

# VOLLMER ROAD (NORTH)

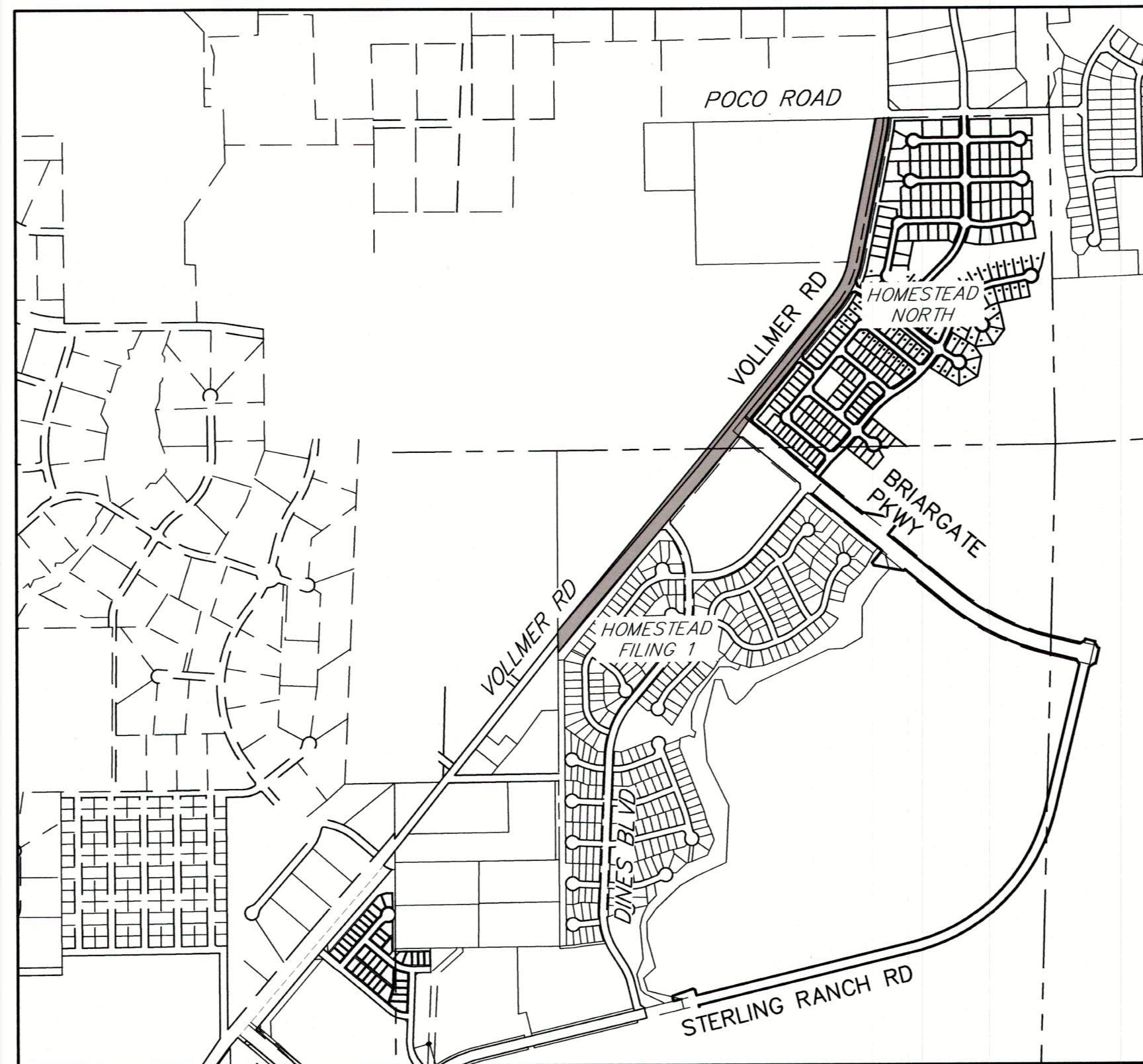
## COUNTY OF EL PASO, STATE OF COLORADO

### STREET IMPROVEMENT PLAN

AUGUST 2022

#### AGENCIES

OWNER/DEVELOPER:	SR LAND, LLC 20 BOULDER CRESCENT, SUITE 201 COLORADO SPRINGS, CO 80903 JAMES F. MORLEY (719) 471-1742
CIVIL ENGINEER:	JR ENGINEERING, LLC 5475 TECH CENTER DRIVE COLORADO SPRINGS, CO 80919 MIKE BRAMLETT P.E. (303) 267-6240
COUNTY ENGINEERING:	EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT 2880 INTERNATIONAL CIRCLE, SUITE 110 COLORADO SPRINGS, CO 80910 JEFF RICE, P.E. (719) 520-6300
TRAFFIC ENGINEERING:	EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS 3275 AKERS DRIVE COLORADO SPRINGS, CO 80922 JENNIFER IRVINE, P.E. (719) 520-6460
WATER RESOURCES:	STERLING RANCH METRO DISTRICT ENGINEERS JDS-HYDRO CONSULTANTS 545 E. PIKES PEAK AVE., SUITE 300 COLORADO SPRINGS, CO 80903 JOHN MCGINN (719) 668-8769
FIRE DISTRICT:	BLACK FOREST FIRE PROTECTION DISTRICT 11445 TEACHOUT ROAD COLORADO SPRINGS, CO 80908 CHIEF BRYAN JACK (719) 495-4300
GAS DEPARTMENT:	COLORADO SPRINGS UTILITIES 7710 DURANT DR. COLORADO SPRINGS, CO 80947 TIM WENDT (719) 668-3556
ELECTRIC DEPARTMENT:	MOUNTAIN VIEW ELECTRIC 11140 E. WOODMEN ROAD FALCON, CO 80831 (719) 495-2283
COMMUNICATIONS:	QWEST COMMUNICATIONS (U.N.C.C. LOCATORS) (800) 922-1987 AT&T (LOCATORS) (719) 635-3674
CITY STORMWATER:	STORMWATER ENTERPRISE 30 S. NEVADA AVENUE, SUITE 401 COLORADO SPRINGS, CO 80903 (719)-385-5918



**VICINITY MAP**  
SCALE: 1"=1,000'

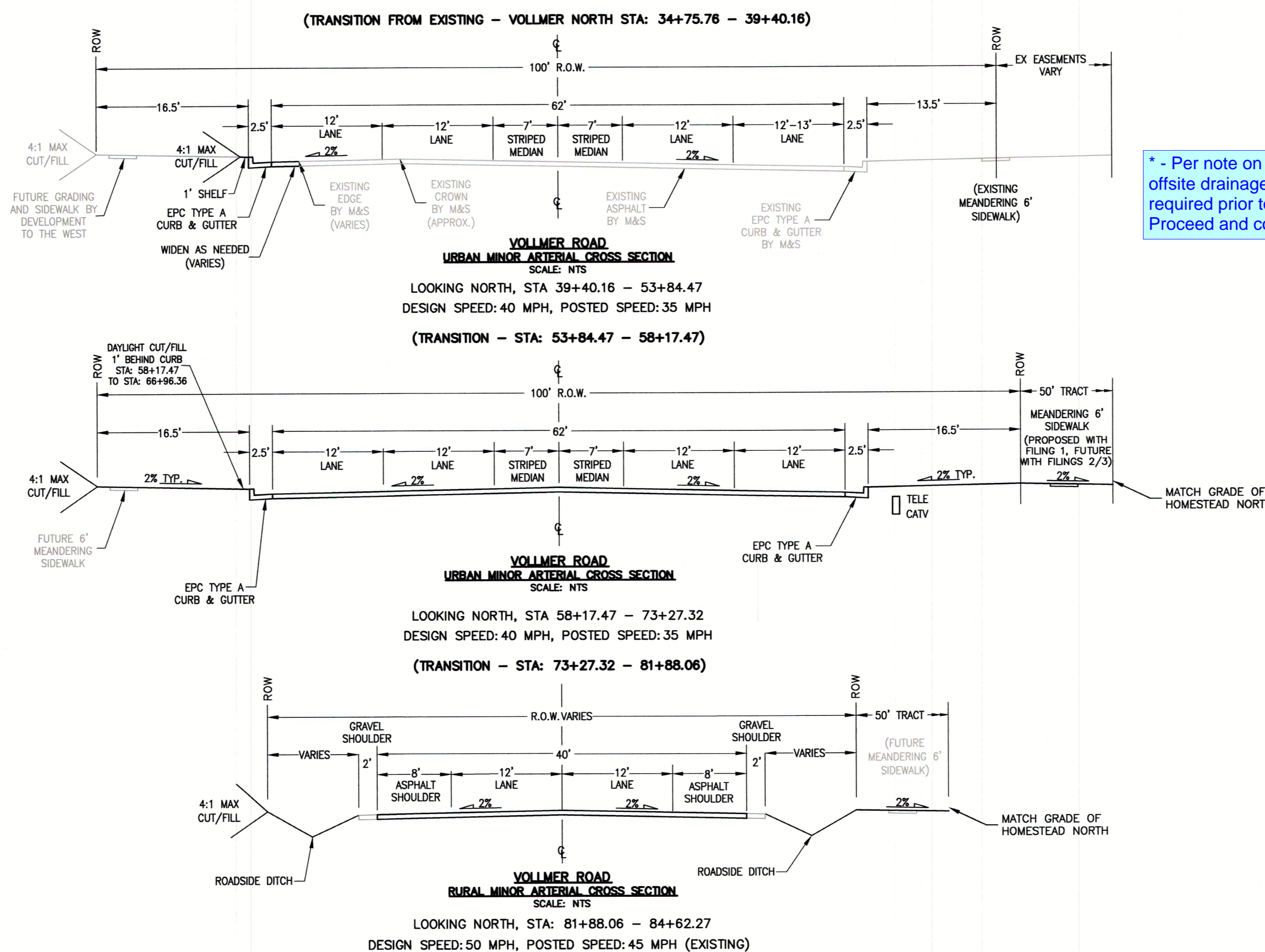
#### BENCHMARKS

1. THE TOP OF AN ALUMINUM SURVEYORS CAP, STAMPED "9853", AT THE SOUTHWEST BOUNDARY CORNER OF BARBARICK SUBDIVISION  
NORTHING = 411416.273  
EASTING = 235167.071  
ELEVATION = 7023.42
2. THE TOP OF A RED PLASTIC SURVEYORS CAP, ILLEGIBLE, AT THE NORTHWEST BOUNDARY CORNER OF PAVNEE RANCHEROS SUBDIVISION  
NORTHING = 410095.404  
EASTING = 235052.131  
ELEVATION = 7000.40
3. THE TOP OF A RED PLASTIC SURVEYORS CAP, STAMPED "38141", AT THE SOUTHWEST BOUNDARY CORNER OF BARBARICK SUBDIVISION  
NORTHING = 411399.962  
EASTING = 233849.817  
ELEVATION = 7030.82

BASIS OF BEARINGS:  
BEARINGS ARE BASED ON THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 12 SOUTH, RANGE 65 WEST OF THE 6TH P.M. AS MONUMENTED AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER BY A 2-1/2" ALUMINUM CAP STAMPED "LS 11624" AND AT THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER BY A 2-1/2" ALUMINUM CAP STAMPED "LS 11624". SAID LINE BEARS N89°41'4"E, A DISTANCE OF 2,722.56 FEET.



Know what's below.  
Call before you dig.



\* - Per note on sheet 6, offsite drainage easement is required prior to Notice to Proceed and construction.

#### SHEET INDEX

1	COVER SHEET
2	NOTES AND DETAILS
3-8	ROADWAY PLAN & PROFILE
9	STORM PLAN & PROFILE
10-13	SIGNAGE & STRIPING
14-17	CROSS SECTIONS

#### OWNER/DEVELOPER STATEMENT

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

*James F. Morley*  
JAMES F. MORLEY DATE 8/23/22

SR LAND, LLC  
20 BOULDER CRESCENT, SUITE 201  
COLORADO SPRINGS, CO 80903

#### EL PASO COUNTY STATEMENT

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

JOSHUA PALMER, P.E. DATE  
INTERIM COUNTY ENGINEER/ECM ADMINISTRATOR

#### ENGINEER'S STATEMENT

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECT SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLAN AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.

*Mike A. Bramlett*  
MIKE A. BRAMLETT, P.E. DATE 08/23/22  
COLORADO P.E. 32314  
FOR AND ON BEHALF OF JR ENGINEERING, LLC

#### DISTRICT APPROVALS

THESE DOCUMENTS HAVE BEEN REVIEWED AND APPROVED FOR STORM DRAIN AND ASSOCIATED UTILITY SERVICE CONSTRUCTION.

*James F. Morley*  
FOR AND ON BEHALF OF THE STERLING RANCH METRO DISTRICT NO.3 DATE 8/23/22

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USE AS INDICATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
SR LAND, LLC  
20 BOULDER CRESCENT  
SUITE 201  
COLORADO SPRINGS, CO 80903  
JAMES F. MORLEY  
(719) 471-1742

**J.R. ENGINEERING**  
A Westlan Company  
Centennial 303-740-9898 • Colorado Springs 719-589-2888  
Fort Collins 970-491-8888 • www.jrengineering.com

NO.	REVISION	BY	DATE

VOLLMER ROAD (NORTH)  
COVER SHEET

**GENERAL CONSTRUCTION NOTES:**

- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK. THE OMISSION FROM OR THE INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OF OR A DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR WILL TAKE THE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES FROM DAMAGE DUE TO THIS OPERATION. ANY DAMAGE TO THE UTILITIES WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE, AND ANY SERVICE DISRUPTION WILL BE SETTLED BY THE CONTRACTOR.
- ADDITIONAL EROSION CONTROL STRUCTURES MAY BE REQUIRED AT THE TIME OF CONSTRUCTION.
- ALL BACKFILL, SUB-BASE, AND/OR BASE COURSE (CLASS 6) MATERIAL SHALL BE COMPACTED PER THE SOILS ENGINEER'S RECOMMENDATIONS, AND APPROVED BY EL PASO COUNTY PCD.
- ALL STATIONING IS CENTERLINE OF IMPROVEMENTS UNLESS OTHERWISE INDICATED. ALL ELEVATIONS ARE FLOW LINE UNLESS OTHERWISE INDICATED AS TOP BACK OF CURB (TBC), ASPHALT (ASP), OR TOP OF INLET OR BOX (TOB).
- ALL DISTURBED PAVEMENT EDGES SHALL BE CUT TO NEAT LINES. REPAIR SHALL CONFORM TO EPC ECM APPENDIX K - 1.2C.
- ALL INTERSECTION ACCESSES TO BE CONSTRUCTED WITH A 25 FOOT SIGHT VISIBILITY TRIANGLES EXCEPT (VOLLMER ROAD, MARKSHEFFEL ROAD, BRAIRGATE PARKWAY) WHICH IS AN ARTERIAL AND A 50 FOOT SIGHT VISIBILITY TRIANGLE IS REQUIRED AND THERE SHALL BE NO OBSTRUCTIONS GREATER THAN 18" IN THIS AREA.
- ALL CULVERTS AND STORM DRAIN PIPES SHALL BE SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE (HDPE), REINFORCED CONCRETE PIPE (RCP). ALL CULVERTS SHALL BE PLACED COMPLETE WITH FLARED END SECTIONS. ADEQUACY OF MATERIAL THICKNESS FOR ANY CSP INSTALLED SHALL BE VERIFIED BY OWNER'S GEOTECHNICAL ENGINEER TO SUPPORT MINIMUM 50 YEAR DESIGN LIFE. CULVERTS MUST CONFORM TO EPC ECM SECTION 3.32 - CULVERTS.
- ASPHALT THICKNESS AND BASE COURSE THICKNESS (COMPACTED) FOR ROADS SHALL BE PER DESIGN REPORT BY OWNER'S GEOTECHNICAL ENGINEER. OWNER'S GEOTECHNICAL ENGINEER TO BE ON SITE AT THE TIME OF ROAD CONSTRUCTION TO EVALUATE SOIL CONDITIONS AND DETERMINE IF ADDITIONAL MEASURES ARE NECESSARY TO ASSURE STABILITY OF THE NEW ROADS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT ENGINEERING DIVISION PRIOR TO CONSTRUCTION.

**SIGNING AND STRIPING NOTES:**

- ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY WILL NOT BE VISIBLE UNDER DAY OR NIGHT CONDITIONS. AT NO TIME WILL IT BE ACCEPTABLE TO PAINT OVER EXISTING PAVEMENT MARKINGS.
- ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY PCD.
- EXISTING SIGNS MAY REMAIN OR BE REUSED IF THEY MEET CURRENT EL PASO COUNTY AND MUTCD STANDARDS.
- STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.
- ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR.
- ALL STREET NAME SIGNS SHALL HAVE "D" SERIES LETTERS, WITH LOCAL ROADWAY SIGNS BEING 4" UPPER-LOWER CASE LETTERING ON 8" BLANK AND NON-LOCAL ROADWAY SIGNS BEING 6" LETTERING, UPPER-LOWER CASE ON 12" BLANK, WITH A WHITE BORDER THAT IS NOT RECESSED. MULTI-LANE ROADWAYS WITH SPEED LIMITS OF 40 MPH OR HIGHER SHALL HAVE 8" UPPER-LOWER CASE LETTERING ON 18" BLANK WITH A WHITE BORDER THAT IS NOT RECESSED. THE WIDTH OF THE NON-RECESSED WHITE BORDERS SHALL MATCH PAGE 255 OF THE 2012 MUTCD "STANDARD HIGHWAY SIGNS"
- ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.
- ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75" X 1.75" SQUARE TUBE SIGN POST AND STUB POST BASE. FOR OTHER APPLICATIONS, REFER TO THE CDOT STANDARD S-614-8 REGARDING USE OF THE P2 TUBULAR STEEL POST SLIPBASE DESIGN.
- ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.100" MINIMUM THICKNESS.
- ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 125 MIL THICKNESS PREFORMED THERMOPLASTIC PAVEMENT MARKINGS WITH TAPERED LEADING EDGES PER CDOT STANDARD S-627-1. WORD AND SYMBOL MARKINGS SHALL BE THE NARROW TYPE. STOP BARS SHALL BE 24" IN WIDTH. CROSSWALKS LINES SHALL BE 12" WIDE AND 8' LONG PER CDOT S-627-1.
- ALL LONGITUDINAL LINES SHALL BE A MINIMUM 15MIL THICKNESS EPOXY PAINT. ALL NON-LOCAL RESIDENTIAL ROADWAYS SHALL INCLUDE BOTH RIGHT AND LEFT EDGE LINE STRIPING AND ANY ADDITIONAL STRIPING AS REQUIRED BY CDOT S-627-1.
- THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (719) 520-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING.
- THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY PCD PRIOR TO ANY SIGNAGE OR STRIPING WORK WITHIN AN EXISTING EL PASO COUNTY ROADWAY.

**STANDARD NOTES FOR EL PASO COUNTY CONSTRUCTION PLANS:**

- ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
- CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
  - EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
  - CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
  - COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
  - CDOT M & S STANDARDS
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PCD INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
- CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
- ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
- CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER EOM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
- SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY PCD AND MUTCD CRITERIA. [IF APPLICABLE, ADDITIONAL SIGNING AND STRIPING NOTES WILL BE PROVIDED.]
- CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY PCD, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
- THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

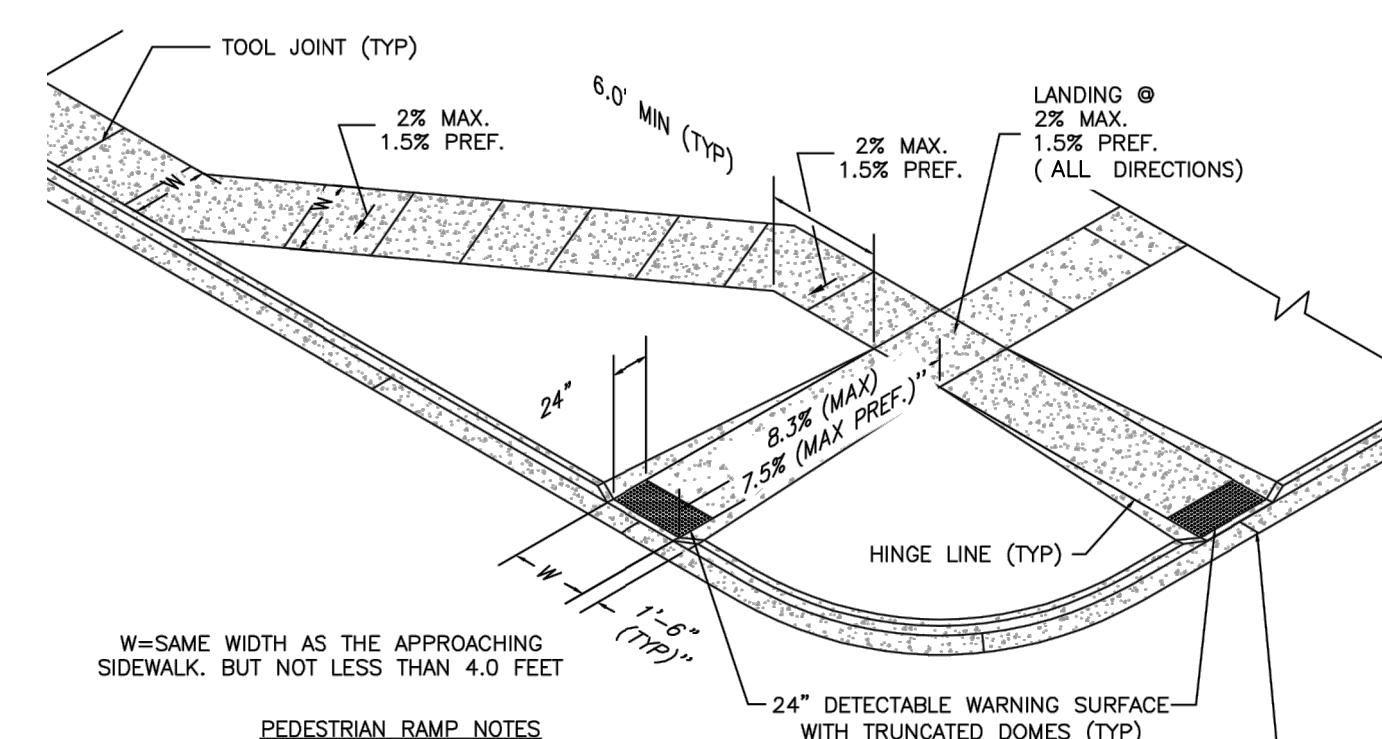


Know what's below.  
Call before you dig.

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USE. DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
**SR LAND, LLC**  
20 BOULDER CRESCENT  
SUITE 201  
COLORADO SPRINGS, CO 80903  
JAMES F. MORLEY  
(719) 471-1742

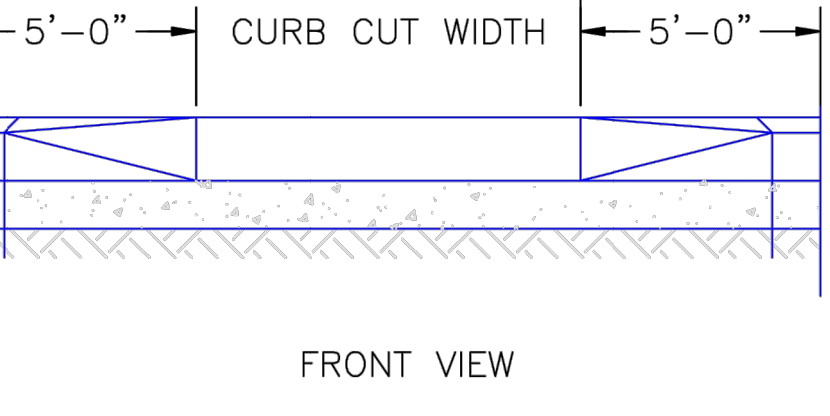
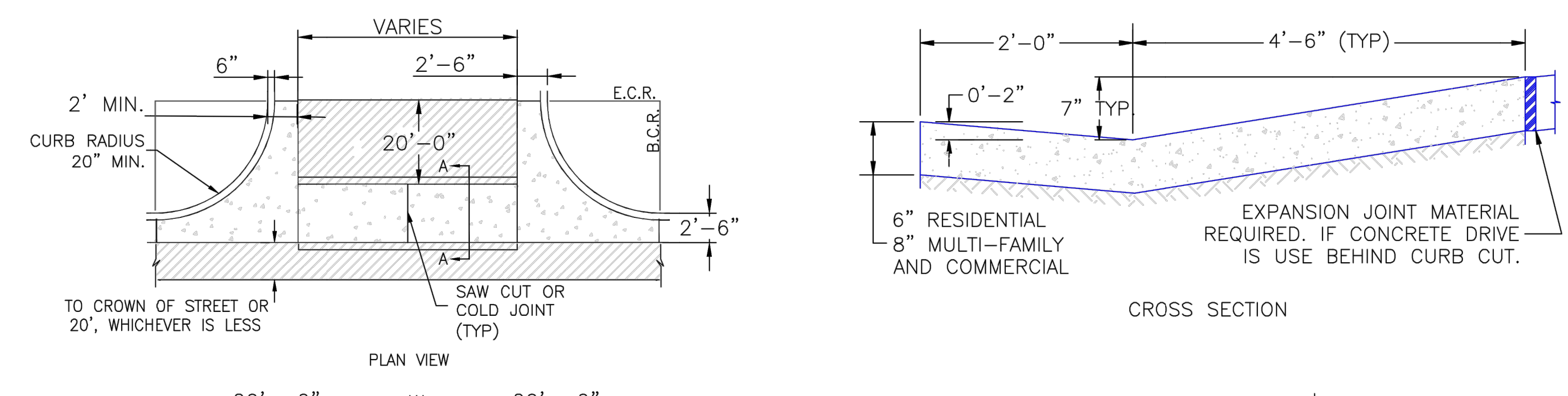
**J.R. ENGINEERING**  
A Westman Company  
Central 303-740-9383 • Colorado Springs 719-583-2593  
Fort Collins 970-491-9888 • www.jrengineering.com



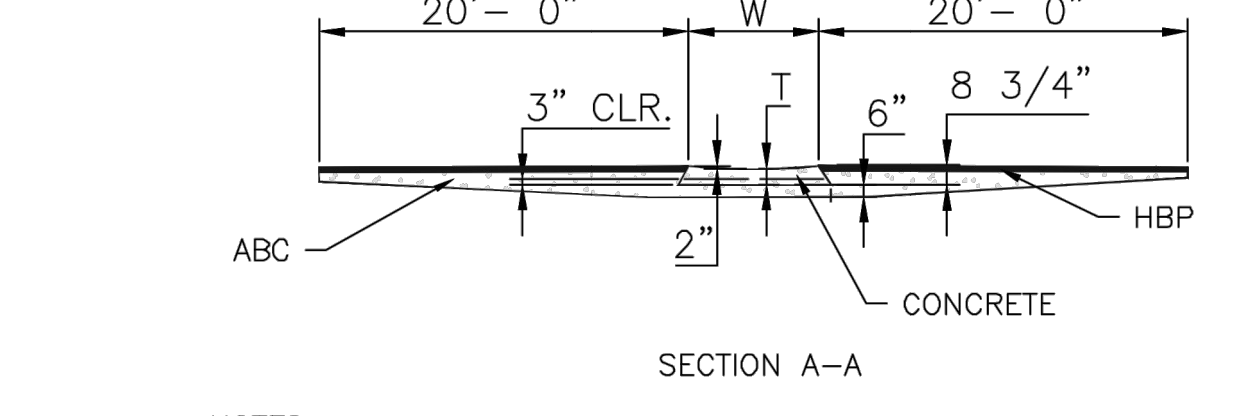
PEDESTRIAN RAMP NOTES  
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT ENGINEERING CRITERIA MANUAL AND ADA REQUIREMENTS.  
2. CONTRACTOR TO NOTIFY ENGINEERING DIVISION INSPECTION STAFF 48 HOURS PRIOR TO CONCRETE PLACEMENT.  
3. PEDESTRIAN CURB RAMP CONSTRUCTION SHALL BE A MINIMUM 4,500 PSI CONCRETE, MINIMUM 4" THICK, NON-COLORED, NON-SCORED, COARSE BROOM FINISH.  
4. PEDESTRIAN CURB RAMP LOCATION AND LENGTH MAY REQUIRE MODIFICATION TO MAINTAIN THE 8.3% MAXIMUM RUNNING RAMP SLOPE DUE TO STREET INTERSECTION GRACES AND/OR ALIGNMENTS. SEE ECM SECTION 6.3.6 FOR PEDESTRIAN PUSHBUTTON LOCATION REQUIREMENTS.  
5. DETECTABLE WARNING SURFACE SHALL START A MINIMUM OF 6" BUT NOT MORE THAN 8" FROM THE FLOWLINE OF THE CURB AT ANY POINT.  
6. DETECTABLE WARNING SURFACE SHALL BE PREFABRICATED, CAST IRON (WITH NATURAL FINISH) AND IN ACCORDANCE WITH EOM CHAPTER 8 AND SD-2-42. THERMOPLASTIC TRUNCATED DOMES AND PAVERS WILL NOT BE ACCEPTED.  
7. THE DETECTABLE WARNING SURFACE SHALL BE 24" IN LENGTH AND THE FULL WIDTH OF THE RAMP.  
8. PEDESTRIAN CURB RAMP WIDTH REQUIRED IS SAME AS APPROACHING SIDEWALK; 4" MINIMUM.  
9. ALL PEDESTRIAN CURB RAMP SHALL BE PERPENDICULAR TO TRAFFIC WITH THE EXCEPTION OF MID-BLOCK OR TERMINAL RAMP WHICH MAY BE PARALLEL SUBJECT TO APPROVAL.  
10. DRAINAGE STRUCTURES, TRAFFIC SIGNAL/SIGNAGE, UTILITIES/JUNCTION BOXES, OR OTHER OBSTRUCTIONS WITHIN PROPOSED PEDESTRIAN CURB RAMP AREAS AND LANDINGS ARE PROHIBITED.  
11. THE COUNTER SLOPE OF THE GUTTER OR ROAD AT THE FOOT OF A RAMP SHALL NOT EXCEED 5%.

GENERAL NOTES  
1. WHERE THE 1'-4" FLARED SIDES OF A PERPENDICULAR CURB RAMP IS (ARE) CONTIGUOUS WITH A PEDESTRIAN OR HARD SURFACE AREA (PEDESTRIAN CIRCULATION PATH), THE MAXIMUM FLARE SLOPE SHALL NOT EXCEED 10:1.  
2. PEDESTRIAN WALKWAY (PEDESTRIAN ACCESS ROUTE) AND/OR LOCATION OF EXISTING OR FUTURE PEDESTRIAN RAMPS ON OPPOSITE CORNERS SHALL BE REVIEWED BEFORE CONSTRUCTING NEW RAMPS.  
3. AT MARKED PEDESTRIAN CROSSINGS, THE BOTTOM OF THE RAMPS, EXCLUSIVE OF THE FLARE SIDES, SHALL BE TOTALLY CONTAINED WITHIN THE MARKINGS.

**PEDESTRIAN INTERSECTION RAMP (SD 2-41)**  
SCALE: NTS



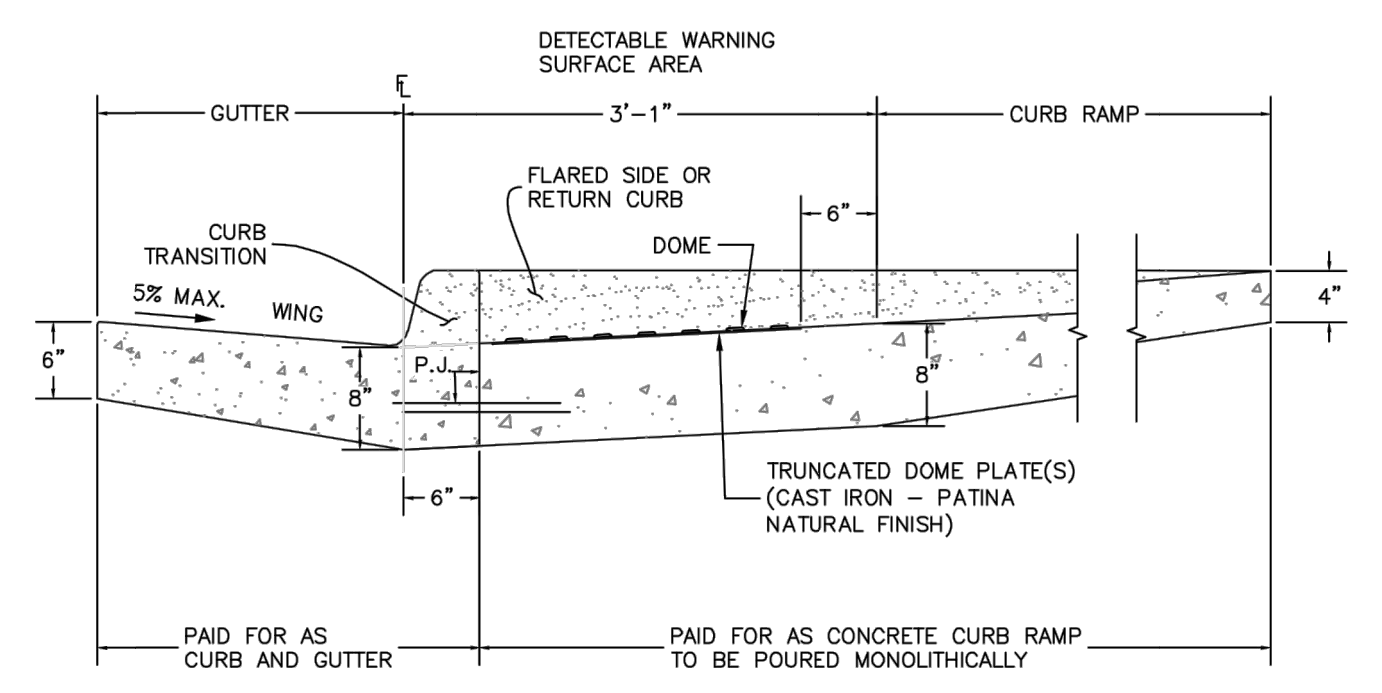
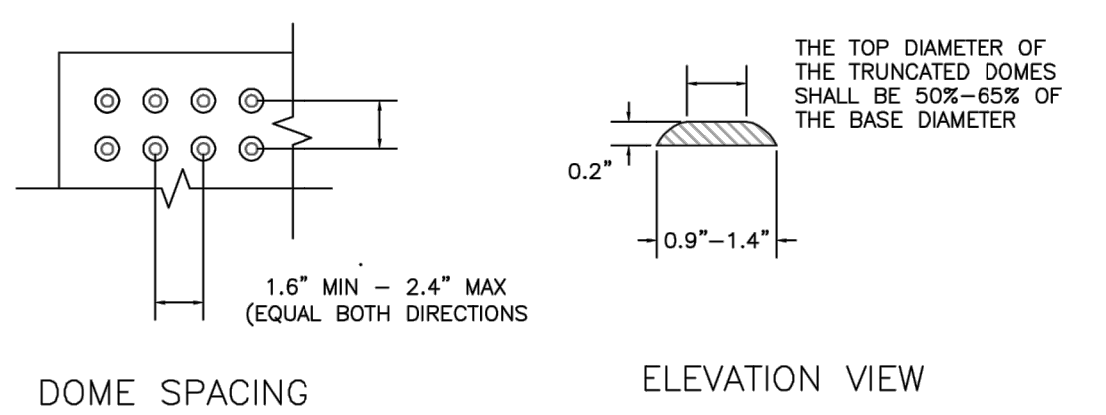
**DRIVEWAY CUT DETAIL (SD 2-23)**  
SCALE: NTS



- NOTES  
1. W - WIDTH SHALL BE 6" FOR LOCAL, 8" FOR COLLECTORS, AND 10" FOR ARTERIAL ROADS.  
2. T - SQUARED-OFF RETURN TO BE POURED MONOLITHICALLY, 8" PCC FOR LOCAL ROADS, 9" FOR COLLECTORS WITH 6x6 - 4.4 W.W.F. OR #4 REINFORCING BAR @ 18" EACH WAY.  
3. [Symbol] = 3" MINIMUM ASPHALT DEPTH (2 LIFTS).  
4. DESIGN TO SPECIFY ELEVATIONS AT PI AND PCR.

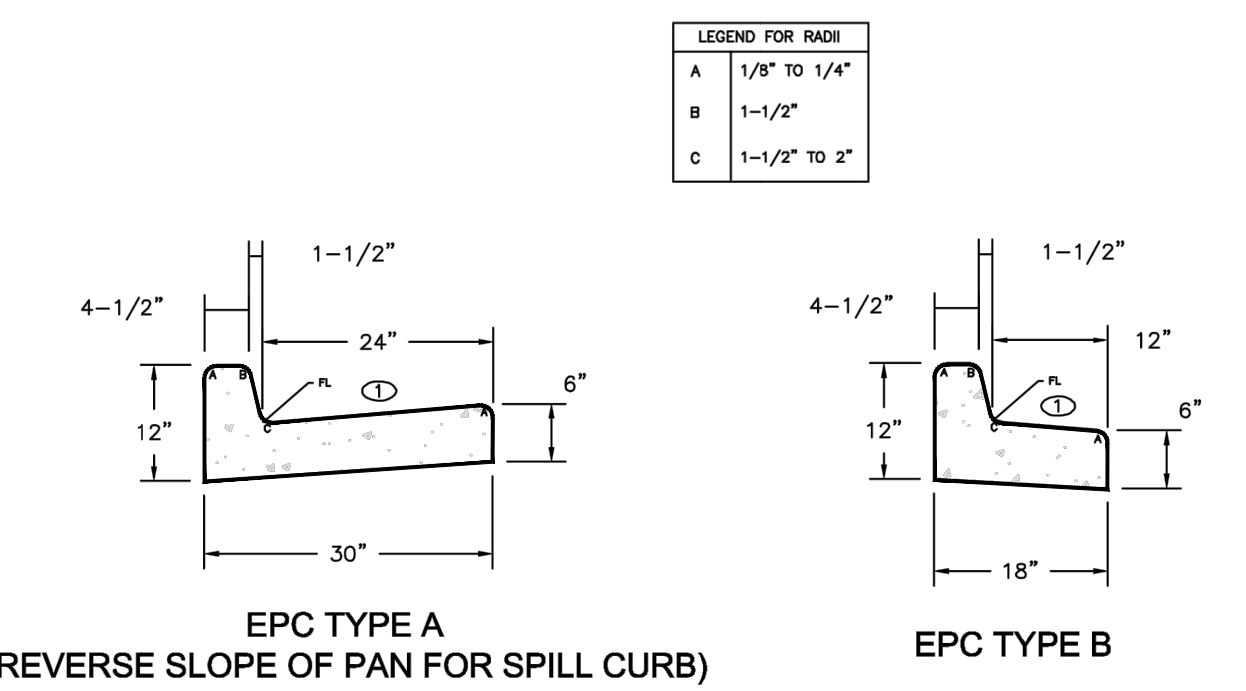
**TYPICAL CROSS PAN LAYOUT DETAIL (SD 2-26)**  
SCALE: NTS

**TRUNCATED DOME DETAILS**



**DETECTABLE WARNING SURFACE DETAILS (SD 2-42)**  
SCALE: NTS

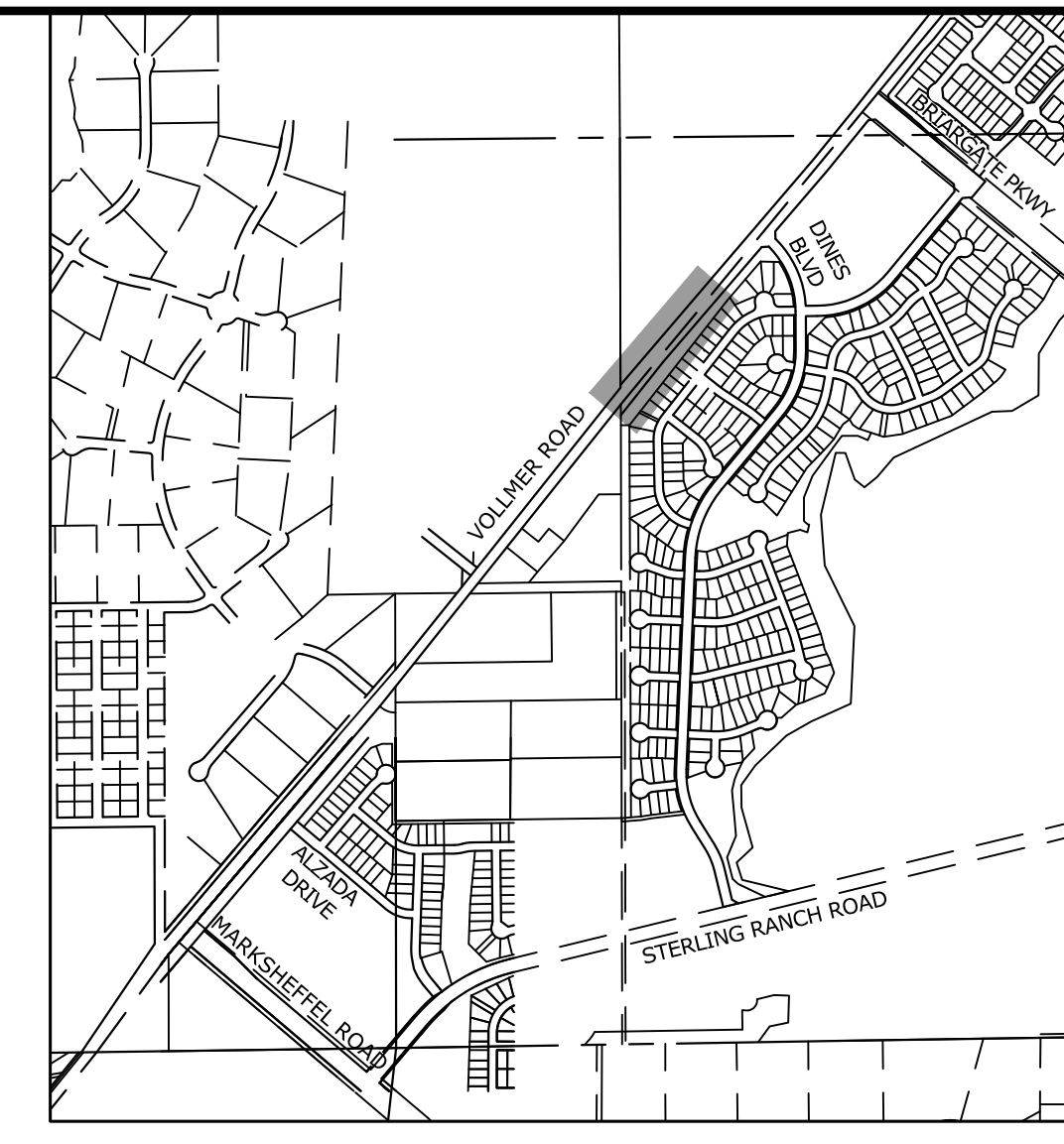
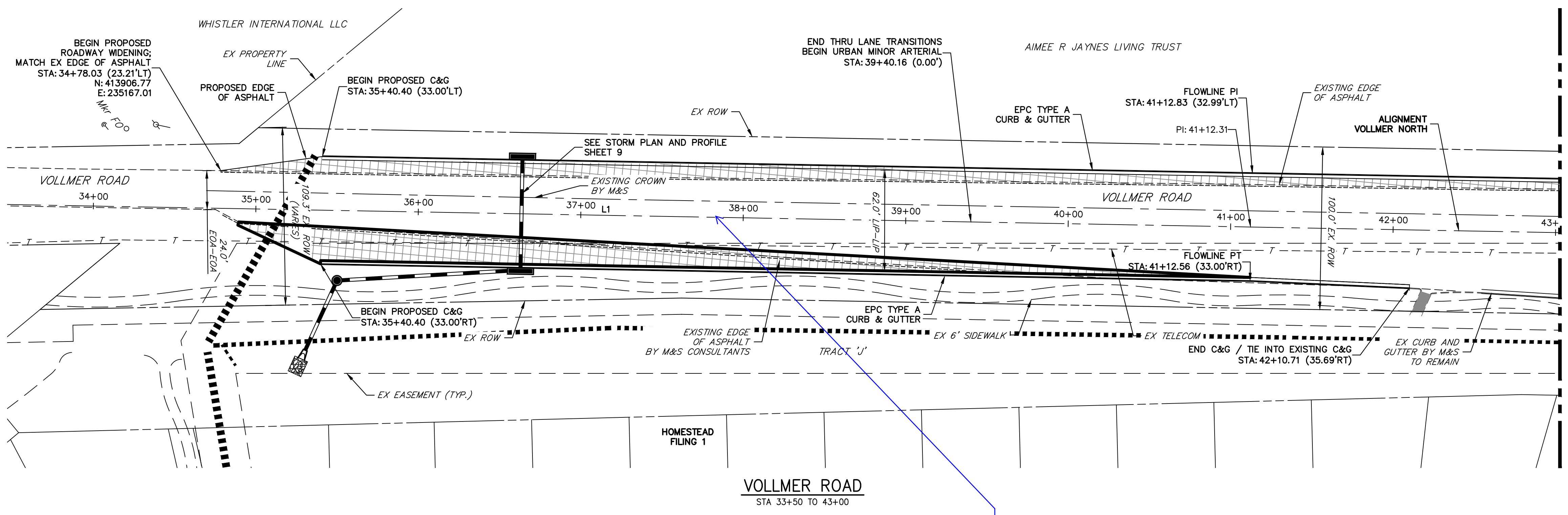
P.J. = PERMISSIBLE JOINT WITH EPOXY-COATED DEFORMED NO. 4 BARS CONFORMING TO AASHTO M 284 AT 18 IN. SPACING



**TYPICAL CURB & GUTTER DETAILS DETAIL (SD 2-20)**  
SCALE: NTS

No.	REVISION	BY	DATE	H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
				N/A	N/A	11/29/22	N/A	CWC	
VOLLMER ROAD (NORTH)									
NOTES AND DETAILS									
SHEET 2 OF 17									
JOB NO. 25188.00									

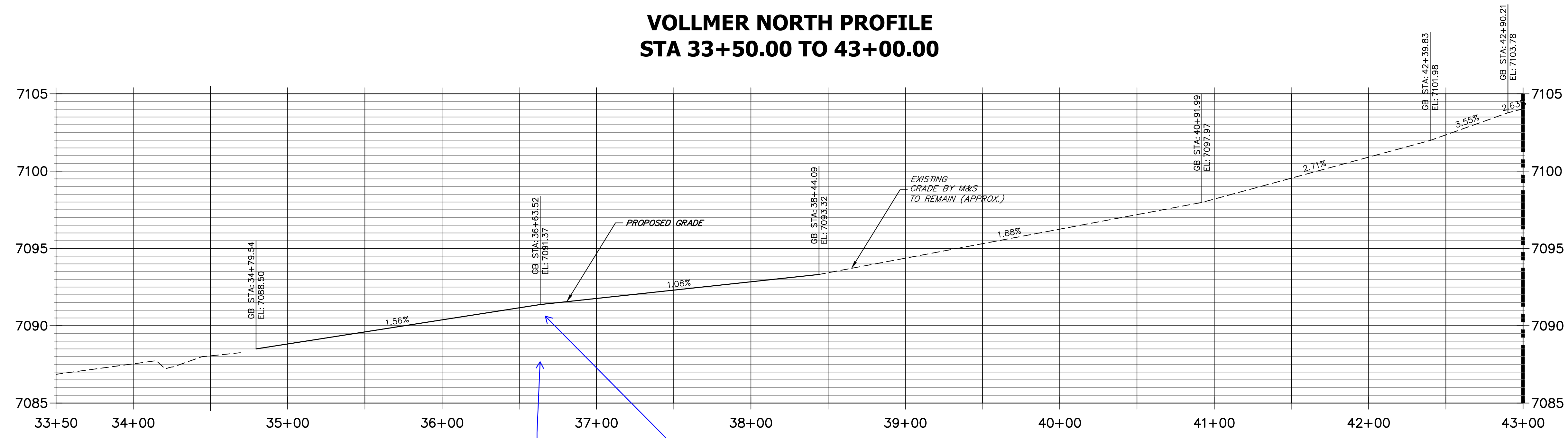
**ENGINEER'S STATEMENT**  
PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING  
*Mike Bramlett*  
MIKE A. BRAMLETT, P.E.  
COLORADO P.E. 32314  
FOR AND ON BEHALF OF JR ENGINEERING LOCAL ENGINEER  
09/09/22



LINE AND CURVE TABLE - VOLLMER NORTH

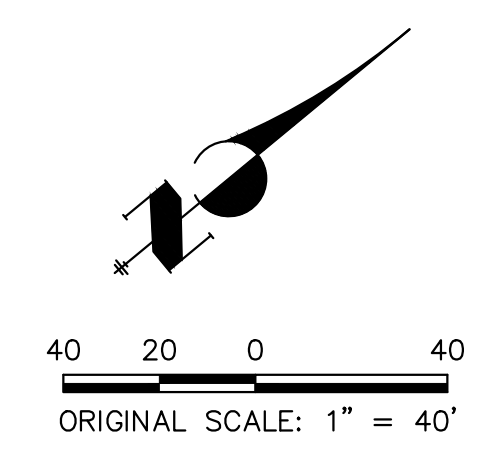
LINE/CURVE	BEARING/DELTA	LENGTH	RADIUS
L1	N40°36'03"E	899.01'	
L2	N40°36'25"E	655.55'	

**VOLLMER NORTH PROFILE  
STA 33+50.00 TO 43+00.00**



- ROADWAY NOTES**
- ALL STATIONING AND PROFILE ELEVATIONS ARE ROADWAY CENTERLINE UNLESS OTHERWISE NOTED.
  - URBAN MINOR ARTERIAL IS BASED ON A DESIGN SPEED OF 40 MPH. REDIRECT TAPERS ARE BASED ON A DESIGN SPEED OF 50 MPH.
  - PAVEMENT EDGES SHALL BE SAW-CUT STRAIGHT TO WITHIN 5 DEGREES OF VERTICAL EDGES SHALL BE TACK COATED PRIOR TO PATCHING.
  - MILLED PAVEMENT SHALL BE CLEANED, REMOVING ALL LOOSE MATERIAL AND COATED WITH HOT LIQUID ASPHALT (GRADE AC-10) OR ASPHALT EMULSION APPLIED COLD (GRADE CSS-1h) TO ENSURE A BOND WITH THE NEW ASPHALT SURFACING.

- LEGEND**
- PROPOSED FULL DEPTH ASPHALT REMOVAL
  - PROPOSED MILL & OVERLAY (2" DEPTH)
  - PROPOSED COMPOSITE PAVEMENT
  - PROPOSED CONCRETE PAVEMENT
  - PROPOSED SIDEWALK (4" DEPTH)



**ENGINEER'S STATEMENT**  
 PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING  
 Mike A. Bramlett  
 MIKE A. BRAMLETT, P.E.  
 COLORADO P.E. 32314  
 FOR AND ON BEHALF OF JR ENGINEERING, INC.  
 DATE: 8/23/22

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USE DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
**SR LAND, LLC**  
 20 BOULDER CRESCENT  
 SUITE 201  
 COLORADO SPRINGS, CO 80903  
 JAMES F. MORLEY  
 (719) 471-1742

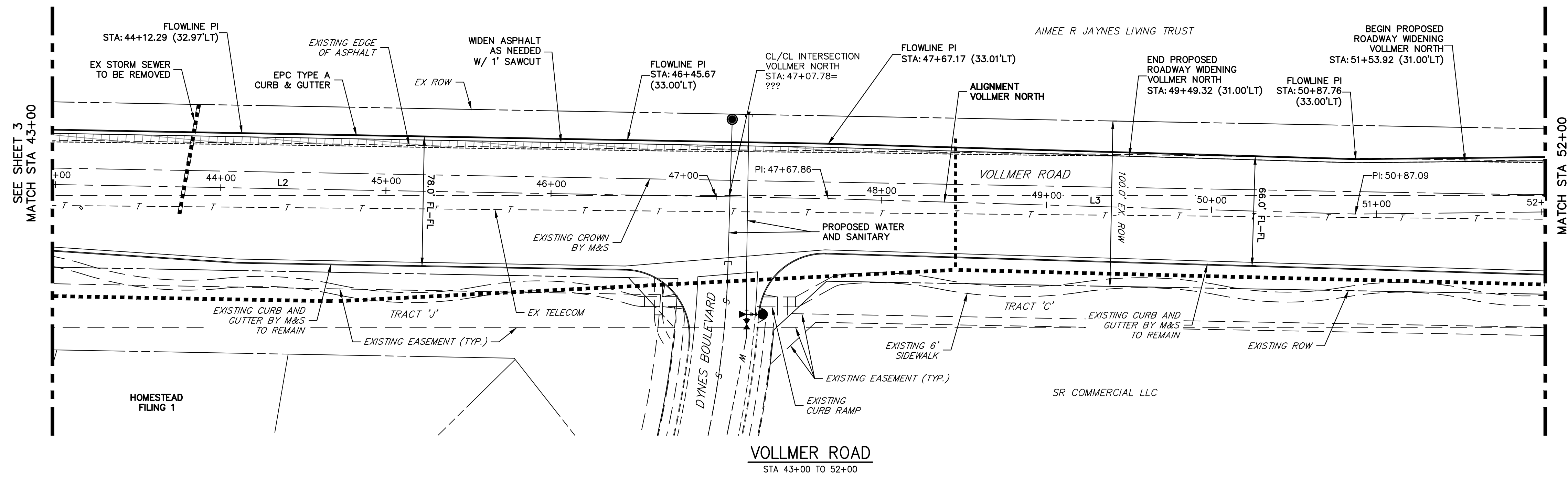
**J.R. ENGINEERING**  
 A Westman Company  
 Centennial 303-740-9888 • Colorado Springs 719-583-2593  
 Fort Collins 970-491-9888 • www.jrengineering.com

BY	DATE	No.	REVISION

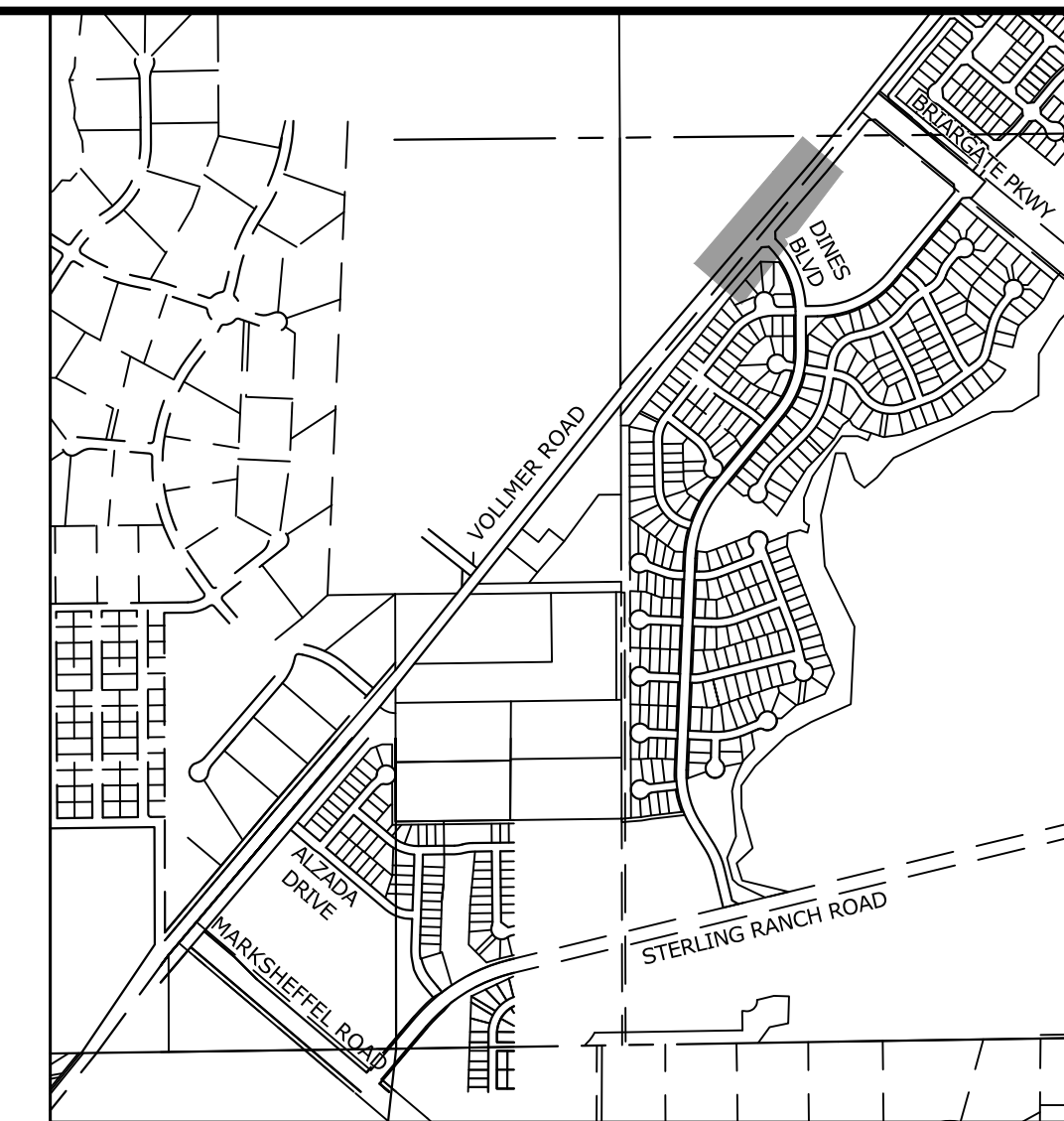
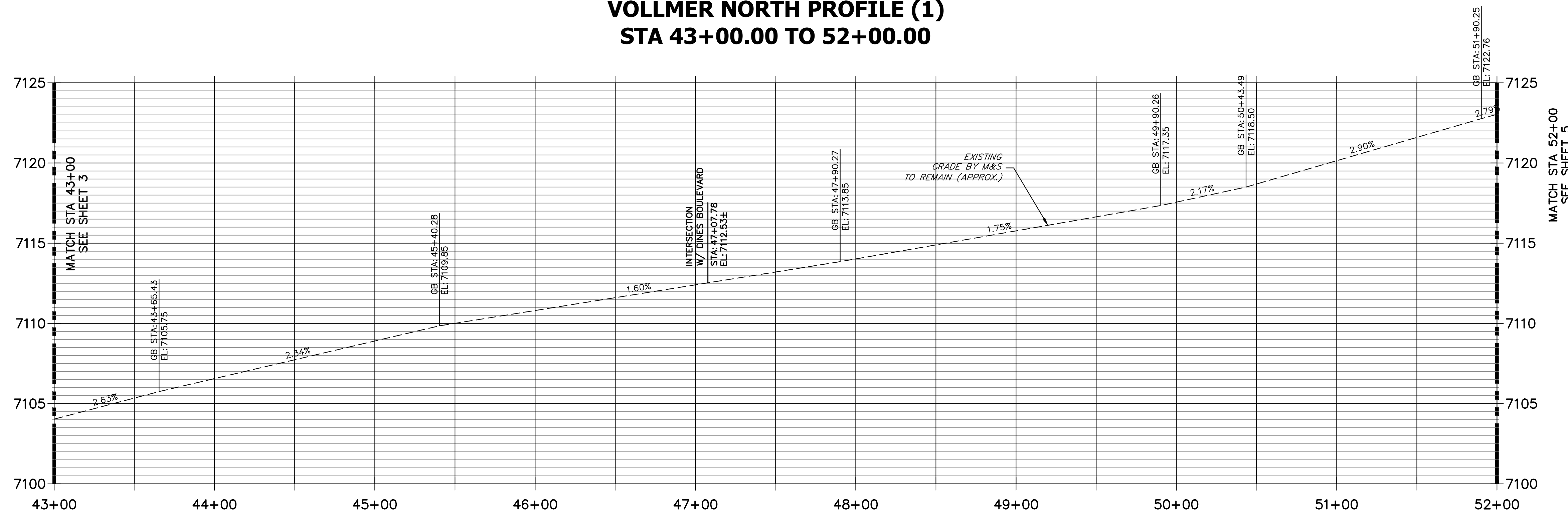
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 V-SCALE: N/A  
 DATE: 11/29/22  
 DESIGNED BY: CWC  
 DRAWN BY: CWC  
 CHECKED BY: CWC

**VOLLMER ROAD (NORTH)  
 ROADWAY PLAN & PROFILE**

SHEET 3 OF 17  
 JOB NO. 25188.00



**VOLLMER NORTH PROFILE (1)  
STA 43+00.00 TO 52+00.00**



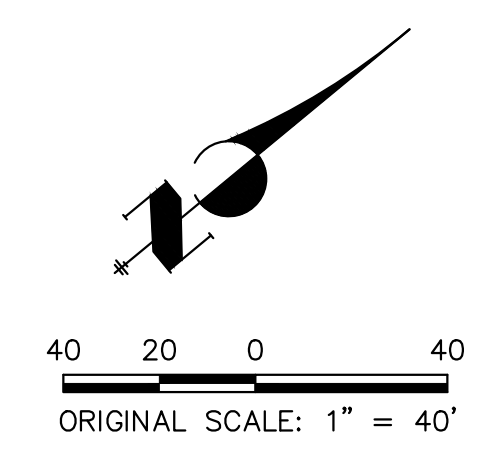
LINE AND CURVE TABLE - VOLLMER NORTH

LINE/CURVE	BEARING/DELTA	LENGTH	RADIUS
L2	N40°36'25"E	655.55'	
L3	N41°14'08"E	319.23'	
L4	N38°55'46"E	531.96'	

- ROADWAY NOTES**
1. ALL STATIONING AND PROFILE ELEVATIONS ARE ROADWAY CENTERLINE UNLESS OTHERWISE NOTED.
  2. URBAN MINOR ARTERIAL IS BASED ON A DESIGN SPEED OF 40 MPH. REDIRECT TAPERS ARE BASED ON A DESIGN SPEED OF 50 MPH.
  3. PAVEMENT EDGES SHALL BE SAW-CUT STRAIGHT TO WITHIN 5 DEGREES OF VERTICAL EDGES SHALL BE TACK COATED PRIOR TO PATCHING.
  4. MILLED PAVEMENT SHALL BE CLEANED, REMOVING ALL LOOSE MATERIAL AND COATED WITH HOT LIQUID ASPHALT (GRADE AC-10) OR ASPHALT EMULSION APPLIED COLD (GRADE CSS-1b) TO ENSURE A BOND WITH THE NEW ASPHALT SURFACING.

**LEGEND**

- PROPOSED FULL DEPTH ASPHALT REMOVAL
- PROPOSED MILL & OVERLAY (2" DEPTH)
- PROPOSED COMPOSITE PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- PROPOSED SIDEWALK (4" DEPTH)



**ENGINEER'S STATEMENT**  
 PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING  
 Mike A. Bramlett  
 MIKE A. BRAMLETT, P.E.  
 COLORADO P.E. 32314  
 FOR AND ON BEHALF OF JR ENGINEERING, INC.  
 DATE: 8/23/22

UNLESS SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
**SR LAND, LLC**  
 20 BOULDER CRESCENT  
 SUITE 201  
 COLORADO SPRINGS, CO 80903  
 JAMES F. MORLEY  
 (719) 471-1742

**J.R. ENGINEERING**  
 A Westman Company  
 Centennial 300-740-9888 • Colorado Springs 719-583-2583  
 Fort Collins 970-491-9888 • www.jrengineering.com

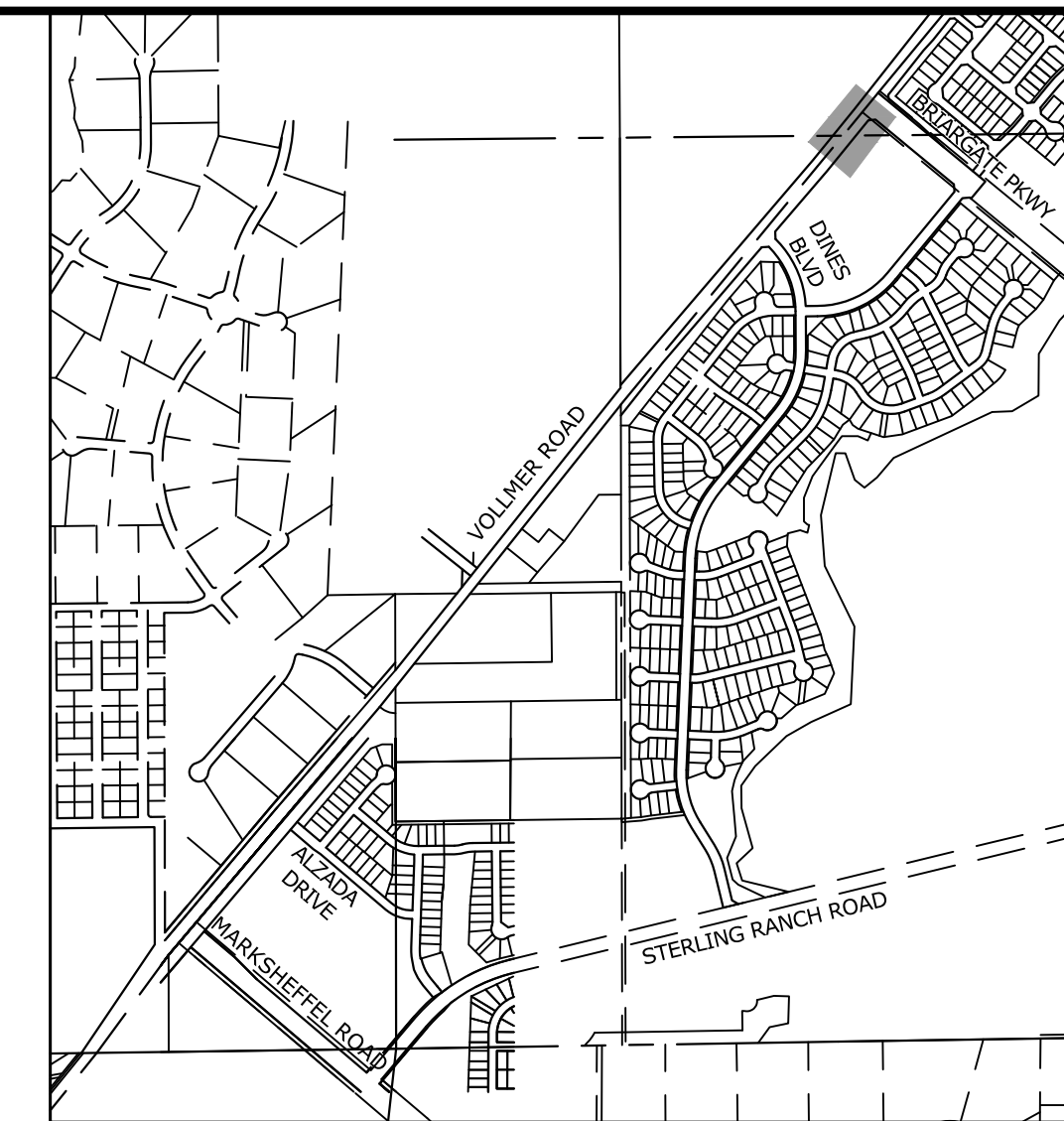
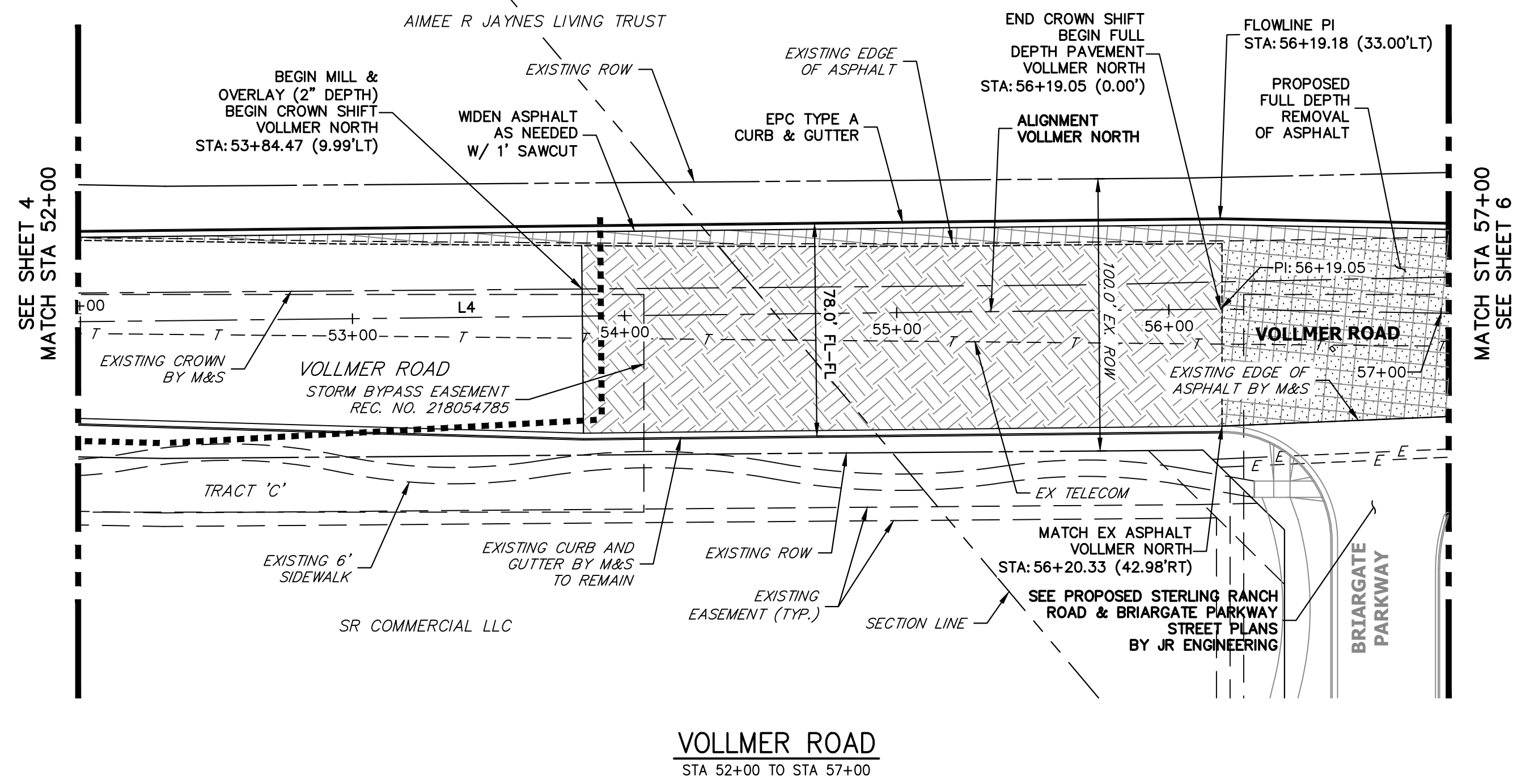
BY	DATE	No.	REVISION

H-SCALE: 1"=40'  
 V-SCALE: N/A  
 DATE: 11/29/22  
 DESIGNED BY: CWC  
 DRAWN BY: CWC  
 CHECKED BY: CWC

**VOLLMER ROAD (NORTH)  
ROADWAY PLAN & PROFILE**

SHEET 4 OF 17  
 JOB NO. 25188.00

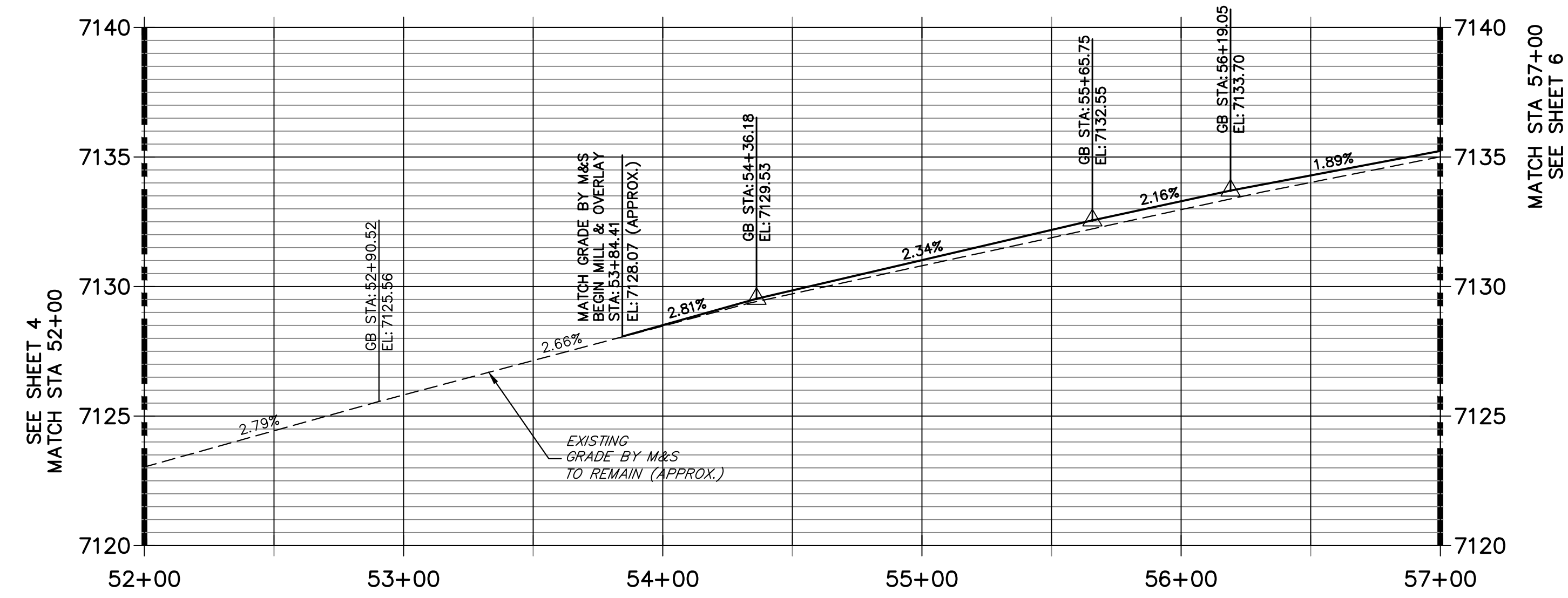




LINE AND CURVE TABLE – VOLLMER NORTH

LINE/CURVE	BEARING/DELTA	LENGTH	RADIUS
L4	N38°55'46\"/>		

**VOLLMER NORTH PROFILE (2)  
STA 52+00.00 TO 57+00.00**

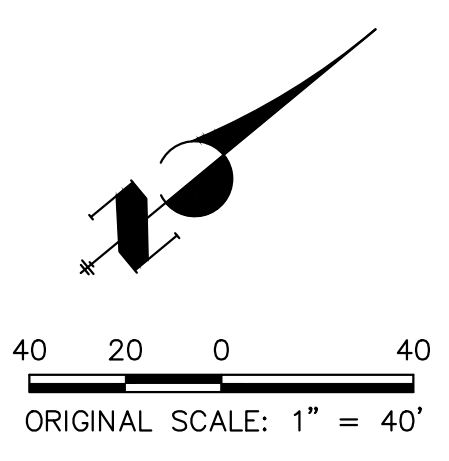


**ROADWAY NOTES**

- ALL STATIONING AND PROFILE ELEVATIONS ARE ROADWAY CENTERLINE UNLESS OTHERWISE NOTED.
- URBAN MINOR ARTERIAL IS BASED ON A DESIGN SPEED OF 40 MPH. REDIRECT TAPERS ARE BASED ON A DESIGN SPEED OF 50 MPH.
- PAVEMENT EDGES SHALL BE SAW-CUT STRAIGHT TO WITHIN 5 DEGREES OF VERTICAL. EDGES SHALL BE TACK COATED PRIOR TO PATCHING.
- MILLED PAVEMENT SHALL BE CLEANED, REMOVING ALL LOOSE MATERIAL AND COATED WITH HOT LIQUID ASPHALT (GRADE AC-10) OR ASPHALT EMULSION APPLIED COLD (GRADE CSS-1h) TO ENSURE A BOND WITH THE NEW ASPHALT SURFACING.

**LEGEND**

- PROPOSED FULL DEPTH ASPHALT REMOVAL
- PROPOSED MILL & OVERLAY (2\"/>



**ENGINEER'S STATEMENT**

PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING

*Mike A. Bramlett*  
MIKE A. BRAMLETT, P.E.  
COLORADO P.E. 32314  
DATE 8/23/22

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USE FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
**SR LAND, LLC**  
20 BOULDER CRESCENT  
SUITE 201  
COLORADO SPRINGS, CO 80903  
JAMES F. MORLEY  
(719) 471-1742

**J.R. ENGINEERING**  
A Westman Company

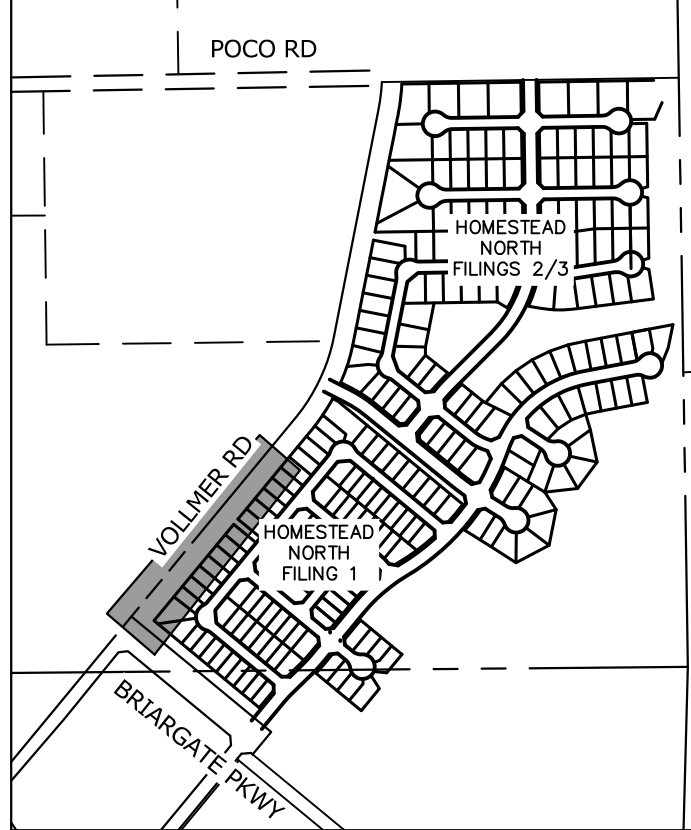
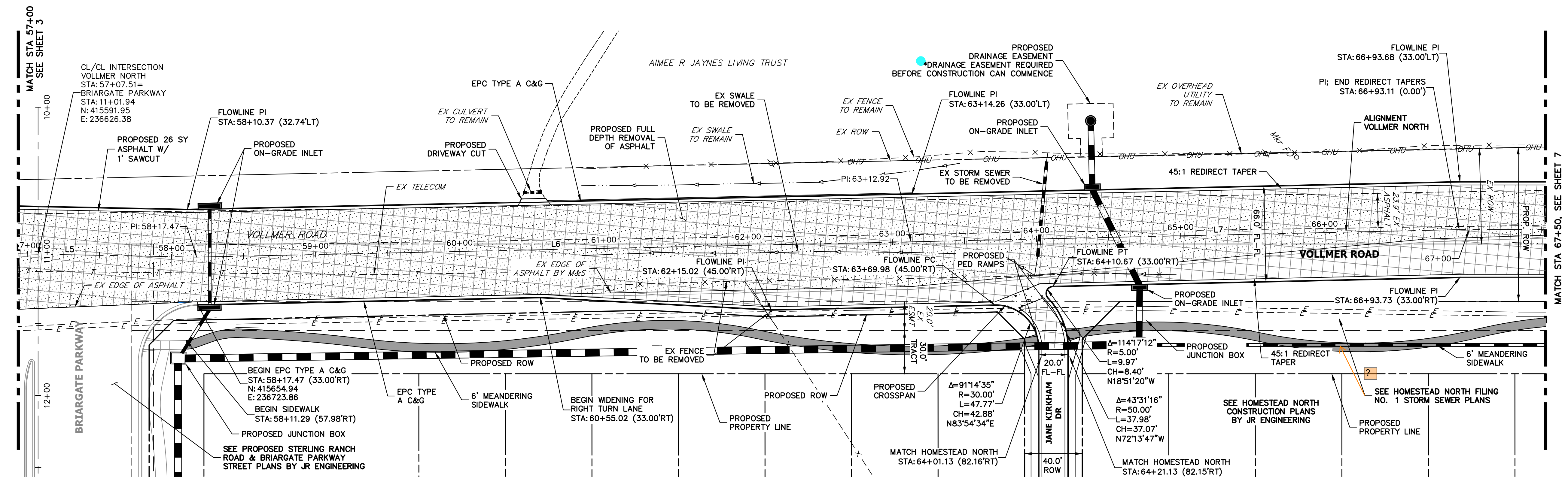
Central 303-740-9888 • Colorado Springs 719-583-2583  
Fort Collins 970-491-9888 • www.jrengineering.com

BY	DATE	No.	REVISION

VOLLMER ROAD (NORTH)	DESIGNED BY	CWC
ROADWAY PLAN & PROFILE	DRAWN BY	CWC
	CHECKED BY	

H-SCALE 1"=40'  
V-SCALE N/A  
DATE 11/29/22  
DESIGNED BY CWC  
DRAWN BY CWC  
CHECKED BY





**KEY MAP**  
SCALE: NTS

**LEGEND**

- PROPOSED FULL DEPTH ASPHALT REMOVAL
- PROPOSED MILL & OVERLAY (2" DEPTH)
- PROPOSED COMPOSITE PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- PROPOSED SIDEWALK (4" DEPTH)

**ROADWAY NOTES**

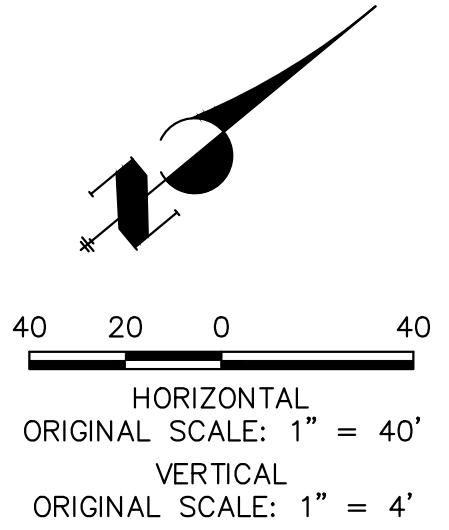
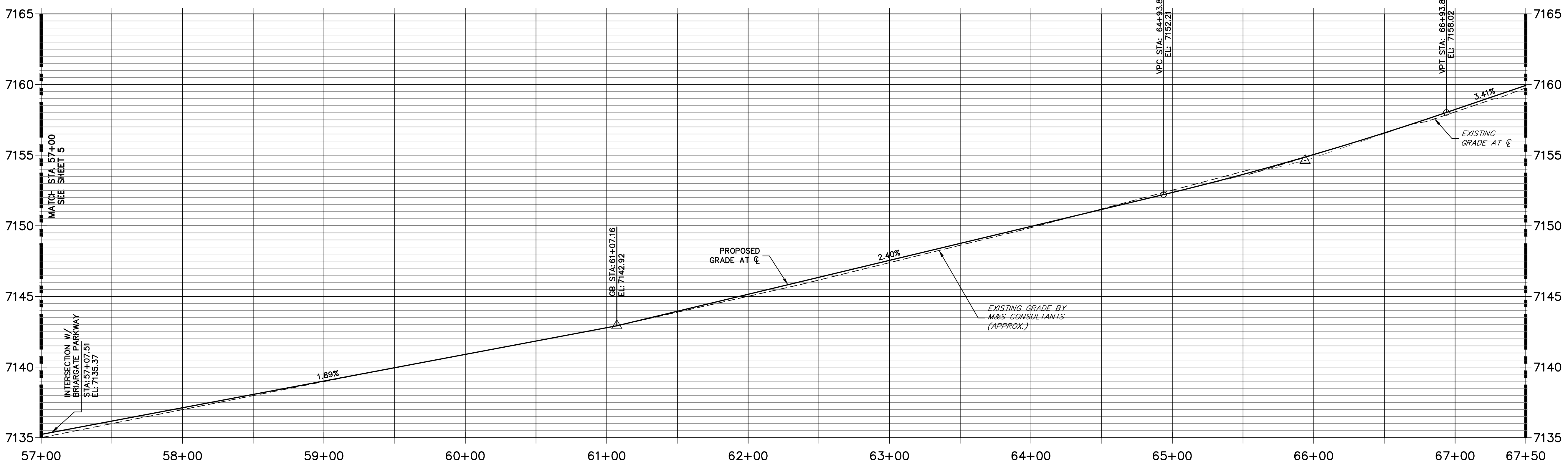
1. ALL STATIONING AND PROFILE ELEVATIONS ARE ROADWAY CENTERLINE UNLESS OTHERWISE NOTED.
2. URBAN MINOR ARTERIAL IS BASED ON A DESIGN SPEED OF 40 MPH. REDIRECT TAPERS ARE BASED ON A DESIGN SPEED OF 50 MPH.
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4. MILLED PAVEMENT SHALL BE CLEANED, REMOVING ALL LOOSE MATERIAL AND COATED WITH HOT LIQUID ASPHALT (GRADE AC-10) OR ASPHALT EMULSION APPLIED COLD (GRADE CSS-1h) TO ENSURE A BOND WITH THE NEW ASPHALT SURFACING.

**LINE AND CURVE TABLE - VOLLMER NORTH**

LINE/CURVE	BEARING/Delta	LENGTH	RADIUS
L5	N40°37'46"E	198.41'	
L6	N38°20'17"E	495.45'	
L7	N38°17'16"E	380.44'	
L8	N39°33'48"E	240.78'	

**VOLLMER ROAD**  
STA 57+00 TO STA 67+50

**VOLLMER NORTH PROFILE (3)**  
STA 57+00.00 TO 67+50.00



**ENGINEER'S STATEMENT**

PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING  
  
 MIKE A. BRAMLETT, P.E.  
 COLORADO P.E. 32314  
 FOR AND ON BEHALF OF JR ENGINEERING, INC.  
 DATE: 8/23/22

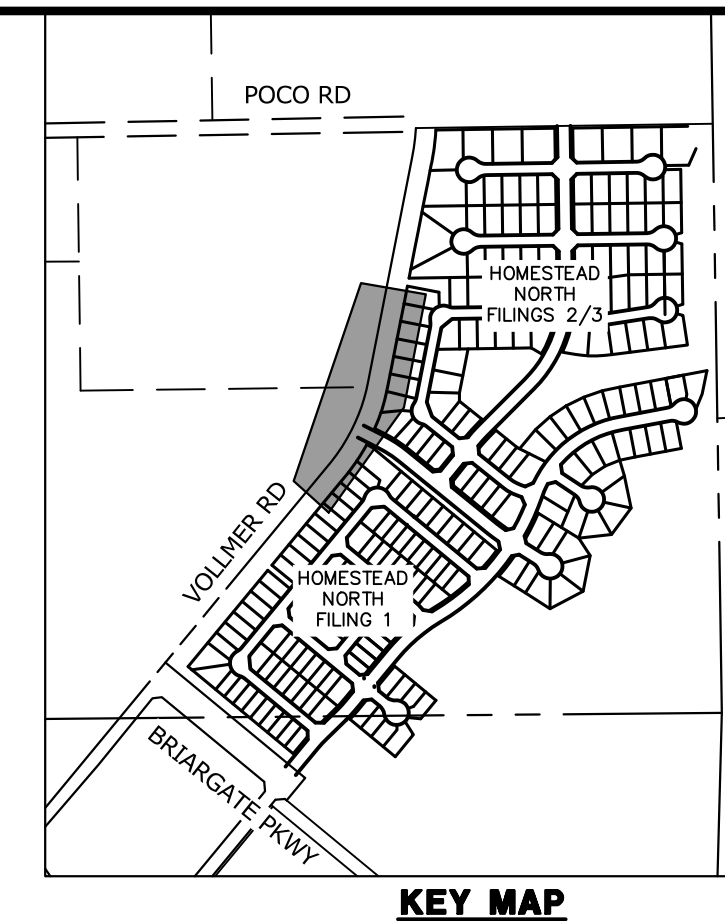
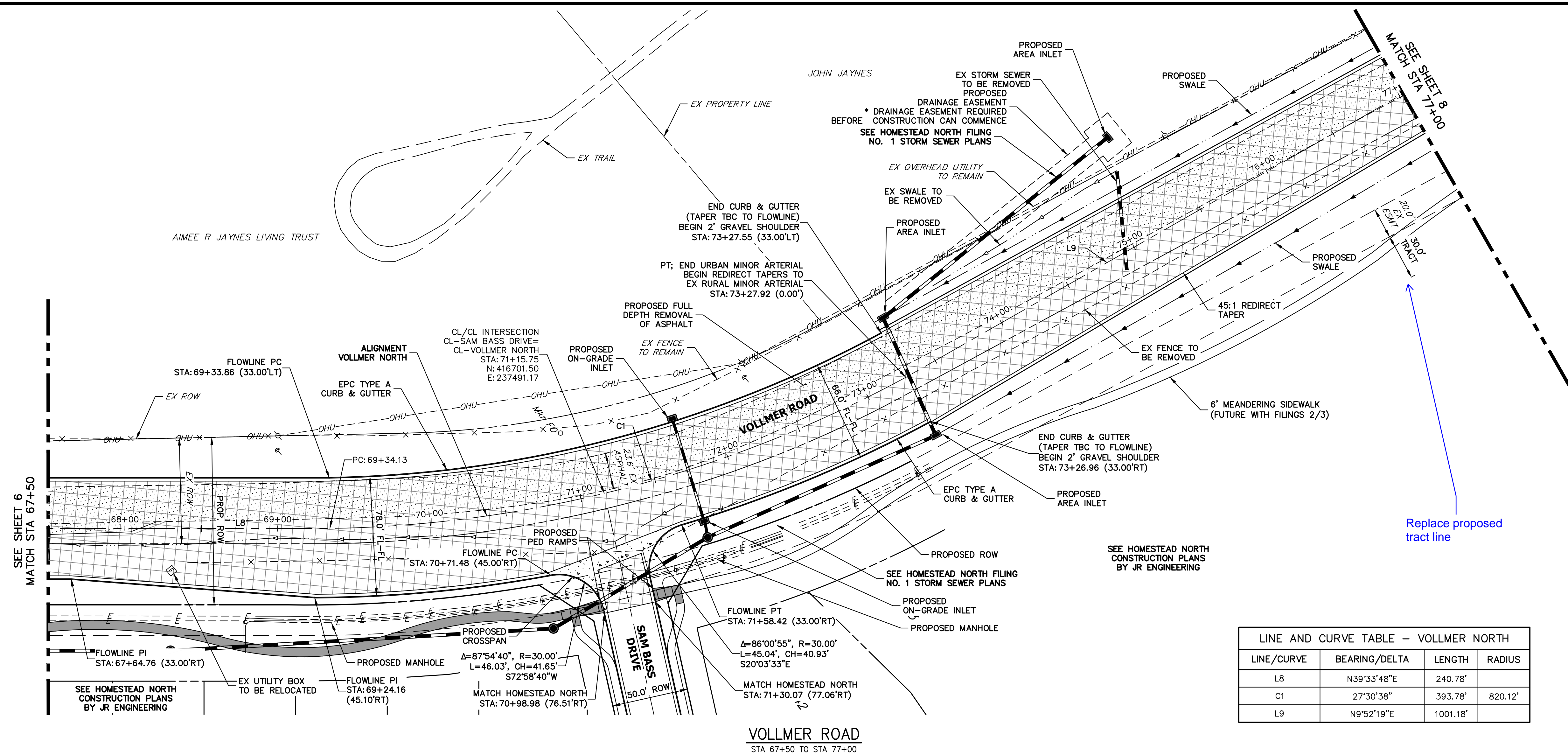
UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE AGENCIES, JR ENGINEERING APPROVES THEIR USE DESIGNATED BY WRITTEN AUTHORIZATION.  
 PREPARED FOR  
**SR LAND, LLC**  
 20 BOULDER CRESCENT SUITE 201  
 COLORADO SPRINGS, CO 80903  
 JAMES F. MORLEY (719) 471-1742

**J.R. ENGINEERING**  
 A Westman Company  
 Centennial 303-740-9888 • Colorado Springs 719-583-2583  
 Fort Collins 970-491-9888 • www.jrengineering.com

BY	DATE	REVISION

**VOLLMER ROAD (NORTH)**  
**ROADWAY PLAN & PROFILE**  
 SHEET 6 OF 17  
 JOB NO. 25188.00





**LEGEND**

- PROPOSED FULL DEPTH ASPHALT REMOVAL
- PROPOSED MILL & OVERLAY (2\"/>

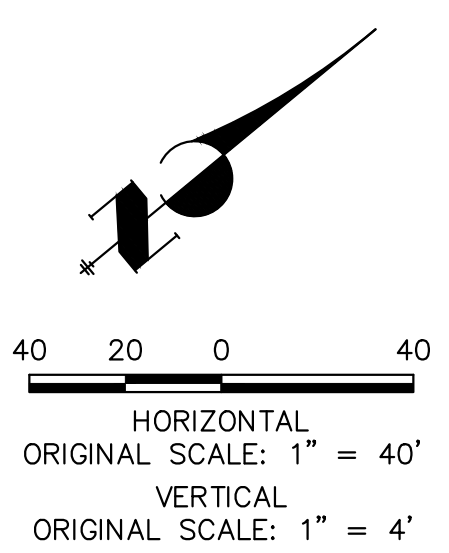
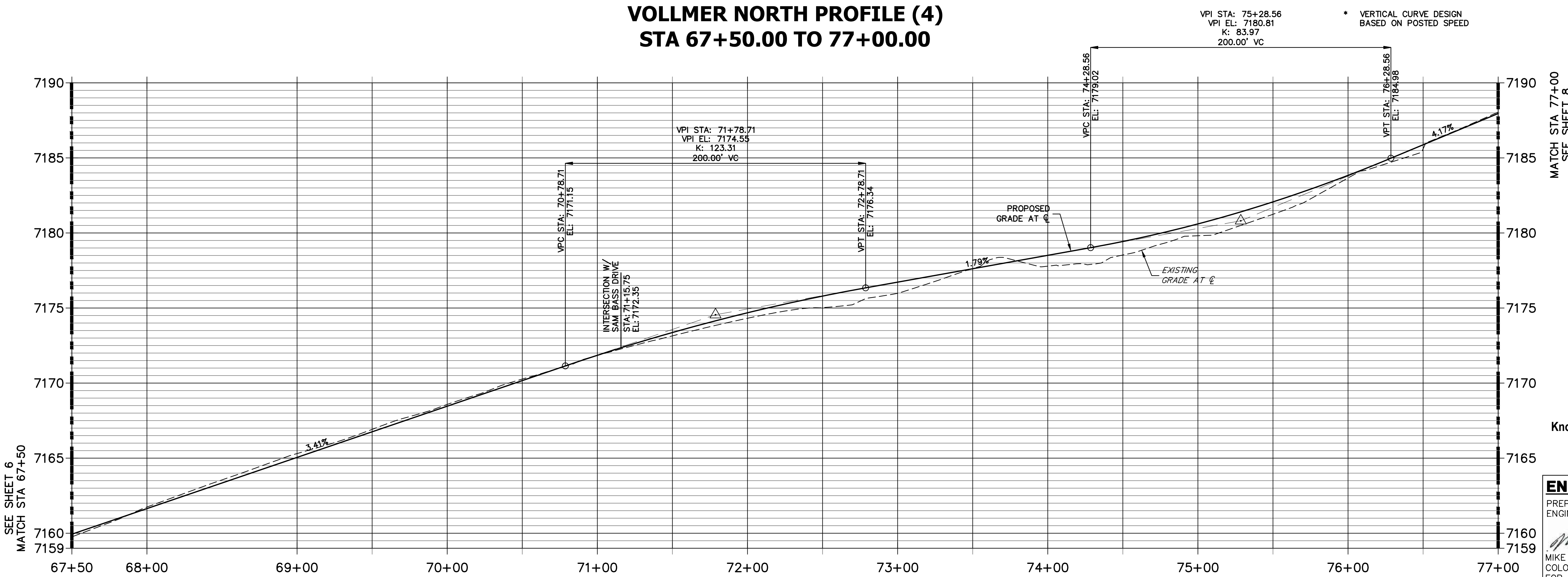
**ROADWAY NOTES**

1. ALL STATIONING AND PROFILE ELEVATIONS ARE ROADWAY CENTERLINE UNLESS OTHERWISE NOTED.
2. URBAN MINOR ARTERIAL IS BASED ON A DESIGN SPEED OF 40 MPH. REDIRECT TAPERS ARE BASED ON A DESIGN SPEED OF 50 MPH.
3. PAVEMENT EDGES SHALL BE SAW-CUT STRAIGHT TO WITHIN 5 DEGREES OF VERTICAL. EDGES SHALL BE TACK COATED PRIOR TO PATCHING.
4. MILLED PAVEMENT SHALL BE CLEANED, REMOVING ALL LOOSE MATERIAL AND COATED WITH HOT LIQUID ASPHALT (GRADE AC-10) OR ASPHALT EMULSION APPLIED COLD (GRADE CSS-1h) TO ENSURE A BOND WITH THE NEW ASPHALT SURFACING.

**LINE AND CURVE TABLE - VOLLMER NORTH**

LINE/CURVE	BEARING/DELTA	LENGTH	RADIUS
L8	N39°33'48\"/>		

**VOLLMER NORTH PROFILE (4)  
STA 67+50.00 TO 77+00.00**



**ENGINEER'S STATEMENT**

PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING  
 MIKE A. BRAMLETT, P.E.  
 COLORADO P.E. 32314  
 FOR AND ON BEHALF OF JR ENGINEERING, INC.  
 DATE: 8/23/22

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USE DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
**SR LAND, LLC**  
 20 BOULDER CRESCENT  
 SUITE 201  
 COLORADO SPRINGS, CO 80903  
 JAMES F. MORLEY  
 (719) 471-1742

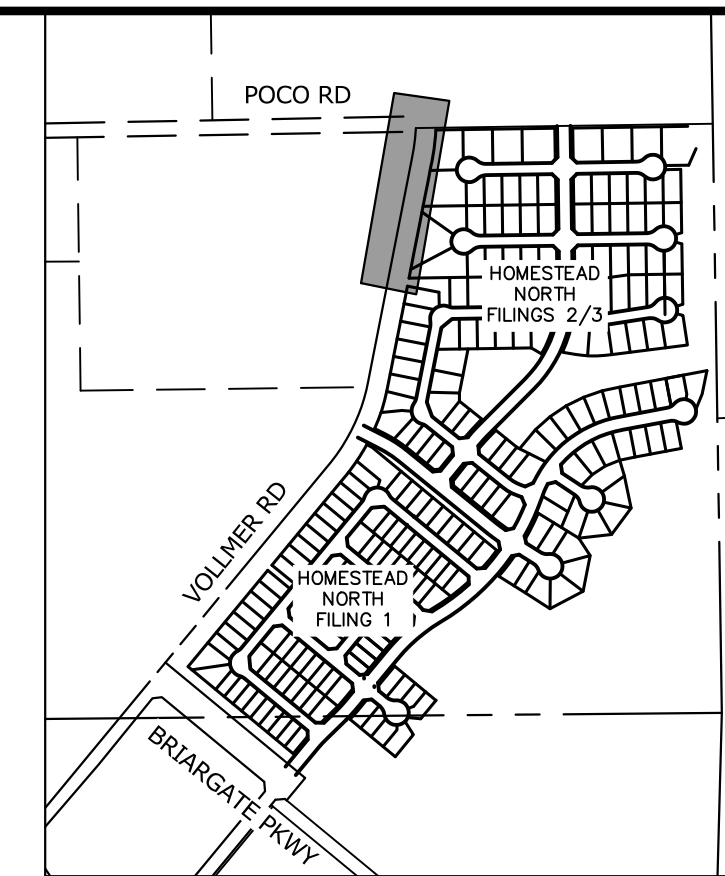
**J.R. ENGINEERING**  
 A Westman Company  
 Centennial 303-740-9888 • Colorado Springs 719-583-2583  
 Fort Collins 970-491-9888 • www.jrengineering.com

NO.	REVISION	DATE

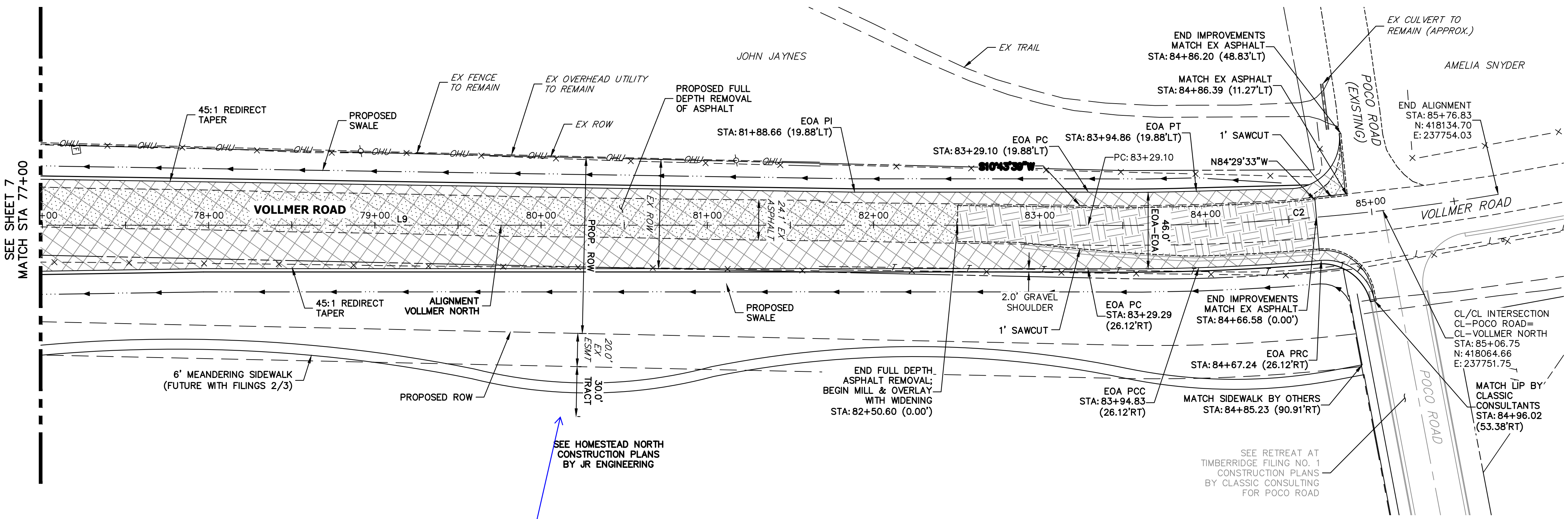
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 V-SCALE: 1"=4'  
 DATE: 11/29/22  
 DESIGNED BY: CWC  
 DRAWN BY: CWC  
 CHECKED BY: CWC

**VOLLMER ROAD (NORTH)**  
**ROADWAY PLAN & PROFILE**

SHEET 7 OF 17  
 JOB NO. 25188.00



KEY MAP  
SCALE: NTS



LINE AND CURVE TABLE - VOLLMER NORTH

LINE/CURVE	BEARING/DELTA	LENGTH	RADIUS
L9	N9°52'19"E	1001.18'	
C2	10°21'16"	247.73'	1370.85'

Replace proposed tract line

VOLLMER ROAD  
STA 77+00 TO STA 85+77

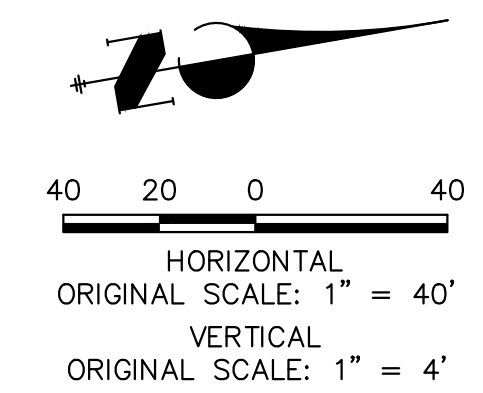
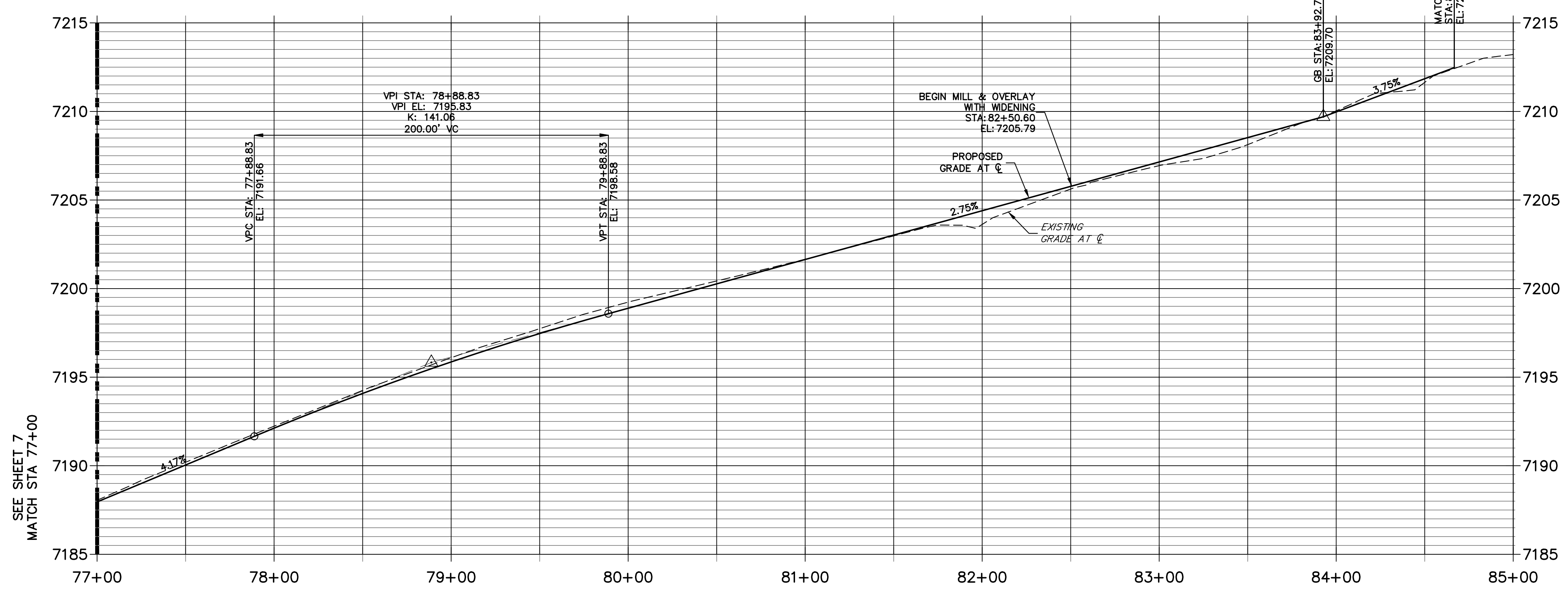
LEGEND

- PROPOSED FULL DEPTH ASPHALT REMOVAL
- PROPOSED MILL & OVERLAY (2" DEPTH)
- PROPOSED COMPOSITE PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- PROPOSED SIDEWALK (4" DEPTH)

ROADWAY NOTES

1. ALL STATIONING AND PROFILE ELEVATIONS ARE ROADWAY CENTERLINE UNLESS OTHERWISE NOTED.
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VOLLMER NORTH PROFILE (5)  
STA 77+00.00 TO 85+00.00



ENGINEER'S STATEMENT

PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING  
 Mike A. Bramlett  
 COLORADO P.E. 32314  
 FOR AND ON BEHALF OF JR ENGINEERING, INC. LOCAL ENGINEER  
 DATE 8/23/22

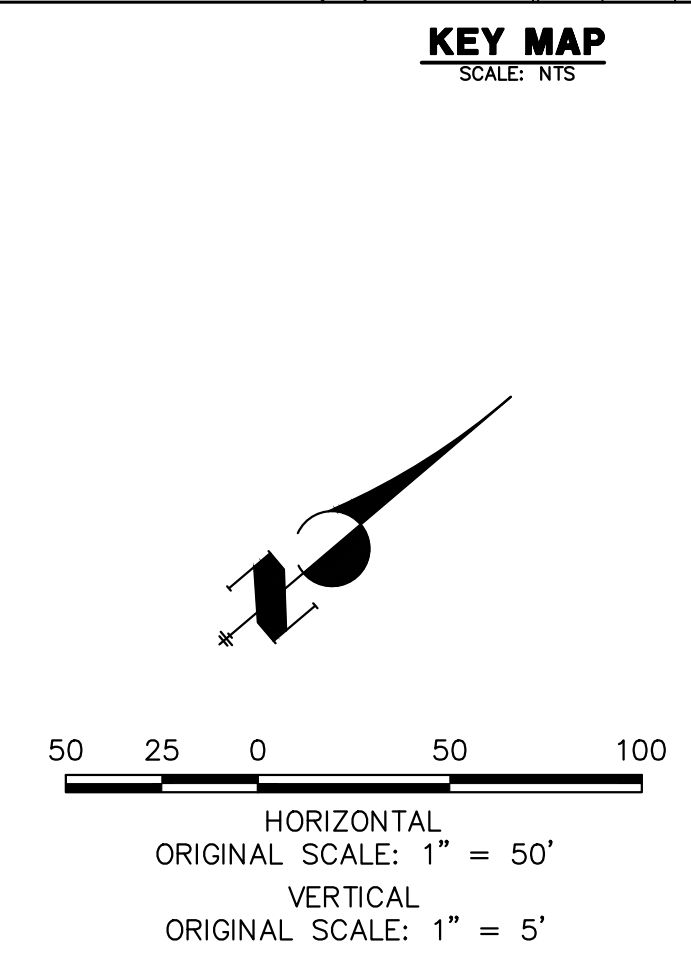
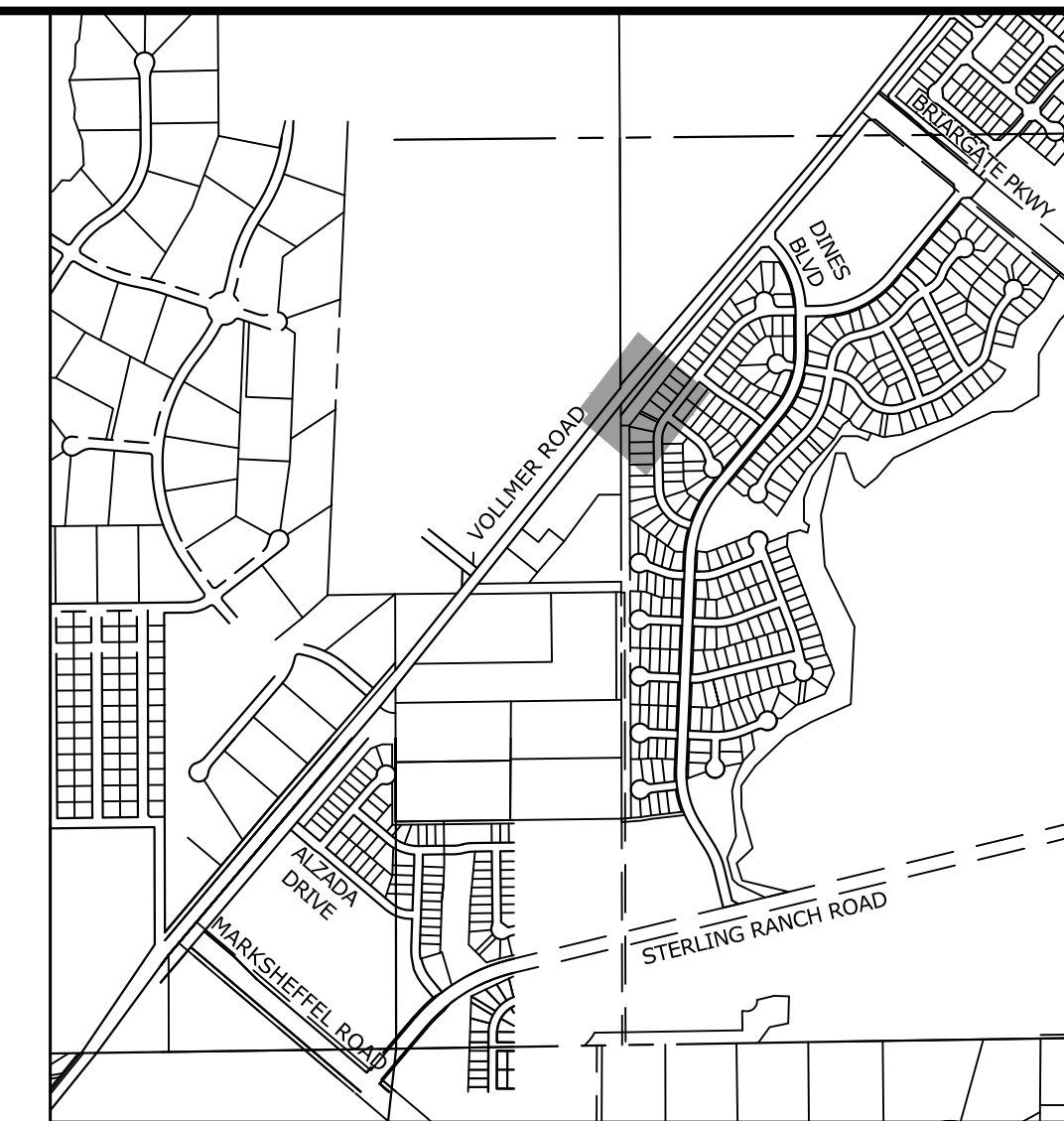
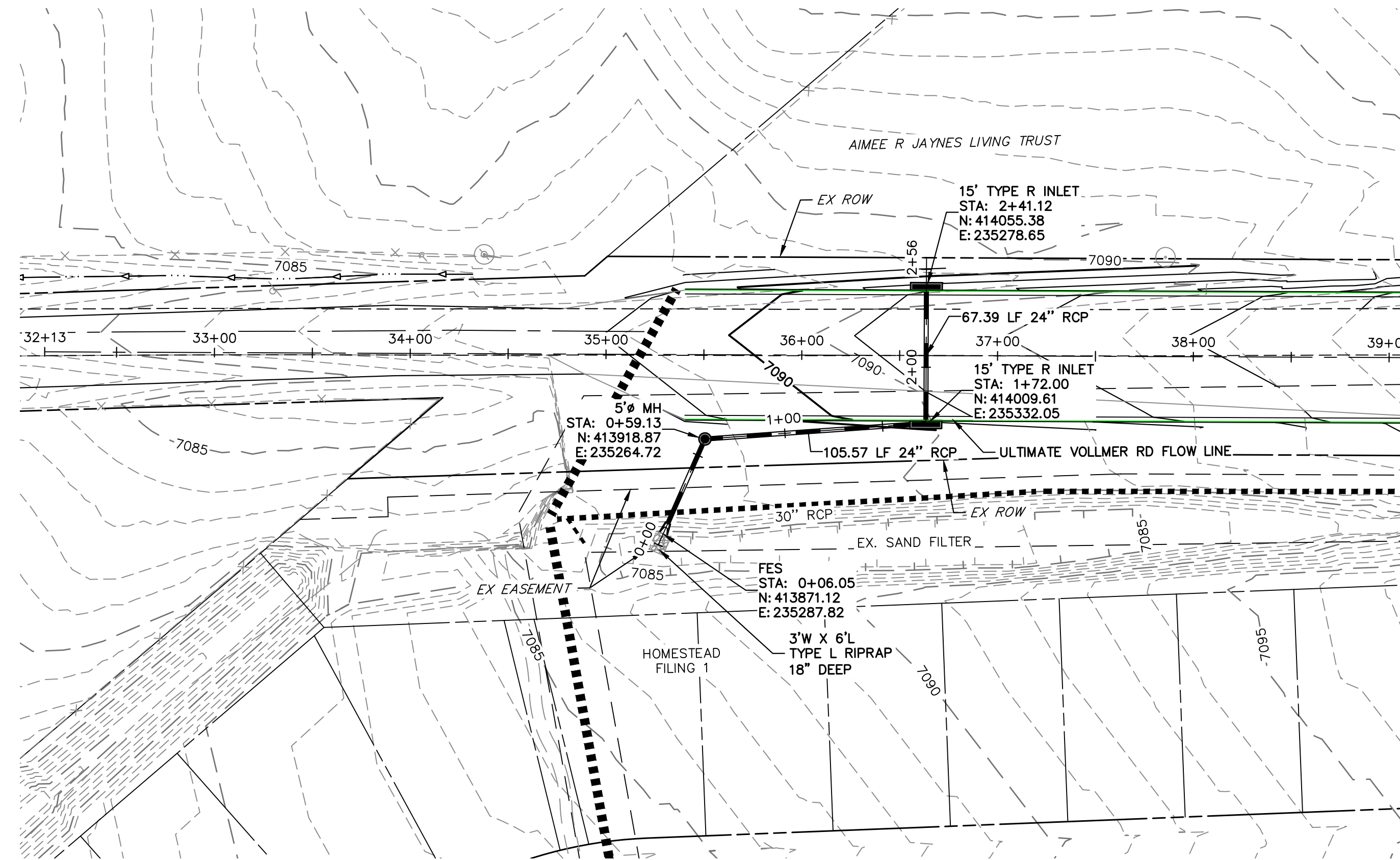
PREPARED FOR  
 SR LAND, LLC  
 20 BOULDER CRESCENT  
 SUITE 201  
 COLORADO SPRINGS, CO 80903  
 JAMES F. MORLEY  
 (719) 471-1742

J.R. ENGINEERING  
 A Westman Company  
 Centennial 303-740-9888 • Colorado Springs 719-583-2583  
 Fort Collins 970-491-9888 • www.jrengineering.com

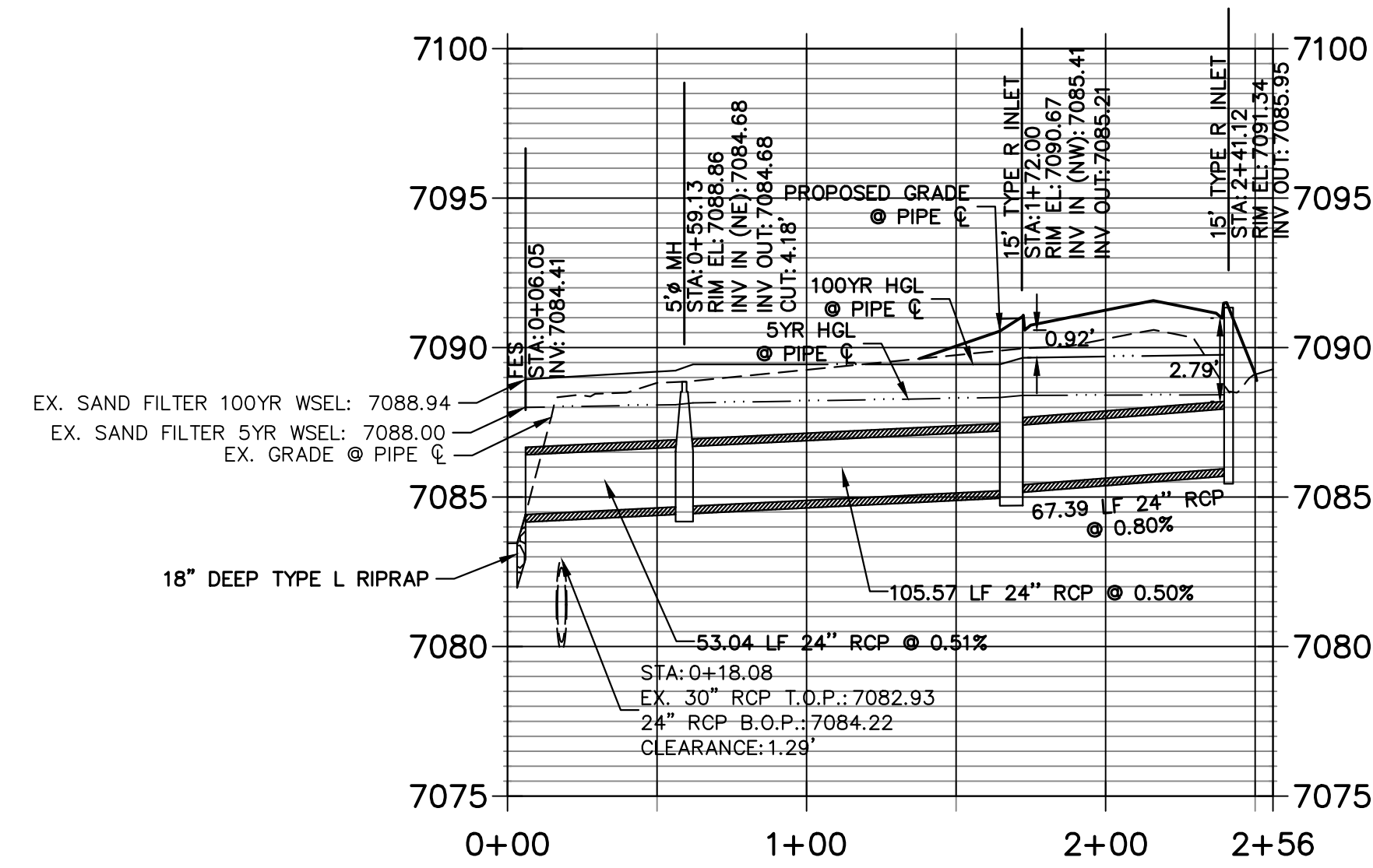
BY	DATE	No.	REVISION

VOLLMER ROAD (NORTH)  
 ROADWAY PLAN & PROFILE  
 SHEET 8 OF 17  
 JOB NO. 25188.00





**DP01 PROFILE  
STA 0+00.00 TO 2+55.94**



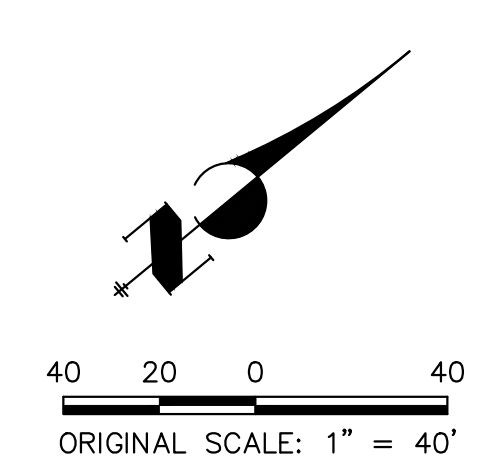
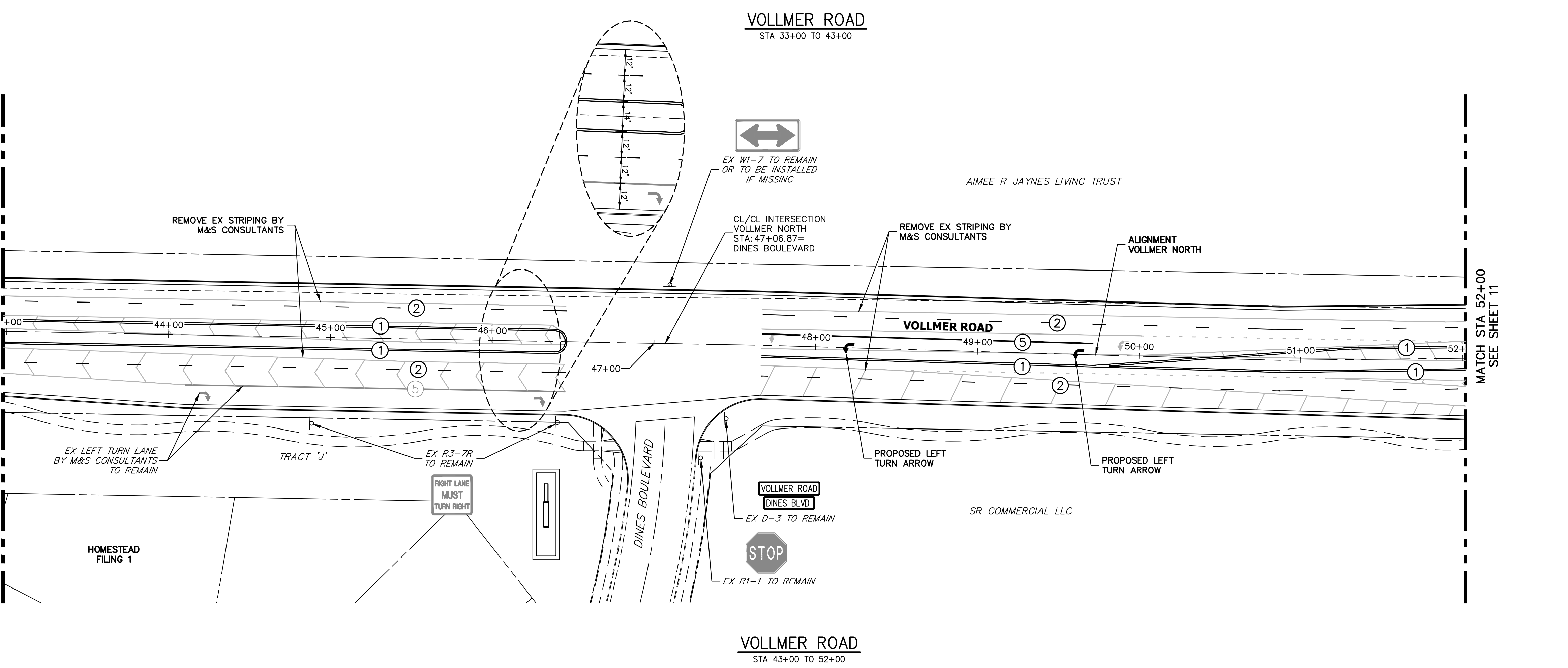
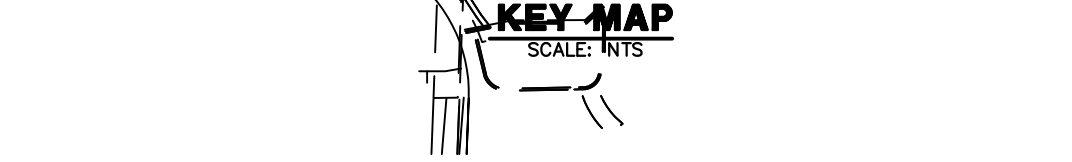
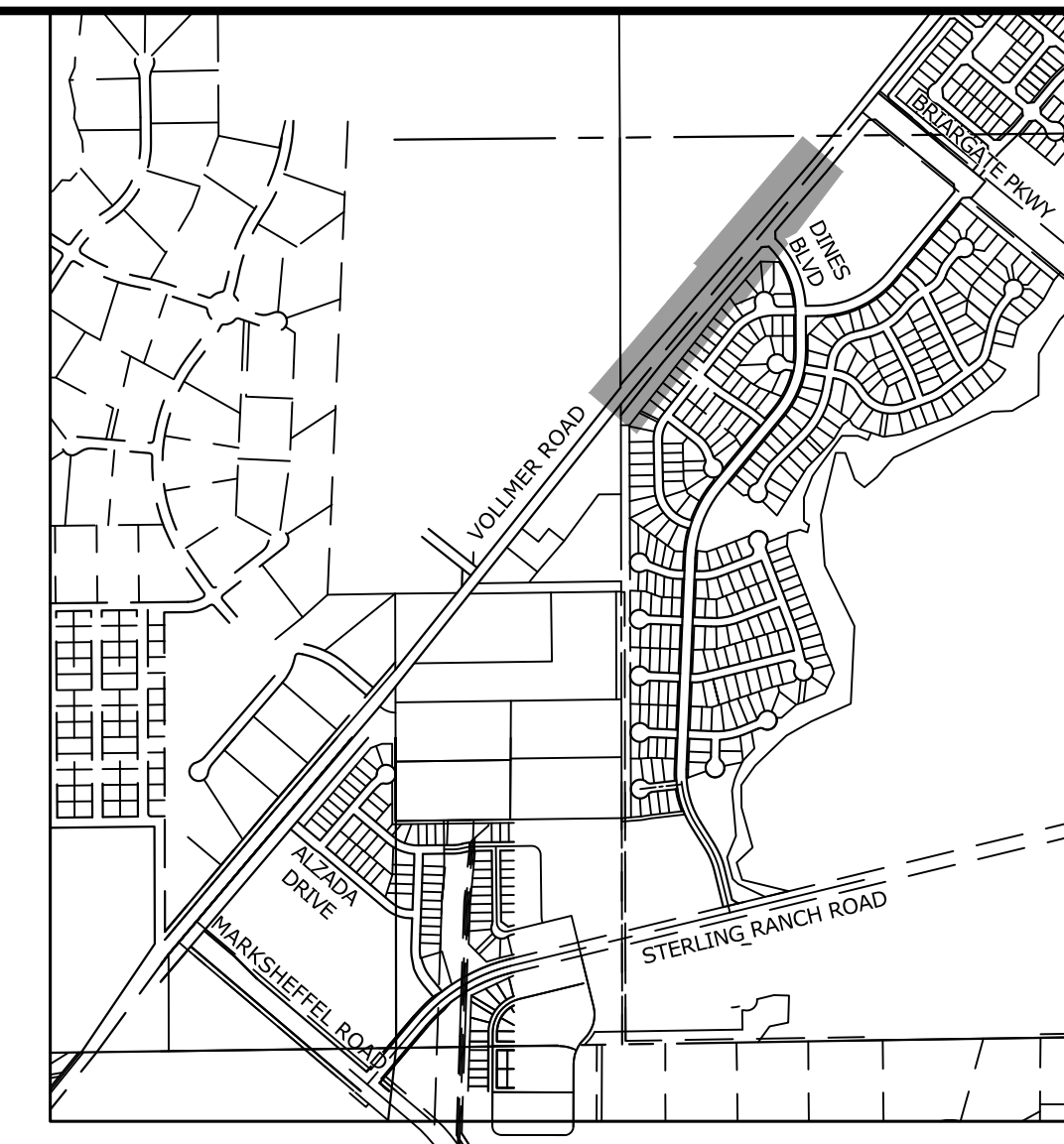
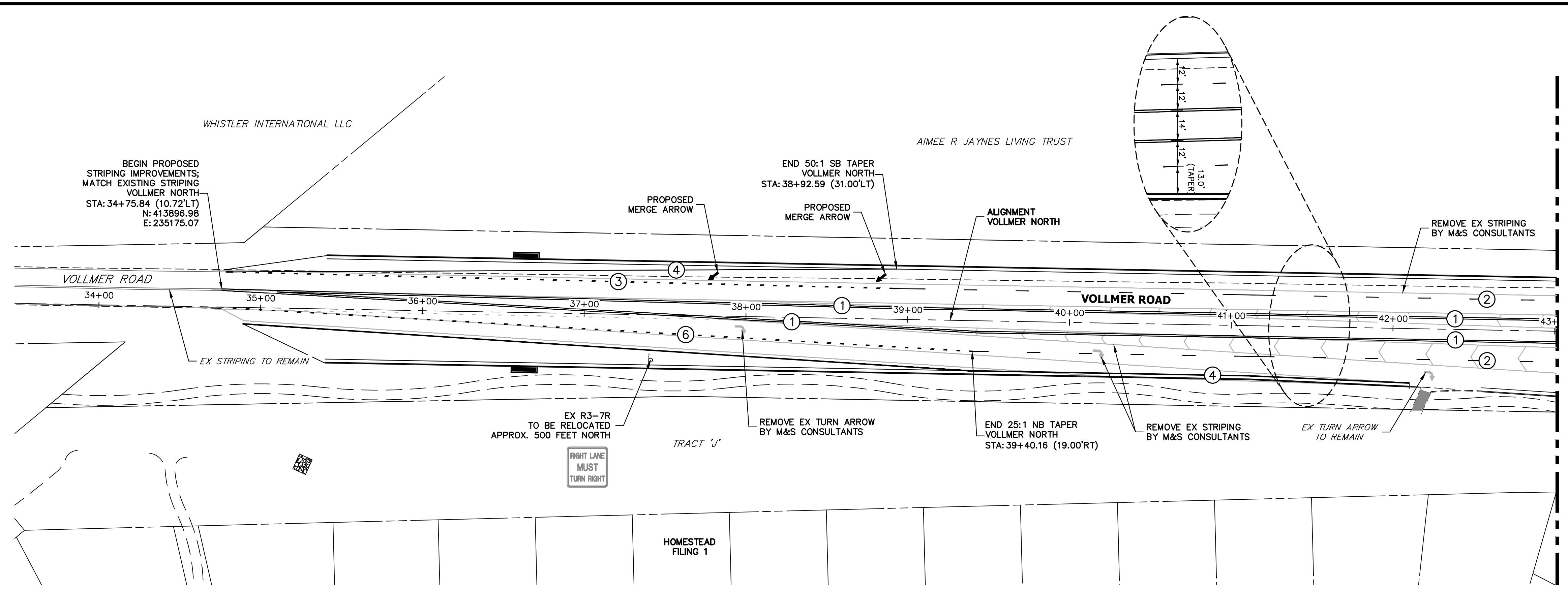
Specify watertight joints



**ENGINEER'S STATEMENT**  
 PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING  
 Mike A. Bramlett, P.E.  
 COLORADO P.E. 32314  
 FOR AND ON BEHALF OF JR ENGINEERING

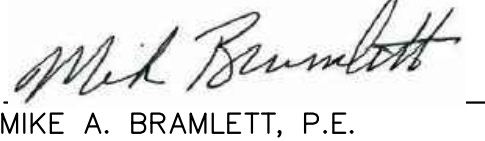
DATE: 8/23/22

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USE. REVISES DESIGNATED BY WRITTEN AUTHORIZATION.	
PREPARED FOR	SR LAND, LLC 20 BOULDER CRESCENT SUITE 201 COLORADO SPRINGS, CO 80903 JAMES F. MORLEY (719) 471-1742
J.R. ENGINEERING A Westman Company	Central 303-740-9888 • Colorado Springs 719-583-2583 Fort Collins 970-491-9888 • www.jrengineering.com
BY	DATE
No.	REVISION
H-SCALE 1"=50'	DATE 11/29/22
V-SCALE 1"=5'	DESIGNED BY CWC
DESIGNED BY	DRAWN BY D/JG
CHECKED BY	
VOLLMER ROAD (NORTH)	
STORM PLAN & PROFILE	
SHEET 9	OF 17
JOB NO. 25188.00	



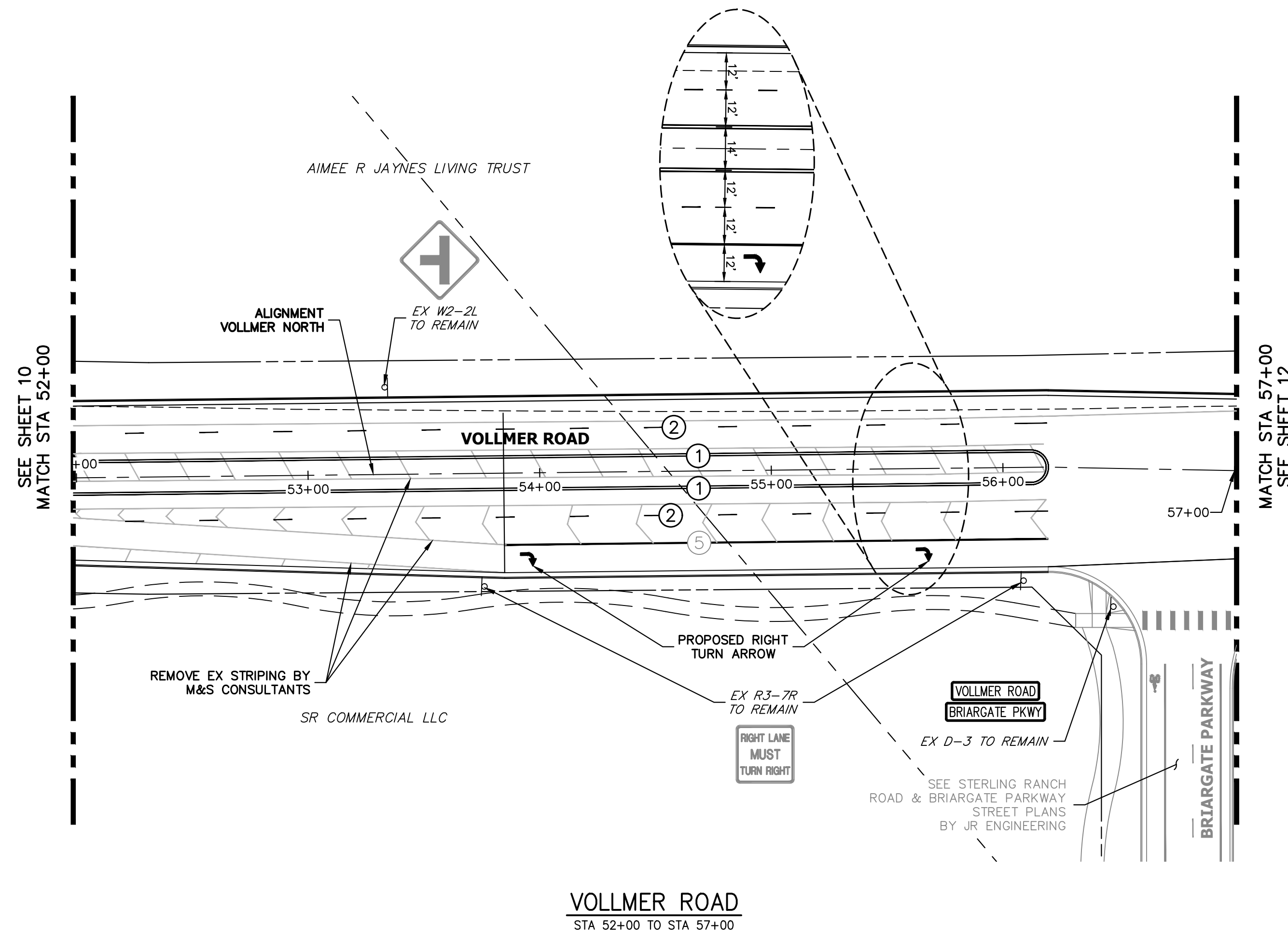
STRIPING LEGEND		
STRIPE	PAVEMENT MARKINGS	MARKING DESCRIPTION
①	DOUBLE CENTERLINE LANE MARKINGS (EPOXY)	PARALLEL SOLID YELLOW, 4" WIDE, 12" APART
②	LANE LANES (EPOXY)	BROKEN WHITE, 4" WIDE, 10' SEGMENTS WITH 30' GAPS
③	LANE DROP LINES (EPOXY)	BROKEN WHITE, 4" WIDE, 3' SEGMENTS WITH 12' GAPS
④	EDGE LINES (EPOXY)	SOLID WHITE, 4" WIDE
⑤	CHANNELIZING LINES (EPOXY)	SOLID WHITE, 8" WIDE
⑥	DOTTED EXTENSION LINES (EPOXY)	BROKEN WHITE, 4" WIDE, 2' SEGMENTS WITH 4' GAPS

NOTE: ALL STRIPING INSTALLATION SHALL BE PER COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) "M&S STANDARDS" STANDARD PLAN NO. S-627-1.

**ENGINEER'S STATEMENT**  
 PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING  
  
 MIKE A. BRAMLETT, P.E.  
 COLORADO P.E. 32314  
 FOR AND ON BEHALF OF JR ENGINEERING, INC.  
 DATE: 8/23/22

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USE, THESE DRAWINGS ARE DESIGNATED BY WRITTEN AUTHORIZATION.  PREPARED FOR <b>SR LAND, LLC</b> 20 BOULDER CRESCENT SUITE 201 COLORADO SPRINGS, CO 80903 JAMES F. MORLEY (719) 471-1742	<b>J.R. ENGINEERING</b> A Westman Company Centennial 300-740-9888 • Colorado Springs 719-583-2583 Fort Collins 970-491-9888 • www.jrengineering.com	BY	DATE
<b>VOLLMER ROAD (NORTH)</b>  <b>SIGNAGE &amp; STRIPING</b>	SHEET 10 OF 17 JOB NO. 25188.00	No.	REVISION
H-SCALE 1"=40' V-SCALE N/A DATE 11/29/22 DESIGNED BY CWC DRAWN BY SWW CHECKED BY			

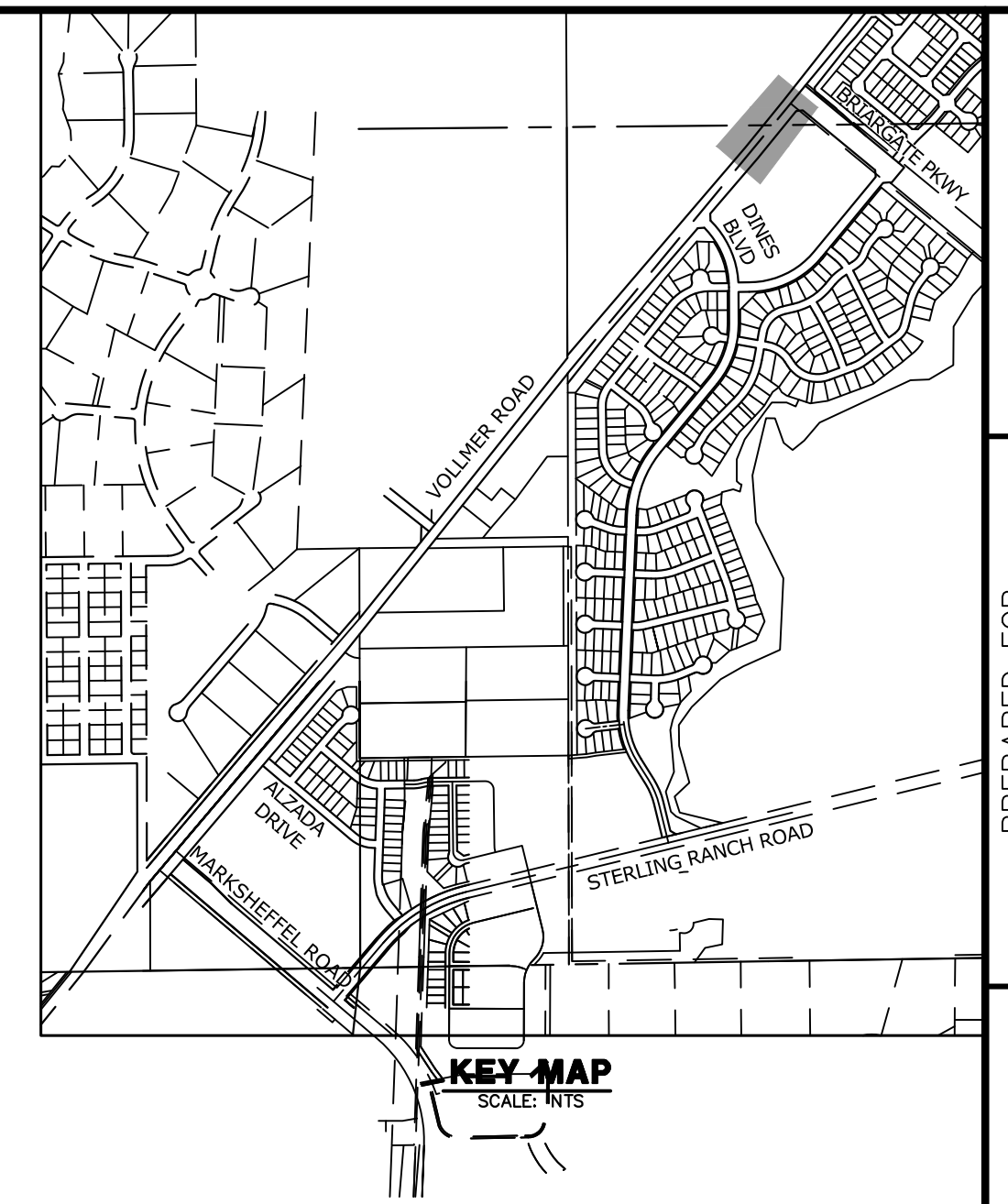




VOLLMER ROAD  
STA 52+00 TO STA 57+00

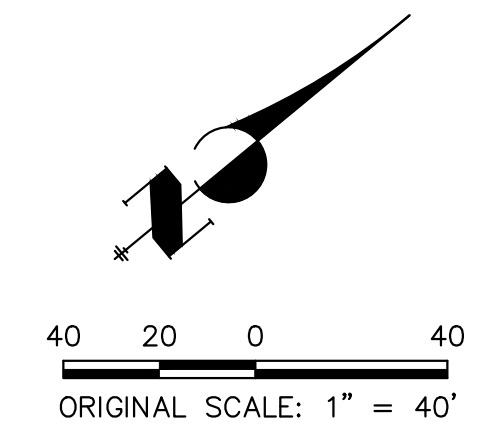
STRIPING LEGEND		
STRIPE	PAVEMENT MARKINGS	MARKING DESCRIPTION
①	DOUBLE CENTERLINE MARKINGS (EPOXY)	PARALLEL SOLID YELLOW, 4" WIDE, 12" APART
②	LANE LANES (EPOXY)	BROKEN WHITE, 4" WIDE, 10' SEGMENTS WITH 30' GAPS
③	LANE DROP LINES (EPOXY)	BROKEN WHITE, 4" WIDE, 3' SEGMENTS WITH 12' GAPS
④	EDGE LINES (EPOXY)	SOLID WHITE, 4" WIDE
⑤	CHANNELIZING LINES (EPOXY)	SOLID WHITE, 8" WIDE
⑥	DOTTED EXTENSION LINES (EPOXY)	BROKEN WHITE, 4" WIDE, 2' SEGMENTS WITH 4' GAPS

NOTE: ALL STRIPING INSTALLATION SHALL BE PER COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) "M&S STANDARDS" STANDARD PLAN NO. S-627-1.



**NOTE TO CONTRACTOR:**

- ALL 4" AND 8" SOLID OR SKIP PAVEMENT MARKINGS ARE TO BE EPOXY.
- SIGNS AND POLES SHALL BE PER CDOT STANDARDS S-614-8, S-614-2, AND S-614-3, LATEST REVISION.
- ALL SIGNAGE INSTALLATION IS TO BE IN COMPLIANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).



**ENGINEER'S STATEMENT**

PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING

*Mike A. Bramlett*  
MIKE A. BRAMLETT, P.E.  
COLORADO P.E. 32314  
DATE 8/23/22

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USE. REVISED DATES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
**SR LAND, LLC**  
20 BOULDER CRESCENT  
SUITE 201  
COLORADO SPRINGS, CO 80903  
JAMES F. MORLEY  
(719) 471-1742

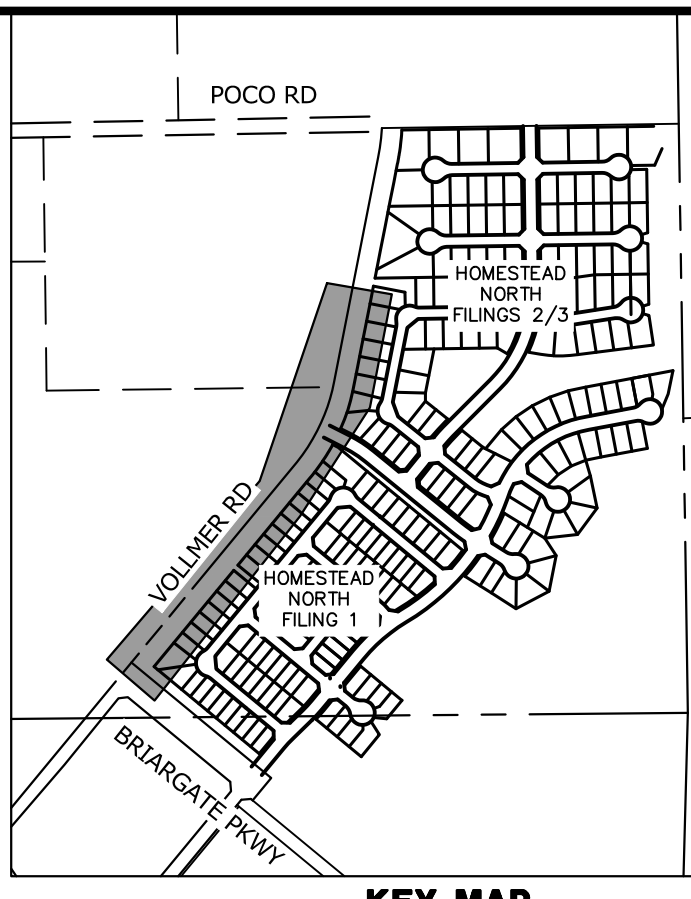
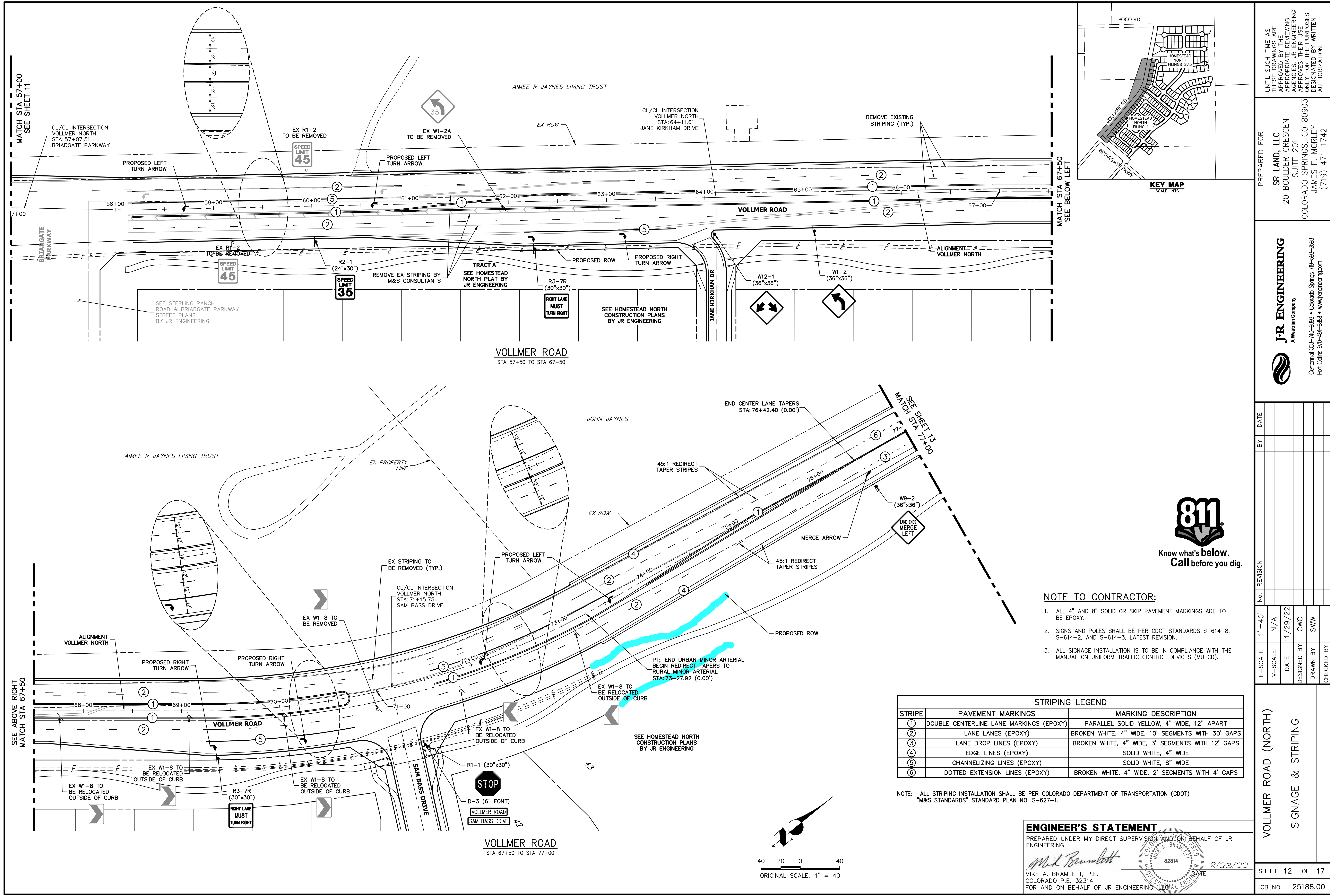
**J.R. ENGINEERING**  
A Westman Company  
Central 303-740-9383 • Colorado Springs 719-583-2583  
Fort Collins 970-491-9888 • www.jrengineering.com

BY	DATE	No.	REVISION

VOLLMER ROAD (NORTH)  
SIGNAGE & STRIPING

SHEET 11 OF 17  
JOB NO. 25188.00





UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USE AS DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
**SR LAND, LLC**  
 20 BOULDER CRESCENT  
 SUITE 201  
 COLORADO SPRINGS, CO 80903  
 JAMES F. MORLEY  
 (719) 471-1742

**J.R. ENGINEERING**  
 A Westman Company  
 Centennial 303-740-9888 • Colorado Springs 719-583-2593  
 Fort Collins 970-491-9888 • www.jrengineering.com



**NOTE TO CONTRACTOR:**

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- ALL SIGNAGE INSTALLATION IS TO BE IN COMPLIANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

STRIPING LEGEND		
STRIPE	PAVEMENT MARKINGS	MARKING DESCRIPTION
①	DOUBLE CENTERLINE LANE MARKINGS (EPOXY)	PARALLEL SOLID YELLOW, 4" WIDE, 12" APART
②	LANE LANES (EPOXY)	BROKEN WHITE, 4" WIDE, 10' SEGMENTS WITH 30' GAPS
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⑤	CHANNELIZING LINES (EPOXY)	SOLID WHITE, 8" WIDE
⑥	DOTTED EXTENSION LINES (EPOXY)	BROKEN WHITE, 4" WIDE, 2' SEGMENTS WITH 4' GAPS

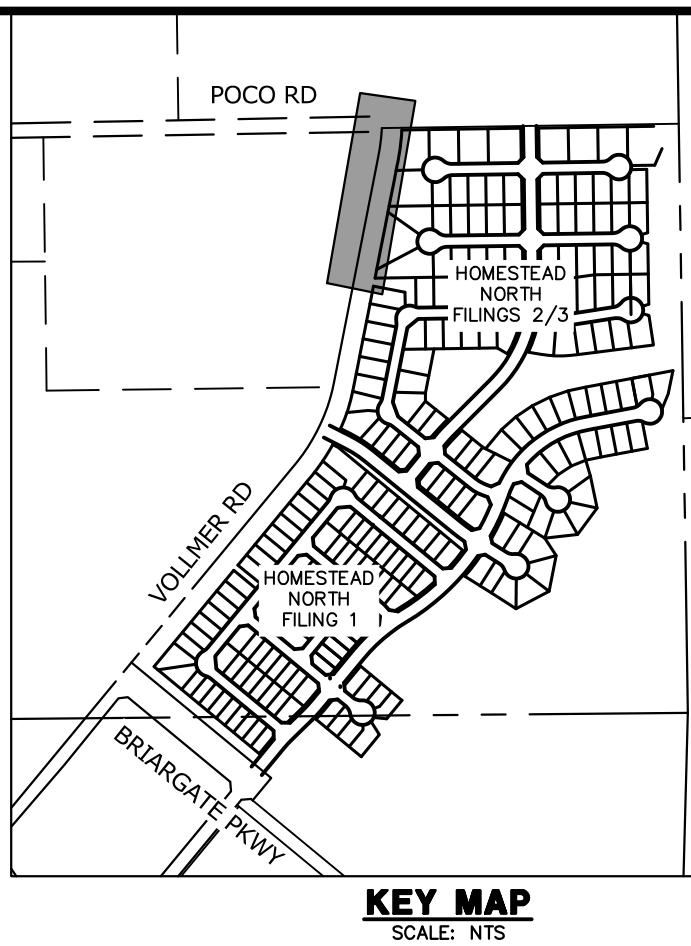
NOTE: ALL STRIPING INSTALLATION SHALL BE PER COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) "M&S STANDARDS" STANDARD PLAN NO. S-627-1.

**ENGINEER'S STATEMENT**  
 PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING  
*Mike A. Bramlett*  
 MIKE A. BRAMLETT, P.E.  
 COLORADO P.E. 32314  
 FOR AND ON BEHALF OF JR ENGINEERING, INC.  
 DATE: 8/23/22

BY	DATE	No.	REVISION	H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
				1"=40'	N/A	11/29/22	CWC	SWW	

VOLLMER ROAD (NORTH)  
 SIGNAGE & STRIPING

SHEET 12 OF 17  
 JOB NO. 25188.00

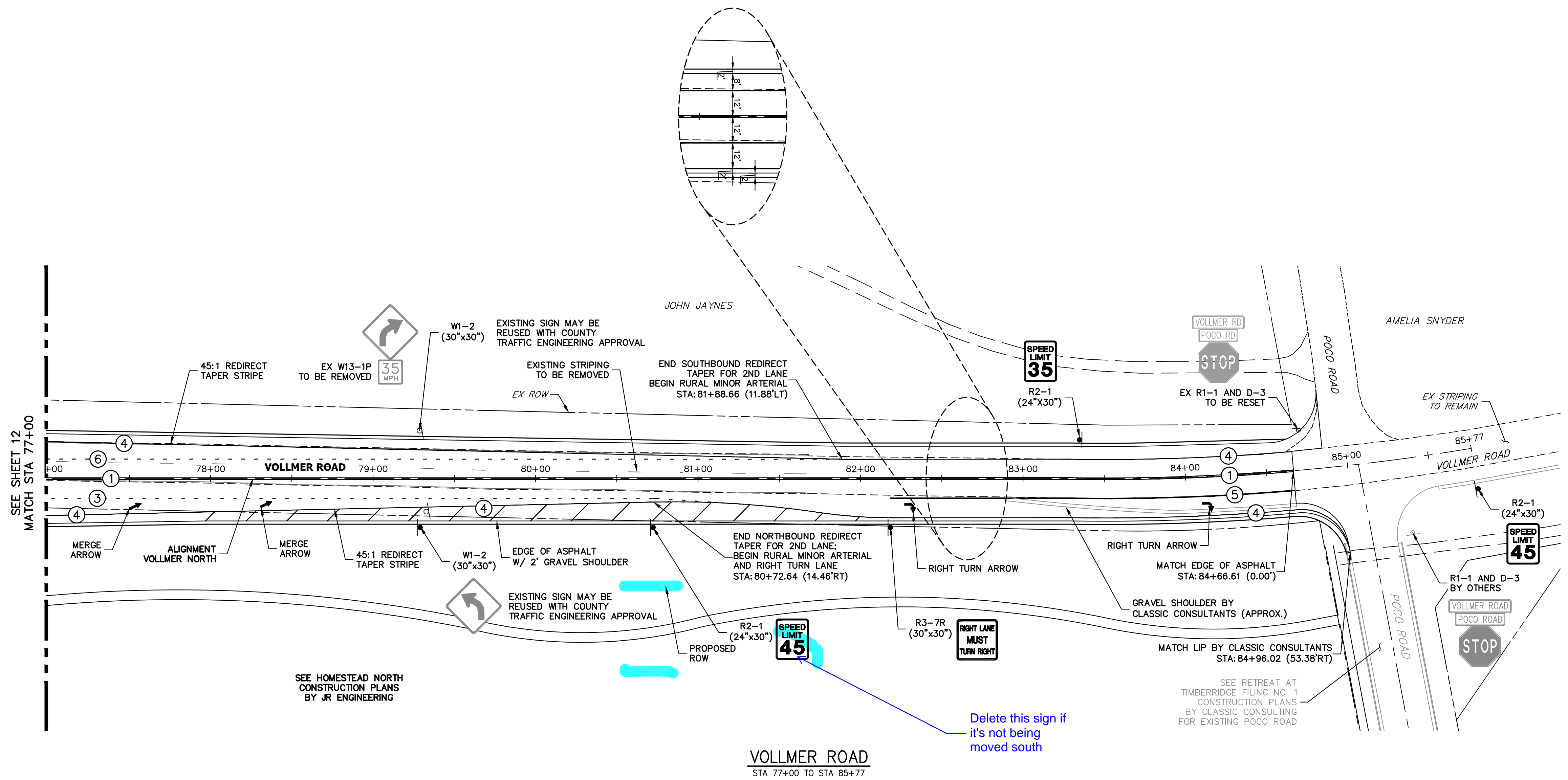


UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USE. THESE DRAWINGS ARE DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
**SR LAND, LLC**  
 20 BOULDER CRESCENT  
 SUITE 201  
 COLORADO SPRINGS, CO 80903  
 JAMES F. MORLEY  
 (719) 471-1742

**J.R. ENGINEERING**  
 A Westman Company

Central 303-740-9888 • Colorado Springs 719-583-2583  
 Fort Collins 970-491-9888 • www.jrengineering.com

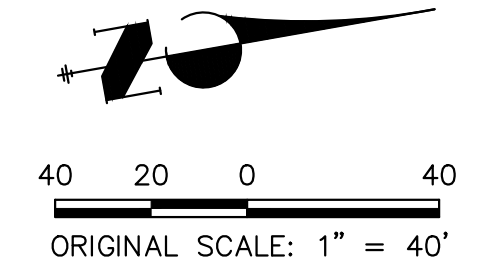


**NOTE TO CONTRACTOR:**

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- SIGNS AND POLES SHALL BE PER CDOT STANDARDS S-614-8, S-614-2, AND S-614-3, LATEST REVISION.
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STRIPING LEGEND		
STRIPE	PAVEMENT MARKINGS	MARKING DESCRIPTION
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NOTE: ALL STRIPING INSTALLATION SHALL BE PER COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) "M&S STANDARDS" STANDARD PLAN NO. S-627-1.



**ENGINEER'S STATEMENT**

PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING

*Mike A. Bramlett*  
 MIKE A. BRAMLETT, P.E.  
 COLORADO P.E. 32314  
 FOR AND ON BEHALF OF JR ENGINEERING

DATE: 8/23/22

H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY	No.	REVISION	BY DATE	
1"=40'	N/A	11/29/22	CWC	SWW					

VOLLMER ROAD (NORTH)  
 SIGNAGE & STRIPING

SHEET 13 OF 17  
 JOB NO. 25188.00

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USE, THESE DRAWINGS ARE DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
**SR LAND, LLC**  
 20 BOULDER CRESCENT  
 SUITE 201  
 COLORADO SPRINGS, CO 80903  
 JAMES F. MORLEY  
 (719) 471-1742

**J.R. ENGINEERING**  
 A Westman Company  
 Centennial 300-740-8888 • Colorado Springs 719-588-2583  
 Fort Collins 970-491-9888 • www.jrengineering.com

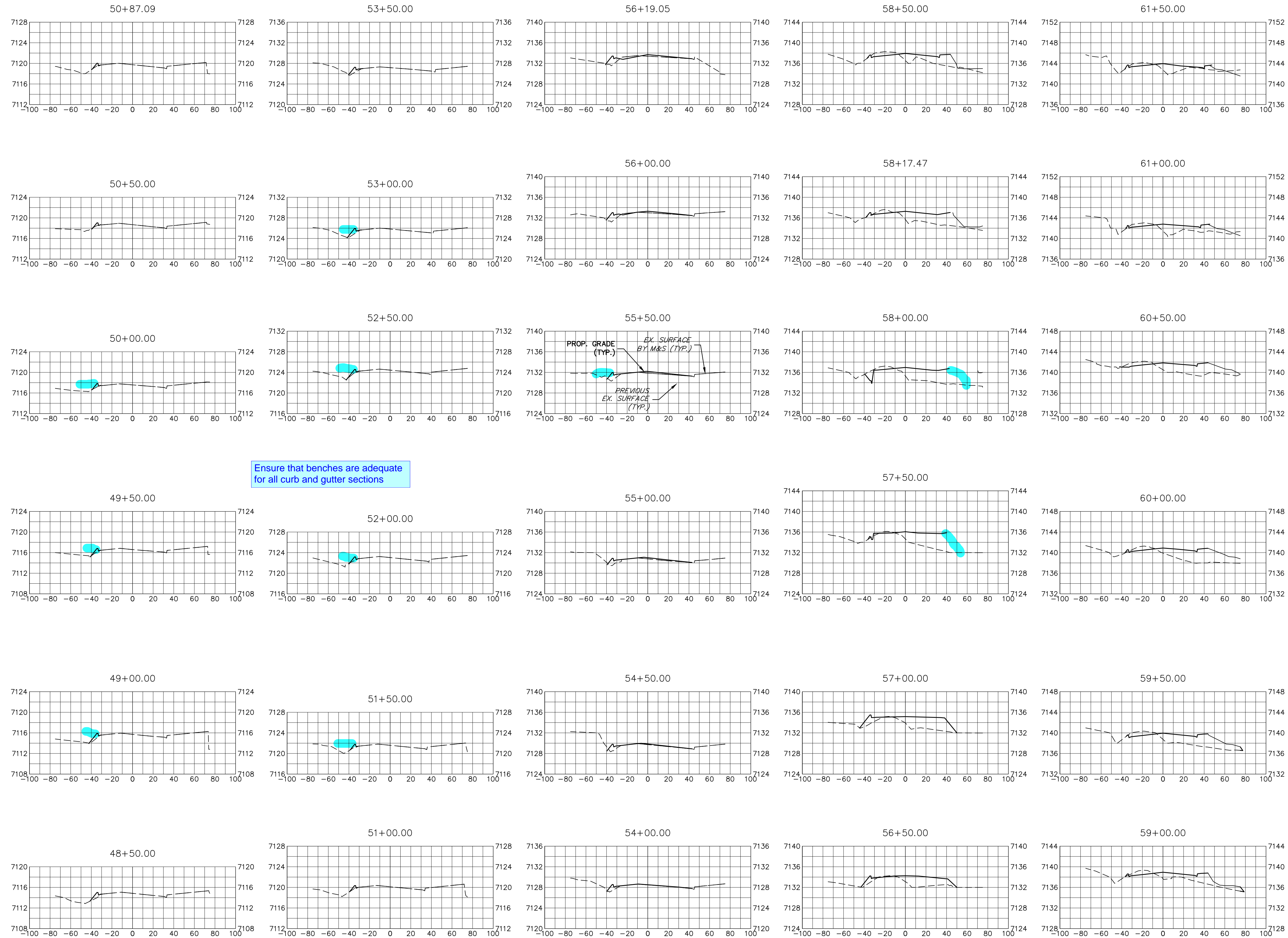
BY	DATE	No.	REVISION

H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
1"=50'	1"=10'	11/29/22	CWC	CWC	CWC

**VOLLMER ROAD (NORTH)**  
**CROSS SECTIONS**



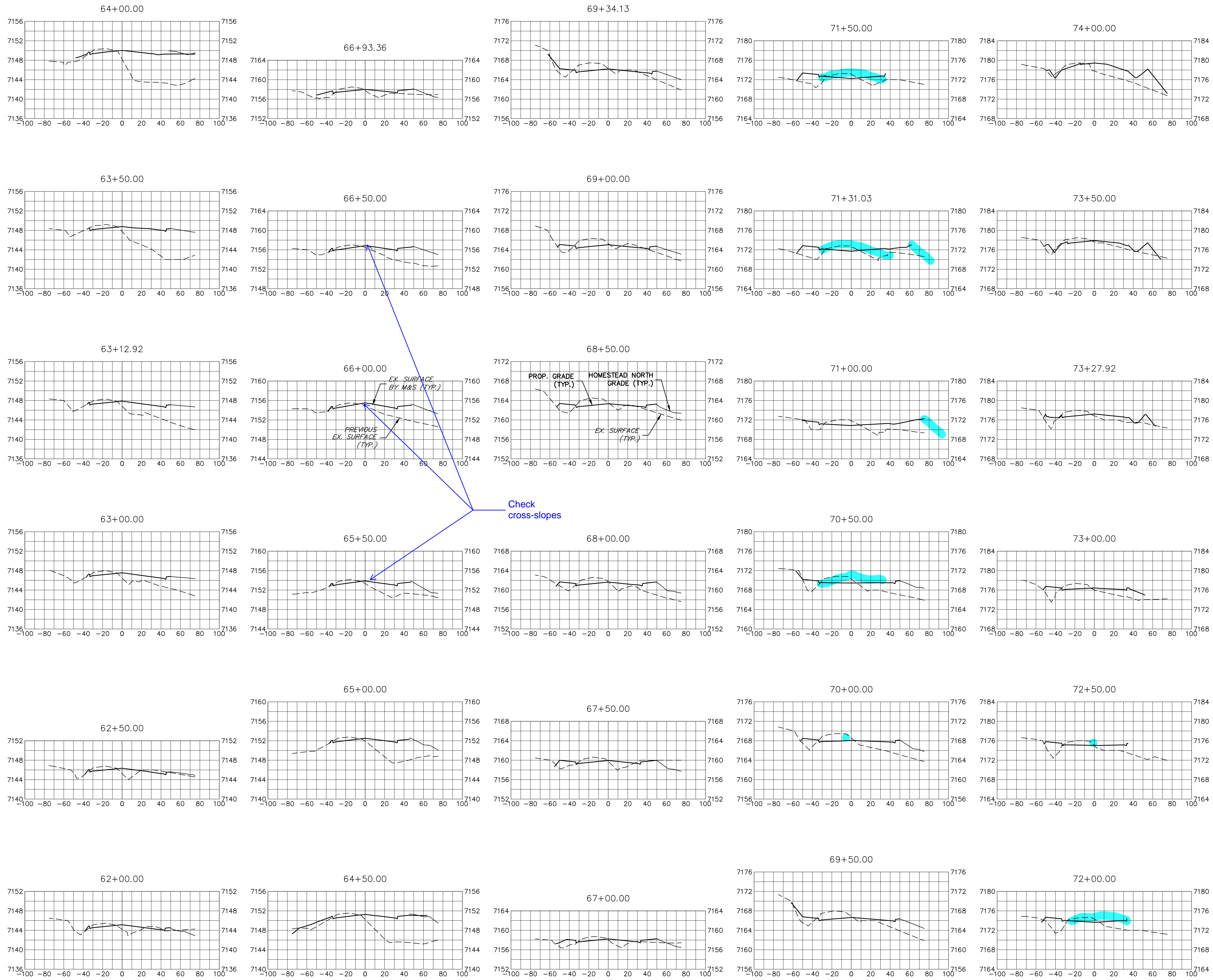
**VOLLMER ROAD**  
 STA 34+50 TO STA 48+00



Ensure that benches are adequate for all curb and gutter sections

**VOLLMER ROAD**  
STA 48+50 TO STA 61+50

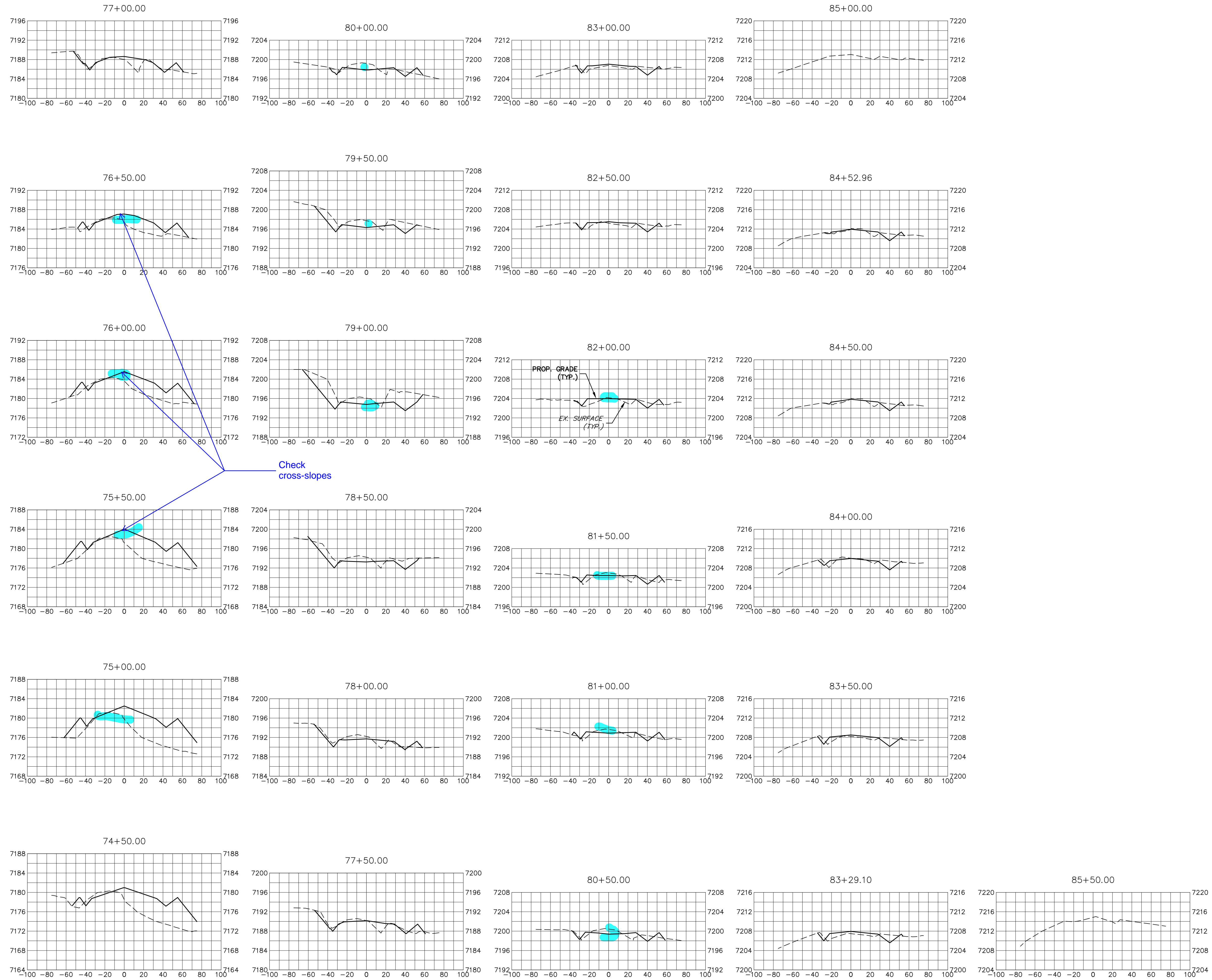
<p><b>VOLLMER ROAD (NORTH)</b> <b>CROSS SECTIONS</b></p>		<p>SHEET 15 OF 17</p>
<p>J.R. ENGINEERING A Westman Company</p> <p>Central 300-740-9888 • Colorado Springs 719-588-2583 Fort Collins 970-491-9888 • www.jrengineering.com</p>		<p>PREPARED FOR <b>SR LAND, LLC</b> 20 BOULDER CRESCENT SUITE 201 COLORADO SPRINGS, CO 80903 JAMES F. MORLEY (719) 471-1742</p>
<p>H-SCALE 1"=50'</p>	<p>V-SCALE 1"=10'</p>	<p>DATE 11/29/22</p>
<p>DESIGNED BY CWC</p>	<p>DRAWN BY CWC</p>	<p>CHECKED BY</p>
<p>No.</p>	<p>REVISION</p>	<p>BY DATE</p>
<p>UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USE. REVISES DESIGNATED BY WRITTEN AUTHORIZATION.</p>		



**VOLLMER ROAD**  
 STA 62+00 TO STA 74+00

<b>VOLLMER ROAD (NORTH)</b>		<b>CROSS SECTIONS</b>	
SHEET 16	OF 17	JOB NO. 25188.00	
H-SCALE 1"=50'	V-SCALE 1"=10'	DATE 11/29/22	DESIGNED BY CWC
		DRAWN BY CWC	CHECKED BY
No.	REVISION	BY	DATE
<p>UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USE, THESE DRAWINGS ARE DESIGNATED BY WRITTEN AUTHORIZATION.</p> <p>PREPARED FOR  <b>SR LAND, LLC</b>        20 BOULDER CRESCENT        SUITE 201        COLORADO SPRINGS, CO 80903        JAMES F. MORLEY        (719) 471-1742</p>			
<p><b>J.R. ENGINEERING</b>        A Westman Company        Centennial 300-740-9888 • Colorado Springs 719-588-2583        Fort Collins 970-491-9888 • www.jrengineering.com</p>			

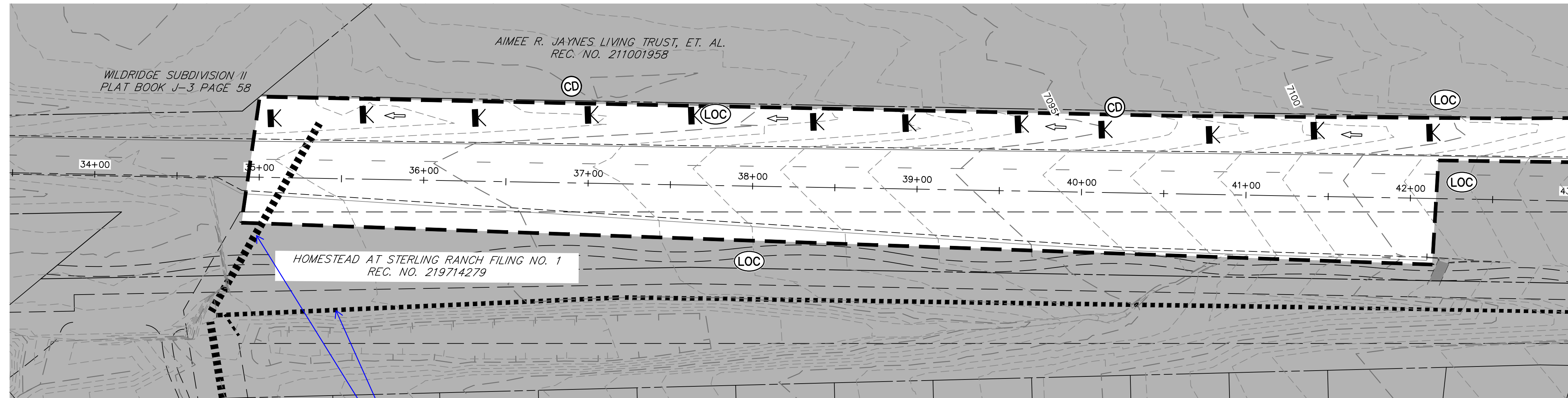




**VOLLMER ROAD**  
STA 74+50 TO STA 85+50

<p><b>VOLLMER ROAD (NORTH)</b> <b>CROSS SECTIONS</b></p>		<p>SHEET 17 OF 17</p>
<p>J.R. ENGINEERING A Westman Company</p> <p>Central 300-740-9888 • Colorado Springs 719-588-2583 Fort Collins 970-491-9888 • www.jrengineering.com</p>		<p>PREPARED FOR <b>SR LAND, LLC</b> 20 BOULDER CRESCENT SUITE 201 COLORADO SPRINGS, CO 80903 JAMES F. MORLEY (719) 471-1742</p>
<p>H-SCALE 1"=50'</p>	<p>V-SCALE 1"=10'</p>	<p>DATE 11/29/22</p>
<p>DESIGNED BY CWC</p>	<p>DRAWN BY CWC</p>	<p>CHECKED BY</p>
<p>No.</p>	<p>REVISION</p>	<p>BY DATE</p>
<p>UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USE FOR PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.</p>		

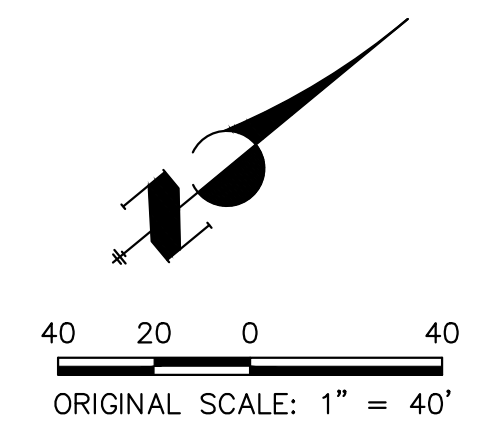




**VOLLMER ROAD**  
STA 33+50 TO STA 43+00



**KEY MAP**  
SCALE: N.T.S.



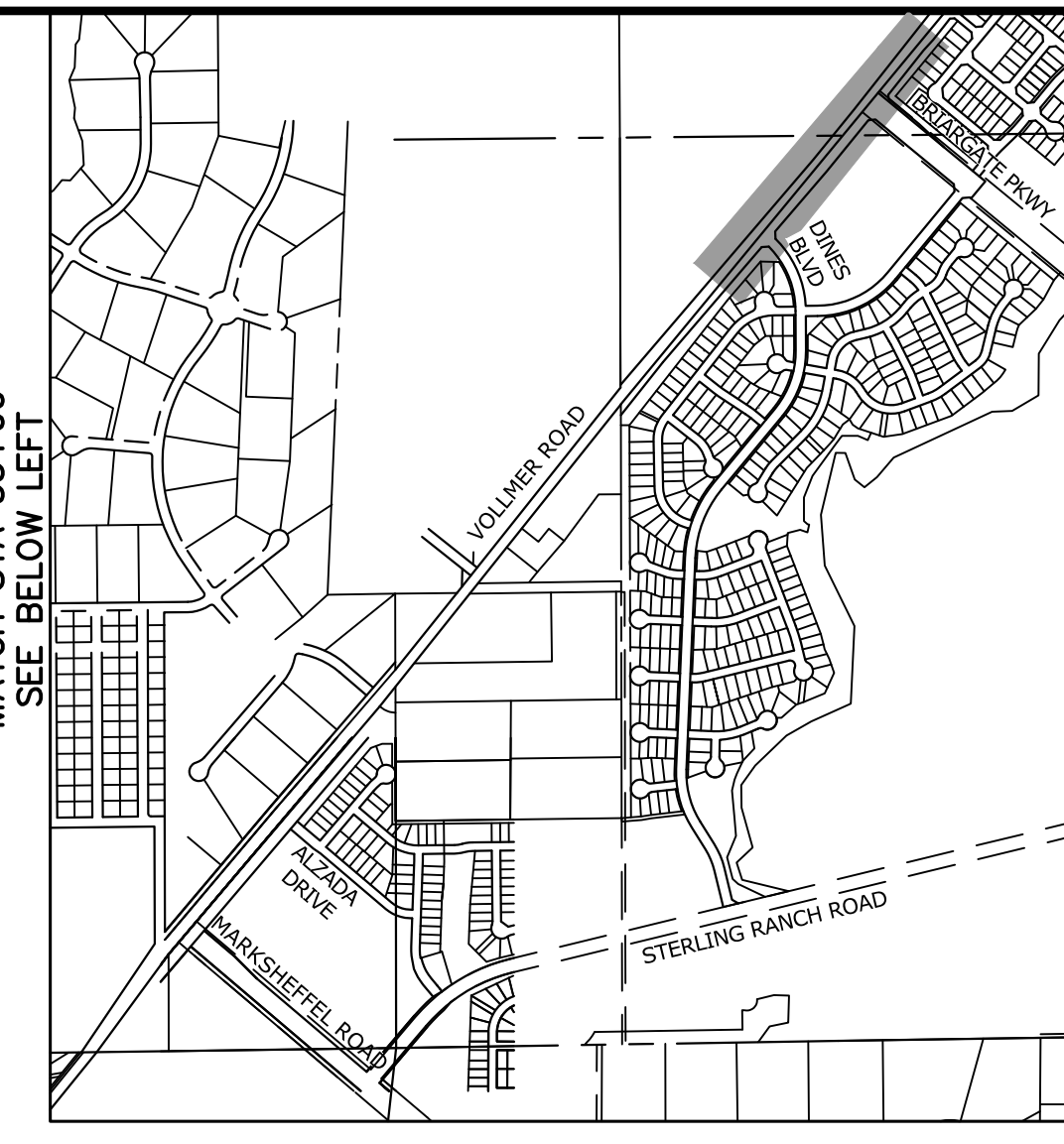
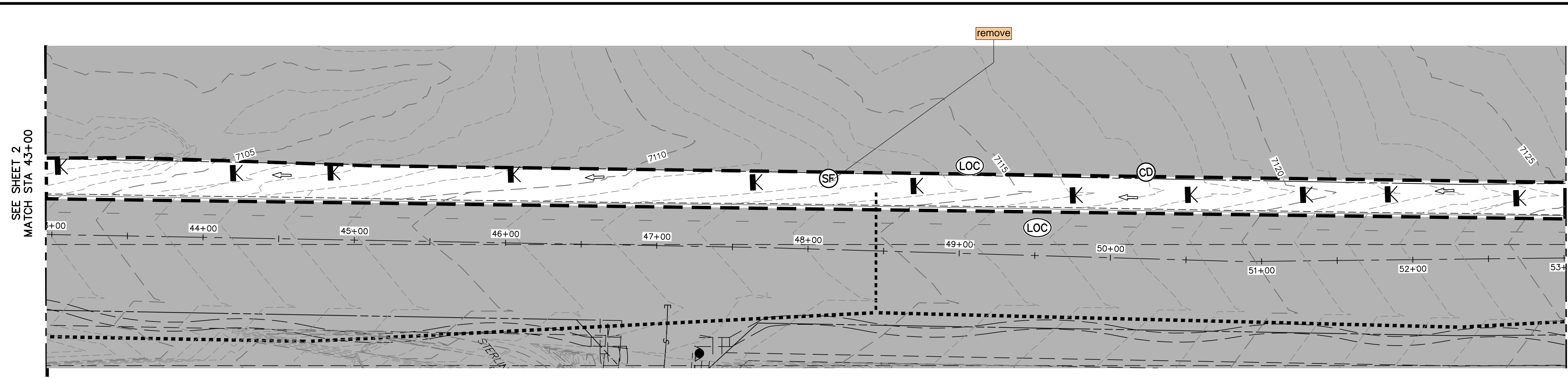
**NOTES:**  
EXISTING VEGETATION: AN AERIAL SURVEY WAS USED TO DETERMINE A 30% COVER OF NATIVE GRASSES.  
STAGING AREA & STOCKPILE LOCATION TO BE DETERMINED BY CONTRACTOR IN THE FIELD. THE LOCATIONS SHALL BE DELINEATED ON THIS PLAN BY THE CONTRACTOR.  
THE EROSION CONTROL DELINEATED ON THIS PLAN SHALL BE REGULARLY UPDATED BY THE CONTRACTOR.  
NO BATCH PLANTS TO BE USED ONSITE.

**LEGEND**

EXISTING STORM SEWER		INLET		CS	
STORM SEWER PROPOSED		L.P./H.P. (2.0)%		CF	
PROPOSED R.O.W.		EMERGENCY OVERFLOW DIRECTION			
PROPOSED PROPERTY LINE		CONCRETE WASHOUT AREA			
PROPOSED SIDEWALK		INLET PROTECTION			
EXISTING PROPERTY LINE		TEMPORARY SEDIMENT BASIN			
ROW EXISTING		SILT FENCE			
FL EXISTING		VEHICLE TRACKING CONTROL			
SIDEWALK EXISTING		STAGE STABILIZED AREA			
DRAINAGE ACCESS & MAINTENANCE EASEMENT		TEMPORARY SEEDING			
SILT FENCE		PERMANENT SEEDING			
LIMITS OF CONSTRUCTION/DISTURBANCE		EROSION CONTROL BLANKET			
EXISTING WETLAND BOUNDARY					
EXISTING 100 YEAR FLOODPLAIN					
CUT/ FILL					
TEMPORARY DITCH					
EXISTING					
PROPOSED					
CHECK DAM					

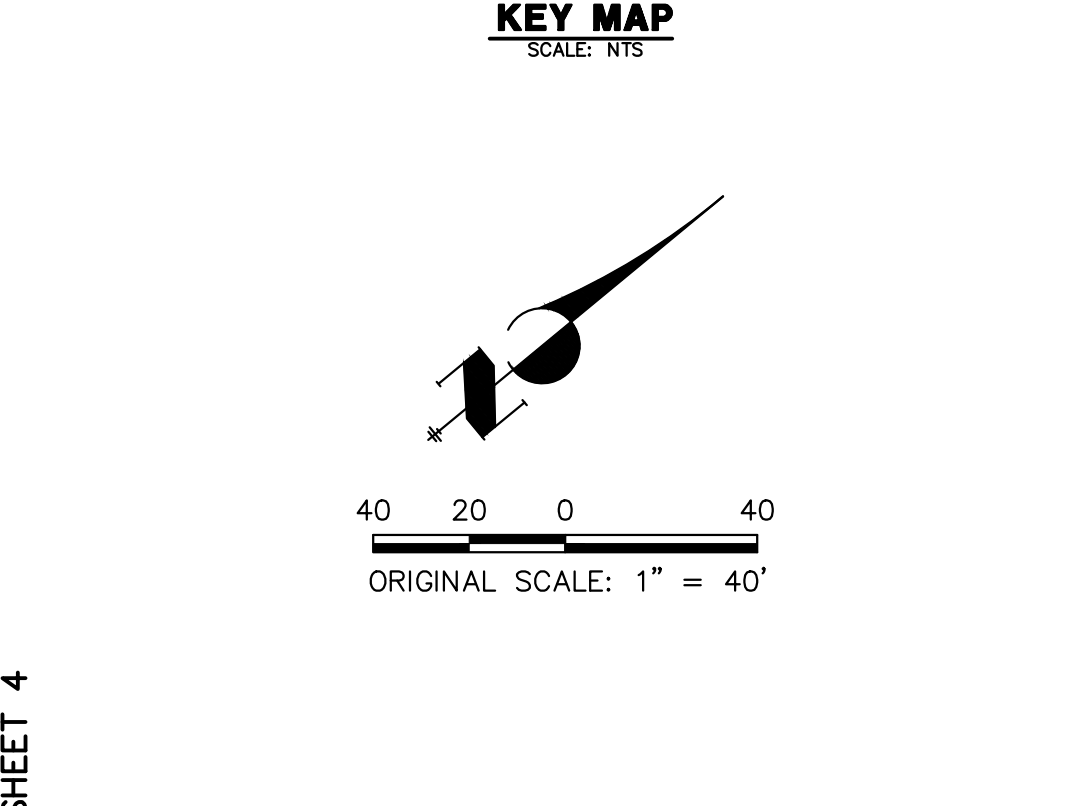
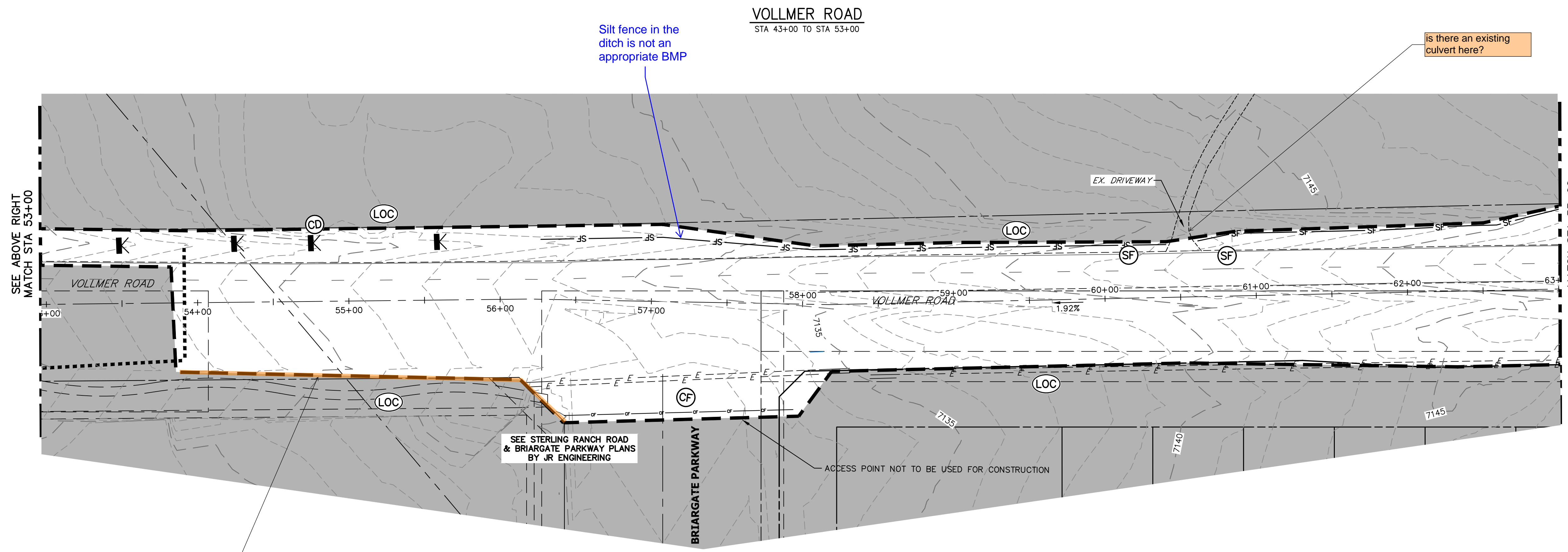
**ENGINEER'S STATEMENT**  
PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING  
MIKE A. BRAMLETT, P.E.  
COLORADO P.E. 32314  
FOR AND ON BEHALF OF JR ENGINEERING, INC.  
DATE 8/23/22

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USE FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.	
PREPARED FOR	SR LAND, LLC 20 BOULDER CRESCENT SUITE 201 COLORADO SPRINGS, CO 80903 JAMES F. MORLEY (719) 471-1742
BY	DATE
No.	REVISION
H-SCALE	1"=40'
V-SCALE	N/A
DESIGNED BY	CWC
DRAWN BY	SWW
CHECKED BY	
VOLLMER ROAD (NORTH)	
GRADING AND EROSION CONTROL INITIAL PLAN	
SHEET	2 OF 16
JOB NO.	25188.00

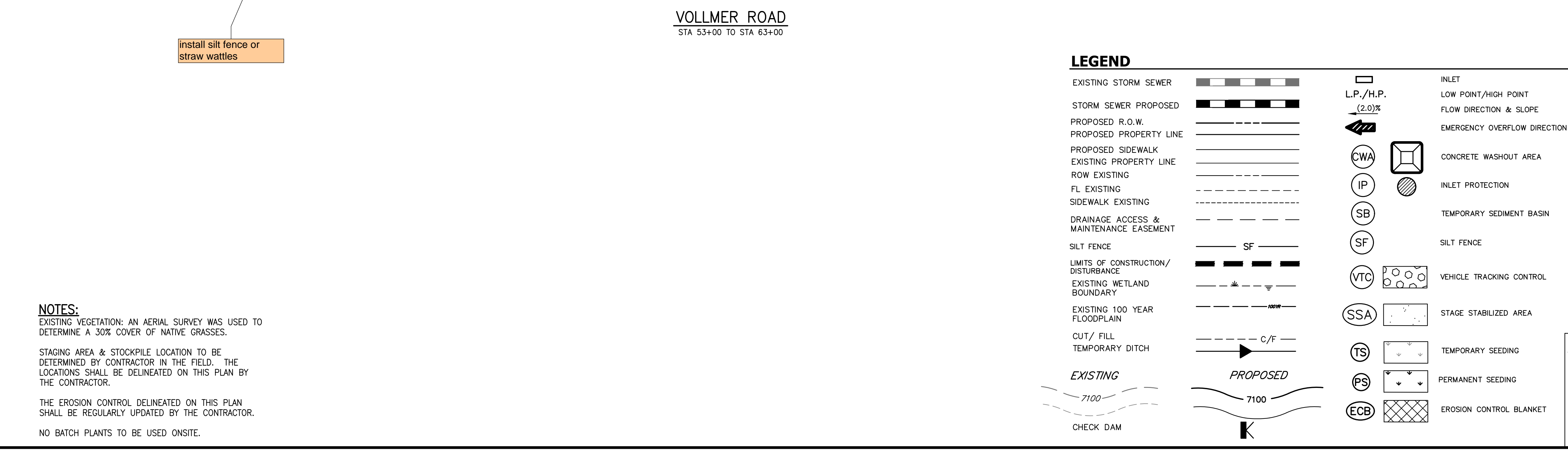


UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USE. DESIGNED BY: WRITTEN BY: AUTHORIZATION: JAMES F. MORLEY (719) 471-1742

PREPARED FOR: SR LAND, LLC 20 BOULDER CRESCENT SUITE 201 COLORADO SPRINGS, CO 80903



**J.R. ENGINEERING**  
A Westman Company  
Central 303-740-9888 • Colorado Springs 719-583-2583  
Fort Collins 970-491-9888 • www.jrengineering.com



BY	DATE	No.	REVISION

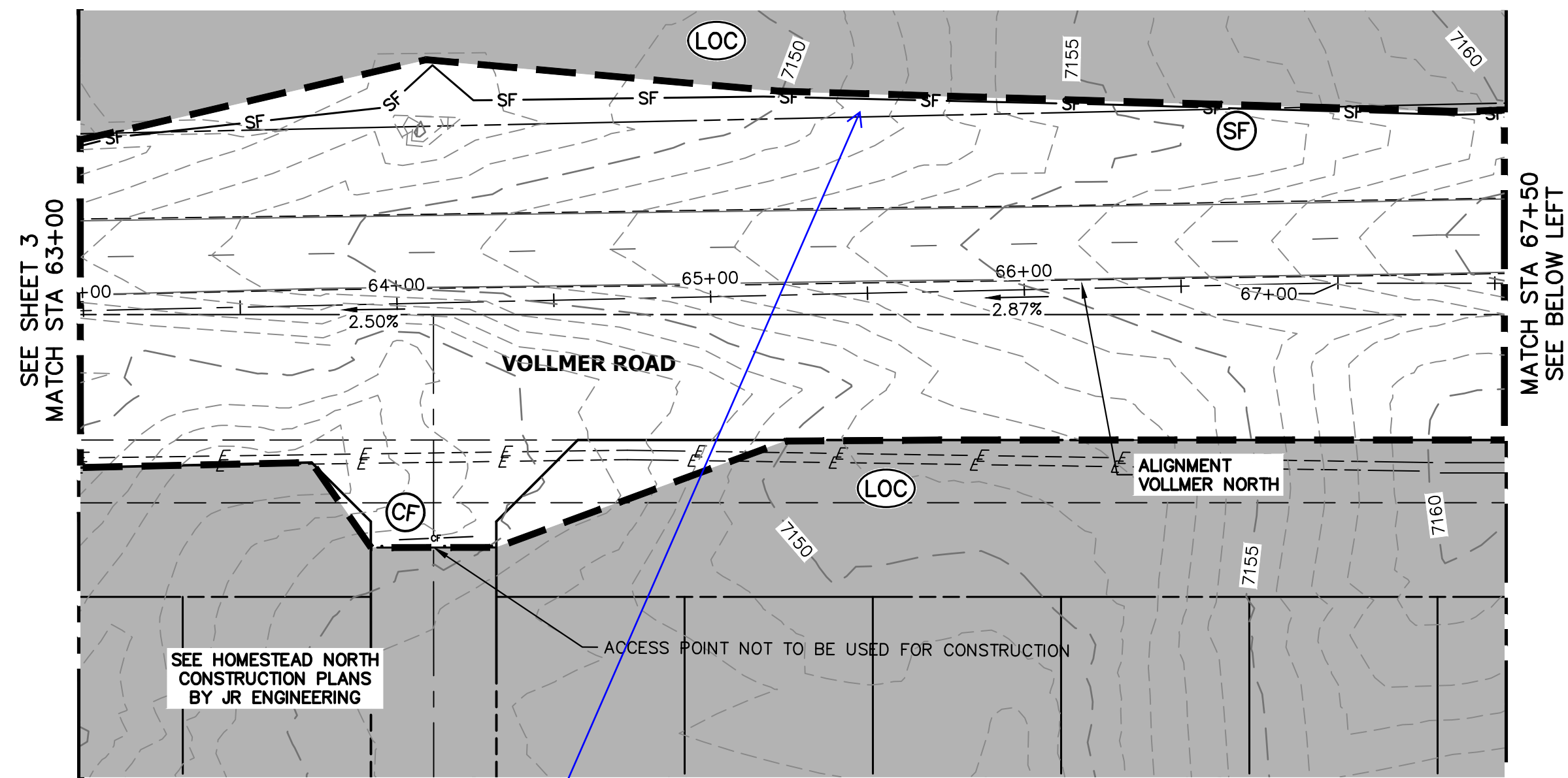
**NOTES:**  
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**LEGEND**

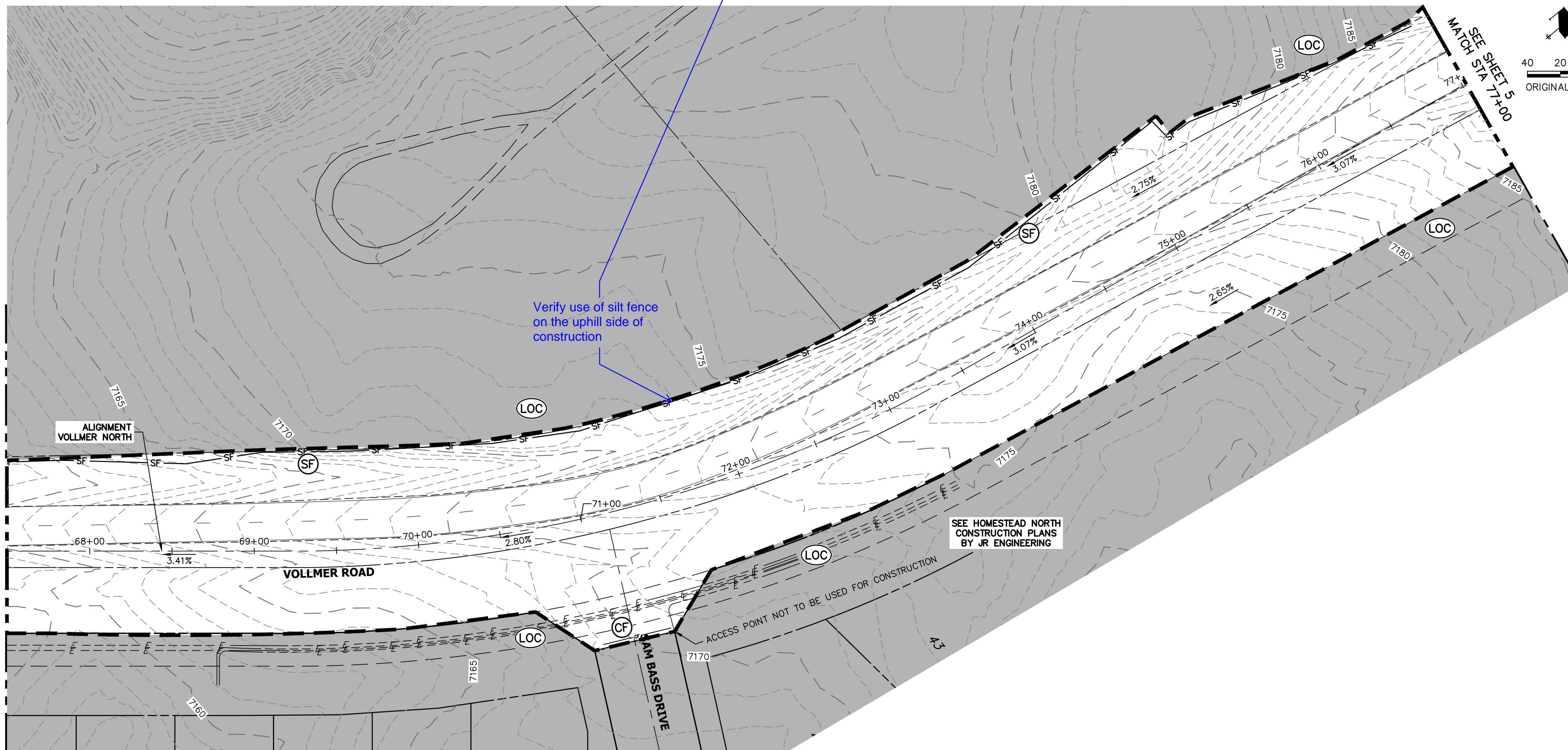
EXISTING STORM SEWER		INLET		CONCRETE WASHOUT AREA	
STORM SEWER PROPOSED		LOW POINT/HIGH POINT		INLET PROTECTION	
PROPOSED R.O.W.		FLOW DIRECTION & SLOPE		TEMPORARY SEDIMENT BASIN	
PROPOSED PROPERTY LINE		EMERGENCY OVERTFLOW DIRECTION		SILT FENCE	
EXISTING PROPERTY LINE				VEHICLE TRACKING CONTROL	
ROW EXISTING				STAGE STABILIZED AREA	
FL EXISTING				TEMPORARY SEEDING	
SIDEWALK EXISTING				PERMANENT SEEDING	
DRAINAGE ACCESS & MAINTENANCE EASEMENT				EROSION CONTROL BLANKET	
SILT FENCE					
LIMITS OF CONSTRUCTION/DISTURBANCE					
EXISTING WETLAND BOUNDARY					
EXISTING 100 YEAR FLOODPLAIN					
CUT/ FILL					
TEMPORARY DITCH					
EXISTING					
PROPOSED					
CHECK DAM					

**ENGINEER'S STATEMENT**  
PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING  
*Mike A. Bramlett*  
MIKE A. BRAMLETT, P.E. 32314  
COLORADO P.E. 32314  
FOR AND ON BEHALF OF JR ENGINEERING, INC. DATE 8/23/22

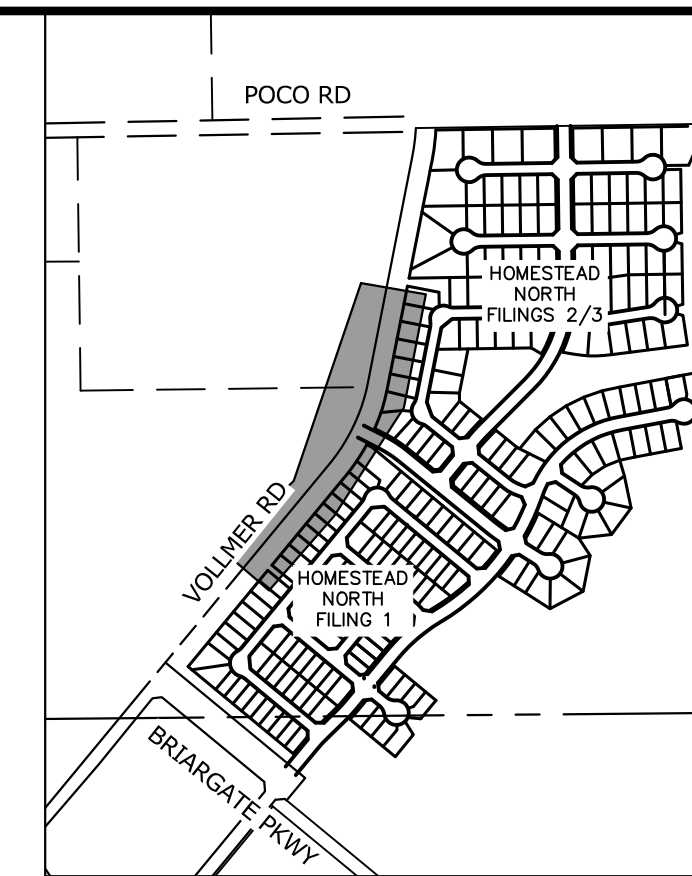
H-SCALE	1"=40'	V-SCALE	N/A	DATE	8/23/22	DESIGNED BY	CWC	DRAWN BY	SWW	CHECKED BY	
VOLLMER ROAD (NORTH)											
GRADING AND EROSION CONTROL INITIAL PLAN											
SHEET 3 OF 16											
JOB NO. 25188.00											



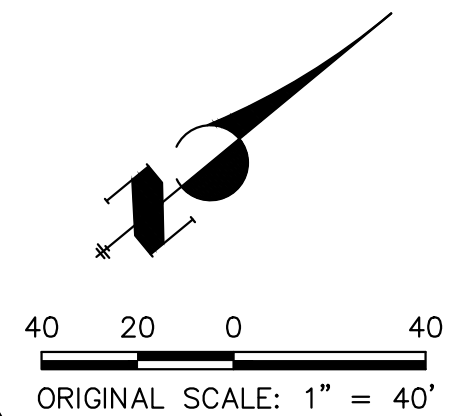
VOLLMER ROAD  
STA 63+00 TO STA 67+50



VOLLMER ROAD  
STA 67+50 TO STA 77+00



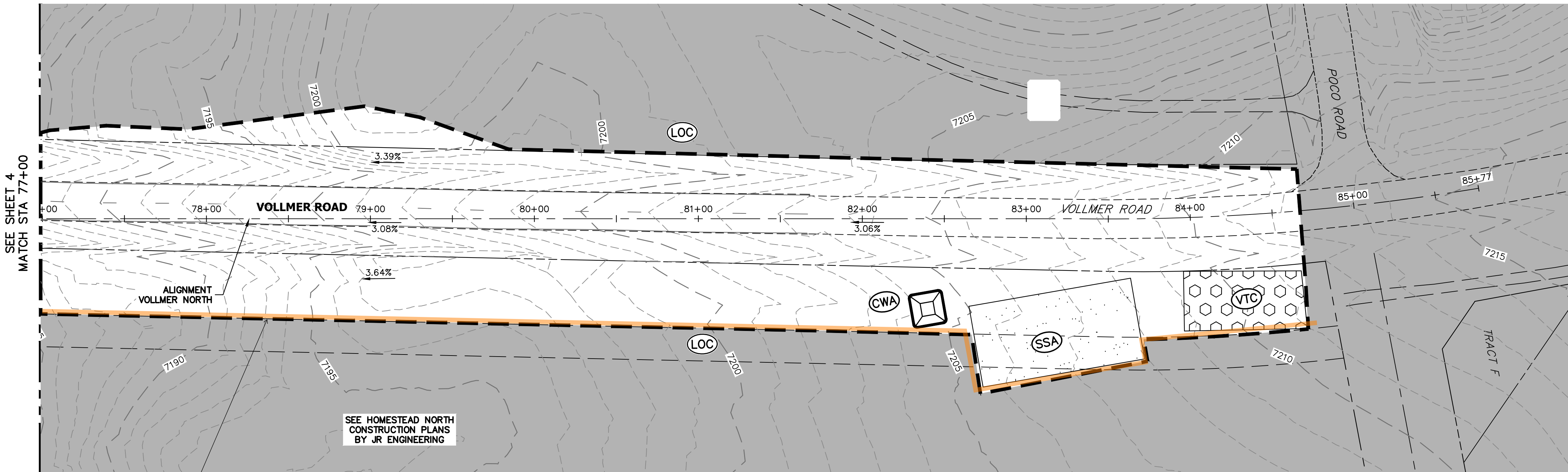
KEY MAP  
SCALE: NTS



**NOTES:**  
 EXISTING VEGETATION: AN AERIAL SURVEY WAS USED TO DETERMINE A 30% COVER OF NATIVE GRASSES.  
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 NO BATCH PLANTS TO BE USED ONSITE

**ENGINEER'S STATEMENT**  
 PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING  
*Mike A. Bramlett*  
 MIKE A. BRAMLETT, P.E.  
 COLORADO P.E. 32314  
 FOR AND ON BEHALF OF JR ENGINEERING, INC.  
 DATE 8/23/22

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USE. REVISES DESIGNATED BY WRITTEN AUTHORIZATION.	
PREPARED FOR	SR LAND, LLC 20 BOULDER CRESCENT SUITE 201 COLORADO SPRINGS, CO 80903 JAMES F. MORLEY (719) 471-1742
BY	DATE
No.	REVISION
H-SCALE	1"=40'
V-SCALE	N/A
DATE	8/23/22
DESIGNED BY	CWC
DRAWN BY	SWW
CHECKED BY	
VOLLMER ROAD (NORTH)	
GRADING AND EROSION CONTROL INITIAL PLAN	
SHEET	4 OF 16
JOB NO.	25188.00



**VOLLMER ROAD**  
STA 77+00 TO STA 85+76

install silt fence or straw wattles

SEE HOMESTEAD NORTH CONSTRUCTION PLANS BY JR ENGINEERING

**LEGEND**

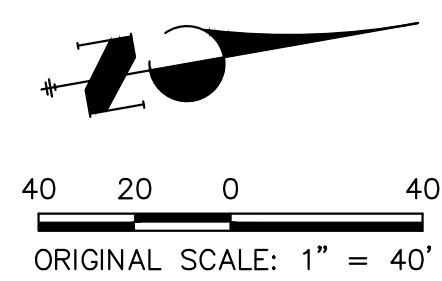
EXISTING STORM SEWER		L.P./H.P. (2.0)%		INLET		CURB SOCK	
STORM SEWER PROPOSED		EMERGENCY OVERFLOW DIRECTION		LOW POINT/HIGH POINT		CONSTRUCTION FENCE	
PROPOSED R.O.W.		CONCRETE WASHOUT AREA		FLOW DIRECTION & SLOPE			
PROPOSED PROPERTY LINE		INLET PROTECTION		EMERGENCY OVERFLOW DIRECTION			
PROPOSED SIDEWALK		TEMPORARY SEDIMENT BASIN					
EXISTING PROPERTY LINE		SILT FENCE					
ROW EXISTING		VEHICLE TRACKING CONTROL					
FL EXISTING		STAGE STABILIZED AREA					
SIDEWALK EXISTING		TEMPORARY SEEDING					
DRAINAGE ACCESS & MAINTENANCE EASEMENT		PERMANENT SEEDING					
SILT FENCE		EROSION CONTROL BLANKET					
LIMITS OF CONSTRUCTION/DISTURBANCE							
EXISTING WETLAND BOUNDARY							
EXISTING 100 YEAR FLOODPLAIN							
CUT / FILL							
TEMPORARY DITCH							
EXISTING							
PROPOSED							
CHECK DAM							

**NOTES:**  
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STAGING AREA & STOCKPILE LOCATION TO BE DETERMINED BY CONTRACTOR IN THE FIELD. THE LOCATIONS SHALL BE DELINEATED ON THIS PLAN BY THE CONTRACTOR.

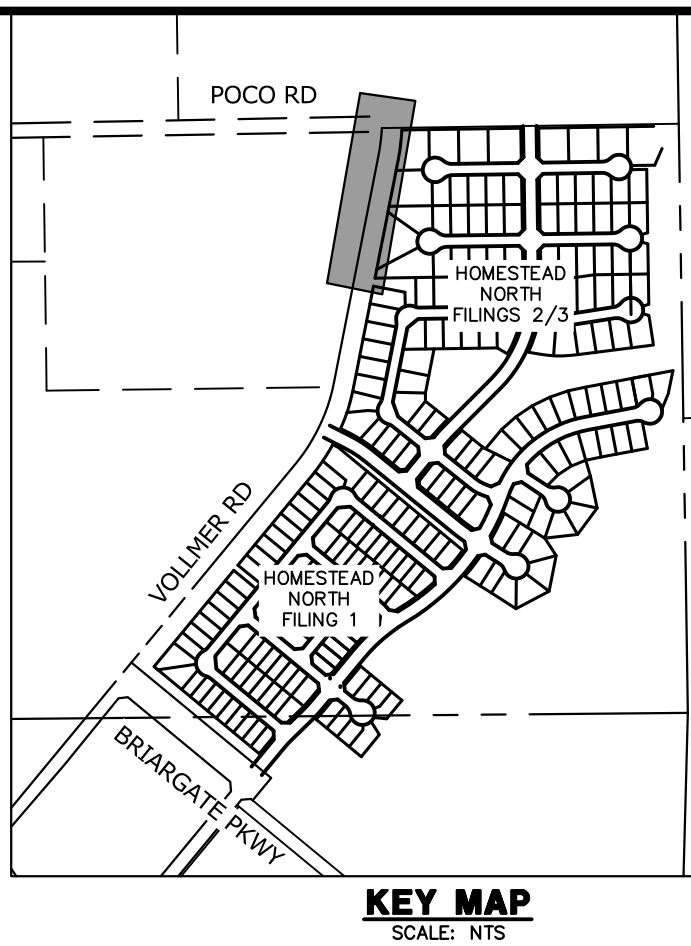
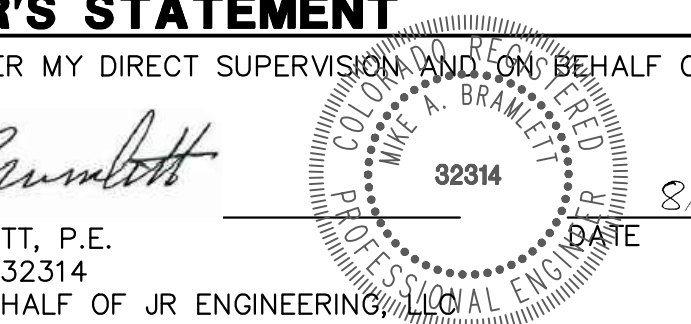
THE EROSION CONTROL DELINEATED ON THIS PLAN SHALL BE REGULARLY UPDATED BY THE CONTRACTOR.

NO BATCH PLANTS TO BE USED ONSITE.



**ENGINEER'S STATEMENT**

PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING  
 MIKE A. BRAMLETT, P.E.  
 COLORADO P.E. 32314  
 FOR AND ON BEHALF OF JR ENGINEERING, INC.  
 DATE 8/23/22



PREPARED FOR  
**SR LAND, LLC**  
 20 BOULDER CRESCENT  
 SUITE 201  
 COLORADO SPRINGS, CO 80903  
 JAMES F. MORLEY  
 (719) 471-1742

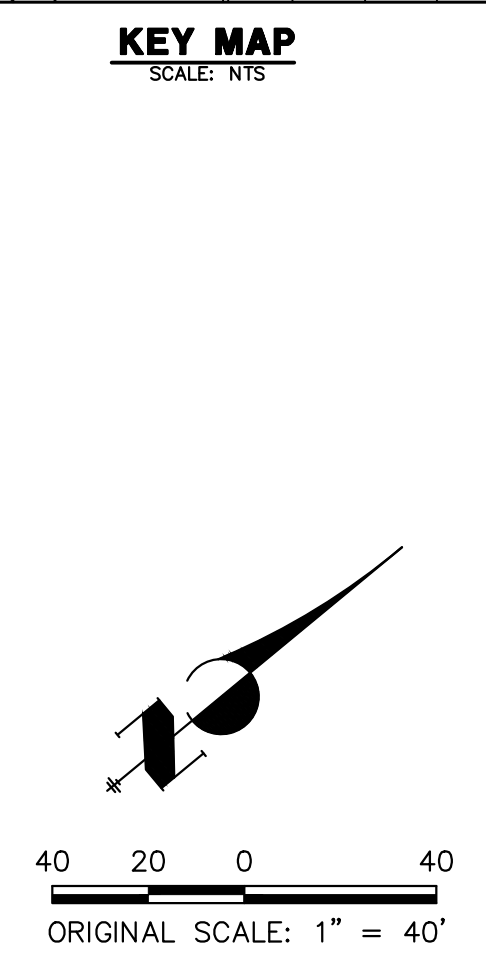
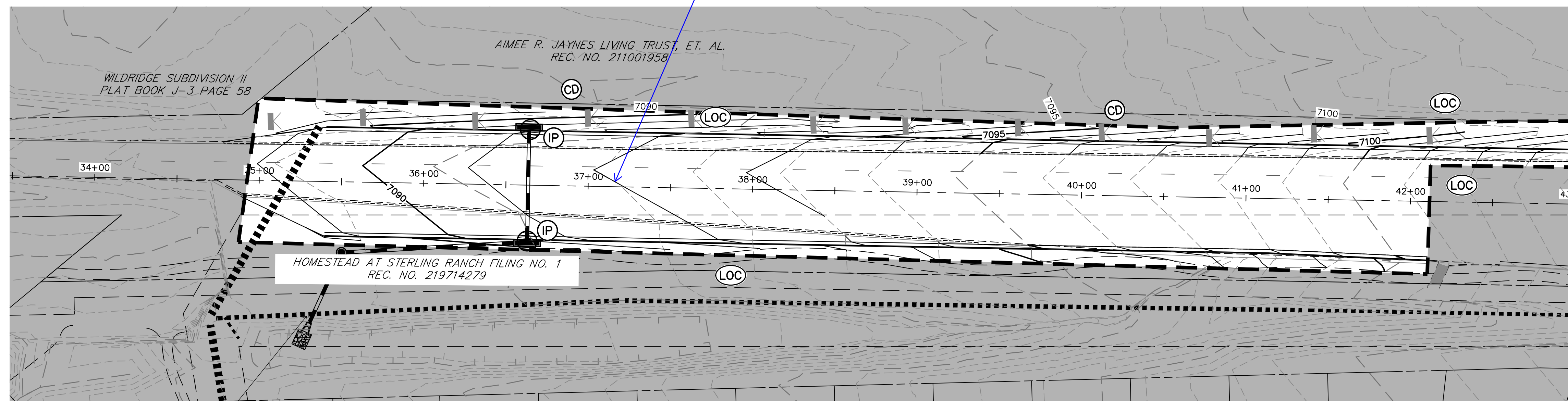
**J.R. ENGINEERING**  
 A Westman Company  
 Centennial 303-740-9888 • Colorado Springs 719-588-2583  
 Fort Collins 970-491-9888 • www.jrengineering.com

No.	REVISION	BY	DATE

H-SCALE	1"=40'
N/A	
V-SCALE	
8/23/22	
DESIGNED BY	CWC
DRAWN BY	SWW
CHECKED BY	

**VOLLMER ROAD (NORTH)**  
**GRADING AND EROSION CONTROL INITIAL PLAN**  
 SHEET 5 OF 16  
 JOB NO. 25188.00

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USE IN WRITTEN CONTRACTS DESIGNATED BY WRITTEN AUTHORIZATION.



include in limits of disturbance or not that work will be conducted under a separate filing.

**VOLLMER ROAD**  
STA 33+50 TO STA 43+00

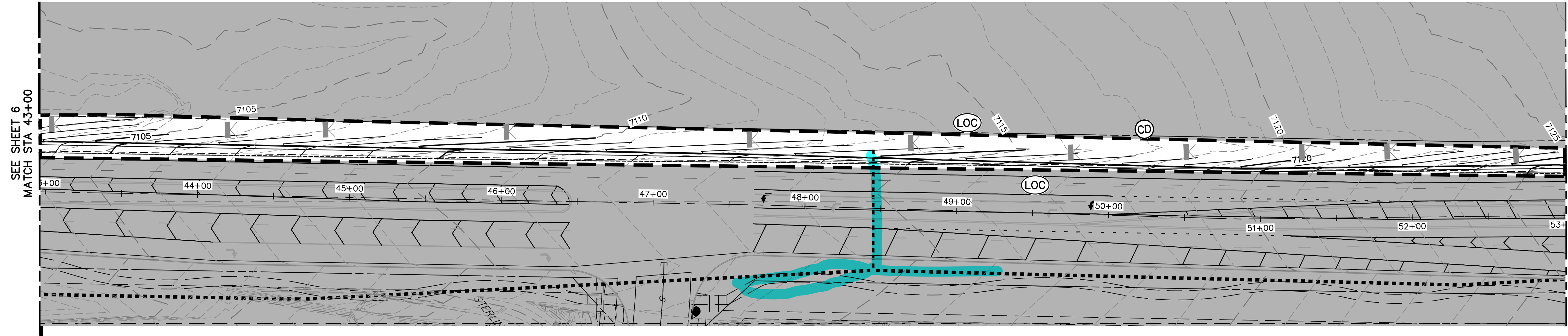
**LEGEND**

EXISTING STORM SEWER		INLET		LOW POINT/HIGH POINT		FLOW DIRECTION & SLOPE		FLOW DIRECTION ARROW		EXISTING FLOW DIRECTION ARROW		EMERGENCY OVERTFLOW DIRECTION		CONCRETE WASHOUT AREA		INLET PROTECTION		TEMPORARY SEDIMENT BASIN		SILT FENCE		VEHICLE TRACKING CONTROL		STAGE STABILIZED AREA		TEMPORARY SEEDING		EROSION CONTROL BLANKET					
STORM SEWER PROPOSED		PROPOSED R.O.W.		PROPOSED PROPERTY LINE		PROPOSED SIDEWALK		EXISTING PROPERTY LINE		ROW EXISTING		FL EXISTING		SIDEWALK EXISTING		DRAINAGE ACCESS & MAINTENANCE EASEMENT		SILT FENCE		LIMITS OF CONSTRUCTION/DISTURBANCE		EXISTING WETLAND BOUNDARY		EXISTING 100 YEAR FLOODPLAIN		CUT/ FILL		TEMPORARY DITCH		EXISTING CHECK DAM		PROPOSED CHECK DAM	

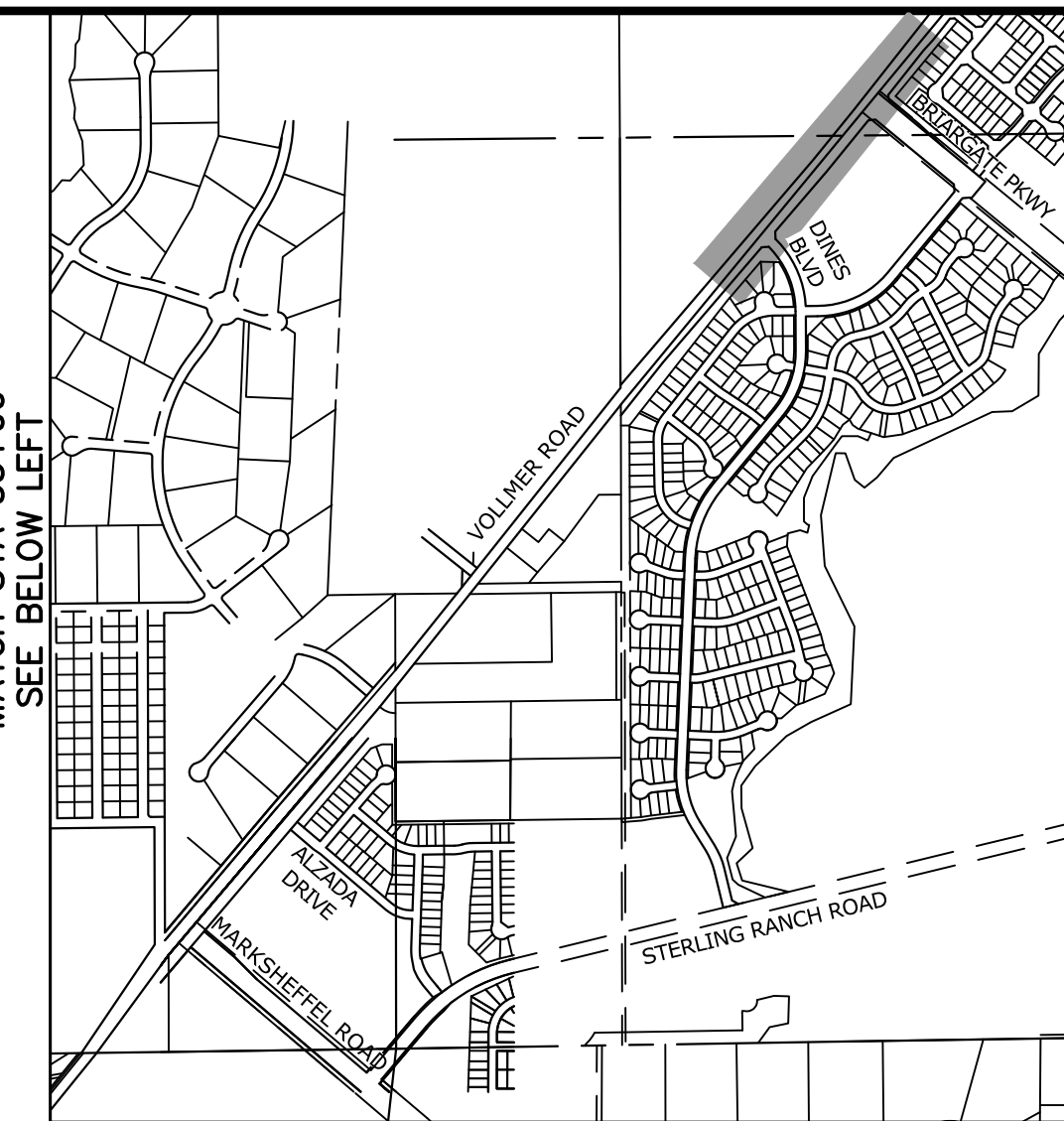
**NOTES:**  
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**ENGINEER'S STATEMENT**  
PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING  
*Mike A. Bramlett*  
MIKE A. BRAMLETT, P.E.  
COLORADO P.E. 32314  
FOR AND ON BEHALF OF JR ENGINEERING, INC.  
DATE 8/23/22

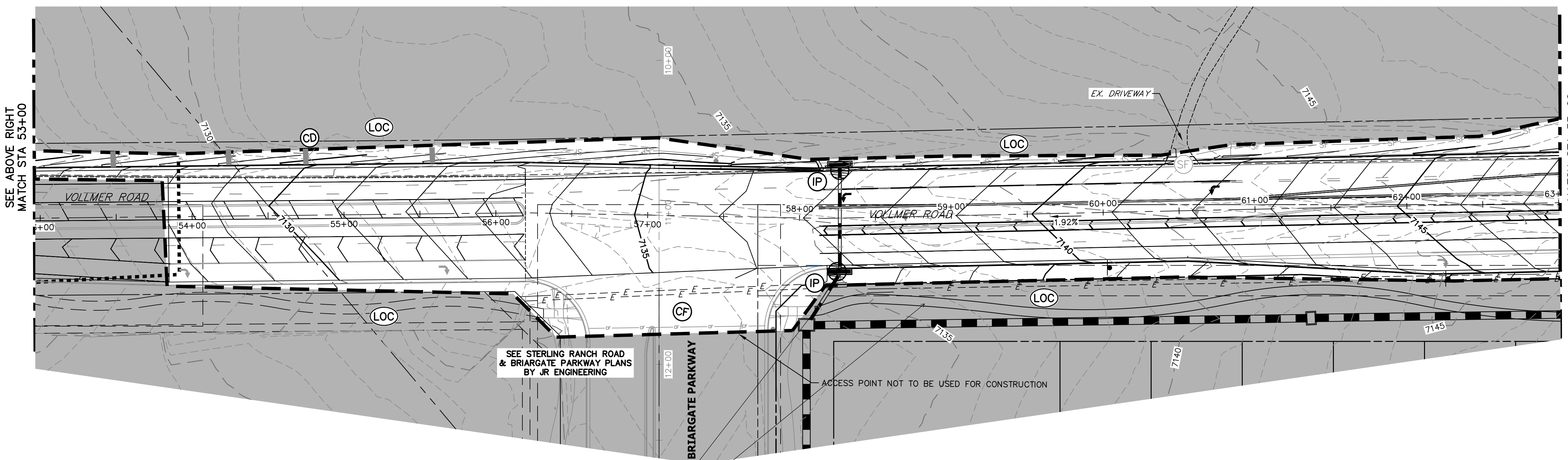
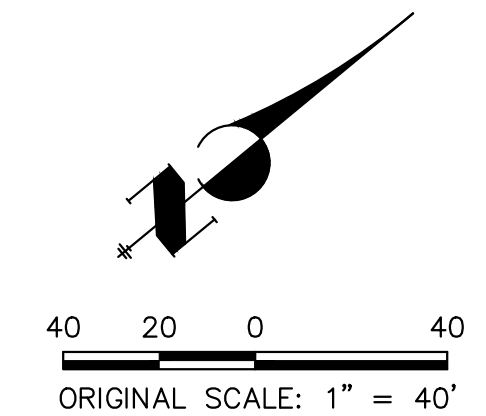
UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USE FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.	
PREPARED FOR	SR LAND, LLC 20 BOULDER CRESCENT SUITE 201 COLORADO SPRINGS, CO 80903 JAMES F. MORLEY (719) 471-1742
BY	DATE
No.	REVISION
H-SCALE	1" = 40'
V-SCALE	N/A
DATE	8/23/22
DESIGNED BY	CWC
DRAWN BY	SWW
CHECKED BY	
VOLLMER ROAD (NORTH)	
GRADING AND EROSION CONTROL INTERIM PLAN	
SHEET	6 OF 16
JOB NO.	25188.00



VOLLMER ROAD  
STA 43+00 TO STA 53+00



KEY MAP  
SCALE: NTS



SEE STERLING RANCH ROAD & BRIARGATE PARKWAY PLANS BY JR ENGINEERING

ACCESS POINT NOT TO BE USED FOR CONSTRUCTION

include in limits of disturbance or not that work will be conducted under a separate filing (typ).

**LEGEND**

EXISTING STORM SEWER		INLET		LOW POINT/HIGH POINT		CURB SOCK	
STORM SEWER PROPOSED		L.P./H.P.		FLOW DIRECTION & SLOPE		CONSTRUCTION FENCE	
PROPOSED R.O.W.		(2.0)%		FLOW DIRECTION ARROW			
PROPOSED PROPERTY LINE				EXISTING FLOW DIRECTION ARROW			
PROPOSED SIDEWALK				EMERGENCY OVERTFLOW DIRECTION			
EXISTING PROPERTY LINE				CONCRETE WASHOUT AREA			
ROW EXISTING				INLET PROTECTION			
FL EXISTING				TEMPORARY SEDIMENT BASIN			
SIDEWALK EXISTING				SILT FENCE			
DRAINAGE ACCESS & MAINTENANCE EASEMENT				VEHICLE TRACKING CONTROL			
SILT FENCE				STAGE STABILIZED AREA			
LIMITS OF CONSTRUCTION/DISTURBANCE				TEMPORARY SEEDING			
EXISTING WETLAND BOUNDARY				EROSION CONTROL BLANKET			
EXISTING 100 YEAR FLOODPLAIN							
CUT/ FILL							
TEMPORARY DITCH							
EXISTING							
CHECK DAM							
		PROPOSED					

**NOTES:**  
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PREPARED FOR  
SR LAND, LLC  
20 BOULDER CRESCENT  
SUITE 201  
COLORADO SPRINGS, CO 80903  
JAMES F. MORLEY  
(719) 471-1742

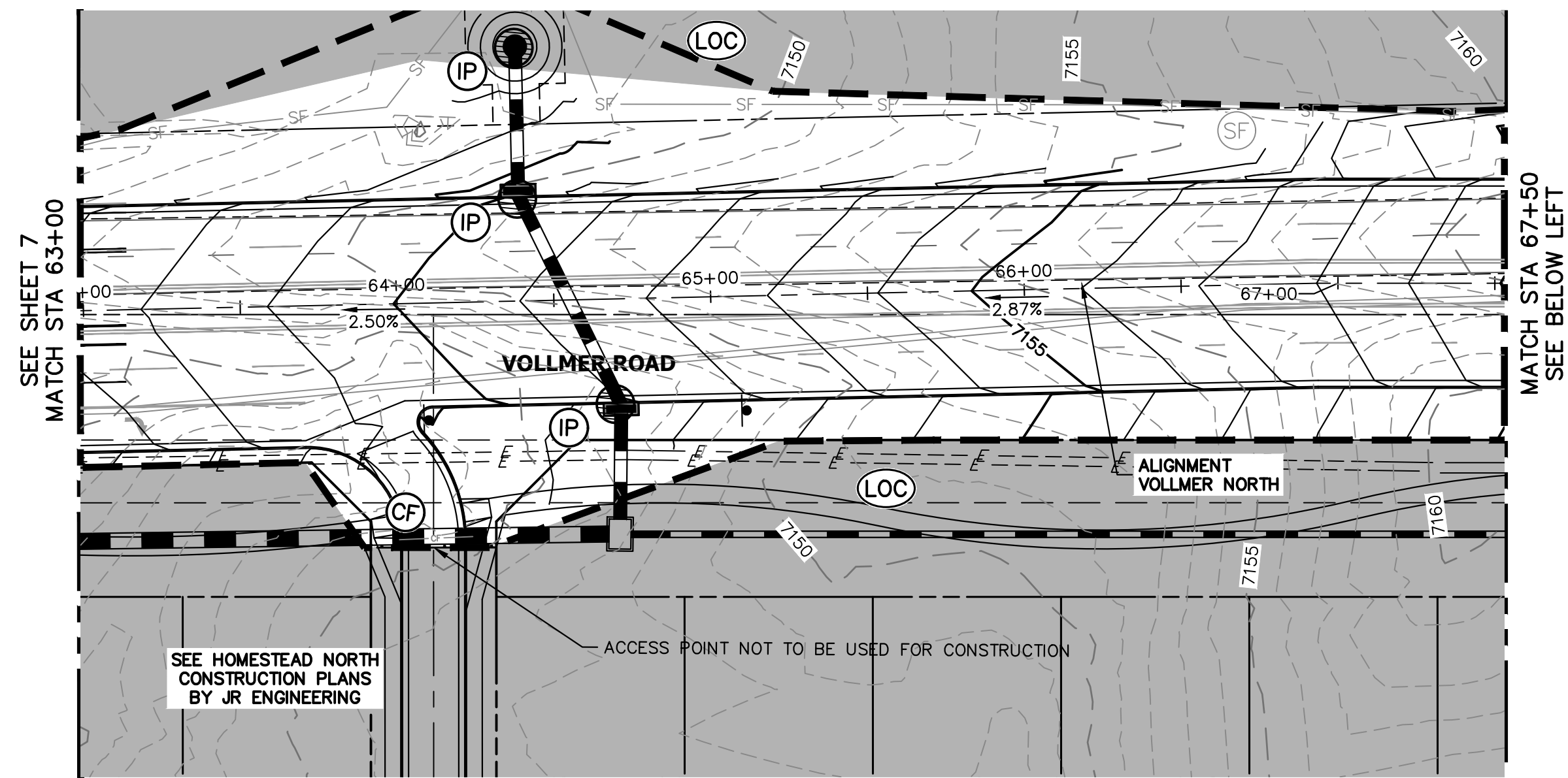
**J.R. ENGINEERING**  
A Westman Company  
Central 303-740-9888 • Colorado Springs 719-583-2583  
Fort Collins 970-491-9888 • www.jrengineering.com

No.	REVISION	BY	DATE

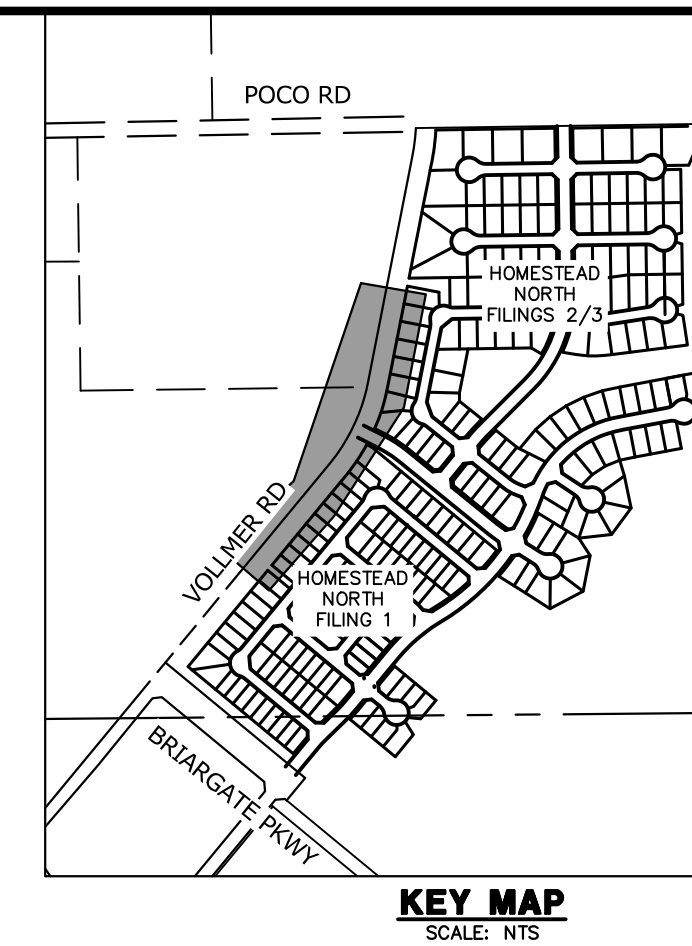
H-SCALE	1"=40'
V-SCALE	N/A
DATE	8/23/22
DESIGNED BY	CWC
DRAWN BY	SWW
CHECKED BY	

**ENGINEER'S STATEMENT**  
PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING  
*Mike A. Bramlett*  
MIKE A. BRAMLETT, P.E.  
COLORADO P.E. 32314  
FOR AND ON BEHALF OF JR ENGINEERING  
DATE 8/23/22





**VOLLMER ROAD**  
STA 63+00 TO STA 67+50

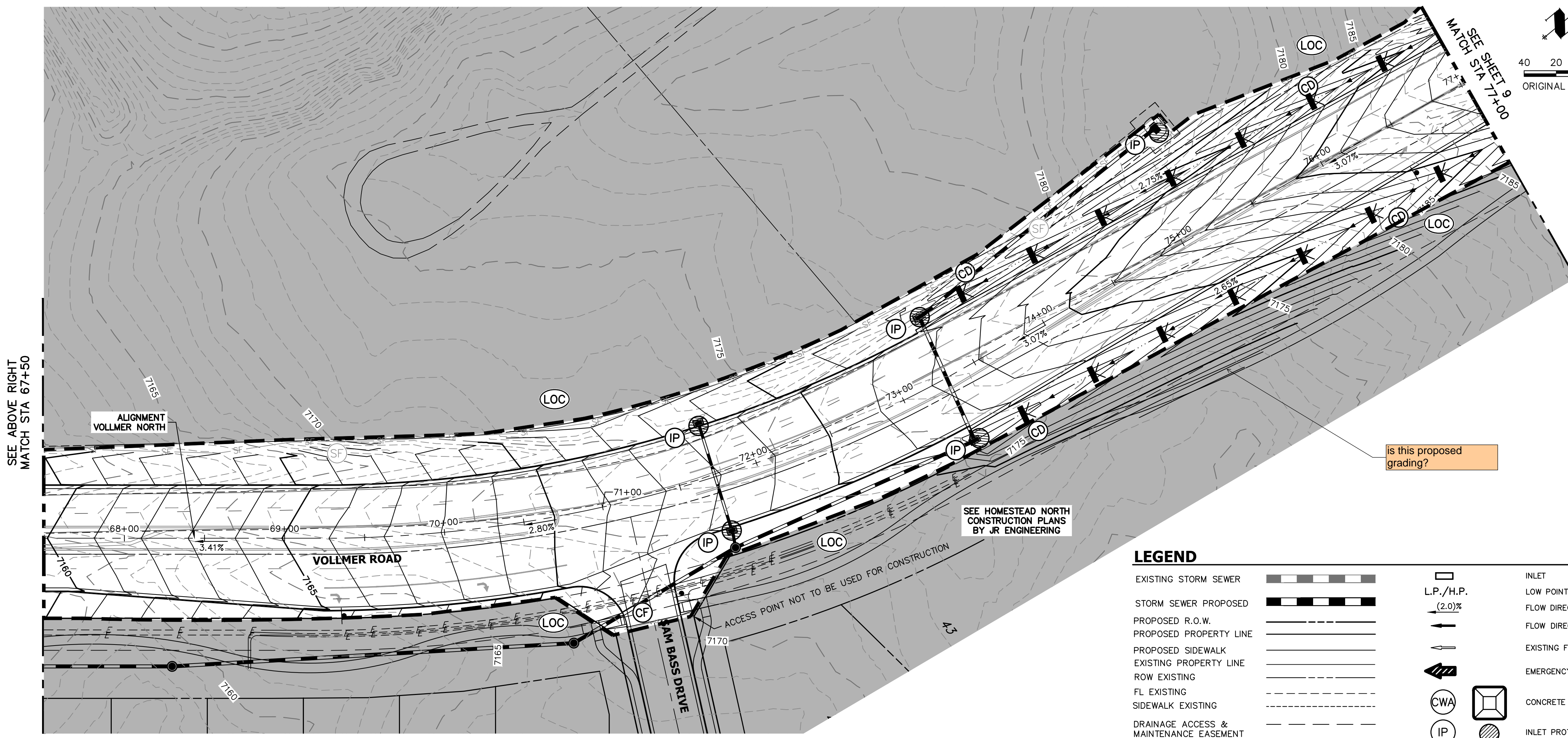


**KEY MAP**  
SCALE: NTS

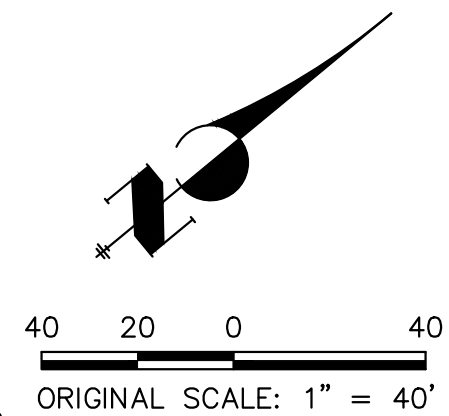
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PREPARED FOR  
**SR LAND, LLC**  
20 BOULDER CRESCENT  
SUITE 201  
COLORADO SPRINGS, CO 80903  
JAMES F. MORLEY  
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Fort Collins 970-491-9888 • www.jrengineering.com



**VOLLMER ROAD**  
STA 67+50 TO STA 77+00



SEE ABOVE RIGHT  
MATCH STA 67+50

is this proposed grading?

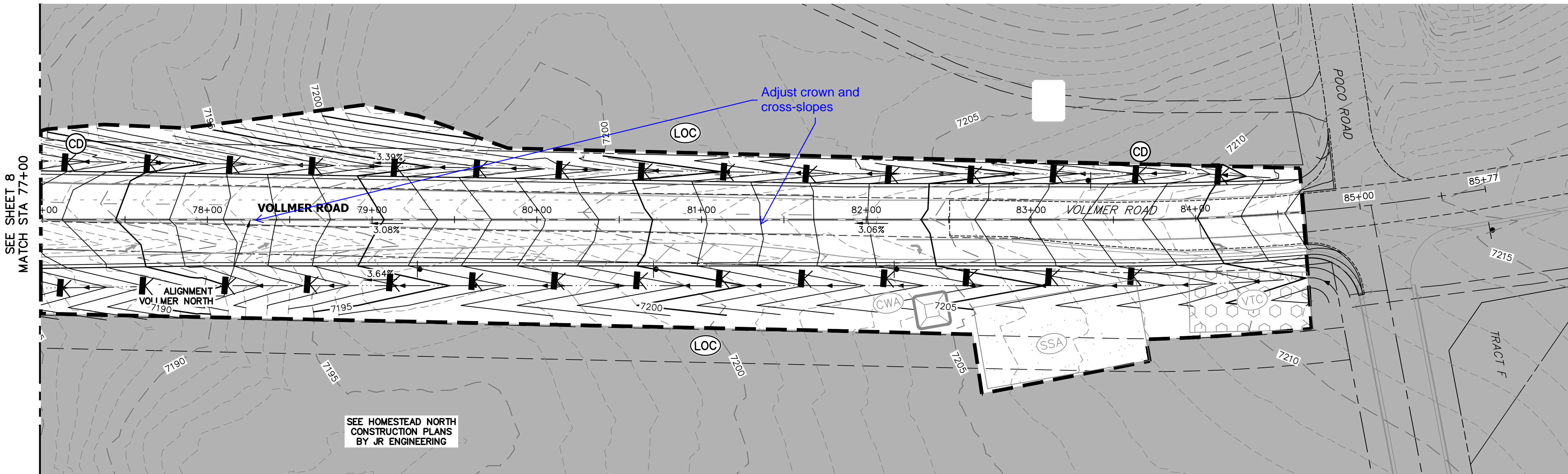
**LEGEND**

- |  |  |                               |  |                    |  |
|--|--|-------------------------------|--|--------------------|--|
| EXISTING STORM SEWER                   |  | INLET                         |  | CURB SOCK          |  |
| STORM SEWER PROPOSED                   |  | LOW POINT/HIGH POINT          |  | CONSTRUCTION FENCE |  |
| PROPOSED R.O.W.                        |  | FLOW DIRECTION & SLOPE        |  |                    |  |
| PROPOSED PROPERTY LINE                 |  | FLOW DIRECTION ARROW          |  |                    |  |
| PROPOSED SIDEWALK                      |  | EXISTING FLOW DIRECTION ARROW |  |                    |  |
| EXISTING PROPERTY LINE                 |  | EMERGENCY OVERTFLOW DIRECTION |  |                    |  |
| ROW EXISTING                           |  | CONCRETE WASHOUT AREA         |  |                    |  |
| FL EXISTING                            |  | INLET PROTECTION              |  |                    |  |
| SIDEWALK EXISTING                      |  | TEMPORARY SEDIMENT BASIN      |  |                    |  |
| DRAINAGE ACCESS & MAINTENANCE EASEMENT |  | SILT FENCE                    |  |                    |  |
| SILT FENCE                             |  | VEHICLE TRACKING CONTROL      |  |                    |  |
| LIMITS OF CONSTRUCTION/DISTURBANCE     |  | STAGE STABILIZED AREA         |  |                    |  |
| EXISTING WETLAND BOUNDARY              |  | TEMPORARY SEEDING             |  |                    |  |
| EXISTING 100 YEAR FLOODPLAIN           |  | EROSION CONTROL BLANKET       |  |                    |  |
| CUT/ FILL                              |  |                               |  |                    |  |
| TEMPORARY DITCH                        |  |                               |  |                    |  |
| EXISTING                               |  |                               |  |                    |  |
| PROPOSED                               |  |                               |  |                    |  |
| CHECK DAM                              |  |                               |  |                    |  |

**NOTES:**  
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**ENGINEER'S STATEMENT**  
PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING  
*Mike A. Bramlett*  
MIKE A. BRAMLETT, P.E.  
COLORADO P.E. 32314  
FOR AND ON BEHALF OF JR ENGINEERING, INC.  
DATE 8/23/22

VOLLMER ROAD (NORTH)	GRADING AND EROSION CONTROL INTERIM PLAN	BY	DATE
		No.	REVISION
H-SCALE	1"=40'	DESIGNED BY	CWC
V-SCALE	N/A	DRAWN BY	SWW
DATE	8/23/22	CHECKED BY	
SHEET 8 OF 16		JOB NO. 25188.00	



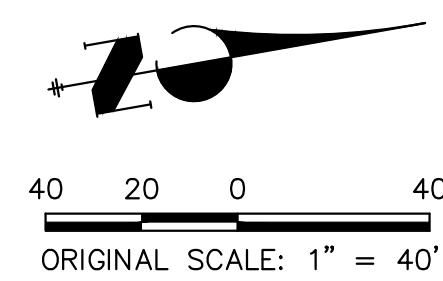
SEE SHEET 8  
MATCH STA 77+00

SEE HOMESTEAD NORTH  
CONSTRUCTION PLANS  
BY JR ENGINEERING

**VOLLMER ROAD**  
STA 77+00 TO STA 85+76



**KEY MAP**  
SCALE: NTS



**LEGEND**

EXISTING STORM SEWER		INLET		LOW POINT/HIGH POINT		CURB SOCK	
STORM SEWER PROPOSED		L.P./H.P.		FLOW DIRECTION & SLOPE		CONSTRUCTION FENCE	
PROPOSED R.O.W.		(2.0)%		EXISTING FLOW DIRECTION ARROW			
PROPOSED PROPERTY LINE				EMERGENCY OVERFLOW DIRECTION			
PROPOSED SIDEWALK				CONCRETE WASHOUT AREA			
EXISTING PROPERTY LINE				INLET PROTECTION			
ROW EXISTING				TEMPORARY SEDIMENT BASIN			
FL EXISTING				SILT FENCE			
SIDEWALK EXISTING				VEHICLE TRACKING CONTROL			
DRAINAGE ACCESS & MAINTENANCE EASEMENT				STAGE STABILIZED AREA			
SILT FENCE				TEMPORARY SEEDING			
LIMITS OF CONSTRUCTION/DISTURBANCE				EROSION CONTROL BLANKET			
EXISTING WETLAND BOUNDARY							
EXISTING 100 YEAR FLOODPLAIN							
CUT / FILL							
TEMPORARY DITCH							
EXISTING							
CHECK DAM							
PROPOSED							

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**ENGINEER'S STATEMENT**

PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING

MIKE A. BRAMLETT, P.E.  
COLORADO P.E. 32314  
DATE 8/23/22

FOR AND ON BEHALF OF JR ENGINEERING, INC.

VOLLMER ROAD (NORTH)	GRADING AND EROSION CONTROL INTERIM PLAN	1" = 40'	No. REVISION	BY	DATE	
		H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY
		N/A	8/23/22	CWC	SWW	
SHEET 9	OF 16					
JOB NO.	25188.00					

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PREPARED FOR  
**SR LAND, LLC**  
20 BOULDER CRESCENT  
SUITE 201  
COLORADO SPRINGS, CO 80903  
JAMES F. MORLEY  
(719) 471-1742

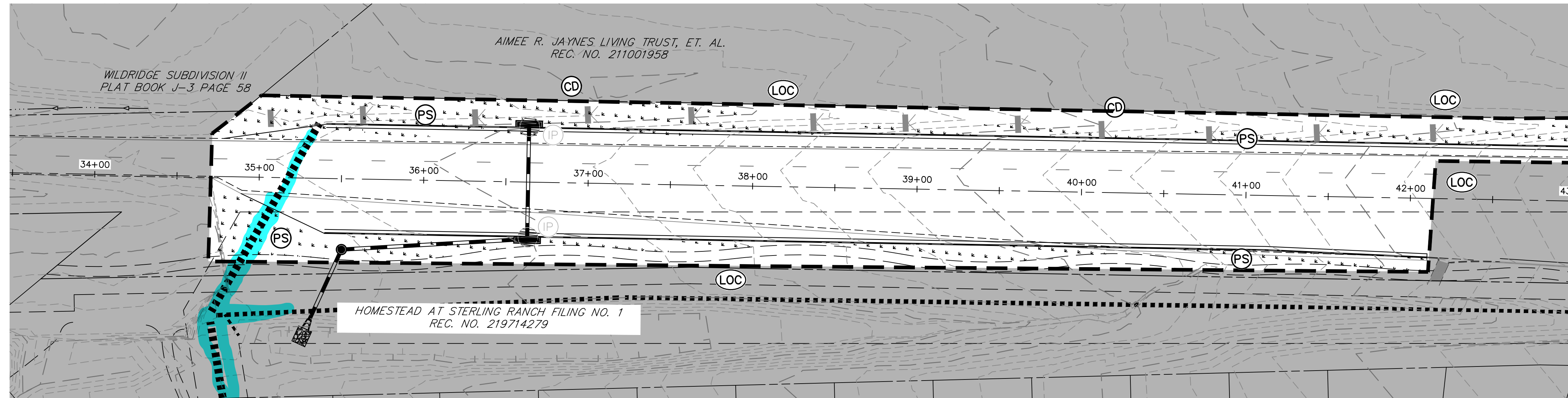
**J.R. ENGINEERING**  
A Westman Company

Central 303-740-9888 • Colorado Springs 719-588-2583  
Fort Collins 970-491-9888 • www.jrengineering.com

only show final BMPs. Remove silt fence, inlet protection, construction fence, and CDs.



**KEY MAP**  
SCALE: NTS



**VOLLMER ROAD**  
STA 33+50 TO STA 43+00

**LEGEND**

EXISTING STORM SEWER		INLET		LOW POINT/HIGH POINT		CONCRETE WASHOUT AREA		INLET PROTECTION		TEMPORARY SEDIMENT BASIN		SILT FENCE		VEHICLE TRACKING CONTROL		STAGE STABILIZED AREA		TEMPORARY SEEDING		PERMANENT SEEDING		EROSION CONTROL BLANKET			
STORM SEWER PROPOSED		FLOW DIRECTION & SLOPE		EMERGENCY OVERFLOW DIRECTION		CURB SOCK		TEMPORARY SEEDING		PERMANENT SEEDING		EROSION CONTROL BLANKET		CONSTRUCTION FENCE		CONSTRUCTION FENCE		CONSTRUCTION FENCE		CONSTRUCTION FENCE		CONSTRUCTION FENCE			
PROPOSED R.O.W.		PROPOSED PROPERTY LINE		EXISTING PROPERTY LINE		ROW EXISTING		FL EXISTING		SIDEWALK EXISTING		DRAINAGE ACCESS & MAINTENANCE EASEMENT		SILT FENCE		LIMITS OF CONSTRUCTION/DISTURBANCE		EXISTING WETLAND BOUNDARY		EXISTING 100 YEAR FLOODPLAIN		CUT/ FILL		TEMPORARY DITCH	
EXISTING		PROPOSED		CHECK DAM		EXISTING		PROPOSED		EXISTING		PROPOSED		EXISTING		PROPOSED		EXISTING		PROPOSED		EXISTING		PROPOSED	

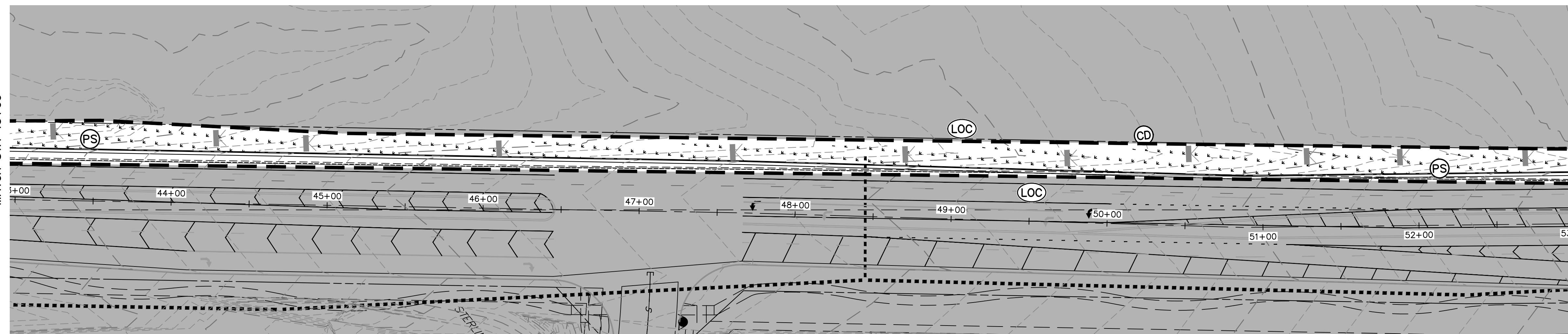
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PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING  
*Mike A. Bramlett*  
MIKE A. BRAMLETT, P.E.  
COLORADO P.E. 32314  
FOR AND ON BEHALF OF JR ENGINEERING, INC.  
DATE 8/23/22



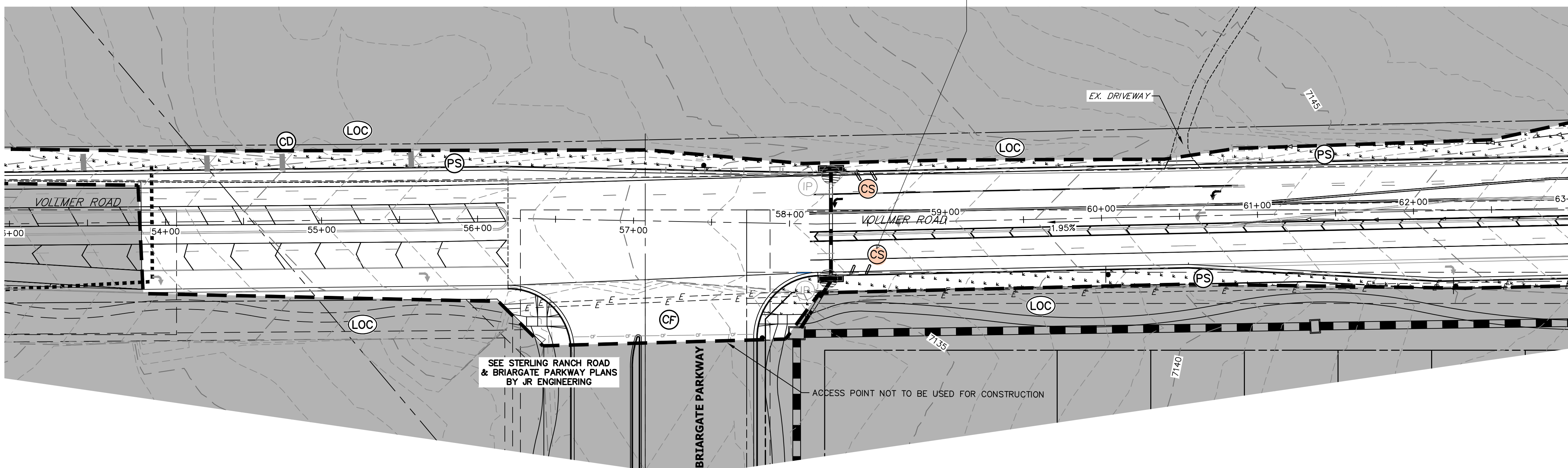
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PREPARED FOR	SR LAND, LLC 20 BOULDER CRESENT SUITE 201 COLORADO SPRINGS, CO 80903 JAMES F. MORELY (719) 471-1742
J.R. ENGINEERING A Westman Company	Central 303-740-9888 • Colorado Springs 719-583-2583 Fort Collins 970-491-9888 • www.jrengineering.com
BY	DATE
No.	REVISION
H-SCALE	1"=40'
V-SCALE	N/A
DATE	8/23/22
DESIGNED BY	RAB
DRAWN BY	RAB
CHECKED BY	
VOLLMER ROAD (NORTH)	
GRADING AND EROSION CONTROL FINAL PLAN	
SHEET	10 OF 16
JOB NO.	25188.00

SEE SHEET 6  
MATCH STA 43+00



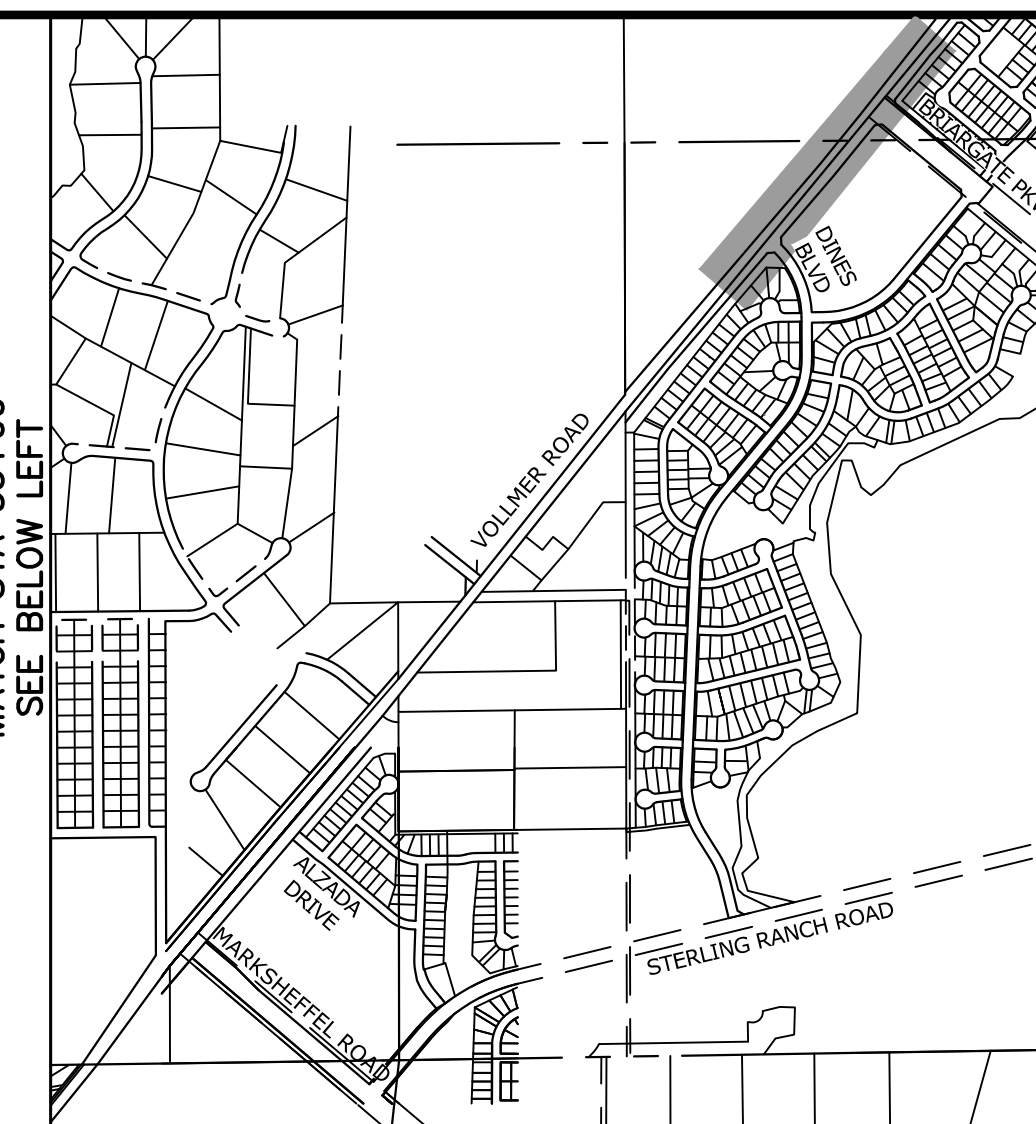
**VOLLMER ROAD**  
STA 43+00 TO STA 53+00

SEE ABOVE RIGHT  
MATCH STA 53+00

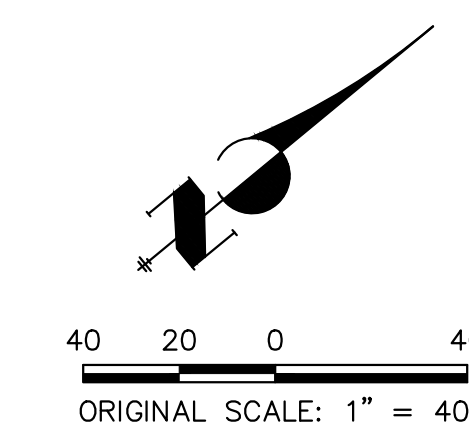


**VOLLMER ROAD**  
STA 53+00 TO STA 63+00

MATCH STA 53+00  
SEE BELOW LEFT



**KEY MAP**  
SCALE: NTS



**LEGEND**

EXISTING STORM SEWER		INLET		CONCRETE WASHOUT AREA	
STORM SEWER PROPOSED		LOW POINT/HIGH POINT		INLET PROTECTION	
PROPOSED R.O.W.		FLOW DIRECTION & SLOPE		TEMPORARY SEDIMENT BASIN	
PROPOSED PROPERTY LINE		EMERGENCY OVERFLOW DIRECTION		SILT FENCE	
PROPOSED SIDEWALK				VEHICLE TRACKING CONTROL	
EXISTING PROPERTY LINE				STAGE STABILIZED AREA	
ROW EXISTING				TEMPORARY SEEDING	
FL EXISTING				PERMANENT SEEDING	
SIDEWALK EXISTING				EROSION CONTROL BLANKET	
DRAINAGE ACCESS & MAINTENANCE EASEMENT					
SILT FENCE					
LIMITS OF CONSTRUCTION/DISTURBANCE					
EXISTING WETLAND BOUNDARY					
EXISTING 100 YEAR FLOODPLAIN					
CUT/ FILL					
TEMPORARY DITCH					
EXISTING					
PROPOSED					
CHECK DAM					

**NOTES:**  
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PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING  
*Mike A. Bramlett*  
MIKE A. BRAMLETT, P.E.  
COLORADO P.E. 32314  
FOR AND ON BEHALF OF JR ENGINEERING, INC.  
DATE 8/23/22

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PREPARED FOR  
**SR LAND, LLC**  
20 BOULDER CRESENT SUITE 201  
COLORADO SPRINGS, CO 80903  
JAMES F. MORLEY  
(719) 471-1742

**J.R. ENGINEERING**  
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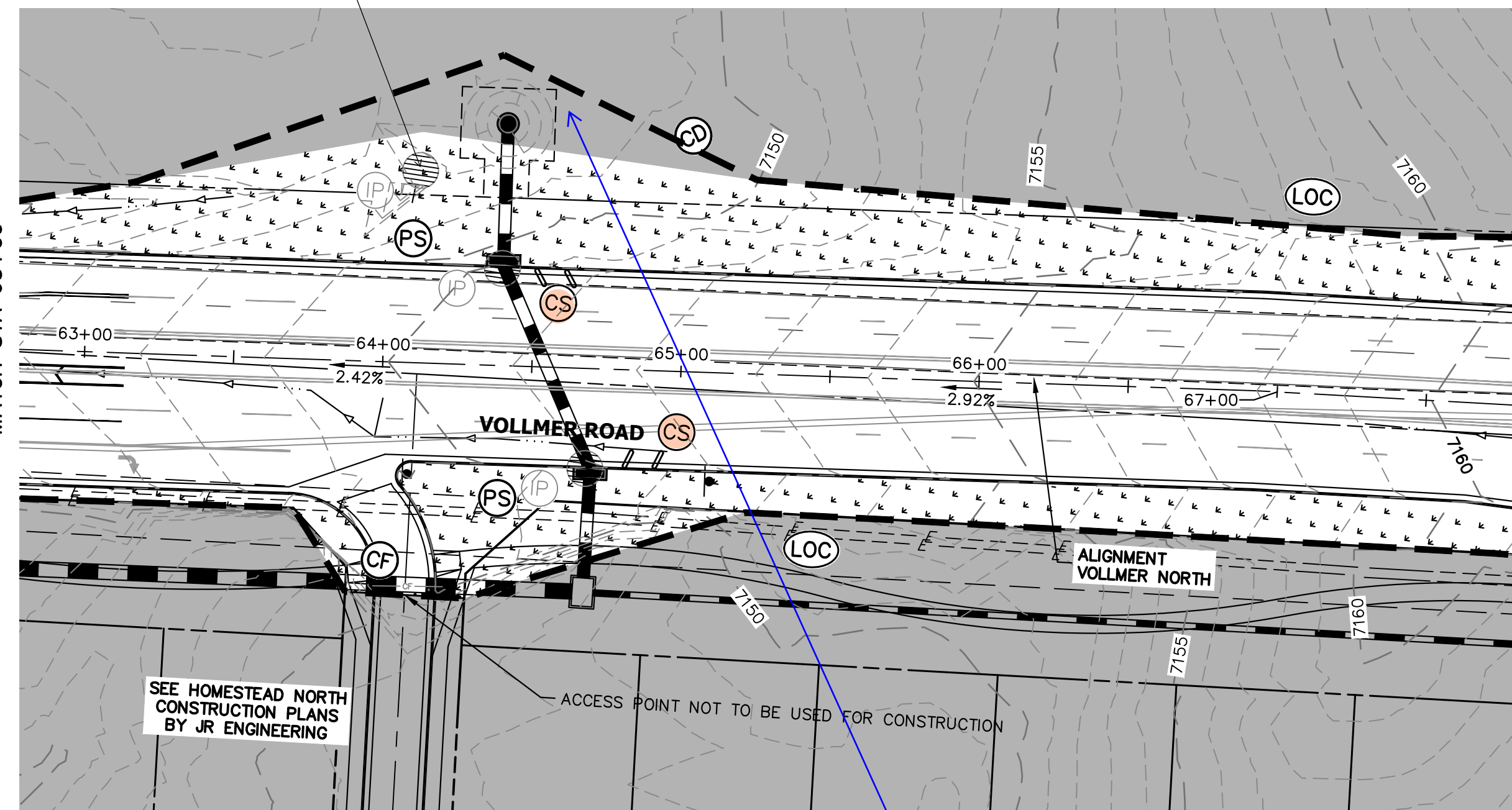
BY	DATE	No.	REVISION

H-SCALE	1"=40'
V-SCALE	N/A
DATE	8/23/22
DESIGNED BY	CWC
DRAWN BY	SWW
CHECKED BY	

VOLLMER ROAD (NORTH)  
GRADING AND EROSION CONTROL FINAL PLAN

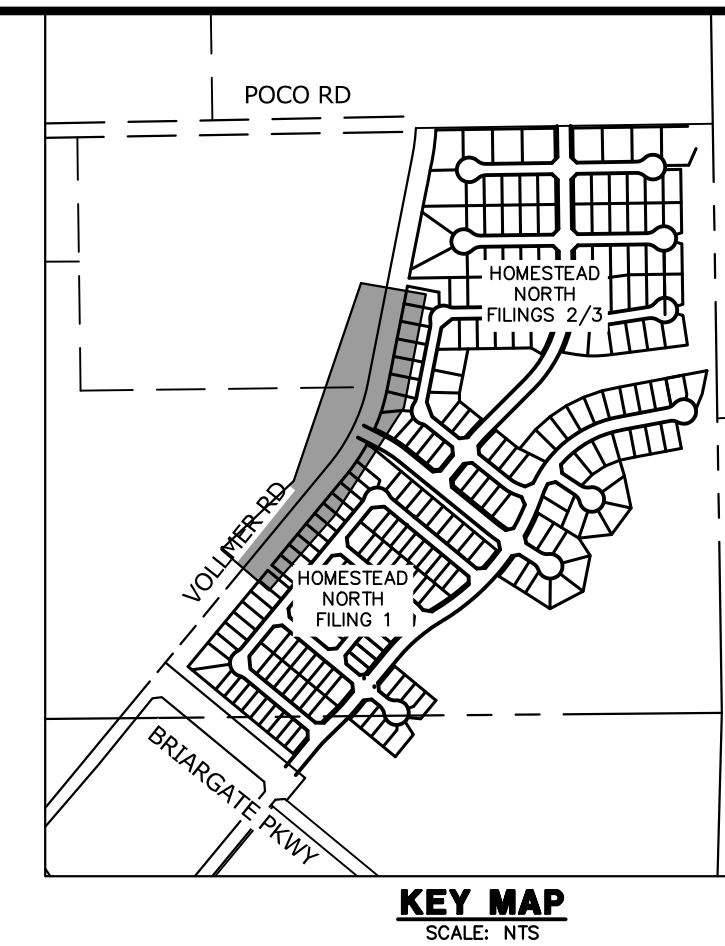
SHEET 11 OF 16  
JOB NO. 25188.00

SEE SHEET 7  
MATCH STA 63+00



MATCH STA 67+50  
SEE BELOW LEFT

**VOLLMER ROAD**  
STA 63+00 TO STA 67+50

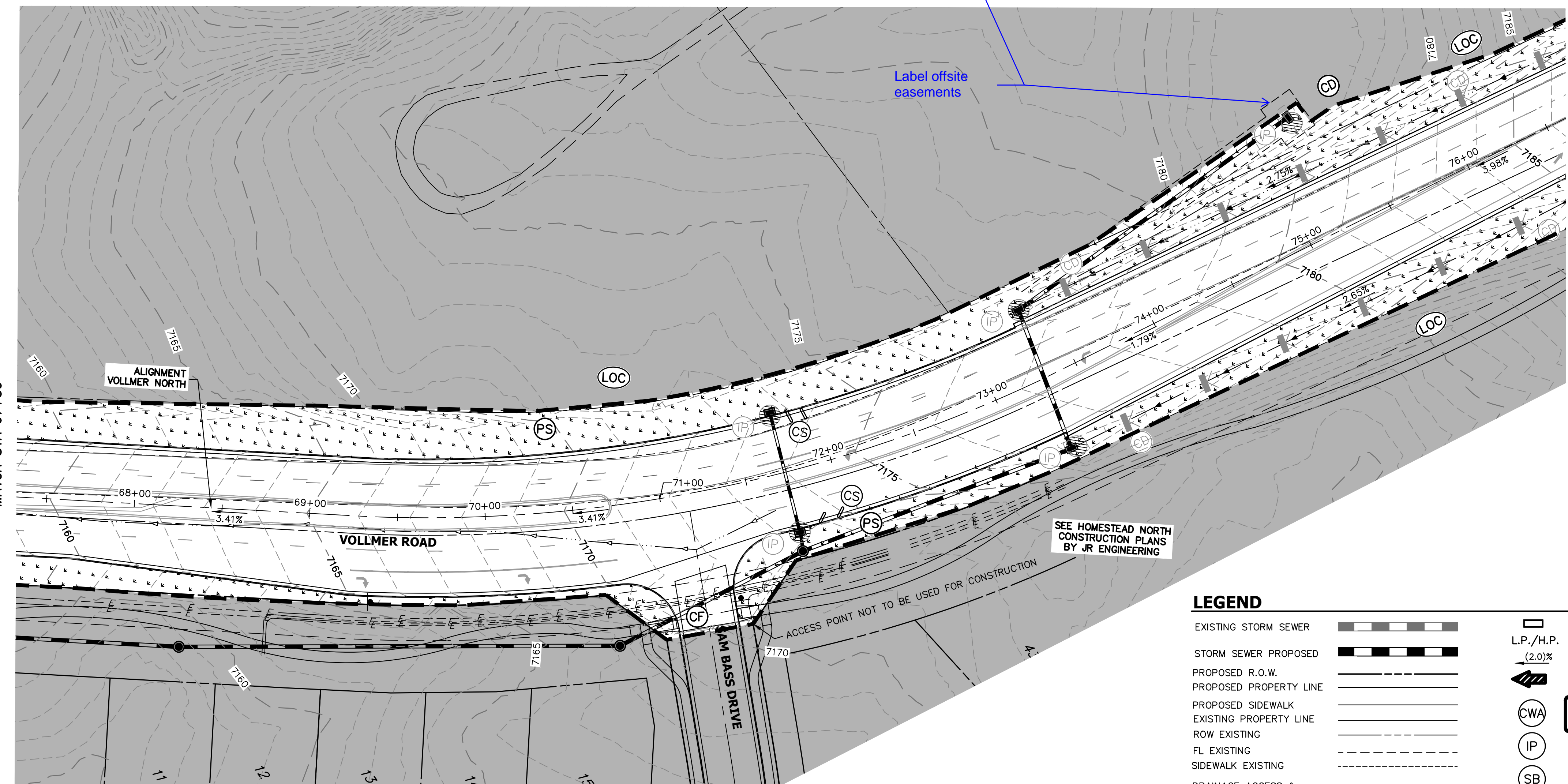


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PREPARED FOR  
**SR LAND, LLC**  
20 BOULDER CRESCENT  
SUITE 201  
COLORADO SPRINGS, CO 80903  
JAMES F. MORLEY  
(719) 471-1742

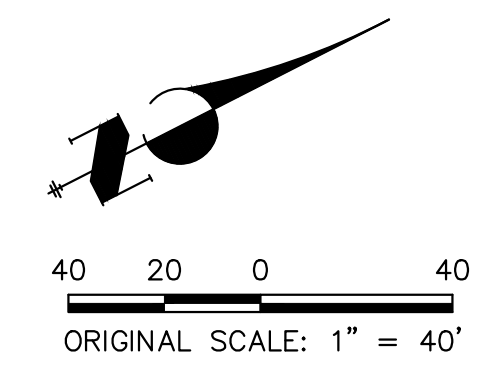
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A Westman Company  
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Fort Collins 970-491-9888 • www.jrengineering.com

SEE ABOVE RIGHT  
MATCH STA 67+50



**VOLLMER ROAD**  
STA 67+50 TO STA 77+00

SEE SHEET 9  
MATCH STA 77+00



**LEGEND**

EXISTING STORM SEWER		INLET		CS	
STORM SEWER PROPOSED		L.P./H.P. (2.0)%		CF	
PROPOSED R.O.W.		CONCRETE WASHOUT AREA			
PROPOSED PROPERTY LINE		INLET PROTECTION			
PROPOSED SIDEWALK		TEMPORARY SEDIMENT BASIN			
EXISTING PROPERTY LINE		SILT FENCE			
ROW EXISTING		VEHICLE TRACKING CONTROL			
FL EXISTING		STAGE STABILIZED AREA			
SIDEWALK EXISTING		TEMPORARY SEEDING			
DRAINAGE ACCESS & MAINTENANCE EASEMENT		PERMANENT SEEDING			
SILT FENCE		EROSION CONTROL BLANKET			
LIMITS OF CONSTRUCTION/DISTURBANCE					
EXISTING WETLAND BOUNDARY					
EXISTING 100 YEAR FLOODPLAIN					
CUT/ FILL					
TEMPORARY DITCH					
EXISTING					
PROPOSED					
CHECK DAM					

**NOTES:**  
EXISTING VEGETATION: AN AERIAL SURVEY WAS USED TO DETERMINE A 30% COVER OF NATIVE GRASSES.  
STAGING AREA & STOCKPILE LOCATION TO BE DETERMINED BY CONTRACTOR IN THE FIELD. THE LOCATIONS SHALL BE DELINEATED ON THIS PLAN BY THE CONTRACTOR.  
THE EROSION CONTROL DELINEATED ON THIS PLAN SHALL BE REGULARLY UPDATED BY THE CONTRACTOR.  
NO BATCH PLANTS TO BE USED ONSITE.

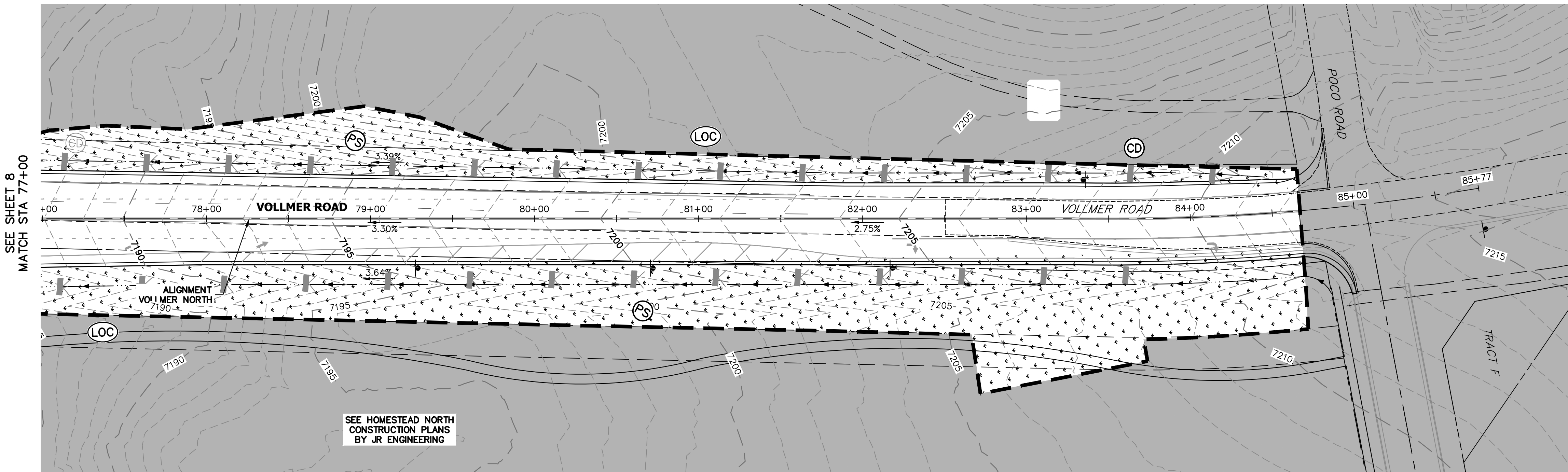


**ENGINEER'S STATEMENT**  
PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING  
*Mike A. Bramlett*  
MIKE A. BRAMLETT, P.E.  
COLORADO P.E. 32314  
FOR AND ON BEHALF OF JR ENGINEERING, LOCAL ENGINEER  
DATE 8/23/22

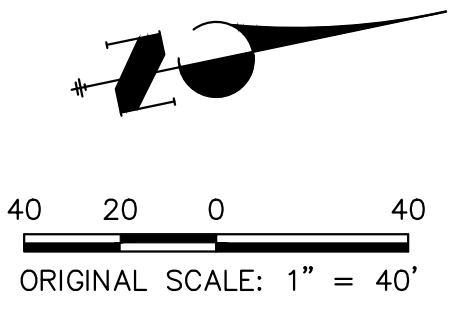
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VOLLMER ROAD (NORTH)  
GRADING AND EROSION CONTROL FINAL PLAN

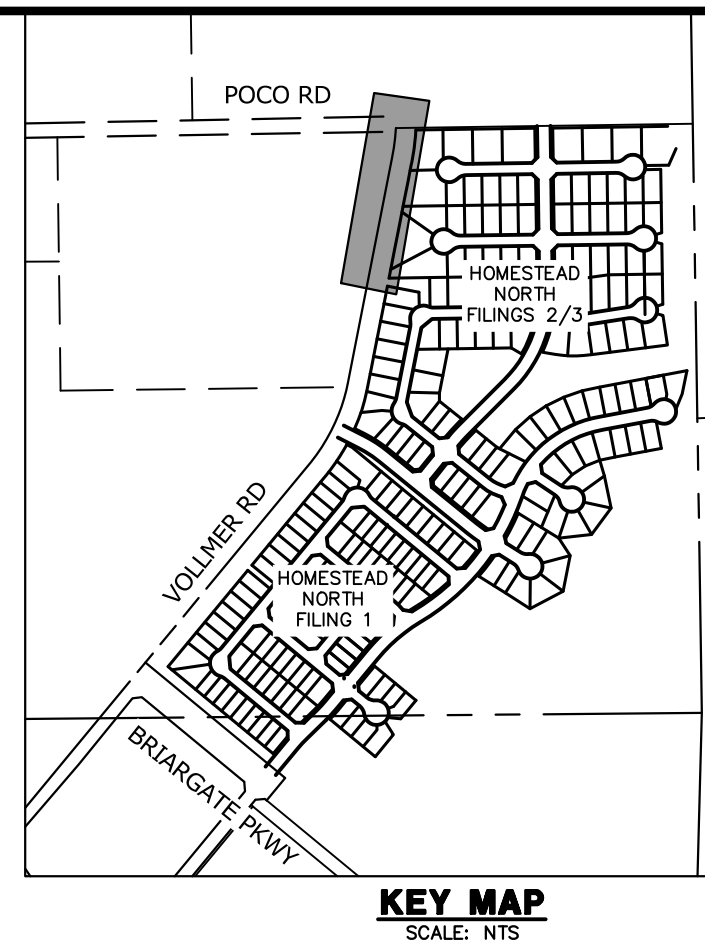
SHEET 12 OF 16  
JOB NO. 25188.00



VOLLMER ROAD  
STA 77+00 TO STA 85+76



SEE SHEET 8  
MATCH STA 77+00



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SUITE 201  
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JAMES F. MORLEY  
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No.	REVISION	BY	DATE

**LEGEND**

EXISTING STORM SEWER		INLET		LOW POINT/HIGH POINT		CURB SOCK	
STORM SEWER PROPOSED		L.P./H.P. (2.0)%		FLOW DIRECTION & SLOPE		CONSTRUCTION FENCE	
PROPOSED R.O.W.		EMERGENCY OVERFLOW DIRECTION		CONCRETE WASHOUT AREA			
PROPOSED PROPERTY LINE				INLET PROTECTION			
PROPOSED SIDEWALK				TEMPORARY SEDIMENT BASIN			
EXISTING PROPERTY LINE				SILT FENCE			
ROW EXISTING				VEHICLE TRACKING CONTROL			
FL EXISTING				STAGE STABILIZED AREA			
SIDEWALK EXISTING				TEMPORARY SEEDING			
DRAINAGE ACCESS & MAINTENANCE EASEMENT				PERMANENT SEEDING			
SILT FENCE				EROSION CONTROL BLANKET			
LIMITS OF CONSTRUCTION/DISTURBANCE							
EXISTING WETLAND BOUNDARY							
EXISTING 100 YEAR FLOODPLAIN							
CUT/ FILL							
TEMPORARY DITCH							
EXISTING							
PROPOSED							
CHECK DAM							

**NOTES:**  
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NO BATCH PLANTS TO BE USED ONSITE.



**ENGINEER'S STATEMENT**  
PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF JR ENGINEERING  
*Mike A. Bramlett*  
MIKE A. BRAMLETT, P.E.  
COLORADO P.E. 32314  
FOR AND ON BEHALF OF JR ENGINEERING, INC.  
DATE 8/23/22

VOLLMER ROAD (NORTH)  
GRADING AND EROSION CONTROL FINAL PLAN  
SHEET 13 OF 16  
JOB NO. 25188.00

**Mulching (MU)**

EC-4

**Description**

Mulching consists of evenly applying straw, hay, shredded wood mulch, rock, bark or compost to disturbed soils and securing the mulch by crimping, tackifiers, netting or other measures. Mulching helps reduce erosion by protecting bare soil from rainfall impact, increasing infiltration, and reducing runoff. Although often applied in conjunction with temporary or permanent seeding, it can also be used for temporary stabilization of areas that cannot be reseeded due to seasonal constraints.



Photograph MU-1. An area that was recently seeded, mulched, and crimped.

Mulch can be applied either using standard mechanical dry application methods or using hydromulching equipment that hydraulically applies a slurry of water, wood fiber mulch, and often a tackifier.

**Appropriate Uses**

Use mulch in conjunction with seeding to help protect the seedbed and stabilize the soil. Mulch can also be used as a temporary cover on low to mild slopes to help temporarily stabilize disturbed areas where growing season constraints prevent effective reseeding. Disturbed areas should be properly mulched and tacked, or seeded, mulched and tacked promptly after final grade is reached (typically within no longer than 14 days) on portions of the site not otherwise permanently stabilized.

Standard dry mulching is encouraged in most jurisdictions; however, hydromulching may not be allowed in certain jurisdictions or may not be allowed near waterways.

Do not apply mulch during windy conditions.

**Design and Installation**

Prior to mulching, surface-roughen areas by rolling with a crimping or punching type roller or by track walking. Track walking should only be used where other methods are impractical because track walking with heavy equipment typically compacts the soil.

A variety of mulches can be used effectively at construction sites. Consider the following:

Mulch	
Functions	
Erosion Control	Yes
Sediment Control	Moderate
Site/Material Management	No

June 2012 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 MU-1

**EC-2 Temporary and Permanent Seeding (TS/PS)**

Table TS/PS-3. Seeding Dates for Annual and Perennial Grasses

Seeding Dates	Annual Grasses (Numbers in table reference species in Table TS/PS-1)		Perennial Grasses	
	Warm	Cool	Warm	Cool
January 1–March 15			✓	✓
March 16–April 30	4	1,2,3	✓	✓
May 1–May 15	4		✓	
May 16–June 30	4,5,6,7			
July 1–July 15	5,6,7			
July 16–August 31				
September 1–September 30		8,9,10,11		
October 1–December 31			✓	✓

**Mulch**

Cover seeded areas with mulch or an appropriate rolled erosion control product to promote establishment of vegetation. Anchor mulch by crimping, netting or use of a non-toxic tackifier. See the Mulching BMP Fact Sheet for additional guidance.

**Maintenance and Removal**

Monitor and observe seeded areas to identify areas of poor growth or areas that fail to germinate. Reseed and mulch these areas, as needed.

An area that has been permanently seeded should have a good stand of vegetation within one growing season if irrigated and within three growing seasons without irrigation in Colorado. Reseed portions of the site that fail to germinate or remain bare after the first growing season.

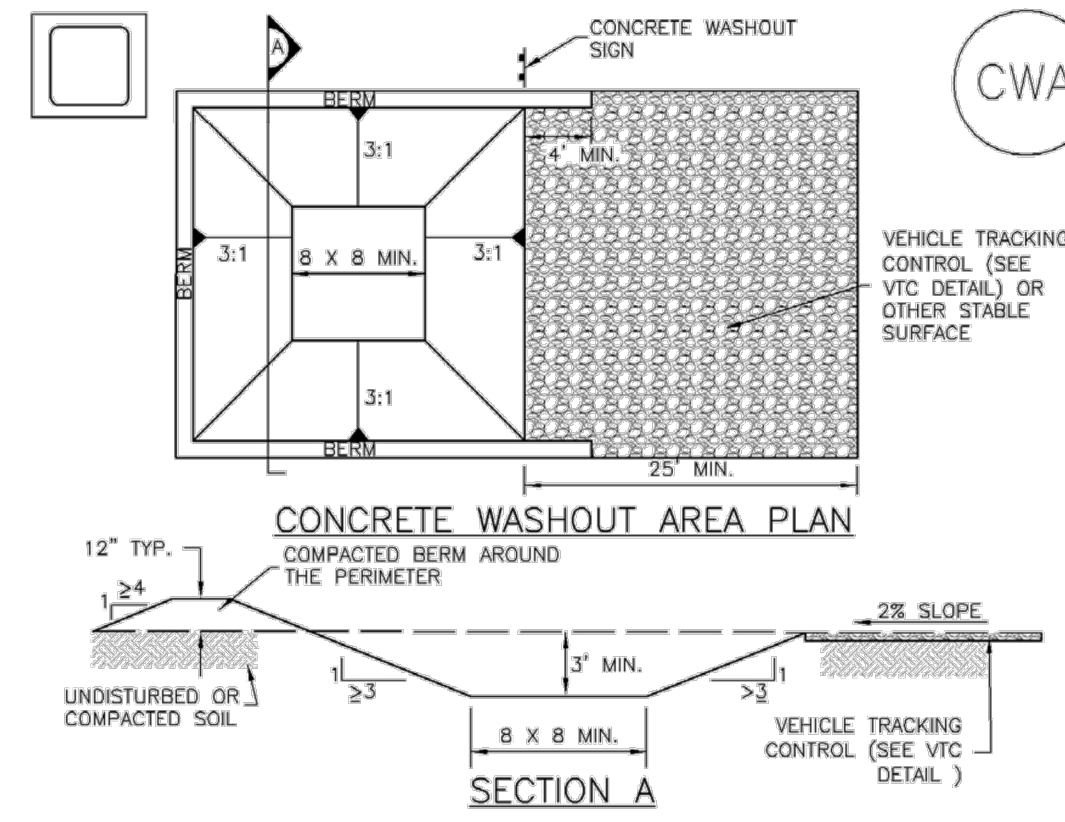
Seeded areas may require irrigation, particularly during extended dry periods. Targeted weed control may also be necessary.

Protect seeded areas from construction equipment and vehicle access.

TS/PS-6 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 June 2012

**Concrete Washout Area (CWA)**

MM-3



- CWA-1. CONCRETE WASHOUT AREA**
- CWA INSTALLATION NOTES**
- SEE PLAN VIEW FOR CWA INSTALLATION LOCATION.
  - DO NOT LOCATE AN UNLINED CWA WITHIN 400' OF ANY NATURAL DRAINAGE PATHWAY OR WATERBODY. DO NOT LOCATE WITHIN 1,000' OF ANY WELLS OR DRINKING WATER SOURCES. IF SITE CONSTRAINTS MAKE THIS INFESIBLE, OR IF HIGHLY PERMEABLE SOILS EXIST ON SITE, THE CWA MUST BE INSTALLED WITH AN IMPERMEABLE LINER (16 MIL MIN. THICKNESS) OR SURFACE STORAGE ALTERNATIVES USING PREFABRICATED CONCRETE WASHOUT DEVICES OR A LINED ABOVE GROUND STORAGE ARE SHOULD BE USED.
  - THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
  - CWA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8' BY 8' SLOPES LEADING OUT OF THE SUBSURFACE PIT SHALL BE 3:1 OR FLATTER. THE PIT SHALL BE AT LEAST 3' DEEP.
  - BERM SURROUNDING SIDES AND BACK OF THE CWA SHALL HAVE MINIMUM HEIGHT OF 1'.
  - VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE CWA.
  - SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE CWA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CWA TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.
  - USE EXCAVATED MATERIAL FOR PERIMETER BERM CONSTRUCTION.

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include inlet protection

**EC-2 Temporary and Permanent Seeding (TS/PS)**

Table TS/PS-2. Minimum Drill Seeding Rates for Perennial Grasses

Common Name	Botanical Name	Growth Season <sup>a</sup>	Growth Form	Seeds/ Pound	Pounds of PLS/Acre
<b>Alkali Soil Seed Mix</b>					
Alkali sacaton	<i>Sporobolus airoides</i>	Cool	Bunch	1,750,000	0.25
Basin wildrye	<i>Elymus cinereus</i>	Cool	Bunch	165,000	2.5
Sodar streambank wheatgrass	<i>Agropyron riparium 'Sodar'</i>	Cool	Sod	170,000	2.5
Jose tall wheatgrass	<i>Agropyron elongatum 'Jose'</i>	Cool	Bunch	79,000	7.0
Arriba western wheatgrass	<i>Agropyron smithii 'Arriba'</i>	Cool	Sod	110,000	5.5
<b>Total</b>					<b>17.75</b>
<b>Fertile Loamy Soil Seed Mix</b>					
Ephraim crested wheatgrass	<i>Agropyron cristatum 'Ephraim'</i>	Cool	Sod	175,000	2.0
Dural hard fescue	<i>Festuca ovina 'duriscula'</i>	Cool	Bunch	565,000	1.0
Lincoln smooth brome	<i>Bromus inermis leys 'Lincoln'</i>	Cool	Sod	130,000	3.0
Sodar streambank wheatgrass	<i>Agropyron riparium 'Sodar'</i>	Cool	Sod	170,000	2.5
Arriba western wheatgrass	<i>Agropyron smithii 'Arriba'</i>	Cool	Sod	110,000	7.0
<b>Total</b>					<b>15.5</b>
<b>High Water Table Soil Seed Mix</b>					
Meadow foxtail	<i>Alopecurus pratensis</i>	Cool	Sod	900,000	0.5
Redtop	<i>Agrostis alba</i>	Warm	Open sod	5,000,000	0.25
Reed canarygrass	<i>Phalaris arundinacea</i>	Cool	Sod	68,000	0.5
Lincoln smooth brome	<i>Bromus inermis leys 'Lincoln'</i>	Cool	Sod	130,000	3.0
Pathfinder switchgrass	<i>Panicum virgatum 'Pathfinder'</i>	Warm	Sod	389,000	1.0
Alkar tall wheatgrass	<i>Agropyron elongatum 'Alkar'</i>	Cool	Bunch	79,000	5.5
<b>Total</b>					<b>10.75</b>
<b>Transition Turf Seed Mix<sup>c</sup></b>					
Ruebens Canadian bluegrass	<i>Poa compressa 'Ruebens'</i>	Cool	Sod	2,500,000	0.5
Dural hard fescue	<i>Festuca ovina 'duriscula'</i>	Cool	Bunch	565,000	1.0
Citation perennial ryegrass	<i>Lolium perenne 'Citation'</i>	Cool	Sod	247,000	3.0
Lincoln smooth brome	<i>Bromus inermis leys 'Lincoln'</i>	Cool	Sod	130,000	3.0
<b>Total</b>					<b>7.5</b>

TS/PS-4 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 June 2012

**Temporary and Permanent Seeding (TS/PS)**

EC-2

Table TS/PS-2. Minimum Drill Seeding Rates for Perennial Grasses (cont.)

Common Name	Botanical Name	Growth Season <sup>a</sup>	Growth Form	Seeds/ Pound	Pounds of PLS/Acre
<b>Sandy Soil Seed Mix</b>					
Blue grama	<i>Bouteloua gracilis</i>	Warm	Sod-forming bunchgrass	825,000	0.5
Camper little bluestem	<i>Schizachyrium scoparium 'Camper'</i>	Warm	Bunch	240,000	1.0
Prairie sandreed	<i>Calamovilfa longifolia</i>	Warm	Open sod	274,000	1.0
Sand dropseed	<i>Sporobolus cryptandrus</i>	Cool	Bunch	5,298,000	0.25
Vaughn sidecoats grama	<i>Bouteloua curtipendula 'Vaughn'</i>	Warm	Sod	191,000	2.0
Arriba western wheatgrass	<i>Agropyron smithii 'Arriba'</i>	Cool	Sod	110,000	5.5
<b>Total</b>					<b>10.25</b>
<b>Heavy Clay, Rocky Foothill Seed Mix</b>					
Ephraim crested wheatgrass <sup>d</sup>	<i>Agropyron cristatum 'Ephraim'</i>	Cool	Sod	175,000	1.5
Oahe Intermediate wheatgrass	<i>Agropyron intermedium 'Oahe'</i>	Cool	Sod	115,000	5.5
Vaughn sidecoats grama <sup>e</sup>	<i>Bouteloua curtipendula 'Vaughn'</i>	Warm	Sod	191,000	2.0
Lincoln smooth brome	<i>Bromus inermis leys 'Lincoln'</i>	Cool	Sod	130,000	3.0
Arriba western wheatgrass	<i>Agropyron smithii 'Arriba'</i>	Cool	Sod	110,000	5.5
<b>Total</b>					<b>17.5</b>

<sup>a</sup> All of the above seeding mixes and rates are based on drill seeding followed by crimped straw mulch. These rates should be doubled if seed is broadcast and should be increased by 50 percent if the seeding is done using a Brillion Drill or is applied through hydraulic seeding. Hydraulic seeding may be substituted for drilling only where slopes are steeper than 3:1. If hydraulic seeding is used, hydraulic mulching should be done as a separate operation.

<sup>b</sup> See Table TS/PS-3 for seeding dates.

<sup>c</sup> If site is to be irrigated, the transition turf seed rates should be doubled.

<sup>d</sup> Crested wheatgrass should not be used on slopes steeper than 6H to 1V.

<sup>e</sup> Can substitute 0.5 lbs PLS of blue grama for the 2.0 lbs PLS of Vaughn sidecoats grama.

June 2012 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 TS/PS-5

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PREPARED FOR  
**SR LAND, LLC**  
 20 BOULDER CRESCENT  
 SUITE 201  
 COLORADO SPRINGS, CO 80903  
 JAMES F. MORLEY  
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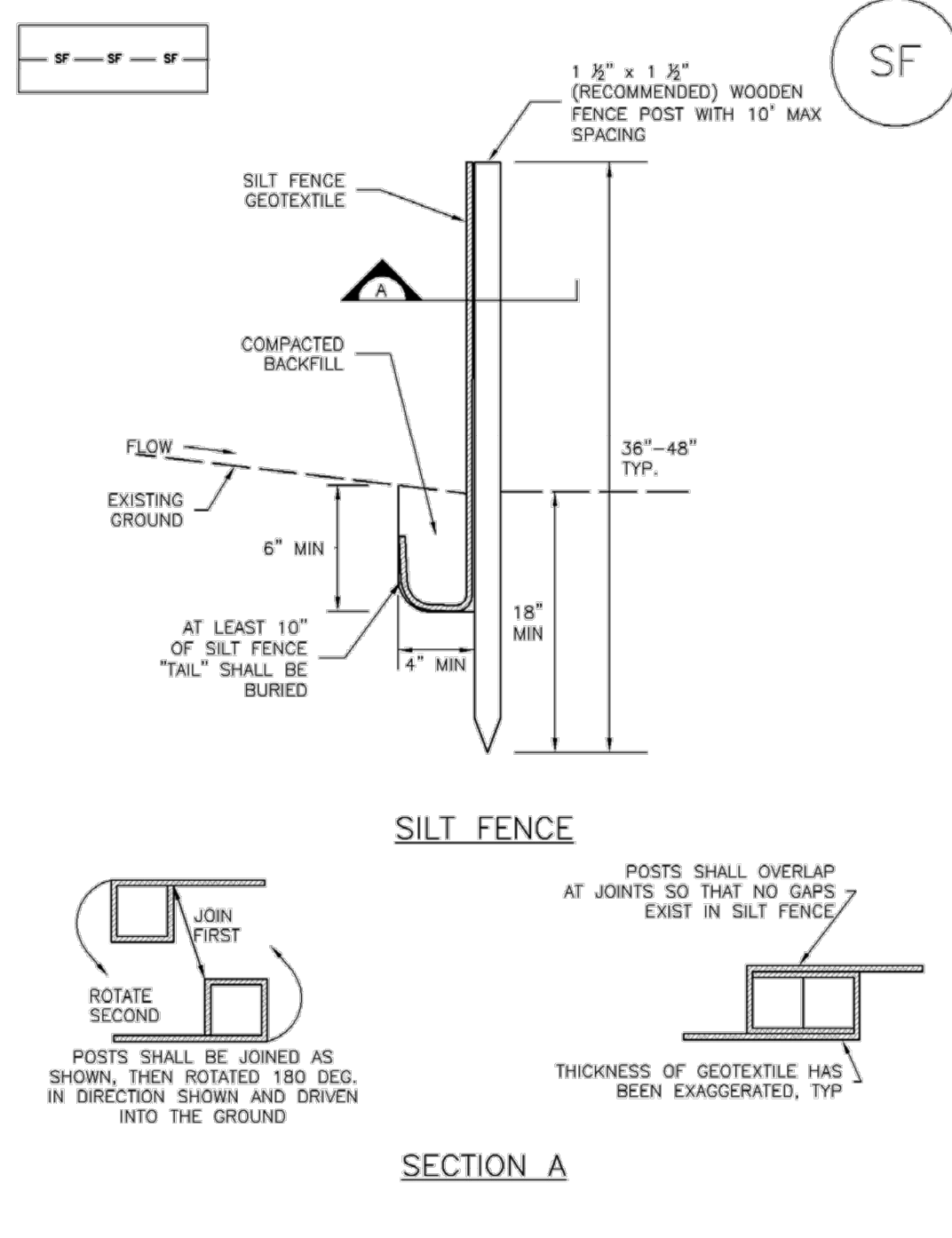
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H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY	No.	REVISION	BY	DATE

HOMESTEAD NORTH AT  
 STERLING RANCH FILING NO. 1  
 DETAIL

**Silt Fence (SF)**

SC-1



SF-1. SILT FENCE

November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 SF-3

SC-1

**Silt Fence (SF)**

- SILT FENCE INSTALLATION NOTES**
- SILT FENCE MUST BE PLACED AWAY FROM THE TOE OF THE SLOPE TO ALLOW FOR WATER PONDING. SILT FENCE AT THE TOE OF A SLOPE SHOULD BE INSTALLED IN A FLAT LOCATION AT LEAST SEVERAL FEET (2-5 FT) FROM THE TOE OF THE SLOPE TO ALLOW ROOM FOR PONDING AND DEPOSITION.
  - A UNIFORM 6" X 4" ANCHOR TRENCH SHALL BE EXCAVATED USING TRENCHER OR SILT FENCE INSTALLATION DEVICE. NO ROAD GRADERS, BACKHOES, OR SIMILAR EQUIPMENT SHALL BE USED.
  - COMPACT ANCHOR TRENCH BY HAND WITH A "JUMPING JACK" OR BY WHEEL ROLLING. COMPACTATION SHALL BE SUCH THAT SILT FENCE RESISTS BEING PULLED OUT OF ANCHOR TRENCH BY HAND.
  - SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES. THERE SHOULD BE NO NOTICABLE SAG BETWEEN STAKES AFTER IT HAS BEEN ANCHORED TO THE STAKES.
  - SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES USING 1" HEAVY DUTY STAPLES OR NAILS WITH 1" HEADS. STAPLES AND NAILS SHOULD BE PLACED 3" ALONG THE FABRIC DOWN THE STAKE.
  - AT THE END OF A RUN OF SILT FENCE ALONG A CONTOUR, THE SILT FENCE SHOULD BE TURNED PERPENDICULAR TO THE CONTOUR TO CREATE A "U-HOOK." THE "U-HOOK" EXTENDING PERPENDICULAR TO THE CONTOUR SHOULD BE OF SUFFICIENT LENGTH TO KEEP RUNOFF FROM FLOWING AROUND THE END OF THE SILT FENCE (TYPICALLY 10' - 20').
  - SILT FENCE SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.

- SILT FENCE MAINTENANCE NOTES**
- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
  - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
  - WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
  - SEDIMENT ACCUMULATED UPSTREAM OF THE SILT FENCE SHOULD BE REMOVED AS NEEDED TO MAINTAIN THE FUNCTIONALITY OF THE BMP, TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 6".
  - REPAIR OR REPLACE SILT FENCE WHEN THERE ARE SIGNS OF WEAR, SUCH AS SAGGING, TEARING, OR COLLAPSE.
  - SILT FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION, OR IS REPLACED BY AN EQUIVALENT PERIMETER SEDIMENT CONTROL BMP.
  - WHEN SILT FENCE IS REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.
- (DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, NOT AVAILABLE IN AUTOCAD)  
NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

SF-4 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 November 2010

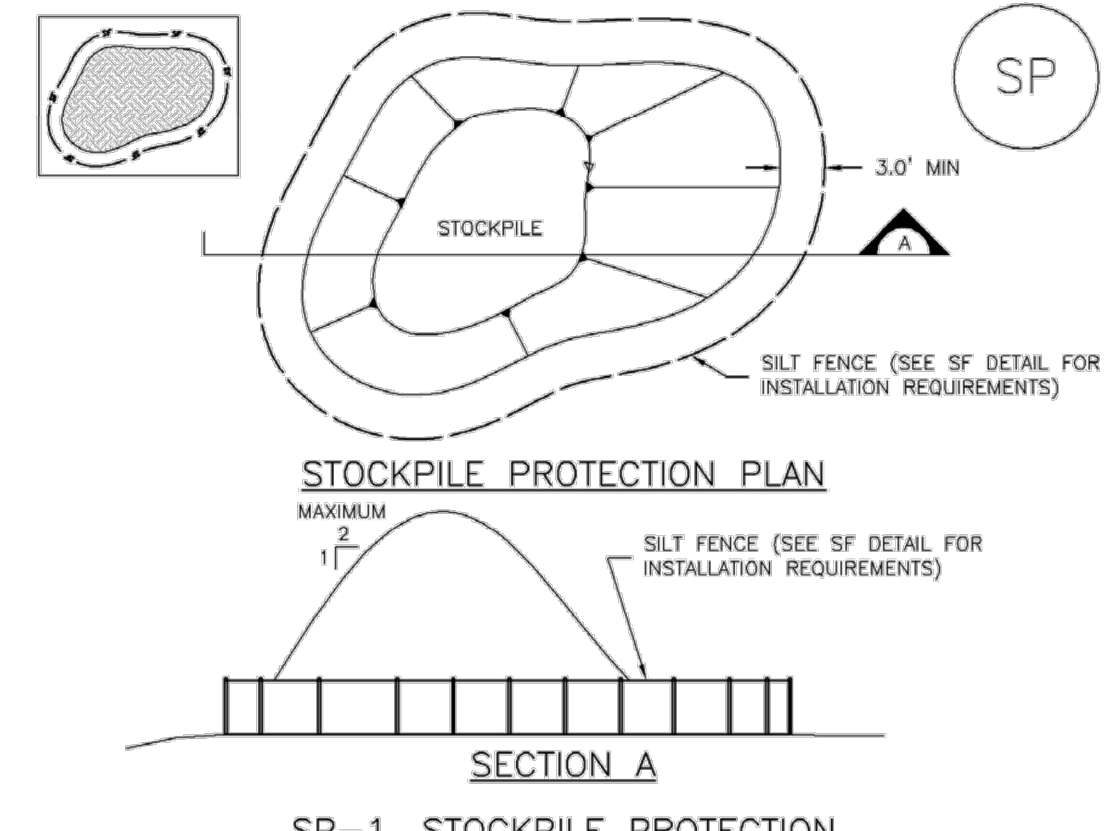
**SM-4 Vehicle Tracking Control (VTC)**

- STABILIZED CONSTRUCTION ENTRANCE/EXIT INSTALLATION NOTES**
- SEE PLAN VIEW FOR -LOCATION OF CONSTRUCTION ENTRANCE(S)/EXIT(S). -TYPE OF CONSTRUCTION ENTRANCE(S)/EXIT(S) (WITH/WITHOUT WHEEL WASH, CONSTRUCTION MAT OR TRM).
  - CONSTRUCTION MAT OR TRM STABILIZED CONSTRUCTION ENTRANCES ARE ONLY TO BE USED ON SHORT DURATION PROJECTS (TYPICALLY RANGING FROM A WEEK TO A MONTH) WHERE THERE WILL BE LIMITED VEHICULAR ACCESS.
  - A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE LOCATED AT ALL ACCESS POINTS WHERE VEHICLES ACCESS THE CONSTRUCTION SITE FROM PAVED RIGHT-OF-WAYS.
  - STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
  - A NON-WOVEN GEOTEXTILE FABRIC SHALL BE PLACED UNDER THE STABILIZED CONSTRUCTION ENTRANCE/EXIT PRIOR TO THE PLACEMENT OF ROCK.
  - UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.

- STABILIZED CONSTRUCTION ENTRANCE/EXIT MAINTENANCE NOTES**
- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
  - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
  - WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
  - ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY TO THE STABILIZED ENTRANCE/EXIT TO MAINTAIN A CONSISTENT DEPTH.
  - SEDIMENT TRACKED ONTO PAVED ROADS IS TO BE REMOVED THROUGHOUT THE DAY AND AT THE END OF THE DAY BY SHOVELING OR SWEEPING. SEDIMENT MAY NOT BE WASHED DOWN STORM SEWER DRAINS.
- NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.
- (DETAILS ADAPTED FROM CITY OF BROOMFIELD, COLORADO, NOT AVAILABLE IN AUTOCAD)

VTC-6 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 November 2010

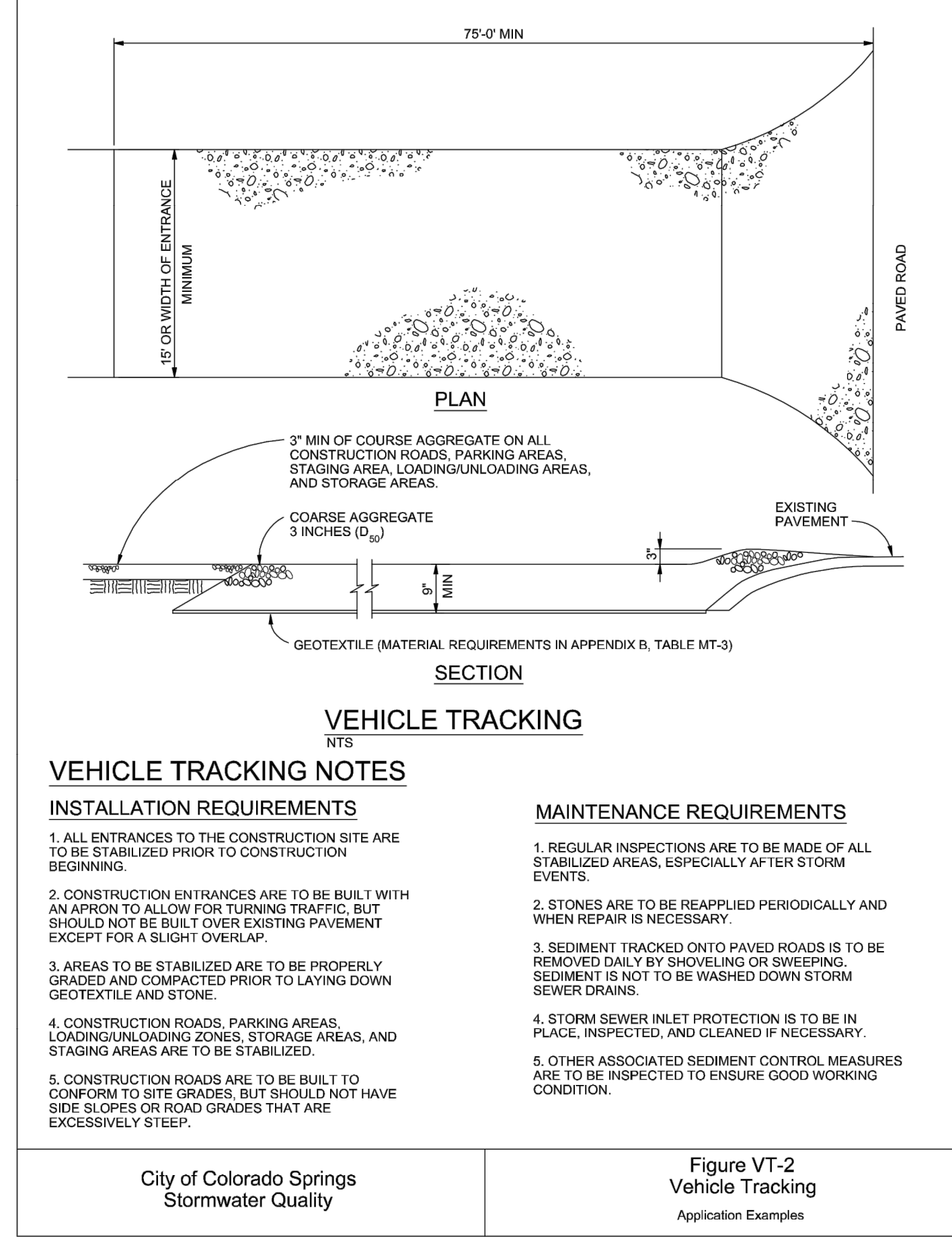
**MM-2 Stockpile Management (SP)**



SP-1. STOCKPILE PROTECTION

- STOCKPILE PROTECTION INSTALLATION NOTES**
- SEE PLAN VIEW FOR: -LOCATION OF STOCKPILES. -TYPE OF STOCKPILE PROTECTION.
  - INSTALL PERIMETER CONTROLS IN ACCORDANCE WITH THEIR RESPECTIVE DESIGN DETAILS. SILT FENCE IS SHOWN IN THE STOCKPILE PROTECTION DETAILS; HOWEVER, OTHER TYPES OF PERIMETER CONTROLS INCLUDING SEDIMENT CONTROL LOGS OR ROCK SOCKS MAY BE SUITABLE IN SOME CIRCUMSTANCES. CONSIDERATIONS FOR DETERMINING THE APPROPRIATE TYPE OF PERIMETER CONTROL FOR A STOCKPILE INCLUDE: WHETHER THE STOCKPILE IS LOCATED ON A PERVIOUS OR IMPERVIOUS SURFACE, THE RELATIVE HEIGHTS OF THE PERIMETER CONTROL AND STOCKPILE, THE ABILITY OF THE PERIMETER CONTROL TO CONTAIN THE STOCKPILE WITHOUT FAILING IN THE EVENT THAT MATERIAL FROM THE STOCKPILE SHIFTS OR SLUMPS AGAINST THE PERIMETER, AND OTHER FACTORS.
  - STABILIZE THE STOCKPILE SURFACE WITH SURFACE ROUGHENING, TEMPORARY SEEDING AND MULCHING, EROSION CONTROL BLANKETS, OR SOIL BINDERS. SOILS STOCKPILED FOR AN EXTENDED PERIOD (TYPICALLY FOR MORE THAN 60 DAYS) SHOULD BE SEEDED AND MULCHED WITH A TEMPORARY GRASS COVER ONCE THE STOCKPILE IS PLACED (TYPICALLY WITHIN 14 DAYS). USE OF MULCH ONLY OR A SOIL BINDER IS ACCEPTABLE IF THE STOCKPILE WILL BE IN PLACE FOR A MORE LIMITED TIME PERIOD (TYPICALLY 30-60 DAYS).
  - FOR TEMPORARY STOCKPILES ON THE INTERIOR PORTION OF A CONSTRUCTION SITE, WHERE OTHER DOWNGRADIENT CONTROLS, INCLUDING PERIMETER CONTROL, ARE IN PLACE, STOCKPILE PERIMETER CONTROLS MAY NOT BE REQUIRED.

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City of Colorado Springs Stormwater Quality Figure VT-2 Vehicle Tracking Application Examples

3-54

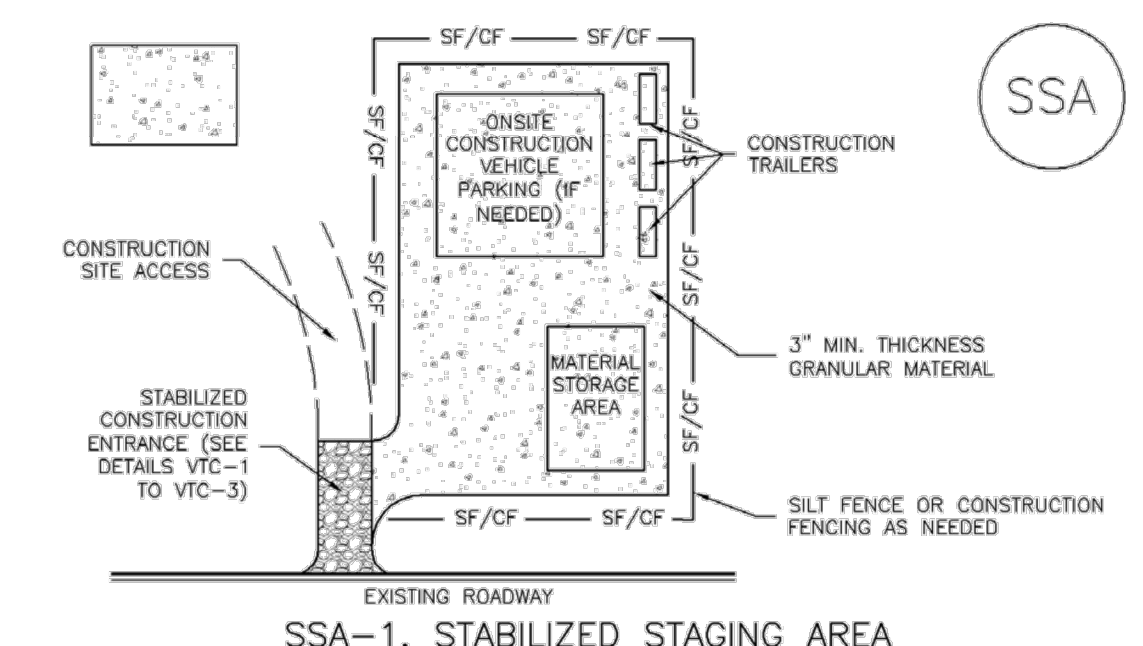
**MM-2 Stockpile Management (SM)**

- STOCKPILE PROTECTION MAINTENANCE NOTES**
- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
  - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
  - WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- STOCKPILE PROTECTION MAINTENANCE NOTES**
- IF PERIMETER PROTECTION MUST BE MOVED TO ACCESS SOIL STOCKPILE, REPLACE PERIMETER CONTROLS BY THE END OF THE WORKDAY.
  - STOCKPILE PERIMETER CONTROLS CAN BE REMOVED ONCE ALL THE MATERIAL FROM THE STOCKPILE HAS BEEN USED.
- (DETAILS ADAPTED FROM PARKER, COLORADO, NOT AVAILABLE IN AUTOCAD)  
NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

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**Stabilized Staging Area (SSA)**

SM-6



SSA-1. STABILIZED STAGING AREA

- STABILIZED STAGING AREA INSTALLATION NOTES**
- SEE PLAN VIEW FOR -LOCATION OF STAGING AREA(S). -CONTRACTOR MAY ADJUST LOCATION AND SIZE OF STAGING AREA WITH APPROVAL FROM THE LOCAL JURISDICTION.
  - STABILIZED STAGING AREA SHOULD BE APPROPRIATE FOR THE NEEDS OF THE SITE. OVERSIZING RESULTS IN A LARGER AREA TO STABILIZE FOLLOWING CONSTRUCTION.
  - STAGING AREA SHALL BE STABILIZED PRIOR TO OTHER OPERATIONS ON THE SITE.
  - THE STABILIZED STAGING AREA SHALL CONSIST OF A MINIMUM 3" THICK GRANULAR MATERIAL.
  - UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.
  - ADDITIONAL PERIMETER BMPs MAY BE REQUIRED INCLUDING BUT NOT LIMITED TO SILT FENCE AND CONSTRUCTION FENCING.
- STABILIZED STAGING AREA MAINTENANCE NOTES**
- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
  - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
  - WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
  - ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY IF RUTTING OCCURS OR UNDERLYING SUBGRADE BECOMES EXPOSED.

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**SM-6 Stabilized Staging Area (SSA)**

- STABILIZED STAGING AREA MAINTENANCE NOTES**
- STABILIZED STAGING AREA SHALL BE ENLARGED IF NECESSARY TO CONTAIN PARKING, STORAGE, AND UNLOADING/LOADING OPERATIONS.
  - THE STABILIZED STAGING AREA SHALL BE REMOVED AT THE END OF CONSTRUCTION. THE GRANULAR MATERIAL SHALL BE REMOVED OR, IF APPROVED BY THE LOCAL JURISDICTION, USED ON SITE, AND THE AREA COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY LOCAL JURISDICTION.
- NOTE: MANY MUNICIPALITIES PROHIBIT THE USE OF RECYCLED CONCRETE AS GRANULAR MATERIAL FOR STABILIZED STAGING AREAS DUE TO DIFFICULTIES WITH RE-ESTABLISHMENT OF VEGETATION IN AREAS WHERE RECYCLED CONCRETE WAS PLACED.
- NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.
- (DETAILS ADAPTED FROM DOUGLAS COUNTY, COLORADO, NOT AVAILABLE IN AUTOCAD)

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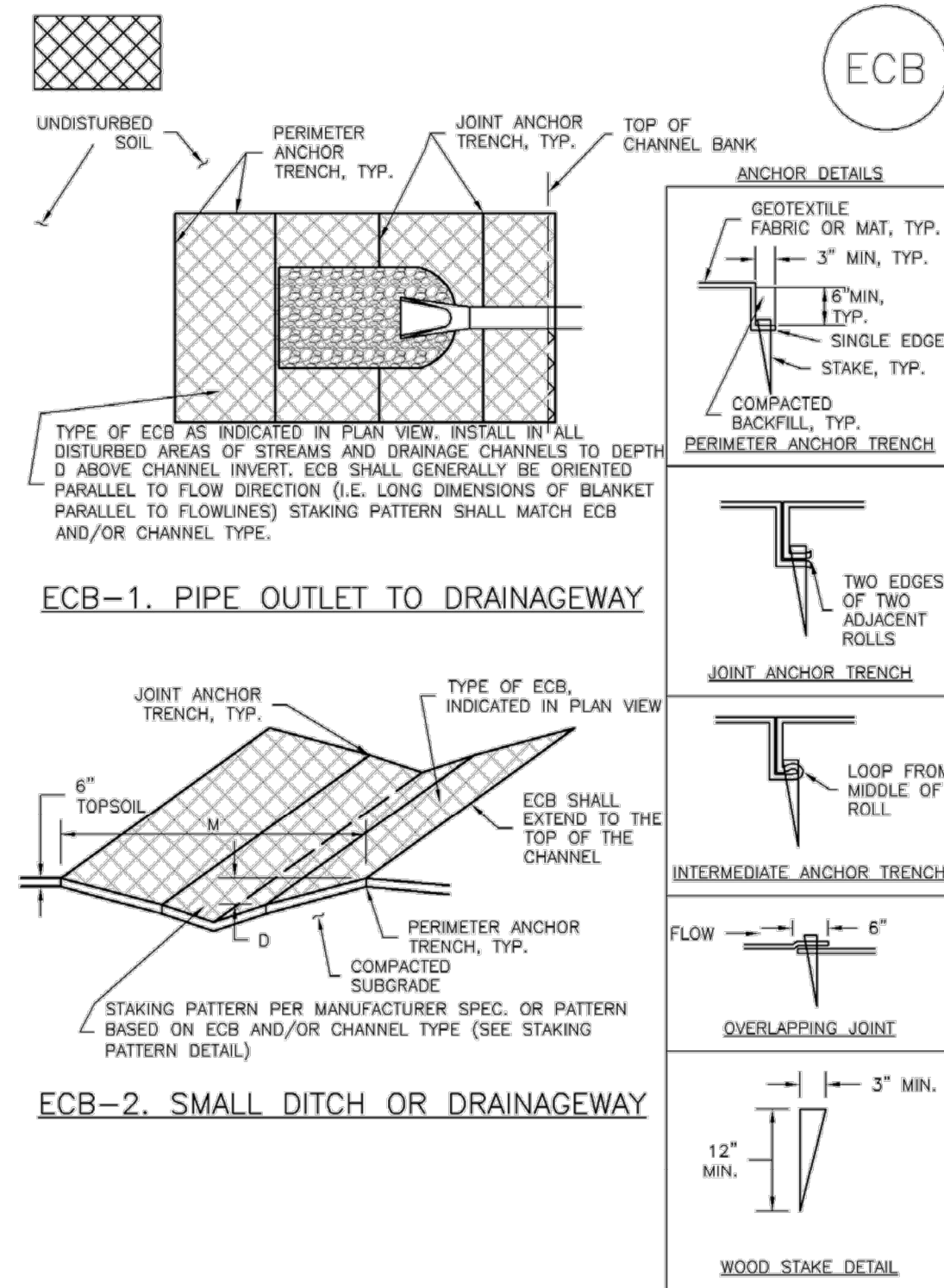
PREPARED FOR  
**SR LAND, LLC**  
20 BOULDER CRESCENT  
SUITE 201  
COLORADO SPRINGS, CO 80903  
JAMES F. MORLEY  
(719) 471-1742

**J.R. ENGINEERING**  
A Westman Company  
Central 303-740-9383 • Colorado Springs 719-583-2593  
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**EC-6 Rolled Erosion Control Products (RECP)**



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**Rock Sock (RS) SC-5**

**ROCK SOCK MAINTENANCE NOTES**

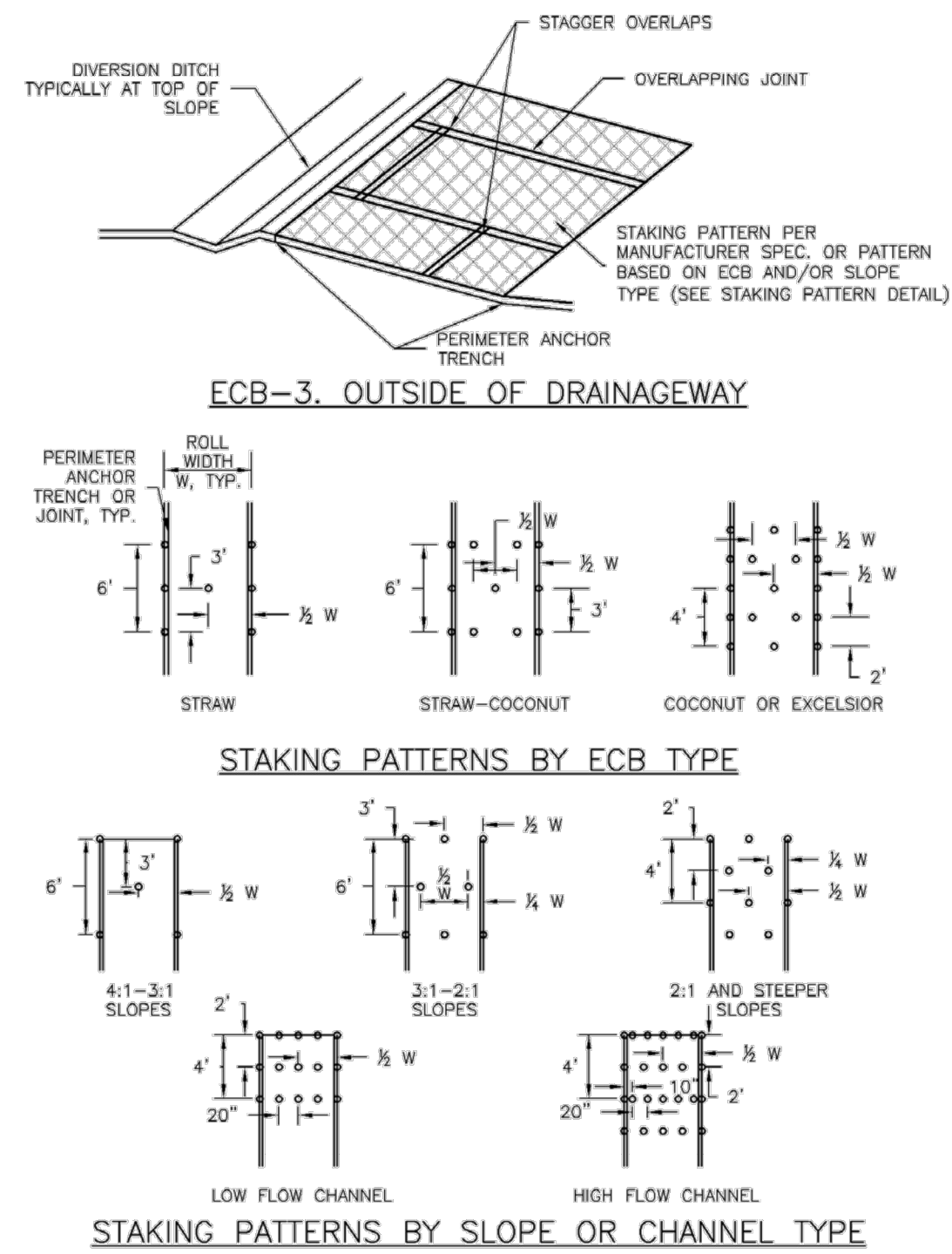
- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED, OR DAMAGED BEYOND REPAIR.
- SEDIMENT ACCUMULATED UPSTREAM OF ROCK SOCKS SHALL BE REMOVED AS NEEDED TO MAINTAIN FUNCTIONALITY OF THE BMP. TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 1/2 OF THE HEIGHT OF THE ROCK SOCK.
- ROCK SOCKS ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.
- WHEN ROCK SOCKS ARE REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

(DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, COLORADO, NOT AVAILABLE IN AUTOCAD)  
 NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

NOTE: THE DETAILS INCLUDED WITH THIS FACT SHEET SHOW COMMONLY USED, CONVENTIONAL METHODS OF ROCK SOCK INSTALLATION IN THE DENVER METROPOLITAN AREA. THERE ARE MANY OTHER SIMILAR PROPRIETARY PRODUCTS ON THE MARKET. UDFCD NEITHER ENDORSES NOR DISCOURAGES USE OF PROPRIETARY PROTECTION PRODUCTS; HOWEVER, IN THE EVENT PROPRIETARY METHODS ARE USED, THE APPROPRIATE DETAIL FROM THE MANUFACTURER MUST BE INCLUDED IN THE SWMP AND THE BMP MUST BE INSTALLED AND MAINTAINED AS SHOWN IN THE MANUFACTURER'S DETAILS.

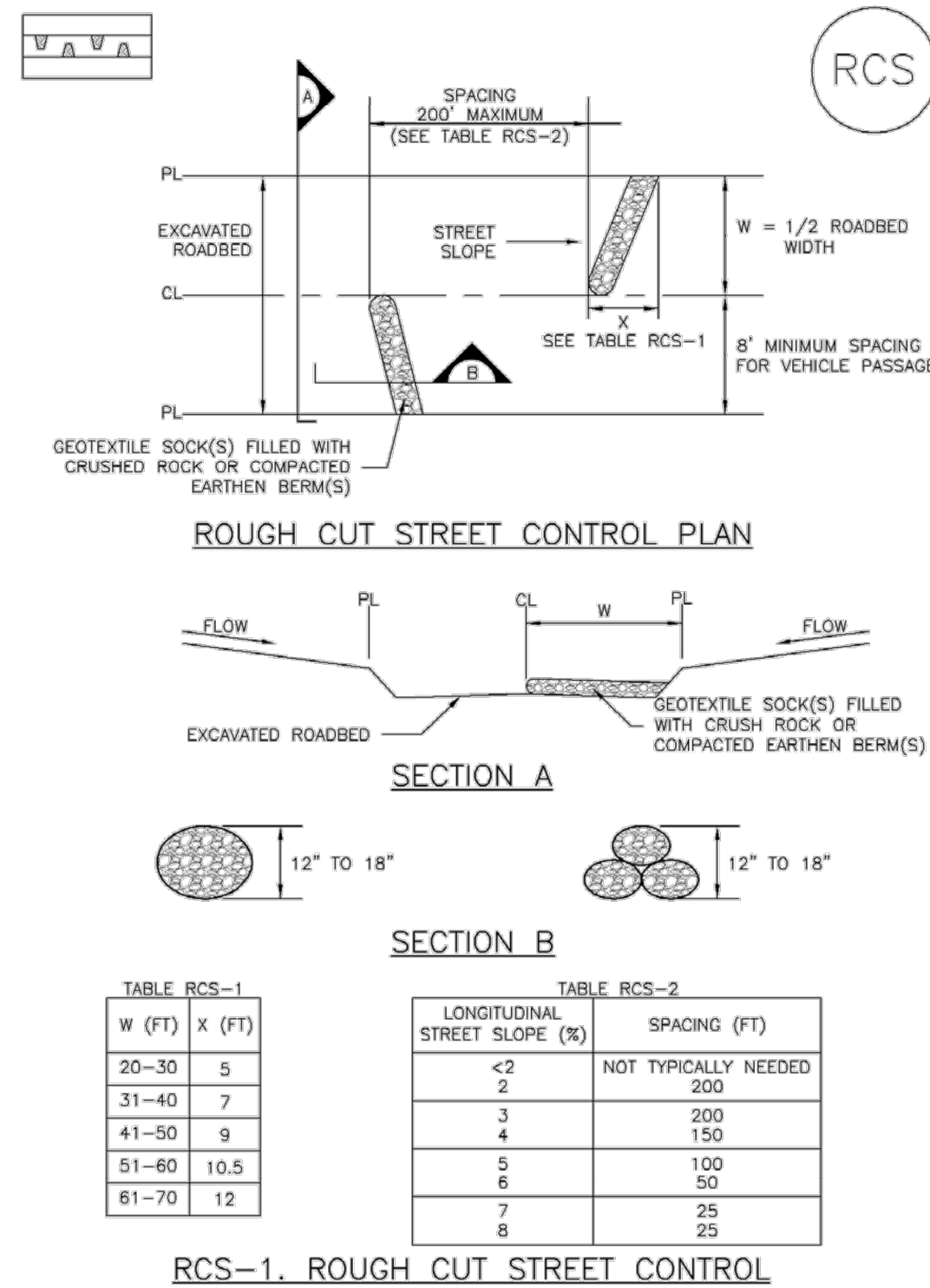
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**Roller Erosion Control Products (RECP) EC-6**



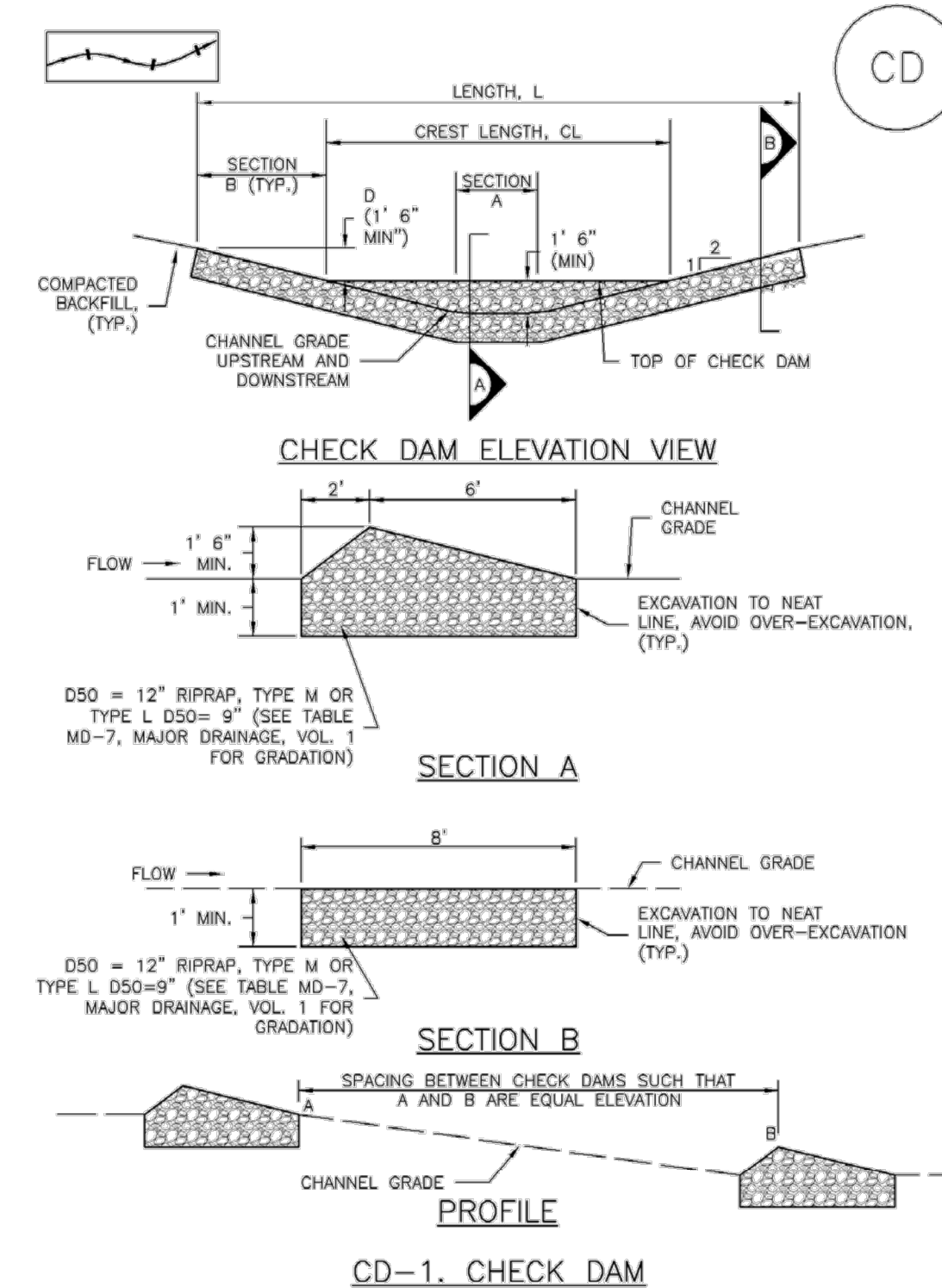
RECP-7 Urban Drainage and Flood Control District November 2010  
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**Rough Cut Street Control (RCS) EC-9**



RCS-2 Urban Drainage and Flood Control District November 2010  
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**Check Dams (CD) EC-12**



CD-3 Urban Drainage and Flood Control District November 2010  
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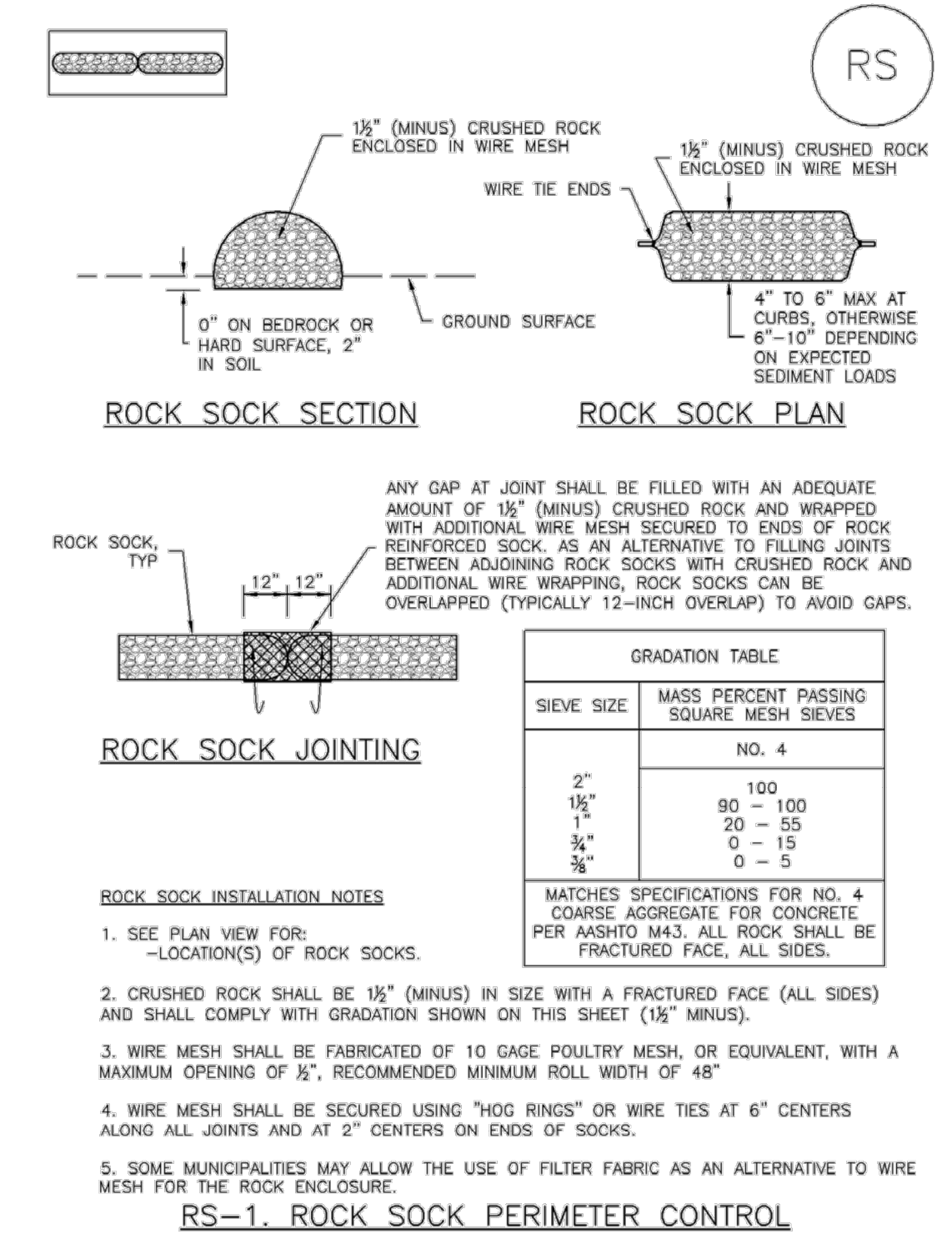
**Rough Cut Street Control (RCS) EC-9**

**ROUGH CUT STREET CONTROL INSTALLATION NOTES**

- SEE PLAN VIEW FOR LOCATION OF ROUGH CUT STREET CONTROL MEASURES.
  - ROUGH CUT STREET CONTROL SHALL BE INSTALLED AFTER A ROAD HAS BEEN CUT IN, AND WILL NOT BE PAVED FOR MORE THAN 14 DAYS OR FOR TEMPORARY CONSTRUCTION ROADS THAT HAVE NOT RECEIVED ROAD BASE.
- ROUGH CUT STREET CONTROL INSPECTION AND MAINTENANCE NOTES**
- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
  - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
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**Rock Sock (RS) SC-5**



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**SR LAND, LLC**  
 20 BOULDER CRESCENT  
 SUITE 201  
 COLORADO SPRINGS, CO 80903  
 JAMES F. MORLEY  
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