





BLH NO 2 LLC  
111 S TEJON ST STE 222  
COLORADO SPRINGS  
CO, 80903-2248  
ZONING (R1-6 PIP2/CR M2/CR A)  
AG. GRAZING LAND

BULL HILL LLC  
3 WIDEFIELD BLVD COLORADO  
SPRINGS CO, 80911-2126  
ZONING (PUD)  
AG. GRAZING LAND

# SKYLINE AT LORSON RANCH

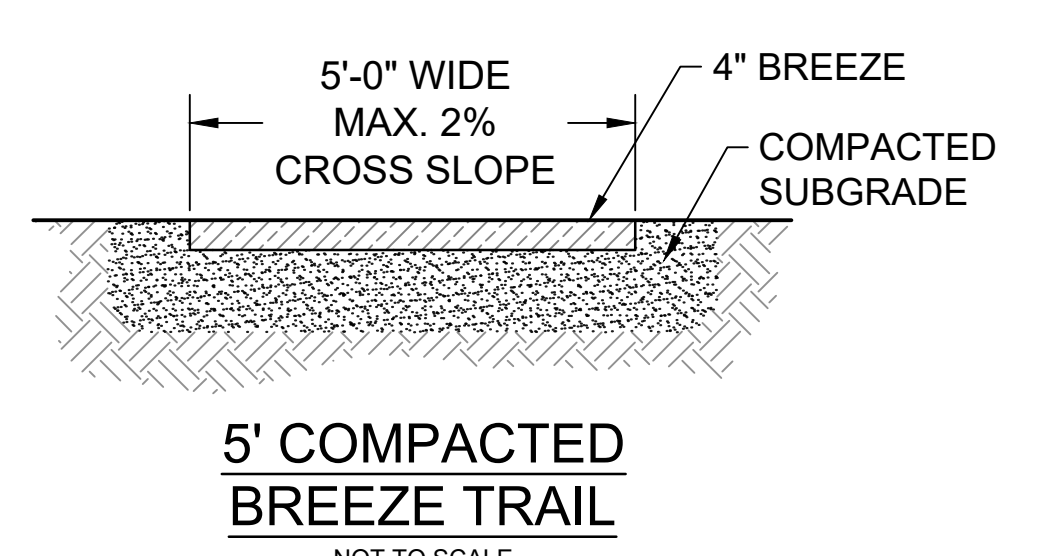
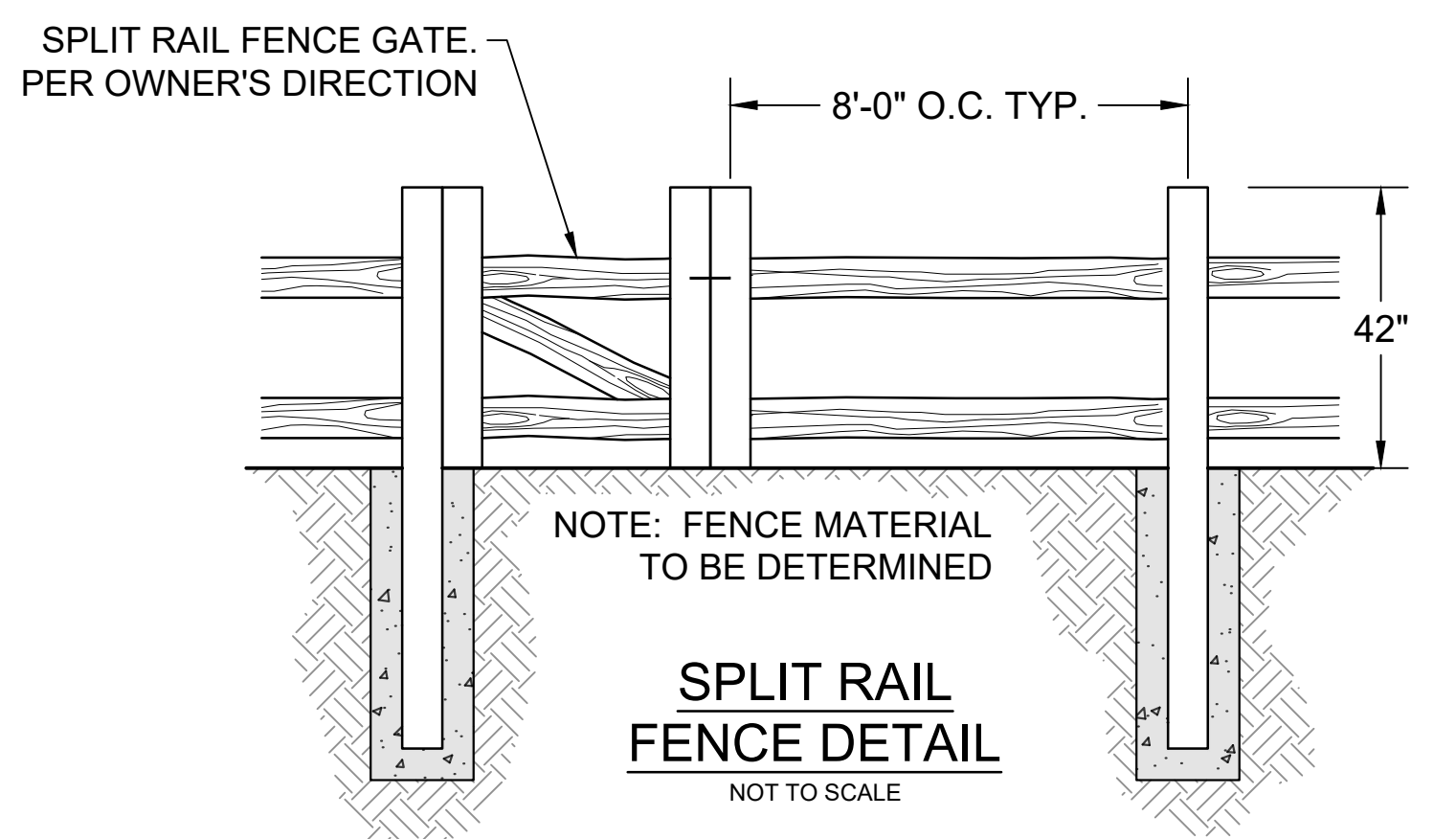
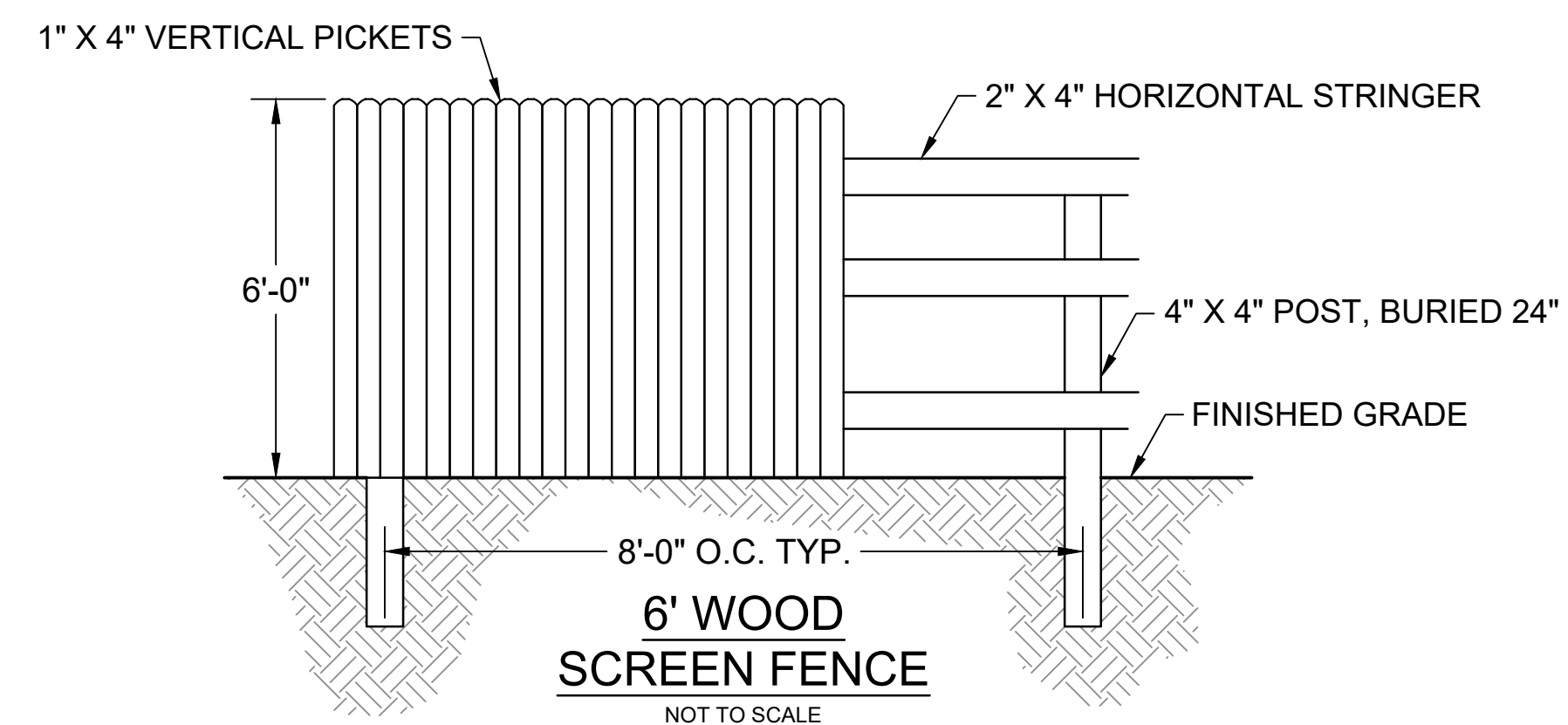
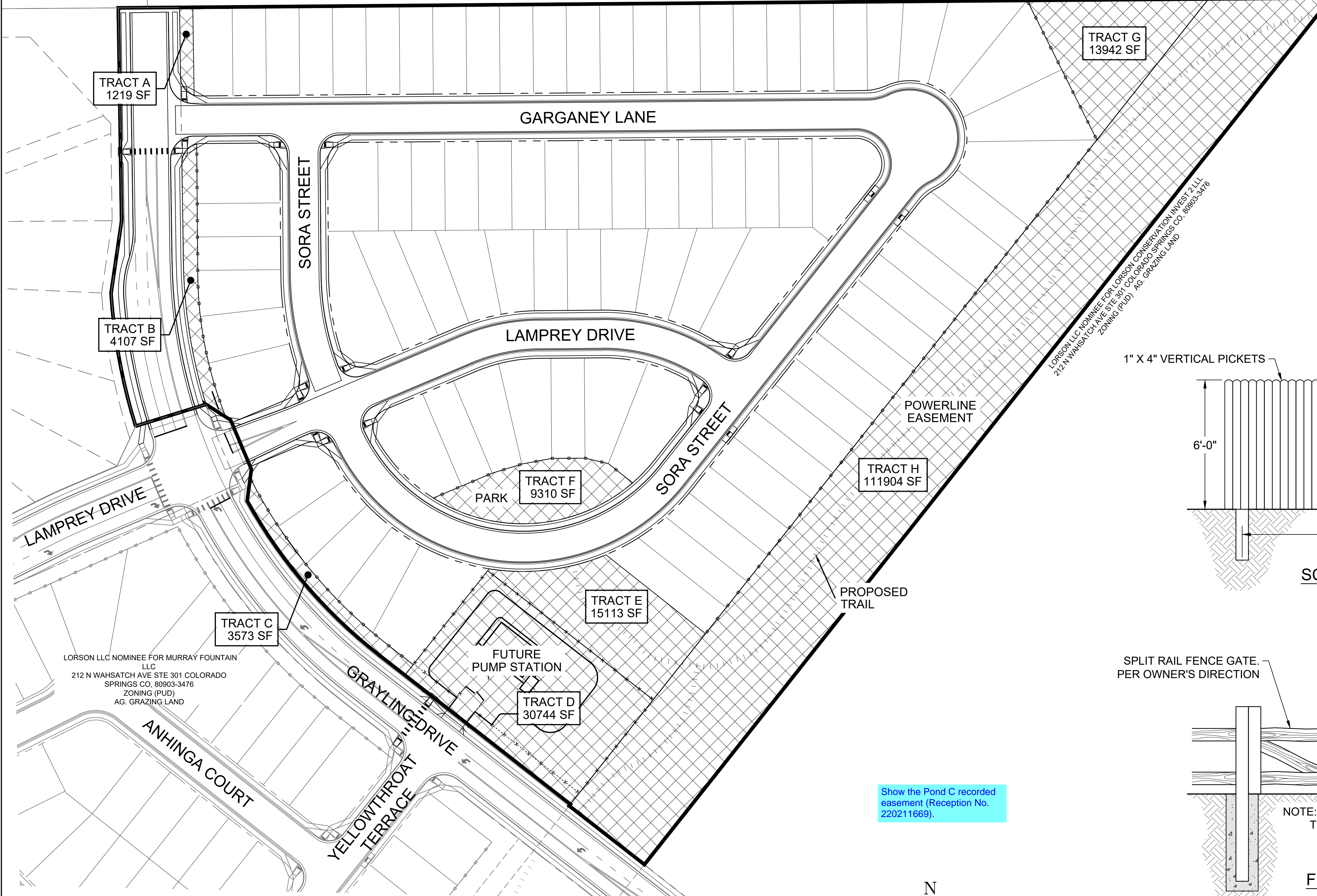
EL PASO COUNTY, CO  
PLANNED UNIT DEVELOPMENT AND  
PRELIMINARY PLAN

LOCATED IN THE SOUTHEAST & SOUTHWEST QUARTER OF SECTION 13,  
T15S, R65W OF THE 6TH P.M., EL PASO COUNTY, STATE OF COLORADO

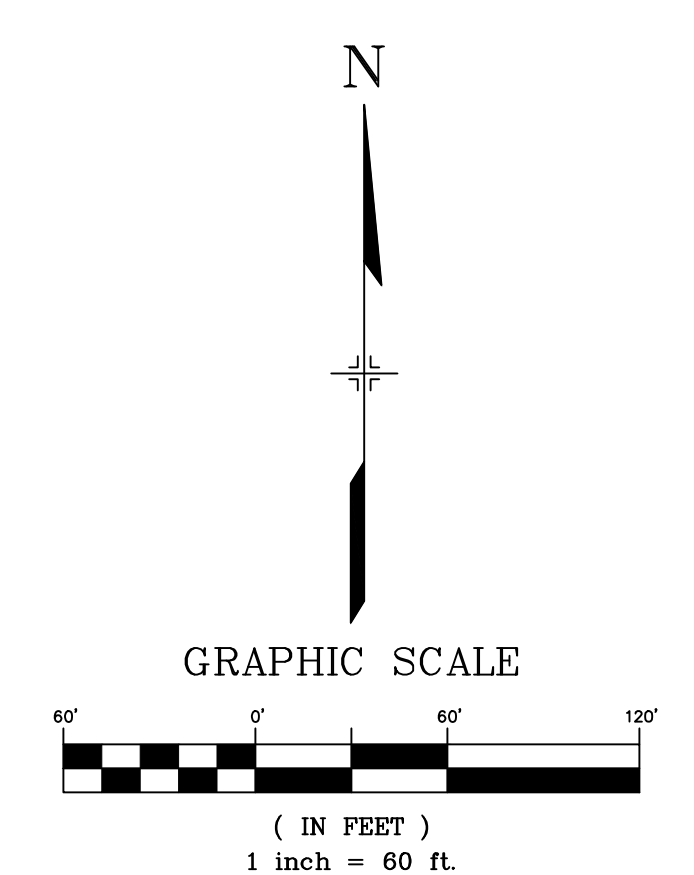
CONSULTANTS:  
PLANNER / LANDSCAPE ARCHITECT:  
**Matrix** 2435 RESEARCH PARKWAY,  
SUITE 300  
COLORADO SPRINGS, CO 80920  
PHONE: (719) 575-0100  
FAX: (719) 575-0208  
CIVIL ENGINEER:  
CORE ENGINEERING GROUP  
15004 1ST AVENUE S.  
BURNSVILLE, MN 55305  
PHONE: (719) 570-1100

OWNER:  
LORSON LLC  
212 N. WAHSATCH DR., SUITE 301  
COLORADO SPRINGS, CO 80903  
(719) 635-3200

DEVELOPER:  
CHALLENGER HOMES  
8605 EXPLORER DRIVE, SUITE 250  
COLORADO SPRINGS, CO 80920  
(719) 598-5192

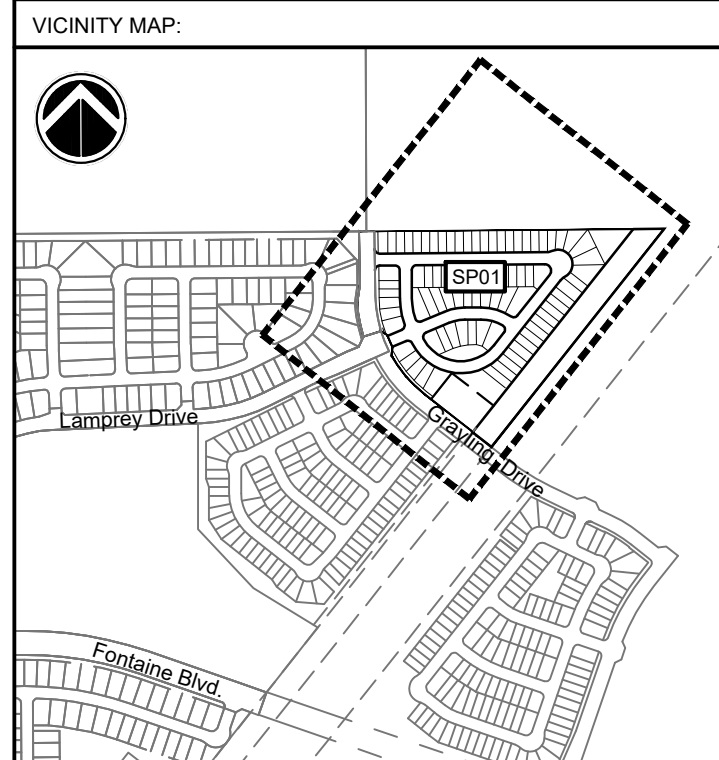


Show the Pond C recorded easement (Reception No. 220211669).



TRACT	SIZE (SF)	LANDSCAPE/ OPEN SPACE/ TRAIL	POCKET PARK	SIGNAGE/ PUBLIC IMPROVEMENTS	DRAINAGE	DETENTION	PUBLIC UTILITIES	OWNED BY	MAINTAINED BY
A	1,219	X		X	X		X	LRMD	LRMD
B	4,107	X		X	X		X	LRMD	LRMD
C	3,573	X		X	X		X	LRMD	LRMD
D	30,744					X	X	WWSD	WWSD
E	15,113	X			X	X	X	LRMD	LRMD
F	9,310	X	X	X	X		X	LRMD	LRMD
G	13,942	X		X	X		X	LRMD	LRMD
H	111,904	X		X	X		X	LRMD	LRMD
	189,913								

LRMD = LORSON RANCH METROPOLITAN DISTRICT  
WWSD = WIDEFIELD WATER AND SANITATION DISTRICT  
NOTE: TRACT D MAY INCLUDE UTILITIES, ACCESS DRIVE, STRUCTURES, FENCING, WIDEFIELD WATER AND SANITATION DISTRICT FACILITIES, AND LANDSCAPE IMPROVEMENTS. TRACT D SHALL BE DEDICATED TO THE WIDEFIELD WATER AND SANITATION DISTRICT.



PROJECT:  
SKYLINE AT LORSON RANCH  
PLANNED UNIT DEVELOPMENT AND  
PRELIMINARY PLAN

EL PASO COUNTY, CO  
THIRD SUBMITTAL: SEPTEMBER 16, 2021

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY
0	01 / 18 / 2021	FIRST SUBMITTAL	RAF
1	06 / 09 / 2021	SECOND SUBMITTAL	RAF
2	11 / 11 / 2021	THIRD SUBMITTAL	RAF

DRAWING INFORMATION:  
PROJECT NO.: 20.1129.002  
DRAWN BY: RAF  
CHECKED BY: JRA  
APPROVED BY: JRA

## PUD TRACT MAP AND DETAILS

DT01

SHEET 02 OF 08

PCD FILE NO.: PUDSP212

FILE LOCATION: S:\20.1129.002 LORSON RANCH AREA\100 DWG\104 PLAN SET\DEVELOPMENT PLAN\DT01.DWG



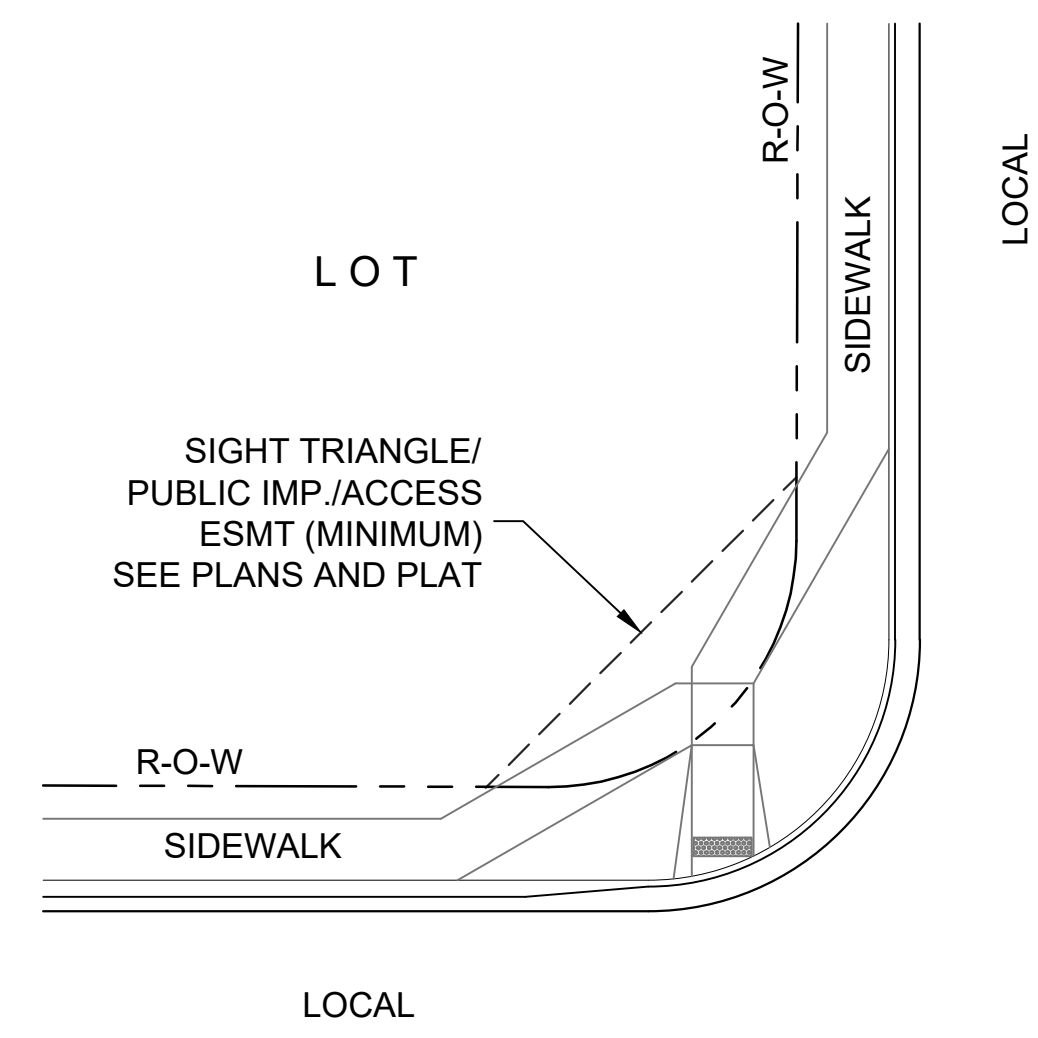
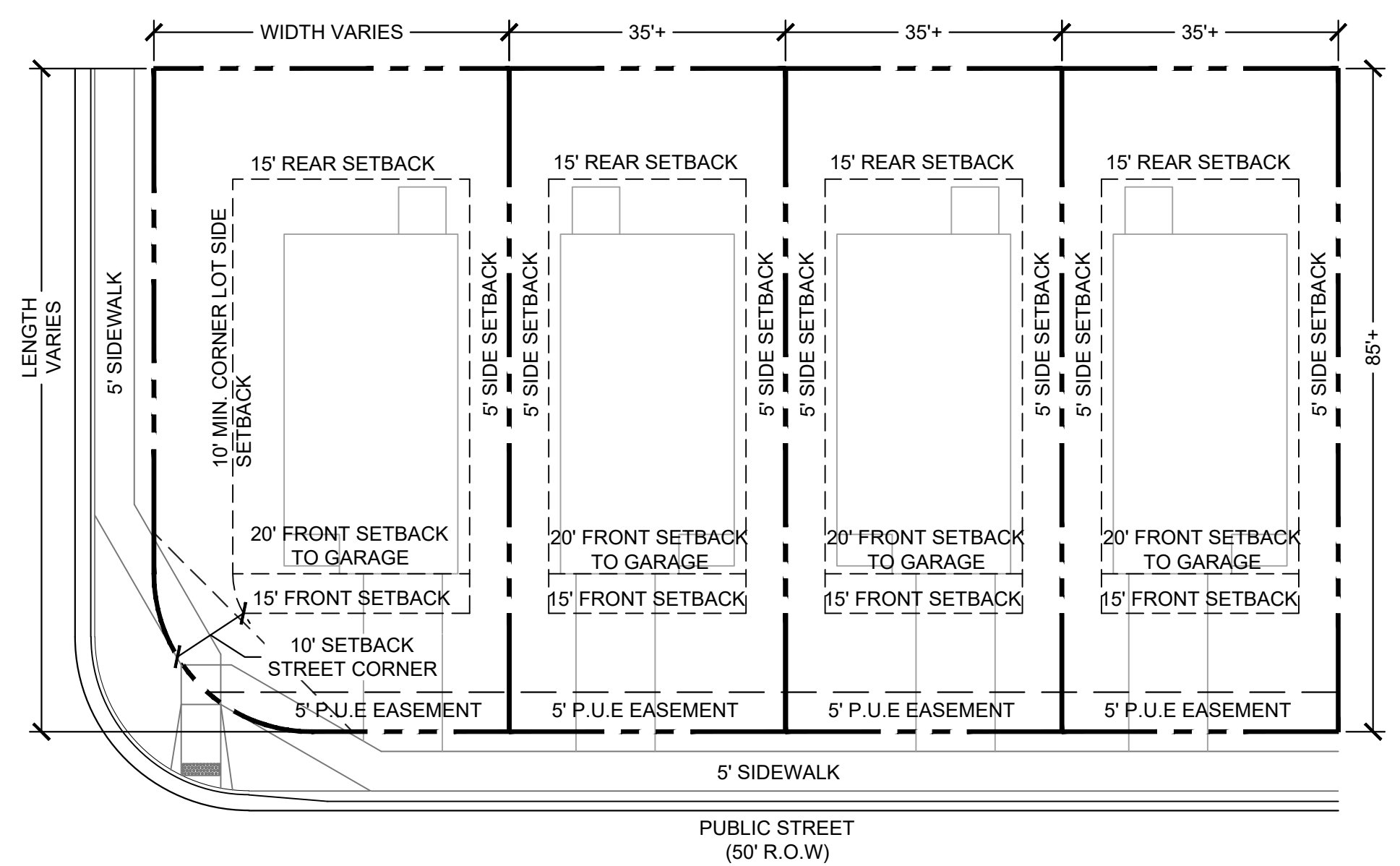
# SKYLINE AT LORSON RANCH

EL PASO COUNTY, CO  
**PLANNED UNIT DEVELOPMENT AND  
 PRELIMINARY PLAN**

LOCATED IN THE SOUTHEAST & SOUTHWEST QUARTER OF SECTION 13,  
 T15S, R65W OF THE 6TH P.M., EL PASO COUNTY, STATE OF COLORADO

CONSULTANTS:  
 PLANNER/ LANDSCAPE ARCHITECT:  
**Matrix** 2435 RESEARCH PARKWAY,  
 SUITE 300  
 COLORADO SPRINGS, CO 80920  
 PHONE: (719) 575-0100  
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 CIVIL ENGINEER:  
 CORE ENGINEERING GROUP  
 15004 1ST AVENUE S.  
 BURNSVILLE, MN 55306  
 PHONE: (719) 570-1100

OWNER:  
**LORSON LLC**  
 212 N. WAHSATCH DR., SUITE 301  
 COLORADO SPRINGS, CO 80903  
 (719) 635-3200  
 DEVELOPER:  
**CHALLENGER HOMES**  
 8605 EXPLORER DRIVE, SUITE 250  
 COLORADO SPRINGS, CO 80920  
 (719) 598-5192



- NOTE:
- ADDITIONAL PUBLIC IMPROVEMENT EASEMENTS ARE REQUIRED WHERE SIDEWALK ENCLOSES INTO THE PRIVATE LOTS.
  - SEE CONSTRUCTION DRAWINGS AND THE FINAL PLAT.
  - SEE CONSTRUCTION DRAWINGS AND PLAT FOR SIGHT TRIANGLE.

### LOCAL ROADWAY SIGHT TRIANGLE PUBLIC IMPROVEMENT ESMT.

NOT TO SCALE

## LOTS 1-85

### DIMENSIONAL STANDARDS AND GUIDELINES (RESIDENTIAL LOTS)

#### DIMENSIONAL STANDARDS FOR LOTS 1 - 85

- MINIMUM LOT AREA:
  - DWELLING, SINGLE FAMILY: 2,500 SF
- MAXIMUM IMPERVIOUS COVERAGE: NO MAXIMUM
- MAXIMUM STRUCTURAL HEIGHT: FORTY FIVE FEET (45')
- MINIMUM WIDTH OF LOT AT FRONT BUILDING SETBACK LINE: TWENTY FIVE FEET (25') OR AS OTHERWISE SHOWN.
- PROJECTIONS INTO SETBACKS ARE GOVERNED BY THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED. ALL PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTAINING PROPER STORM WATER DRAINAGE IN AND THROUGH THEIR PROPERTY. PUBLIC DRAINAGE EASEMENTS AS SPECIFICALLY NOTED ON THE PLAT SHALL BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS UNLESS OTHERWISE INDICATED. HOMEBUILDERS ARE RESPONSIBLE TO ENSURE PROPER DRAINAGE AROUND STRUCTURES, INCLUDING ELEVATIONS OF FOUNDATIONS AND WINDOW WELLS IN RELATION TO SIDE-LOT DRAINAGE EASEMENTS AND SWALES. HOMEOWNERS SHALL NOT CHANGE THE GRADE OF THE LOT OR DRAINAGE SWALES, WITHIN SAID EASEMENTS, AS CONSTRUCTED BY THE BUILDER, IN A MANNER THAT WOULD CAUSE ADVERSE DRAINAGE IMPACTS TO PROPERTIES, STRUCTURES, FENCES, MATERIALS OR LANDSCAPING THAT COULD IMPEDE THE FLOW OF RUNOFF SHALL NOT BE PLACED IN DRAINAGE EASEMENTS.
- SETBACK REQUIREMENTS (SEE DETAIL S):
  - FRONT YARD: TWENTY FEET (20') TO FACE OF GARAGE FIFTEEN FEET (15') TO FACE OF HOUSE
  - SIDE YARD: FIVE FEET (5', 10' MIN. BETWEEN BUILDINGS)
  - REAR YARD: FIFTEEN FEET (15')
  - CORNER YARD (NON-DRIVEWAY SIDE): MINIMUM TEN FEET (10')
- ACCESSORY STRUCTURE STANDARDS:
  - MAXIMUM ACCESSORY STRUCTURE HEIGHT: TEN FEET (10')
  - SETBACK REQUIREMENTS:
    - SIDE YARD: FIVE FEET (5')
    - REAR YARD: FIVE FEET (5')

- PROJECTION INTO SETBACKS
  - AN ENCLOSED PORCH, 4 FEET BY 4 FEET OR LESS, MAY PROJECT INTO A REQUIRED FRONT OR REAR YARD SETBACK.
  - OPEN AND UNENCLOSED PATIOS, FREESTANDING PERGOLAS, DECKS, PLATFORMS, LANDINGS OR RAMPS MAY EXTEND INTO REQUIRED FRONT, SIDE OR REAR YARD SETBACKS PROVIDED THE PATIO, DECK, PLATFORM, LANDING OR RAMP DOES NOT EXCEED 18 INCHES IN HEIGHT MEASURED FROM THE FINISHED FLOOR TO ANY ADJACENT POINT OF THE FINISHED GRADE.
  - OPEN AND UNENCLOSED PATIOS, PERGOLAS, DECKS, PLATFORMS, LANDINGS OR RAMPS EXCEEDING 18 INCHES IN HEIGHT MEASURED FROM THE FINISHED FLOOR TO ANY ADJACENT POINT OF THE FINISHED GRADE MAY EXTEND INTO REQUIRED FRONT, SIDE OR REAR YARD SETBACKS A MAXIMUM OF 10 FEET.
  - AWNINGS, CHIMNEYS AND FLUES, SILLS, BELT COURSES, CORNICES, EAVES AND OTHER SIMILAR ARCHITECTURAL FEATURES MAY PROJECT NOT MORE THAN 2 FEET INTO REQUIRED FRONT, SIDE OR REAR YARD SETBACKS.
  - CANTILEVERED BAY WINDOWS, NO GREATER THAN 12 FEET IN WIDTH, MAY PROJECT NOT MORE THAN 3 FEET INTO A REQUIRED FRONT OR REAR YARD SETBACK. THE WINDOW SHALL INCLUDE NO SUPPORTS THAT EXTEND INTO THE REQUIRED FRONT OR REAR YARD SETBACK.

please add a dimensional standards that engineer walls 4-feet or greater are allowed to be in all setbacks.... (I think you may have some walls greater than 4 feet)

Please add the agreed upon language re: window wells allowed to project into setbacks as long as they do not impede drainage flow

### DEVELOPMENT STANDARDS AND GUIDELINES (RESIDENTIAL LOTS)

#### PRINCIPAL USES:

- THERE SHALL ONLY BE ONE (1) PRINCIPAL (PRIMARY) USE OF SINGLE-FAMILY RESIDENCE PER LOT.
- ALLOWED USES INCLUDE: SINGLE FAMILY RESIDENTIAL, MAIL KIOSKS, TRAIL CORRIDORS, DEVELOPMENT SIGNAGE, ENTRY MONUMENT SIGNAGE, PEDESTRIAN WALKWAYS, FENCING, UTILITIES, METRO DISTRICT FACILITIES, STORMWATER FACILITIES, DRAINAGE IMPROVEMENTS, OPEN SPACE AND LANDSCAPE IMPROVEMENTS, PARKS AND ASSOCIATED PARK RELATED EQUIPMENT, AND OTHER USES ALLOWED PER THE DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS FOR LORSON RANCH, AND THE LORSON RANCH DESIGN GUIDELINES.

\*PRINCIPAL USES ARE SUBJECT TO THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT, AS AMENDED

#### TEMPORARY USES:

- MODEL HOME/ SUBDIVISION SALES OFFICE
- CONSTRUCTION EQUIPMENT AND FIELD OFFICES ONLY WHEN ASSOCIATED WITH A PERMITTED USE
- YARD OR GARAGE SALES

\*TEMPORARY USES ARE SUBJECT TO THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT, AS AMENDED

#### ACCESSORY USES:

- RESIDENTIAL HOME OCCUPATION TO BE PER THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
- RESIDENTIAL DAY CARE TO BE PER THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
- SOLAR ENERGY SYSTEMS PERMITTED FOR PERSONAL USE ONLY AS PART OF THE MAIN STRUCTURE PER THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
- PERSONAL USE GREEN HOUSE OR GARDEN. GROWING OF MARIJUANA IS NOT PERMITTED.
- MOTHER-IN-LAW QUARTERS AS PART OF THE MAIN STRUCTURE. ONLY 1 PER LOT.

### DIMENSIONAL STANDARDS AND GUIDELINES (PUMPSTATION)

#### DIMENSIONAL STANDARDS FOR PUMPSTATION (TRACT D)

- MINIMUM LOT AREA: N/A
- MAXIMUM IMPERVIOUS COVERAGE: 80%
- MAXIMUM STRUCTURAL HEIGHT: FORTY FIVE FEET (45')
- BUILDING SETBACK REQUIREMENTS:
  - FRONT YARD: FIFTEEN FEET (15')
  - SIDE YARD: FIVE FEET (5')
  - REAR YARD: FIFTEEN FEET (15')
- LANDSCAPE SETBACK REQUIREMENTS:
  - FRONT YARD: FIFTEEN FEET (15')
  - SIDE YARD (ADJACENT TO RESIDENTIAL): FIFTEEN FEET (15')
  - SIDE YARD (ADJACENT TO EASEMENT/ OPEN SPACE): ZERO FEET (0')
  - REAR YARD: TEN FEET (10')

ADD with \* as modified

**MODIFICATION**  
 TO REMOVE THE 15' LANDSCAPE BUFFER FROM THE EASTERN TRACT LINE OF THE PUMPSTATION SITE TO REDUCE THE REQUIRED 15' WIDE LANDSCAPE BUFFER TO 10' WIDE ALONG THE NORTHERN (REAR) TRACT LINE, AND REDUCE THE TOTAL REQUIRED TREE COUNT WITHIN THE SOUTHERN LANDSCAPE BUFFER OF PUMPSTATION TRACT D.

remove the plus and minus and just cap the sf at a max (4000 SF) (these things tend to get larger later on)

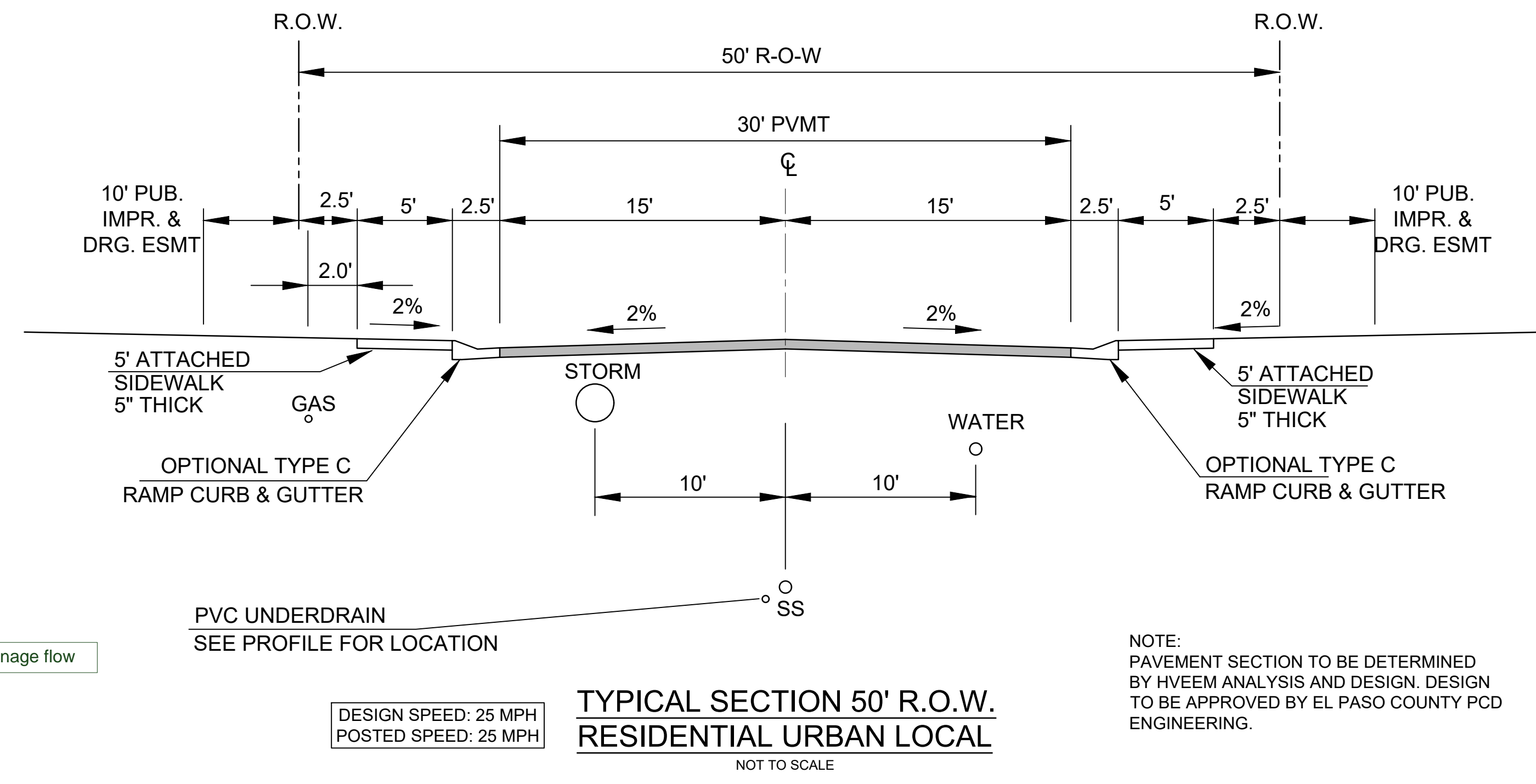
### DEVELOPMENT STANDARDS AND GUIDELINES (PUMPSTATION)

#### PRINCIPAL USES:

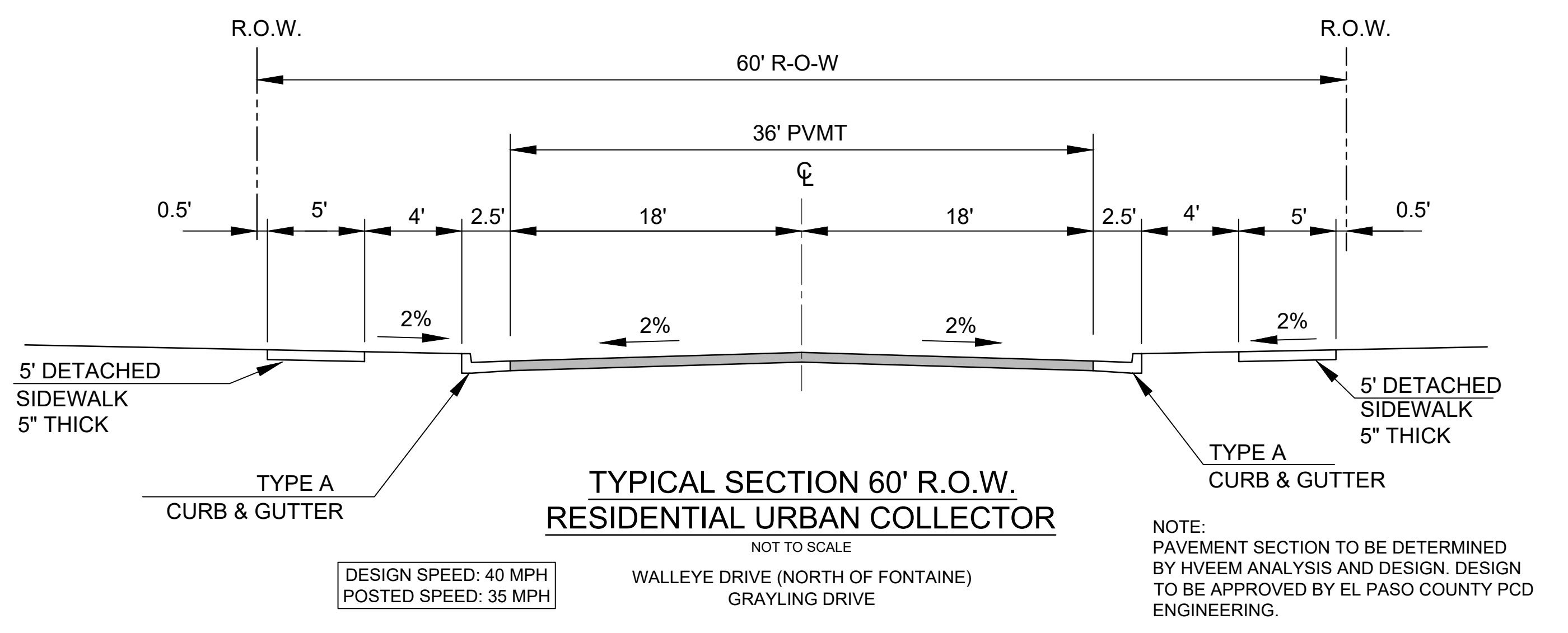
- ALLOWED USES INCLUDE: UTILITIES, ACCESS DRIVE, STRUCTURES, GENERATOR, MAINTENANCE BUILDING (+/- 1,700 SF), CHEMICAL STORAGE, 7' HIGH CHAIN LINK FENCING WITH 3 STRAND BARBED WIRE ON TOP, WIDEFIELD WATER AND SANITATION DISTRICT FACILITIES, PIPING & ELECTRICAL CONTROLS, PUMPING SYSTEM AND LANDSCAPE IMPROVEMENTS.

\*PRINCIPAL USES ARE SUBJECT TO THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT, AS AMENDED

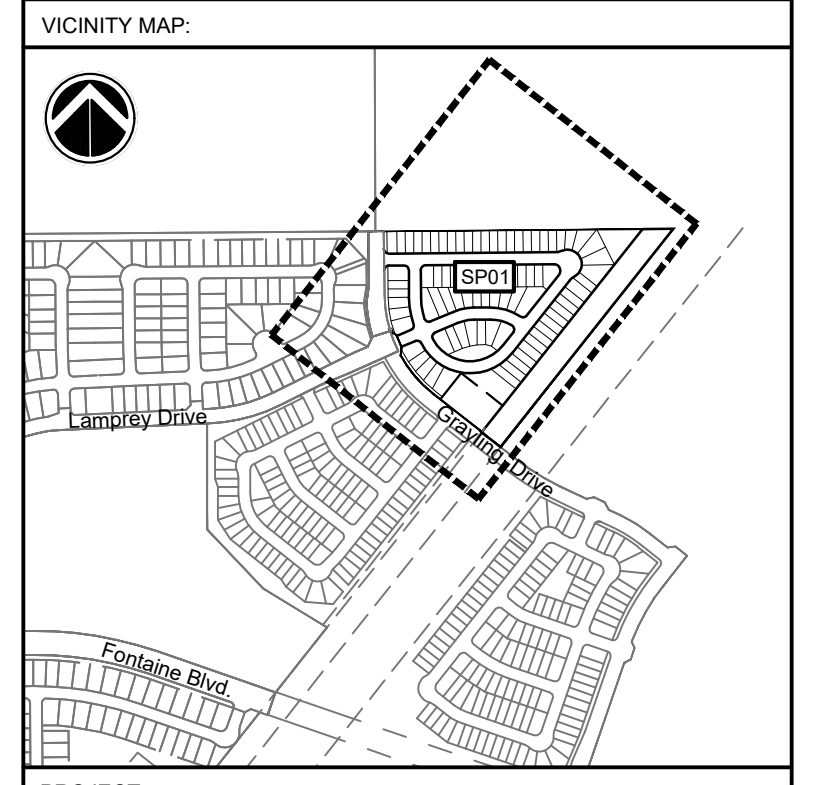
pump station, well house and associated buildings, water lines, (Add these to)



NOTE: PAVEMENT SECTION TO BE DETERMINED BY HVEEM ANALYSIS AND DESIGN. DESIGN TO BE APPROVED BY EL PASO COUNTY PCD ENGINEERING.



NOTE: PAVEMENT SECTION TO BE DETERMINED BY HVEEM ANALYSIS AND DESIGN. DESIGN TO BE APPROVED BY EL PASO COUNTY PCD ENGINEERING.



PROJECT:  
 SKYLINE AT LORSON RANCH  
 PLANNED UNIT DEVELOPMENT AND  
 PRELIMINARY PLAN

EL PASO COUNTY, CO  
 THIRD SUBMITTAL: SEPTEMBER 16, 2021

NO.	DATE	DESCRIPTION	BY
0	01 / 18 / 2021	FIRST SUBMITTAL	RAF
1	06 / 09 / 2021	SECOND SUBMITTAL	RAF
2	11 / 11 / 2021	THIRD SUBMITTAL	RAF

DRAWING INFORMATION:  
 PROJECT NO.: 20.1129.002  
 DRAWN BY: RAF  
 CHECKED BY: JRA  
 APPROVED BY: JRA  
 SHEET TITLE:

## PUD DETAILS

DT02

SHEET 03 OF 08

PCD FILE NO.: PUDSP212

FILE LOCATION: S:20:1129:002 LORSON RANCH AREA A1100 DWG104 PLAN SET/DEVELOPMENT PLANNING/D101.DWG



# SKYLINE AT LORSON RANCH

EL PASO COUNTY, CO  
**PLANNED UNIT DEVELOPMENT AND  
 PRELIMINARY PLAN**

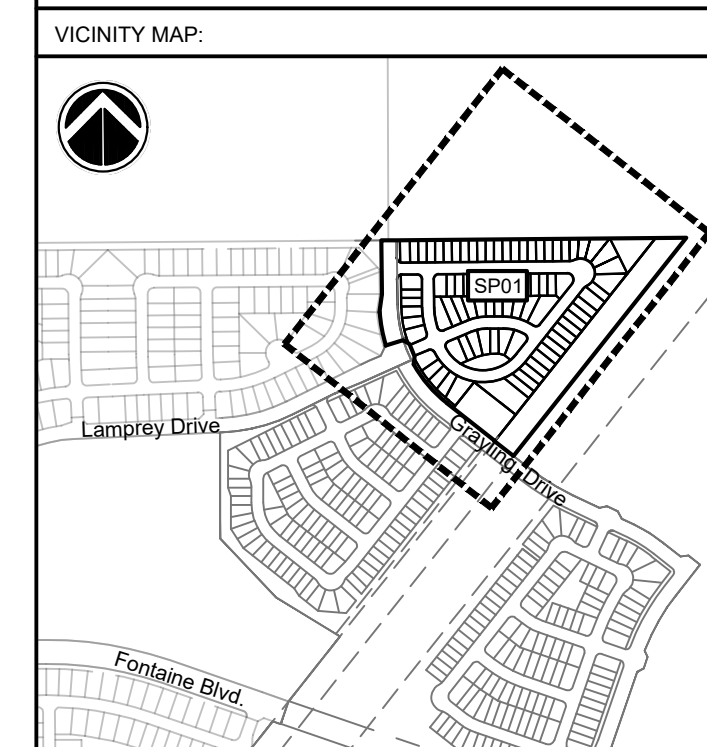
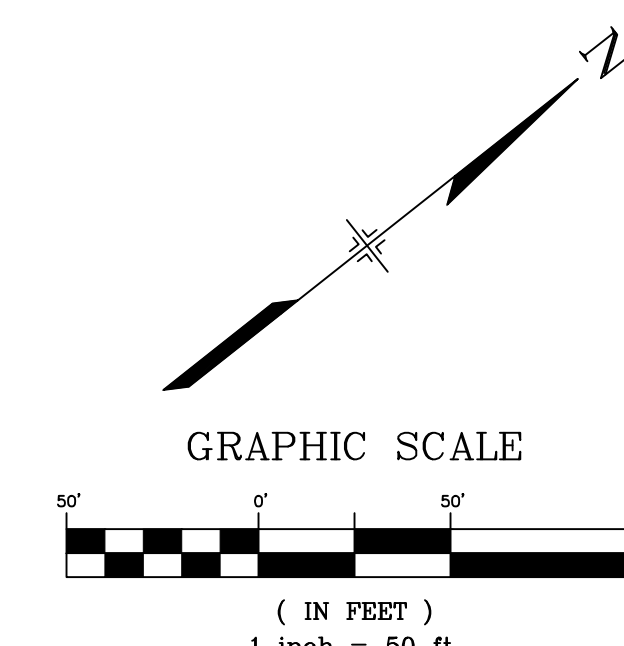
LOCATED IN THE SOUTHEAST & SOUTHWEST QUARTER OF SECTION 13,  
 T15S, R65W OF THE 6TH P.M., EL PASO COUNTY, STATE OF COLORADO

CONSULTANTS:  
 PLANNER/ LANDSCAPE ARCHITECT: **Matrix** 2435 RESEARCH PARKWAY, SUITE 300, COLORADO SPRINGS, CO 80920  
 CIVIL ENGINEER: CORE ENGINEERING GROUP 15004 1ST AVENUE S, BURNSVILLE, MN 55306  
 OWNER: **LORSON LLC** 212 N. WAHSATCH DR., SUITE 301, COLORADO SPRINGS, CO 80903  
 DEVELOPER: **CHALLENGER HOMES** 8605 EXPLORER DRIVE, SUITE 250, COLORADO SPRINGS, CO 80920

## LEGEND

- 1 ASPHALT SURFACE (TYPICAL)
- 2 CONCRETE SIDEWALK
- 3 6" WOOD SCREEN FENCE
- 4 CONCRETE CROSSSPAN (6' TYPICAL)
- 5 CURB AND GUTTER (TYPE A)
- 6 CURB AND GUTTER (OPTIONAL TYPE C)
- 7 PEDESTRIAN INTERSECTION RAMP (SD\_2-40 & 2-41)
- 8 PARALLEL PEDESTRIAN RAMP (SD\_2-50)
- 9 PROPOSED FIRE HYDRANT LOCATION
- 10 COMPACTED BREEZE TRAIL (5' TYPICAL)
- 11 SIGHT DISTANCE TRIANGLE (TYPICAL)
- 12 SIGHT DISTANCE EASEMENT

- PROPOSED EASEMENT
- PROPERTY BOUNDARY
- SHEET MATCHLINE
- 6" WOODEN SCREEN FENCE
- SIGHT TRIANGLE
- PROPOSED UTILITY STRUCTURES
- PROPOSED CONTOURS
- EXISTING CONTOURS



PROJECT:  
**SKYLINE AT LORSON RANCH  
 PLANNED UNIT DEVELOPMENT AND  
 PRELIMINARY PLAN**

EL PASO COUNTY, CO  
 THIRD SUBMITTAL: SEPTEMBER 16, 2021

REVISION HISTORY:			
NO.	DATE	DESCRIPTION	BY
0	01/18/2021	FIRST SUBMITTAL	RAF
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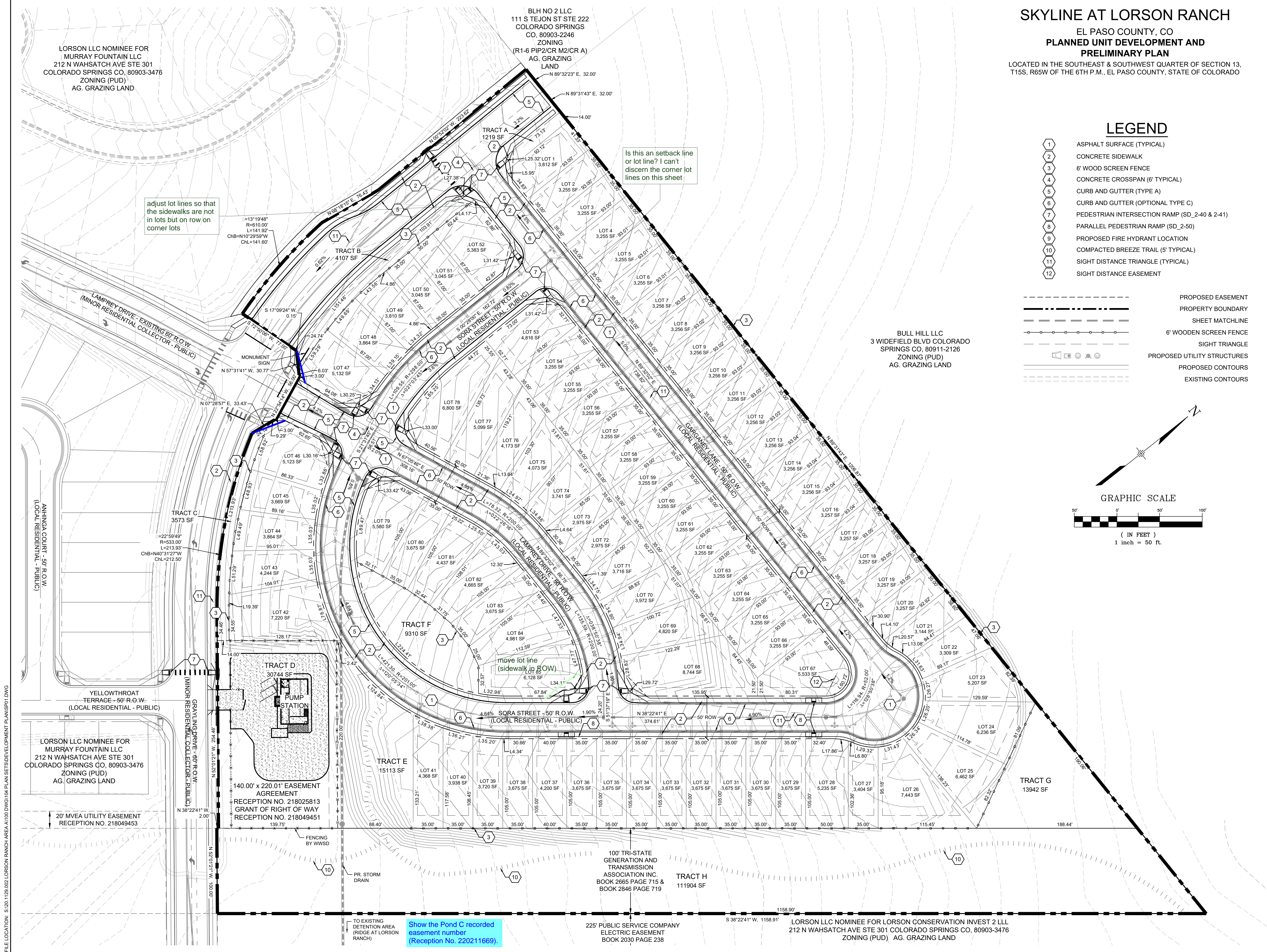
DRAWING INFORMATION:  
 PROJECT NO: 20.1129.002  
 DRAWN BY: RAF  
 CHECKED BY: JRA  
 APPROVED BY: JRA  
 SHEET TITLE:

**SITE PLAN**

**SP01**

**SHEET 04 OF 08**

PCD FILE NO.: PUDSP212



LORSON LLC NOMINEE FOR  
 MURRAY FOUNTAIN LLC  
 212 N WAHSATCH AVE STE 301  
 COLORADO SPRINGS CO, 80903-3476  
 ZONING (PUD)  
 AG. GRAZING LAND

BLH NO 2 LLC  
 111 S TEJON ST STE 222  
 COLORADO SPRINGS  
 CO, 80903-2246  
 ZONING  
 (R1-6 PIP2/CR M2/CR A)  
 AG. GRAZING  
 LAND

BULL HILL LLC  
 3 WIDEFIELD BLVD COLORADO  
 SPRINGS CO, 80911-2126  
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LORSON LLC NOMINEE FOR  
 MURRAY FOUNTAIN LLC  
 212 N WAHSATCH AVE STE 301  
 COLORADO SPRINGS CO, 80903-3476  
 ZONING (PUD)  
 AG. GRAZING LAND

140.00' x 220.01' EASEMENT  
 AGREEMENT  
 RECEPTION NO. 218025813  
 GRANT OF RIGHT OF WAY  
 RECEPTION NO. 218049451

100' TRI-STATE  
 GENERATION AND  
 TRANSMISSION  
 ASSOCIATION INC.  
 BOOK 2665 PAGE 715 &  
 BOOK 2846 PAGE 719

LORSON LLC NOMINEE FOR LORSON CONSERVATION INVEST 2 LLL  
 212 N WAHSATCH AVE STE 301 COLORADO SPRINGS CO, 80903-3476  
 ZONING (PUD) AG. GRAZING LAND

adjust lot lines so that  
 the sidewalks are not  
 in lots but on row on  
 corner lots

Is this an setback line  
 or lot line? I can't  
 discern the corner lot  
 lines on this sheet

Show the Pond C recorded  
 easement number  
 (Reception No. 220211669).

FILE LOCATION: S:20:1129:002 LORSON RANCH AREA A100 DWG104 PLAN SETS/DEVELOPMENT PLANS/SP01.DWG



**GENERAL NOTES:**

- PRIOR TO BEGINNING ANY WORK ON THE SITE, THE CONTRACTOR SHALL CONTACT THE OFFICE OF THE OWNER'S REPRESENTATIVE FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.
- READ THOROUGHLY AND BECOME FAMILIAR WITH THE DRAWINGS, NOTATIONS, DETAILS AND SPECIFICATIONS FOR THIS AND RELATED WORK PRIOR TO CONSTRUCTION.
- LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICES NECESSARY TO FURNISH AND INSTALL LANDSCAPE ELEMENTS AND PLANTINGS AS SPECIFIED HEREIN AND AS SHOWN ON THESE PLANS.
- REPORT ANY DISCREPANCIES IN THE LANDSCAPE PLANS IMMEDIATELY TO THE OWNER/ OWNER'S REPRESENTATIVE.
- NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT LANDSCAPE ARCHITECT'S APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REVISE PLANT LIST AS DEEMED NECESSARY.
- ALL PLANT LOCATIONS ARE APPROXIMATE, ADJUST AS NECESSARY TO AVOID CONFLICTS.
- QUANTITIES OF MATERIALS SHOWN ON THE PLANTING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT MATERIAL SCHEDULE. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES ON THE PLANTING PLAN.
- CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE WORK. UTILITIES HAVE BEEN SHOWN ON PLAN FOR ROUGH LOCATION OF SERVICES. LOCATE EXACT UTILITY LOCATIONS BY CONTACTING "CALL BEFORE YOU DIG" AT (800) 922-1987 OR 811. CONTRACTOR WILL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE HE MAY CAUSE TO UTILITIES.
- REMOVE ALL RUBBISH, EQUIPMENT AND MATERIAL AND LEAVE THE AREA IN A NEAT, CLEAN CONDITION EACH DAY. MAINTAIN PAVED AREAS UTILIZED FOR HAULING EQUIPMENT AND MATERIALS BY OTHER TRADES IN A CLEAN AND UNOBSTRUCTED CONDITION AT ALL TIMES.
- STORAGE OF ANY MATERIALS, BUILDINGS, VEHICLES OR EQUIPMENT, FENCING AND WARNING SIGNS SHALL BE MAINTAINED THROUGHOUT THE SITE WORK AND CONSTRUCTION PERIODS BY THE CONTRACTOR.
- ALL COMMON LANDSCAPE AND STREETSCAPE PLANTINGS WITHIN THIS DEVELOPMENT SHALL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER.
- ANY OBJECT WITHIN THE SIGHT DISTANCE TRIANGLE OR EASEMENT MORE THAN 30 INCHES ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT ROADWAY SHALL CONSTITUTE A SIGHT OBSTRUCTION, AND SHALL BE REMOVED OR LOWERED. THE OBJECTS MAY INCLUDE BUT ARE NOT LIMITED TO BERMS, BUILDINGS, PARKED VEHICLES ON PRIVATE PROPERTY, CUT SLOPES, HEDGES, TREES, BUSHES, UTILITY CABINETS OR TALL CROPS. TREES MAY BE PERMITTED AT THE DISCRETION OF THE ECM ADMINISTRATOR IF PRUNED TO AT LEAST 8 FEET ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT ROADWAY.

**SHRUB/ TREE PLANTING NOTES:**

- ALL TREE AND SHRUB LOCATIONS ARE APPROXIMATE, ADJUST AS NECESSARY TO AVOID CONFLICTS. PLANTING LOCATIONS OF SHRUBS, GRASSES, AND PERENNIALS AS SPECIFIED. OBTAIN OWNER'S REPRESENTATIVE'S APPROVAL OF LOCATIONS PRIOR TO PLANTING TREES AND SHRUBS.
- ALL PLANT MATERIAL SHALL BE WELL-FORMED AND DEVELOPED IN GOOD CONDITION, HEALTHY AND DISEASE-FREE, AND BE TYPICAL OF THE SPECIES. PLANTS SHALL COMPLY IN ALL APPLICABLE RESPECTS WITH ACCEPTABLE STANDARDS AS SET FORTH IN THE COLORADO NURSERY ACT OF 1965 - TITLE 35, ARTICLE 25, CRS 1974 (SEE LANDSCAPE THE NURSERY ACT).
- PLANTS ARE TO BE SELECTED AND SIZED AS SHOWN ON THE PLANT SCHEDULE.
- PLANTING BEDS RECEIVING MULCH ARE TO BE FREE OF WEEDS AND GRASS. TREAT BEDS WITH A PRE-EMERGENT HERBICIDE PRIOR TO PLANTING AND MULCH PLACEMENT. APPLY IN ACCORDANCE WITH STANDARD TRADE PRACTICE. DO NOT APPLY HERBICIDE IN PERENNIAL BEDS.
- POROUS WEED BARRIER FABRIC, AS NOTED IN THE SPECIFICATIONS, SHALL BE INSTALLED WHERE NOTED IN THE DETAILS.
- ALL PLANT MATERIALS SHALL HAVE BACKFILL CAREFULLY PLACED AROUND BASE AND SIDES OF BALL TO TWO-THIRDS (2/3) DEPTH OF BALL, THEN THOROUGHLY SOAKED WITH WATER TO ALLOW SETTLEMENT. ALL WIRE, BURLAP FASTENERS AND LOOSE BURLAP AROUND BASE OF TRUNK SHALL BE REMOVED AT THIS TIME. REMAINDER OF PIT SHALL THEN BE BACKFILLED, ALLOWING FOR DEPTH OF MULCH, SAUCER AND SETTLEMENT OF BACKFILL. BACKFILL SHALL THEN BE THOROUGHLY WATERED AGAIN.
- THE CONTRACTOR SHALL PROVIDE ALL WATER, WATERING DEVICES AND LABOR NEEDED TO IRRIGATE PLANT MATERIALS UNTIL AUTOMATIC IRRIGATION SYSTEMS ARE OPERATIONAL AND ACCEPTED. THE CONTRACTOR SHALL SUPPLY ENOUGH WATER TO MAINTAIN THE PLANT'S HEALTHY CONDITION BASED ON SEASONAL CONSIDERATIONS.
- AT THE COMPLETION OF PLANTING OPERATIONS ALL PLANTS SHALL BE INSPECTED BY THE OWNER AND OWNER'S REPRESENTATIVE. CONTRACTOR SHALL REPLACE IMMEDIATELY ANY PLANTS NOT IN HEALTHY AND VIGOROUS CONDITION AT THAT TIME AT NO EXPENSE TO THE OWNER. ANY PLANT NOT IN HEALTHY CONDITION DURING THE WARRANTY PERIOD SHALL BE REPLACED AS PER THE ORIGINAL SPECIFICATIONS, AT NO CHARGE TO THE OWNER.

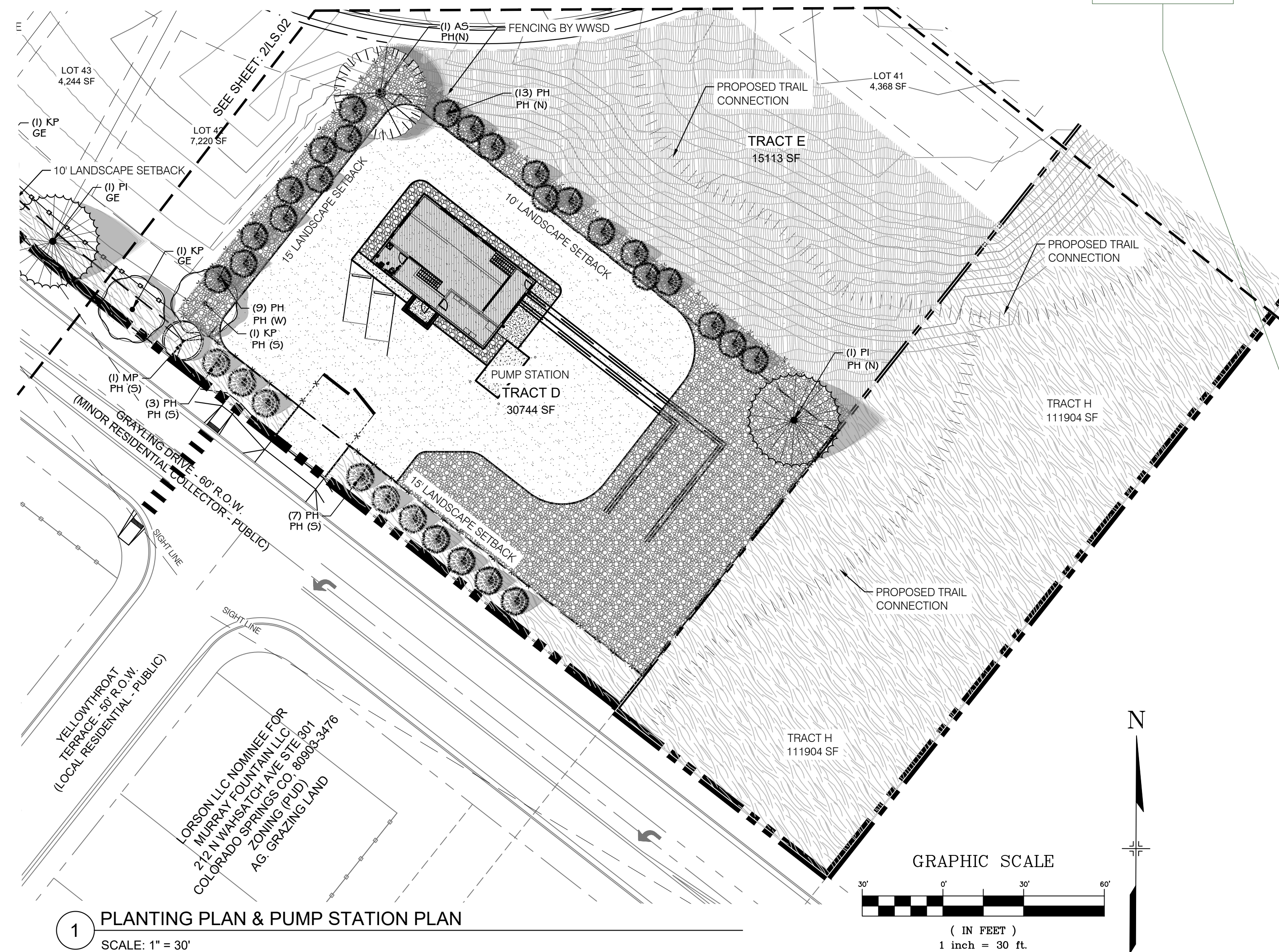
**SODDING & SEEDING:**

- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EXISTING EROSION CONTROL MEASURES DURING THE DURATION OF WORK ON-SITE.
- GENERAL CONTRACTOR SHALL PROVIDE 4" OF TOPSOIL AT ALL SOD AND PLANTING AREAS. GRADE SHALL BE ADJUSTED FOR SOD THICKNESS. ALL FINISH GRADING SHALL BE PERFORMED BY LANDSCAPE CONTRACTOR.
- FINE GRADE SOD AREAS TO ELIMINATE IRREGULARITIES ON THE SURFACE. ROLL OR PERFORM ADDITIONAL FINE GRADING.
- ALL SPECIFIED SEED MIXES SHALL CONSIST OF CERTIFIED SEED VARIETIES THAT ARE FREE OF NOXIOUS WEEDS AND HAVE BEEN TESTED FOR PURITY AND GERMINATION WITHIN SIX MONTHS OF THE PLANTING DATE. CERTIFICATION LABELS WHICH INDICATE THE SPECIES, PURITY, GERMINATION, WEED CONTENT, ORIGIN, AND TEST DATE SHALL BE SUBMITTED FOR ALL SEED MATERIALS.
- SEEDING METHOD: DRILL SEEDING OR BROADCAST SEEDING SHALL BE USED FOR REVEGETATION. AS OUTLINED BELOW, THE SIZE AND SLOPE OF THE DISTURBED AREA SHALL DETERMINE WHICH SEEDING METHOD(S) IS APPROPRIATE AND ACCEPTABLE. WHERE FEASIBLE, RANGELAND DRILL SEEDING COMBINED WITH A COVER OF CRIMPED HAY MULCH OR HYDRO-MULCH IS THE REQUIRED METHOD.
  - SLOPES LESS THAN 3:1 - SEED SHALL BE PLANTED USING A RANGELAND DRILL WITH A SMALL SEED/LEGUME BOX AND AN AGITATOR BOX FOR FLUFFY OR BULKY SEED. SEED ROWS SHALL BE SPACED 7-10 INCHES APART, AND PLANTED 0.5 TO 0.75 INCHES DEEP. THE DRILL SHALL HAVE DOUBLE-DISK FURROW OPENERS WITH DEPTH BANDS AND PACKER WHEELS. SEEDING SHALL BE ACCOMPLISHED USING BI-DIRECTIONAL DRILLING AND FOLLOWING THE SLOPE CONTOUR. THE DRILL EQUIPMENT SHALL BE CALIBRATED EACH DAY OR WHENEVER THERE IS A CHANGE IN THE SEED MIX TO ENSURE PROPER SEED DISTRIBUTION AND RATE.
    - FOR AREAS LARGER THAN 0.1 ACRE- HYDRO-SEEDING SHALL BE USED. THE SEED SHALL NOT BE TANK MIXED WITH THE HYDRO-MULCH AND BROADCAST.
  - MULCHING: WEED-FREE NATIVE HAY, WEED-FREE STRAW, OR VIRGIN WOOD FIBER HYDRO-MULCH SHALL BE USED TO CONTROL EROSION AND PROMOTE SEED GERMINATION AND PLANT ESTABLISHMENT. NATIVE HAY, STRAW, OR HYDRO-MULCH SHALL BE APPLIED AT 2,000 POUNDS/ACRE ON SLOPES LESS THAN 3:1. ON STEEPER SLOPES, A MULCHING RATE OF 2,500 POUNDS/ACRE SHALL BE USED.
  - NATIVE HAY OR STRAW SHALL BE CRIMPED INTO THE SOIL TO A DEPTH OF AT LEAST 3 INCHES, AND SHALL PROTRUDE ABOVE THE GROUND AT LEAST 3 INCHES. AN ORGANIC TACKIFIER SHALL BE USED TO HOLD THE HAY OR STRAW IN PLACE IF THE CRIMPING RESULTS ARE INSUFFICIENT. HYDRO-MULCH SHALL BE APPLIED USING A COLOR DYE AND THE MANUFACTURER RECOMMENDED RATE OF AN ORGANIC TACKIFIER.
  - APPROVAL OF SEEDED TURF AREAS SHALL BE BASED UPON THE SEED PRODUCERS GUARANTEED SEEDING GERMINATION RATE FOR A ONE SQUARE FOOT AREA. IF GUARANTEED GERMINATION RATE IS NOT ACHIEVED, THE CONTRACTOR SHALL OVERSEED UNTIL THE GERMINATION RATE IS ACHIEVED. REVEGETATION SHALL HAVE AT LEAST 3 NATIVE GRASS SEEDLINGS/SQUARE FOOT AND NO BARE AREAS EXCEEDING ONE SQUARE METER AFTER THE SECOND GROWING SEASON. FOR DRILL SEEDED AREAS, PLANTING ROWS SHALL BE NOTICEABLE BY THE END OF THE FIRST FULL GROWING SEASON. IF A PARTIAL OR TOTAL SEEDING FAILURE IS APPARENT AFTER THE SECOND GROWING SEASON, POORLY VEGETATED AREAS SHALL BE RESEED IN THE SAME MANNER DESCRIBED ABOVE. APPROPRIATE SITE PREPARATION PRACTICES SHALL BE USED TO CREATE A SUITABLE SEEDED FOR PLANTING, BUT ANY ESTABLISHED NATIVE VEGETATION SHALL BE UNDISTURBED TO THE EXTENT POSSIBLE. AREAS THAT ERODE BEFORE GERMINATION AND ESTABLISHMENT CAN OCCUR SHALL BE REPAIRED AND IMMEDIATELY RESEED DURING THE SAME SEASON.

**SKYLINE AT LORSON RANCH**

EL PASO COUNTY, CO  
**PLANNED UNIT DEVELOPMENT AND  
 PRELIMINARY PLAN**

LOCATED IN THE SOUTHEAST & SOUTHWEST QUARTER OF SECTION 13,  
 T15S, R65W OF THE 6TH P.M., EL PASO COUNTY, STATE OF COLORADO



**1 PLANTING PLAN & PUMP STATION PLAN**  
 SCALE: 1" = 30'

**DEVELOPMENT PLAN DATA :**

**LANDSCAPE SETBACKS:**

STREET NAME OR ZONE BOUNDARY:	GRAYLING DR. (W)	GRAYLING DR. (E)	INDUSTRIAL BUFFER NORTH	INDUSTRIAL BUFFER WEST	INDUSTRIAL BUFFER SOUTH	INDUSTRIAL BUFFER EAST
ZONE DISTRICT BOUNDARY:	NO	NO	YES	YES	YES	YES
STREET CLASSIFICATION:	COLLECTOR	COLLECTOR	--	--	--	--
SETBACK DEPTH REQUIRED/PROVIDED:	10' / 10'	10' / 10'	15' / 10'	15' / 15'	15' / 15'	15' / 0'
LINEAR FOOTAGE:	442'	578'	220'	140'	220'	140'
TREE/FEET REQUIRED:	1 / 30	1 / 30	1 / 15	1 / 15	1 / 15	1 / 15
NUMBER OF TREES REQUIRED/PROVIDED:	15 / 15	20 / 20	15 / 15	9 / 9	15 / 12	9 / 0
SHRUB SUBSTITUTES REQUIRED/PROVIDED:	0 / 0	0 / 0	0 / 0	0 / 0	0 / 0	0 / 0
ORNAMENTAL GRASS SUBSTITUTES REQ./PROV.	0 / 0	0 / 0	0 / 0	0 / 0	0 / 0	0 / 0
PLANT ABBREVIATION DENOTED ON PLAN: *	GW	GE	PH (N)	PH(W)	PH (S)	PH (E)
% GROUND PLANE VEG. REQUIRED/PROVIDED:	75% / 75%	75% / 75%	--	--	--	--

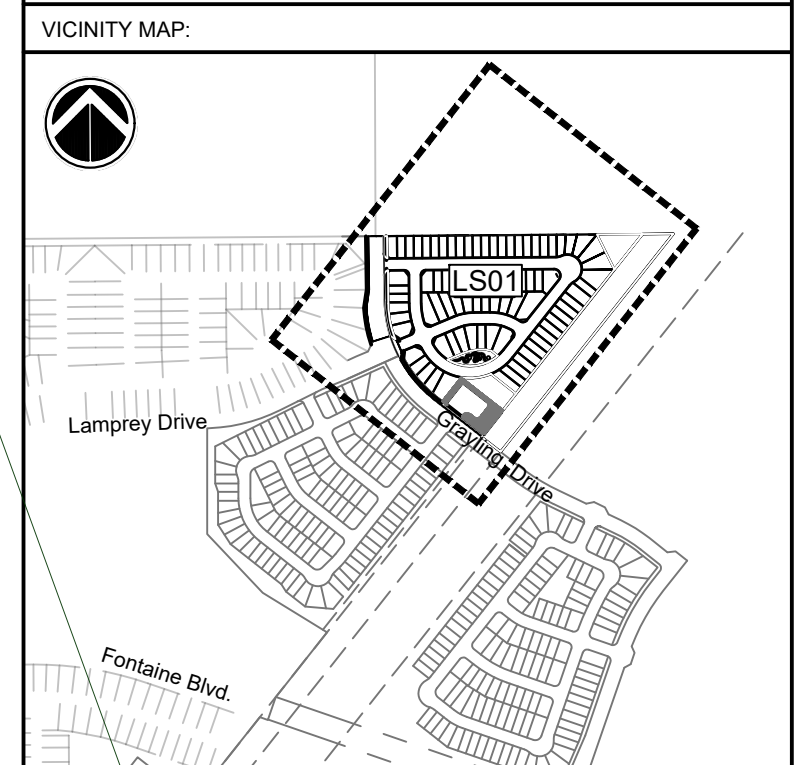
- \* TREES FOR POCKET PARKS LABELED: PP
- \* TREES FOR PUMP STATION LABELED: PH

delete word "cover sheet" theres only one cover sheet in the entire set ....

as modified\*

CONSULTANTS:  
 PLANNER/ LANDSCAPE ARCHITECT:  
 2435 RESEARCH PARKWAY, SUITE 300, COLORADO SPRINGS, CO 80920  
 PHONE: (719) 575-0100, FAX: (719) 575-0209  
 CIVIL ENGINEER:  
 CORE ENGINEERING GROUP  
 15004 1ST AVENUE S, BURNSVILLE, MN 55305  
 PHONE: (719) 570-1100

OWNER:  
**LORSON LLC**  
 212 N. WAHSATCH DR., SUITE 301  
 COLORADO SPRINGS, CO 80903  
 (719) 635-3200  
 DEVELOPER:  
**CHALLENGER HOMES**  
 8605 EXPLORER DRIVE, SUITE 250  
 COLORADO SPRINGS, CO 80920  
 (719) 598-5192



PROJECT:  
**SKYLINE AT LORSON RANCH  
 PLANNED UNIT DEVELOPMENT AND  
 PRELIMINARY PLAN**  
 EL PASO COUNTY, CO  
 THIRD SUBMITTAL: SEPTEMBER 16, 2021

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY
0	01 / 18 / 2021	FIRST SUBMITTAL	RAF
1	06 / 09 / 2021	SECOND SUBMITTAL	RAF
2	11 / 11 / 2021	THIRD SUBMITTAL	RAF

DRAWING INFORMATION:  
 PROJECT NO: 20.1129.002  
 DRAWN BY: SJC  
 CHECKED BY: JA  
 APPROVED BY: JA

**COVER SHEET,  
 NOTES, UTILITY  
 TRACT LANDSCAPE  
 & DATA CHART**

**LS01**  
 SHEET 05 OF 08

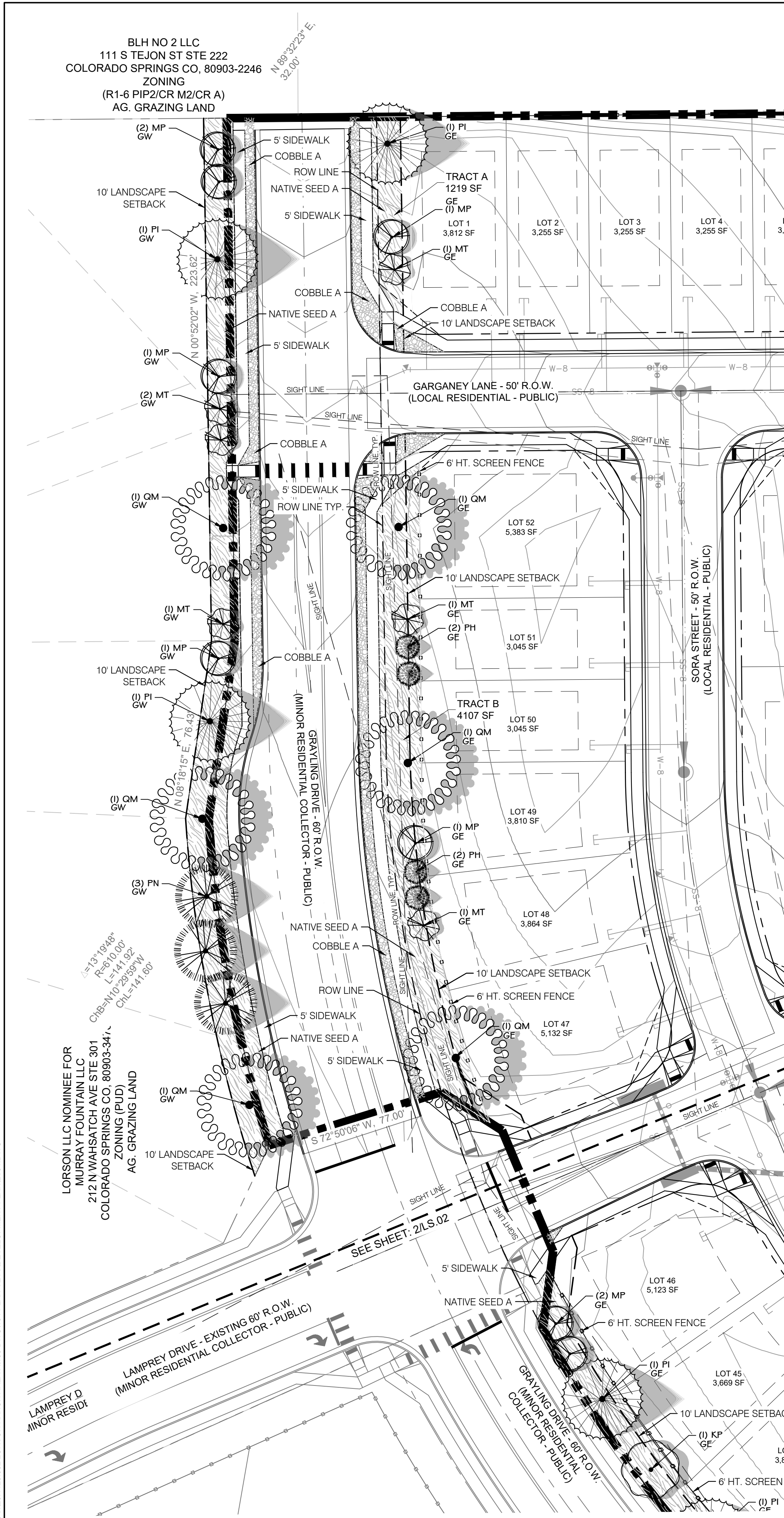
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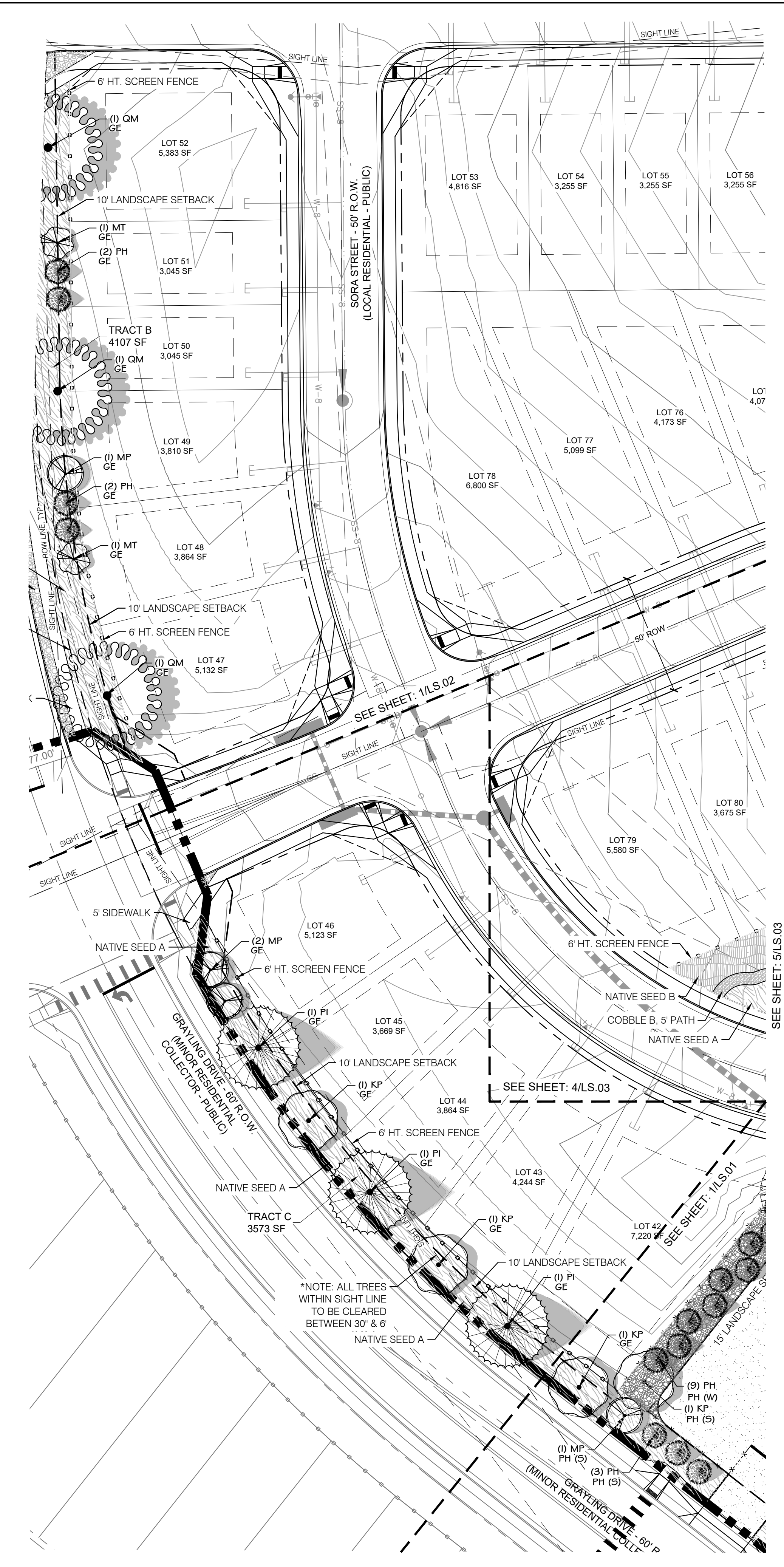
# SKYLINE AT LORSON RANCH

EL PASO COUNTY, CO  
**PLANNED UNIT DEVELOPMENT AND  
 PRELIMINARY PLAN**

LOCATED IN THE SOUTHEAST & SOUTHWEST QUARTER OF SECTION 13,  
 T15S, R65W OF THE 6TH P.M., EL PASO COUNTY, STATE OF COLORADO



**1** PLANTING PLAN / SITE PLAN  
 SCALE: 1" = 30'



**2** PLANTING PLAN / SITE PLAN  
 SCALE: 1" = 30'

CONSULTANTS:  
 PLANNER/ LANDSCAPE ARCHITECT: **Matrix** 2435 RESEARCH PARKWAY, SUITE 300, COLORADO SPRINGS, CO 80920  
 CIVIL ENGINEER: CORE ENGINEERING GROUP 15004 1ST AVENUE S, BURNSVILLE, MN 55306  
 OWNER: LORSON LLC 212 N. WAHSATCH DR., SUITE 301, COLORADO SPRINGS, CO 80903  
 DEVELOPER: CHALLENGER HOMES 8605 EXPLORER DRIVE, SUITE 250, COLORADO SPRINGS, CO 80920

PROJECT:  
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**THIRD SUBMITTAL: SEPTEMBER 16, 2021**

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DRAWING INFORMATION:

PROJECT NO:	20.1129.002
DRAWN BY:	SJC
CHECKED BY:	JRA
APPROVED BY:	JRA

**GRAYLING DRIVE  
 LANDSCAPE PLAN**

**LS02**

SHEET 06 OF 08

PCD FILE NO.: PUDSP212

FILE LOCATION: S:\20.1129.002\LORSON RANCH AREA\100 DWG\104 PLAN SET\DEVELOPMENT PLAN\LS01.DWG



# SKYLINE AT LORSON RANCH

EL PASO COUNTY, CO  
**PLANNED UNIT DEVELOPMENT AND  
 PRELIMINARY PLAN**

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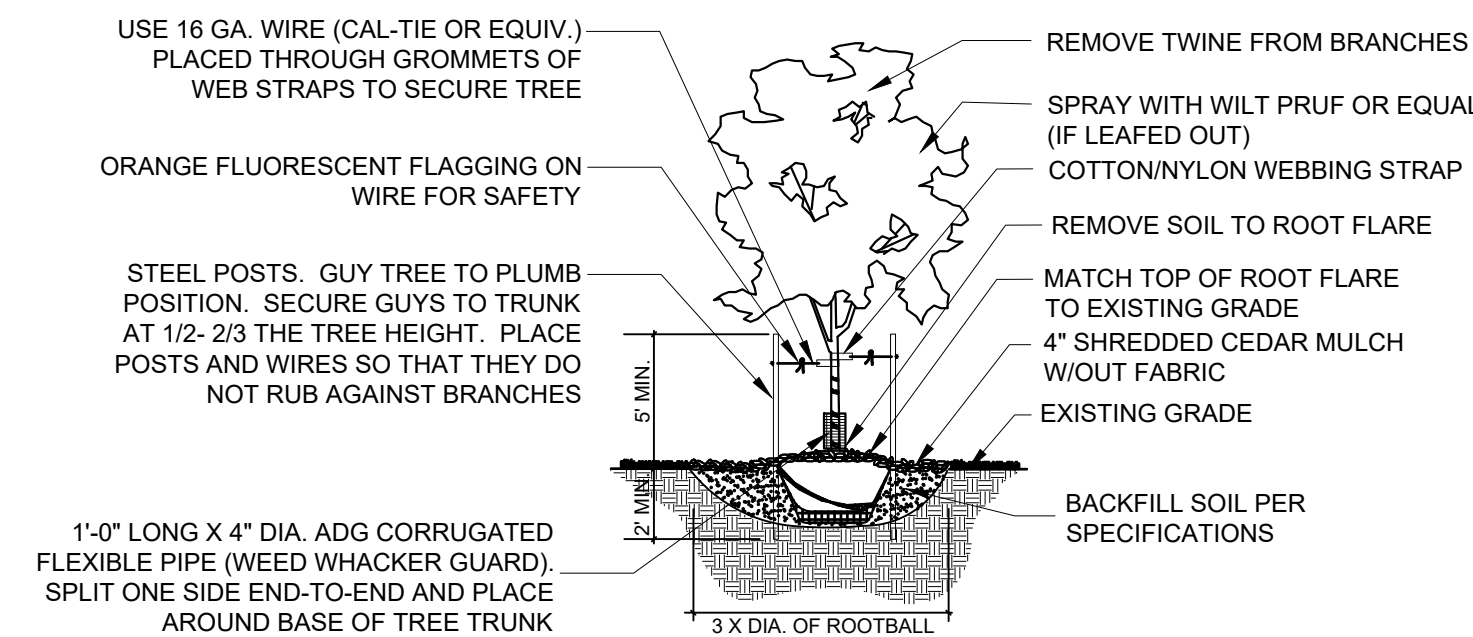
## PLANT SCHEDULE

EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	PLANTING SIZE	CONTAINER	MAT. W.	MAT. HT.
	PH	36	PICEA PUNGENS 'HOOPSII' HOOPSII BLUE SPRUCE	6' HT.	B&B	10' - 12'	20'-25'
	PN	3	PINUS NIGRA AUSTRIAN BLACK PINE	6' HT.	B&B	25'-30'	30'-40'
	PI	11	PINUS PONDEROSA PONDEROSA PINE	6' HT.	B&B	30'-40'	50'-75'
ORNAMENTAL TREES	CODE	QTY	BOTANICAL / COMMON NAME	PLANTING SIZE	CONTAINER	MAT. W.	MAT. HT.
	ML	6	MALUS X 'LOUISA' LOUISA CRABAPPLE	1.5" CAL.	B&B	12'-15'	12' - 15'
	MP	10	MALUS X 'PRAIRIEFIRE' PRAIRIEFIRE CRAB APPLE	1.5" CAL.	B&B	12'-15'	15'-25'
	MT	6	MALUS X 'THUNDERCHILD' THUNDERCHILD CRABAPPLE	1.5" CAL.	B&B	12'-15'	20'-25'
	PC	16	PRUNUS CERASIFERA 'CRIMSON POINTE' CRIMSON POINTE FLOWERING PLUM	1.5" CAL.	B&B	5'-6'	15'-20'
SHADE TREES	CODE	QTY	BOTANICAL / COMMON NAME	PLANTING SIZE	CONTAINER	MAT. W.	MAT. HT.
	AS	2	ACER RUBRUM 'RED SUNSET' RED SUNSET MAPLE	2" CAL.	B&B	30'-40'	40' - 50'
	KP	8	KOELREUTERIA PANICULATA GOLDEN RAIN TREE	2" CAL.	B&B	20'- 30'	20'-30'
	QM	6	QUERCUS MACROCARPA BURR OAK	2" CAL.	B&B	40'-50'	50'-60'

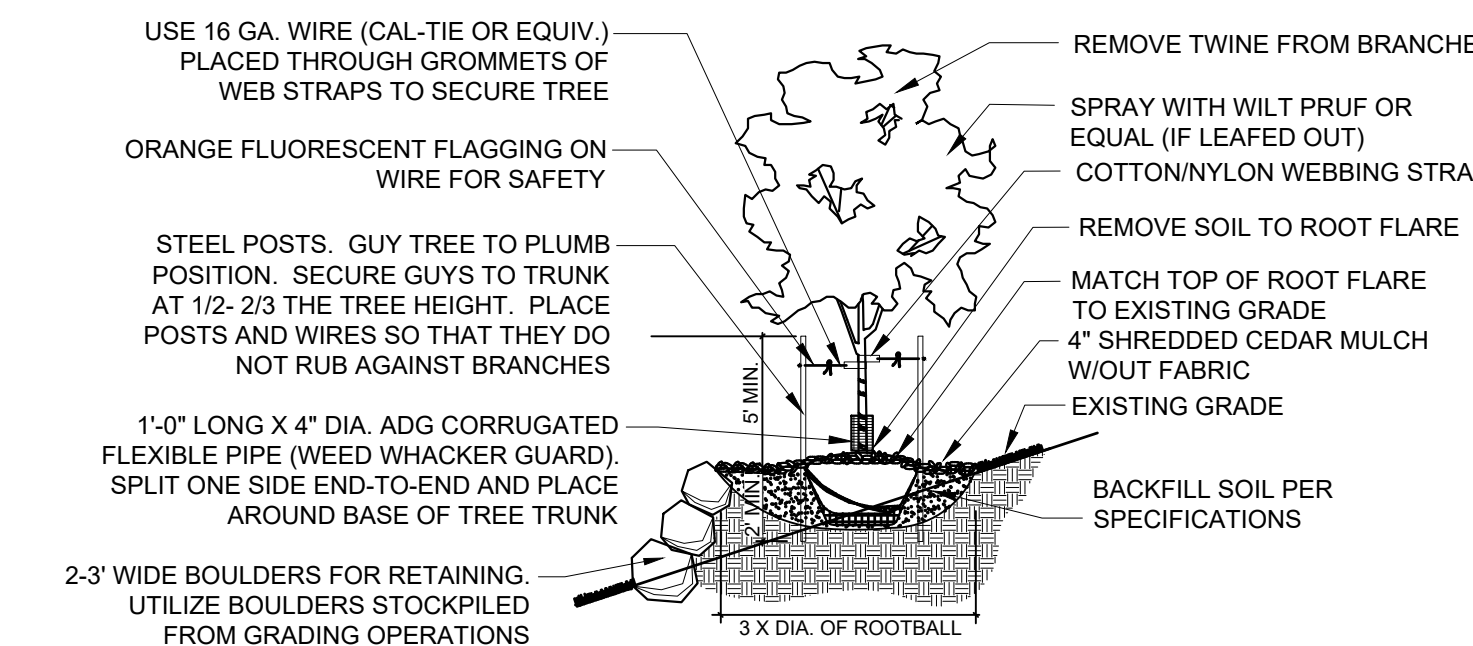
## LANDSCAPE LEGEND:

SYMBOL	QUANTITY	DESCRIPTION
	158,187 SF	IRRIGATED NATIVE SEED, TO BE PRE-BLENDED PAWNEE BUTTES SEED INC. "PBSI LOW GROW MIX" SEED BLEND INSTALLED PER SUPPLIER'S SPECIFICATIONS. SUBMIT CUT SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION
	32,461 SF	IRRIGATED NATIVE SEED, TO BE PRE-BLENDED PAWNEE BUTTES SEED INC. "PBSI NATIVE PRAIRIE MIX" SEED BLEND INSTALLED PER SUPPLIER'S SPECIFICATIONS. SUBMIT CUT SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION
	3,076 SF	PLANTING BED TO BE: 1-1/2" BLUE GREY RIVER ROCK COBBLE, 3" DEPTH OVER WEED BARRIER FABRIC
	1,100 SF	PATHWAY TO BE: BREEZE COBBLE, 4" DEPTH OVER WEED BARRIER FABRIC
		STEEL LANDSCAPE EDGER: TO BE INSTALLED BETWEEN ALL SEED OR SOD AREAS AND PLANTING BEDS; TO BE DURAEDGE 1/2" THICK X 5" WIDE ROLLED TOP STEEL EDGE. COLOR TO BE 'BLACK'. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

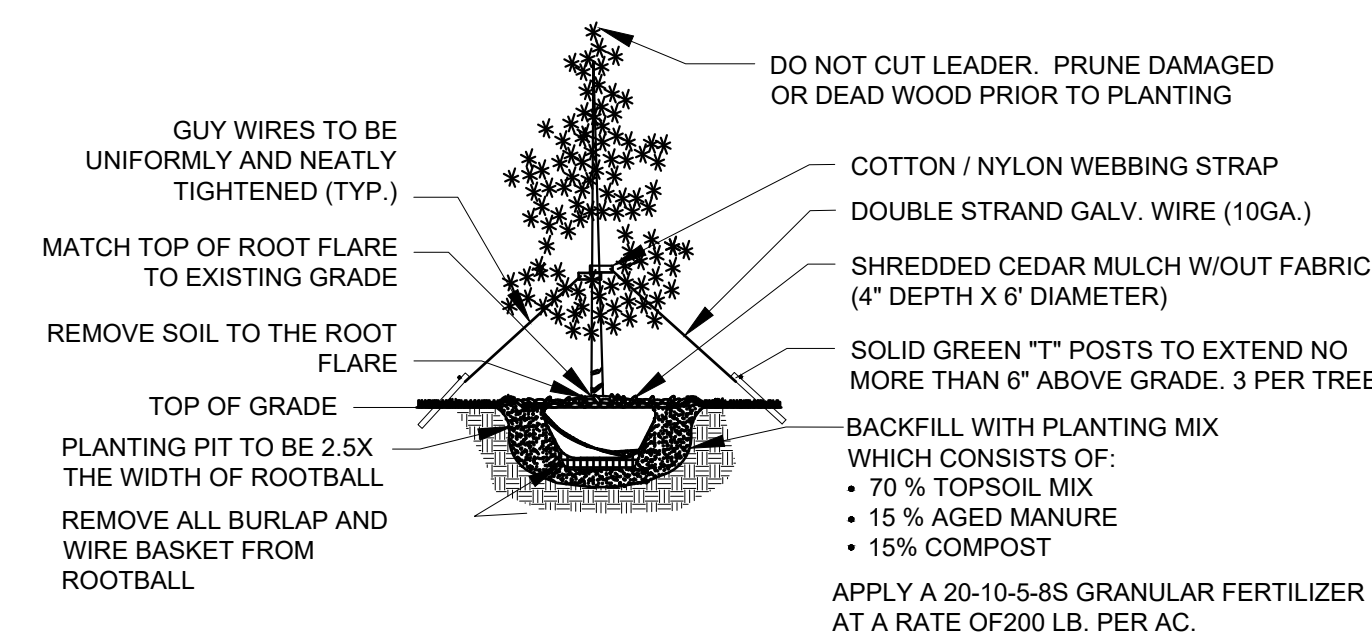
- FIRE HYDRANT, TYP; REF. CIVIL
- UTILITY EASEMENT, TYP; REF. CIVIL
- PROPERTY LIMIT LINE
- LANDSCAPE BUFFER / SETBACK LINE
- CONCRETE SIDEWALK; REF. CIVIL



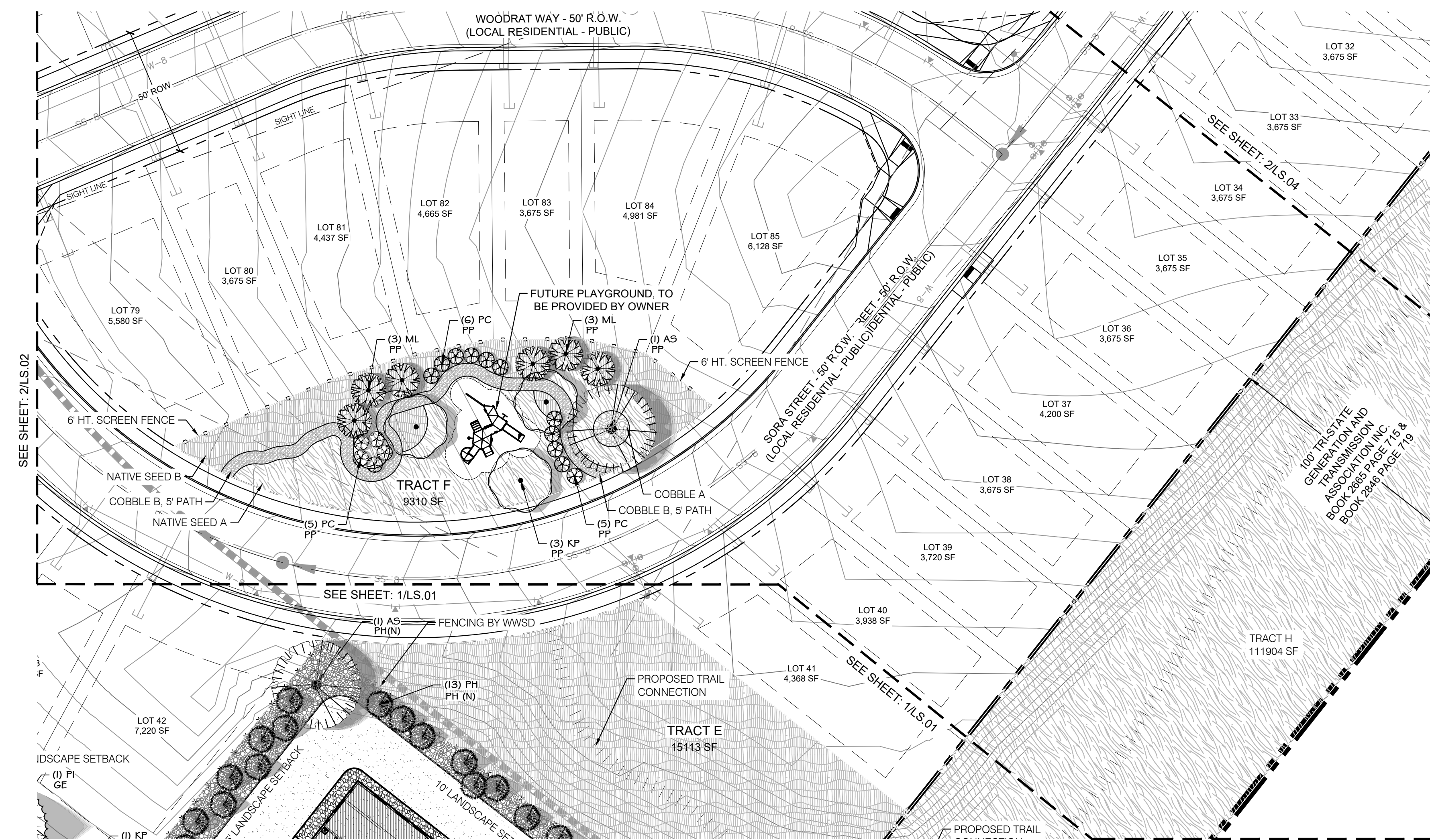
**1 DECIDUOUS TREE**  
 PLANTING DETAIL NTS



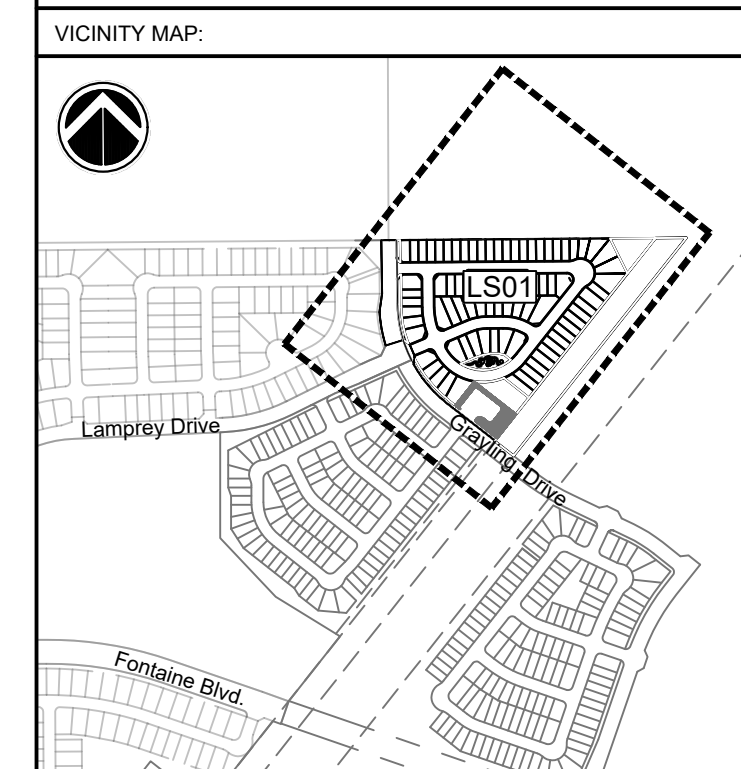
**2 TREE SLOPE DETAILS**  
 PLANTING DETAIL ON SLOPES (3:1 OR STEEPER) NTS



**3 EVERGREEN TREE**  
 PLANTING DETAIL NTS



**4 PLANTING PLAN / SITE PLAN**  
 SCALE: 1" = 30'



PROJECT:  
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 PROJECT NO: 20.1129.002  
 DRAWN BY: SJC  
 CHECKED BY: JRA  
 APPROVED BY: JRA

# LANDSCAPE PLAN, DETAILS, SCHEDULE & LEGEND

**LS03**  
 SHEET 07 OF 08

FILE LOCATION: S:\20.1129.002\LORSON RANCH AREA\1100 DWG\104 PLAN SET\DEVELOPMENT PLAN\LS03.DWG



