

BENT GRASS EAST COMMERCIAL FILING 3
EL PASO COUNTY, COLORADO
PRELIMINARY PLAN
TR BB BENT GRASS EAST COMMERCIAL NO 2B

LEGAL DESCRIPTION

TR BB BENT GRASS EAST COMMERICAL FIL NO 2B

GENERAL NOTES

- Private roads are to be paved asphalt with concrete curbs.
- Landscaping in public-rights-of-way will be maintained by the Bent Grass Commercial Merchants Association.
- All streets shall be named and constructed to El Paso County Standards and any approved deviations. Upon acceptance by El Paso County, public streets shall be maintained by the County.
- Notwithstanding anything depicted in this plan in words or graphic representation, all design and construction related to roads, storm drainage and erosion control shall conform to the standards and requirements of the most recent version of the relevant adopted El Paso County standards, including the Land Development Code (LDC), the ECM, the Drainage Criteria Manual (DCM), and the DCM Volume 2. Any deviations from these standards must be specifically requested and approved in writing to be acceptable. The approval of this Preliminary Plan does not implicitly allow any deviations or waivers that have not been otherwise approved through the deviation approval process.
- The following utility providers will serve the Bent Grass East Commercial Filing 3 Preliminary Plan area:
Water: Woodmen Hills Metropolitan District
Wastewater: Woodmen Hills Metropolitan District
Gas: CSU
Electric: MVEA

FEMA FLOODPLAIN NOTE

- Floodplain Statement: This site located at 8090 MERIDIAN PARK DR is not within a designated F.E.M.A. Floodplain as determined by the flood insurance rate map, community panel number 08041C0553G, effective September 15, 2020.

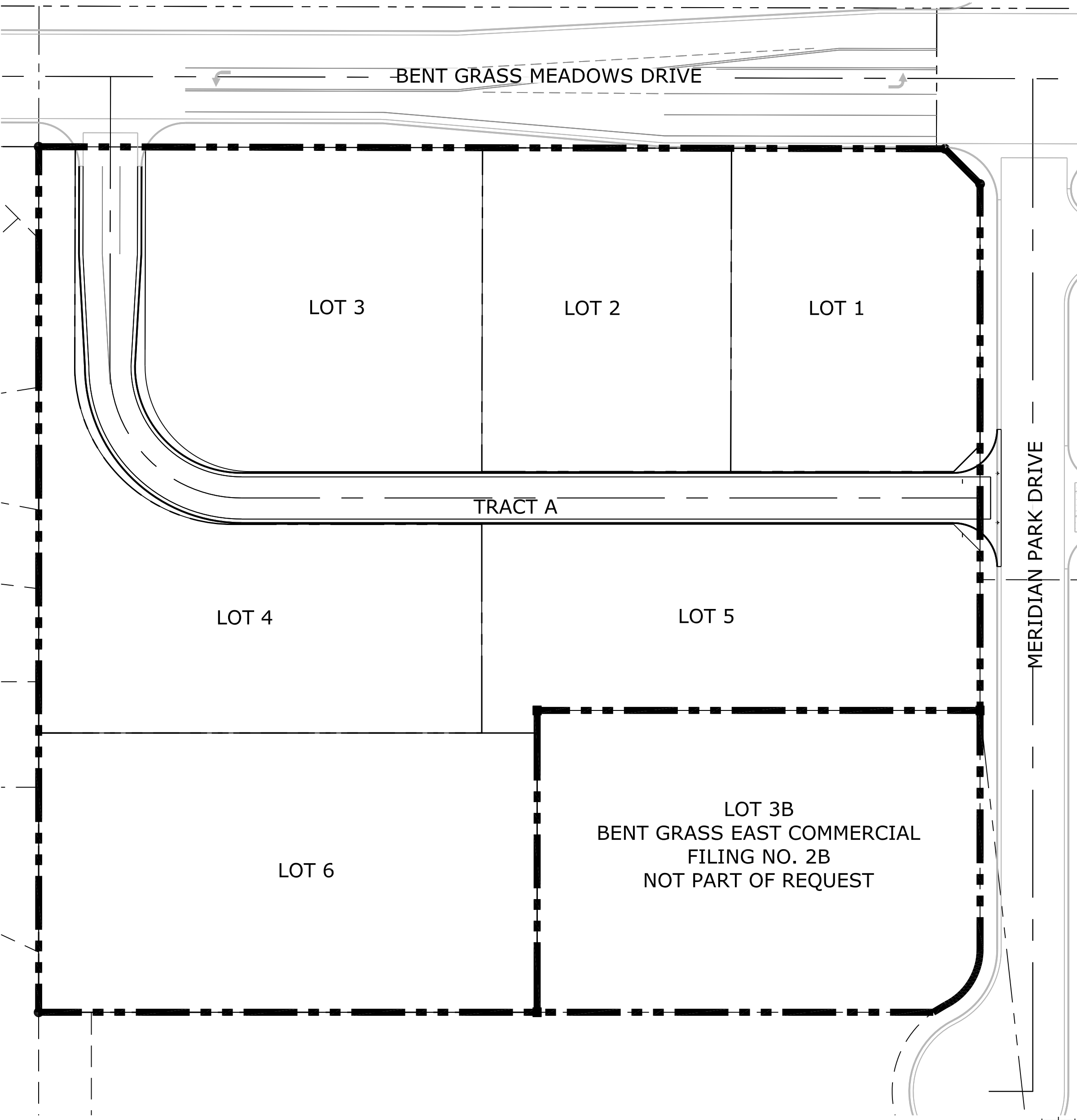
GEOLOGIC HAZARD DISCLOSURE STATEMENT

The following lots have been found to be impacted by geologic hazards. Mitigation measures and a map of the hazard area can be found in the Geohazard Evaluation Report prepared by Entech Engineering Inc., dated 10 15, 2020. These reports are held in the Bent Grass Commercial Preliminary Plan File (xxxxx) at the El Paso County Planning and Community Development Department.

- Potentially Seasonally High Groundwater:Lots 1-6
- Other Hazard:
 - Artificial Fill: Eastern portion of the site.
 - Loose Soils:Lots 1-6.

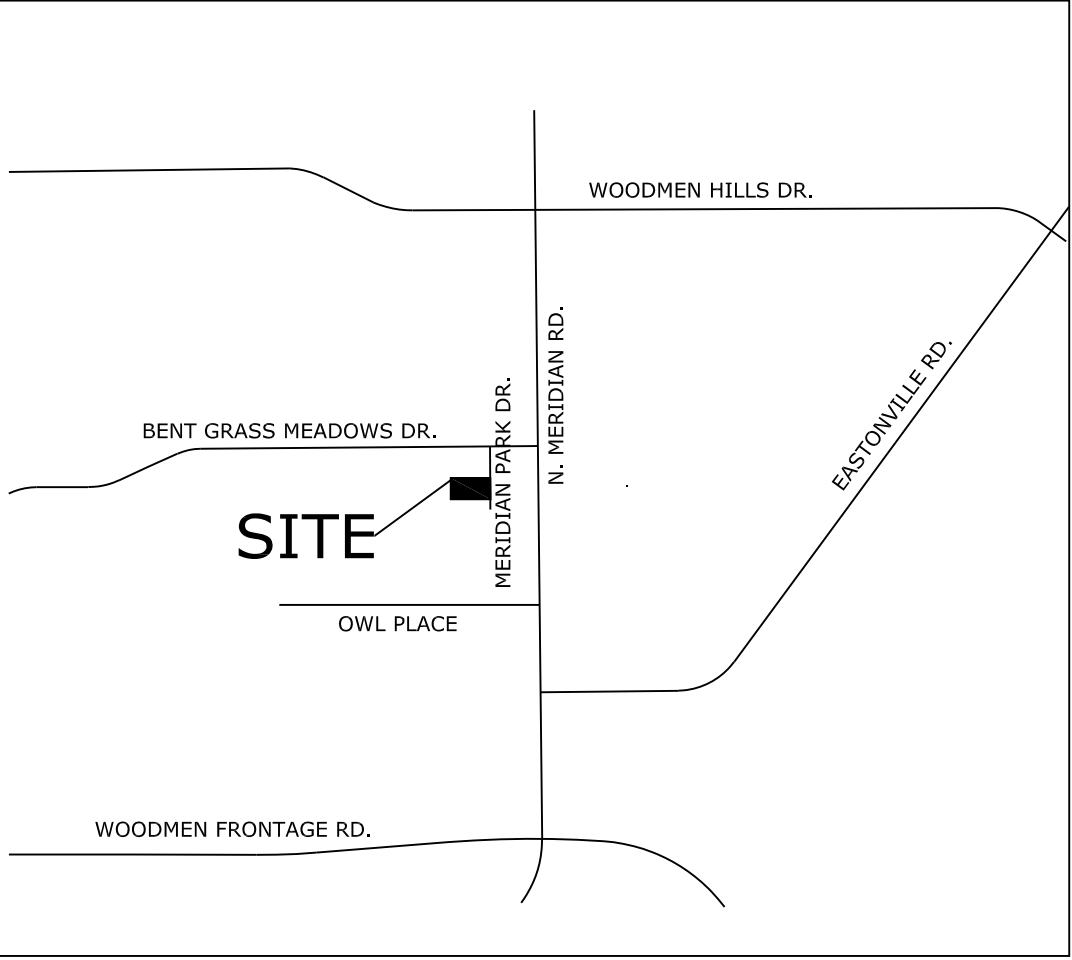
In Areas of High Groundwater:

All foundations shall comply with recommendations in the Soils & Geology Report



OVERALL MAP

VICINITY MAP



SITE DATA

OWNER:
LAND FIRST INC.
1378 PROMONTORY BLUFF VW
COLORADO SPRINGS CO 80921-3945

PREPARED BY:
NES INC.
619 N. CASCADE AVE STE 200
COLORADO SPRINGS, CO 80903

Tax ID Number: 5301101060

Early Assistance: EA2085

Current Zoning: CS

Building Setbacks
Front: 25'
Side: 25'
Rear: 25'
Maximum Height: 45'

Landscape Setback:
Bent Grass Meadows Drive: 10'

Landscape Buffer:
West Boundary: 15'

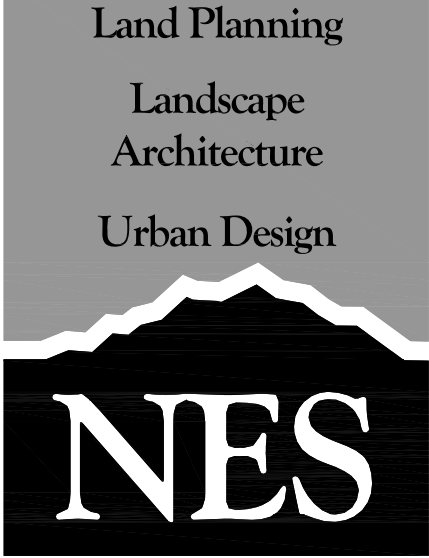
Development Schedule: Spring 2021

Proposed Land Use: Commercial

Land Use:
Lots: 4.54 ac - 6 Lots (90%)
Tracts: 0.51 ac (10%)
Total Area: 5.05 ac (219,875 SF)

SHEET INDEX

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Sheet 6 of 7:	LANDSCAPE NOTES AND DETAILS
Sheet 7 of 7:	LANDSCAPE PLAN



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Fax 719.471.0267

www.nescolorado.com

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BENT GRASS
EAST
COMMERCIAL
FILING 3

PRELIMINARY PLAN

8090 MERIDIAN PARK DR
EL PASO COUNTY, CO

DATE: 11.16.20
PROJECT MGR: E. GANAWAY
PREPARED BY: J. SHAGIN

ENTITLEMENT

DATE: BY: DESCRIPTION:

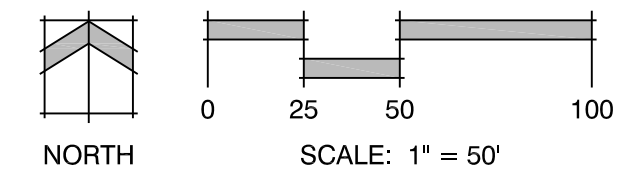
COVER SHEET

1
1 OF 7

CPC #

	Name	Mailing Address	City, State, Zip
1	GLEESON, MATTHEW R GRUBESIC, ABIGAIL L	11739 SEDGE CT	PEYTON CO, 80831-6739
2	CHASE, BRUCE L CHASE, LINDA S	11745 SEDGE CT	PEYTON CO, 80831-6739
3	BOGSTAD, DEVAN M MARKLE, ALYSSA M	11751 SEDGE CT	PEYTON CO, 80831-6739
4	JIMENEZ-DIAZ, ANDRES A ACOSTA-ORTIZ, KARLA J	11757 SEDGE CT	PEYTON CO, 80831-6739
5	MARCZYK JEREMY THOMAS	11763 SEDGE CT	PEYTON CO, 80831-6739
6	GROSS JAMES	11769 SEDGE CT	PEYTON CO, 80831-6739
7	WAWRZYNIAK, KEITH P WAWRZYNIAK, NANCY A	15620 EASTONVILLE RD	ELBERT CO, 80106-8818
8	GUDGEON DAVID GUDGEON KELSEY	11781 SEDGE CT	PEYTON CO, 80831-6739
9	WILMORE JUNCTION LLC	7850 N MERIDIAN RD	PEYTON CO, 80831-6739
10	INTERNATIONAL DEVELOPMENT COMPANY	102 E PIKES PEAK AVE STE 201	COLORADO SPRINGS CO, 80903-1823
11	MDC COAST 6 LLC	11995 EL CAMINO REAL	SAN DIEGO CA, 92130-2539
12	REILLY, RAYMOND L JR REILLY, TANYA T CASE, LINDSAY J CASE, R W II	102 E. PIKES PEAK AVE #201	COLORADO SPRINGS CO, 80903-1823
13	8011 PROPERTIES LLC	8011 MERIDIAN PARK DR	PEYTON, CO 80831-8128
14	CLARK, AMY DVM PROPERTIES LLC	8036 MERIDIAN PARK DRIVE	PEYTON, CO 80831-8128
15	BENT GRASS METRO DISTRICT	660 SOUTHPOINTE CT STE 210	COLORADO SPRINGS CO, 80906-3874

	AREA		USE	Ownership/Maintenance
	SQ. FT.	AC.		
Tract A	22,099	0.51	Drive and Utility Access	Bent Grass Commercial Merchants Association



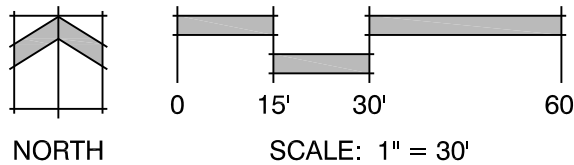
8090 MERIDIAN PARK DR
EL PASO COUNTY, CO

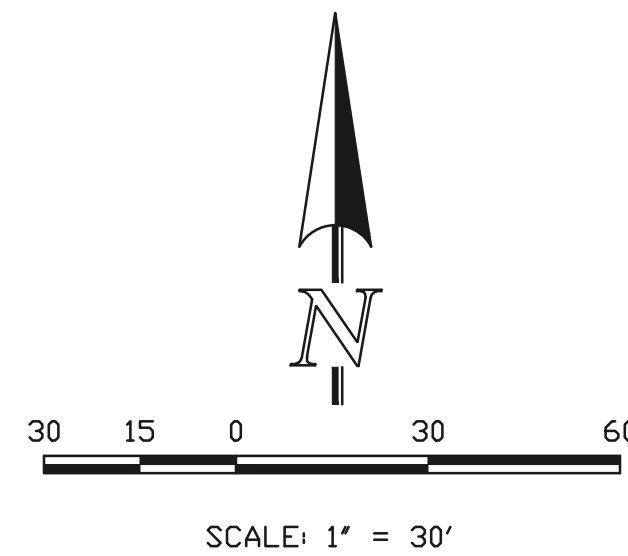
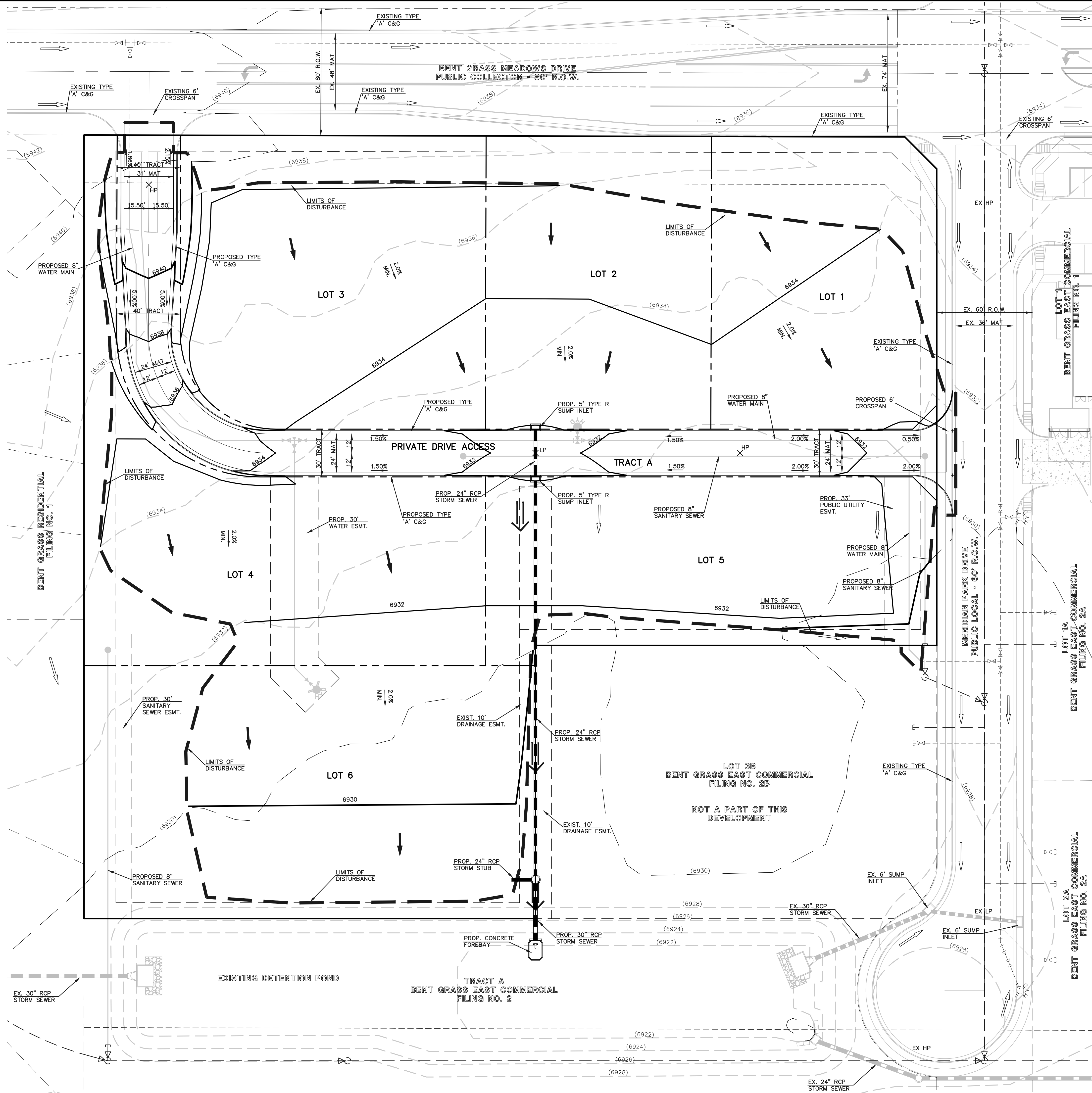
DATE: 11.16.20
PROJECT MGR: E. GANAWAY
PREPARED BY: J. SHAGIN

[illegible]

2
OF 7

PC #





LEGEND	
DESCRIPTION	SYMBOL
PROPOSED CONTOUR-10	
PROPOSED CONTOUR-2	
EXISTING CONTOUR-10	
EXISTING CONTOUR-2	
PROPERTY LINE	
BOUNDARY LINE	
PROPOSED STORM SEWER	
PROPOSED STORM INLET	
EXISTING STORM SEWER	
EXISTING STORM INLET	
EXISTING FIRE HYDRANT	
EXISTING WATER MAIN	
EXISTING SANITARY SEWER MAIN W/ MANHOLE	
PROPOSED SANITARY	
PROPOSED WATER	
LIMITS OF DISTURBANCE	
EXISTING FLOW DIRECTION	
PROPOSED FLOW	
HIGH POINT	HP
LOW POINT	LP
OVERFLOW ROUTE	



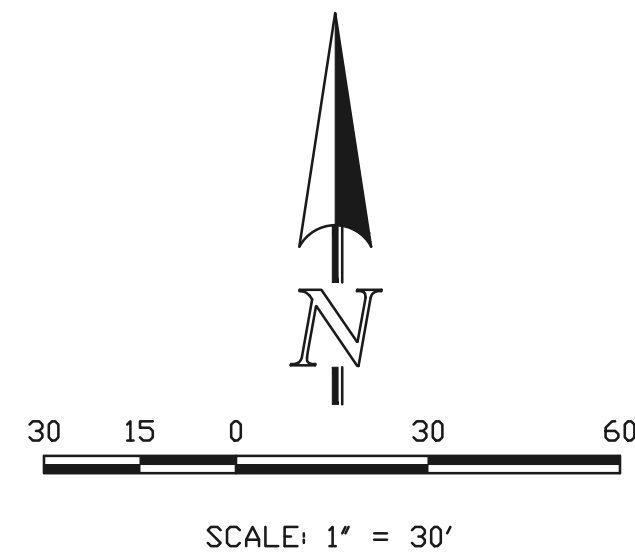
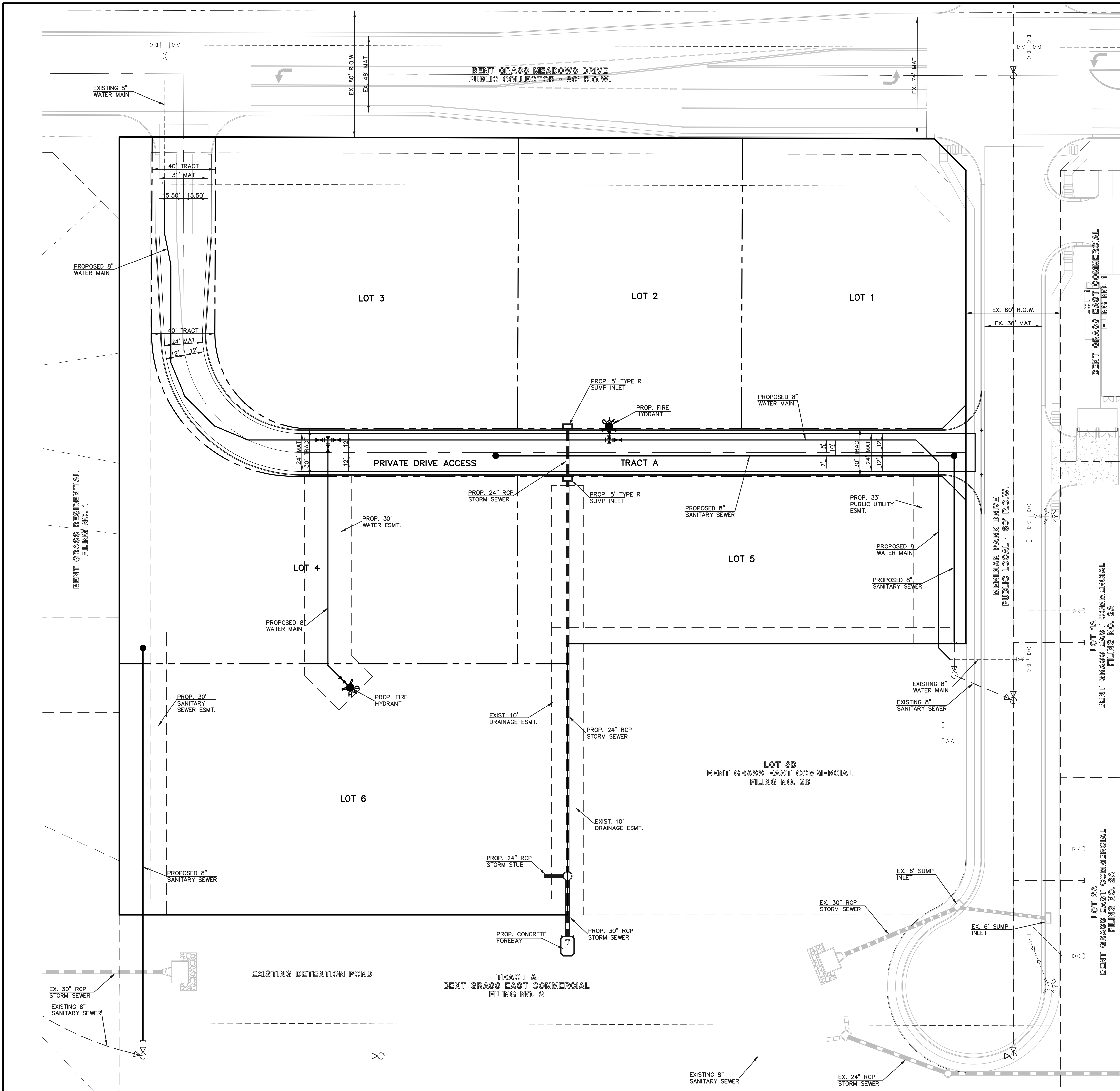
BENT GRASS EAST
COMMERCIAL FILING NO. 3
PRELIMINARY PLAN
PRELIMINARY GRADING PLAN

DESIGNED BY	PRA	SCALE	DATE	10-27-20
DRAWN BY	PRA	(H) 1"= 30'	SHEET	4 OF 7
CHECKED BY		(V) 1"= N/A	JOB NO.	2177.64


619 N. Cascade Avenue, Suite 200 (719)785-0790
Colorado Springs, Colorado 80903 (719)785-0799 (Fax)



N:\217764\DRAWINGS\DEVELOPMENT\217764-P1-01.dwg, 11/9/2020 11:26:00 AM, 1:1



LEGEND	
DESCRIPTION	SYMBOL
PROPERTY LINE	---
BOUNDARY LINE	---
PROPOSED STORM SEWER	=====
PROPOSED STORM INLET	□
EXISTING STORM SEWER	-----
EXISTING STORM INLET	□
EXISTING FIRE HYDRANT	⊙
EXISTING WATER MAIN	---
EXISTING SANITARY SEWER MAIN W/ MANHOLE	⊙
PROPOSED SANITARY	---
PROPOSED WATER	---



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**BENT GRASS EAST
COMMERCIAL FILING NO. 3**

PRELIMINARY PLAN
PRELIMINARY UTILITY PLAN

DESIGNED BY	PRA	SCALE	DATE
DRAWN BY	PRA	(H) 1"= 30'	10-27-20
CHECKED BY		(V) 1"= N/A	SHEET 5 OF 7
			JOB NO. 2177.64

LANDSCAPE NOTES

- ALL PRESERVATION AREAS CONTAINING VEGETATION DESIGNATED TO BE PRESERVED, SHALL BE FENCED OFF DURING CONSTRUCTION TO MINIMIZE DISTURBANCE IN THESE AREAS. ALL FENCING SHALL BE INSTALLED AROUND PRESERVED VEGETATION PRIOR TO ANY GRADING ON THE PROPERTY. A 4-FOOT, ORANGE, CONSTRUCTION SAFETY FENCE SHALL BE USED IN THIS APPLICATION.
- SOIL AMENDMENT - INCORPORATE 3 CUBIC YARDS/1000 S.F. AREA OF CLASS 2 A1 ORGANICS PREMIUM ORGANIC COMPOST ON TALL FESCUE SOD AREAS. INCORPORATE 2 CUBIC YARDS/1000 S.F. AREA OF CLASS 3 COMPOSTED COW MANURE (AGED 1 YEAR) ORGANIC COMPOST TO ALL SEED AREAS. AMENDMENTS MAY CHANGE TO BE BASED ON SOIL ANALYSIS OF FINAL INFILL.
- FOR GRADES REFER TO CIVIL ENGINEERING DRAWINGS.
- CONTRACTOR TO UTILIZE STOCKPILED TOPSOIL FROM GRADING OPERATION AS AVAILABLE. TILL INTO TOP 6" OF SOIL.
- CONTRACTOR TO APPLY EROSION CONTROL BLANKET TO ALL AREAS WITH 3:1 SLOPES.
- ALL SOD SHALL BE TALL FESCUE BLEND.
- NO SOD SHALL BE PLANTED ON SLOPES IN EXCESS OF 6:1 GRADIENT.
- FOR ALL SEED AREAS REFER TO SEED MIXES SPECIFIED ON THIS SHEET.
- ALL NATIVE SEED AREAS SHALL HAVE A TEMPORARY ABOVE-GROUND SPRAY IRRIGATION SYSTEM UTILIZED UNTIL SEED IS ESTABLISHED, AND ALL TREES AND SHRUBS WITHIN NATIVE SEED AREAS SHALL HAVE A PERMANENT DRIP IRRIGATION SYSTEM.
- A FULLY AUTOMATED SPRINKLER IRRIGATION SYSTEM WILL DRIP IRRIGATE ALL TREE, SHRUB, AND GROUND COVER PLANTINGS, AND SPRAY ALL TALL FESCUE SOD AND LOW ALTERNATIVE TURF AREAS. AN IRRIGATION PLAN WILL BE PREPARED AT A LATER DATE AND WILL INCLUDE AN IRRIGATION SCHEDULE THAT NOTES APPLICATION RATES BASED ON TURF TYPE, RATES FOR NEWLY INSTALLED PLANTS VS. ESTABLISHED PLANTS, AND GENERAL RECOMMENDATIONS REGARDING SEASONAL ADJUSTMENTS.
- NO TREES AND NO PLANTS OVER 2 FEET TALL SHALL BE INSTALLED WITHIN 5 FEET OF ANY FIRE HYDRANTS.
- ALL PLANTS TO RECEIVE 3 INCH DEPTH OF GORILLA HAIR SHREDDED CEDAR WOOD MULCH UNLESS OTHERWISE SPECIFIED. FOLLOW PLANTING DETAILS FOR MULCH RING DIMENSIONS WITHIN ROCK, SOD, OR SEED AREAS.
- COBBLE: 2-3" CRIPPLE CREEK ORE, AT 3-4" DEPTH, AT ALL INTERSECTION CORNERS BETWEEN HANDICAP RAMPS. INSTALL GEOTEXTILE FABRIC UNDER ALL COBBLE AREAS.
- GRAVEL ROCK: 3/4" CIMARRON GRANITE, AT 3-4" DEPTH. INSTALL GEOTEXTILE FABRIC UNDER ALL ROCK AREAS.
- ALL SHRUB BEDS TO BE ENCLOSED BY SOLID STEEL EDGING, AS A SEPARATOR FROM SOD, SEED, AND ALTERNATIVE TURF. SEPARATION BETWEEN SOD AND SEED, AND BETWEEN ALTERNATIVE TURF AND SEED SHALL BE A MOWED STRIP, WITHOUT STEEL EDGING.
- SCHEDULE PLANTS SIZES IN TABLE ARE SUGGESTED. PLANTS TO BE CONSIDERED FOR FULFILLING COUNTY LANDSCAPE REQUIREMENTS SHALL HAVE A MINIMUM CALIPER SIZE (MEASURED SIX INCHES ABOVE GROUND) FOR DECIDUOUS SHADE TREES SHALL BE 1-1/2 INCHES AND FOR DECIDUOUS ORNAMENTAL TREES 1 INCH. EVERGREEN TREES SHALL BE A MINIMUM OF 6 FEET IN HEIGHT ABOVE GROUND. SHRUBS SHALL BE A MINIMUM OF 5 GALLON SIZE.
- ALL PLANTS SHOWN IN PRELIMINARY LANDSCAPE PLAN ARE FULFILLING A COUNTY LANDSCAPE REQUIREMENT. ADDITIONAL AND INTERIOR PLANTING WILL BE SHOWN IN FINAL LANDSCAPE PLAN.
- ANY FIELD CHANGES OR DEVIATIONS TO THESE PLANS WITHOUT PRIOR COUNTY APPROVAL OF AN AMENDED SITE DEVELOPMENT PLAN MAY RESULT IN A DELAY OF FINAL APPROVAL AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- THESE PLANS ARE FOR COUNTY APPROVALS ONLY AND ARE NOT TO BE UTILIZED FOR CONSTRUCTION.

Landscape Setbacks & Buffers

Street Name or Zone Boundary	Street Classification	Width (in Ft.) Req./Prov.	Linear Footage	Tree/Feet Required	No. of Trees Req./ Prov.
Bent Grass Meadows Drive	Local	10	516	1 / 30'	17/0
West Landscape Buffer	N/A	15	492	1 / 25'	20/10

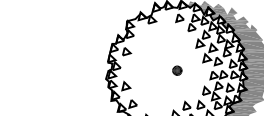

Landscape Buffer & Screens

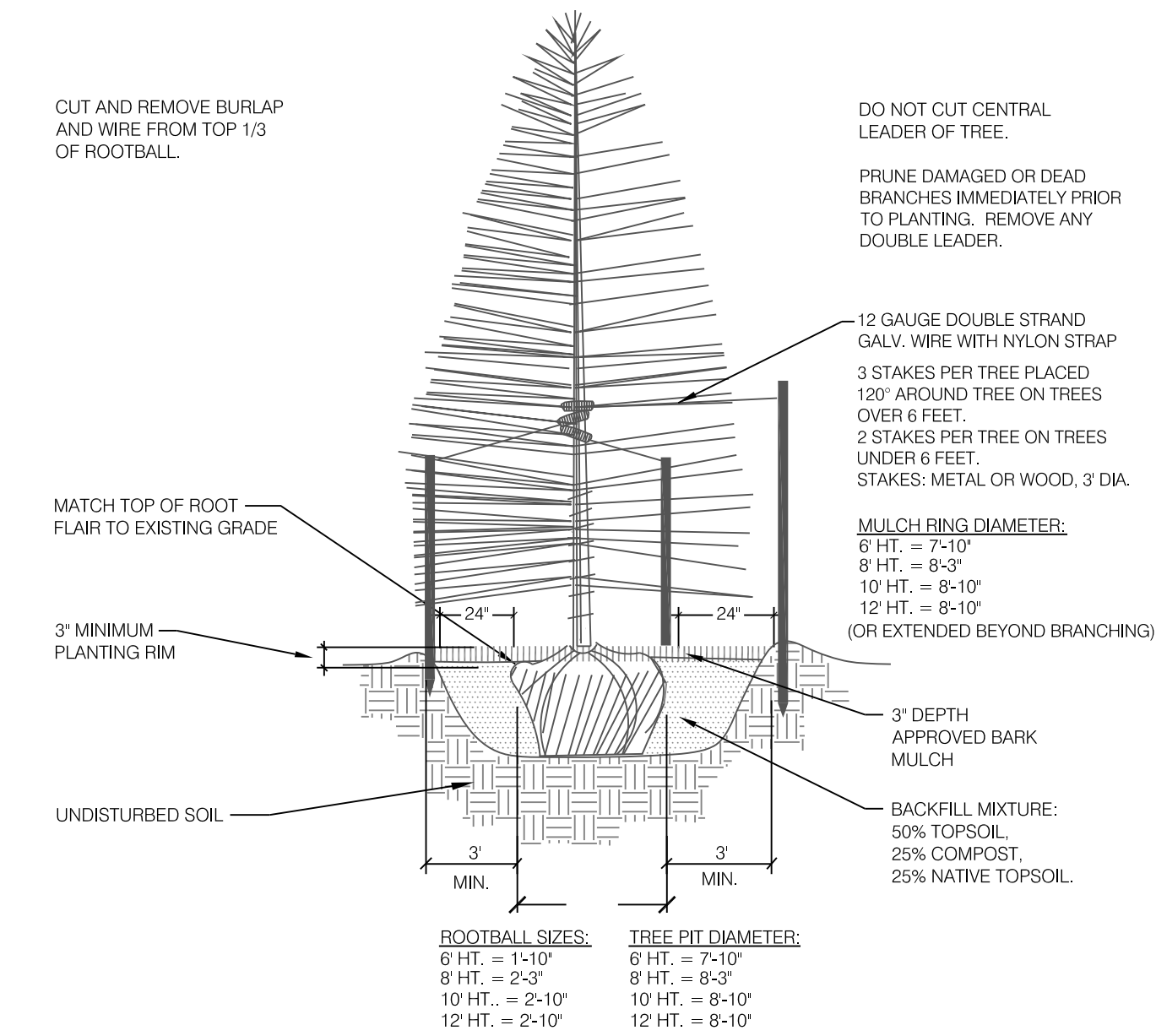
Street Name or Property Line	Width (in Ft.) Req. /Prov.	Linear Footage	Buffer Trees (1/25') Required /Provided
PUD to CS Buffer	15' / 15'	492'	20 / 10

Shrub Substitutes (10 SHRUBS/1 TREE) Required /Provided	Percent Ground Plane Veg. Req. / Prov.
60 / 57	75% / 75%

*Alternative Landscaping is Requested

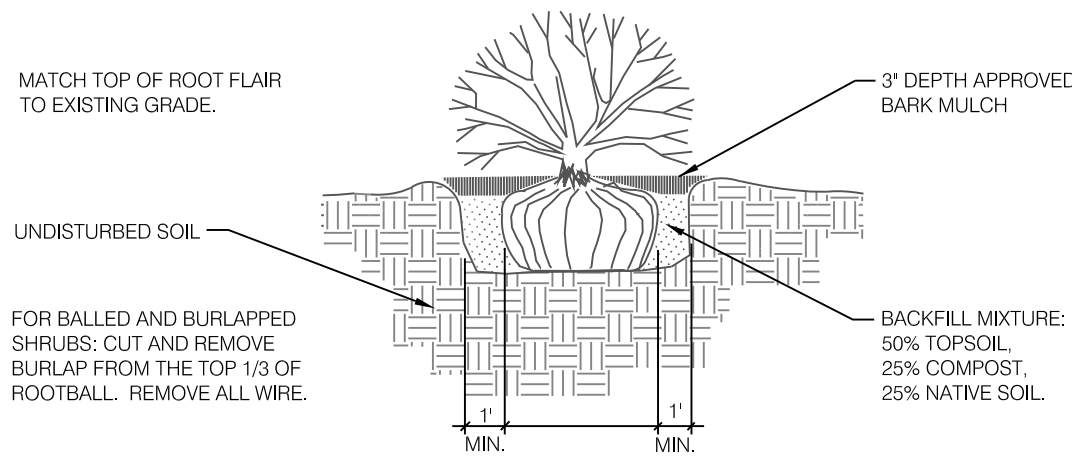
PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH
	Plc co2	6	Picea pungens / Colorado Spruce	20'	
	Pin syl	4	Pinus sylvestris / Scotch Pine	20'	
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH
	Cor fl2	12	Cornus sericea `Flaviramea` / Yellow Twig Dogwood	8'	8'
	Jun old	20	Juniperus chinensis `Old Gold` / Old Gold Juniper	4'	6'
	Phy cop	25	Physocarpus opulifolius `Coppertina` / Coppertina Ninebark	10'	10'



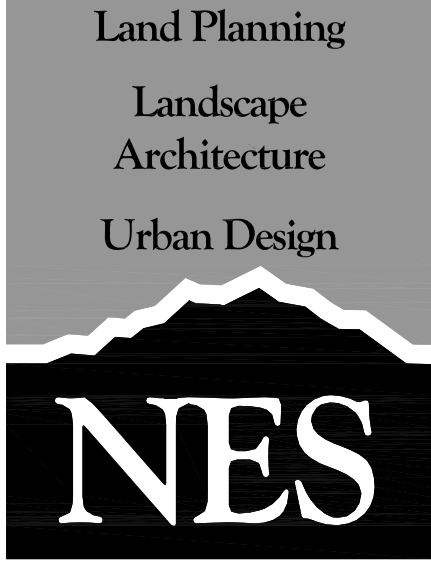
1 CONIFEROUS TREE PLANTING DETAIL

SCALE: NOT TO SCALE



2 SHRUB PLANTING DETAIL

SCALE: NOT TO SCALE



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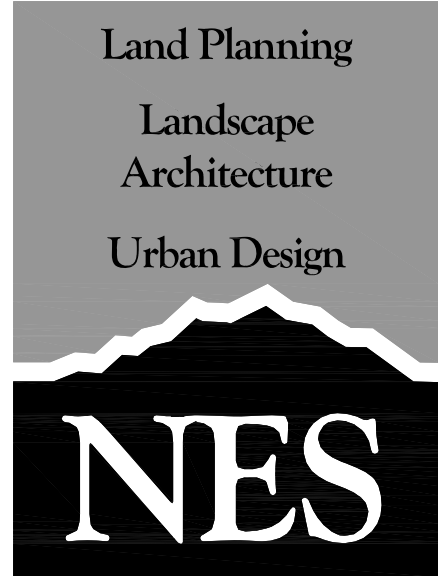
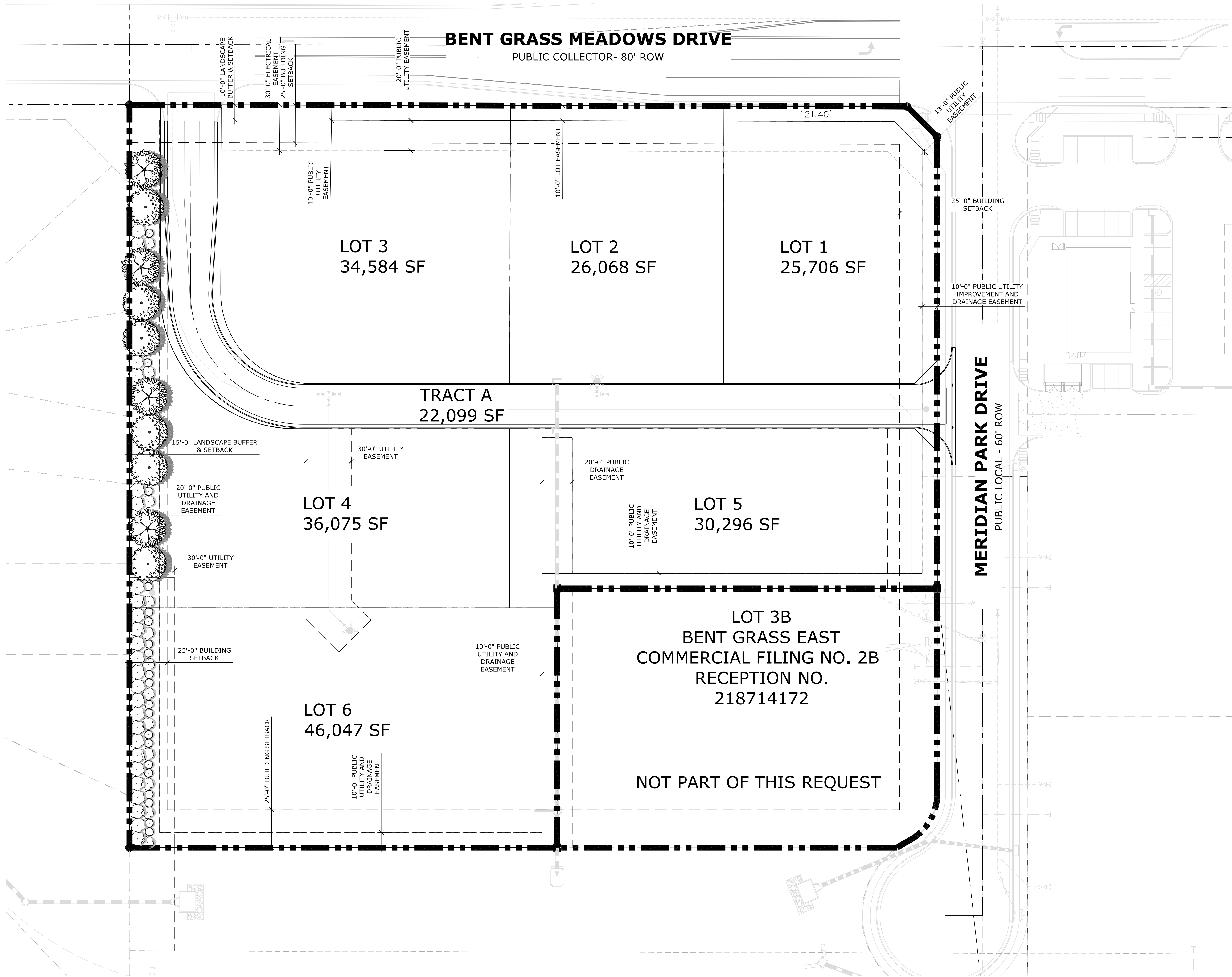
LANDSCAPE
NOTES AND
DETAILS

6

6 OF 7

CPC #

P:\Land First Inc\Bent Grass East Commercial Filing 3\Drawings\Planning\Develop\Bentgrass-Commercial_PrelimPlan_CONCEPT 2_TRACT A.dwg [LS PLAN] 11/16/2020 2:21:00 PM jshagin



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**ALTERNATIVE
LANDSCAPE PLAN**

7
7 OF 7
CPC #