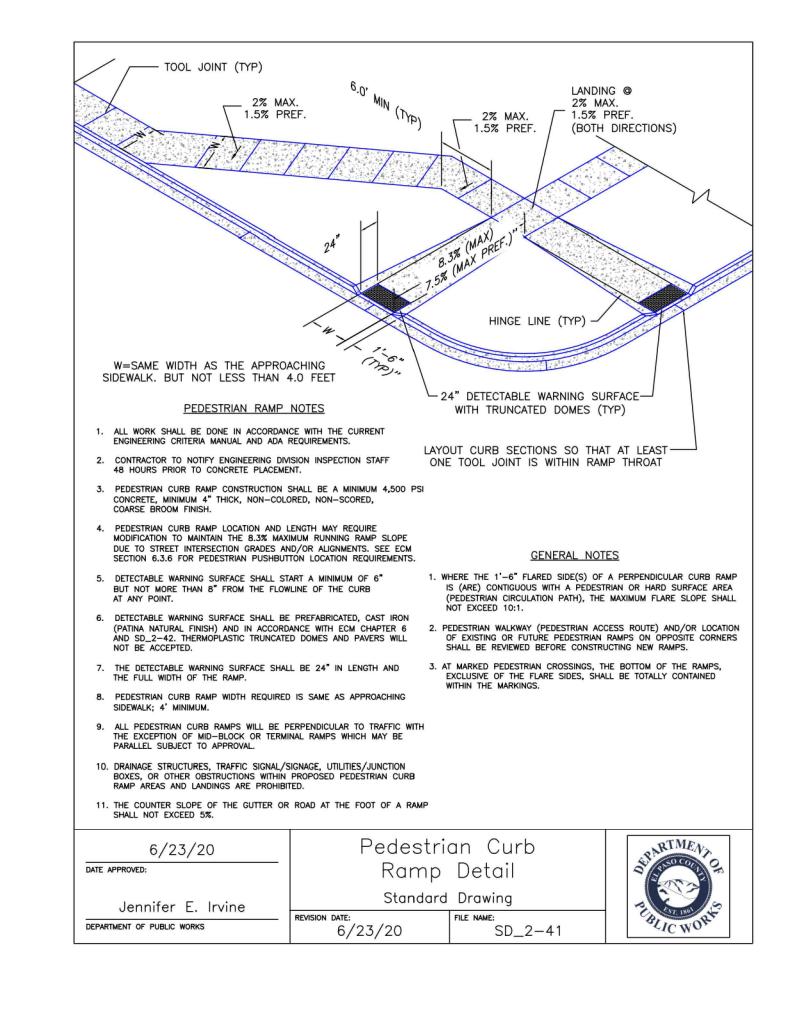
Project No:	HRG02
Drawn By:	JDM, BLB
Checked By:	CMWJ
Date:	03/15/2024
FIRE ACCESS P&P	

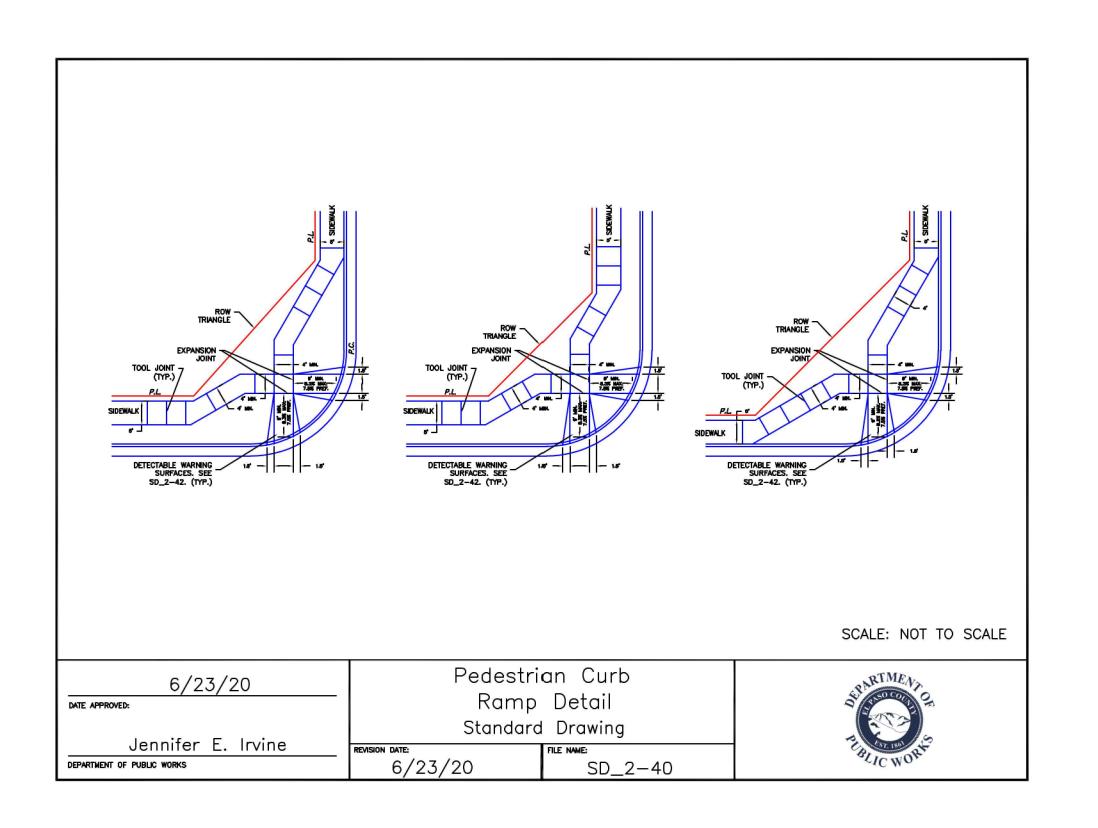
Sheet 19 of 33













1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719.900.7220 GallowayUS.com

COPYRIGHT

THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

D·R·HORTON

America's Builder

S S S OCUMENT ERVE FILING

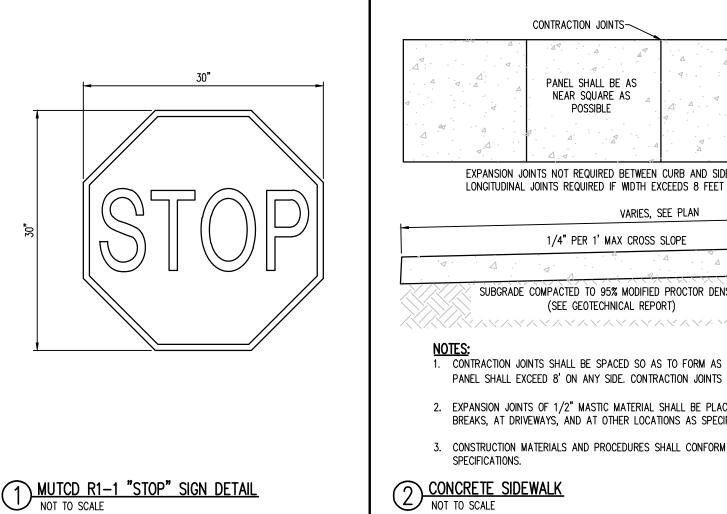
83,

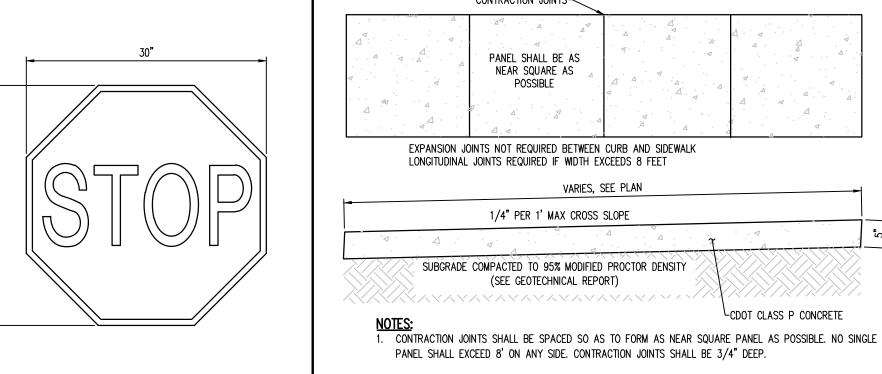
Date Issue / Description

Project No:	HRG02
Drawn By:	JDM, BLB
Checked By:	CMWJ
Date:	03/15/2024

SITE DETAILS

Sheet 20 of 33

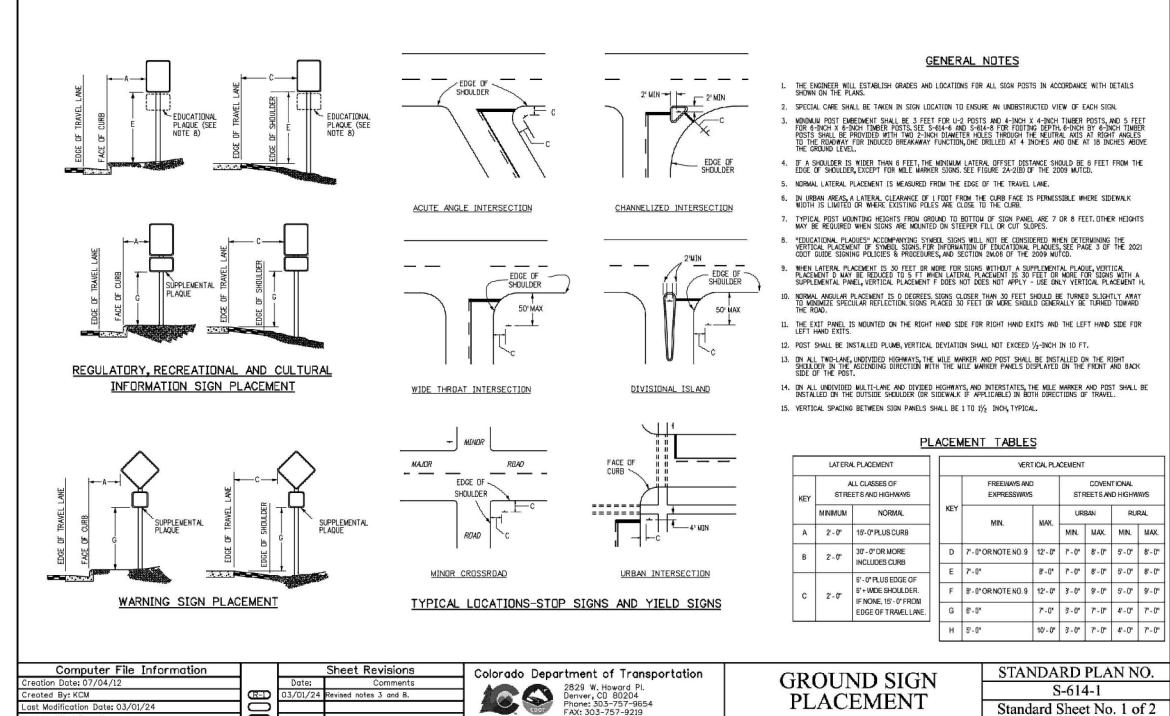




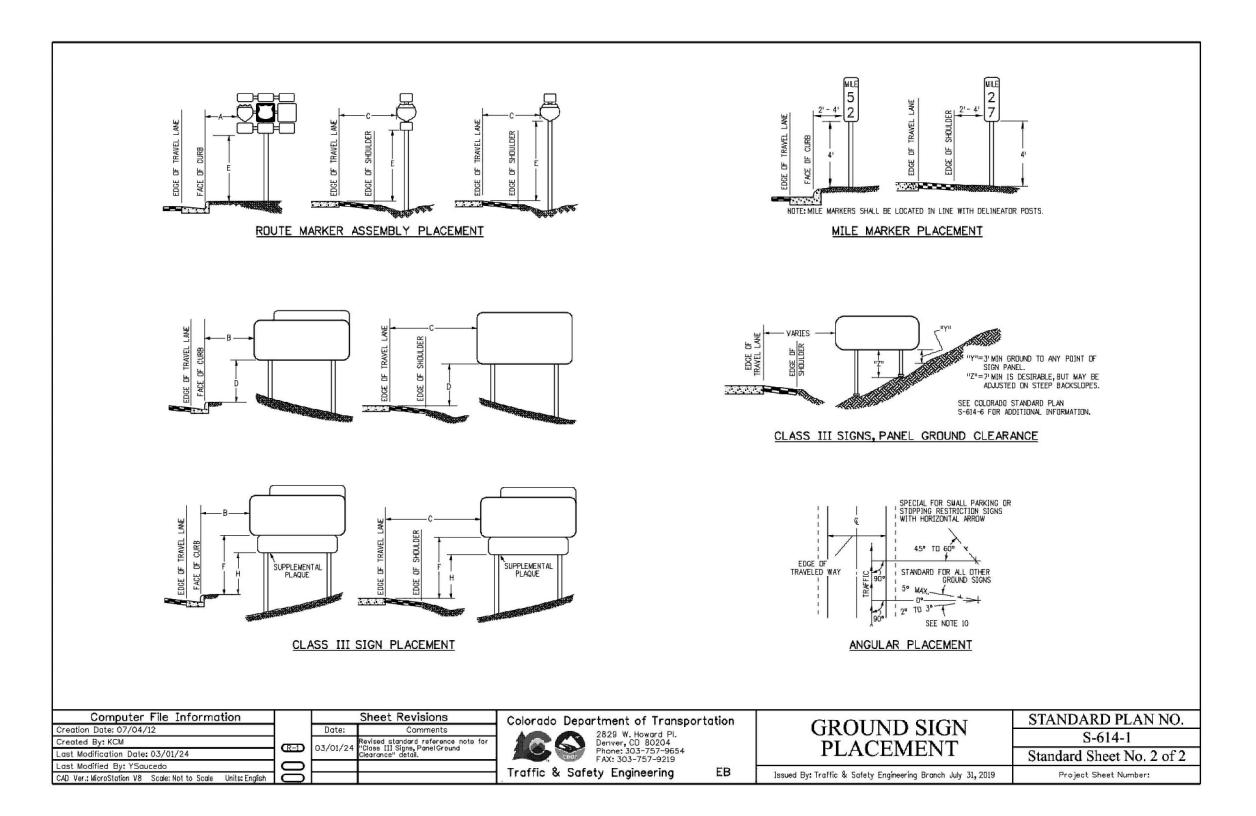
- 2. EXPANSION JOINTS OF 1/2" MASTIC MATERIAL SHALL BE PLACED AT P.C.'S AND P.T.'S OF CURVES, AT GRADE BREAKS, AT DRIVEWAYS, AND AT OTHER LOCATIONS AS SPECIFIED BY THE ENGINEER.
- 3. CONSTRUCTION MATERIALS AND PROCEDURES SHALL CONFORM TO EXISTING COUNTY AND STATE STANDARD

Issued By: Traffic & Safety Engineering Branch July 31, 2019

Project Sheet Number:



Traffic & Safety Engineering EB



1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719.900.7220 GallowayUS.com

COPYRIGHT

THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

D·R·HORTON

America's Builder

S S S

CONSTRUCTION DOCUMENTS GRANDVIEW RESERVE FILING MELODY HOMES, INC. SF2311

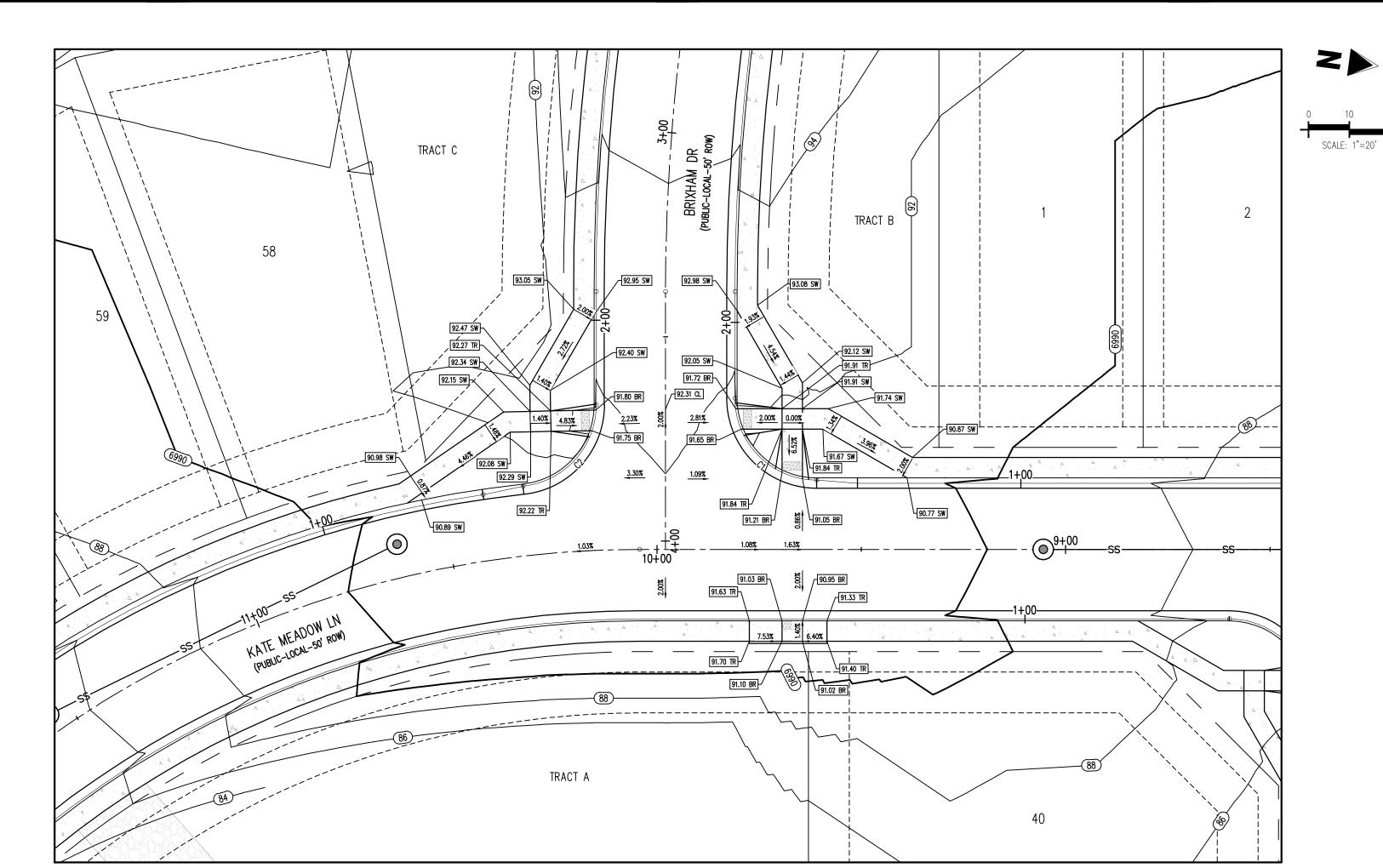
EASTONVILLE RD & REX RD EL PASO COUNTY, FALCON,

Date Issue / Description

HRG02 JDM, BLB CMWJ 03/15/2024

SITE DETAILS

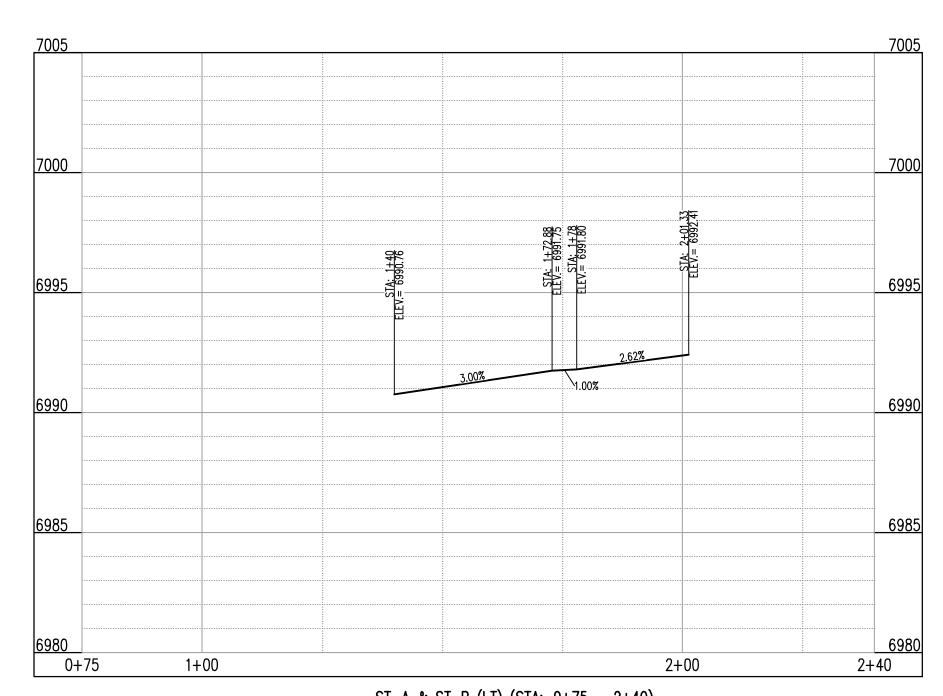
Sheet 21 of 33



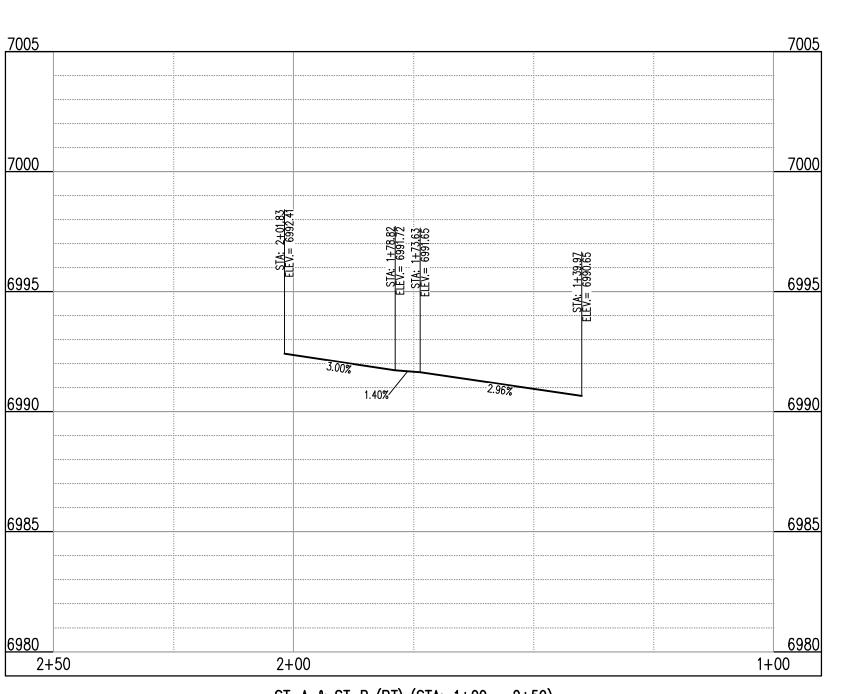
BRIXHAM DR (A) & KATE MEADOW LN (B) - PUBLIC 50' R.O.W. 25 MPH DESIGN SPEED (LOCAL)

SCALE: 1"=20'

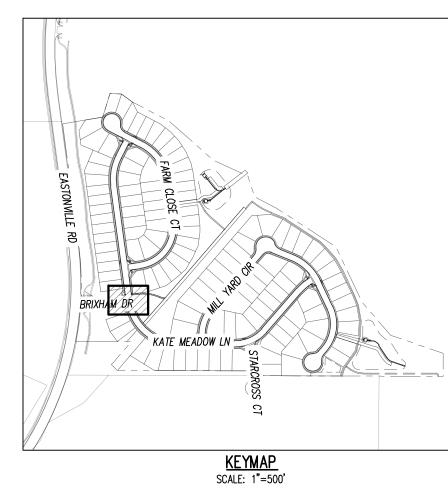
FLOW LINE CURVE SEGMENT TABLE						
RVE TAG #	DELTA	LENGTH (FT)	RADIUS (FT)	CHORD BEARING	CHORD LENGTH (FT)	
C1	90'00'00"	31.42	20.00	S37"19'41"W	28.28	
C2	83°52'07"	29.28	20.00	N55'44'14"W	26.73	



ST-A & ST-B (LT) (STA: 0+75 - 2+40) SCALES: HORIZONTAL 1"=20', VERTICAL 1"=4'



ST-A & ST-B (RT) (STA: 1+00 - 2+50) SCALES: HORIZONTAL 1"=20', VERTICAL 1"=4'



DETAIL GRADING LEGEND	
	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	RIGHT OF WAY BOUNDARY LINE
	PROPOSED LOT LINE
	PROPOSED EASEMENT LINE
	ROAD CENTERLINE
$\longrightarrow \cdots \longrightarrow \cdots \longrightarrow \cdots \longrightarrow \cdots$	PROPOSED SWALE FLOWLINE
	PROPOSED CURB AND GUTTER
4	PROPOSED SIDEWALK
5465	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
2.00%	PROPOSED SLOPE - PERCENT
4:1	PROPOSED SLOPE - RISE/RUN
89.00 HP	PROPOSED SPOT ELEVATION - HIGH POINT
89.00 LP	PROPOSED SPOT ELEVATION - LOW POINT
89.00 TR	PROPOSED SPOT ELEVATION - TOP OF RAMP
89.00 BR	PROPOSED SPOT ELEVATION - BOTTOM OF RAMP
89.00 BR	PROPOSED SPOT ELEVATION - BOTTOM OF RAMP
89.00 FL	PROPOSED SPOT ELEVATION - FLOW LINE
89.00 CL	PROPOSED SPOT ELEVATION - ROADWAY CENTER LIN
89.00 TBC	PROPOSED SPOT ELEVATION — TOP BACK OF CURB
89.00 LIP	PROPOSED SPOT ELEVATION - LIP OF GUTTER
89.00 FG	PROPOSED SPOT ELEVATION - FINISHED GRADE
89.00 SW	PROPOSED SPOT ELEVATION - SIDEWALK
89.00 EOC	PROPOSED SPOT ELEVATION - EDGE OF CONCRETE
89.00 EOA	PROPOSED SPOT ELEVATION — EDGE OF ASPHALT

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION BETWEEN STORM SEWER AND POTABLE WATER OR WASTEWATER. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWNGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

BASIS OF BEARING

THE NORTH LINE OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, STATE OF COLORADO BEING MONUMENTED AT EACH END BY A 3-1/4" ALUMINUM SURVEYORS CAP STAMPED "PSINC LS 30087" AND ASSUMED TO BEAR S89'47'04"E, A DISTANCE OF 5285.07 FEET.

BENCHMARK

NGS BENCHMARK F 24 A STANDARD DISK, STAMPED F 24 1929 AND SET IN THE TOP OF A CONCRETE POST PROJECTING ABOUT 6 INCHES ABOVE GROUND. ALONG THE CHICAGO, ROCK ISLAND AND PACIFIC RAILROAD, 52 FEET NORTHWEST OF THE CENTERLINE OF U.S. HIGHWAY 24, 48 FEET SOUTHEAST OF THE CENTERLINE OF THE TRACK. NAVD88 ELEVATION = 6866.33

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below. ENGINEER PRIOR TO CONSTRUCTION.

 \mathbb{C} a \mathbb{H} before you dig.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719.900.7220 GallowayUS.com

COPYRIGHT THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

D·R·HORTON

America's Builder

လ ပာ

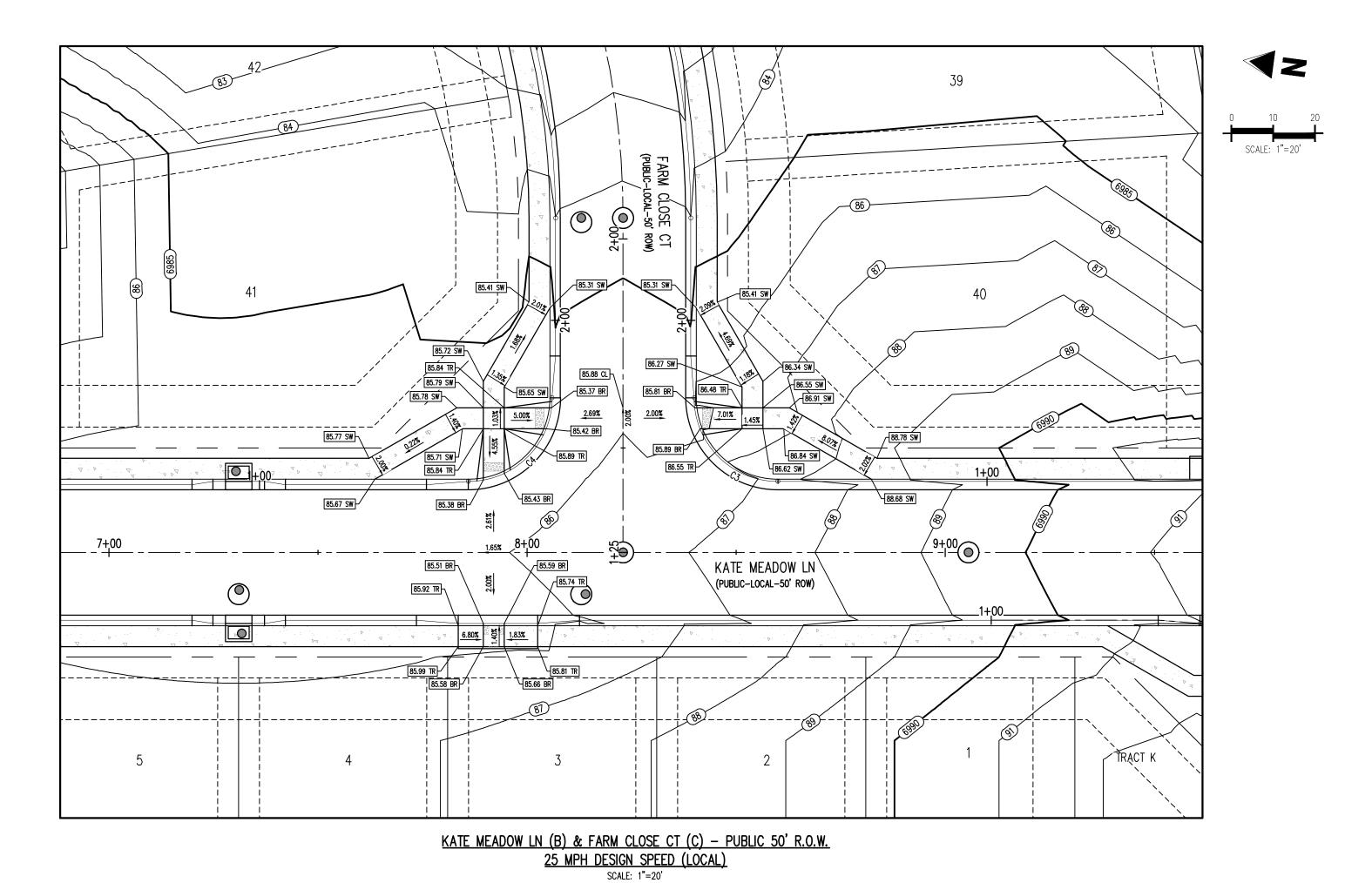
CONSTRUCTION DOCUMENTS GRANDVIEW RESERVE FILING MELODY HOMES, INC. SF2311

Date Issue / Description

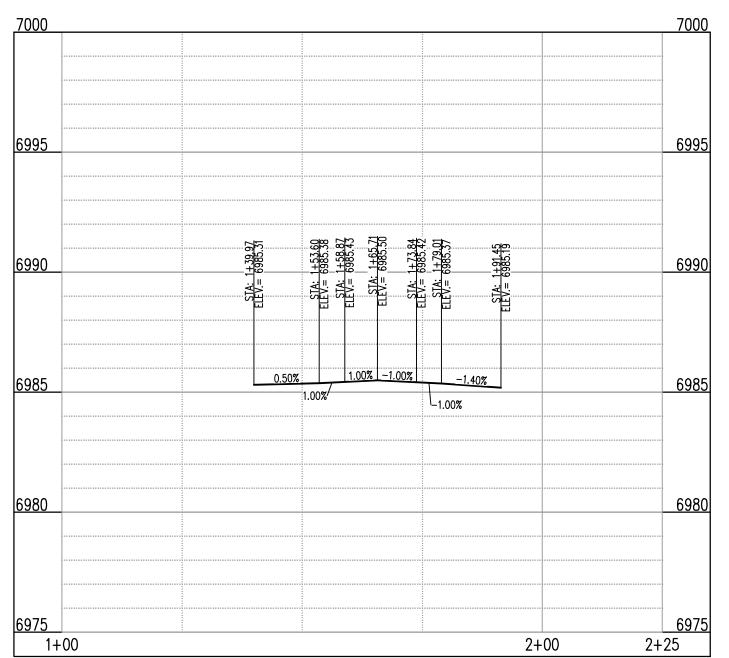
JDM, BLB 03/15/2024

INTERSECTION DETAIL

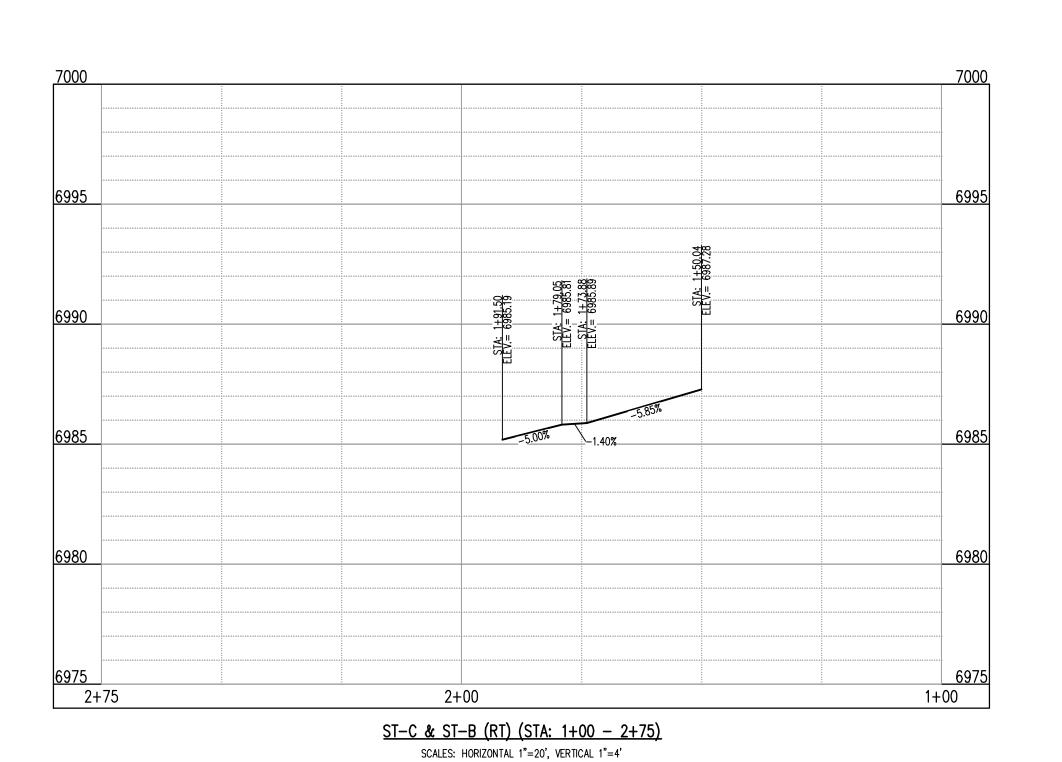
Sheet 22 of 33



FLOW LINE CURVE SEGMENT TABLE					
VE TAG #	DELTA	LENGTH (FT)	RADIUS (FT)	CHORD BEARING	CHORD LENGTH (FT)
C3	9000'00"	31.42	20.00	N3719'42"E	28.28
C4	9000000	31.42	20.00	S52°40'18"E	28.28



ST-C & ST-B (LT) (STA: 1+00 - 2+25) SCALES: HORIZONTAL 1"=20', VERTICAL 1"=4'



KEYMAP SCALE: 1"=500'

DETAIL GRADING LEGEND PROPERTY BOUNDARY LINE ----- ADJACENT PROPERTY BOUNDARY LINE — — RIGHT OF WAY BOUNDARY LINE PROPOSED LOT LINE ---- PROPOSED EASEMENT LINE ------ ROAD CENTERLINE ····->···->···--- PROPOSED SWALE FLOWLINE PROPOSED CURB AND GUTTER PROPOSED SIDEWALK PROPOSED MAJOR CONTOUR --- PROPOSED MINOR CONTOUR PROPOSED SLOPE - PERCENT PROPOSED SLOPE - RISE/RUN 89.00 HP PROPOSED SPOT ELEVATION - HIGH POINT 89.00 LP PROPOSED SPOT ELEVATION - LOW POINT 89.00 TR PROPOSED SPOT ELEVATION - TOP OF RAMP 89.00 BR PROPOSED SPOT ELEVATION - BOTTOM OF RAMP 89.00 BR PROPOSED SPOT ELEVATION - BOTTOM OF RAMP 89.00 FL PROPOSED SPOT ELEVATION - FLOW LINE 89.00 CL PROPOSED SPOT ELEVATION - ROADWAY CENTER LINE 89.00 TBC PROPOSED SPOT ELEVATION - TOP BACK OF CURB 89.00 LIP PROPOSED SPOT ELEVATION — LIP OF GUTTER 89.00 FG PROPOSED SPOT ELEVATION — FINISHED GRADE 89.00 SW PROPOSED SPOT ELEVATION — SIDEWALK PROPOSED SPOT ELEVATION — EDGE OF CONCRETE

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT

PROPOSED SPOT ELEVATION — EDGE OF ASPHALT

CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION BETWEEN STORM SEWER AND POTABLE WATER OR WASTEWATER. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION

BASIS OF BEARING

THE NORTH LINE OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, STATE OF COLORADO BEING MONUMENTED AT EACH END BY A 3-4" ALUMINUM SURVEYORS CAP STAMPED "PSINC LS 30087" AND ASSUMED TO BEAR S89°47'04"E, A DISTANCE OF 5285.07 FEET.

BENCHMARK

NGS BENCHMARK F 24 A STANDARD DISK, STAMPED F 24 1929 AND SET IN THE TOP OF A CONCRETE POST PROJECTING ABOUT 6 INCHES ABOVE GROUND. ALONG THE CHICAGO, ROCK ISLAND AND PACIFIC RAILROAD, 52 FEET NORTHWEST OF THE CENTERLINE OF U.S. HIGHWAY 24, 48 FEET SOUTHEAST OF THE CENTERLINE OF THE TRACK. NAVD88 ELEVATION = 6866.33

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below. ENGINEER PRIOR TO CONSTRUCTION.

Call before you dig.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719.900.7220 GallowayUS.com

COPYRIGHT THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.



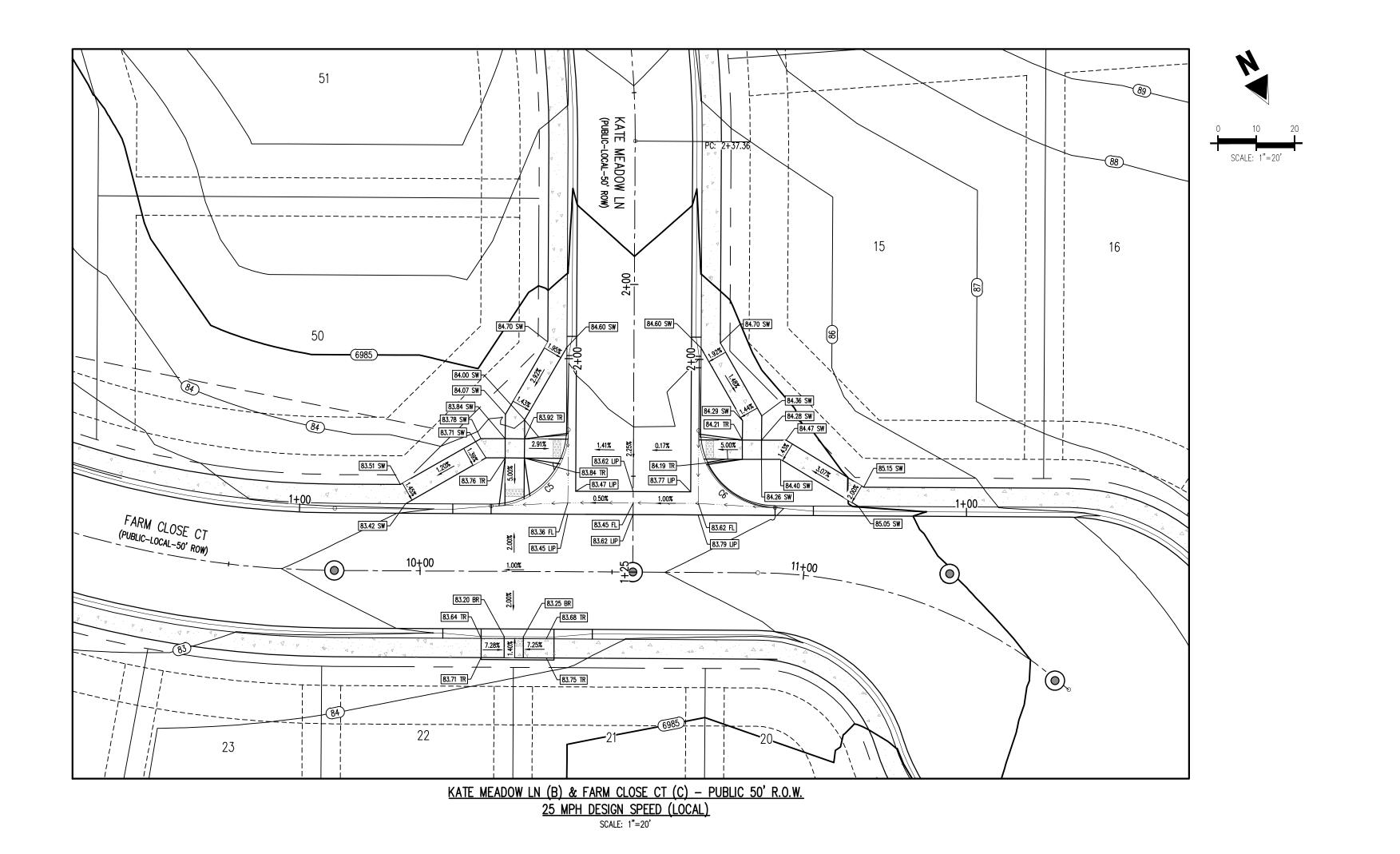
S S S

Date Issue / Description

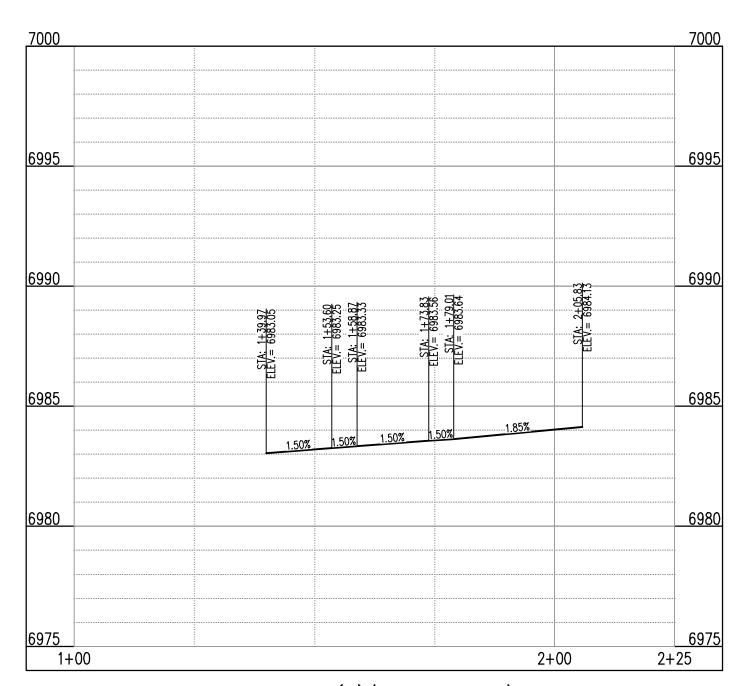
Project No: JDM, BLB 03/15/2024

INTERSECTION DETAIL

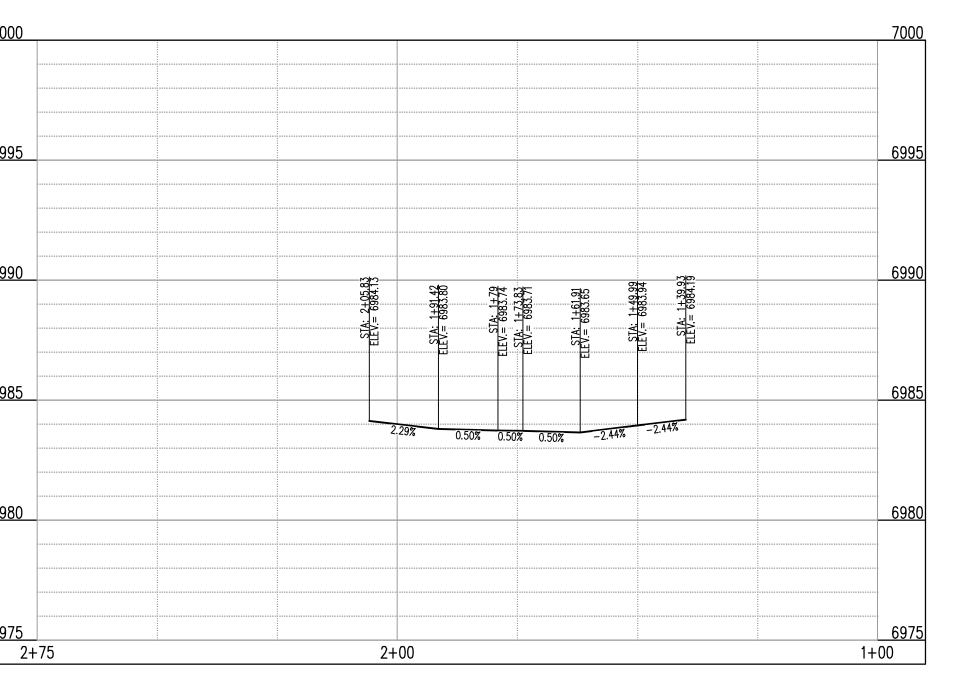
Sheet 23 of 33



FLOW LINE CURVE SEGMENT TABLE					
EVE TAG #	DELTA	DELTA LENGTH (FT) RADIUS (FT) CHORD BEARING CHORD LENGTH		CHORD LENGTH (FT)	
C5	9000'00"	31.42	20.00	S72°24'40"W	28.28
C6	90'02'02"	31.43	20.00	S17'36'21"E	28.29

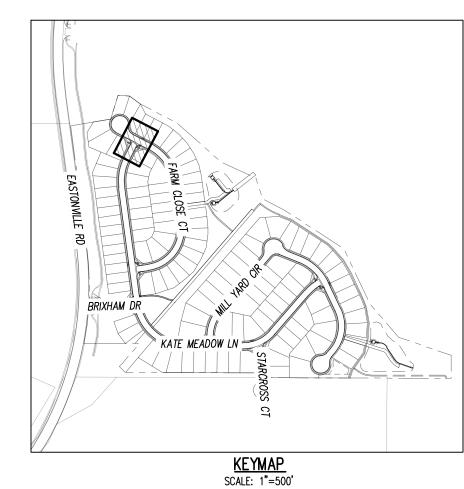


ST-B & ST-C (LT) (STA: 1+00 - 2+25) SCALES: HORIZONTAL 1"=20', VERTICAL 1"=4'



ST-B & ST-C (RT) (STA: 1+00 - 2+75)

SCALES: HORIZONTAL 1"=20', VERTICAL 1"=4'



DETAIL GRADING LEGEND PROPERTY BOUNDARY LINE ADJACENT PROPERTY BOUNDARY LINE — — RIGHT OF WAY BOUNDARY LINE — PROPOSED LOT LINE ----- PROPOSED EASEMENT LINE ----- ROAD CENTERLINE →···→···→··· PROPOSED SWALE FLOWLINE PROPOSED CURB AND GUTTER PROPOSED SIDEWALK ---- PROPOSED MINOR CONTOUR PROPOSED SLOPE - PERCENT PROPOSED SLOPE - RISE/RUN 89.00 HP PROPOSED SPOT ELEVATION - HIGH POINT 89.00 LP PROPOSED SPOT ELEVATION - LOW POINT 89.00 TR PROPOSED SPOT ELEVATION - TOP OF RAMP 89.00 BR PROPOSED SPOT ELEVATION - BOTTOM OF RAMP 89.00 BR PROPOSED SPOT ELEVATION - BOTTOM OF RAMP 89.00 FL PROPOSED SPOT ELEVATION - FLOW LINE 89.00 CL PROPOSED SPOT ELEVATION - ROADWAY CENTER LINE 89.00 TBC PROPOSED SPOT ELEVATION - TOP BACK OF CURB 89.00 LIP PROPOSED SPOT ELEVATION — LIP OF GUTTER 89.00 FG PROPOSED SPOT ELEVATION - FINISHED GRADE 89.00 SW PROPOSED SPOT ELEVATION - SIDEWALK PROPOSED SPOT ELEVATION — EDGE OF CONCRETE

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

PROPOSED SPOT ELEVATION — EDGE OF ASPHALT

CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION BETWEEN STORM SEWER AND POTABLE WATER OR WASTEWATER. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION

BASIS OF BEARING

THE NORTH LINE OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, STATE OF COLORADO BEING MONUMENTED AT EACH END BY A 3-1/4" ALUMINUM SURVEYORS CAP STAMPED "PSINC LS 30087" AND ASSUMED TO BEAR S89'47'04"E, A DISTANCE OF 5285.07 FEET.

BENCHMARK

NGS BENCHMARK F 24 A STANDARD DISK, STAMPED F 24 1929 AND SET IN THE TOP OF A CONCRETE POST PROJECTING ABOUT 6 INCHES ABOVE GROUND. ALONG THE CHICAGO, ROCK ISLAND AND PACIFIC RAILROAD, 52 FEET NORTHWEST OF THE CENTERLINE OF U.S. HIGHWAY 24, 48 FEET SOUTHEAST OF THE CENTERLINE OF THE TRACK. NAVD88 ELEVATION = 6866.33

CAUTION - NOTICE TO CONTRACTOR

THE ENGINEER PRIOR TO CONSTRUCTION.

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below.

ENGINEER PRIOR TO CONSTRUCTION. Call before you dig. 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO

1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920

719.900.7220 GallowayUS.com

COPYRIGHT

THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY.

D·R·HORTON

America's Builder

COPYRIGHTS AND INFRINGEMENTS WILL BE

ENFORCED AND PROSECUTED.

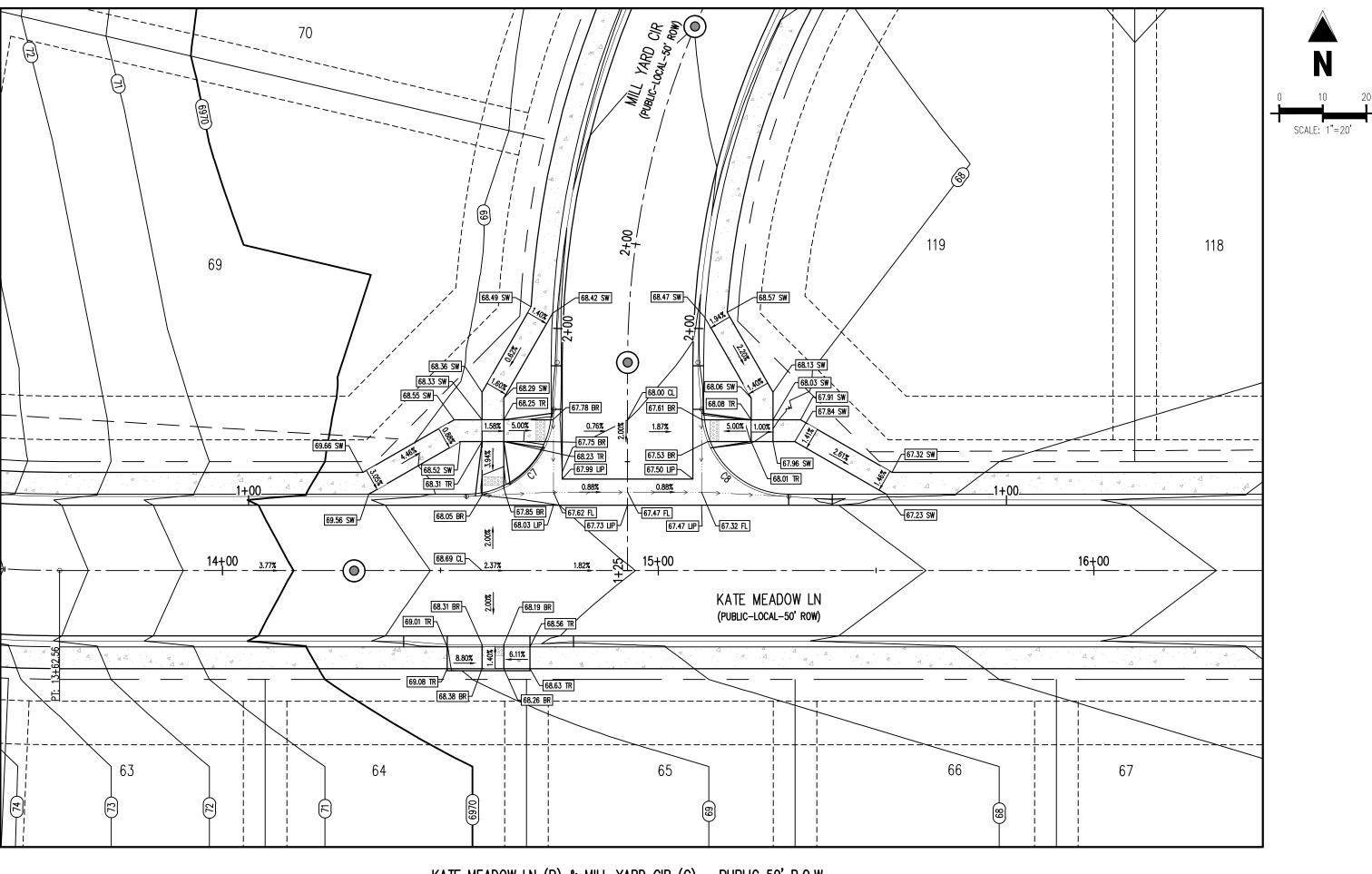
Sheet 24 of 33

လ ပာ

Date Issue / Description

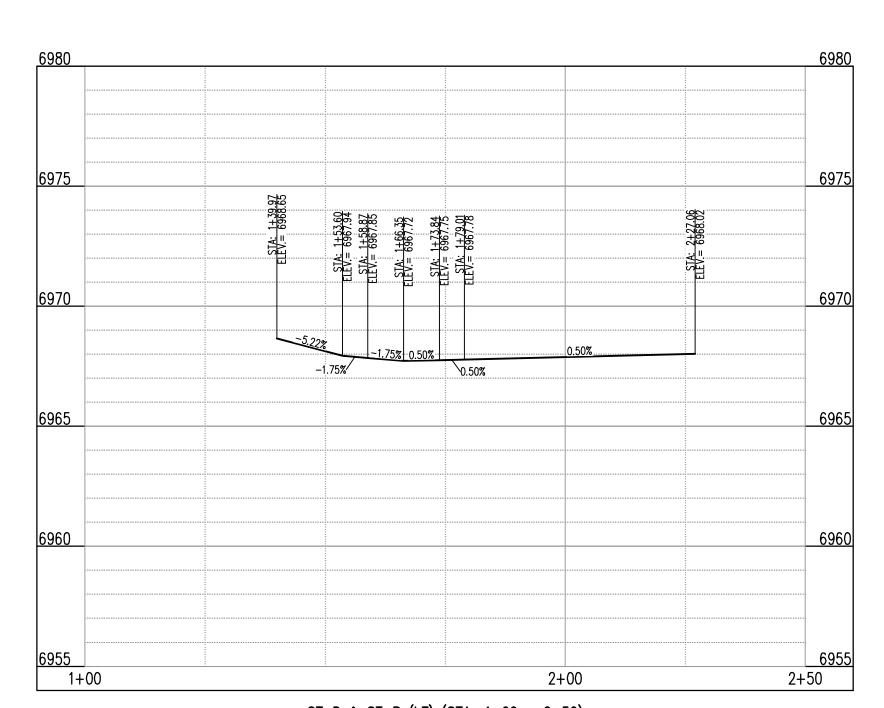
Project No: JDM, BLB CMWJ 03/15/2024

INTERSECTION DETAIL

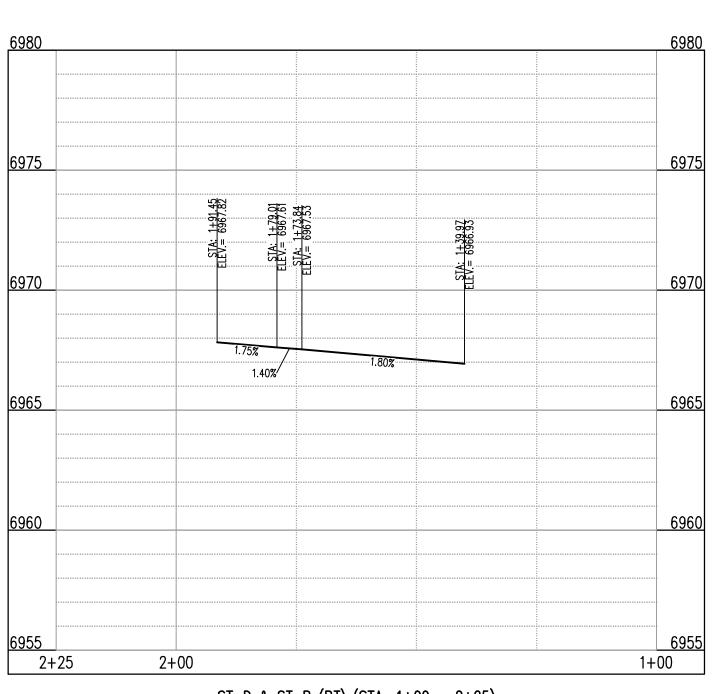


KATE MEADOW LN (B) & MILL YARD CIR (C) - PUBLIC 50' R.O.W. 25 MPH DESIGN SPEED (LOCAL)

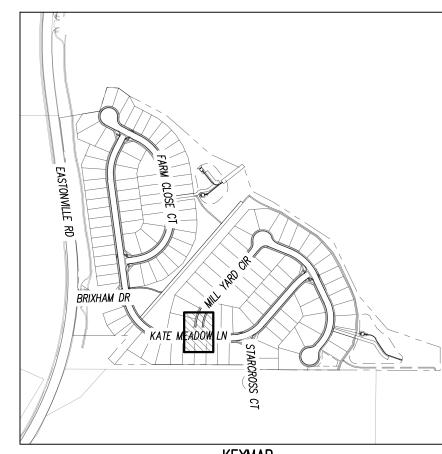
FLOW LINE CURVE SEGMENT TABLE					
JRVE TAG #	VE TAG # DELTA LENGTH (FT) RADIUS (FT) CHORD BEARING CHORD LENGTH (CHORD LENGTH (FT)		
C7	9000'00"	31.42	20.00	N45"2'52"E	28.28
C8	90'00'00"	31.42	20.00	N44°47'08"W	28.28



ST-D & ST-B (LT) (STA: 1+00 - 2+50) SCALES: HORIZONTAL 1"=20', VERTICAL 1"=4'



ST-D & ST-B (RT) (STA: 1+00 - 2+25) SCALES: HORIZONTAL 1"=20', VERTICAL 1"=4'



KEYMAP SCALE: 1"=500'

DETAIL GRADING LEGEND	
	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	RIGHT OF WAY BOUNDARY LINE
	PROPOSED LOT LINE
	PROPOSED EASEMENT LINE
	ROAD CENTERLINE
	PROPOSED SWALE FLOWLINE
	PROPOSED CURB AND GUTTER
44	PROPOSED SIDEWALK
5465	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
2.00%	PROPOSED SLOPE - PERCENT
	PROPOSED SLOPE - RISE/RUN
89.00 HP	PROPOSED SPOT ELEVATION - HIGH POINT
89.00 LP	PROPOSED SPOT ELEVATION - LOW POINT
89.00 TR	PROPOSED SPOT ELEVATION - TOP OF RAMP
89.00 BR	PROPOSED SPOT ELEVATION - BOTTOM OF RAMP
89.00 BR	PROPOSED SPOT ELEVATION - BOTTOM OF RAMP
89.00 FL	PROPOSED SPOT ELEVATION - FLOW LINE
89.00 CL	PROPOSED SPOT ELEVATION - ROADWAY CENTER LINE
89.00 TBC	PROPOSED SPOT ELEVATION - TOP BACK OF CURB
89.00 LIP	PROPOSED SPOT ELEVATION — LIP OF GUTTER
89.00 FG	PROPOSED SPOT ELEVATION - FINISHED GRADE
89.00 SW	PROPOSED SPOT ELEVATION - SIDEWALK
89.00 EOC	PROPOSED SPOT ELEVATION - EDGE OF CONCRETE

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

PROPOSED SPOT ELEVATION — EDGE OF ASPHALT

CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION BETWEEN STORM SEWER AND POTABLE WATER OR WASTEWATER. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWNGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION

BASIS OF BEARING

THE NORTH LINE OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, STATE OF COLORADO BEING MONUMENTED AT EACH END BY A 3-1/4" ALUMINUM SURVEYORS CAP STAMPED "PSINC LS 30087" AND ASSUMED TO BEAR S89'47'04"E, A DISTANCE OF 5285.07 FEET.

BENCHMARK

NGS BENCHMARK F 24 A STANDARD DISK, STAMPED F 24 1929 AND SET IN THE TOP OF A CONCRETE POST PROJECTING ABOUT 6 INCHES ABOVE GROUND. ALONG THE CHICAGO, ROCK ISLAND AND PACIFIC RAILROAD, 52 FEET NORTHWEST OF THE CENTERLINE OF U.S. HIGHWAY 24, 48 FEET SOUTHEAST OF THE CENTERLINE OF THE TRACK. NAVD88 ELEVATION = 6866.33

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below. ENGINEER PRIOR TO CONSTRUCTION.

 \mathbb{C} a \mathbb{H} before you dig.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719.900.7220 GallowayUS.com

COPYRIGHT THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

D·R·HORTON

America's Builder

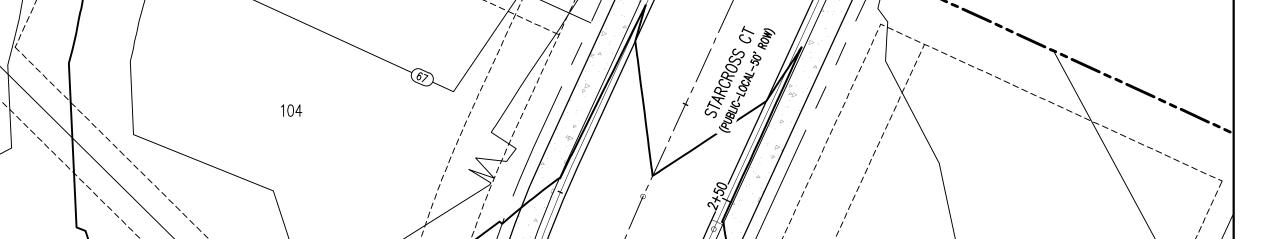
လွှ

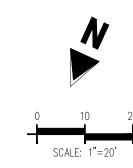
CONSTRUCTION DOCUMENTS GRANDVIEW RESERVE FILING MELODY HOMES, INC. SF2311

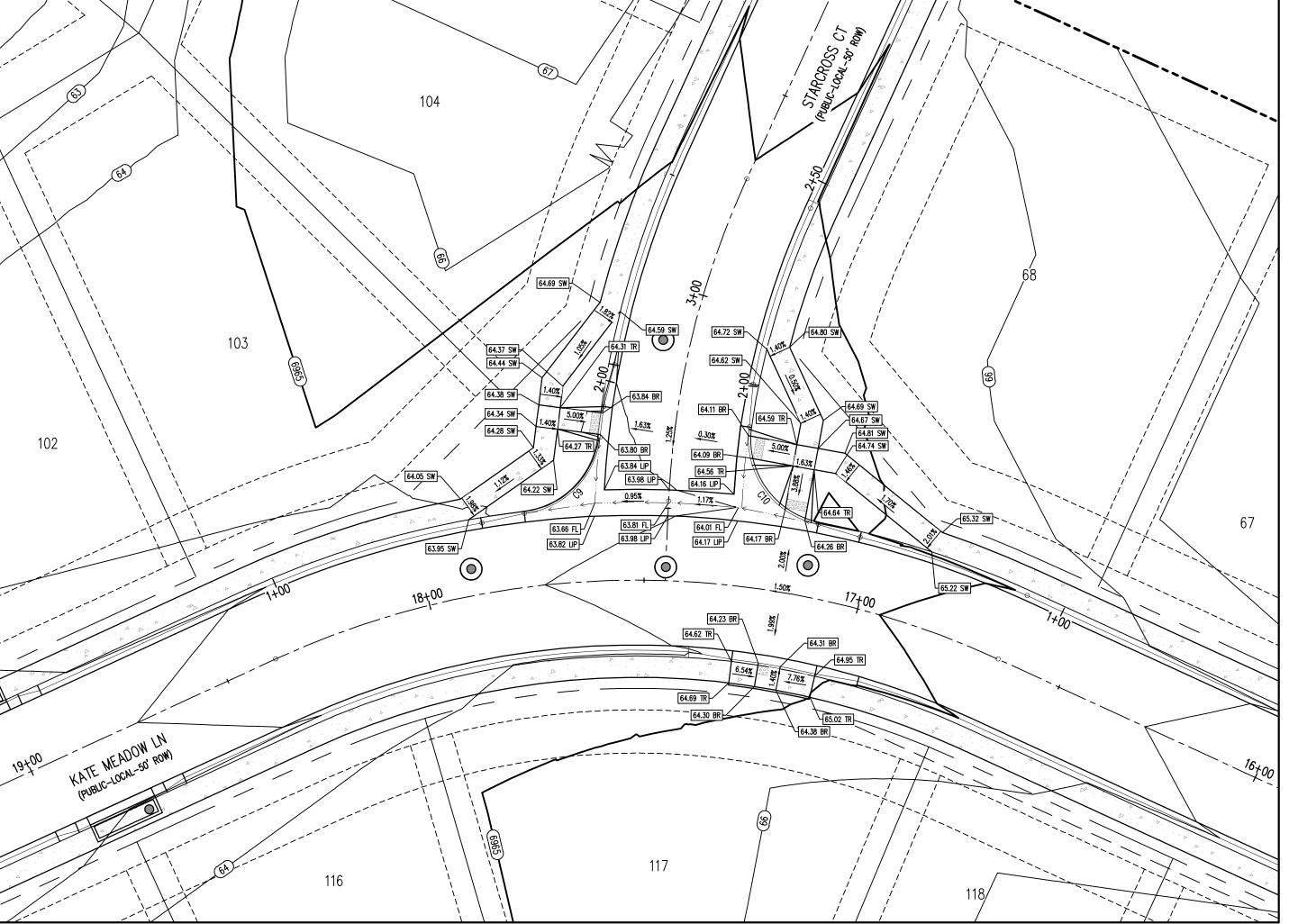
Date Issue / Description

Project No:	HRG02
Drawn By:	JDM, BLB
Checked By:	CMWJ
Date:	03/15/2024

INTERSECTION DETAIL





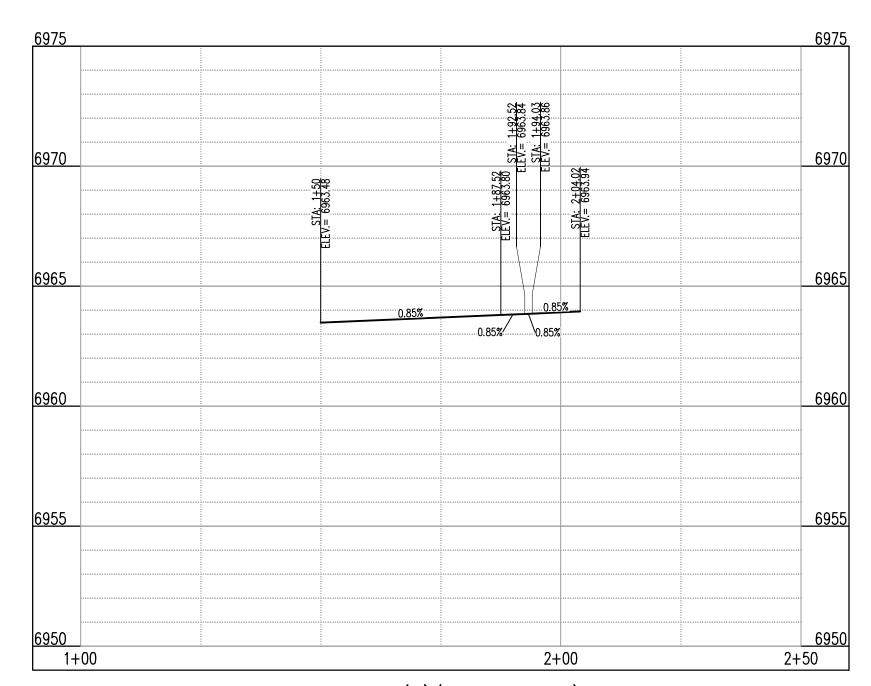


KATE MEADOW LN (B) & STARCROSS CT (C) — PUBLIC 50' R.O.W.

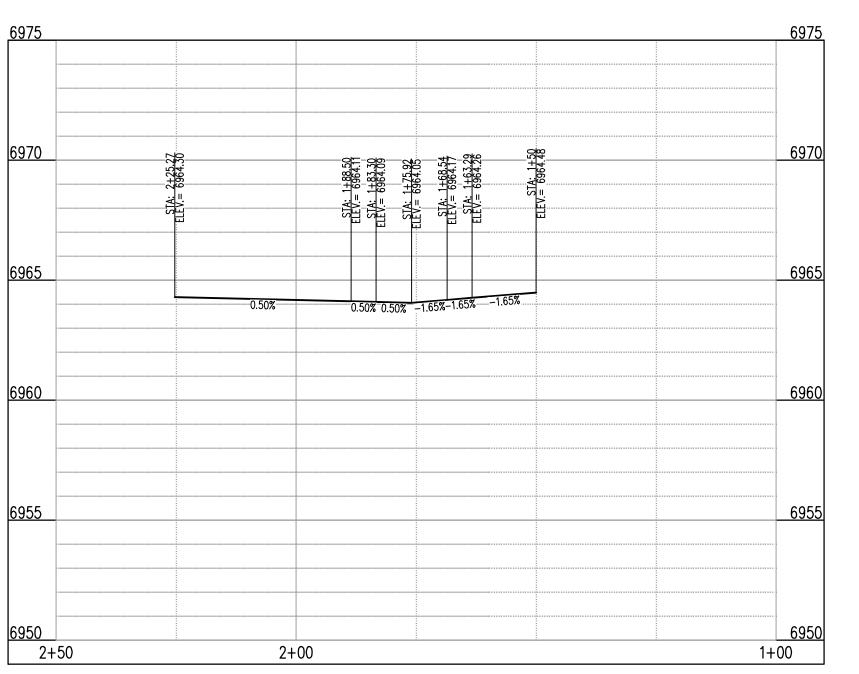
25 MPH DESIGN SPEED (LOCAL)

SCALE: 1"=20'

FLOW LINE CURVE SEGMENT TABLE					
CURVE TAG #	DELTA	LENGTH (FT)	RADIUS (FT)	CHORD BEARING	CHORD LENGTH (FT)
C9	76°48'26"	26.81	20.00	S2014'33"W	24.85
C10	87'03'40"	30.39	20.00	S59°47'24"E	27.55

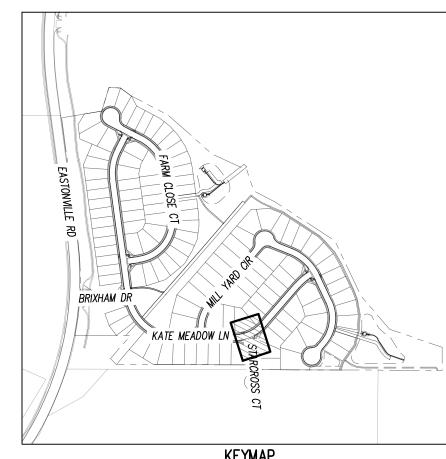


ST-E & ST-B (LT) (STA: 1+00 - 2+50) SCALES: HORIZONTAL 1"=20', VERTICAL 1"=4'



ST-E & ST-B (RT) (STA: 1+00 - 2+50)

SCALES: HORIZONTAL 1"=20', VERTICAL 1"=4'



KEYMAP SCALE: 1"=500'

DETAIL GRADING LEGEND	
	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	RIGHT OF WAY BOUNDARY LINE
	PROPOSED LOT LINE
	PROPOSED EASEMENT LINE
	ROAD CENTERLINE
	PROPOSED SWALE FLOWLINE
	PROPOSED CURB AND GUTTER
4	PROPOSED SIDEWALK
5465	PROPOSED MAJOR CONTOUR
66	PROPOSED MINOR CONTOUR
2.00%	PROPOSED SLOPE - PERCENT
	PROPOSED SLOPE - RISE/RUN
89.00 HP	PROPOSED SPOT ELEVATION - HIGH POINT
89.00 LP	PROPOSED SPOT ELEVATION - LOW POINT
89.00 TR	PROPOSED SPOT ELEVATION - TOP OF RAMP
89.00 BR	PROPOSED SPOT ELEVATION - BOTTOM OF RAMP
89.00 BR	PROPOSED SPOT ELEVATION - BOTTOM OF RAMP
89.00 FL	PROPOSED SPOT ELEVATION - FLOW LINE
89.00 CL	PROPOSED SPOT ELEVATION - ROADWAY CENTER LINE
89.00 TBC	PROPOSED SPOT ELEVATION - TOP BACK OF CURB
89.00 LIP	PROPOSED SPOT ELEVATION — LIP OF GUTTER
89.00 FG	PROPOSED SPOT ELEVATION - FINISHED GRADE
89.00 SW	PROPOSED SPOT ELEVATION - SIDEWALK
89.00 EOC	PROPOSED SPOT ELEVATION - EDGE OF CONCRETE
89.00 EOA	PROPOSED SPOT ELEVATION - EDGE OF ASPHALT

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION BETWEEN STORM SEWER AND POTABLE WATER OR WASTEWATER. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION
DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO
OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION

BASIS OF BEARING

THE NORTH LINE OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, STATE OF COLORADO BEING MONUMENTED AT EACH END BY A 3-1/4" ALUMINUM SURVEYORS CAP STAMPED "PSINC LS 30087" AND ASSUMED TO BEAR S89'47'04"E, A DISTANCE OF 5285.07 FEET.

BENCHMARK

A STANDARD DISK, STAMPED F 24 1929 AND SET IN THE TOP OF A CONCRETE POST PROJECTING ABOUT 6 INCHES ABOVE GROUND. ALONG THE CHICAGO, ROCK ISLAND AND PACIFIC RAILROAD, 52 FEET NORTHWEST OF THE CENTERLINE OF U.S. HIGHWAY 24, 48 FEET SOUTHEAST OF THE CENTERLINE OF THE TRACK. NAVD88 ELEVATION = 6866.33

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below. ENGINEER PRIOR TO CONSTRUCTION.

 \mathbb{C} a \mathbb{H} before you dig. 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S

RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719.900.7220

GallowayUS.com

COPYRIGHT

လ ပာ

CONSTRUCTION DOCUMENTS GRANDVIEW RESERVE FILING MELODY HOMES, INC. SF2311

Date Issue / Description

THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY.

D·R·HORTON

America's Builder

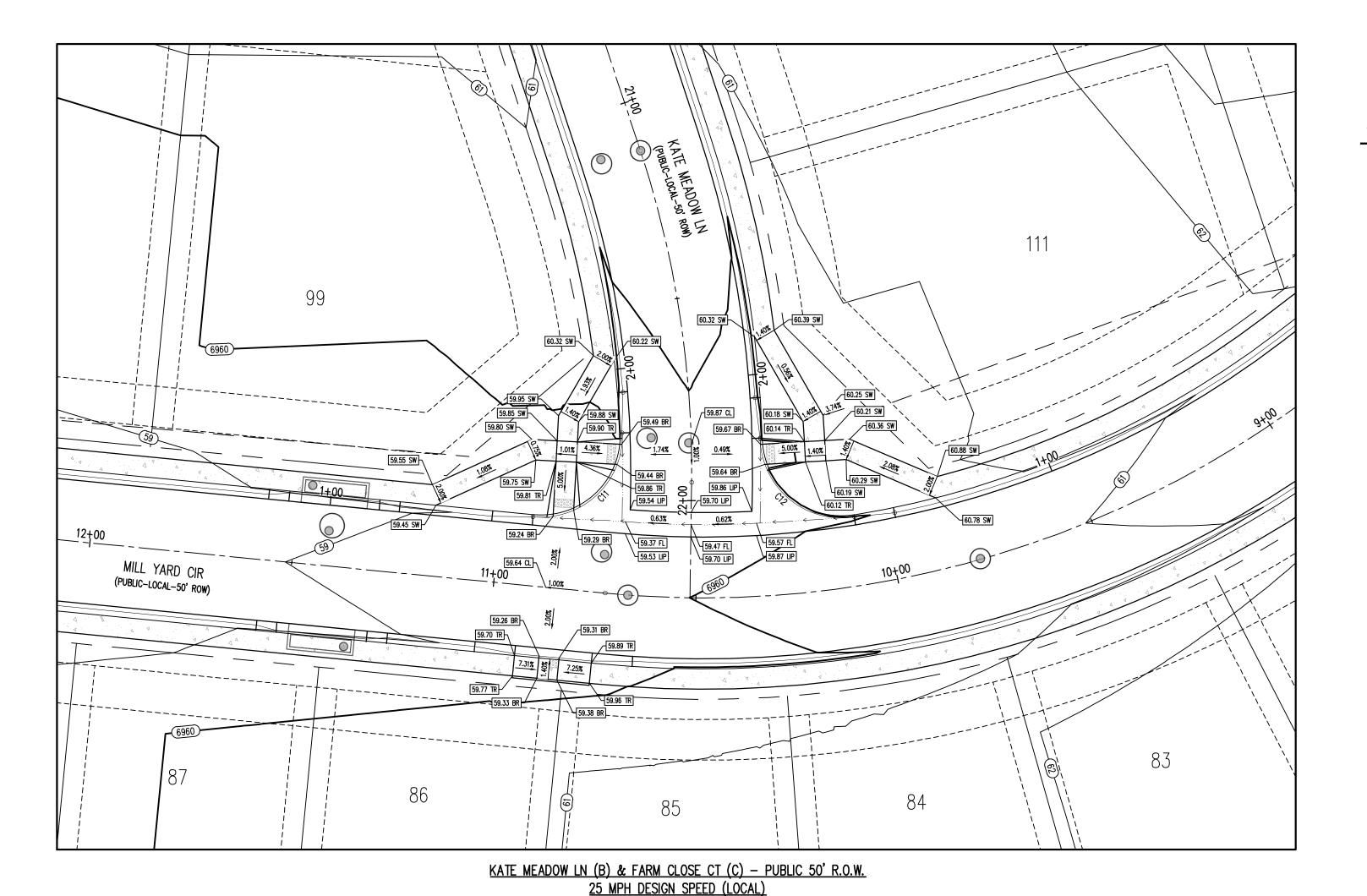
COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

Sheet 26 of 33

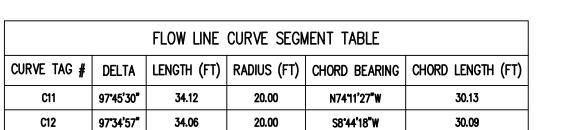
INTERSECTION DETAIL

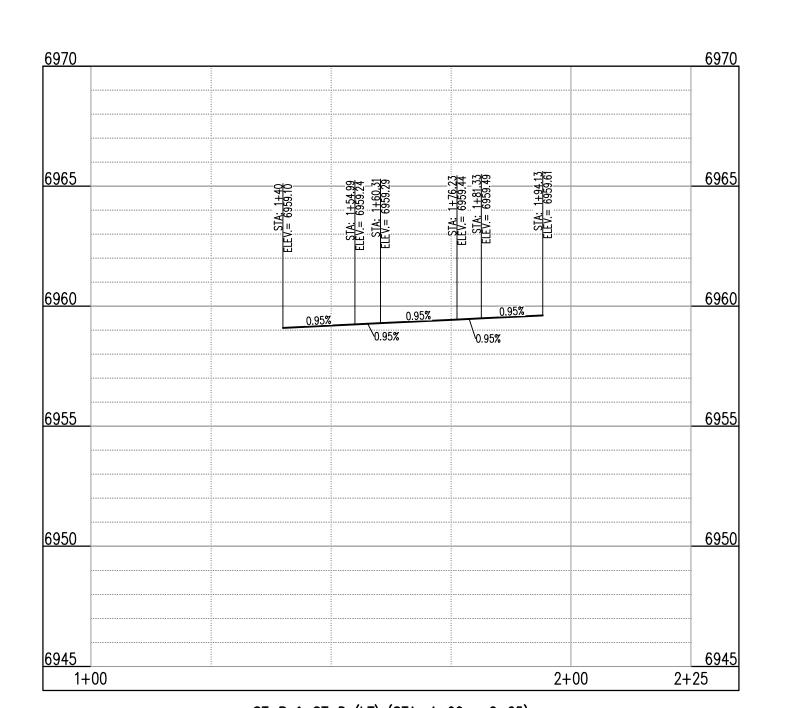
HRG02 JDM, BLB

03/15/2024

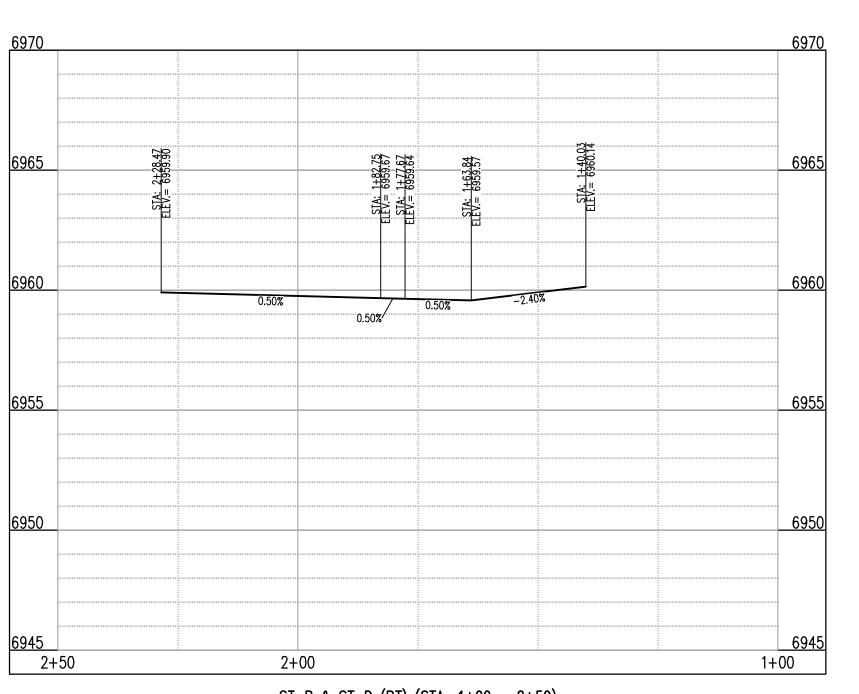


SCALE: 1"=20'

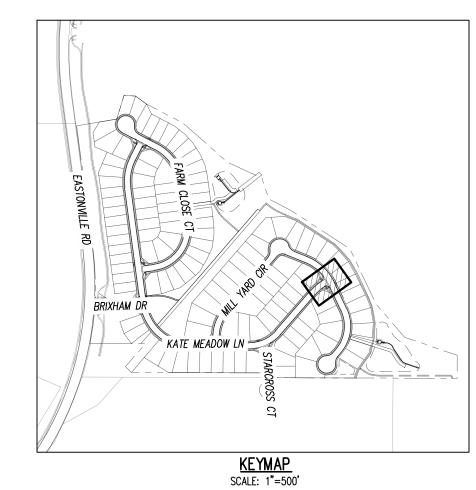




ST-B & ST-D (LT) (STA: 1+00 - 2+25) SCALES: HORIZONTAL 1"=20', VERTICAL 1"=4'



ST-B & ST-D (RT) (STA: 1+00 - 2+50) SCALES: HORIZONTAL 1"=20', VERTICAL 1"=4'



DETAIL GRADING LEGEND	
	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	RIGHT OF WAY BOUNDARY LINE
	PROPOSED LOT LINE
	PROPOSED EASEMENT LINE
	ROAD CENTERLINE
	PROPOSED SWALE FLOWLINE
	PROPOSED CURB AND GUTTER
4	PROPOSED SIDEWALK
5465	PROPOSED MAJOR CONTOUR
66	PROPOSED MINOR CONTOUR
2.00%	PROPOSED SLOPE - PERCENT
4:1 ►	PROPOSED SLOPE - RISE/RUN
89.00 HP	PROPOSED SPOT ELEVATION - HIGH POINT
89.00 LP	PROPOSED SPOT ELEVATION - LOW POINT
89.00 TR	PROPOSED SPOT ELEVATION - TOP OF RAMP
89.00 BR	PROPOSED SPOT ELEVATION - BOTTOM OF RAMP
89.00 BR	PROPOSED SPOT ELEVATION - BOTTOM OF RAMP
89.00 FL	PROPOSED SPOT ELEVATION - FLOW LINE
89.00 CL	PROPOSED SPOT ELEVATION - ROADWAY CENTER LINE
89.00 TBC	PROPOSED SPOT ELEVATION - TOP BACK OF CURB
89.00 LIP	PROPOSED SPOT ELEVATION - LIP OF GUTTER
89.00 FG	PROPOSED SPOT ELEVATION — FINISHED GRADE
89.00 SW	PROPOSED SPOT ELEVATION - SIDEWALK
89.00 EOC	PROPOSED SPOT ELEVATION - EDGE OF CONCRETE

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

89.00 EOA PROPOSED SPOT ELEVATION - EDGE OF ASPHALT

CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION BETWEEN STORM SEWER AND POTABLE WATER OR WASTEWATER. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION

BASIS OF BEARING

THE NORTH LINE OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, STATE OF COLORADO BEING MONUMENTED AT EACH END BY A 3-1/2" ALUMINUM SURVEYORS CAP STAMPED "PSINC LS 30087" AND ASSUMED TO BEAR S89°47'04"E, A DISTANCE OF 5285.07 FEET.

BENCHMARK

NGS BENCHMARK F 24 A STANDARD DISK, STAMPED F 24 1929 AND SET IN THE TOP OF A CONCRETE POST PROJECTING ABOUT 6 INCHES ABOVE GROUND. ALONG THE CHICAGO, ROCK ISLAND AND PACIFIC RAILROAD, 52 FEET NORTHWEST OF THE CENTERLINE OF U.S. HIGHWAY 24, 48 FEET SOUTHEAST OF THE CENTERLINE OF THE TRACK. NAVD88 ELEVATION = 6866.33

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below.

ENGINEER PRIOR TO CONSTRUCTION. \mathbb{C}_{\square} before you dig. 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719.900.7220 GallowayUS.com

COPYRIGHT THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

D·R·HORTON

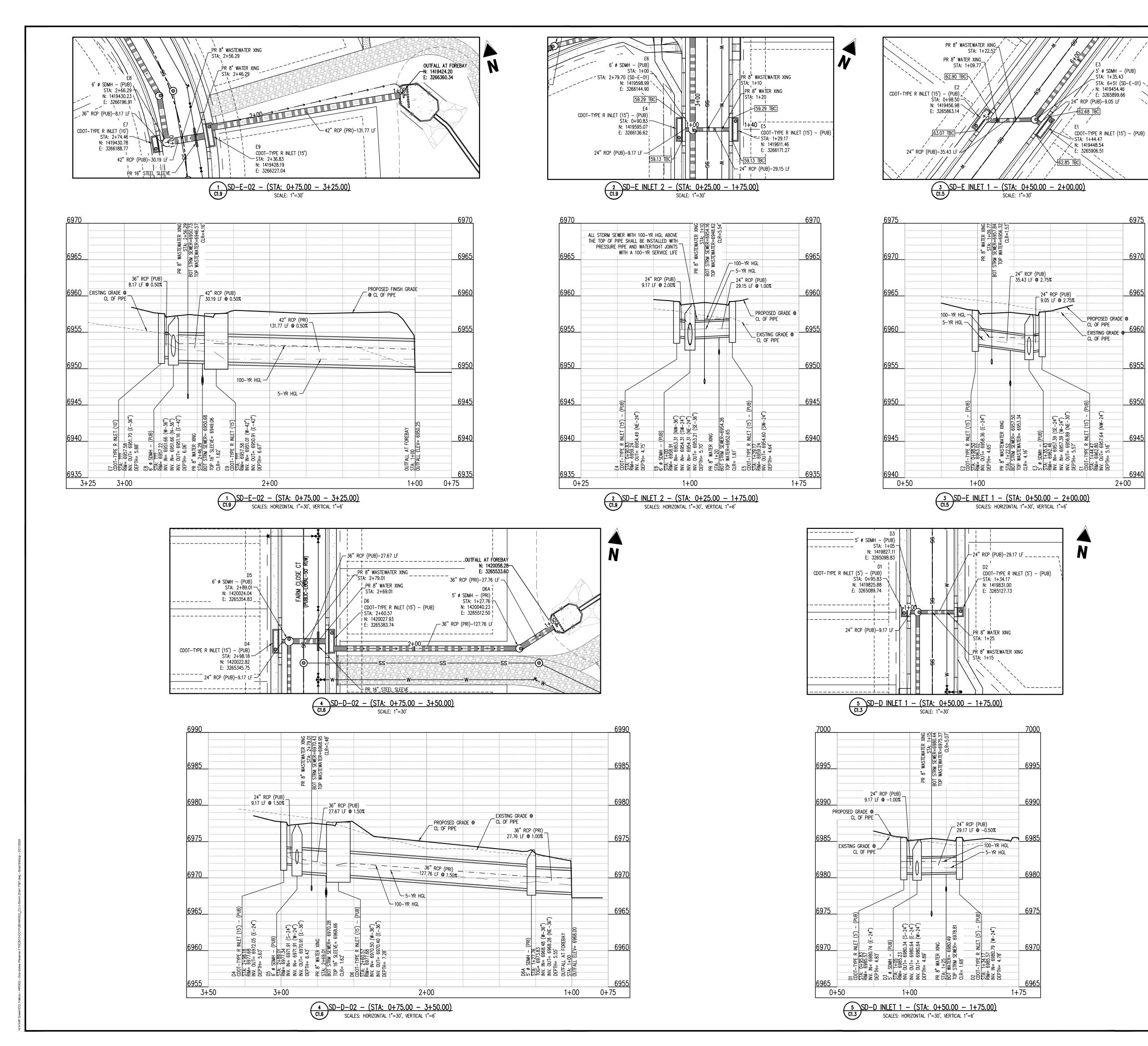
America's Builder

Date Issue / Description

Project No: HRG02 JDM, BLB CMWJ Checked By: 03/15/2024

INTERSECTION DETAIL

Sheet 27 of 33



Colorado Springs, CO 80920 719.900.7220 GallowayUS.com

COPYRIGHT THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED

WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

D·R·HORTON

America's Builder

S S S

EXISTING STORM SEWER (12"ø AND LARGER) PROPOSED STORM SEWER (12" AND LARGER)

PROPOSED CURB AND GUTTER

EXISTING CURB AND GUTTER

KEYMAP SCALE: 1"=500'

EXISTING ADJACENT LOT LINE

PROPOSED LOT LINE

PROPOSED SIGN EXISTING STREET LIGHT PROPOSED STREET LIGHT

PROPERTY BOUNDARY LINE

—— — — SECTION LINE

- - - - - - EXISTING EASEMENT LIN

---- PROPOSED EASEMENT LIN

------ ROAD CENTERLINE

N

PROPOSED WATER METER EXISTING WATER VALVE PROPOSED WATER VALVE

PROPOSED FIRE HYDRANT EXISTING STORM SEWER MANHOLE

PROPOSED STORM SEWER MANHOLE EXISTING SANITARY SEWER MANHOLE

PROPOSED SANITARY SEWER MANHOLE

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION BETWEEN STORM SEWER AND POTABLE WATER OR WASTEWATER. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION

BASIS OF BEARING

THE NORTH LINE OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, STATE OF COLORADO BEING MONUMENTED AT EACH END BY A 3-4" ALUMINUM SURVEYORS CAP STAMPED "PSINC LS 30087" AND ASSUMED TO BEAR S89'47'04"E, A DISTANCE OF 5285.07 FEET.

BENCHMARK

NGS BENCHMARK F 24 A STANDARD DISK, STAMPED F 24 1929 AND SET IN THE TOP OF A CONCRETE POST PROJECTING ABOUT 6 INCHES ABOVE GROUND. ALONG THE CHICAGO, ROCK ISLAND AND PACIFIC RAILROAD, 52 FEET NORTHWEST OF THE CENTERLINE OF U.S. HIGHWAY 24, 48 FEET SOUTHEAST OF THE CENTERLINE OF THE TRACK. NAVD88 ELEVATION = 6866.33

UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO

<u>CAUTION - NOTICE TO CONTRACTOR</u>

THE ENGINEER PRIOR TO CONSTRUCTION.

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below. ENGINEER PRIOR TO CONSTRUCTION.

Call before you dig.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING

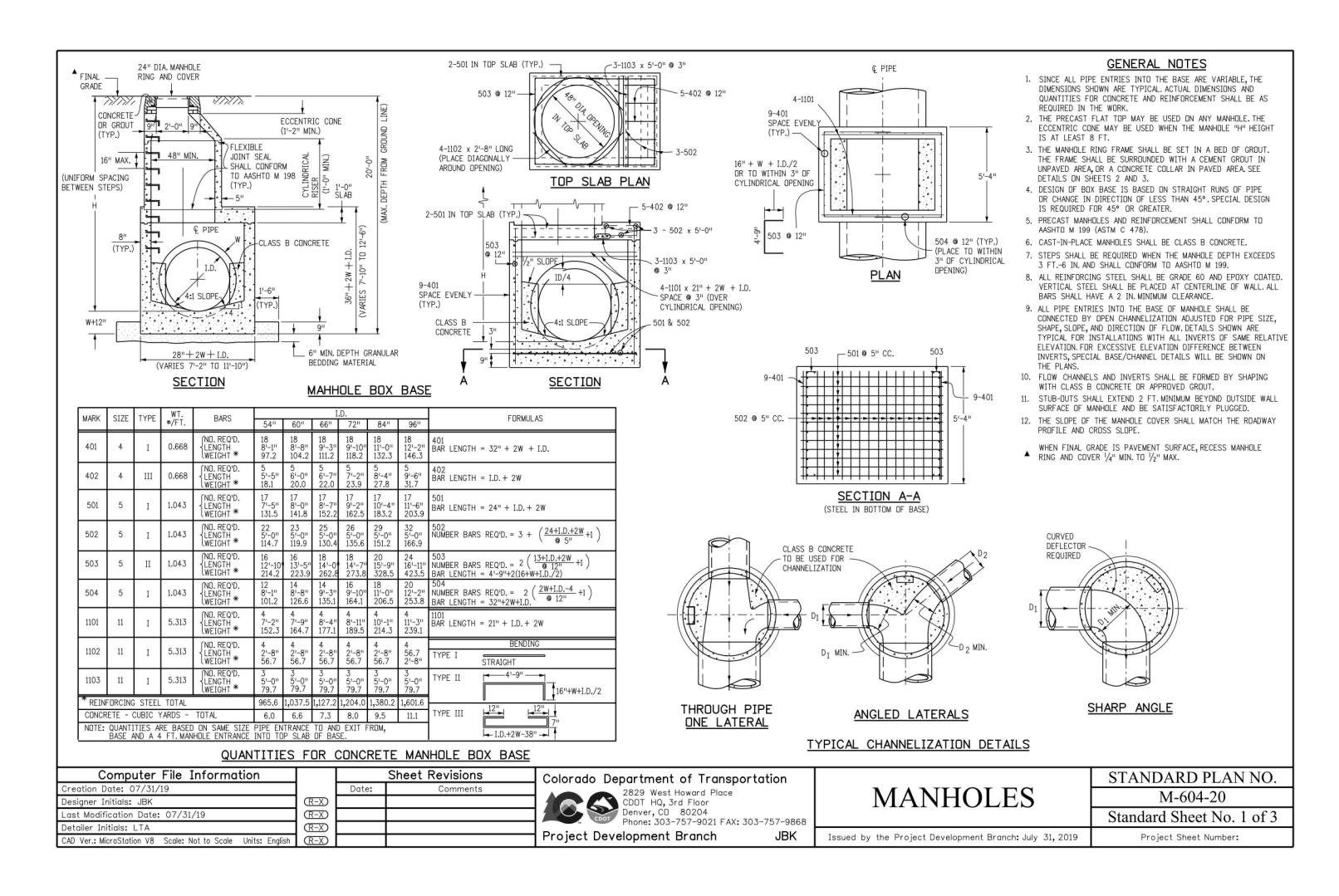
STORM DRAIN PLAN &

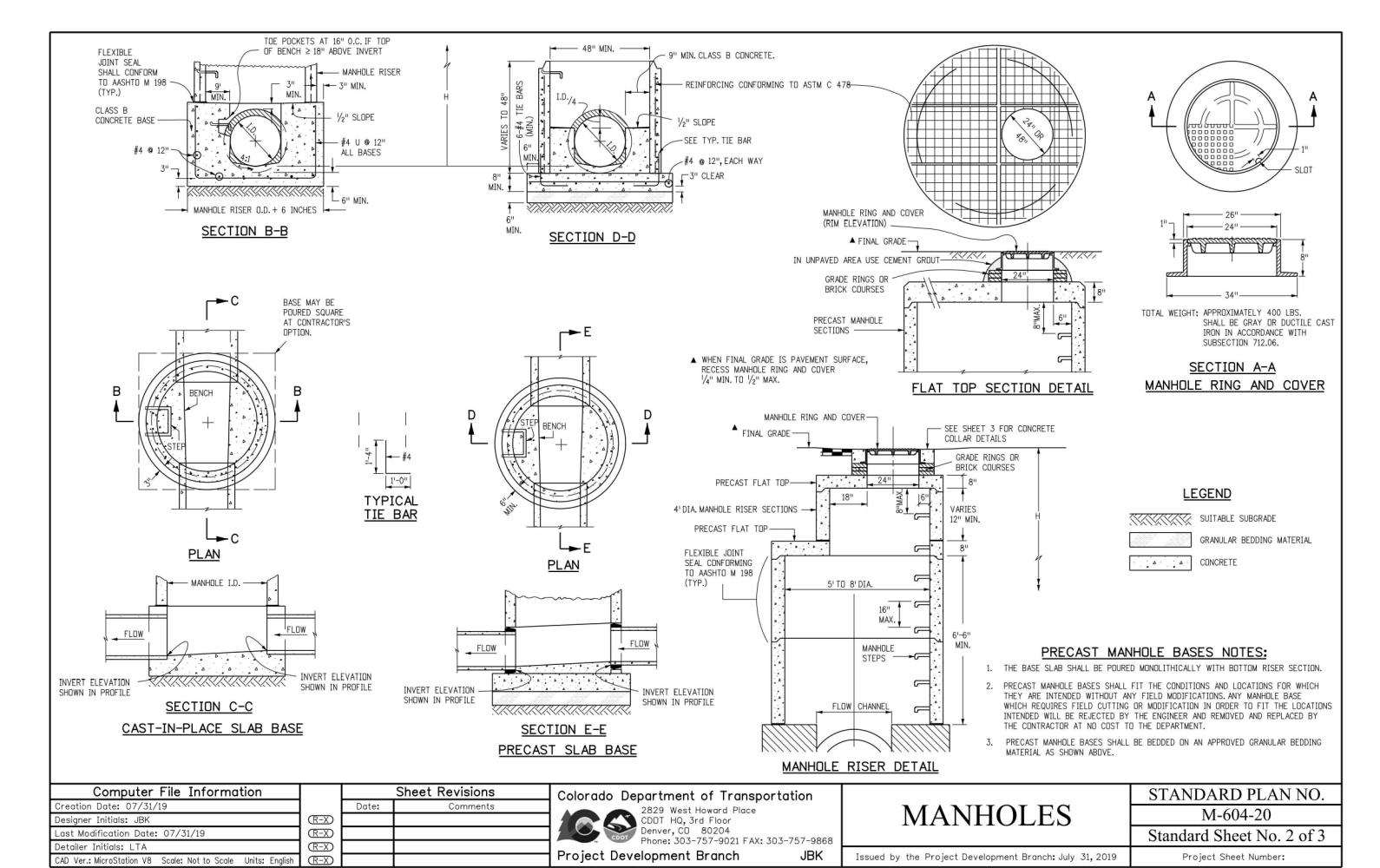
PROFILE

JDM, BLB

03/15/2024

Sheet 28 of 33





1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719.900.7220 GallowayUS.com

COPYRIGHT

THESE PLANS ARE AN INSTRUMENT OF SERVICE
AND ARE THE PROPERTY OF GALLOWAY, AND MAY
NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED
WITHOUT THE WRITTEN CONSENT OF GALLOWAY.
COPYRIGHTS AND INFRINGEMENTS WILL BE
ENFORCED AND PROSECUTED.



America's Builder

CONSTRUCTION DOCUMENTS
GRANDVIEW RESERVE FILING NO.
MELODY HOMES, INC.
SF2311

#	Date	Issue / Description	init.
_			
_			
_			
-			
_			
_			
_		-	
_			
_			
_			
_			
_			
-			
_			
_			
_			

 Project No:
 HRG02

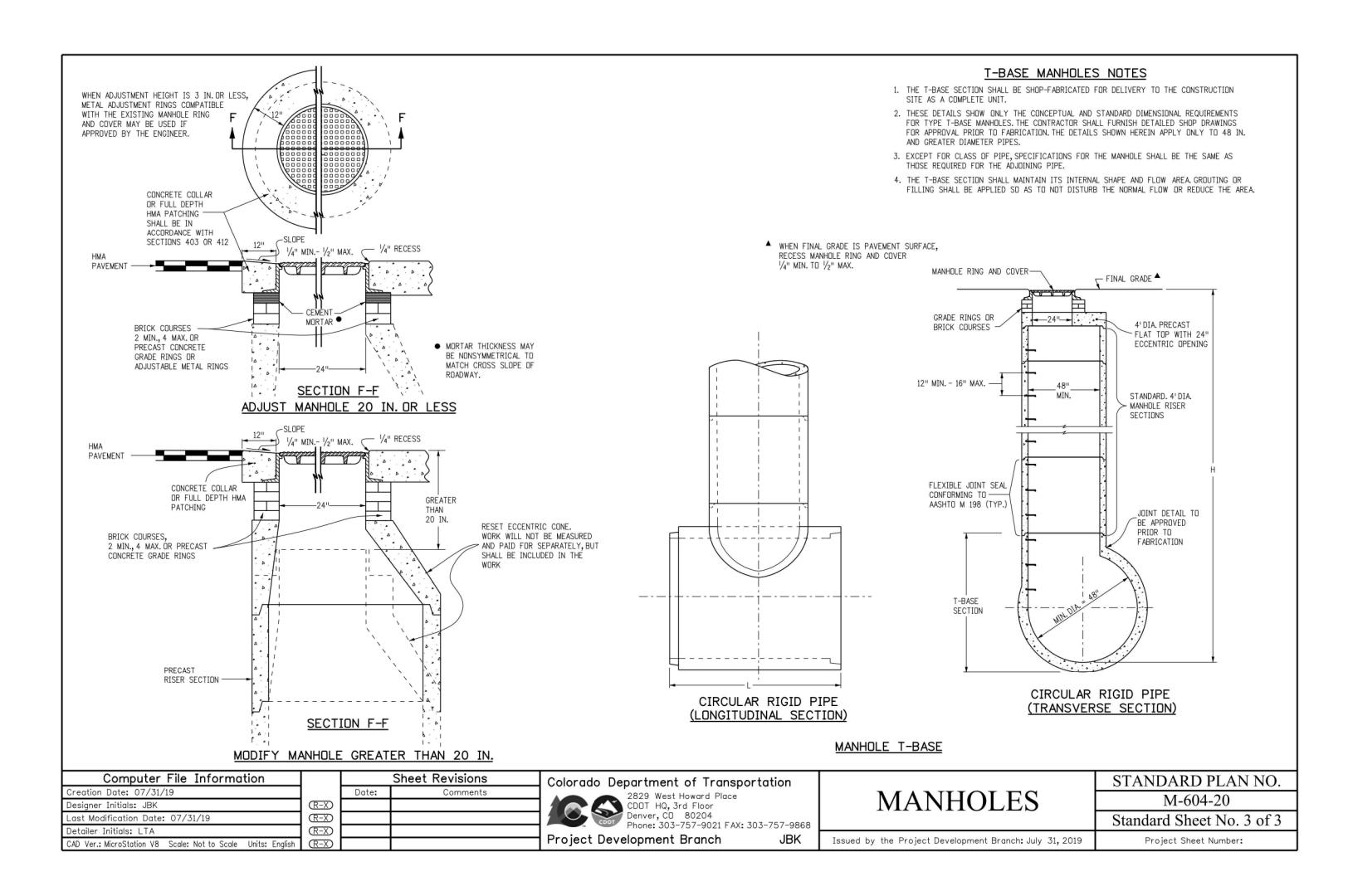
 Drawn By:
 JDM, BLB

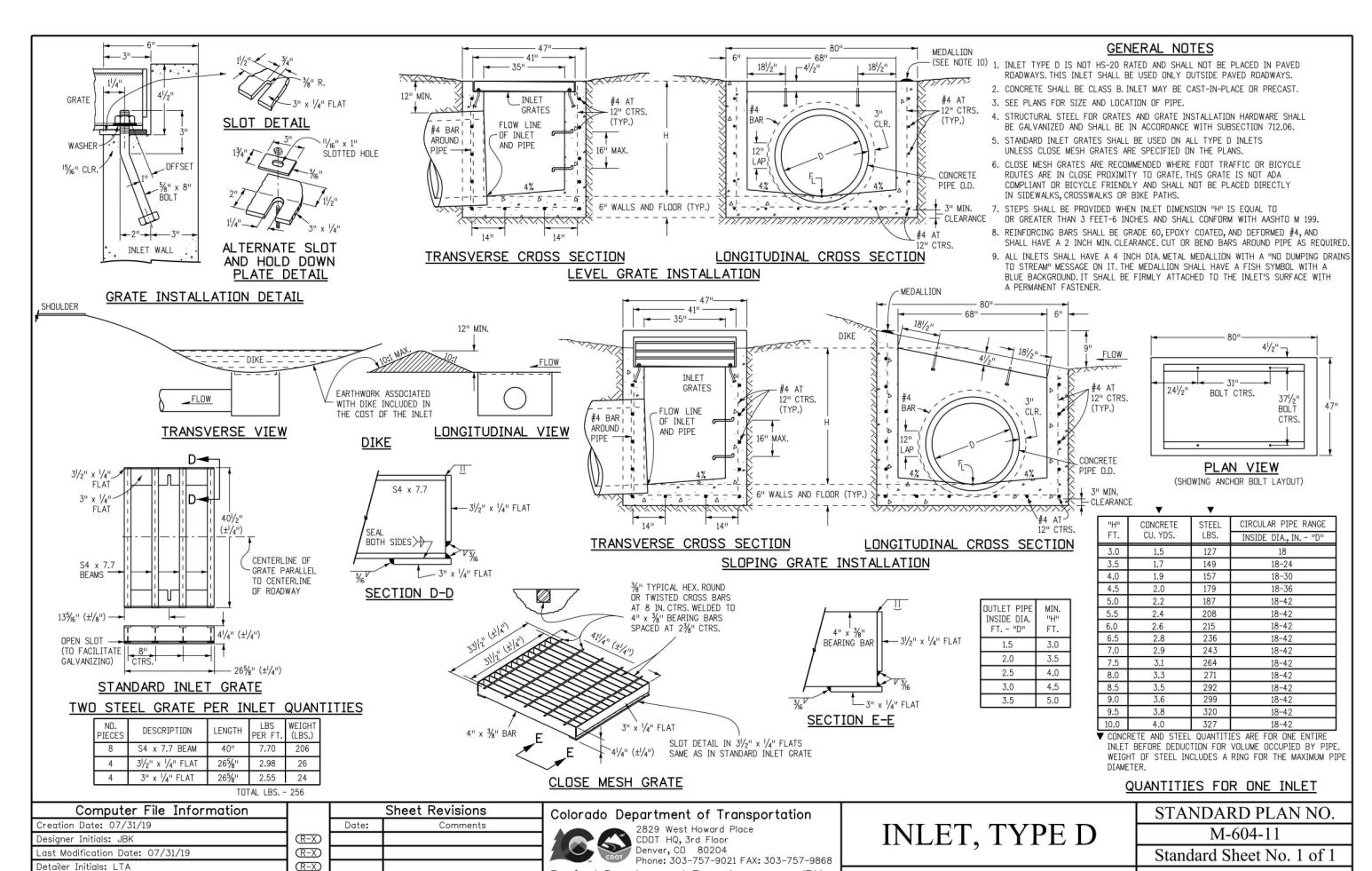
 Checked By:
 CMWJ

 Date:
 03/15/2024

STORM DRAIN DETAILS

C4.1
Sheet 29 of 33





Project Development Branch

CAD Ver.: MicroStation V8 Scale: Not to Scale Units: English R-X

Issued by the Project Development Branch: July 31, 2019

Project Sheet Number:

Galloway

1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719.900.7220 GallowayUS.com

COPYRIGHT
THESE PLANS ARE AN INSTRUMENT OF SERVICE
AND ARE THE PROPERTY OF GALLOWAY, AND MAY
NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED

ENFORCED AND PROSECUTED.

WITHOUT THE WRITTEN CONSENT OF GALLOWAY.
COPYRIGHTS AND INFRINGEMENTS WILL BE

D·R·HORTON°

America's Builder

SONSTRUCTION DOCUMENTS
SRANDVIEW RESERVE FILING NO.
MELODY HOMES, INC.
SF2311

Date Issue / Description Ini

 Project No:
 HRG02

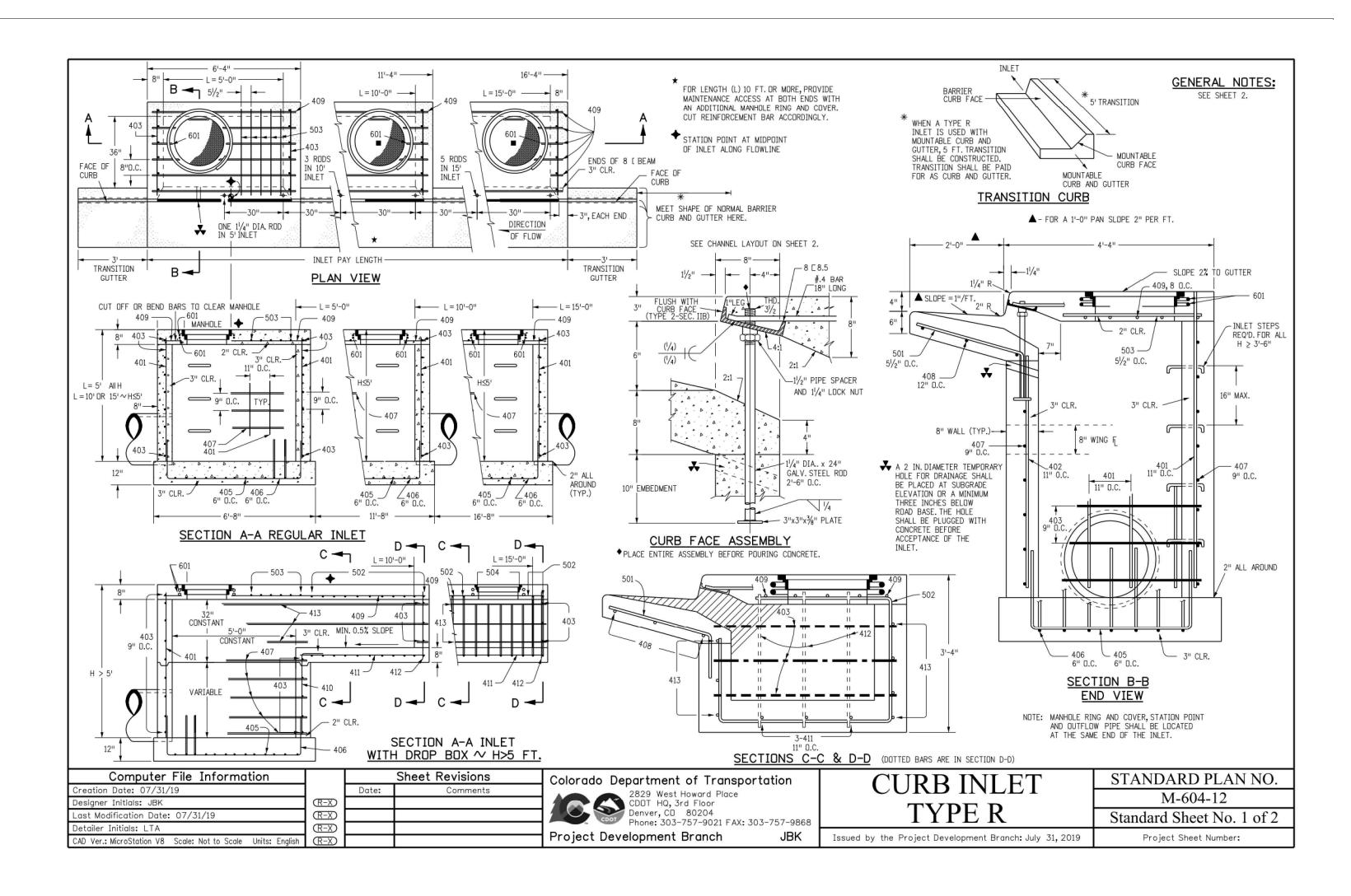
 Drawn By:
 JDM, BLB

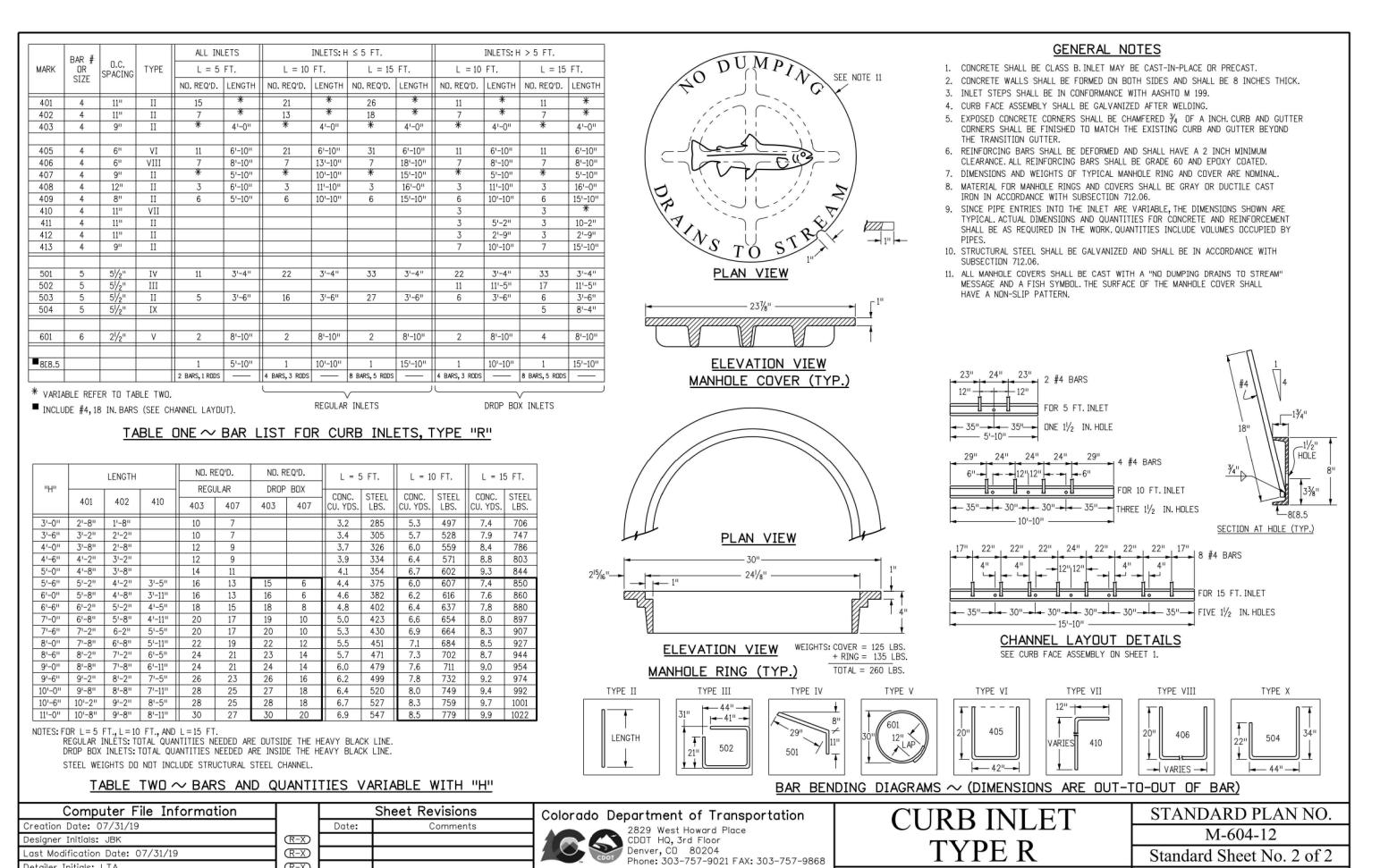
 Checked By:
 CMWJ

 Date:
 03/15/2024

STORM DRAIN DETAILS

C4.2
Sheet 30 of 33





Project Development Branch

JBK

Issued by the Project Development Branch: July 31, 2019

ast Modification Date: 07/31/19

CAD Ver.: MicroStation V8 Scale: Not to Scale Units: English R-X

1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719.900.7220 GallowayUS.com

COPYRIGHT THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

D·R·HORTON

America's Builder

လ ပာ

N DOCUMENT ESERVE FILIN S, INC. CONSTRUCTION [
SRANDVIEW RES
MELODY HOMES,
SF2311

Date Issue / Description

STONVILLE F PASO COUN

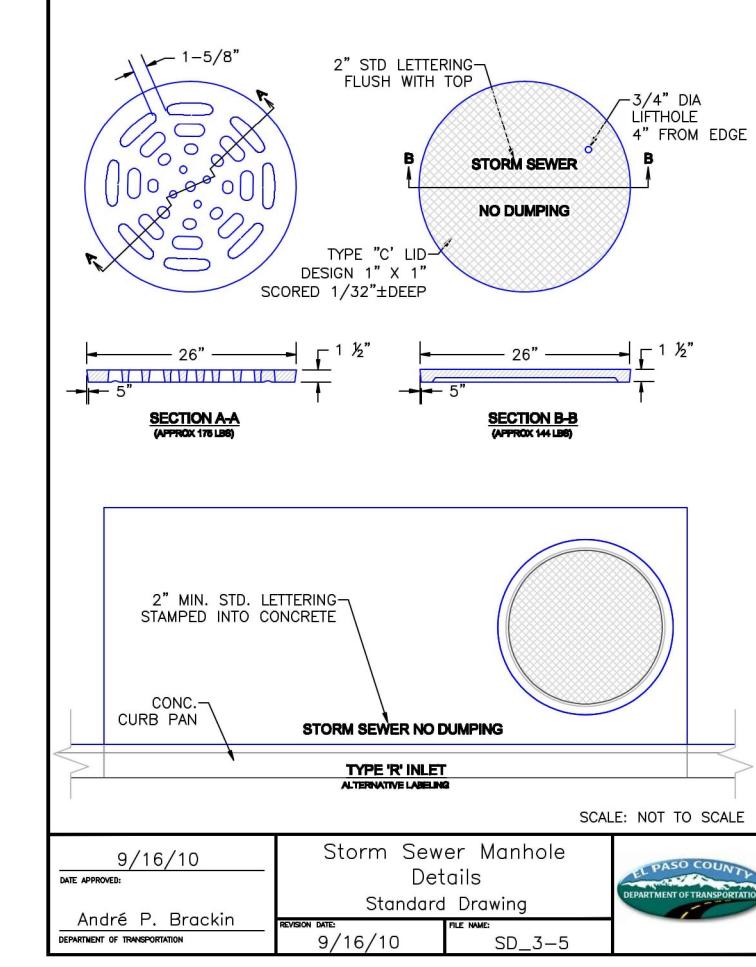
HRG02 JDM, BLB CMWJ 03/15/2024

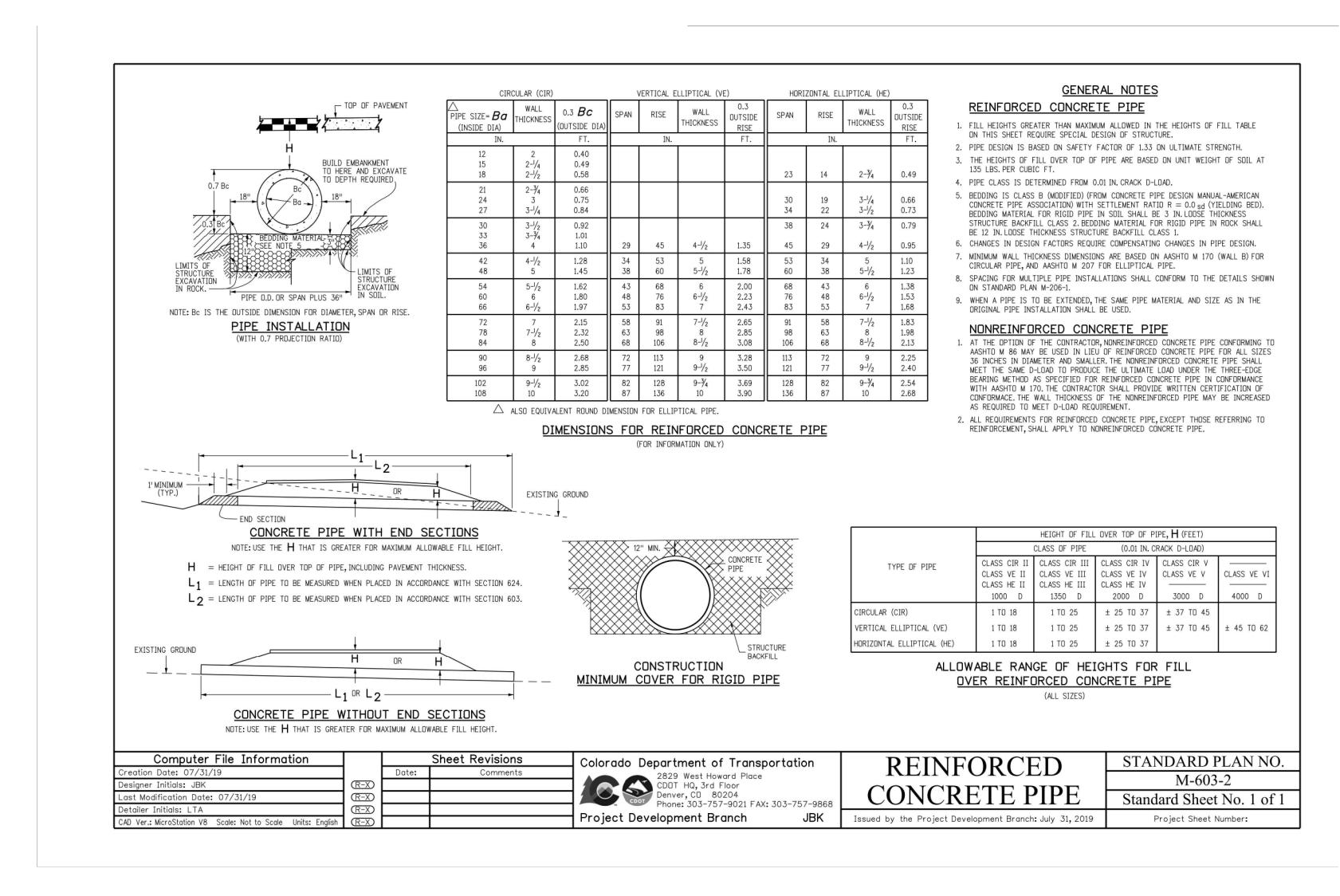
STORM DRAIN DETAILS

Standard Sheet No. 2 of 2

Project Sheet Number:

Sheet 31 of 33





1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719.900.7220 GallowayUS.com

COPYRIGHT

THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

D·R·HORTON

America's Builder

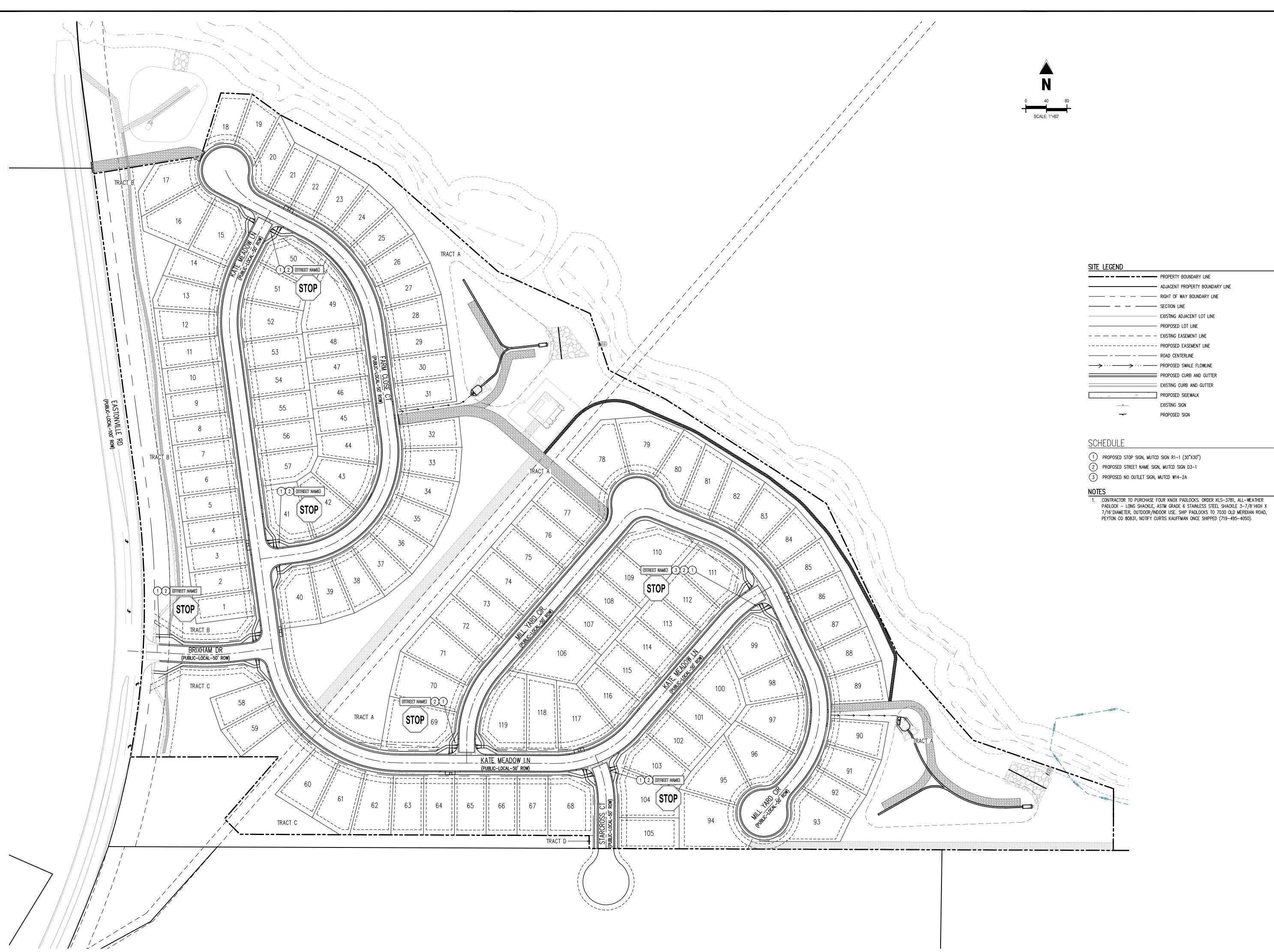
လ ပာ N DOCUMENT ESERVE FILIN S, INC. CONSTRUCTION I SRANDVIEW RES MELODY HOMES, SF2311

Date Issue / Description

Project No:	HRG02
Drawn By:	JDM, BLB
Checked By:	CMWJ
Date:	03/15/2024

STORM DRAIN DETAILS

Sheet 32 of 33



1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719.900.7220 GallowayUS.com

COPYRIGHT

လ ပာ

THESE PLANS ARE AN INSTRUMENT OF SERVICE
AND ARE THE PROPERTY OF GALLOWAY, AND MAY
NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED
WITHOUT THE WRITTEN CONSENT OF GALLOWAY.
COPYRIGHTS AND INFRINGEMENTS WILL BE
ENFORCED AND PROSECUTED.

D·R·HORTON°

America's Builder

11 ONVILLE RD & REX RD

Date Issue / Description Init.

 Project No:
 HRG02

 Drawn By:
 JDM, BLB

 Checked By:
 CMWJ

 Date:
 03/15/2024

 SIGNAGE PLAN

Sheet 33 of 33

MELODY HOMES, INC.

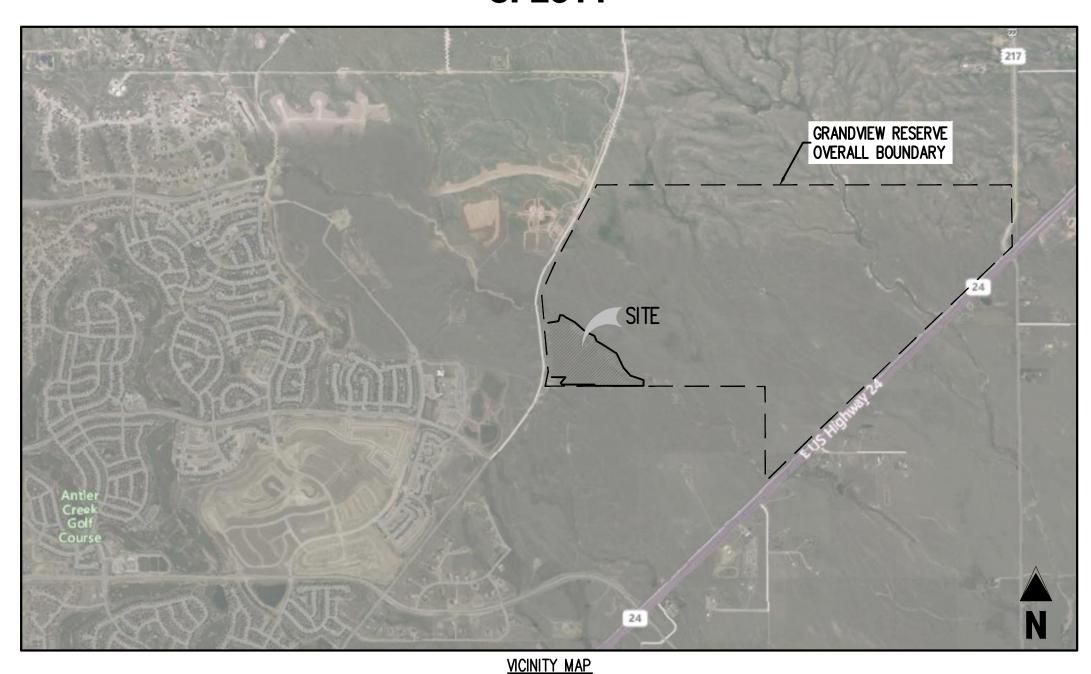
GRANDVIEW RESERVE FILING NO. 1

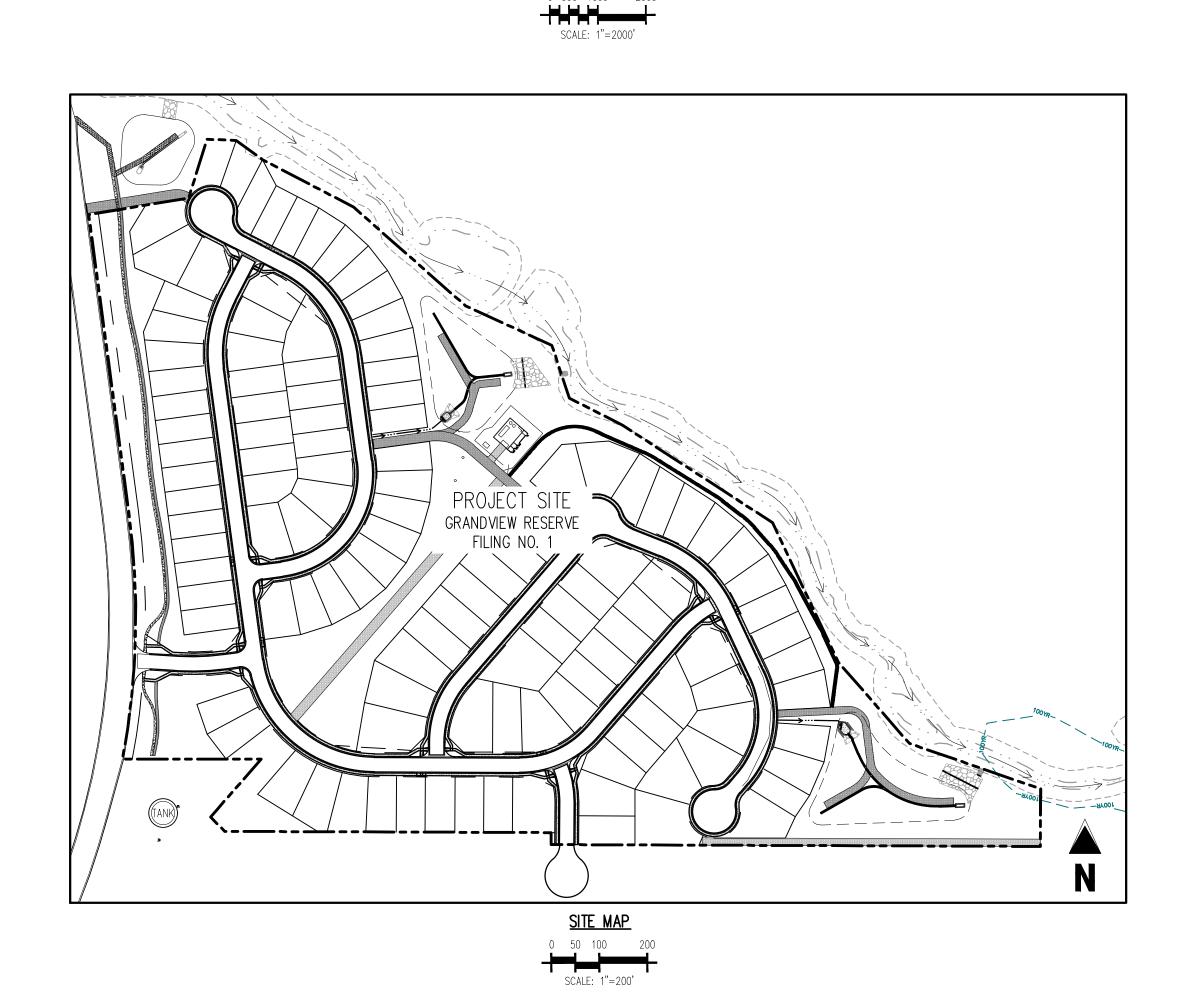
A TRACT OF LAND BEING A PORTION OF SOUTHWEST QUARTER SECTION 21, AND A PORTION OF THE NORTHWEST QUARTER OF SECTION 28; TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE SIXTH PRINCIPAL MERIDIAN EASTONVILLE RD & REX RD

UTILITY CONSTRUCTION PLANS

SF2311

PROJECT CONTACTS	CITY & UTILITY CONTACTS
PROPERTY OWNER	<u>WATER</u>
MELODY HOMES, INC. 9555 S. KINGSTON CT., ENGLEWOOD, COLORADO 80112 TELE: (407) 375-0658 CONTACT: BILL CARLISLE EMAIL: WMCARLISLE@DRHORTON.COM	GRANDVIEW RESERVE METROPOLITAN DISTRICT 1 9555 S. KINGSTON CT., ENGLEWOOD, COLORADO 80112 TELE: (407) 375-0658 CONTACT: BILL CARLISLE EMAIL: WMCARLISLE@DRHORTON.COM
APPLICANT	WASTEWATER
HR GREEN DEVELOPMENT, LLC 1975 RESEARCH PARKWAY SUITE 230 COLORADO SPRINGS, CO 80920 TELE: (720) 602-4965 CONTACT: KEN HUHN EMAIL: KHUHN@HRGREEN.COM	WOODMEN HILLS METRO DISTRICT 8046 EASTONVILLE ROAD FALCON, CO 80831 TELE: (719) 495-2500 CONTACT: CODY RITTER EMAIL: CODY@WHMD.ORG
CIVIL ENGINEER	ELECTRIC
GALLOWAY & CO., INC. 1155 KELLY JOHNSON BLVD., SUITE 305 COLORADO SPRINGS, CO 80920 TELE: (719) 900-7220 CONTACT: BRADY SHYROCK, P.E. EMAIL: BRADYSHYROCK@GALLOWAYUS.COM	MOUNTAIN VIEW ELECTRIC ASSOCIATION 11140 E. WOODMEN RD., FALCON, CO 80831 TELE: (800) 388-9881 CONTACT: GINA PERRY EMAIL: GINA.P@MVEA.COOP
LANDSCAPE ARCHITECT	NATURAL GAS
HR GREEN DEVELOPMENT, LLC 1975 RESEARCH PARKWAY SUITE 230 COLORADO SPRINGS, CO 80920 TELE: (720) 602-4965 CONTACT: KEN HUHN EMAIL: KHUHN@HRGREEN.COM	BLACK HILLS ENERGY 198 COUNTY LINE RD. PALMER LAKE, CO 80133 TELE: (719) 332-5856 CONTACT: BOB SWATEK EMAIL: BOB.SWATEK BMAIL: BOB.SWATEK
SURVEYOR	FIRE
EDWARD-JAMES SURVEYING, INC. 926 ELKTON DRIVE COLORADO SPRINGS, CO 80907 TELE: 719-576-1216 CONTACT: JONATHAN W. TESSIN EMAIL: -	FALCON FIRE PROTECTION DISTRICT 7030 OLD MERIDIAN RD., FALCON, CO 80831 TELE: (719) 495-4050 CONTACT: TRENT HARWIG EMAIL: THARWIG@FALCONFIREPD.ORG





SHEET INDEX SHEET SHEET SHEET TITLE NUMBER DESCRIPTION U0.0 COVER SHEET NOTES OVERALL SHEET U0.2 WATER KEY MAP U1.0 U1.1 WATER PLAN WATER PLAN U1.2 U1.3 WATER LOWERING PROFILES WASTEWATER KEY MAP U2.1 WASTEWATER P&P U2.2 WASTEWATER P&P U2.3 WASTEWATER P&P U2.4 WASTEWATER P&P U2.5 WASTEWATER P&P U2.6 WASTEWATER P&P WASTEWATER P&P WASTEWATER P&P U2.8 WASTEWATER P&P U2.9 U2.10 WASTEWATER P&P WASTEWATER P&P WATER DETAILS WATER DETAILS WATER DETAILS WASTEWATER DETAILS

GRANDVIEW RESERVE FILING NO. 1. A TRACT OF LAND BEING A PORTION OF SOUTHWEST QUARTER SECTION 21, AND A PORTION OF THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO. NGS BENCHMARK F 24 A STANDARD DISK, STAMPED F 24 1929 AND SET IN THE TOP OF A CONCRETE POST PROJECTING ABOUT 6 INCHES ABOVE GROUND. ALONG THE CHICAGO, ROCK ISLAND AND PACIFIC RAILROAD, 52 FEET NORTHWEST OF THE CENTERLINE OF U.S. HIGHWAY 24, 48 FEET SOUTHEAST OF THE CENTERLINE OF THE TRACK. NAVD88 ELEVATION = 6866.33BASIS OF BEARING THE NORTH LINE OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, STATE OF COLORADO BEING MONUMENTED AT EACH END BY A 3-1/4" ALUMINUM SURVEYORS CAP STAMPED "PSINC LS 30087" AND ASSUMED TO BEAR S89'47'04"E, A DISTANCE OF 5285.07 FEET. NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR NOTE: CONTRACTOR MUST COORDINATE WORK WITH UTILITY COMPANY AND CITY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL

OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION

DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO

WATER AND SEWER MAIN EXTENSIONS:

ANY CHANGES OR ALTERATIONS AFFECTING THE GRADE, ALIGNMENT, ELEVATION AND/OR DEPTH OF COVER OF ANY WATER OR SEWER MAINS OR OTHER APPURTENANCE SHOWN ON THIS DRAWING SHALL BE THE RESPONSIBILITY OF THE OWNER/DEVELOPER. THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR ALL OPERATIONAL DAMAGES AND DEFECTS IN INSTALLATION AND MATERIAL FOR MAINS AND SERVICES FROM THE DATE OF APPROVAL UNTIL FINAL ACCEPTANCE IS ISSUED.

SIGNED	OWNER/DEVELOPER	DATE
PRINT NAME		
DBA		
ADDRESS		

FIRE AUTHORITY APPROVAL:

THE NUMBER OF FIRE HYDRANTS AND HYDRANT LOCATIONS SHOWN ON THIS WATER INSTALLATION PLAN ARE CORRECT AND ADEQUATE TO SATISFY THE FIRE PROTECTION REQUIREMENTS AS SPECIFIED BY THE FIRE DISTRICT SERVING THE PROPERTY NOTED

FIRE PROTECTION DISTRICT ____ _____ DATE _____
FIRE PROTECTION DISTRICT

DISTRICT APPROVALS:

THE WOODMEN HILLS METROPOLITAN DISTRICT RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN AND HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.

WOODMEN HILLS METROPOLITAN DISTRICT WATER DESIGN APPROVAL PROJECT NO. _____

IN CASE OF ERRORS OR OMISSIONS WITH THE WATER DESIGN AS SHOWN ON THIS DOCUMENT THE STANDARDS AS DEFINED IN THE 'RULES AND REGULATIONS FOR INSTALLATION OF WATER MAINS AND SERVICES" SHALL RULE.

APPROVAL EXPIRES 180 DAYS FROM DESIGN APPROVAL.

THE WOODMEN HILLS METROPOLITAN DISTRICT RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN AND HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.

WOODMEN HILLS METROPOLITAN DISTRICT WASTEWATER DESIGN APPROVAL:

PROJECT NO. _____

IN CASE OF ERRORS OR OMISSIONS WITH THE WATER DESIGN AS SHOWN ON THIS DOCUMENT THE STANDARDS AS DEFINED IN THE RULES AND REGULATIONS FOR INSTALLATION OF WASTEWATER MAINS AND SERVICES" SHALL RULE.

APPROVAL EXPIRES 180 DAYS FROM DESIGN APPROVAL.



Colorado Springs, CO 80920 GallowayUS.com



COPYRIGHT

THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.



America's Builder

Date Issue / Description

JDM, BLB, CJM 03/15/2024 **COVER SHEET**

LIST OF ABBREVIATIONS

 Δ – DEFLECTION ANGLE

R — RADIUS CB - CHORD BEARING C — CHORD LENGTH N - NORTH/NORTHING W - WEST

E – EAST/EASTING DET — DETAIL ex – existing

PC - POINT OF CURVATURE/PORTLAND CEMENT WWF — WELDED WIRE FABRIC OC - ON CENTER FDC - FIRE DEPARTMENT CONNECTION

CT - COURT DR - DRIVE REC - RECEPTION NUMBER

ø, DIA – DIAMETER PT - POINT OF TANGENCY MIN — MINIMUM MAX - MAXIMUM

HDPE - HIGH DENSITY POLYETHYLENE

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT,

PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below. ENGINEER PRIOR TO CONSTRUCTION.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

GENERAL NOTES:

1. ALL UTILITY CONSTRUCTION TO BE CONDUCTED IN CONFORMANCE WITH THE CURRENT WOODMEN HILLS METROPOLITAN DISTRICT (WHMD, THE DISTRICT) SPECIFICATIONS.

2. ALL PLANS ON THE JOB SITE SHALL BE SIGNED BY THE DISTRICT AND THE DISTRICT'S ENGINEER. ANY REVISION TO THE PLANS SHALL BE SO NOTED WITH THE OLD DRAWING MARKED

3. ALL STATIONING IS CENTERLINE UNLESS OTHERWISE NOTED. ALL ELEVATIONS ARE CENTERLINE UNLESS OTHERWISE NOTED.

4. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE DISTRICT. THE DISTRICT RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.

5. ALL OVER-LOT GRADING MUST BE COMPLETED TO WITHIN ONE (1) FOOT OF FINAL GRADE PRIOR TO INSTALLATION OF WATER AND WASTEWATER INFRASTRUCTURE.

6. ALL WATER AND SEWER SERVICE LOCATIONS SHALL BE CLEARLY MARKED ON EITHER THE CURB HEAD OR THE FACE OF THE CURB, WITH AN "S"FOR SEWER AND A "W"FOR WATER.

7. DUCTILE IRON PIPES, INCLUDING FITTINGS, VALVES AND FIRE HYDRANTS, SHALL BE WRAPPED WITH POLYETHYLENE TUBING, DOUBLE BONDED AT EACH JOINT AND ELECTRICALLY ISOLATED. BONDING AND ANODE CONNECTIONS SHALL BE THOROUGHLY COATED WITH BITUMINOUS COATINGS.

8. ALL DUCTILE IRON PIPE LESS THAN 12 INCHES AND FITTINGS SHALL HAVE CATHODIC PROTECTION USING TWO NO. 6 WIRES WITH 17 LB. MAGNESIUM ANODES EVERY 400 FEET AND 9 LB. MAGNESIUM ANODES AT EACH FITTING. ALL DUCTILE IRON PIPE TWELVE INCHES (12") AND GREATER AND FITTINGS SHALL HAVE CATHODIC PROTECTION USING TWO NO. 6 WIRES WITH 17 LB. MAGNESIUM ANODES EVERY 300 FEET AND 9 LB. MAGNESIUM ANODES AT EACH FITTING.

9. ALL PIPE MATERIAL, BACKFILL, AND INSTALLATION SHALL CONFORM TO THE APPLICABLE SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS, COLORADO DEPARTMENT OF TRANSPORTATION, EL PASO COUNTY DEPARTMENT OF TRANSPORTATION, COLORADO SPRINGS UTILITIES AND THE GEOTECHNICAL ENGINEER.

10. COMPACTION TESTS SHALL BE 95% STANDARD PROCTOR AS DETERMINED BY ASTM D698, UNLESS OTHERWISE APPROVED BY THE DISTRICT OR HIGHER STANDARD AS IMPOSED BY ANOTHER AGENCIES HAVING RIGHT—OF—WAY JURISDICTION. THIS SHALL INCLUDE ALL VALVES, FIRE HYDRANT RUNS, WATER & SEWER SERVICE LINES AND MANHOLES. ALL REPORTS SHALL BE SUBMITTED TO THE DISTRICT FOR REVIEW AND APPROVAL.

11. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE DRAWINGS ARE APPROXIMATE ONLY. THE LOCATION OF ALL UTILITIES SHALL BE FIELD VERIFIED PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES. THE DISTRICT SHALL BE NOTIFIED OF ANY DEVIATIONS TO THE LINE AND/OR GRADE AS DEPICTED ON THE PLANS. CONTRACTOR SHALL SUBMIT TO THE DISTRICT AND THE ENGINEER OF RECORD A REPORT OF THE FIELD VERIFIED INFORMATION PRIOR TO THE START OF CONSTRUCTION.

12. ALL BENDS SHALL BE FIELD STAKED PRIOR TO THE START OF CONSTRUCTION.

13. BENDS, DEFLECTION, AND CUT PIPE LENGTHS SHALL BE USED TO HOLD HORIZONTAL ALIGNMENT OF SEWER AND WATER LINES TO NO MORE THAN 0.5' FROM THE DESIGNED ALIGNMENT. CONSTRUCTION STAKES TO BE AT TWENTY-FIVE FEET (25') INTERVALS ALONG CURVES TO ENSURE LOCATION OF PIPE LINE CONSTRUCTION.

14. AT ALL LOCATIONS WHERE CAP AND STUB IS NOTED ON DRAWINGS, PROVIDE A PLUG AT THE END OF THE PIPE JOINT NEAREST THE SPECIFIED STATION. PROVIDE A REVERSE ANCHOR AT ALL

15. ALL UNUSED, SALVAGED WATER UTILITY MATERIAL SHALL BE RETURNED TO THE METROPOLITAN DISTRICT AS REQUESTED.

16. AT THE CONTRACTOR'S EXPENSE, ALL UTILITY MAINS SHALL BE SUPPORTED AND PROTECTED SUCH THAT THEY SHALL FUNCTION CONTINUOUSLY DURING CONSTRUCTION OPERATIONS. SHOULD A UTILITY MAIN FAIL AS A RESULT OF THE CONTRACTOR'S OPERATION, IT SHALL BE REPLACED IMMEDIATELY BY THE CONTRACTOR OR BY THE DISTRICT AT FULL COST OF LABOR AND MATERIALS TO THE CONTRACTOR/DEVELOPER.

17. PUMPING OR BYPASS OPERATIONS SHALL BE REVIEWED AND APPROVED BY BOTH THE DISTRICT AND THE DISTRICT ENGINEER PRIOR TO EXECUTION.

18. THE CONTRACTOR SHALL REPLACE OR REPAIR DAMAGE TO ALL SURFACE IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO FENCES, LANDSCAPING, CURB AND GUTTER AND/OR ASPHALT THAT MAY BE CAUSED DURING CONSTRUCTION.

19. ALL CONTRACTORS WORKING ON OR NEAR A WATER OR SEWER FACILITY (TO INCLUDE SERVICE LINES) SHALL HAVE LIABILITY INSURANCE NAMING THE DISTRICT AS AN ADDITIONAL INSURED AND SHALL PROVIDE A CURRENT COPY OF WORKERS COMPENSATION INSURANCE ON FILE WITH THE DISTRICT. NO WORK CAN PROCEED WITHOUT CURRENT CERTIFICATES ON FILE AT THE DISTRICTS.

20. THE CONTRACTOR SHALL NOTIFY THE DISTRICT AND ALL AFFECTED UTILITY COMPANIES ADJACENT TO THE PROPOSED UTILITY CONSTRUCTION A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF CONSTRUCTION. A WEEKLY CONSTRUCTION MEETING SHALL BE REQUIRED WITH THE CONTRACTOR, DISTRICT ENGINEER AND ALL OTHER PARTIES AS DEEMED NECESSARY BY THE DISTRICT.

21. COMMENCEMENT OF CONSTRUCTION OF WATER/SEWER SYSTEMS WITHIN METROPOLITAN

A) PRIOR TO THE START OF CONSTRUCTION, <u>A PRE-CONSTRUCTION MEETING IS REQUIRED</u> A MINIMUM OF 48 HOURS IN ADVANCE OF COMMENCEMENT OF WORK. A REPRESENTATIVE OF THE OWNER OR DEVELOPER, A REPRESENTATIVE OF THE CONTRACTOR AND DESIGN ENGINEER ARE REQUIRED TO ATTEND. CONTACT THE DISTRICT TO SCHEDULE THE PRE-CONSTRUCTION MEETING. <u>NO PRE-CONSTRUCTION MEETING CAN BE SCHEDULED BEFORE FOUR (4) SIGNED/APPROVED PLAN SETS ARE RECEIVED BY THE DISTRICT.</u>

B) THE CONTRACTOR IS REQUIRED TO NOTIFY THE DISTRICT A MINIMUM OF 48 HOURS AND A MAXIMUM OF 2 WEEKS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO NOTIFY AFFECTED UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION ADJACENT TO THE KNOWN UTILITY LINES.

22. TESTING OF FACILITIES:

WATER LINE PLUGS.

A) THE CONTRACTOR SHALL NOTIFY THE DISTRICT A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF ANY TESTING.

B) ALL SECTIONS OF WATER LINE ARE TO MEET THE FOLLOWING PRESSURE TESTING REQUIREMENTS

TEST 100 % OF ALL LINES

MUST PASS PRESSURE TEST TO 200 PSI FOR TWO HOURS (UNLESS OTHERWISE APPROVED ON THE PLANS).

C) ALL SANITARY SEWER FACILITIES ARE TO MEET THE FOLLOWING TESTING REQUIREMENTS:

• ALL LINES SHALL BE JET CLEANED PRIOR TO VACUUM OR PRESSURE

 ALL MANHOLES SHALL BE VACUUM TESTED WITH DISTRICT STAFF PRESENT PRIOR TO CCTV INSPECTION.

PRIOR TO CCTV INSPECTION.

SEWER MAINS TO BE PRESSURE TEST PRIOR TO CCTV INSPECTION

ALL LINES SHALL BE CCTV INSPECTED AND VIDEO SHALL TO BE SUBMITTED TO THE DISTRICT FOR REVIEW AND APPROVAL.

23. PRELIMINARY ACCEPTANCE SHALL BE DEFINED AS THE POINT IN TIME THAT THE DISTRICT ACCEPTS THE FACILITY FOR USE. ALL SURFACE IMPROVEMENTS AND RESTORATION SHALL BE COMPLETED WITHIN 30 DAYS OF COMMENCEMENT. SHOULD THE CONTRACTOR FAIL TO COMPLETE ALL SURFACE IMPROVEMENTS AND RESTORATION WITHIN 30 DAYS OF COMMENCEMENT OF SERVICE, THE DISTRICT, AT THEIR DISCRETION, MAY ELECT TO COMPLETE THE IMPROVEMENTS AT THE CONTRACTOR'S COST.

24. FINAL ACCEPTANCE BY THE DISTRICT OF ANY LINE OR SYSTEM SHALL NOT OCCUR UNTIL COMPLETION OF FINAL ASPHALT LAYERS AND/OR FINAL COMPLETION AND/OR RESTORATION OF ALL SURFACE IMPROVEMENTS. THE WARRANTY PERIOD FOR ALL FACILITIES PRIOR TO FINAL ACCEPTANCE SHALL BE 24 MONTHS COMMENCING AFTER PRELIMINARY ACCEPTANCE.

25. ACCEPTANCE:

A) THE DISTRICT MAY GIVE PRELIMINARY ACCEPTANCE ONCE ALL OF THE TESTS ON ALL THE LINES HAVE BEEN COMPLETED AND A WALK—THRU HAS OCCURRED.

B) A SECOND ACCEPTANCE MAY OCCUR ONCE FIRST LIFT OF ASPHALT GOES DOWN AND A SECOND WALK-THROUGH OF THE SYSTEM OCCURS. IF ALL FACILITIES ARE CLEAN AND ACCESSIBLE, A FINAL ACCEPTANCE MAY OCCUR (THE DISTRICT MAY REQUIRE CLEANING AND RE-VIDEO OF THE SYSTEM, DEPENDING ON THE SEVERITY OF THE CONTAMINATION).

26. ALL WATER AND SEWER MAINS, INCLUDING SERVICE LINES, SHALL HAVE "AS-BUILT" DRAWINGS PREPARED AND APPROVED PRIOR TO PRELIMINARY ACCEPTANCE BY THE DISTRICT.

27. ALL COMMERCIAL/BUSINESS DEVELOPMENTS SHALL HAVE AN EIGHT INCH (MIN.) WATER MAIN LOOPED THROUGH THE PROPOSED PROPERTY WITH GATE VALVES LOCATED WHERE THE MAIN ENTERS THE PROPERTY LINE. AN EIGHT-INCH SEWER MAIN SHALL BE INSTALLED FOR SERVICE TO COMMERCIAL/BUSINESS DEVELOPMENTS, AND A MANHOLE SHALL BE LOCATED WHERE THE MAIN ENTERS THE PROPERTY. THE END OF THE MAINS SHALL BE MARKED WITH THE APPROPRIATE COLORED CARSONITE MARKER ALONG WITH TRACER WIRE.

28. AFTER REVIEW AND APPROVAL OF PLANS FOR THE EXTENSION OF LINES, FACILITIES AND/OR SERVICES, CONSTRUCTION MUST HAVE COMMENCED WITHIN 18 MONTHS FOR RESIDENTIAL SUBDIVISIONS AND 12 MONTHS FOR ANY COMMERCIAL INSTALLATIONS.

29. INSPECTION FEES: CALL THE DISTRICT (719-495-2500) FOR FEE SCHEDULE.

WATER SYSTEM INSTALLATION NOTES

30. ALL WATER AND FORCE MAIN PIPE SHALL BE AWWA C900 PVC, OR EQUAL, PRESSURE CLASS

200. ALL WATER AND FORCE MAIN FITTINGS SHALL HAVE MECHANICAL RESTRAINTS AND THRUST

BLOCKS. ALL WATER AND FORCE MAIN PIPE SHALL HAVE A MINIMUM COVER DEPTH OF

FIVE—AND—ONE—HALF (5.5) FEET.

31. ALL WATER VALVES ASSOCIATED WITH THE POTABLE WATER SYSTEM SHALL BE OPEN CLOCKWISE. ALL VALVES INSTALLED IN LANDSCAPED AREAS AND/OR NOT WITHIN PAVED STREETS SHALL BE MARKED WITH CARSONITE MARKERS. ALL VALVES ASSOCIATED WITH THE RAW WATER SYSTEM SHALL BE OPEN COUNTERCLOCKWISE AND MARKED WITH CARSONITE MARKERS AS

32. THE DEVELOPER OR HIS ENGINEER SHALL LOCATE ALL FIRE HYDRANTS AND SERVICE STUB-OUTS FOR FUTURE DEVELOPMENT. ANY REQUIRED REALIGNMENT, HORIZONTAL OR VERTICAL, SHALL BE AT THE EXPENSE OF THE DEVELOPER. FIRE HYDRANT LOCATION SHALL BE REVIEWED AND APPROVED BY THE APPLICABLE FIRE AUTHORITY.

33. FIRE HYDRANTS SHALL BE OPEN RIGHT WITH 7/8" X 7/8" SQUARE TAPERED ALONG WITH SERVICE CAPS. LUBRICATION TYPE: GREASE. ACCEPTABLE BRAND IS KENNEDY GUARDIAN (K81D, K81A, AND K81AM). EACH FIRE HYDRANT LOCATION SHALL ALSO BE USED AS TEST STATION.

34. ALL MAIN LINES (PVC & DUCTILE IRON) SHALL BE INSTALLED WITH COATED #12 TRACER WRE WITH TEST STATIONS AT INTERVALS NO GREATER THAN 500 FT (VALVE BOXES CAN BE USED AT INTERSECTIONS AND SERVICE STUBS).

35. CONTRACTOR SHALL MAKE CONNECTIONS TO EXISTING WATER LINE WITHOUT SHUTDOWN, OR ELSE NOTIFY THE DISTRICT OF ANY SERVICE SHUTDOWNS NECESSARY TO CONNECT TO EXISTING

36. IRRIGATION SERVICES SHALL HAVE A STOP-AND-WASTE CURB STOP VALVE INSTALLED ALONG

WITH TRACER WIRE EXTENDING BACK TO THE MAIN LINE.

37. COMMENCEMENT OF USE OF WATER LINES AND/OR SYSTEMS:

A) NO WATER FACILITY SHALL BE PLACED IN SERVICE UNTIL AFTER THE COMPLETION OF ALL PRESSURE TESTING, FLUSHING, BAC-T TESTING, COMPACTION TESTING, AND AS-BUILT DRAWINGS ARE SUBMITTED AND APPROVED BY THE DISTRICT.

B) NO WATER FACILITY SHALL BE PLACED IN SERVICE UNTIL ALL SERVICE LINES ARE COMPLETED AND THE FIRST LIFT OF ASPHALT IS COMPLETED OVER THE LINE. IN THE CASE WHERE NO ASPHALT IS TO BE PLACED OVER THE LINE, SURFACE IMPROVEMENTS SHALL BE COMPLETED

C) ALL EASEMENTS (PLATTED OR DEEDED) ARE DEDICATED, EXECUTED BY THE DISTRICT,

WASTEWATER SYSTEM INSTALLATION NOTES

38. SANITARY SEWER LENGTHS ARE MH CENTER — MH CENTER. ALL SANITARY SEWER PIPES
SHALL BE SDR 35 PVC OR APPROVED EQUAL. SEWER LINES MAY NOT EXCEED 7% GRADE FOR
ANY SIZE WITHOUT PRIOR APPROVAL OF THE DISTRICT. ALL NEWLY
CONSTRUCTED RESIDENTIAL SANITARY SEWER TAPS SHALL USE PRE—MANUFACTURED, IN—LINE PVC
PUSH—ON WYES. TAPPING SADDLES MAY ONLY BE USED FOR TAPPING PRE—EXISTING MAINS.

39. ALL SANITARY SEWER MANHOLES SHALL BE WRAPPED WITH RU116 - RUBR-NEK JOINT WRAP, OR APPROVAL EQUAL, AND COATED.

40. COMMENCEMENT OF USE OF SEWER LINES AND/OR SYSTEMS:

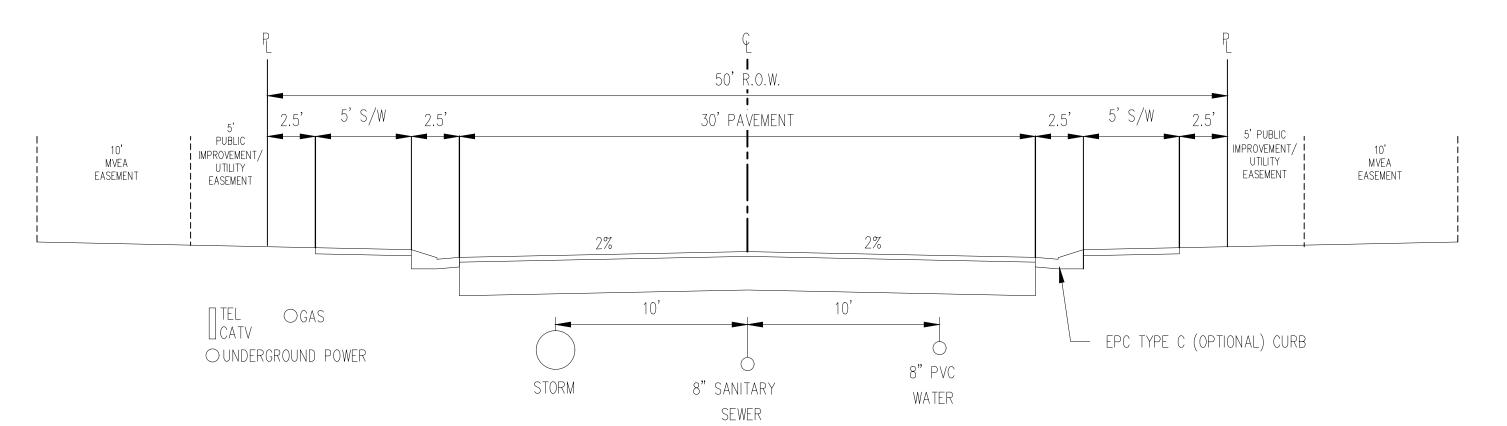
A) NO SANITARY SEWER FACILITY SHALL BE PLACED IN SERVICE UNTIL THE COMPLETION OF ALL JET CLEANING, PRESSURE TESTING, VACUUM TESTING, CCTV INSPECTION, COMPACTION TESTING, AND AS—BUILT DRAWINGS ARE SUBMITTED AND APPROVED BY THE DISTRICT.

B) NO SANITARY SEWER FACILITY SHALL BE PLACED IN SERVICE UNTIL ALL SERVICE LINES ARE COMPLETED AND THE FIRST LIFT OF ASPHALT IS COMPLETED OVER THE LINE. IN THE CASE WHERE NO ASPHALT IS TO BE PLACED OVER THE LINE, ANY REQUIRED SURFACE IMPROVEMENTS SHALL BE COMPLETED PRIOR TO USE OF THE FACILITY.

C) ALL NECESSARY EASEMENTS (PLATTED OR DEEDED) ARE DEDICATED, EXECUTED BY THE DISTRICT, AND RECORDED.

D) DOWNSTREAM PLUG CAN BE REMOVED ONCE FIRST LIFT OF ASPHALT IS DOWN AND THE ABOVE REQUIREMENTS ARE MET.

THE ABOVE GUIDELINES ARE SUBJECT TO CHANGE AT ANY TIME.



TYPICAL STREET SECTION — URBAN LOCAL ROADWAY

N.T.S.

BRIXHAM DR, KATE MEADOW LN, FARM CIRCLE CT,

MILL YARD CIR, STARCROSS CT

Galloway

1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719.900.7220 GallowayUS.com

COPYRIGHT
THESE PLANS ARE AN INSTRAND ARE THE PROPERTY OF

THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

D·R·HORTON° America's Builder

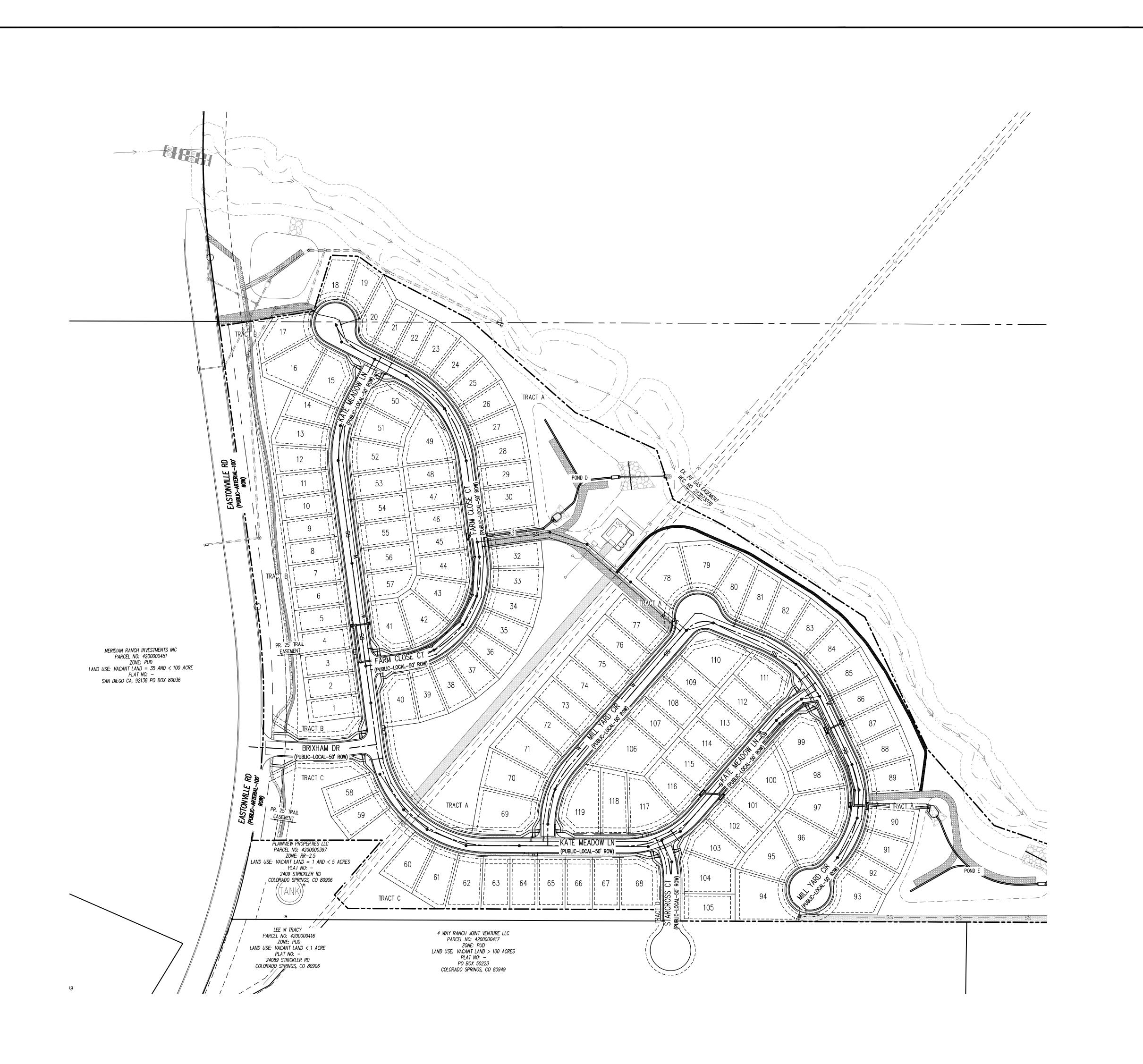
JTILITY CONSTRUCTION PLANS SRANDVIEW RESERVE FILING NOTELODY HOMES, INC.

ŧ	Date	Issue / Description	lni
-			
_			
_			_
_			_
_			_
_			_
-			
_			
_		-	_
_			_
_			
-			
_			
_			
_			_
_			_
-			

Project No:	HRG02
Drawn By:	JDM, BLB, CJM
Checked By:	BAS, CMWJ
Date:	03/15/2024
NOTES	

10 1

Sheet 2 of 23





1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719.900.7220 GallowayUS.com

COPYRIGHT

THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

D·R·HORTON

America's Builder

JDM, BLB, CJM BAS, CMWJ 03/15/2024

OVERALL SHEET

Sheet 3 of 23

CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

NOTE: CONTRACTOR MUST COORDINATE WORK WITH UTILITY COMPANY AND CITY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION
DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO
OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION

RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO

CAUTION - NOTICE TO CONTRACTOR

ENGINEER PRIOR TO CONSTRUCTION.

THE ENGINEER PRIOR TO CONSTRUCTION.

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below.

 \mathbb{C} a \mathbb{H} before you dig. 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S



Galloway

1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719.900.7220 GallowayUS.com

COPYRIGHT

ANS JG NO.

THESE PLANS ARE AN INSTRUMENT OF SERVICE
AND ARE THE PROPERTY OF GALLOWAY, AND MAY
NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED
WITHOUT THE WRITTEN CONSENT OF GALLOWAY.
COPYRIGHTS AND INFRINGEMENTS WILL BE
ENFORCED AND PROSECUTED.

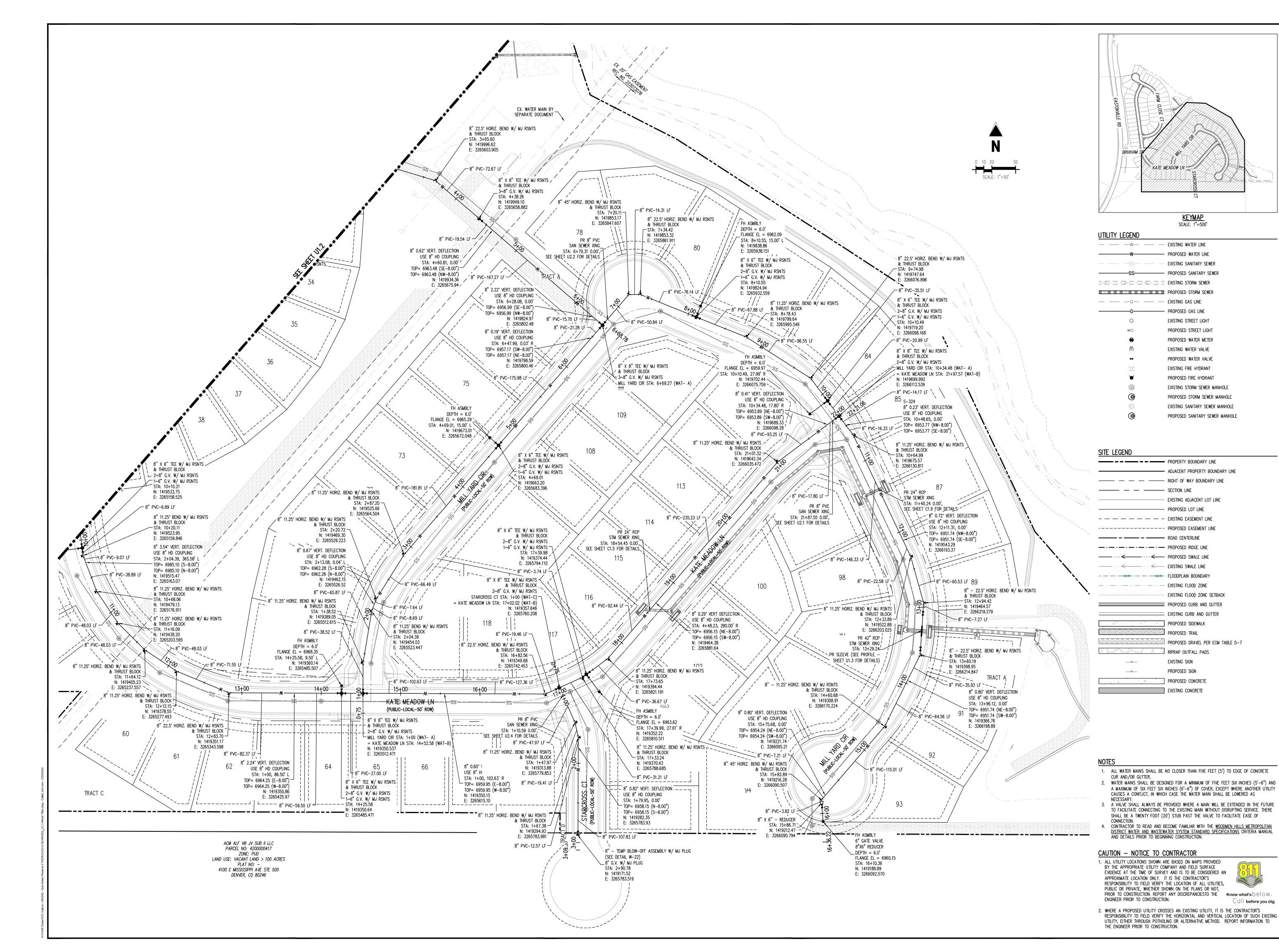
D·R·HORTON® America's Builder

Project No:	HRG02
Drawn By:	JDM, BLB, CJM
Checked By:	BAS, CMWJ
Date:	03/15/2024

WATER KEY MAP

 \mathbb{C} a \mathbb{H} before you dig.

Sheet 4 of 23





1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719.900.7220 GallowayUS.com

COPYRIGHT

THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

America's Builder

Z O

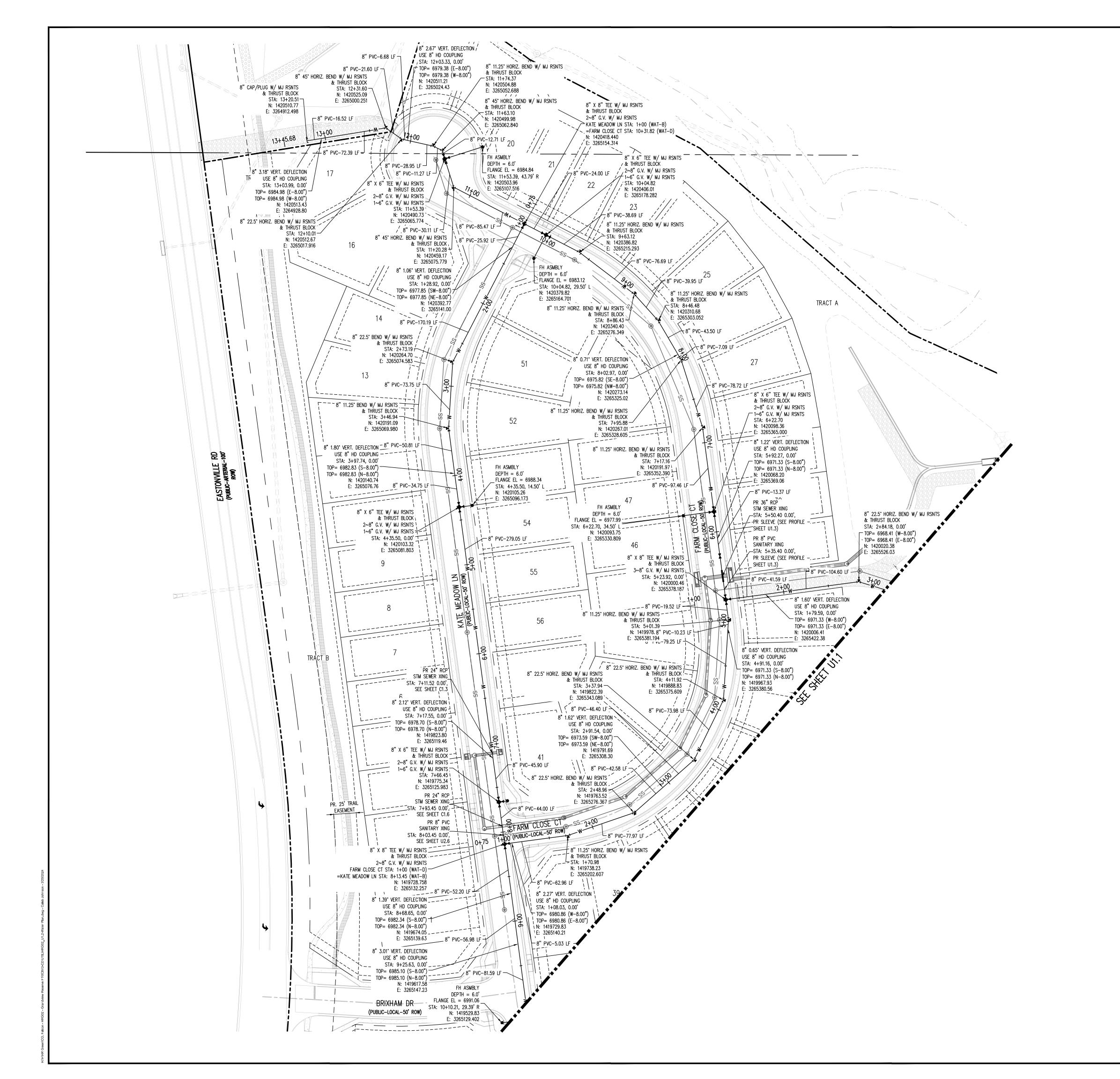
Date Issue / Description

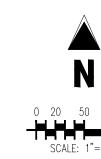
JDM, BLB, CJM BAS, CMWJ 03/15/2024

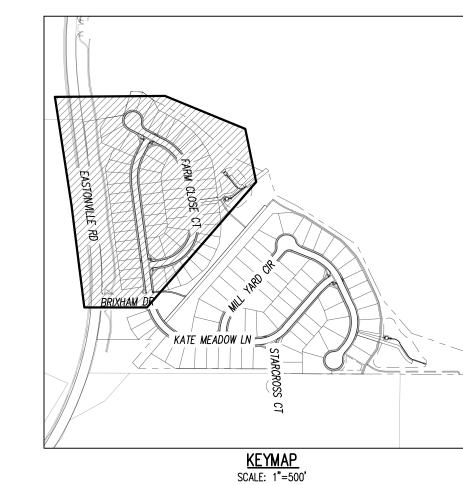
WATER PLAN

Call before you dig.

Sheet 5 of 23







UTILITY LEGEND

	EXISTING WATER LINE
W	PROPOSED WATER LINE
— — — SS— — —	EXISTING SANITARY SEWER
SS	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
SD SD SD SD	PROPOSED STORM SEWER
— — — G— — —	EXISTING GAS LINE
———G———	PROPOSED GAS LINE
\psi	EXISTING STREET LIGHT
=	PROPOSED STREET LIGHT
•	PROPOSED WATER METER
, wy	EXISTING WATER VALVE
M	PROPOSED WATER VALVE
776	EXISTING FIRE HYDRANT
₩	PROPOSED FIRE HYDRANT
(SD)	EXISTING STORM SEWER MANHOLE
(a)	PROPOSED STORM SEWER MANHOLE
\$3	EXISTING SANITARY SEWER MANHOLE
	PROPOSED SANITARY SEWER MANHOLE

SITE LEGEND

SITE LEGEND	
	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	RIGHT OF WAY BOUNDARY LINE
	SECTION LINE
	EXISTING ADJACENT LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	ROAD CENTERLINE
	PROPOSED RIDGE LINE
	PROPOSED SWALE LINE
	EXISTING SWALE LINE
— — —100YR— — —100YR—	FLOODPLAIN BOUNDARY
	EXISTING FLOOD ZONE
	EXISTING FLOOD ZONE SETBACK
	PROPOSED CURB AND GUTTER
	EXISTING CURB AND GUTTER
	PROPOSED SIDEWALK
	PROPOSED TRAIL
	PROPOSED GRAVEL PER ECM TABLE D-7
	RIPRAP OUTFALL PADS
	EXISTING SIGN

1. ALL WATER MAINS SHALL BE NO CLOSER THAN FIVE FEET (5') TO EDGE OF CONCRETE

PROPOSED SIGN

PROPOSED CONCRETE

EXISTING CONCRETE

- CUR AND/OR GUTTER. 2. WATER MAINS SHALL BE DESIGNED FOR A MINIMUM OF FIVE FEET SIX INCHES (5'-6") AND A MAXIMUM OF SIX FEET SIX INCHES (6'-6") OF COVER, EXCEPT WHERE ANOTHER UTILITY CAUSES A CONFLICT, IN WHICH CASE THE WATER MAIN SHALL BE LOWERED AS
- NECESSARY. 3. A VALVE SHALL ALWAYS BE PROVIDED WHERE A MAIN WILL BE EXTENDED IN THE FUTURE TO FACILITATE CONNECTING TO THE EXISTING MAIN WITHOUT DISRUPTING SERVICE. THERE SHALL BE A TWENTY FOOT (20') STUB PAST THE VALVE TO FACILITATE EASE OF
- 4. CONTRACTOR TO READ AND BECOME FAMILIAR WITH THE WOODMEN HILLS METROPOLITAN DISTRICT WATER AND WASTEWATER SYSTEM STANDARD SPECIFICATIONS CRITERIA MANUAL AND DETAILS PRIOR TO BEGINNING CONSTRUCTION.

CAUTION - NOTICE TO CONTRACTOR

THE ENGINEER PRIOR TO CONSTRUCTION.

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below.



ENGINEER PRIOR TO CONSTRUCTION. \mathbb{C} a \mathbb{H} before you dig. 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO

1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719.900.7220 GallowayUS.com

COPYRIGHT THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

America's Builder

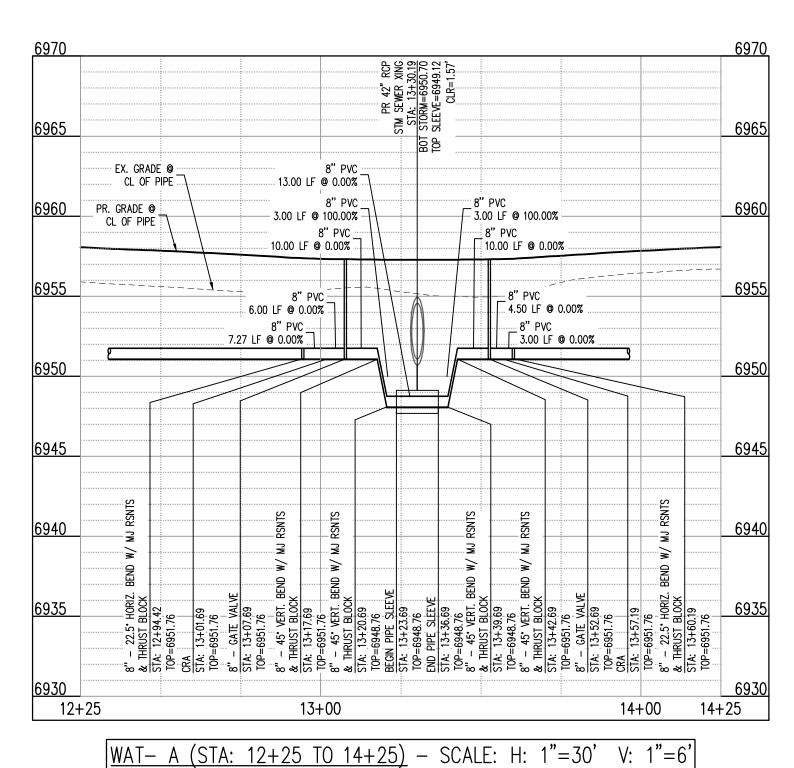
TRUCTION RESERVE I ES, INC.

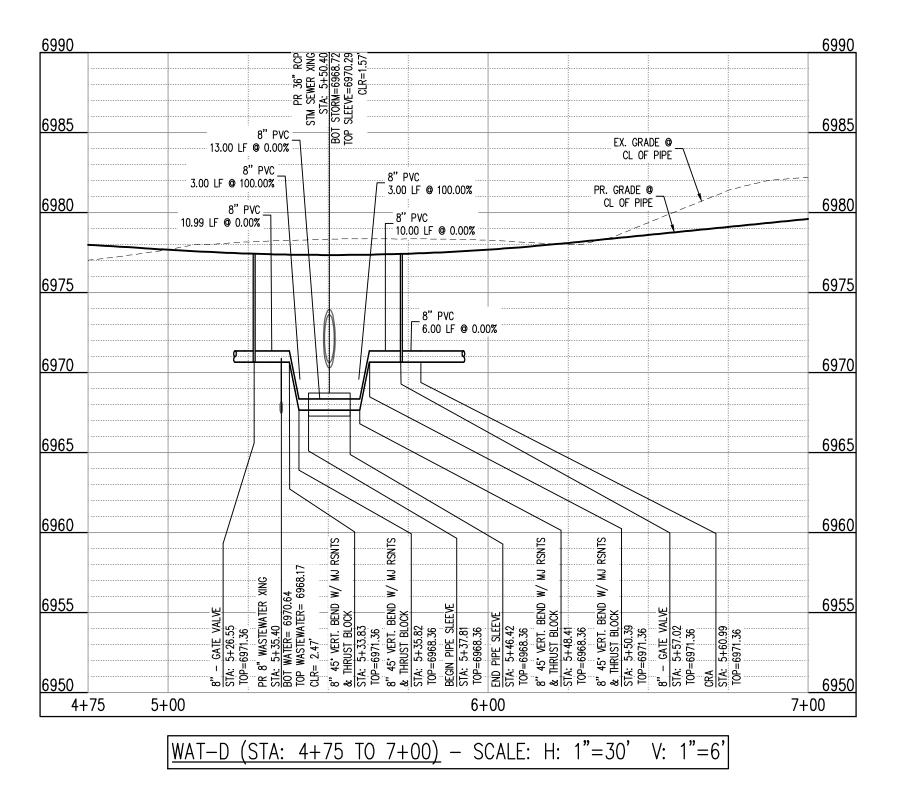
Date Issue / Description

_		
_		
_	 	
-		
_		
_		
_	 	

JDM, BLB, CJM BAS, CMWJ 03/15/2024 WATER PLAN

Sheet 6 of 23







UTILITY LEGEND	
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER
SS	PROPOSED SANITARY SEWER
= s <u>D</u> = - <u>s</u> D = <u>s</u> D = =	EXISTING STORM SEWER
SD	PROPOSED STORM SEWER
— — G— — —	EXISTING GAS LINE
G	PROPOSED GAS LINE
\$	EXISTING STREET LIGHT
	PROPOSED STREET LIGHT
•	PROPOSED WATER METER
WV	EXISTING WATER VALVE
×	PROPOSED WATER VALVE
770	EXISTING FIRE HYDRANT
₩	PROPOSED FIRE HYDRANT
SD	EXISTING STORM SEWER MANHOLE
	PROPOSED STORM SEWER MANHOLE
\$3	EXISTING SANITARY SEWER MANHOLE
_	

PROPOSED SANITARY SEWER MANHOLE

SITE	ΙF
	ᆫ

	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	RIGHT OF WAY BOUNDARY LINE
	SECTION LINE
	EXISTING ADJACENT LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	ROAD CENTERLINE
	PROPOSED RIDGE LINE
— ⋯ ←	PROPOSED SWALE LINE
	EXISTING SWALE LINE
- — — —100YR— — —100YR—	FLOODPLAIN BOUNDARY
	EXISTING FLOOD ZONE
	EXISTING FLOOD ZONE SETBACK
	PROPOSED CURB AND GUTTER
	EXISTING CURB AND GUTTER
	PROPOSED SIDEWALK
	PROPOSED TRAIL
	PROPOSED GRAVEL PER ECM TABLE D-7
	RIPRAP OUTFALL PADS
	EXISTING SIGN
	PROPOSED SIGN

1. ALL WATER MAINS SHALL BE NO CLOSER THAN FIVE FEET (5') TO EDGE OF CONCRETE

PROPOSED CONCRETE EXISTING CONCRETE

- CUR AND/OR GUTTER. 2. WATER MAINS SHALL BE DESIGNED FOR A MINIMUM OF FIVE FEET SIX INCHES (5'-6") AND A MAXIMUM OF SIX FEET SIX INCHES (6'-6") OF COVER, EXCEPT WHERE ANOTHER UTILITY CAUSES A CONFLICT, IN WHICH CASE THE WATER MAIN SHALL BE LOWERED AS NECESSARY.
- 3. A VALVE SHALL ALWAYS BE PROVIDED WHERE A MAIN WILL BE EXTENDED IN THE FUTURE TO FACILITATE CONNECTING TO THE EXISTING MAIN WITHOUT DISRUPTING SERVICE. THERE SHALL BE A TWENTY FOOT (20') STUB PAST THE VALVE TO FACILITATE EASE OF CONNECTION.
- 4. CONTRACTOR TO READ AND BECOME FAMILIAR WITH THE WOODMEN HILLS METROPOLITAN DISTRICT WATER AND WASTEWATER SYSTEM STANDARD SPECIFICATIONS CRITERIA MANUAL AND DETAILS PRIOR TO BEGINNING CONSTRUCTION.

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below.



ENGINEER PRIOR TO CONSTRUCTION. \mathbb{C} \mathbb{G} \mathbb{H} before you dig. 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719.900.7220 GallowayUS.com

COPYRIGHT THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.



UTILITY CONSTRUCTION PLAN GRANDVIEW RESERVE FILING MELODY HOMES, INC. SF2311

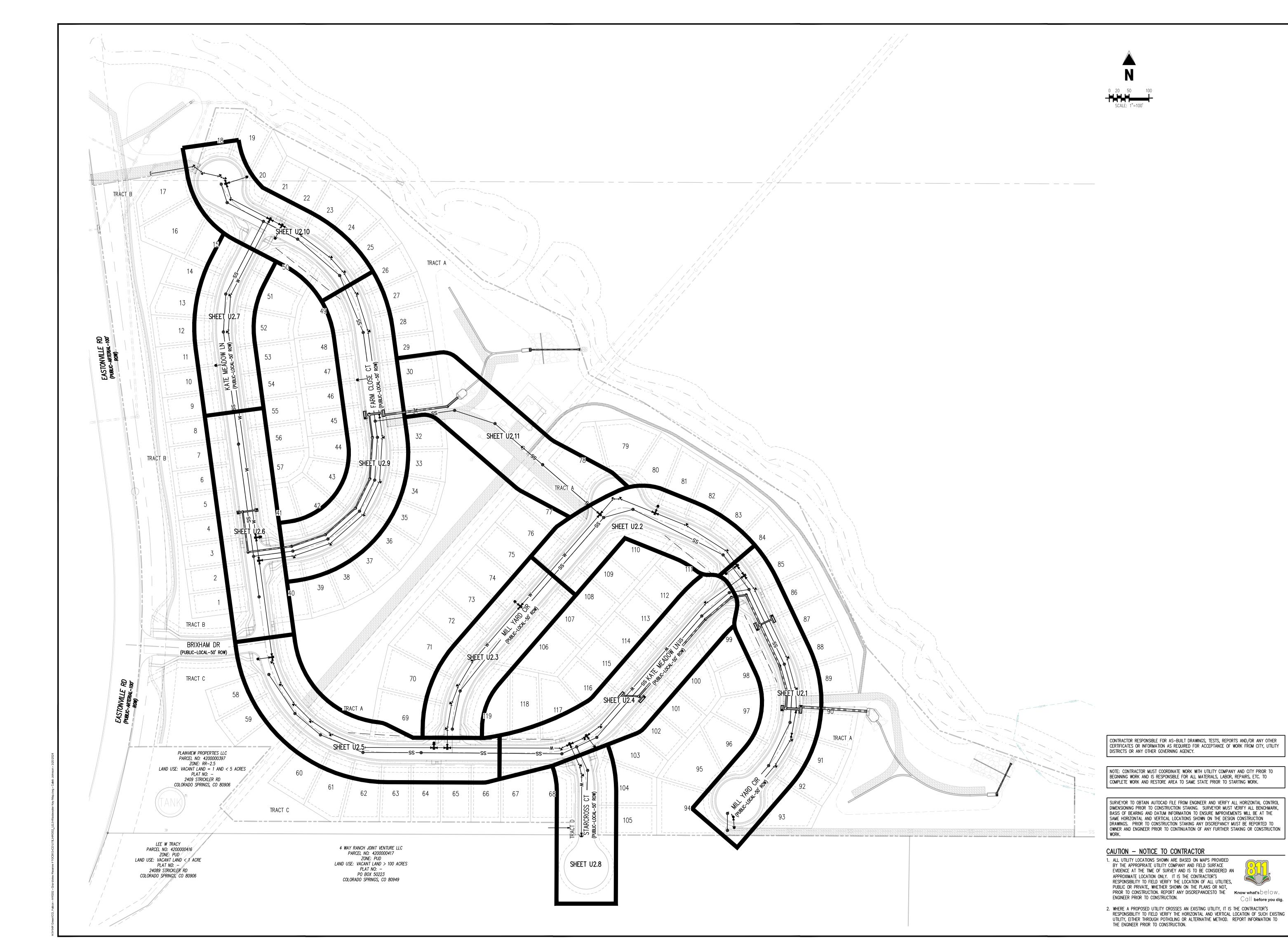
Date Issue / Description Init.

HRG02 JDM, BLB, CJM BAS, CMWJ 03/15/2024

- ____ ___ ___

WATER LOWERING PROFILES

Sheet 7 of 23



Galloway

1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719.900.7220 GallowayUS.com

COPYRIGHT

THESE PLANS ARE AN INSTRUMENT OF SERVICE
AND ARE THE PROPERTY OF GALLOWAY, AND MAY
NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED
WITHOUT THE WRITTEN CONSENT OF GALLOWAY.
COPYRIGHTS AND INFRINGEMENTS WILL BE
ENFORCED AND PROSECUTED.

D·R·HORTON®

America's Builder

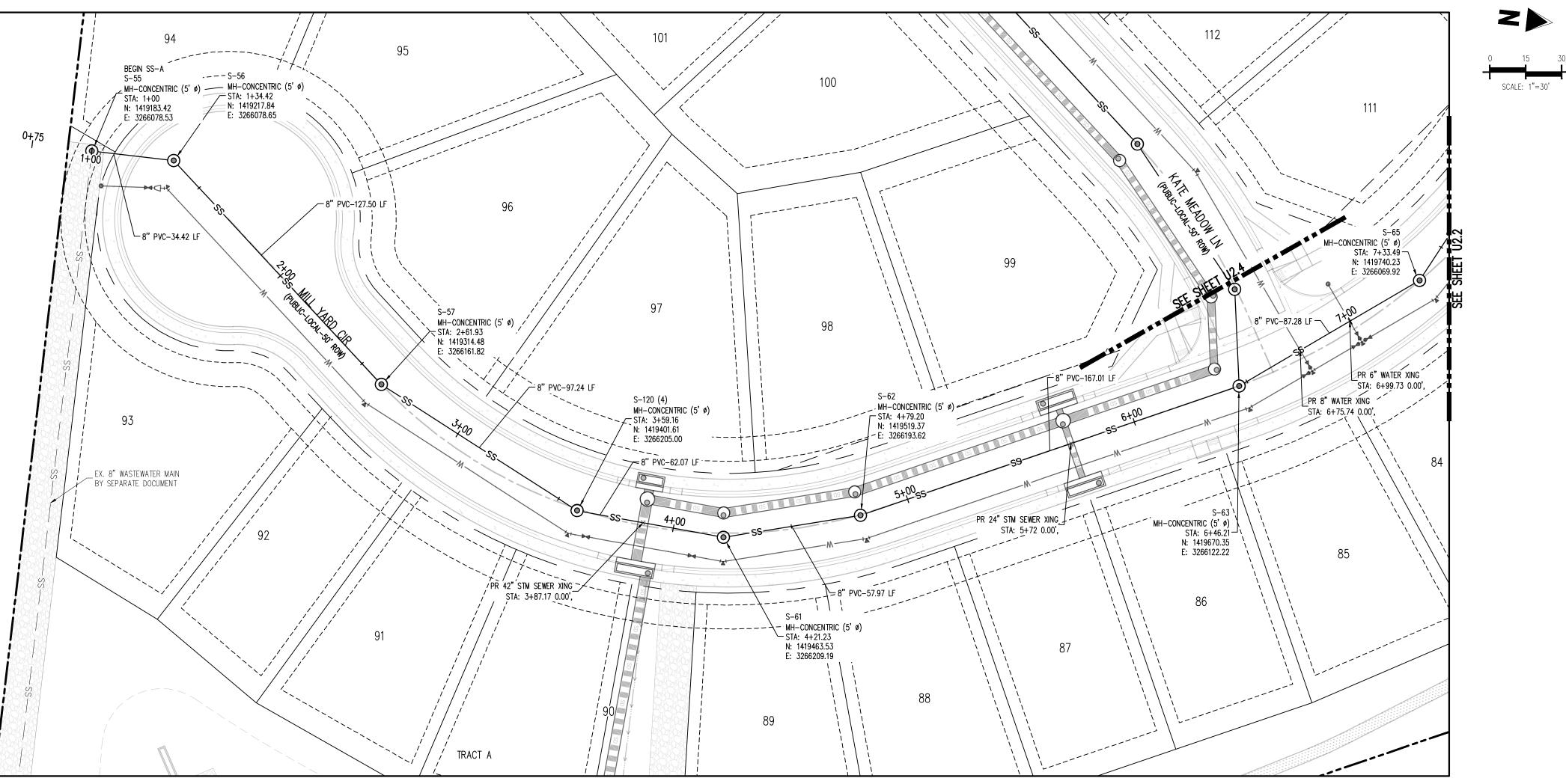
JDM, BLB, CJM BAS, CMWJ

03/15/2024

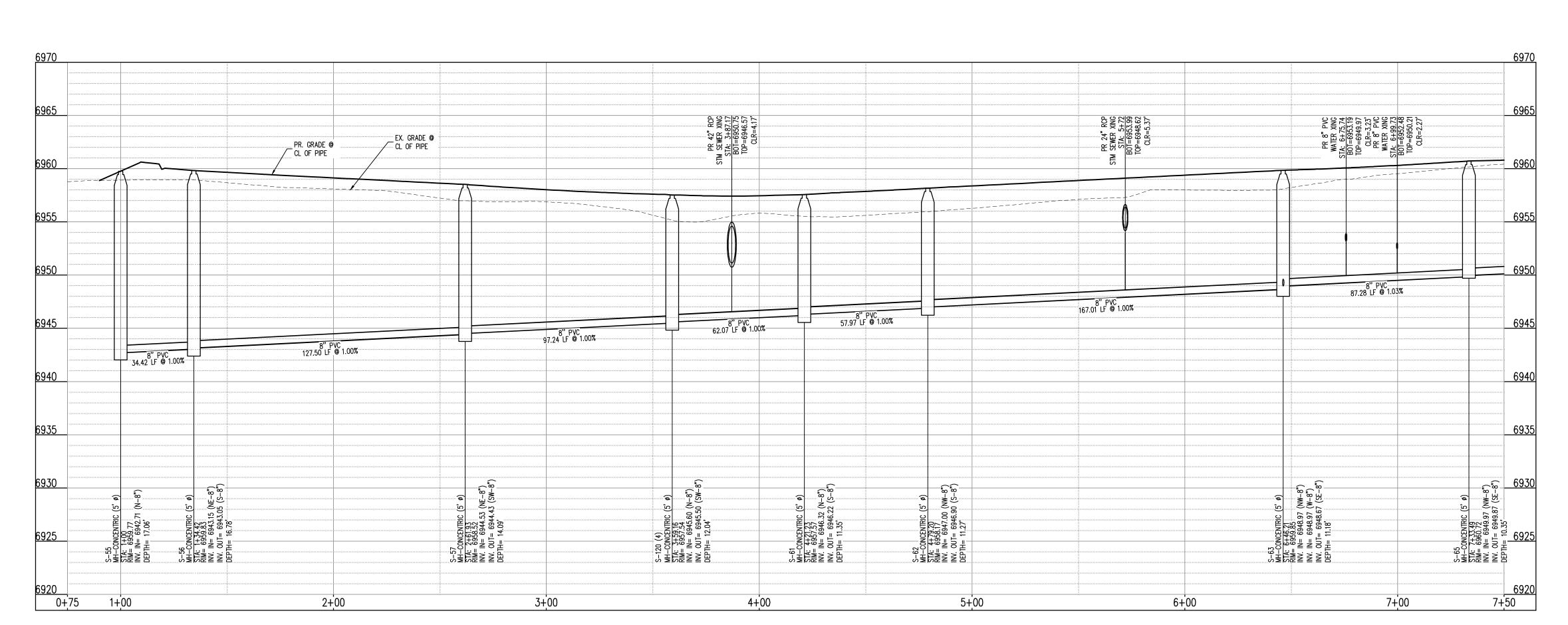
WASTEWATER KEY MAP

 \mathbb{C} a \mathbb{H} before you dig.

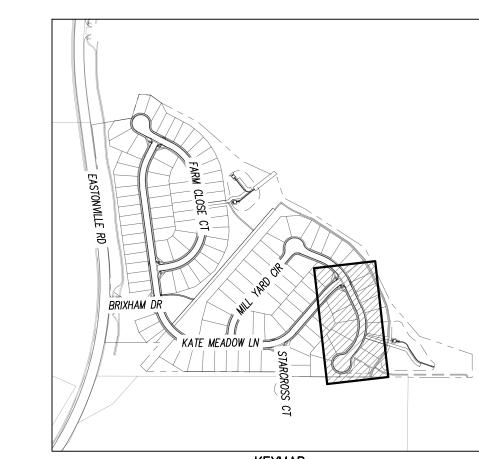
Sheet 8 of 23



SANITARY SEWER LINE PLAN: SS-A (STA: 0+75 - 7+50) SCALE: 1"=30'



SANITARY SEWER LINE PROFILE: SS-A (STA: 0+75 - 7+50) SCALES: HORIZONTAL 1"=30', VERTICAL 1"=6'



KEYMAP SCALE: 1"=500'

UTILITY LEGEND --- --- W--- --- EXISTING WATER LINE PROPOSED WATER LINE EXISTING SANITARY SEWER \equiv SD \equiv \equiv SD \equiv \equiv EXISTING STORM SEWER PROPOSED STORM SEWER — — G— — EXISTING GAS LINE - PROPOSED GAS LINE EXISTING STREET LIGHT

PROPOSED STREET LIGHT PROPOSED WATER METER EXISTING WATER VALVE PROPOSED WATER VALVE EXISTING FIRE HYDRANT PROPOSED FIRE HYDRANT

EXISTING STORM SEWER MANHOLE PROPOSED STORM SEWER MANHOLE EXISTING SANITARY SEWER MANHOLE

PROPOSED SANITARY SEWER MANHOLE

SITE LEGEND PROPERTY BOUNDARY LINE ADJACENT PROPERTY BOUNDARY LINE ----- RIGHT OF WAY BOUNDARY LINE — — — SECTION LINE - EXISTING ADJACENT LOT LINE ---- PROPOSED LOT LINE - - - - - - - EXISTING EASEMENT LINE ----- PROPOSED EASEMENT LINE ROAD CENTERLINE ─── ···· ← EXISTING SWALE LINE - - - - 100YR- - - - 100YR- FLOODPLAIN BOUNDARY — · · · — · · · — · · · — EXISTING FLOOD ZONE EXISTING FLOOD ZONE SETBACK PROPOSED CURB AND GUTTER

PROPOSED TRAIL PROPOSED GRAVEL PER ECM TABLE D-7 \mathbb{I} riprap outfall pads EXISTING SIGN PROPOSED SIGN PROPOSED CONCRETE EXISTING CONCRETE

1. ALL PROPOSED MANHOLES SHALL CONFORM TO WOODMEN HILLS METRO DISTRICT DETAIL

CAUTION - NOTICE TO CONTRACTOR

THE ENGINEER PRIOR TO CONSTRUCTION.

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below.

ENGINEER PRIOR TO CONSTRUCTION. 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO

EXISTING CURB AND GUTTER

PROPOSED SIDEWALK

1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719.900.7220 GallowayUS.com

COPYRIGHT THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

D·R·HORTON

America's Builder

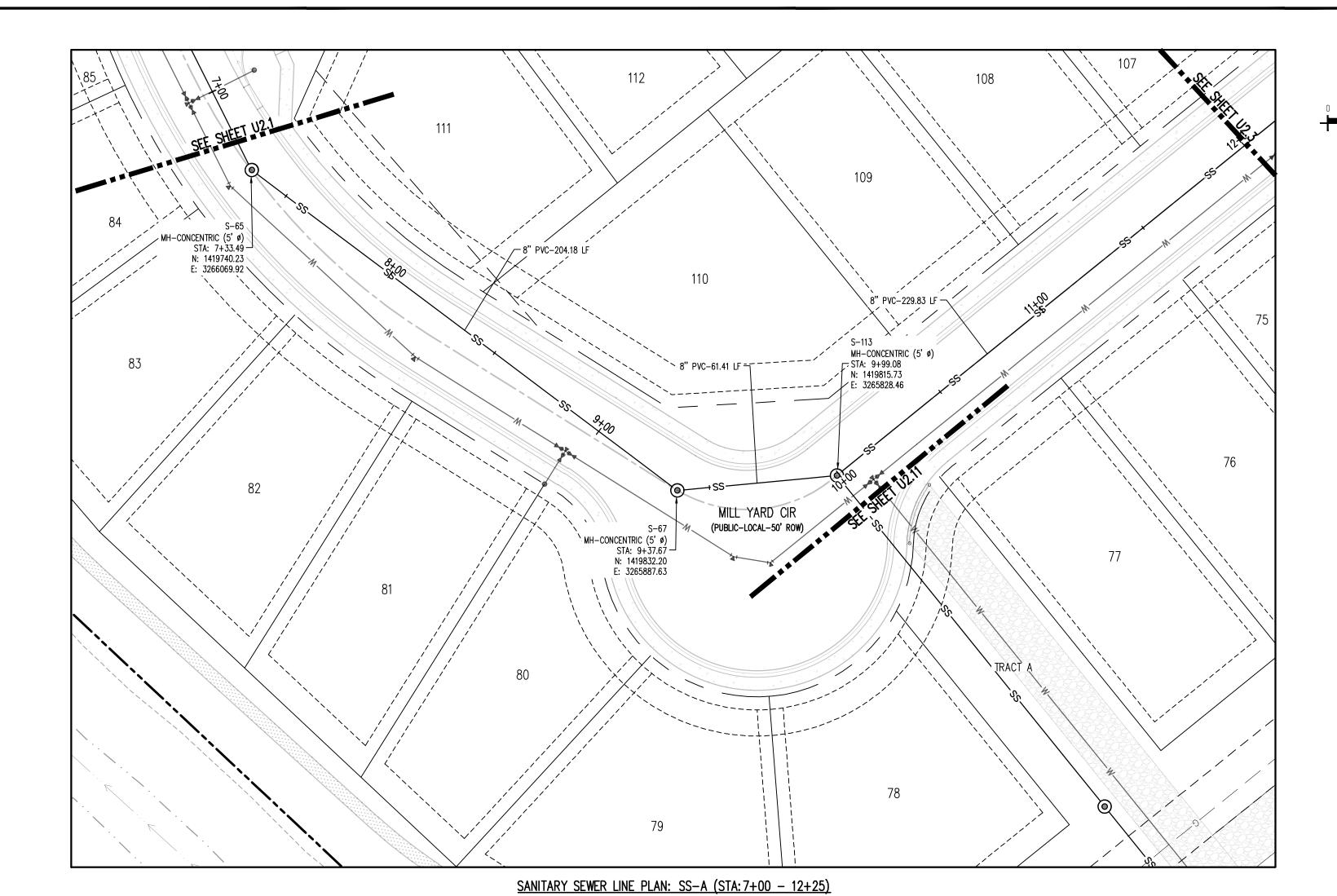
NNS G NO UTILITY CONSTRUCTION PLAN GRANDVIEW RESERVE FILING MELODY HOMES, INC. SF2311 SD,

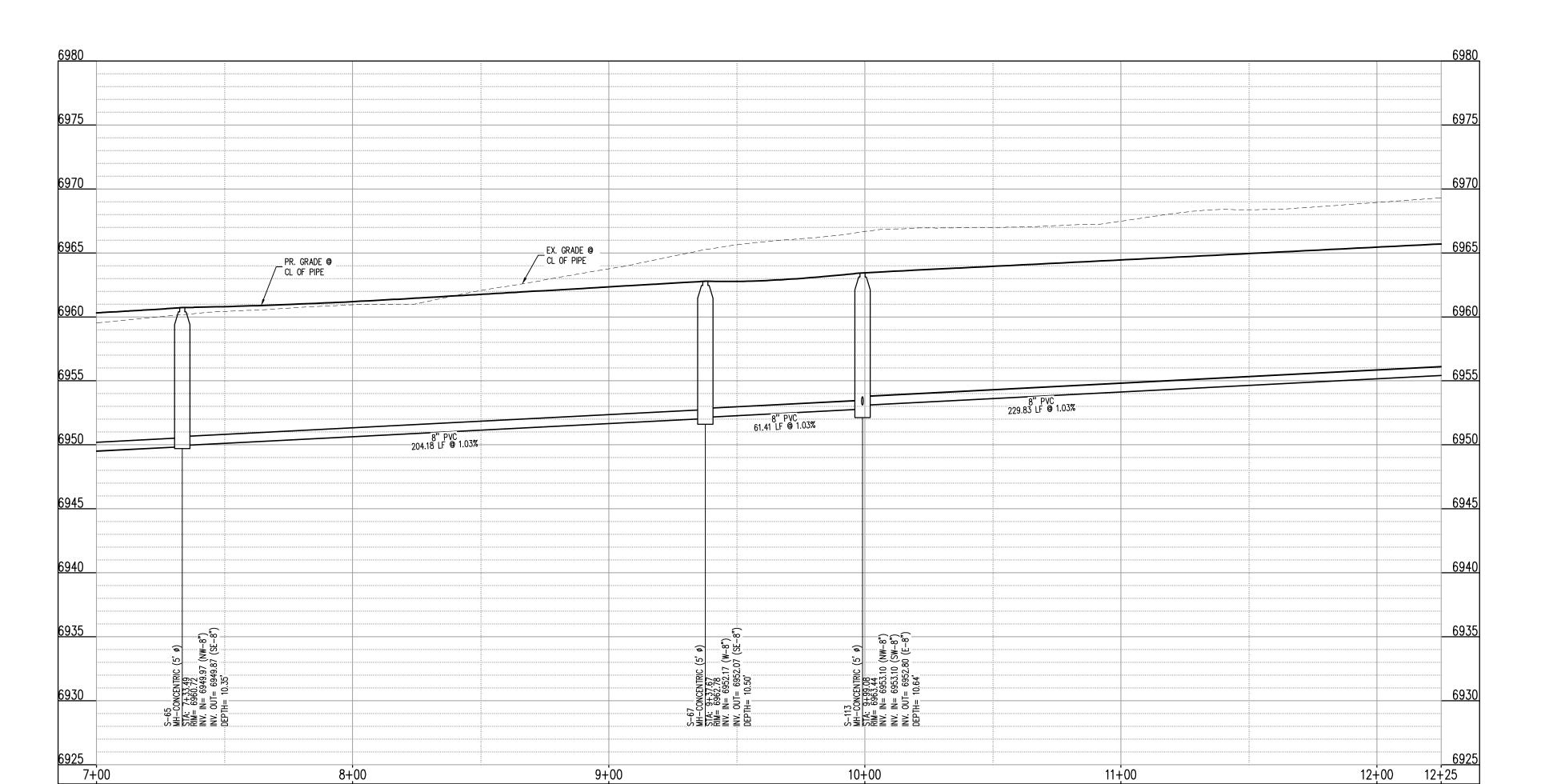
Date Issue / Description

Project No: HRG02 JDM, BLB, CJM BAS, CMWJ 03/15/2024

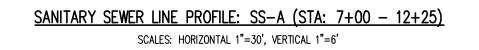
WASTEWATER P&P

Sheet 9 of 23





SCALE: 1"=30'







EXISTING SANITARY SEWER MANHOLE PROPOSED SANITARY SEWER MANHOLE

UTILITY LEGEND \equiv SD= \equiv SD= \equiv EXISTING STORM SEWER PROPOSED STORM SEWER — — G— — EXISTING GAS LINE ----- PROPOSED GAS LINE EXISTING STREET LIGHT PROPOSED STREET LIGHT PROPOSED WATER METER EXISTING WATER VALVE PROPOSED WATER VALVE EXISTING FIRE HYDRANT PROPOSED FIRE HYDRANT EXISTING STORM SEWER MANHOLE PROPOSED STORM SEWER MANHOLE

SITE LEGEND PROPERTY BOUNDARY LINE

	ADJACENT PROPERTY BOUNDARY LINE
	RIGHT OF WAY BOUNDARY LINE
	SECTION LINE
	EXISTING ADJACENT LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	ROAD CENTERLINE
	PROPOSED RIDGE LINE
···←	PROPOSED SWALE LINE
$-\!\!\!\!-\!\!\!\!-\!\!\!\!-\!\!\!\!\!-\!\!\!\!\!-\!\!\!\!\!-\!\!\!\!\!-\!\!\!\!$	EXISTING SWALE LINE
100YR 100YR-	FLOODPLAIN BOUNDARY
	EXISTING FLOOD ZONE
	EXISTING FLOOD ZONE SETBACK
	PROPOSED CURB AND GUTTER
	EXISTING CURB AND GUTTER
A	PROPOSED SIDEWALK
	PROPOSED TRAIL
	PROPOSED GRAVEL PER ECM TABLE D-7
	RIPRAP OUTFALL PADS
	EXISTING SIGN

1. ALL PROPOSED MANHOLES SHALL CONFORM TO WOODMEN HILLS METRO DISTRICT DETAIL

PROPOSED SIGN PROPOSED CONCRETE

EXISTING CONCRETE

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below. ENGINEER PRIOR TO CONSTRUCTION.



 \mathbb{C} a \mathbb{H} before you dig. 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719.900.7220 GallowayUS.com

COPYRIGHT THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

D·R·HORTON

America's Builder

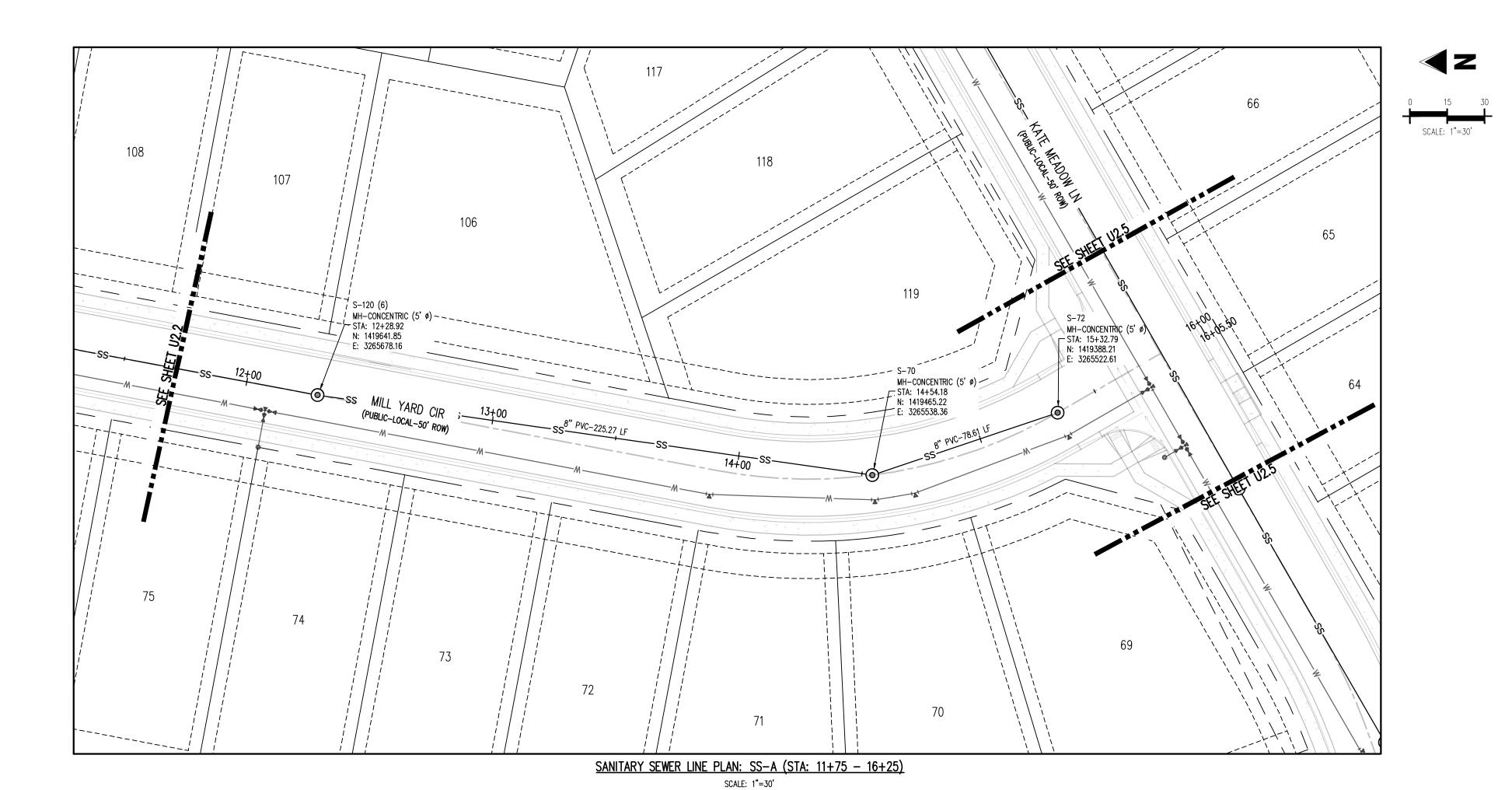
UTILITY CONSTRUCTION PLANGRANDVIEW RESERVE FILING MELODY HOMES, INC.

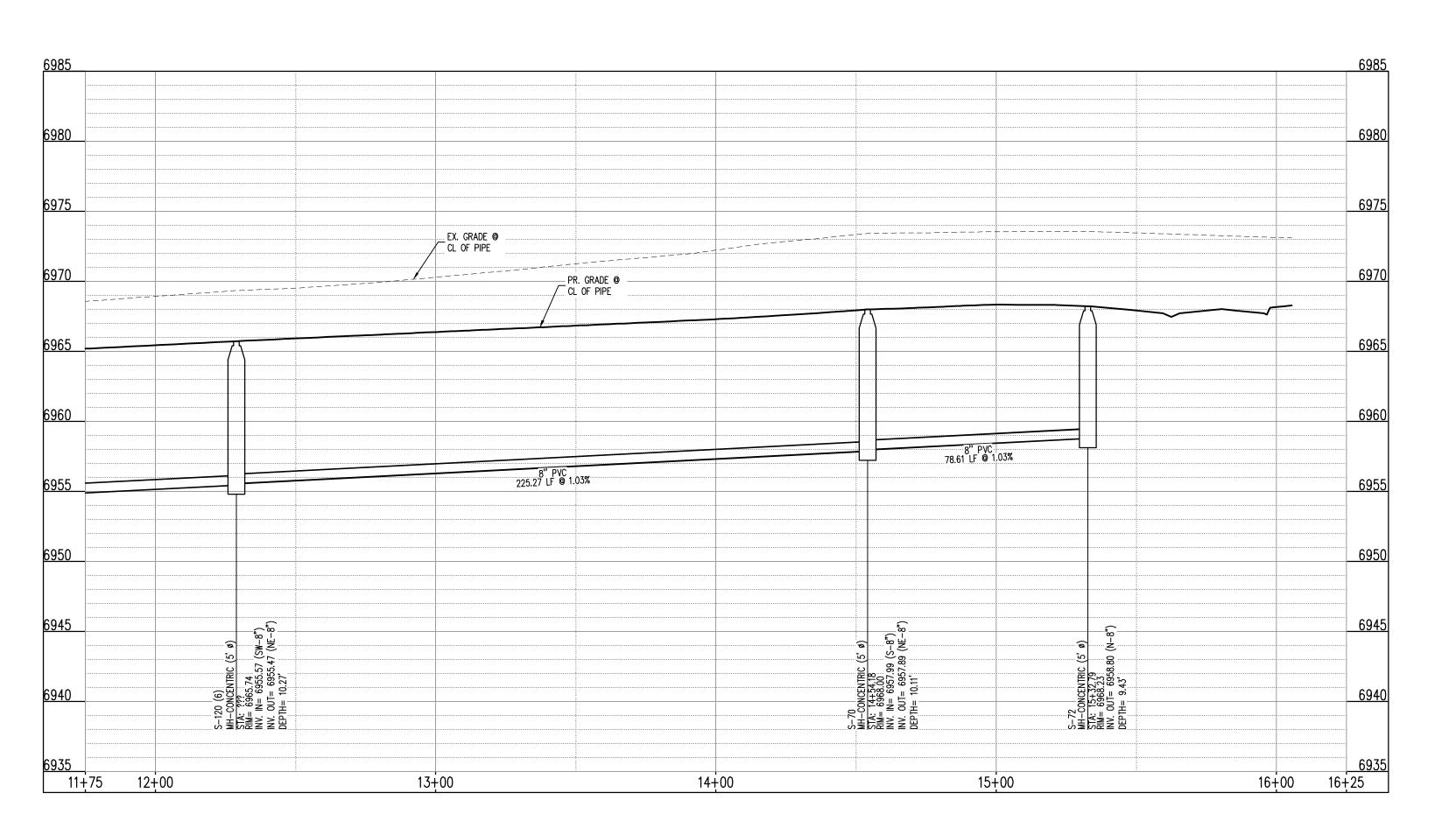
Date Issue / Description

JDM, BLB, CJM BAS, CMWJ 03/15/2024

WASTEWATER P&P

Sheet 10 of 23

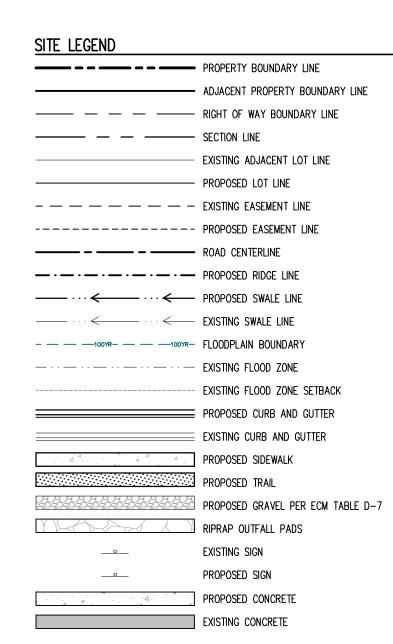




SANITARY SEWER LINE PROFILE: SS-A (STA: 11+75 - 16+25) SCALES: HORIZONTAL 1"=30', VERTICAL 1"=6'

KEYMAP SCALE: 1"=500'

UTILITY LEGEND PROPOSED WATER LINE $\equiv \text{SD-} \equiv -\text{SD} = -\text{SD-} \equiv \equiv \text{EXISTING STORM SEWER}$ PROPOSED STORM SEWER — — G— — EXISTING GAS LINE ---- PROPOSED GAS LINE EXISTING STREET LIGHT PROPOSED STREET LIGHT PROPOSED WATER METER EXISTING WATER VALVE PROPOSED WATER VALVE EXISTING FIRE HYDRANT PROPOSED FIRE HYDRANT EXISTING STORM SEWER MANHOLE PROPOSED STORM SEWER MANHOLE EXISTING SANITARY SEWER MANHOLE PROPOSED SANITARY SEWER MANHOLE



1. ALL PROPOSED MANHOLES SHALL CONFORM TO WOODMEN HILLS METRO DISTRICT DETAIL

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below.



ENGINEER PRIOR TO CONSTRUCTION. 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920

719.900.7220 GallowayUS.com

COPYRIGHT

D·R·HORTON America's Builder

THESE PLANS ARE AN INSTRUMENT OF SERVICE

AND ARE THE PROPERTY OF GALLOWAY, AND MAY

NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED

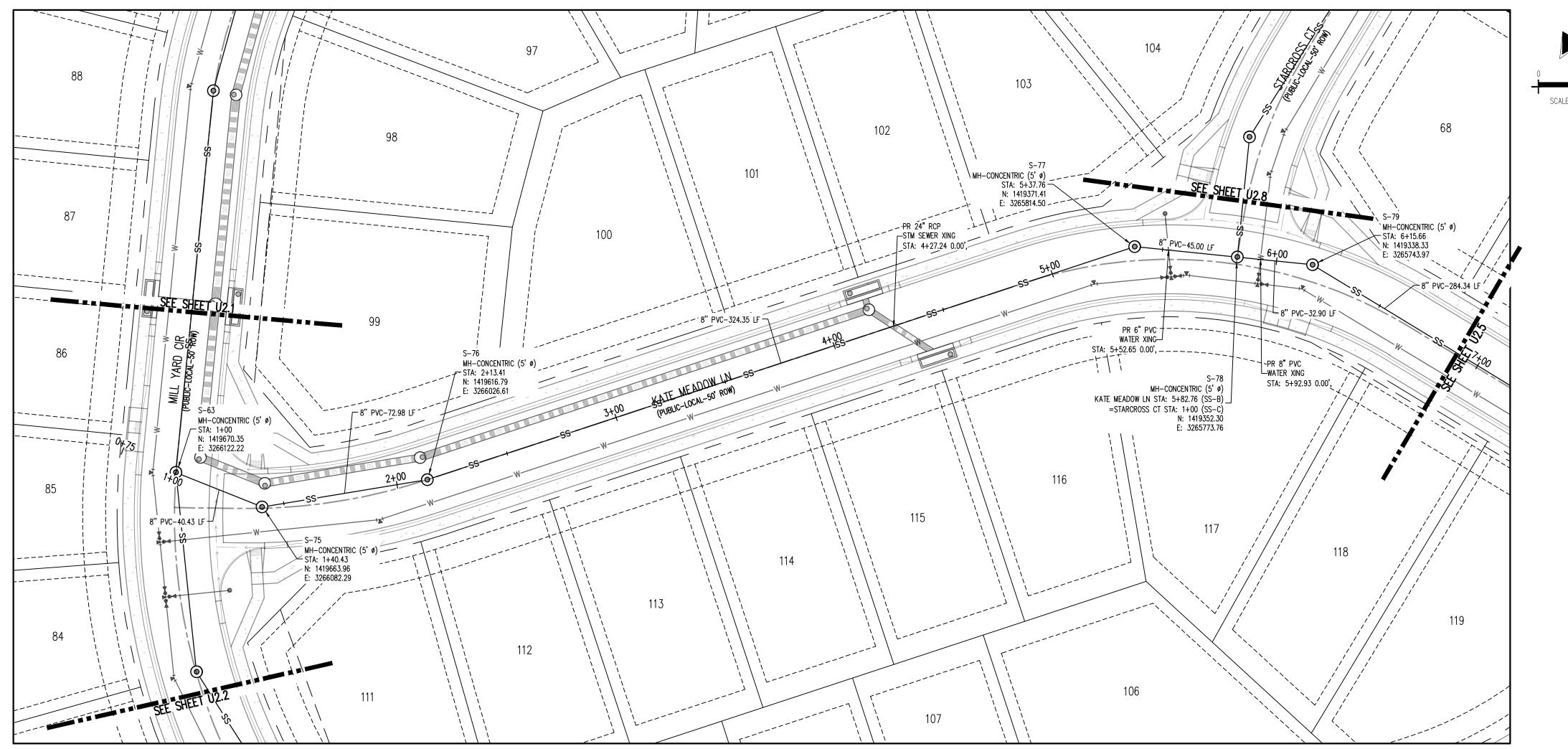
WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

UTILITY CONSTRUCTION PLAN GRANDVIEW RESERVE FILING MELODY HOMES, INC. SF2311

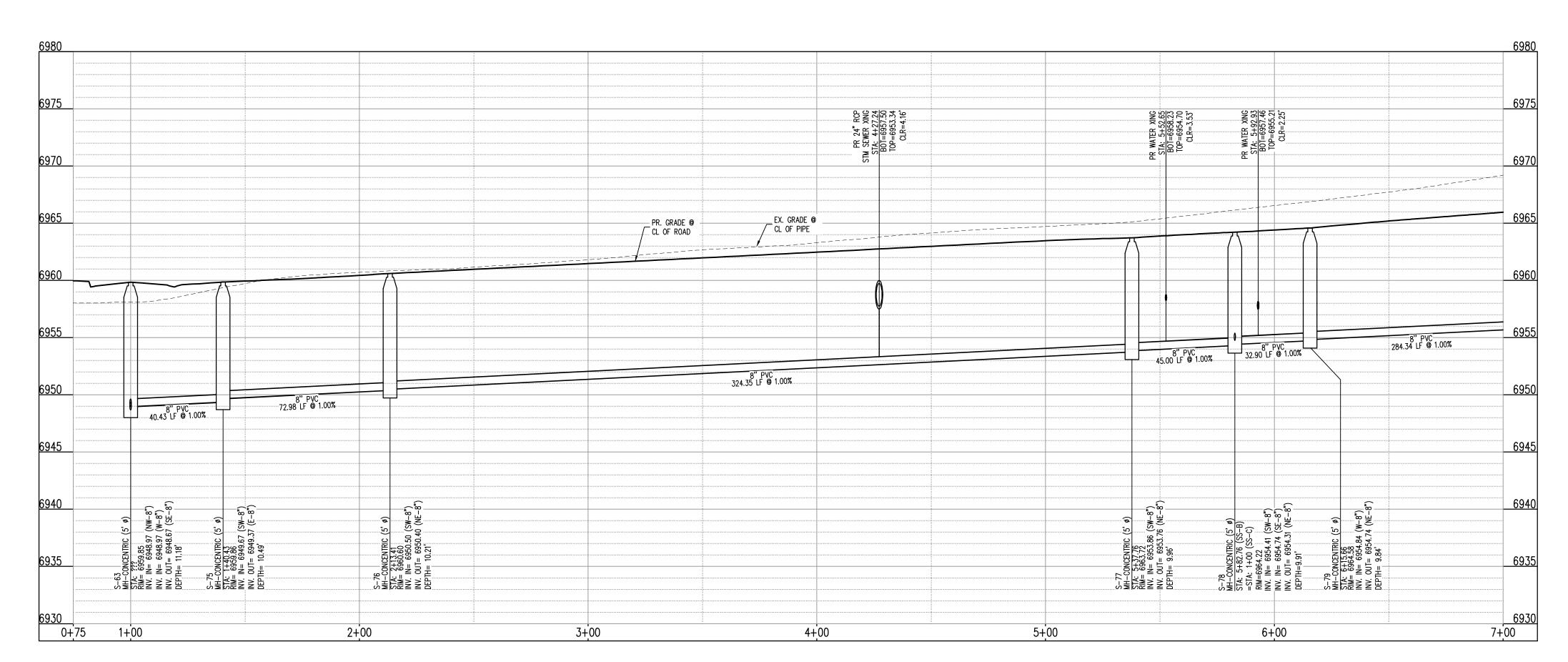
Date Issue / Description

JDM, BLB, CJM BAS, CMWJ 03/15/2024 WASTEWATER P&P

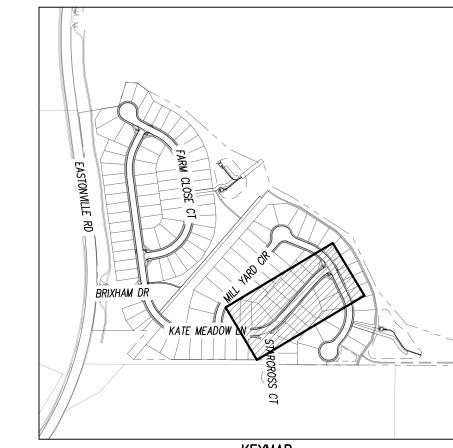
Sheet 11 of 23



SANITARY SEWER LINE PLAN: SS-B (STA: 0+75 - 7+00) SCALE: 1"=30'



SANITARY SEWER LINE PROFILE: SS-B (STA: 0+75 - 7+00) SCALES: HORIZONTAL 1"=30', VERTICAL 1"=6'



KEYMAP SCALE: 1"=500'

UTILITY LEGEND	
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER
SS	PROPOSED SANITARY SEWER
= s <u>D- = -s</u> D = <u>\$D- =</u> =	EXISTING STORM SEWER
SD SD SD SD	PROPOSED STORM SEWER
— — G— — —	EXISTING GAS LINE
G	PROPOSED GAS LINE
.⇔	EXISTING STREET LIGHT
	PROPOSED STREET LIGHT
®	PROPOSED WATER METER
₩ <u>V</u>	EXISTING WATER VALVE
×	PROPOSED WATER VALVE
***	EXISTING FIRE HYDRANT
\forall	PROPOSED FIRE HYDRANT
SD	EXISTING STORM SEWER MANHOLE
©	PROPOSED STORM SEWER MANHOLE
\$3	EXISTING SANITARY SEWER MANHOLE
©	PROPOSED SANITARY SEWER MANHOLE

SITE LEGEND

	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	RIGHT OF WAY BOUNDARY LINE
	SECTION LINE
	EXISTING ADJACENT LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	ROAD CENTERLINE
	PROPOSED RIDGE LINE
	PROPOSED SWALE LINE
	EXISTING SWALE LINE
100YR 100YR-	FLOODPLAIN BOUNDARY
	EXISTING FLOOD ZONE
	EXISTING FLOOD ZONE SETBACK
	PROPOSED CURB AND GUTTER
	EXISTING CURB AND GUTTER
	PROPOSED SIDEWALK
	PROPOSED TRAIL
	PROPOSED GRAVEL PER ECM TABLE [
	RIPRAP OUTFALL PADS
	EXISTING SIGN

1. ALL PROPOSED MANHOLES SHALL CONFORM TO WOODMEN HILLS METRO DISTRICT DETAIL WW-2

PROPOSED SIGN PROPOSED CONCRETE EXISTING CONCRETE

CAUTION - NOTICE TO CONTRACTOR

 ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below. ENGINEER PRIOR TO CONSTRUCTION.

 \mathbb{C} \mathbb{G} before you dig. 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719.900.7220 GallowayUS.com

COPYRIGHT THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY.

COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

D·R·HORTON

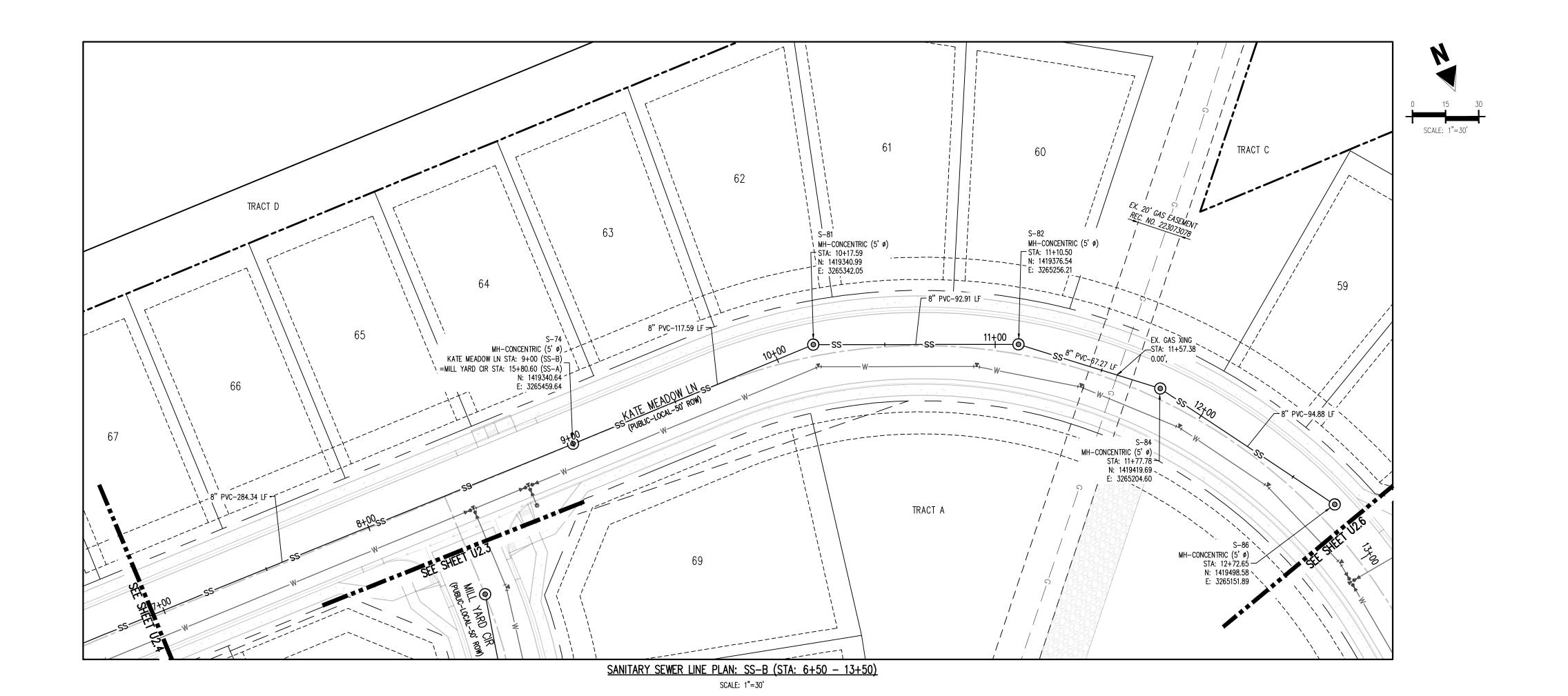
America's Builder

UTILITY CONSTRUCTION PLANGRANDVIEW RESERVE FILING MELODY HOMES, INC.

Date Issue / Description

JDM, BLB, CJM BAS, CMWJ 03/15/2024 WASTEWATER P&P

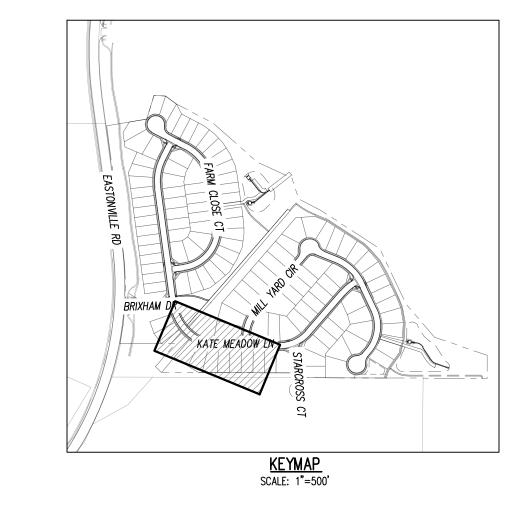
Sheet 12 of 23



EXISTING UTILITY CROSSING DEPTHS ARE ASSUMED CONTRACTOR TO FIELD VERIFY

11+00

12 + 00



UTILITY LEGEND — — W— — EXISTING WATER LINE \equiv SD \equiv \equiv SD \equiv \equiv EXISTING STORM SEWER PROPOSED STORM SEWER — — G— — EXISTING GAS LINE ---- PROPOSED GAS LINE EXISTING STREET LIGHT PROPOSED STREET LIGHT PROPOSED WATER METER EXISTING WATER VALVE PROPOSED WATER VALVE EXISTING FIRE HYDRANT PROPOSED FIRE HYDRANT EXISTING STORM SEWER MANHOLE PROPOSED STORM SEWER MANHOLE EXISTING SANITARY SEWER MANHOLE PROPOSED SANITARY SEWER MANHOLE

SITE LEGEND PROPERTY BOUNDARY LINE ADJACENT PROPERTY BOUNDARY LINE ----- RIGHT OF WAY BOUNDARY LINE - - - - - - - EXISTING EASEMENT LINE ---- PROPOSED EASEMENT LINE ROAD CENTERLINE ——···← PROPOSED SWALE LINE —— ···· ← EXISTING SWALE LINE - - - - 100YR- - - - 100YR- FLOODPLAIN BOUNDARY — · · · — · · · — · · · — EXISTING FLOOD ZONE PROPOSED GRAVEL PER ECM TABLE D-7 6945 13+50

13+00

1. ALL PROPOSED MANHOLES SHALL CONFORM TO WOODMEN HILLS METRO DISTRICT DETAIL

- EXISTING ADJACENT LOT LINE

- EXISTING FLOOD ZONE SETBACK

EXISTING CURB AND GUTTER

PROPOSED SIDEWALK PROPOSED TRAIL

RIPRAP OUTFALL PADS EXISTING SIGN PROPOSED SIGN PROPOSED CONCRETE EXISTING CONCRETE

PROPOSED CURB AND GUTTER

PROPOSED LOT LINE

CAUTION - NOTICE TO CONTRACTOR 1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT,

PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below. \mathbb{C} a \mathbb{H} before you dig.

ENGINEER PRIOR TO CONSTRUCTION. 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

SANITARY SEWER LINE PROFILE: SS-B (STA: 6+50 - 13+50) SCALES: HORIZONTAL 1"=30', VERTICAL 1"=6'

10+00

EX. GRADE @

8" PVC 284.34 LF @ 1.00%

8+00

6+50

7+00

PR. GRADE © CL OF PIPE

9+00

UTILITY CONSTRUCTION PLAN GRANDVIEW RESERVE FILING MELODY HOMES, INC. SF2311

1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920

719.900.7220 GallowayUS.com

COPYRIGHT

THESE PLANS ARE AN INSTRUMENT OF SERVICE

WITHOUT THE WRITTEN CONSENT OF GALLOWAY.

D·R·HORTON

America's Builder

COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

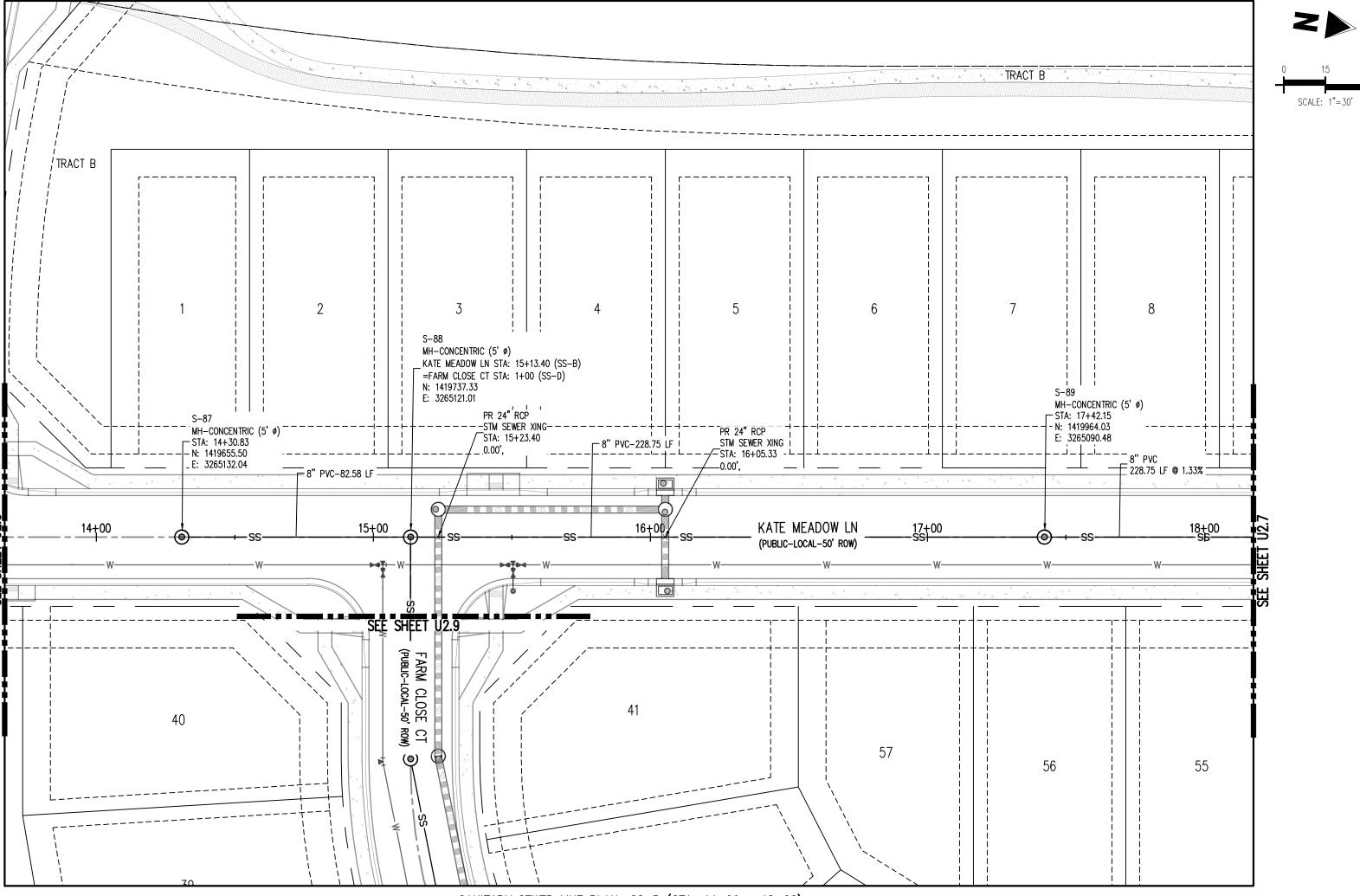
AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED

Date Issue / Description

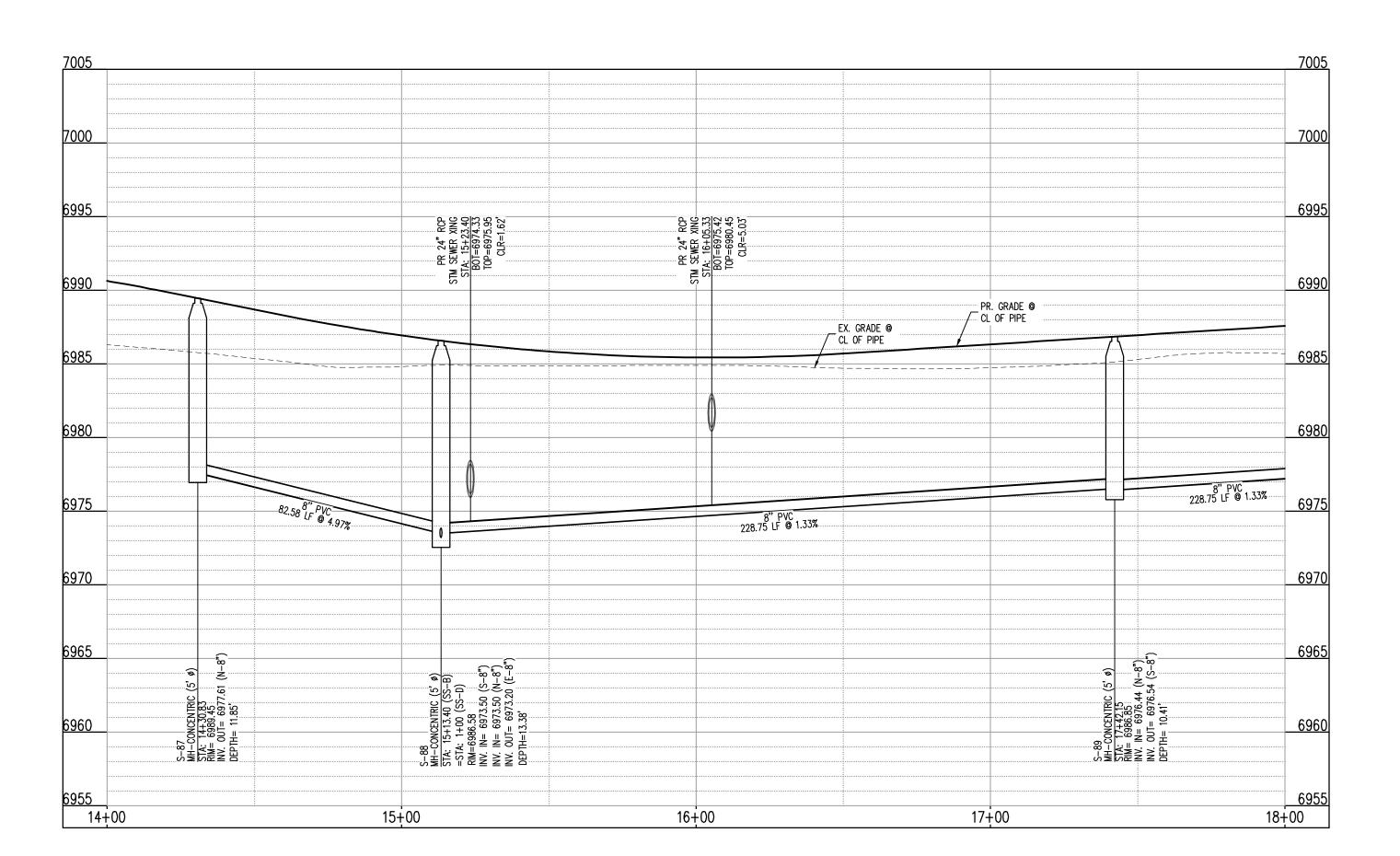
JDM, BLB, CJM BAS, CMWJ 03/15/2024

WASTEWATER P&P

Sheet 13 of 23

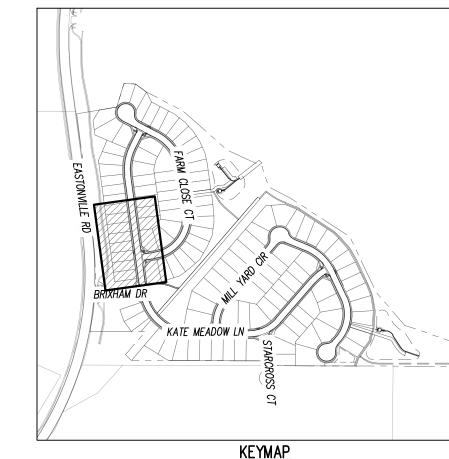


SANITARY SEWER LINE PLAN: SS-B (STA: 14+00 - 18+00) SCALE: 1"=30'



SANITARY SEWER LINE PROFILE: SS-B (STA: 14+00 - 18+00)

SCALES: HORIZONTAL 1"=30', VERTICAL 1"=6'



KEYMAP SCALE: 1"=500'

UTILITY LEGEND	
	EXISTING WATER LINE
w	PROPOSED WATER LINE
ss	EXISTING SANITARY SEWER
SS	PROPOSED SANITARY SEWER
= s <u>D</u> - = - <u>s</u> D = <u>\$D</u> - = =	EXISTING STORM SEWER
SD SD SD SD	PROPOSED STORM SEWER
— — — G— — —	EXISTING GAS LINE
G	PROPOSED GAS LINE
\dagger	EXISTING STREET LIGHT
	PROPOSED STREET LIGHT
•	PROPOSED WATER METER
×	EXISTING WATER VALVE
×	PROPOSED WATER VALVE
X	EXISTING FIRE HYDRANT
\forall	PROPOSED FIRE HYDRANT
(30)	EXISTING STORM SEWER MANHOLE
©	PROPOSED STORM SEWER MANHOLE
\$3	EXISTING SANITARY SEWER MANHOLE
(PROPOSED SANITARY SEWER MANHOLE

SITE LEGEND

	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LIN
	RIGHT OF WAY BOUNDARY LINE
	SECTION LINE
	EXISTING ADJACENT LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	ROAD CENTERLINE
	PROPOSED RIDGE LINE
	PROPOSED SWALE LINE
	EXISTING SWALE LINE
- — — —100YR- — — —100YR-	FLOODPLAIN BOUNDARY
	EXISTING FLOOD ZONE
	EXISTING FLOOD ZONE SETBACK
	PROPOSED CURB AND GUTTER
	EXISTING CURB AND GUTTER
	PROPOSED SIDEWALK
	PROPOSED TRAIL
	PROPOSED GRAVEL PER ECM TABLE
	RIPRAP OUTFALL PADS
	EXISTING SIGN
	PROPOSED SIGN

1. ALL PROPOSED MANHOLES SHALL CONFORM TO WOODMEN HILLS METRO DISTRICT DETAIL

PROPOSED CONCRETE EXISTING CONCRETE

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below. ENGINEER PRIOR TO CONSTRUCTION.

 \mathbb{C} a \mathbb{H} before you dig.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719.900.7220 GallowayUS.com

COPYRIGHT THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

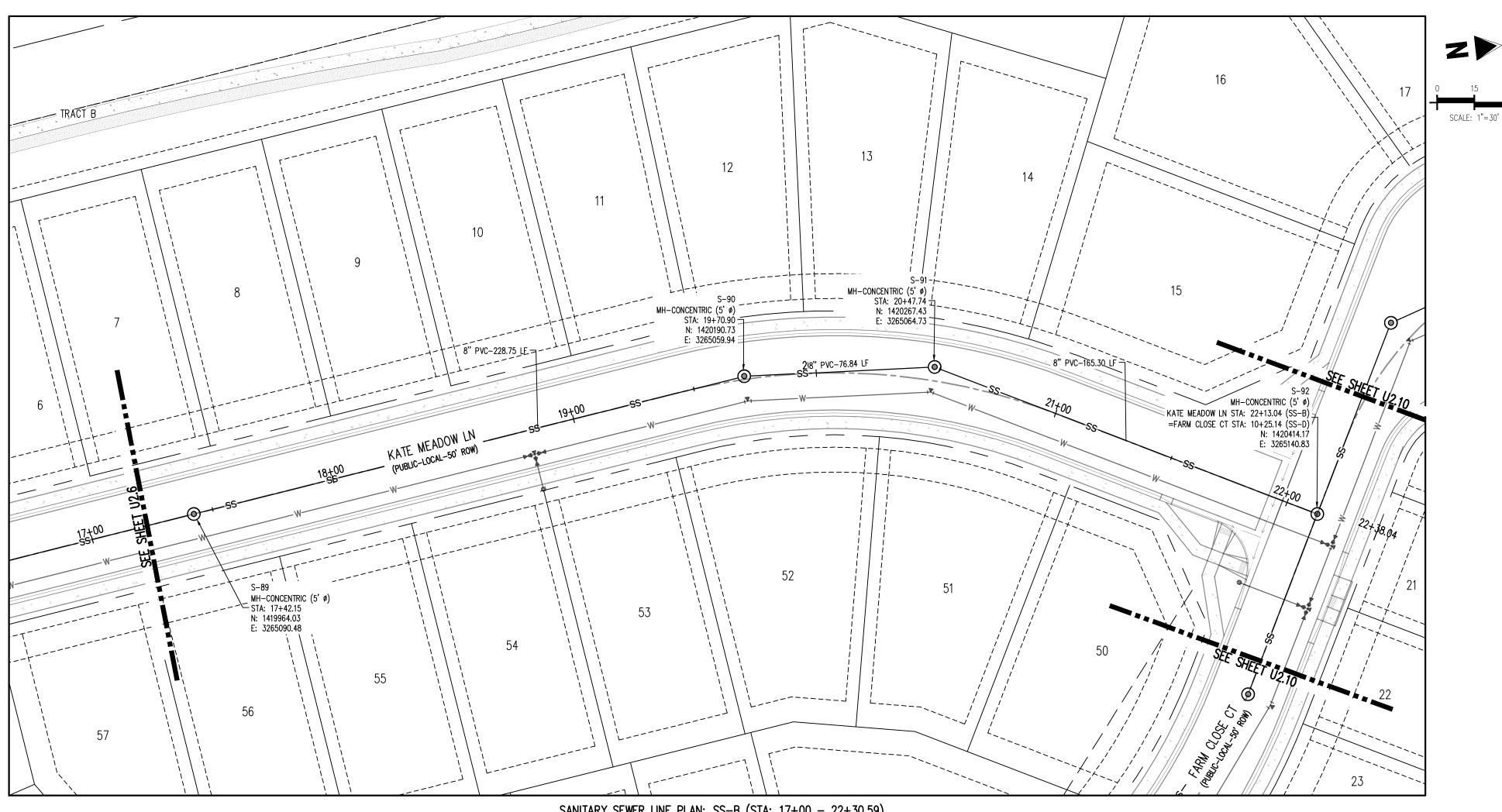
America's Builder

Date Issue / Description

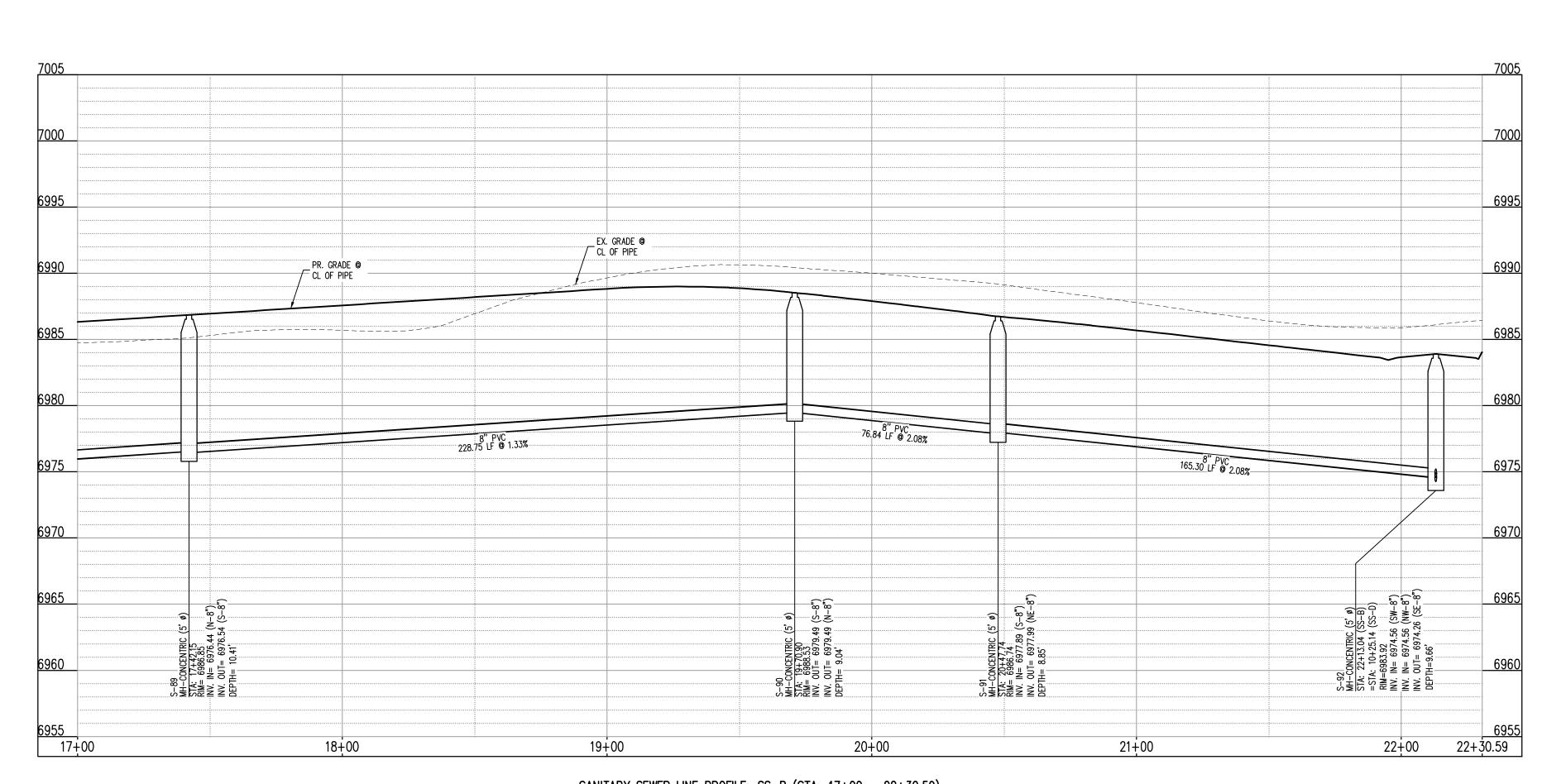
JDM, BLB, CJM BAS, CMWJ 03/15/2024

WASTEWATER P&P

Sheet 14 of 23

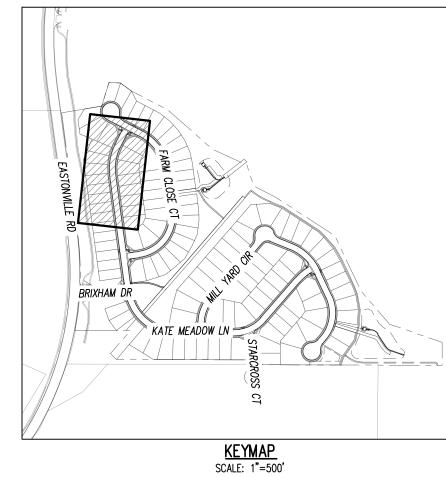


SANITARY SEWER LINE PLAN: SS-B (STA: 17+00 - 22+30.59) SCALE: 1"=30'



SANITARY SEWER LINE PROFILE: SS-B (STA: 17+00 - 22+30.59)

SCALES: HORIZONTAL 1"=30', VERTICAL 1"=6'



UTILITY LEGEND	
	EXISTING WATER LINE
w	PROPOSED WATER LINE
SS	EXISTING SANITARY SEWER
SS	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
SD	PROPOSED STORM SEWER
— — — G— — —	EXISTING GAS LINE
G	PROPOSED GAS LINE
\$	EXISTING STREET LIGHT
	PROPOSED STREET LIGHT
•	PROPOSED WATER METER
, wy	EXISTING WATER VALVE
H	PROPOSED WATER VALVE
A.	EXISTING FIRE HYDRANT
\forall	PROPOSED FIRE HYDRANT
SD	EXISTING STORM SEWER MANHOLE
	PROPOSED STORM SEWER MANHOLE
\$3	EXISTING SANITARY SEWER MANHOLE
(PROPOSED SANITARY SEWER MANHOLE

SITE LEGEND

DIE LEGEND	
	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY L
	RIGHT OF WAY BOUNDARY LINE
	SECTION LINE
	EXISTING ADJACENT LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	ROAD CENTERLINE
	PROPOSED RIDGE LINE
	PROPOSED SWALE LINE
	EXISTING SWALE LINE
- — — —100YR— — —100YR—	FLOODPLAIN BOUNDARY
	EXISTING FLOOD ZONE
	EXISTING FLOOD ZONE SETBACK
	PROPOSED CURB AND GUTTER
	EXISTING CURB AND GUTTER
	PROPOSED SIDEWALK
	PROPOSED TRAIL
	PROPOSED GRAVEL PER ECM TABL
	RIPRAP OUTFALL PADS

1. ALL PROPOSED MANHOLES SHALL CONFORM TO WOODMEN HILLS METRO DISTRICT DETAIL WW-2

EXISTING SIGN PROPOSED SIGN PROPOSED CONCRETE EXISTING CONCRETE

CAUTION - NOTICE TO CONTRACTOR

 ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below. ENGINEER PRIOR TO CONSTRUCTION.



Call before you dig. 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719.900.7220 GallowayUS.com

COPYRIGHT THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY
NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED
WITHOUT THE WRITTEN CONSENT OF GALLOWAY.
COPYRIGHTS AND INFRINGEMENTS WILL BE
ENFORCED AND PROSECUTED.

D·R·HORTON

America's Builder

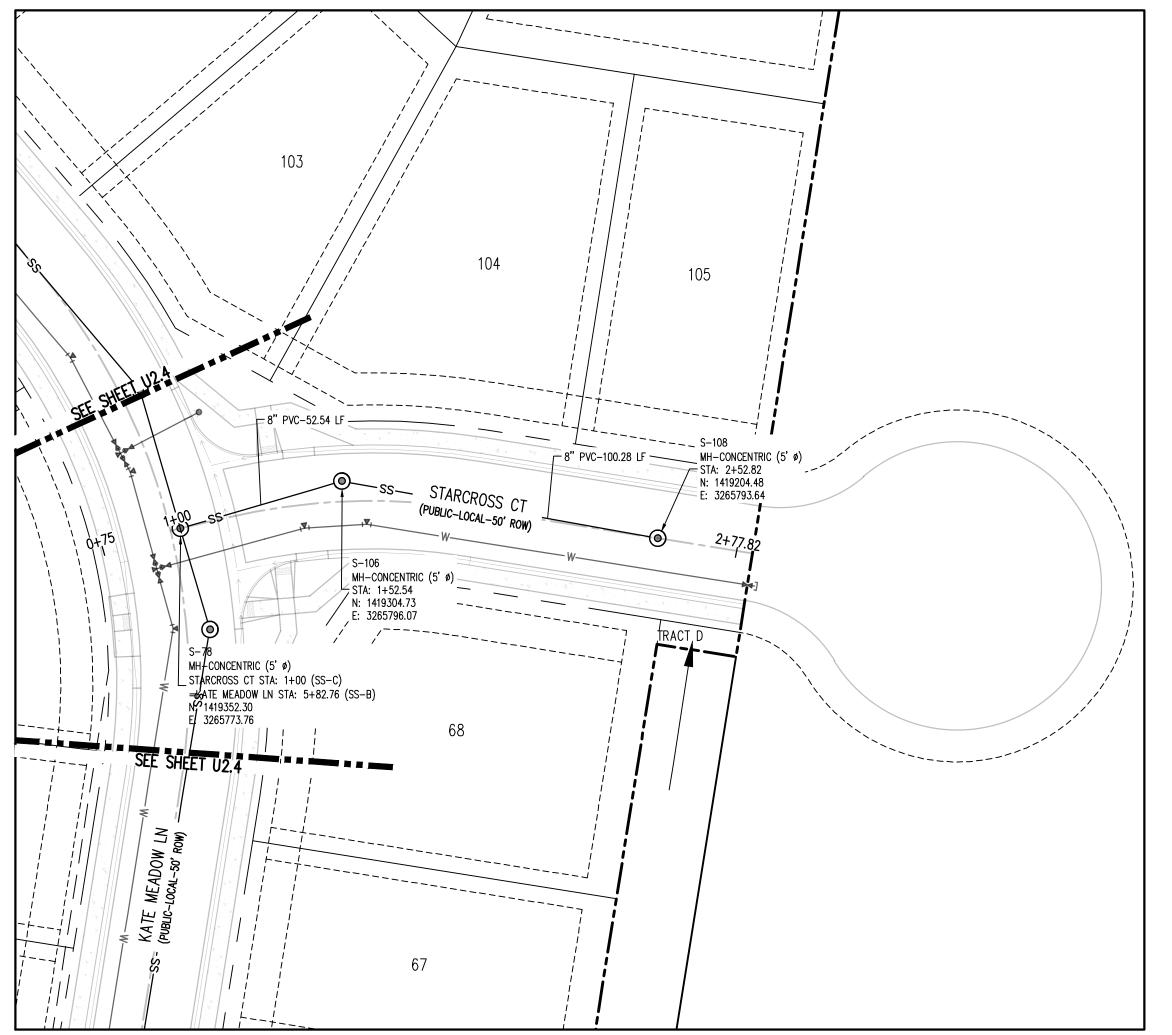
UTILITY CONSTRUCTION PLAN GRANDVIEW RESERVE FILING MELODY HOMES, INC. SF2311 # Date Issue / Description

-			
_			
_			
_			
_			
_			
_			
_		-	
Pro	ject No:		HRG

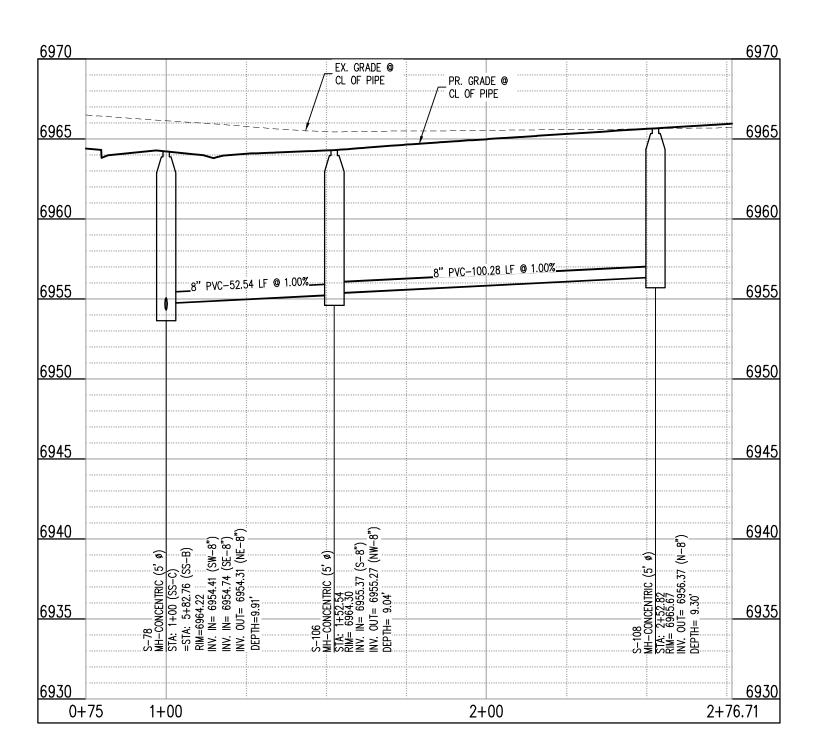
JDM, BLB, CJM BAS, CMWJ 03/15/2024

WASTEWATER P&P

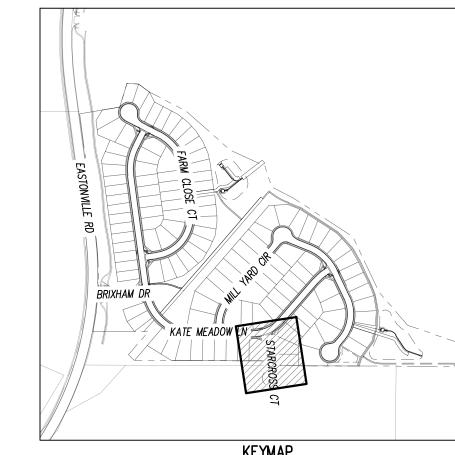
Sheet 15 of 23



SANITARY SEWER LINE PLAN: SS-C (STA: 0+75 - 2+26.71) SCALE: 1"=30'



SANITARY SEWER LINE PROFILE: SS-C (STA: 0+75 - 2+26.71) SCALES: HORIZONTAL 1"=30', VERTICAL 1"=6'



****2

KEYMAP SCALE: 1"=500'

UTILITY LEGEND	
	EXISTING WATER LINE
W	PROPOSED WATER LINE
ss	EXISTING SANITARY SEWER
ss	PROPOSED SANITARY SEWER
<u> </u>	EXISTING STORM SEWER
SD	PROPOSED STORM SEWER
— — — G— — —	EXISTING GAS LINE
G	PROPOSED GAS LINE
\dot	EXISTING STREET LIGHT
	PROPOSED STREET LIGHT
•	PROPOSED WATER METER
×	EXISTING WATER VALVE
H	PROPOSED WATER VALVE
	EXISTING FIRE HYDRANT
*	PROPOSED FIRE HYDRANT
<u></u>	EXISTING STORM SEWER MANHOLE
©	PROPOSED STORM SEWER MANHOLE
\$3	EXISTING SANITARY SEWER MANHOLE
©	PROPOSED SANITARY SEWER MANHOLE

SITE LEGEND	
	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	RIGHT OF WAY BOUNDARY LINE
	SECTION LINE
	EXISTING ADJACENT LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	ROAD CENTERLINE
	PROPOSED RIDGE LINE
 ··· ←	PROPOSED SWALE LINE
	EXISTING SWALE LINE
100YR 100YR-	FLOODPLAIN BOUNDARY
	EXISTING FLOOD ZONE
	EXISTING FLOOD ZONE SETBACK
	PROPOSED CURB AND GUTTER
	EXISTING CURB AND GUTTER
	PROPOSED SIDEWALK
	PROPOSED TRAIL
	PROPOSED GRAVEL PER ECM TABLE D-7
	RIPRAP OUTFALL PADS
	EXISTING SIGN
	PROPOSED SIGN
4	PROPOSED CONCRETE

1. ALL PROPOSED MANHOLES SHALL CONFORM TO WOODMEN HILLS METRO DISTRICT DETAIL WW-2

EXISTING CONCRETE

CAUTION - NOTICE TO CONTRACTOR

 ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below. ENGINEER PRIOR TO CONSTRUCTION.

 \mathbb{C} a \mathbb{H} before you dig.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719.900.7220

GallowayUS.com

COPYRIGHT THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

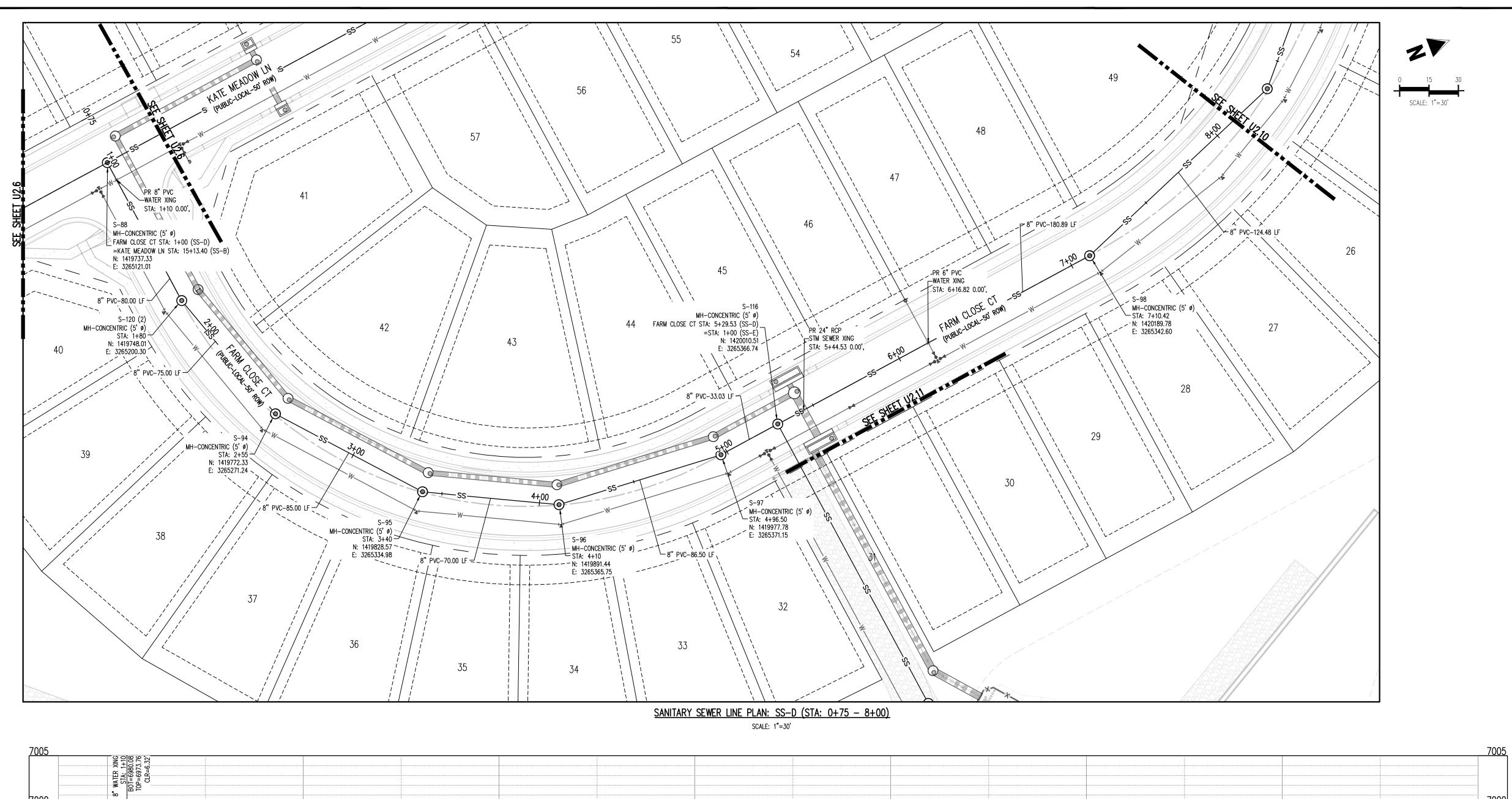
D·R·HORTON America's Builder

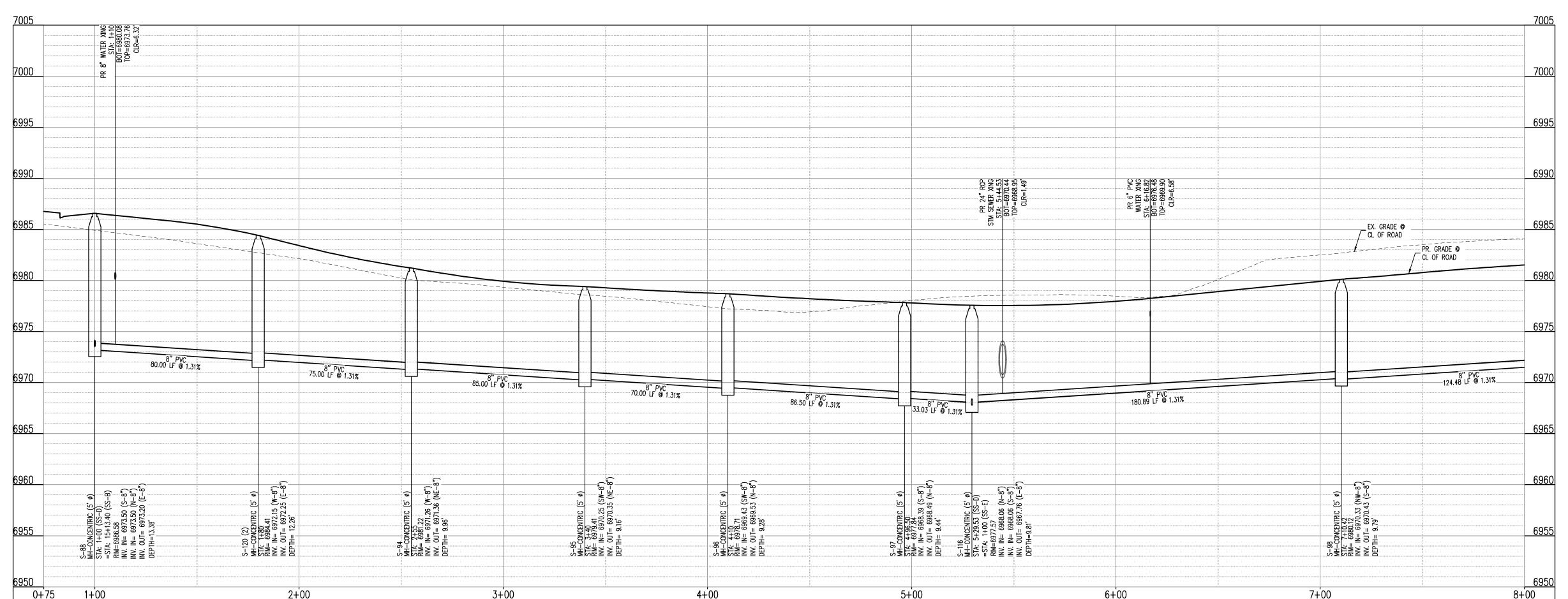
Date Issue / Description Init.

JDM, BLB, CJM BAS, CMWJ 03/15/2024

WASTEWATER P&P

Sheet 16 of 23

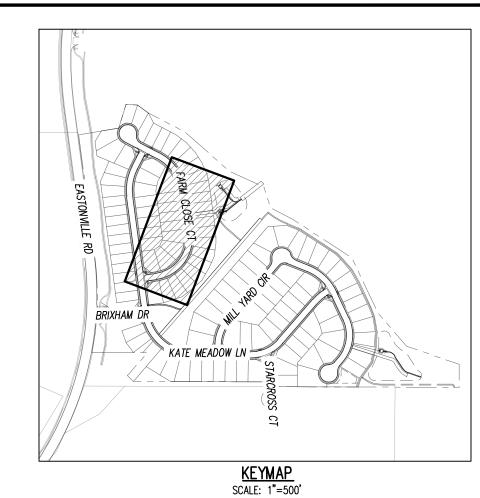




SANITARY SEWER LINE PROFILE: SS-D (STA: 0+75 - 8+00) SCALES: HORIZONTAL 1"=30', VERTICAL 1"=6'

0 + 75

1+00



UTILITY LEGEND — — W— — EXISTING WATER LINE PROPOSED WATER LINE PROPOSED SANITARY SEWER \equiv SD \equiv \equiv EXISTING STORM SEWER SD SD SD PROPOSED STORM SEWER — — G— — EXISTING GAS LINE — PROPOSED GAS LINE EXISTING STREET LIGHT PROPOSED STREET LIGHT PROPOSED WATER METER EXISTING WATER VALVE PROPOSED WATER VALVE EXISTING FIRE HYDRANT PROPOSED FIRE HYDRANT EXISTING STORM SEWER MANHOLE PROPOSED STORM SEWER MANHOLE EXISTING SANITARY SEWER MANHOLE

PROPOSED SANITARY SEWER MANHOLE

SITE LEGEND

PROPERTY BOUNDARY LINE ADJACENT PROPERTY BOUNDARY LINE ----- RIGHT OF WAY BOUNDARY LINE ——— — SECTION LINE - EXISTING ADJACENT LOT LINE PROPOSED LOT LINE - - - - - - - EXISTING EASEMENT LINE ---- PROPOSED EASEMENT LINE ROAD CENTERLINE —— ··· ← PROPOSED SWALE LINE ── ··· ← EXISTING SWALE LINE - - - - 100YR- - - - 100YR- FLOODPLAIN BOUNDARY — · · · — · · · — · · · — EXISTING FLOOD ZONE - EXISTING FLOOD ZONE SETBACK PROPOSED CURB AND GUTTER EXISTING CURB AND GUTTER PROPOSED SIDEWALK PROPOSED TRAIL PROPOSED GRAVEL PER ECM TABLE D-7 RIPRAP OUTFALL PADS EXISTING SIGN

1. ALL PROPOSED MANHOLES SHALL CONFORM TO WOODMEN HILLS METRO DISTRICT DETAIL

PROPOSED SIGN

PROPOSED CONCRETE EXISTING CONCRETE

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below.

ENGINEER PRIOR TO CONSTRUCTION. \mathbb{C}_{\square} before you dig. 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920

719.900.7220 GallowayUS.com

COPYRIGHT THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

D·R·HORTON

America's Builder

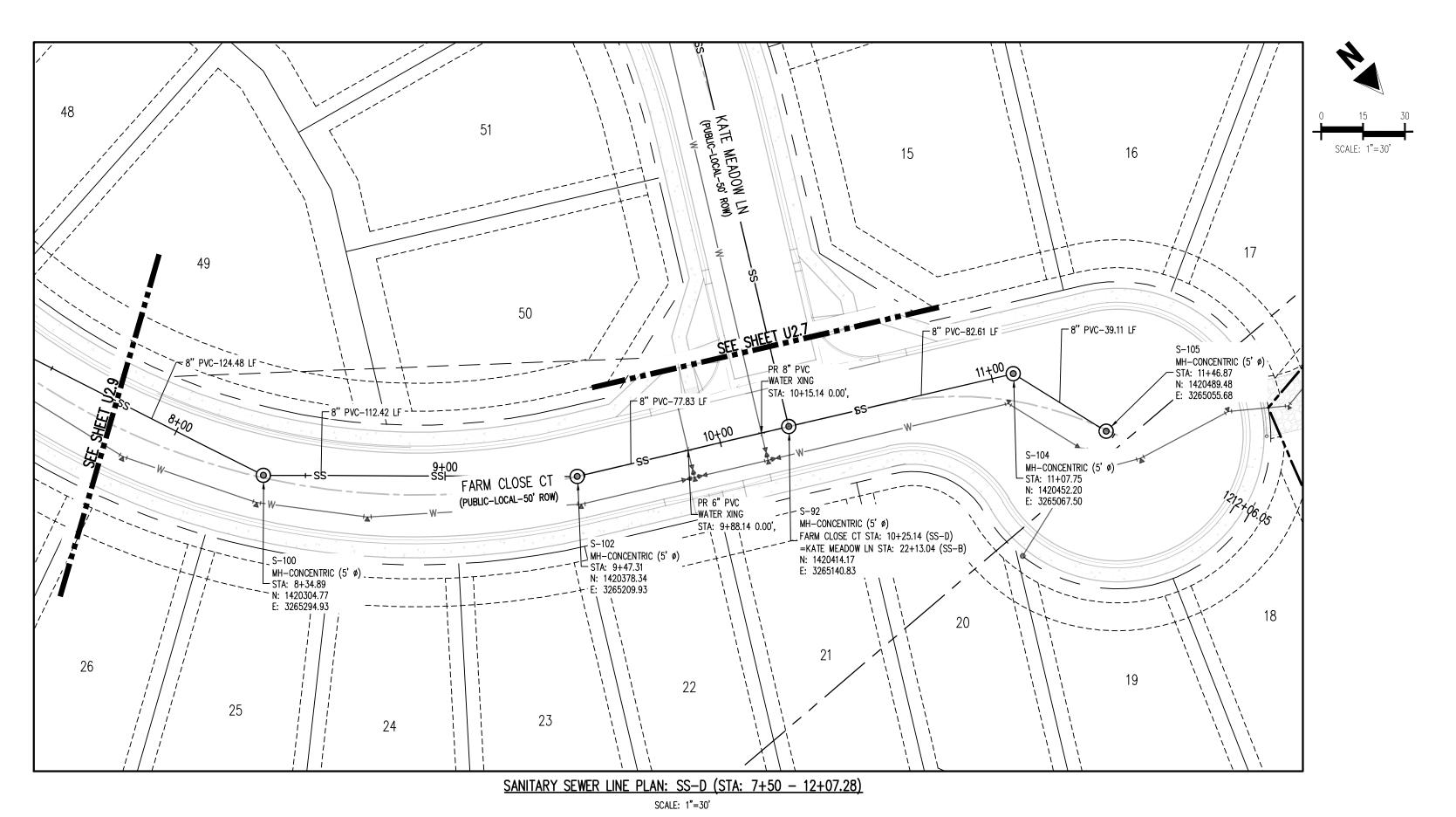
UTILITY CONSTRUCTION PLAN GRANDVIEW RESERVE FILING MELODY HOMES, INC. SF2311

Date Issue / Description

JDM, BLB, CJM BAS, CMWJ 03/15/2024

WASTEWATER P&P

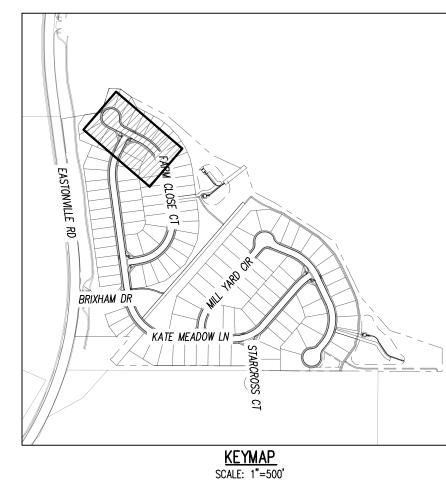
Sheet 17 of 23



6990 __EX. GRADE @ PR. GRADE @ CL OF PIPE 8" PVC 77.83 LF @ 1.31% 8" PVC 112.42 LF @ 1.31% 8" PVC 124.48 LF @ 1.31% S-92 MH-CONCENTRIC (5' ø) STA: 10+25.14 (SS-D) =STA: 22+13.04 (SS-B) RIM=6983.92 INV. IN= 6974.56 (SW-B INV. IN= 6974.56 (NW-B INV. OUT= 6974.26 (SE-B) DEPTH=9.66' 12+00 12+07.28 7+50 9+00 8+00 10÷00 11+00

SANITARY SEWER LINE PLAN: SS-D (STA: 7+50 - 12+07.28)

SCALES: HORIZONTAL 1"=30', VERTICAL 1"=6'



UTILITY LEGEND	
	— EXISTING WATER LINE
	PROPOSED WATER LINE
— — —SS— —	- EXISTING SANITARY SEWER
SS	PROPOSED SANITARY SEWER
<u> </u>	\equiv Existing storm sewer
SD	PROPOSED STORM SEWER
— — G— —	— EXISTING GAS LINE
G	PROPOSED GAS LINE
\$	EXISTING STREET LIGHT
=	PROPOSED STREET LIGHT
•	PROPOSED WATER METER
₩V	EXISTING WATER VALVE
H	PROPOSED WATER VALVE
The state of the s	EXISTING FIRE HYDRANT
\checkmark	PROPOSED FIRE HYDRANT
SD	EXISTING STORM SEWER MANHOLE
	PROPOSED STORM SEWER MANHOLE
(\$\$)	EXISTING SANITARY SEWER MANHOLE

PROPOSED SANITARY SEWER MANHOLE

CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY

NOTE: CONTRACTOR MUST COORDINATE WORK WITH UTILITY COMPANY AND CITY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE

SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION
DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO
OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION

PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below.

DISTRICTS OR ANY OTHER GOVERNING AGENCY.

CAUTION - NOTICE TO CONTRACTOR

ENGINEER PRIOR TO CONSTRUCTION.

THE ENGINEER PRIOR TO CONSTRUCTION.

ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE

EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT,

1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719.900.7220 GallowayUS.com

COPYRIGHT THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

D·R·HORTON

America's Builder

UTILITY CONSTRUCTION PLAN GRANDVIEW RESERVE FILING MELODY HOMES, INC. SF2311

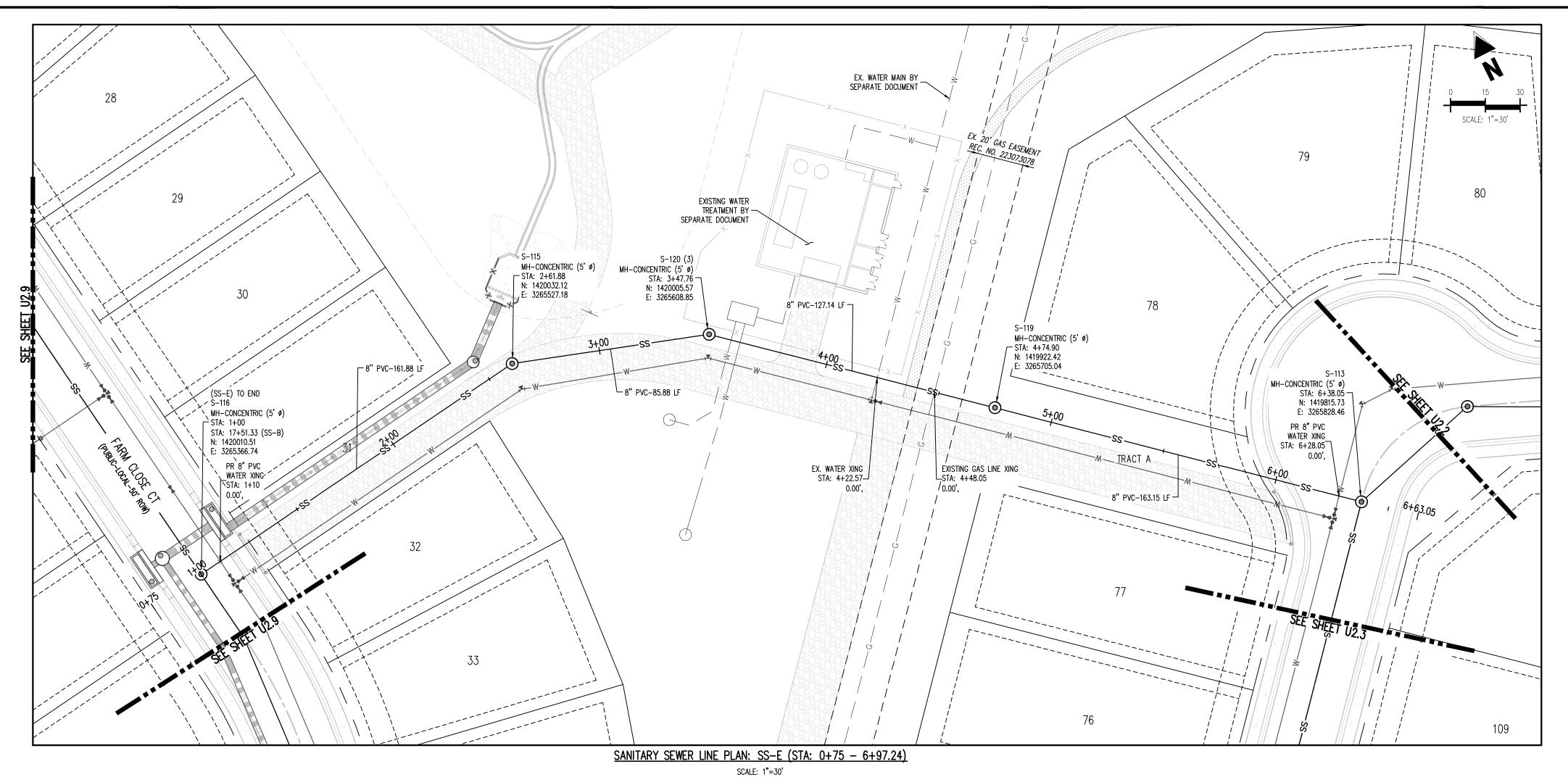
Date Issue / Description

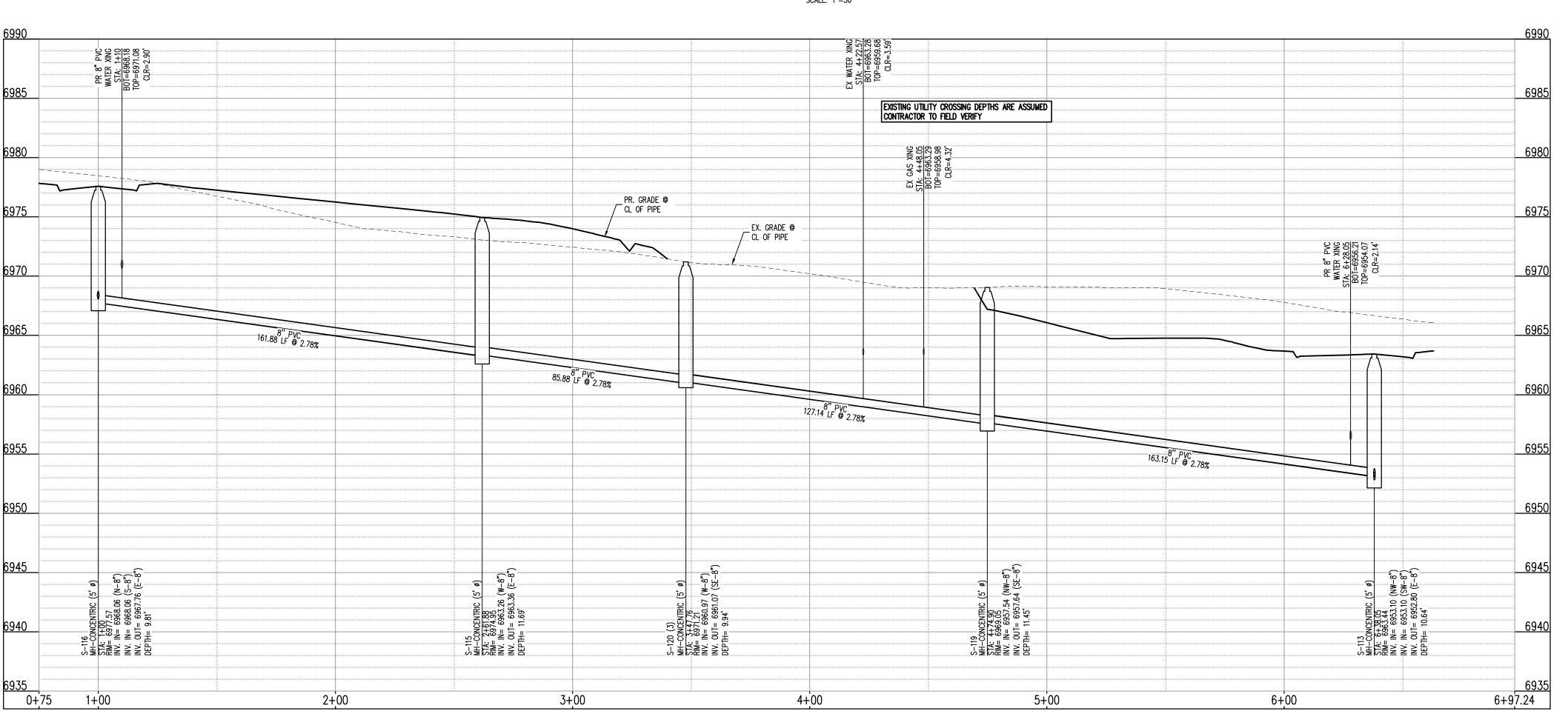
Project No:	HRG02
Drawn By:	JDM, BLB, CJM
Checked By:	BAS, CMWJ
Date:	03/15/2024

WASTEWATER P&P

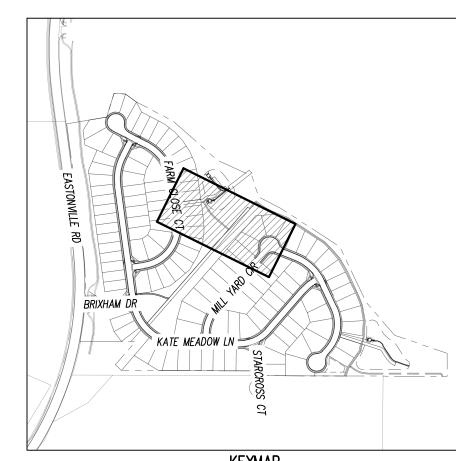
Sheet 18 of 23

 \mathbb{C} \mathbb{G} before you dig. 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO





SANITARY SEWER LINE PROFILE: SS-E (STA: 0+75 - 6+97.24) SCALES: HORIZONTAL 1"=30', VERTICAL 1"=6'



KEYMAP SCALE: 1"=500'

UTILITY LEGEND PROPOSED WATER LINE \equiv SD \equiv \equiv EXISTING STORM SEWER PROPOSED STORM SEWER — — G— — EXISTING GAS LINE — PROPOSED GAS LINE EXISTING STREET LIGHT PROPOSED STREET LIGHT PROPOSED WATER METER EXISTING WATER VALVE PROPOSED WATER VALVE EXISTING FIRE HYDRANT PROPOSED FIRE HYDRANT EXISTING STORM SEWER MANHOLE PROPOSED STORM SEWER MANHOLE EXISTING SANITARY SEWER MANHOLE

PROPOSED SANITARY SEWER MANHOLE

SITE LEGEND

PROPERTY BOUNDARY LINE ADJACENT PROPERTY BOUNDARY LINE ----- RIGHT OF WAY BOUNDARY LINE —— — — SECTION LINE - EXISTING ADJACENT LOT LINE PROPOSED LOT LINE - - - - EXISTING EASEMENT LINE ---- PROPOSED EASEMENT LINE ROAD CENTERLINE —— ···· ← EXISTING SWALE LINE - - - - 100YR- - - - 100YR- FLOODPLAIN BOUNDARY — · · · — · · · — · · · — EXISTING FLOOD ZONE - EXISTING FLOOD ZONE SETBACK PROPOSED CURB AND GUTTER EXISTING CURB AND GUTTER PROPOSED SIDEWALK

1. ALL PROPOSED MANHOLES SHALL CONFORM TO WOODMEN HILLS METRO DISTRICT DETAIL

PROPOSED TRAIL

RIPRAP OUTFALL PADS EXISTING SIGN PROPOSED SIGN PROPOSED CONCRETE

EXISTING CONCRETE

PROPOSED GRAVEL PER ECM TABLE D-7

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below.

ENGINEER PRIOR TO CONSTRUCTION. \mathbb{C} a \mathbb{H} before you dig. 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719.900.7220 GallowayUS.com

COPYRIGHT THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

D·R·HORTON

America's Builder

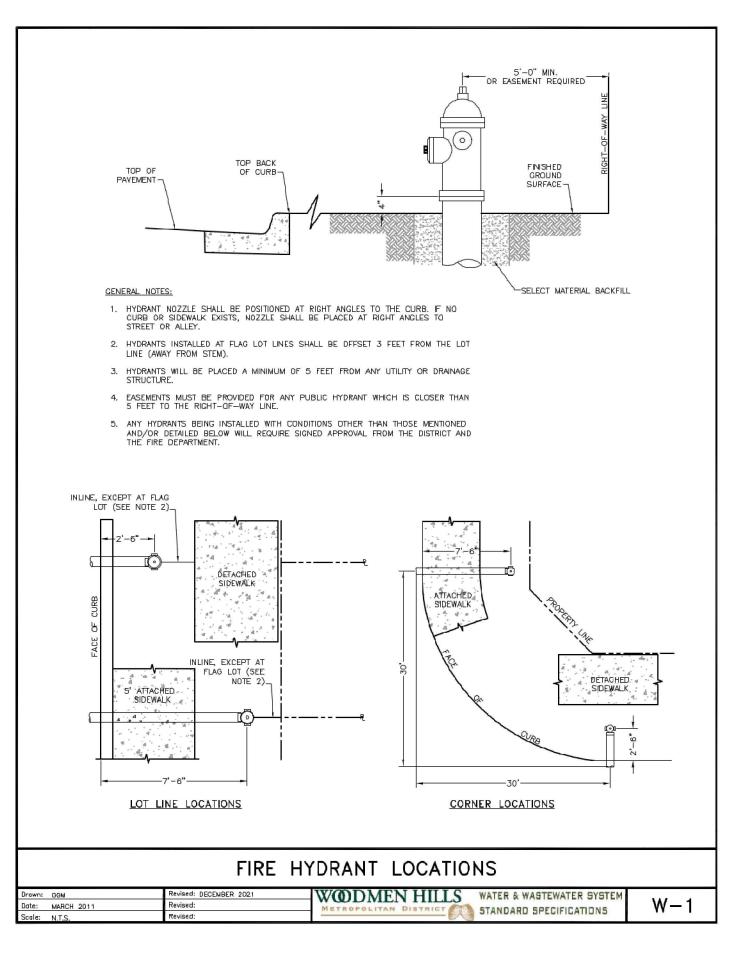
NNS G NO UTILITY CONSTRUCTION PLAN GRANDVIEW RESERVE FILING MELODY HOMES, INC. SF2311

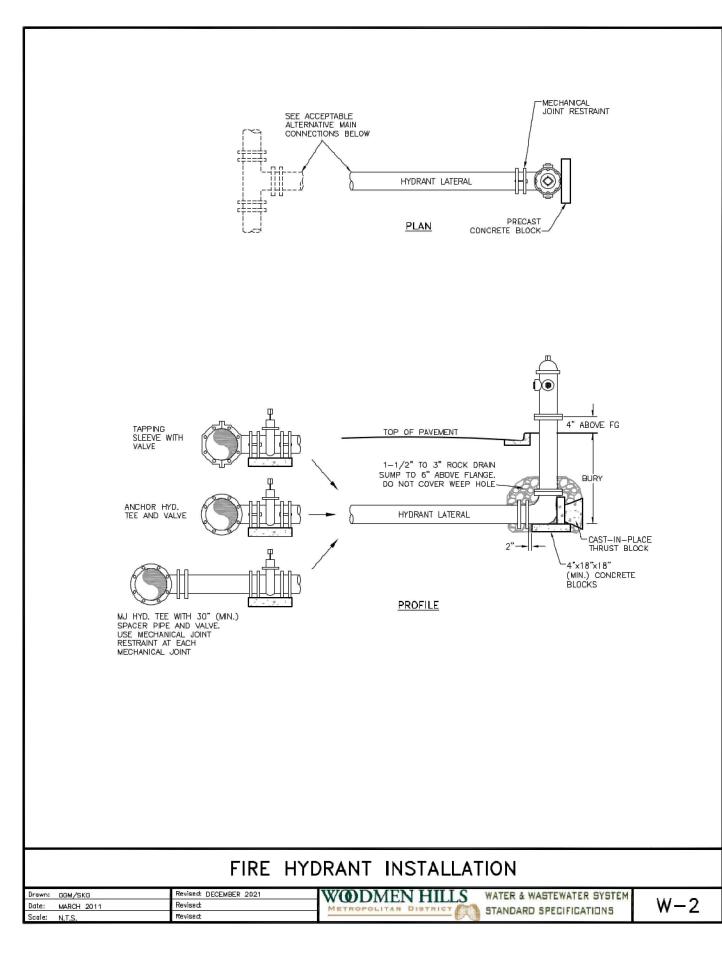
Date Issue / Description

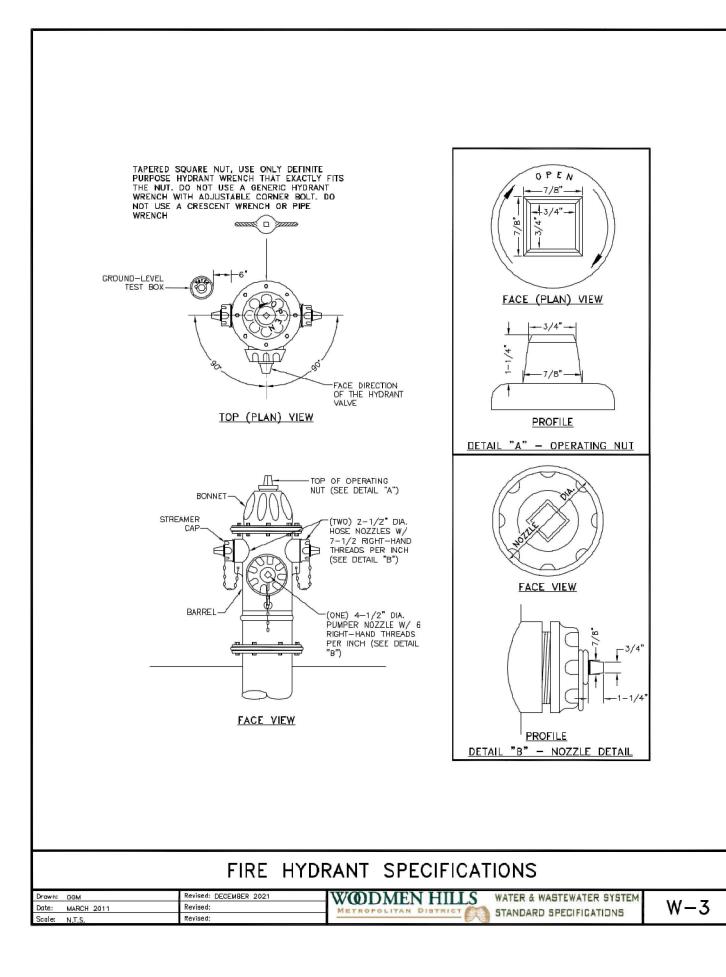
JDM, BLB, CJM BAS, CMWJ 03/15/2024

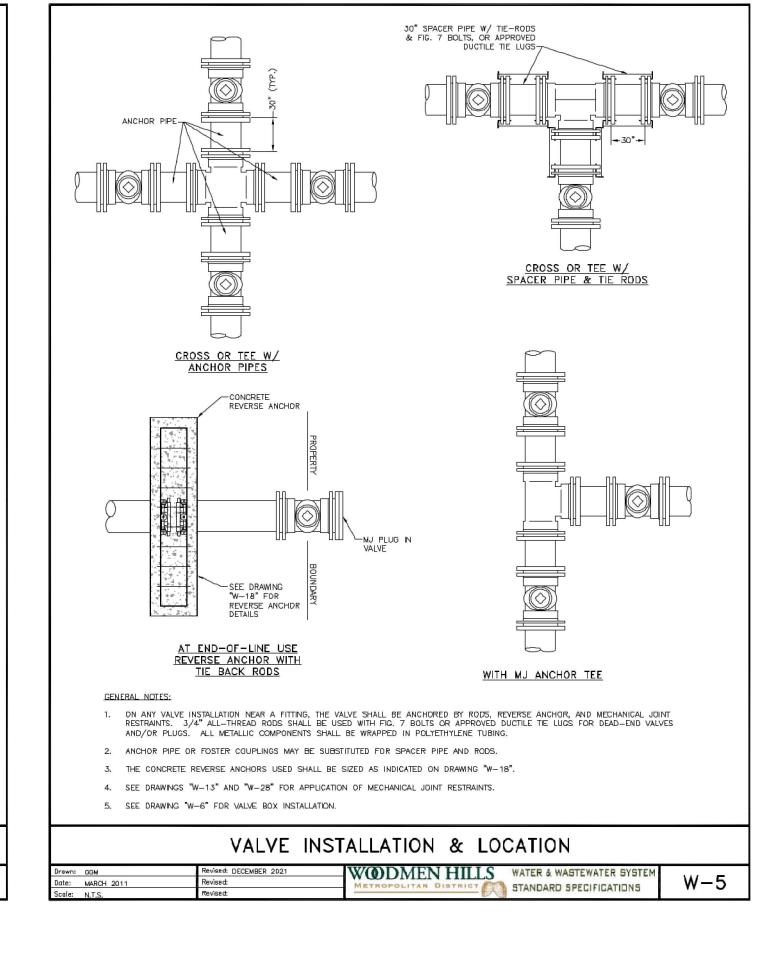
WASTEWATER P&P

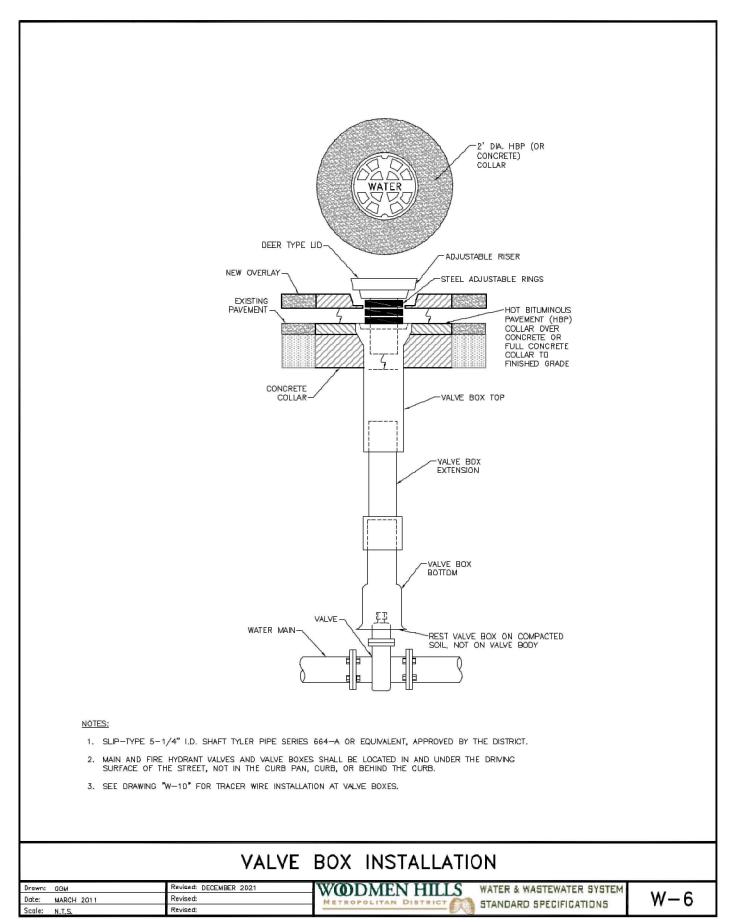
Sheet 19 of 23

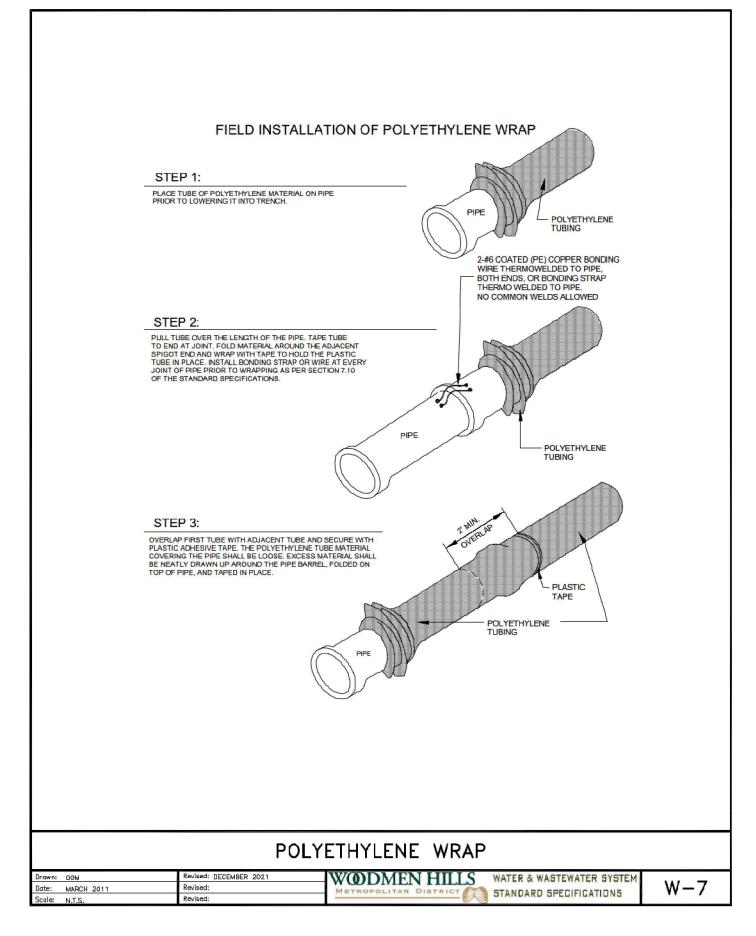


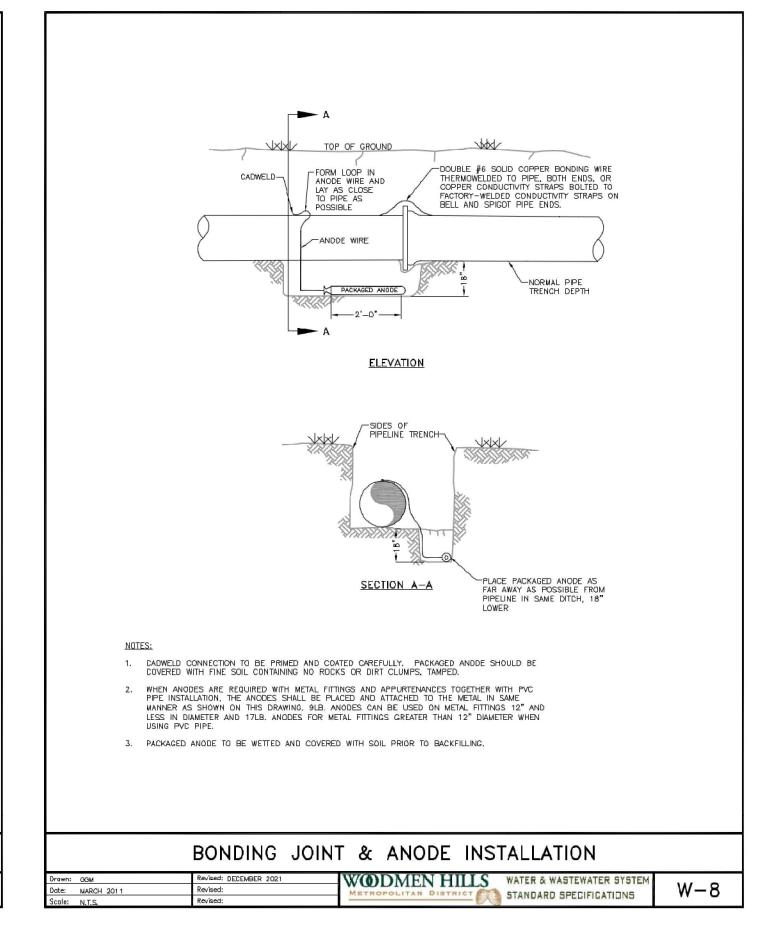


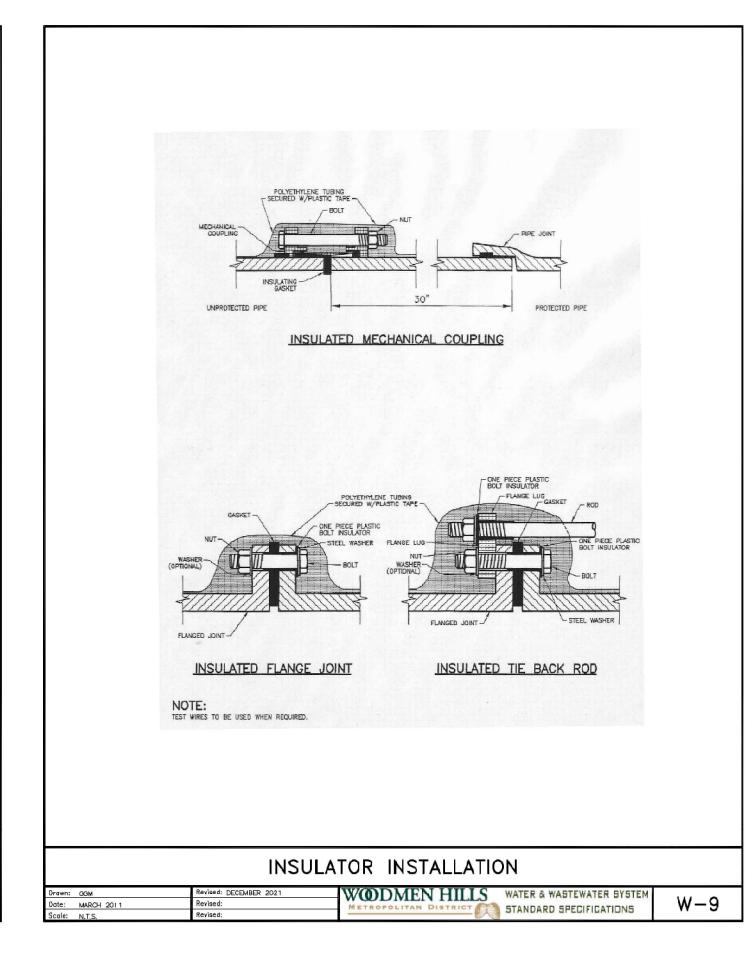














1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719.900.7220 GallowayUS.com

COPYRIGHT
THESE PLANS ARE AN INSTRUMENT OF SERVICE
AND ARE THE PROPERTY OF GALLOWAY, AND MAY
NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED
WITHOUT THE WRITTEN CONSENT OF GALLOWAY.
COPYRIGHTS AND INFRINGEMENTS WILL BE
ENFORCED AND PROSECUTED.

D'R'HORTON° America's Builder

UTILITY CONSTRUCTION PLANS GRANDVIEW RESERVE FILING NO. 1 MELODY HOMES, INC. SF2311

Date Issue / Description

Project No: HRG02

Drawn By: JDM, BLB, CJM

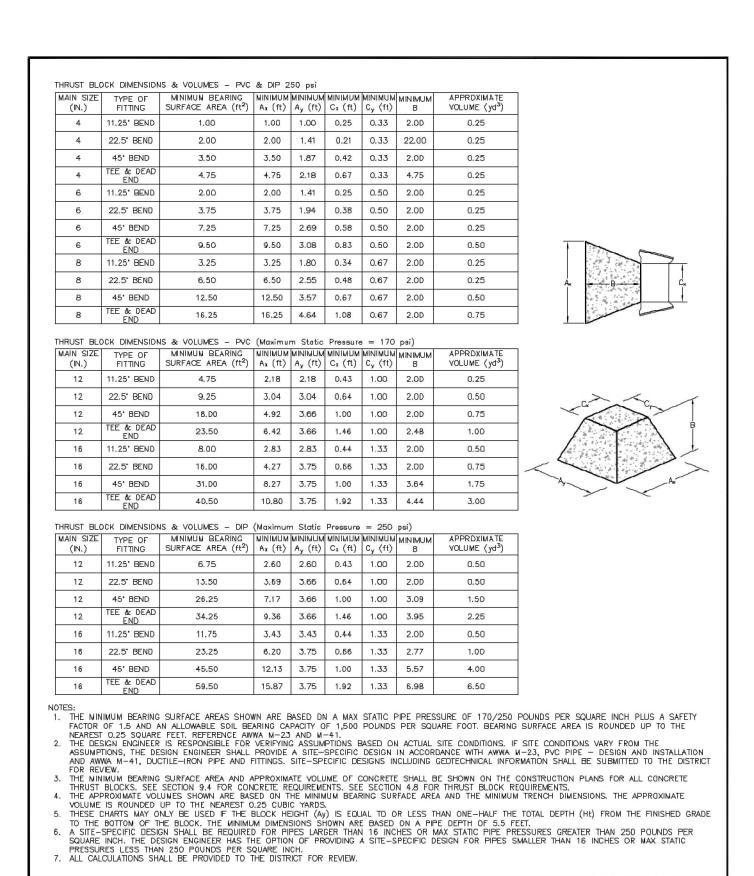
Checked By: BAS, CMWJ

03/15/2024

WATER DETAILS

U3.1

Sheet 20 of 23

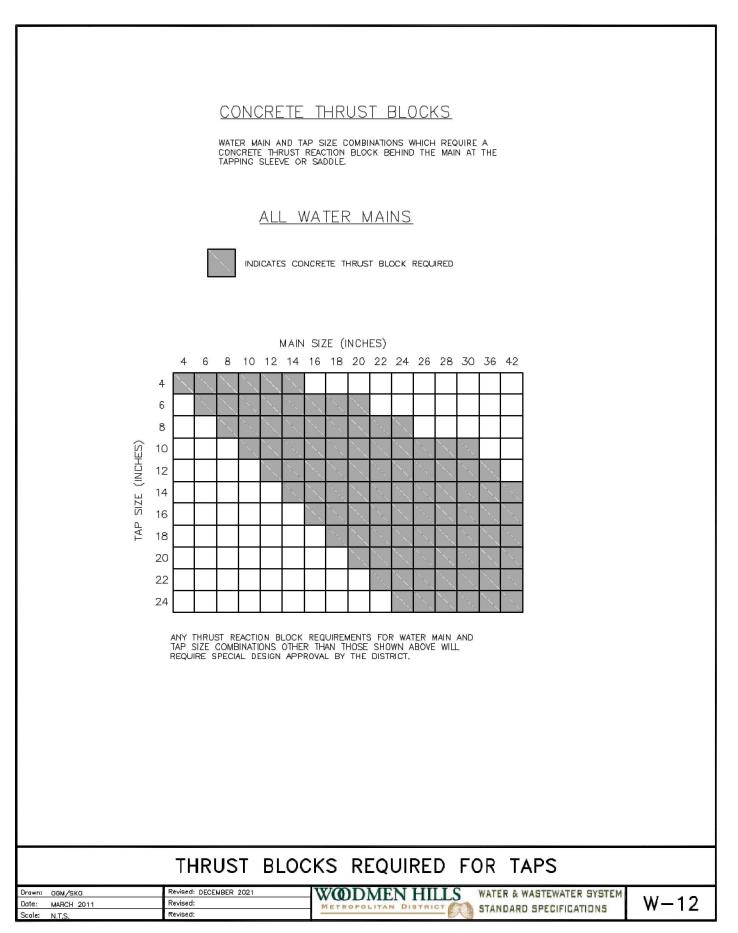


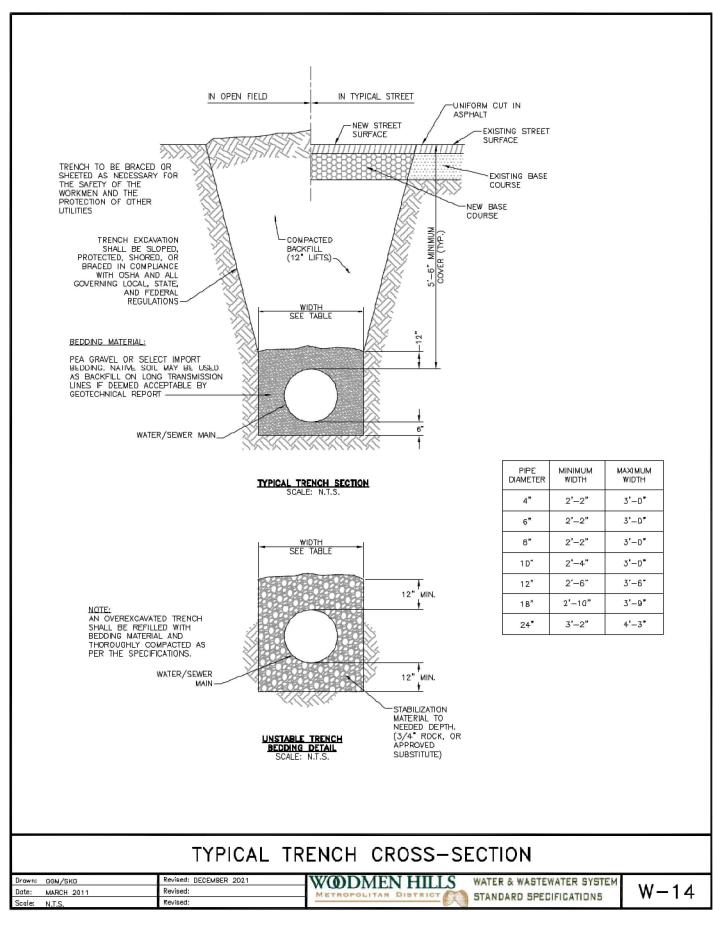
THRUST BLOCK DATA

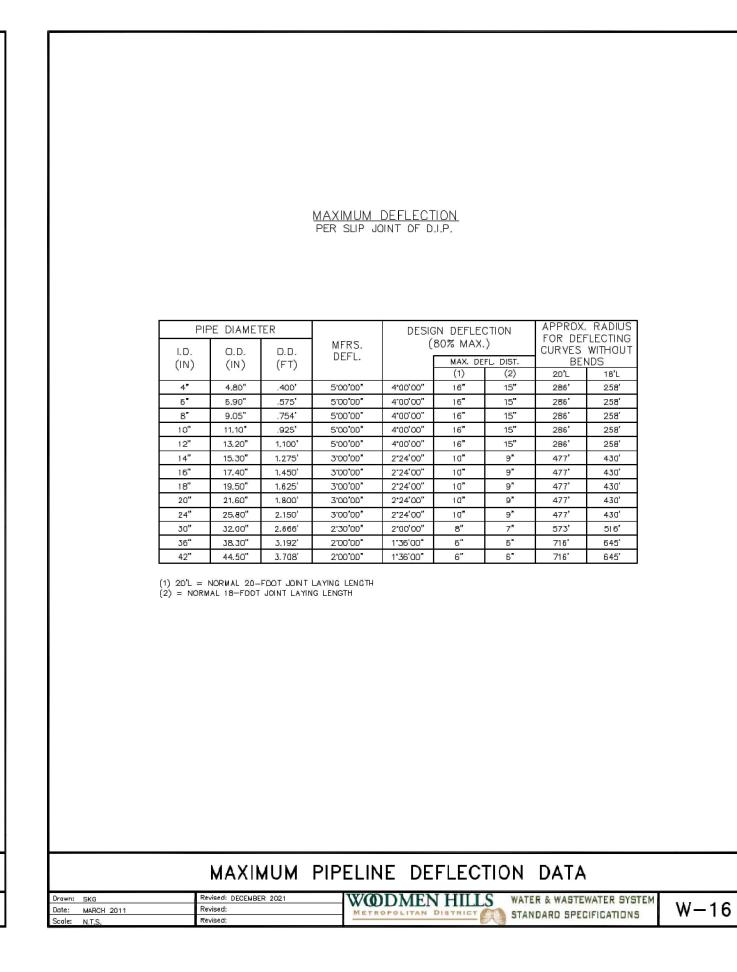
e: MARCH 2011

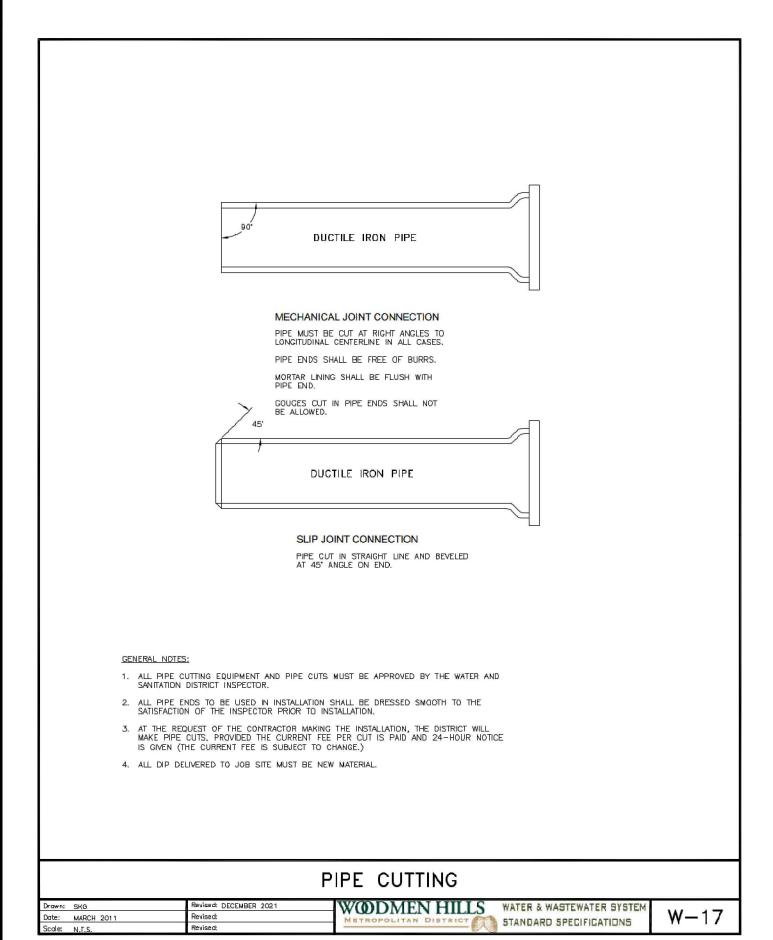
WODMEN HILLS WATER & WASTEWATER SYSTEM

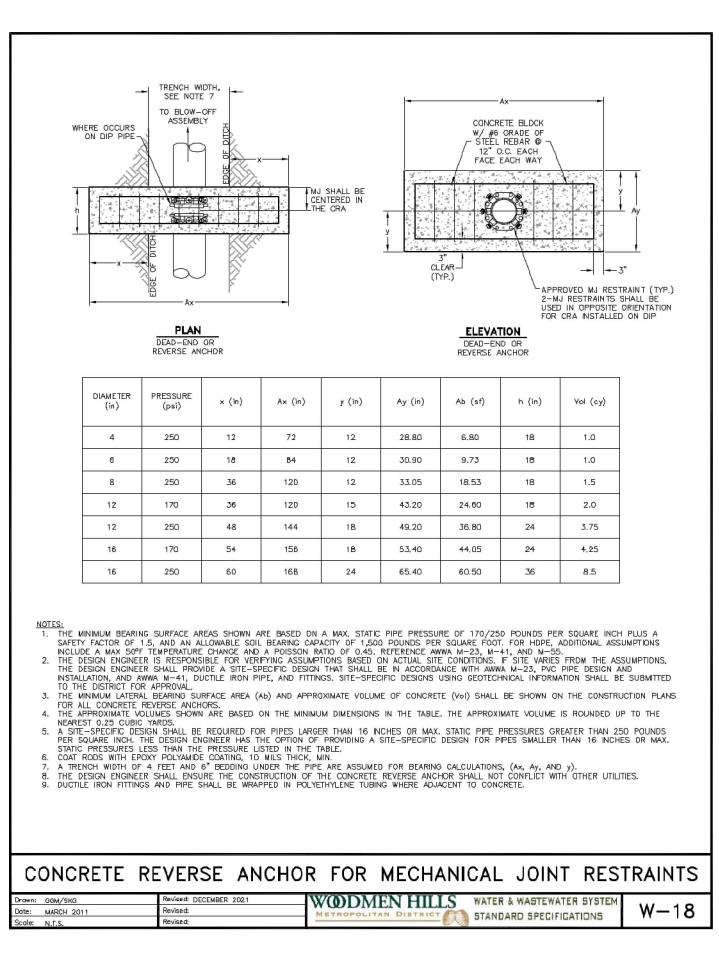
STANDARD SPECIFICATIONS

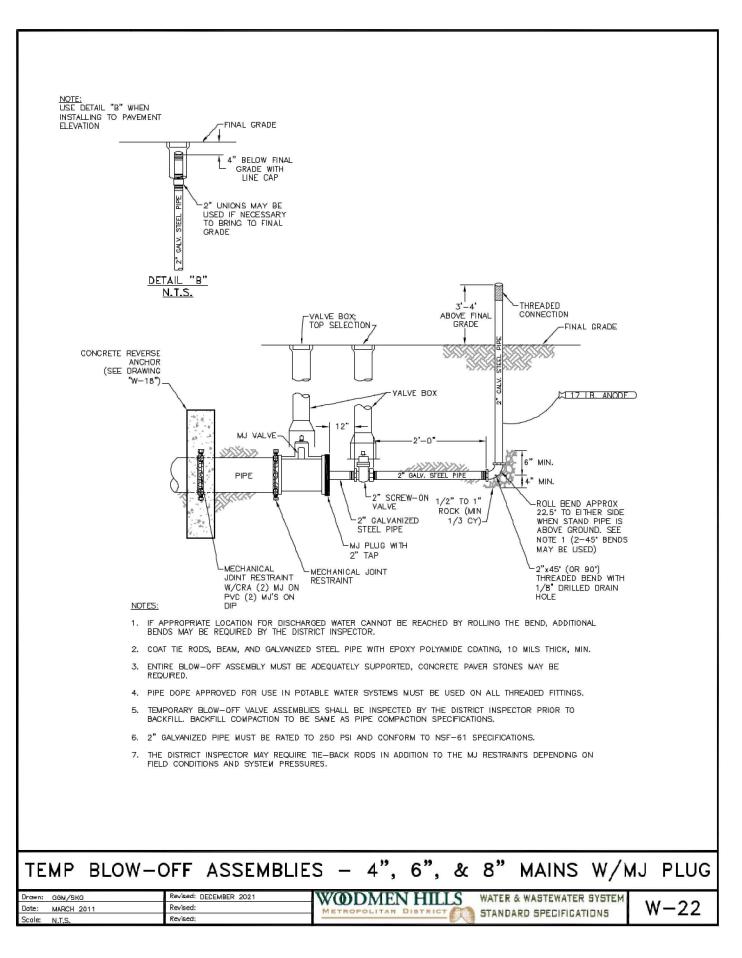


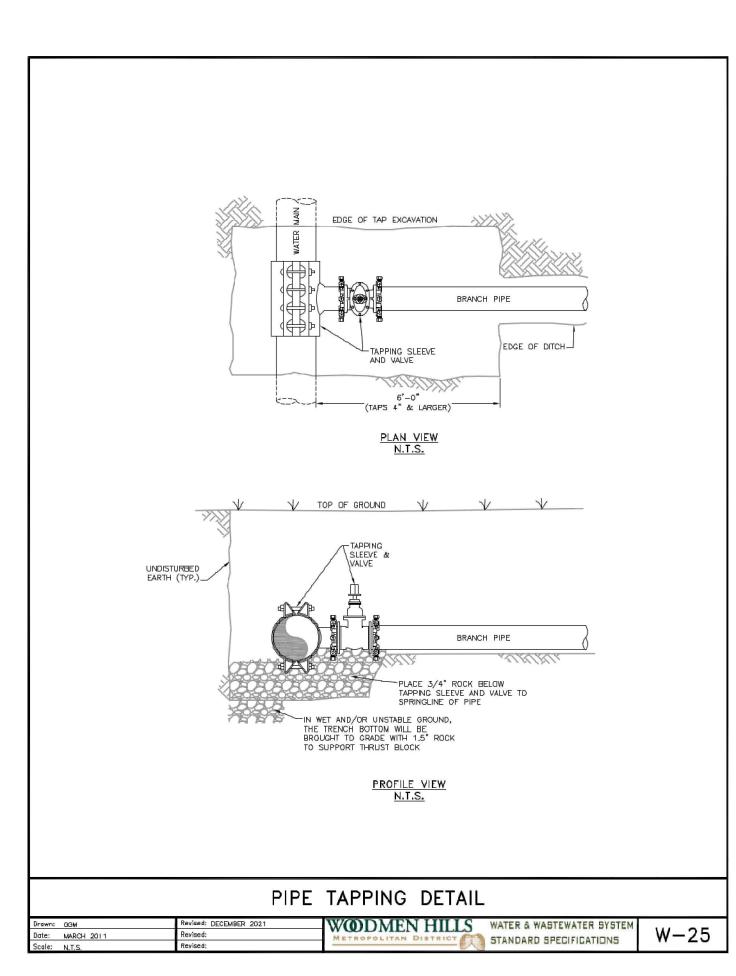


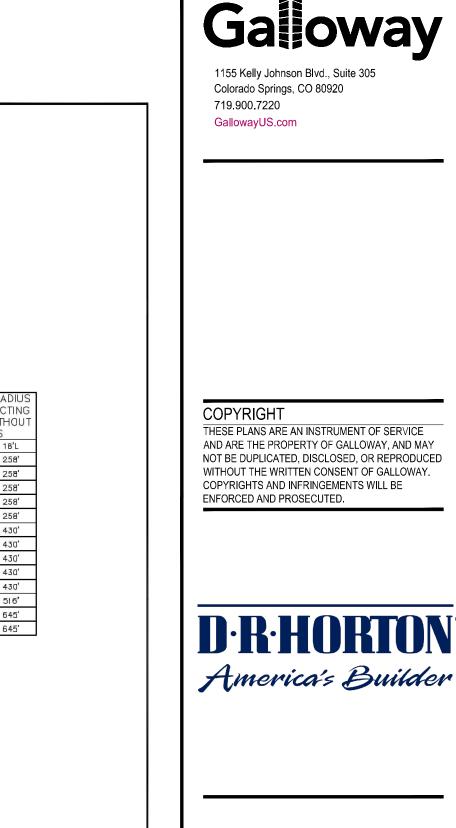












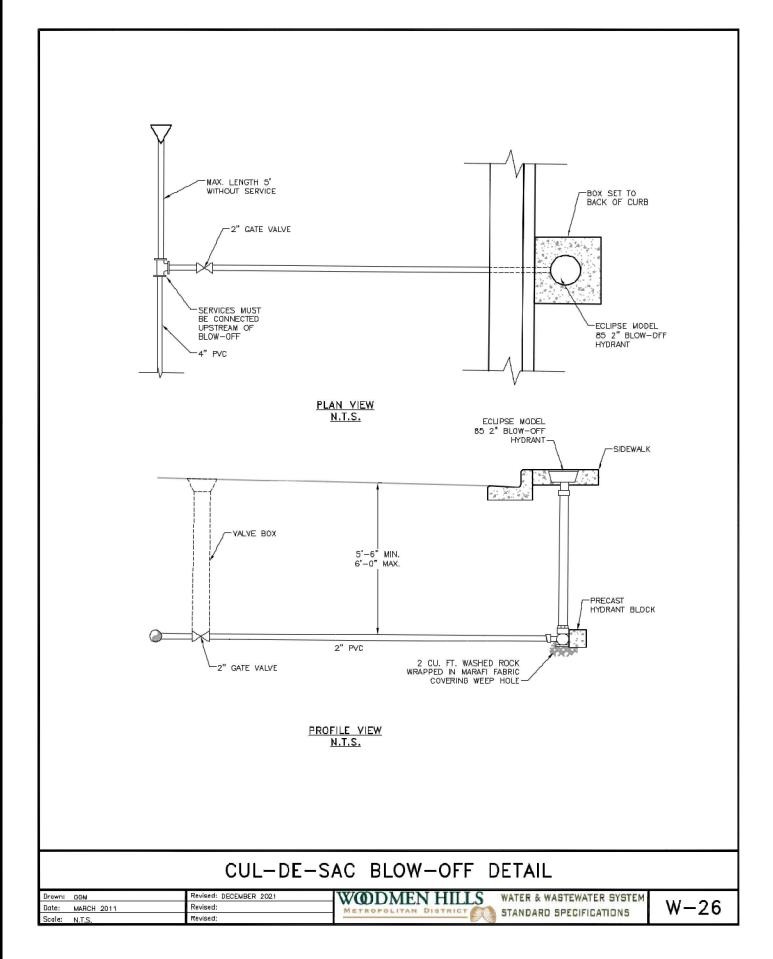
Z U UTILITY CONSTRUCTION GRANDVIEW RESERVE F MELODY HOMES, INC. SF2311

83

#	Date	Issue / Description	Init.
_			
_			
_			
_			
_			
_			
_			
_			

Project No:	HRG02
Drawn By:	JDM
Checked By:	CMWJ
Date:	03/15/2024

Sheet 21 of 23



STOP BOX

WATER SERVICE LINE NOTES:

(WITHOUT SPLICES) LENGTH,

PROTECTION AT THE SURFACE.

ate: MARCH 2011

1. NO. 12 INSULATED TRACER WIRE SHALL BE PLACED

2. WHEN A NEW PLASTIC SERVICE IS CONNECTED TO A

TAPED ALONG THE SERVICE LINE IN AT LEAST 3

ALONG SERVICE LINE AND SHALL BE A CONTINUOUS

PVC MAIN, THE SERVICE LINE TRACER WIRE SHALL BE

CONNECTED TO THE MAIN'S TRACER WIRE WITH A SPLIT-BOLT CONNECTOR. THE TRACER WIRE IS THEN

LOCATIONS NOT TO EXCEED 10'. ALL CURB STOP BOXES SHALL HAVE A 1-1/2" DIAMETER SCHD 40 PVC

PIPE TELESCOPED INSIDE WITH A BELL END TO FIT OVER THE TOP OF THE CURB STOP VALVE, TRACER

WIRE SHALL BE EXTENDED UP THE INSIDE OF CURB

STOP BOX BUT OUTSIDE THE 1-1/2" SCHD 40 PVC PIPE. TRACER WIRE SHALL BE WRAPPED AROUND CURB

STOP BOLT UNDER A BRASS WASHER. THE WIRE WILL THEN BE ROUTED BACK DOWN INSIDE THE CURB BOX AND DUTSIDE THE SCHO 40 PVC, AND TAPED AGAIN TO THE SERVICE LINE UNTIL IT REACHES THE POINT WHERE THE SERVICE LINE ENTERS THE BUILDING. AT THIS POINT, THE TRACER WIRE WILL BE STAPLED TO THE FOUNDATION WALL THEN TURNED BACK TO FORM A ONE-INCH-LONG HOOK AND WRAPPED WITH 4" FILLER TAPE AND THEN 3/4" ELECTRICAL TAPE FOR

APPROX. FROST DEPTH (5' FOR PIKES PEAK AREA)

3. TO ASSIST IN PE PIPE LOCATING, A 9-LB. ANODE

NEW ANODE WILL BE ATTACHED TO THE WATER

TAPE FOR PROTECTION AGAINST CORROSION.

WATER LINE EXTENSION & SERVICE STANDARDS.
6. STIFFENERS SHALL BE INSTALLED WITHIN THE HDPE

4. THE APPROPRIATE CLEARANCES BETWEEN ANODES AND STEEL PIPES OR OTHER STRUCTURES MUST BE

MAINTAINED PER WATER LINE EXTENSION & SERVICE 5. BRASS FITTINGS, CORP. STOP, AND CURB STOP SHALL

BE WRAPPED WITH WAX TAP FOR PROTECTION PER THE

STANDARD SPECIFICATIONS

late: MARCH 2011

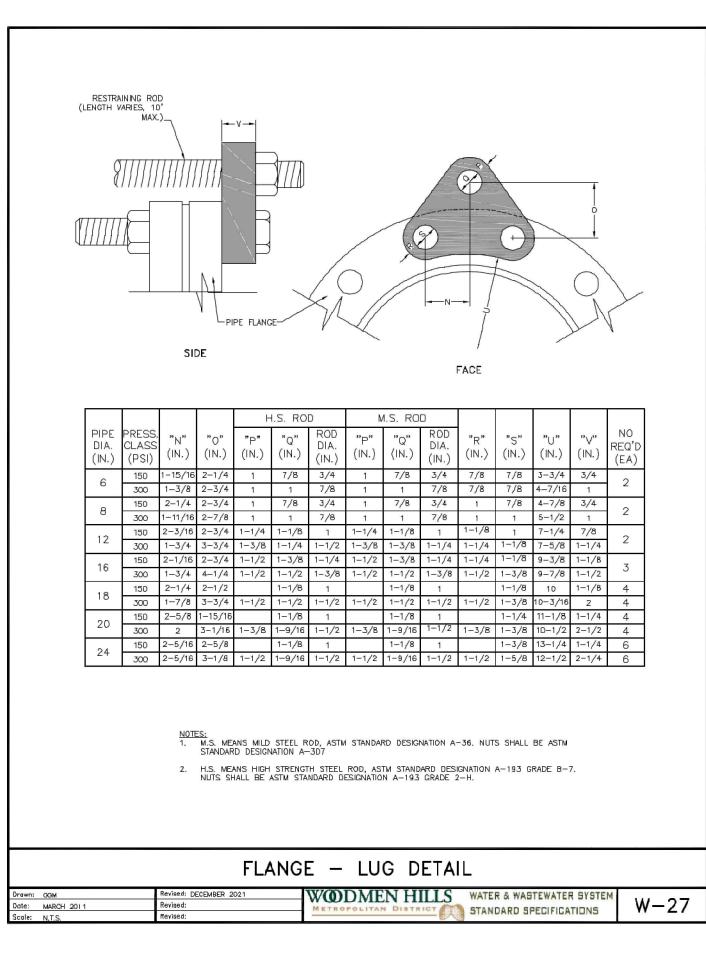
WIRE AND THE WATER MAIN TRACER WIRE EVERY 1,000

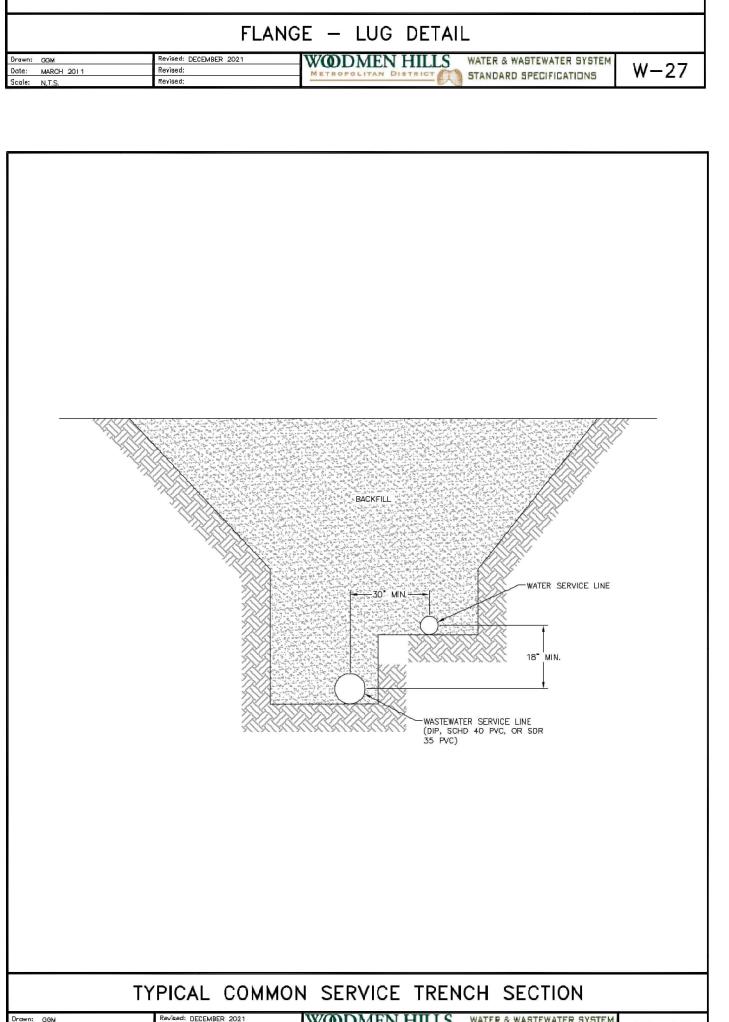
SERVICE/WATER MAIN TRACER WIRE WITH A SPLIT-BOLT

ONNECTOR. THE CONNECTOR IS TO BE WRAPPED FIRST WITH A 4" FILLER TAPE AND THEN 3/4" ELECTRICAL

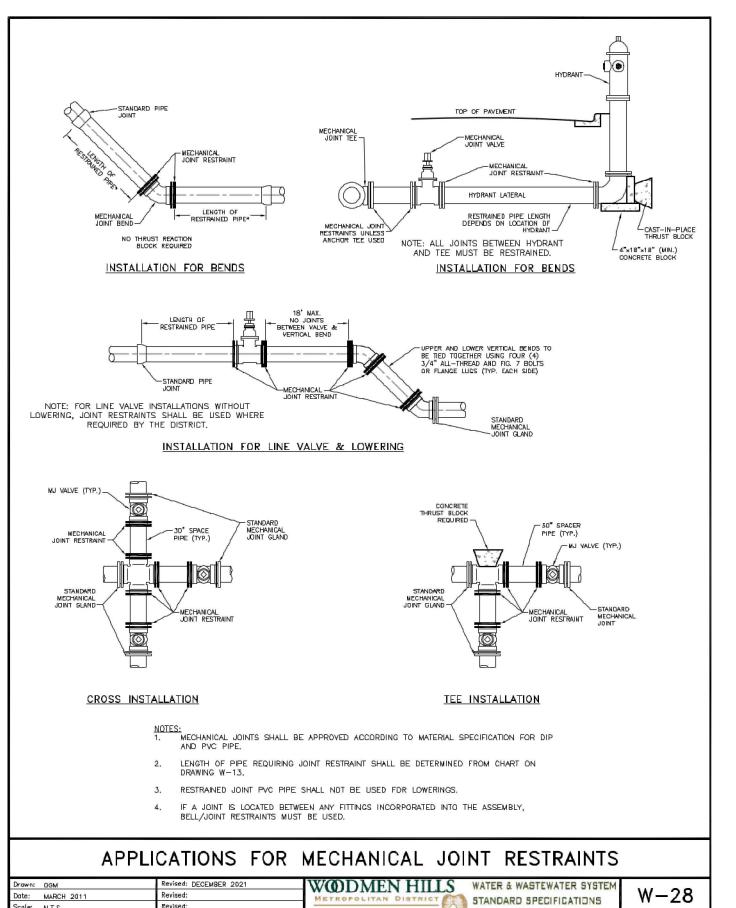
INSIDE STOP BOX (SEE NOTES 5 & 6)

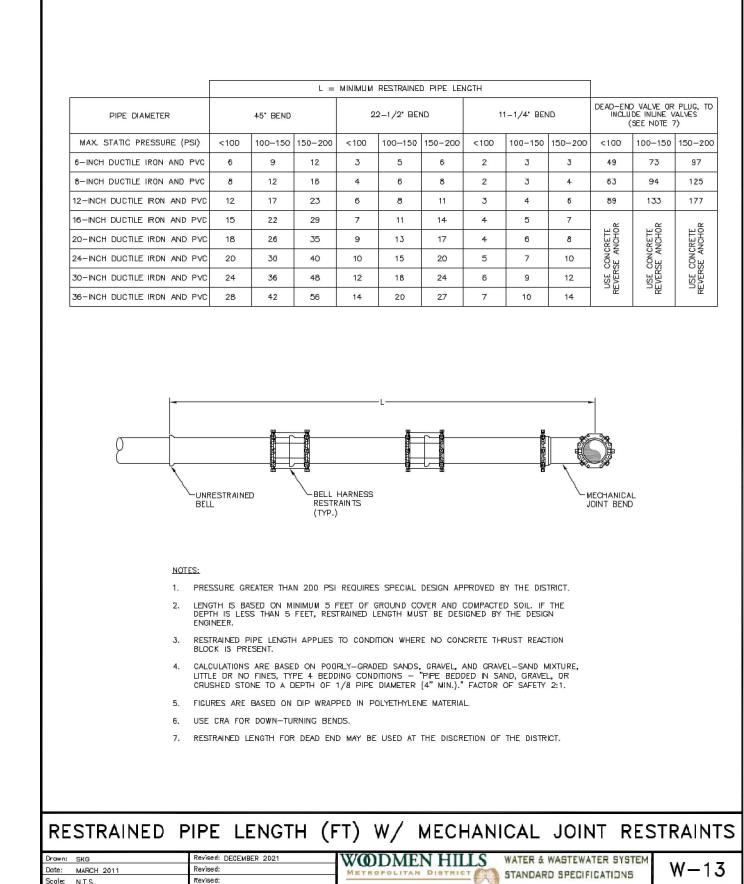
TYPICAL INSTALLATION FOR SERVICE LINE & STOP BOX





T STANDARD SPECIFICATIONS







1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719.900.7220 GallowayUS.com

COPYRIGHT THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.



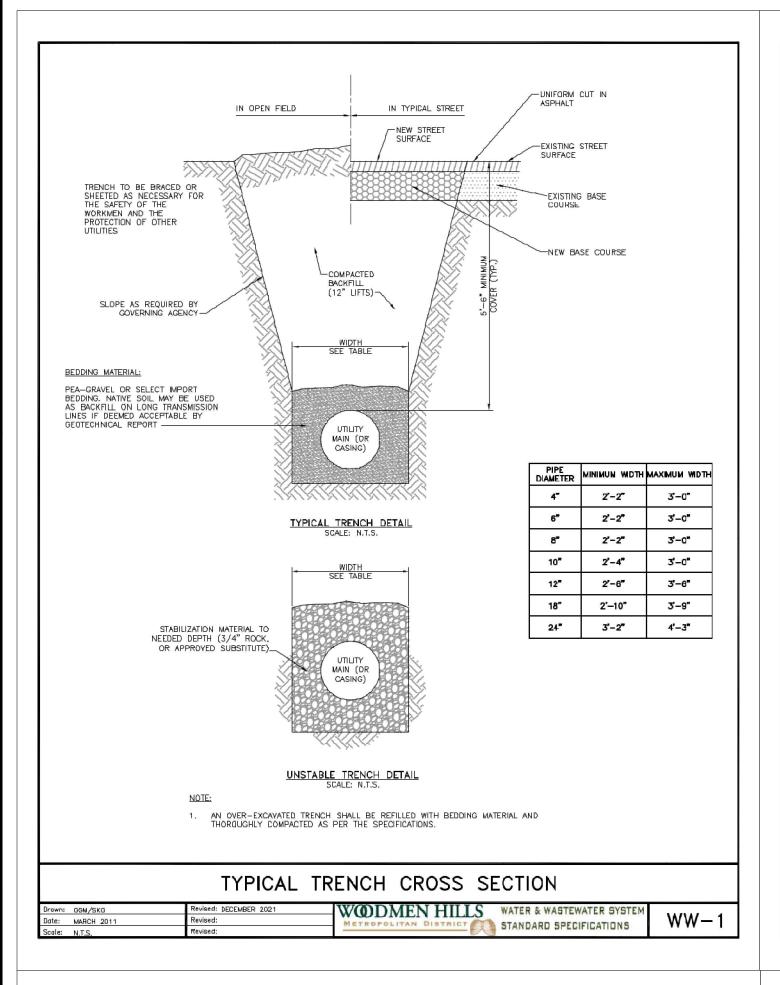
America's Builder

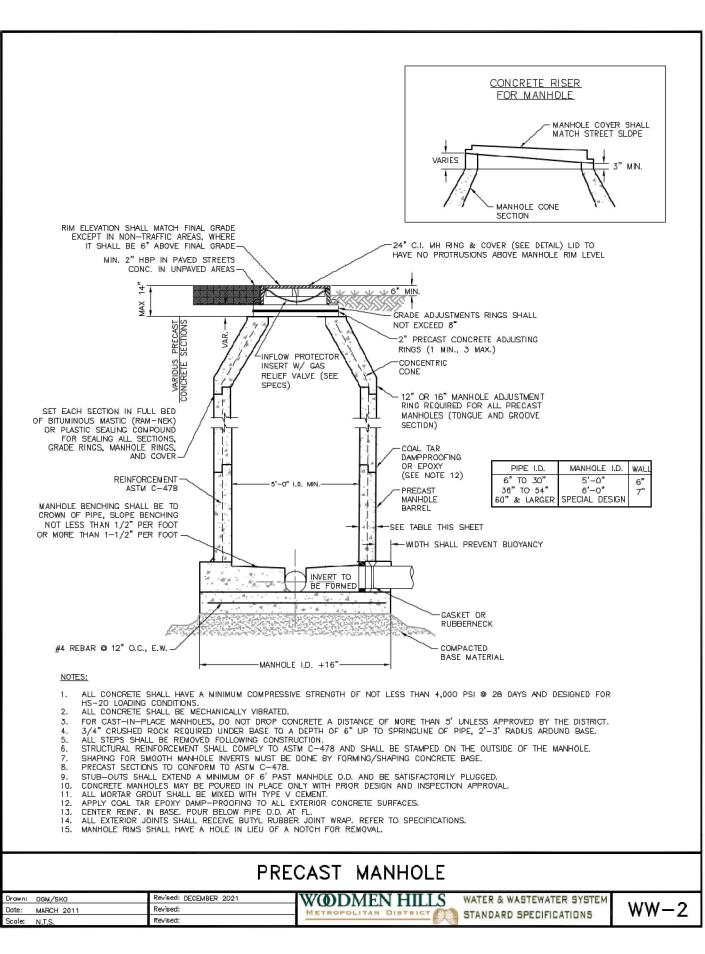
NNS G N(UTILITY CONSTRUCTION PLANGRANDVIEW RESERVE FILING MELODY HOMES, INC.
SF2311 ∞ర

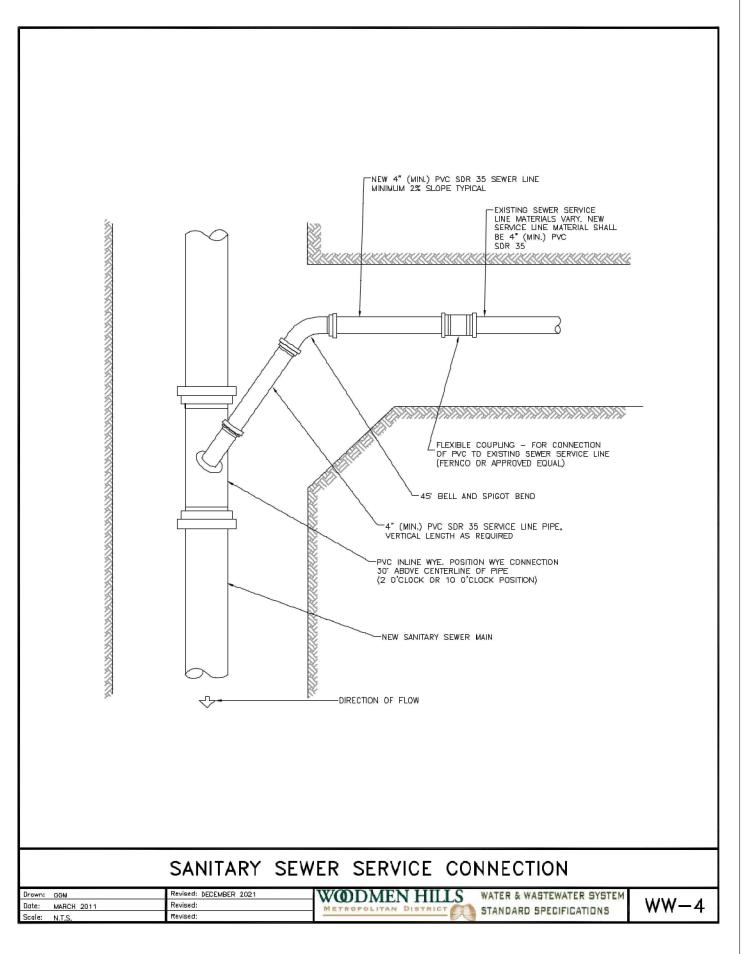
#	Date	Issue / Description	Init.
_			
_			
_			
_		-	
_			
_			-
_			
_			
_			
_			
_			
_			
_			
-			
_			
_			

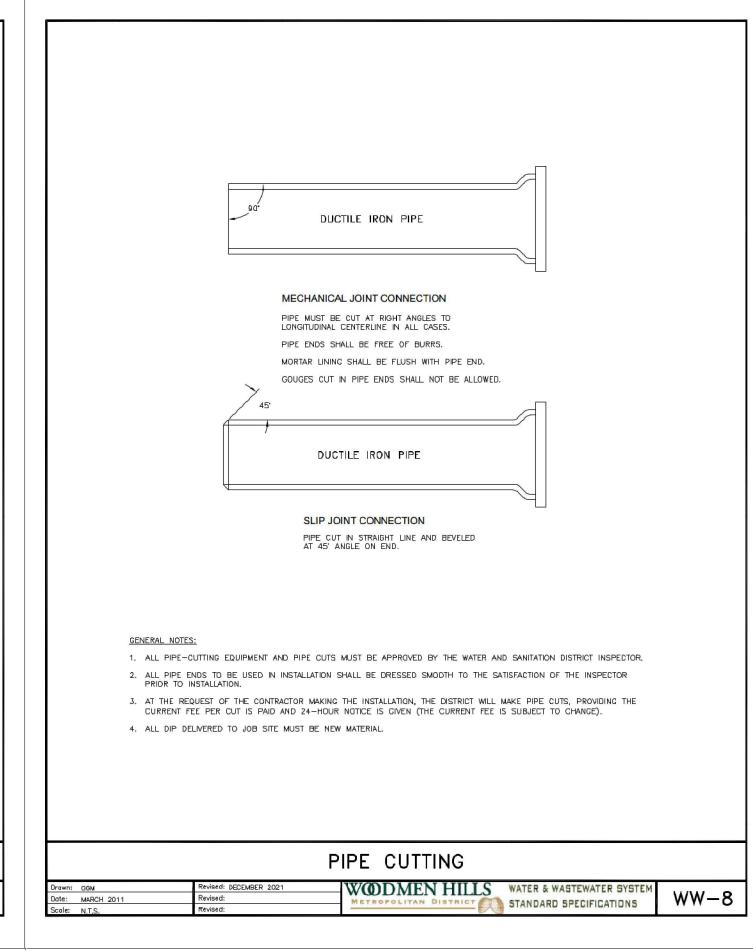
Project No:	HRG02
Drawn By:	JDM, BLB, CJM
Checked By:	BAS, CMWJ
Date:	03/15/2024

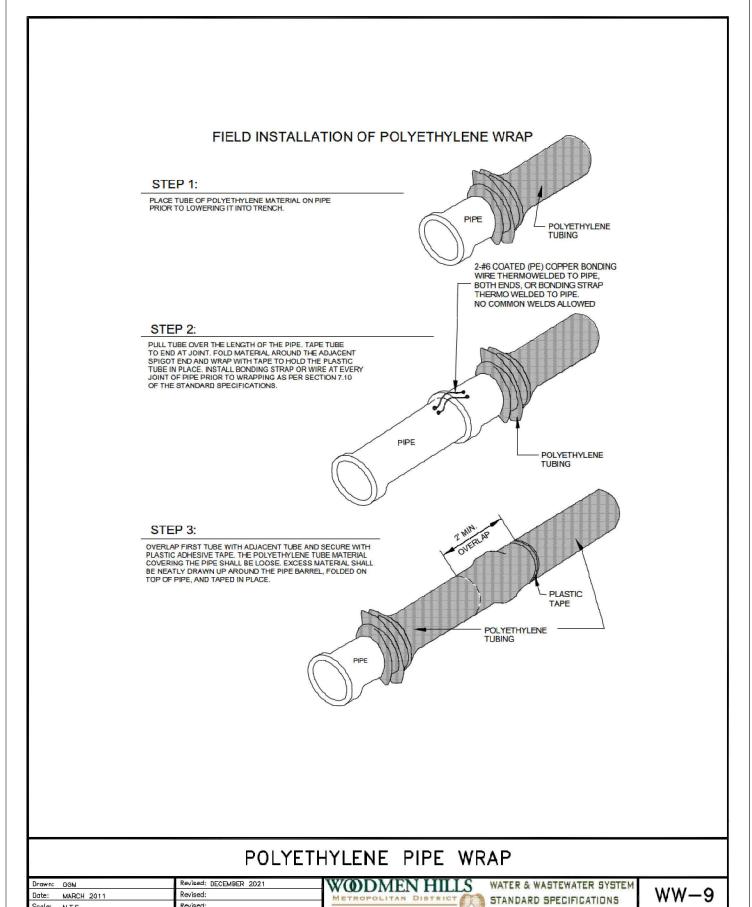
Sheet 22 of 23

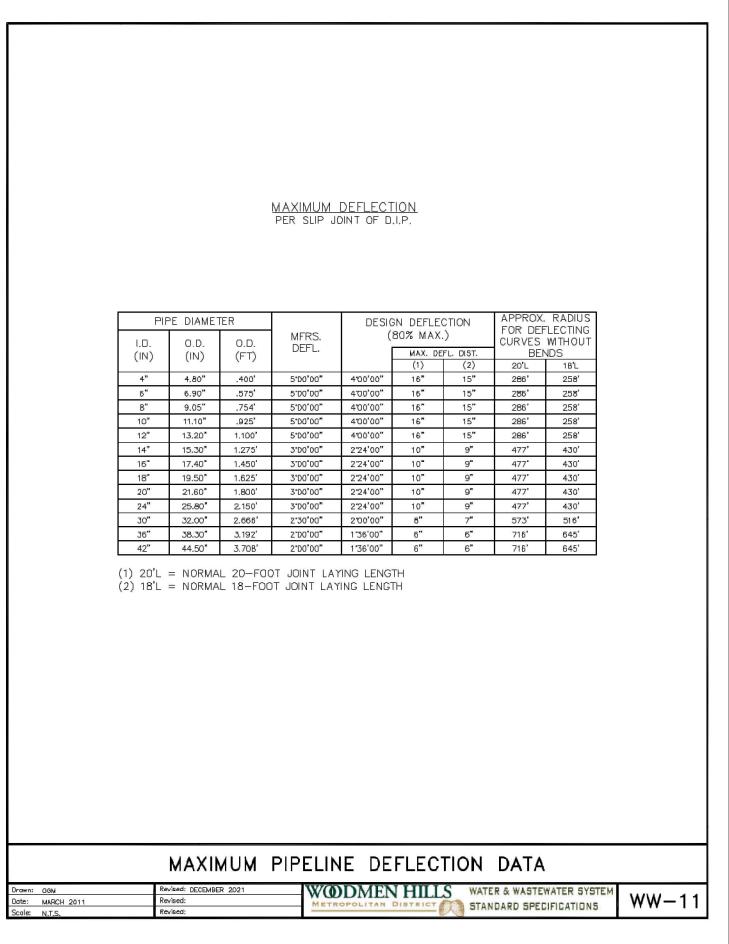


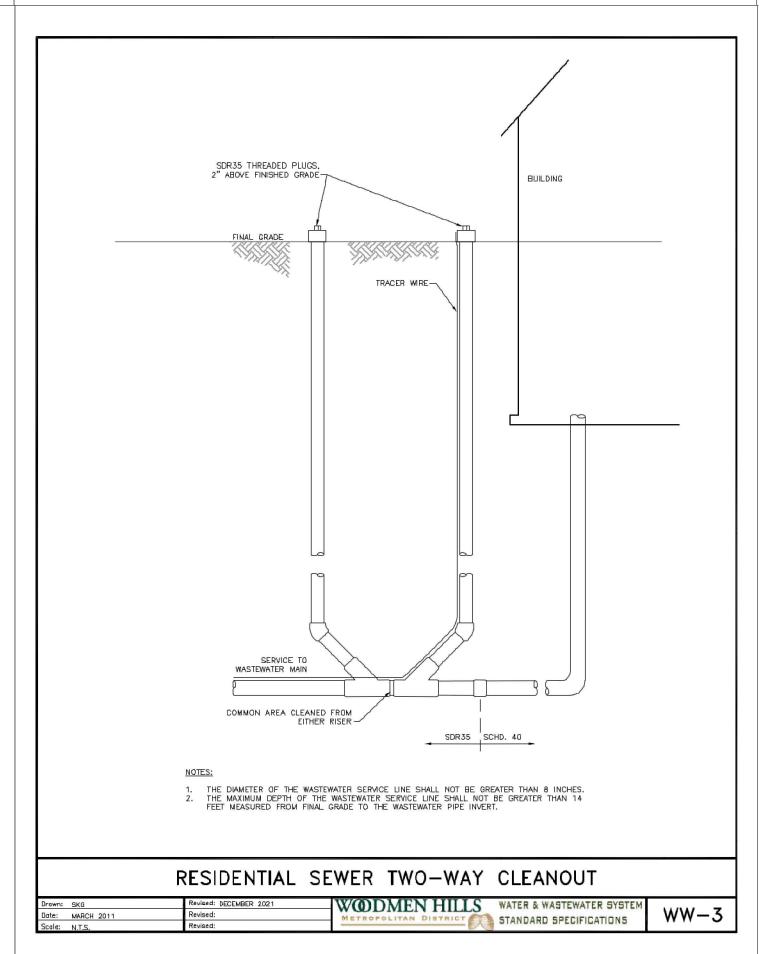














COPYRIGHT THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.



America's Builder

Z O CONSTRUCTION PLAI /IEW RESERVE FILING / HOMES, INC.

831

Project No:	Ц	2002
<u> </u>		
<u> </u>		

Date Issue / Description

Project No:	HRG02
Drawn By:	JDM
Checked By:	CMWJ
Date:	03/15/2024
WASTEWATED DETAILS	

WASTEWATER DETAILS

Sheet 24 of 23