

EAST WOODMEN ROAD
(PUBLIC R.O.W. VARIES)
(REC. NO. 215032985 & 204062427)

APPROX. 500'
TO MERIDIAN ROAD
INTERSECTION

LEGEND OF EXISTING FEATURES

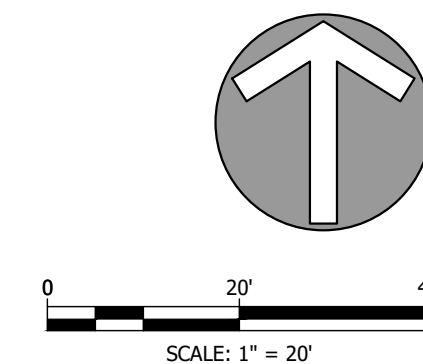
---	PROPERTY LINE	+	BENCHMARK
---	RIGHT-OF-WAY LINE	○ RBC	MONUMENT
---	SETBACK LINE	△	SECTION CORNER
---	EASEMENT	ET HC	TRANSFORMER
---	SECTION LINE	E(0) E	HVAC
---	CENTERLINE	Ø	ELECTRIC METER
---	INTERMEDIATE CONTOUR	Ø	ELECTRIC MANHOLE
---	INDEX CONTOUR	☆	POWER POLE GUY WIRE
---	TELEPHONE UNDER GR.	☆	LIGHT POLE
---	TELEPHONE OVERHEAD	☆	TELEPHONE PEDESTAL
---	FIBER OPTIC SERVICE	☆	TELEPHONE MANHOLE
---	GAS SERVICE	☆	GAS MARKER
---	POWER UNDERGROUND	☆	ELECTRIC MARKER
---	POWER OVERHEAD	☆	TRAFFIC POLE
---	WATER SERVICE	☆	TRAFFIC MANHOLE
---	SANITARY SEWER	☆	GAS METER
---	STORM SEWER	☆	GAS VALVE
---	POND NORMAL POOL	☆	STORM MANHOLE
---	EX. FLOWLINE	☆	SANITARY MANHOLE
---	CHAIN LINK FENCE	☆	STORM INLETS
---	FARM FENCE	☆	CLEAN-OUT
---	WOOD FENCE	☆	DOWNSPOUT
---	IRON FENCE RAILING	☆	FIRE HYDRANTS
---	BUILDING STRUCTURE	☆	WATER METER
---	EX. BUILDING OVERHEAD	☆	WATER VALVES
---	RIM	☆	POST INDICATOR VALVE
---	INV.	☆	FIRE DEPARTMENT CONN.
---	FFE	☆	SIGNS
---	FINISHED FLOOR ELEVATION	☆	MAILBOX
---		☆	ADA PARKING
---		☆	PARKING COUNT
---		☆	TREES
---		☆	SHRUB
---		☆	SPOT GRADE

SITE PLAN LEGEND - PROPOSED

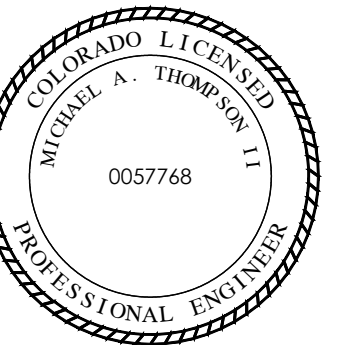
A	HEAVY DUTY ASPHALT PAVEMENT	CS-501
B	STANDARD DUTY ASPHALT PAVEMENT	CS-501
C	CONCRETE PAVEMENT	CS-501
D	REPAIR PAVEMENT FOR UTILITY TRENCH	CU-501
E	6" CONCRETE CURB	CS-501
F	ENTRANCE DRIVE PER EL PASO COUNTY STDS.	CS-502
G	CONCRETE CURB AND WALK	CS-501
H	CONCRETE SIDEWALK	CS-501
I	ACCESSIBLE CURB RAMP	CS-501
J	ACCESSIBLE PARKING SIGNAGE	CS-501
K	ACCESSIBLE PARKING PAVEMENT MARKINGS	CS-501
L	PRECAST CONCRETE WHEELSTOP	CS-501
M	SAWCUT, REMOVE, AND REPAIR	CS-501
N	PAVEMENT STRIPING, 24" STOP BAR	CS-501
O	PAVEMENT STRIPING, 4" SOLID	CS-501
P	BOLLARD	CS-501
Q	MENU BOARD, ORDER CONFIRMATION, AND CANOPY	CS-502
R	CLEARANCE BAR	CS-502
S	LIGHT POLE	CS-502
T	DUMPSTER ENCLOSURE (REFER TO ARCH. PLANS)	CS-501
U	DRIVEWAY GUTTER	CS-501
V	COMBINED CURB & GUTTER	CS-502

SITE INFORMATION

PARCEL NUMBER:	5312101019
ZONING DISTRICT:	CR, COMMERCIAL REGIONAL
LOT AREA:	1.14 ACRES
BUILDING AREA:	2,579+ FT ²
ADJOINER ZONING:	PUD, PLANNED UNIT DEVELOPMENT NORTH CR, COMMERCIAL REGIONAL SOUTH CR, COMMERCIAL REGIONAL EAST CR, COMMERCIAL REGIONAL WEST CR, COMMERCIAL REGIONAL
PROPOSED USE:	NEW QUICK-SERVE RESTAURANT (ARBY'S)
BUILDING SETBACKS	FRONT 50' REQUIRED SIDE 0' REQUIRED REAR 0' REQUIRED
PARKING DATA	REQUIRED SPACES 28 SPACES (1) SPACE PER 1,000 FT ² PROVIDED SPACES 28 SPACES



REVISION BLOCK



Michael Thompson

DATE
10/21/2020

DRAWN BY
KPB

CHECKED BY
AMT

**HAMILTON
DESIGNS**
A LIMITED LIABILITY COMPANY

11 Municipal Drive, Suite 300
Fishers, Indiana 46038
P. (317) 570-9800
www.hamilton-designs.com

CONSTRUCTION PLANS FOR:
ARBY'S | FALCON, CO
11775 Meridian Market View
Falcon, Colorado 80831

BELL AMERICAN GROUP, LLC
8930 Bash Street, Suite L
Indianapolis, Indiana 46256

PROJECT NO.
2019-0246

DATE
10/21/2020

SCALE
1" = 20'

SHEET NAME
SITE PLAN

SHEET NO.

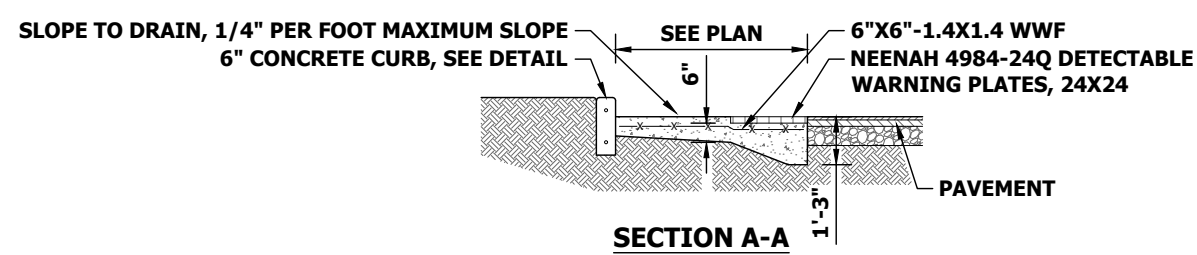
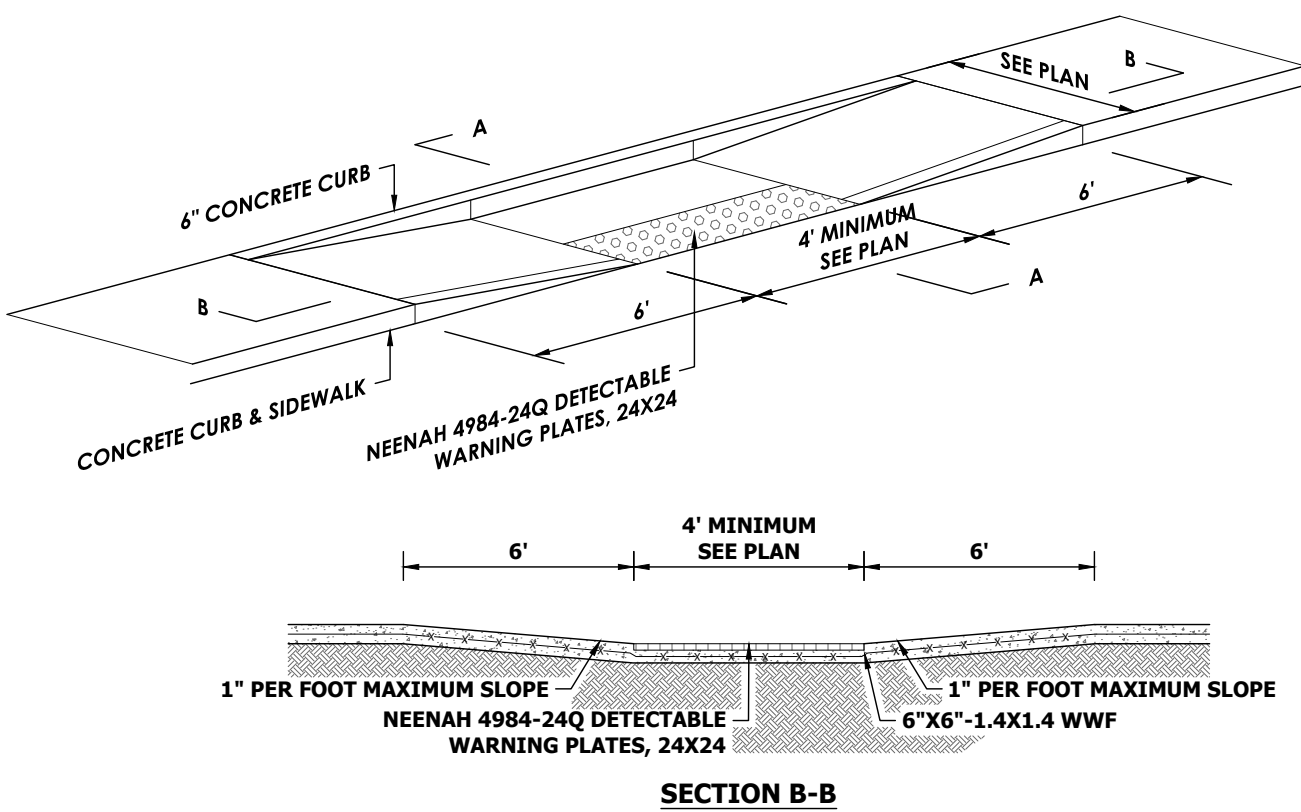
CS-101



Know what's below.
Call before you dig.

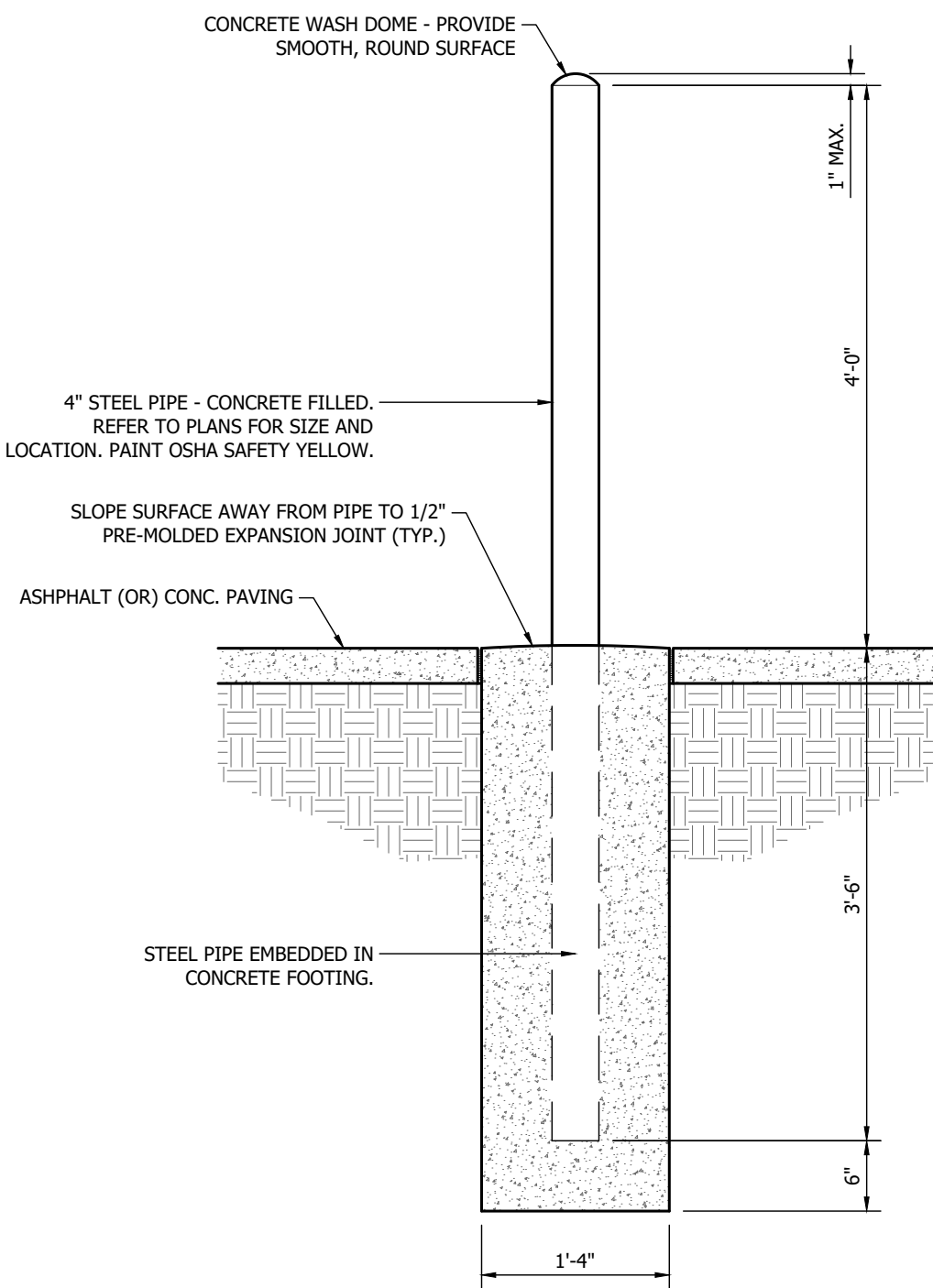
p:\2019\0246 - bell american group - falcon, colorado\plans\cs-101.dwg

1. CONCRETE COMPRESSIVE STRENGTH SHALL BE 3,500 PSI IN 28 DAYS. CONFIRM WITH GEOTECHNICAL REPORT.
2. CURB RAMP TO COMPLY WITH CURRENT ADA STANDARDS
3. FACTORY POWDER COAT REQUIRED ON ALL DETECTABLE WARNING PLATES; FEDERAL YELLOW OR BRICK RED



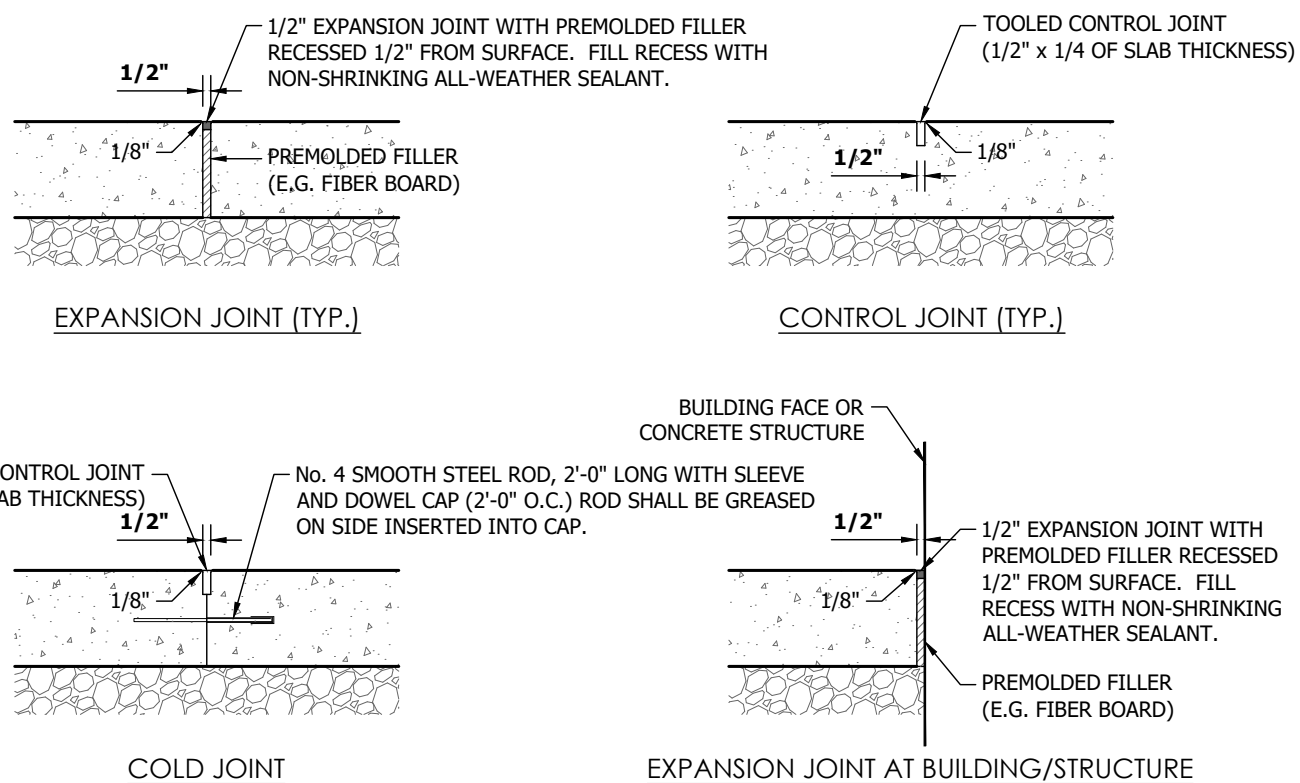
PARALLEL CURB RAMP

NOT TO SCALE



BOLLARD DETAIL

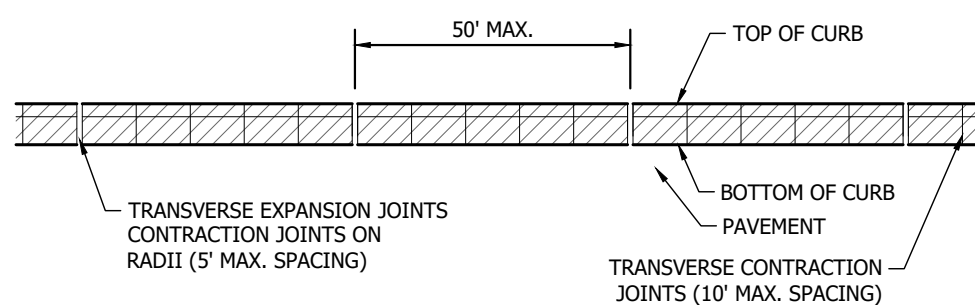
NOT TO SCALE



CONCRETE PAVING JOINT DETAILS

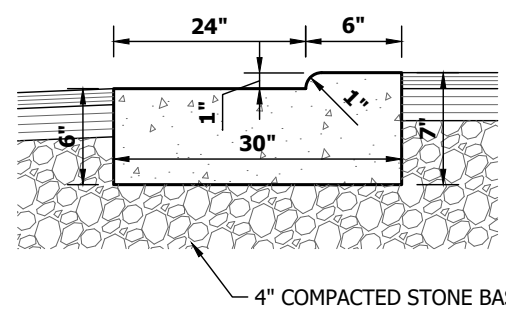
1. ALL MATERIALS AND INSTALLATION PER APPLICABLE IDOT STANDARD SPECIFICATIONS, LATEST EDITION.

NOT TO SCALE



CURB JOINT DETAILS

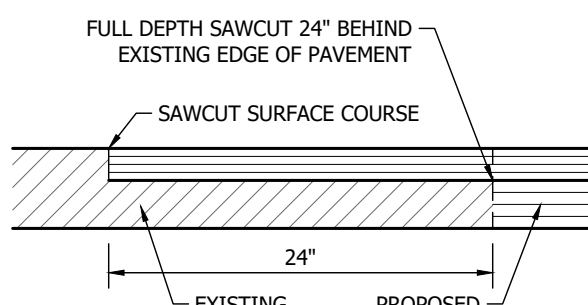
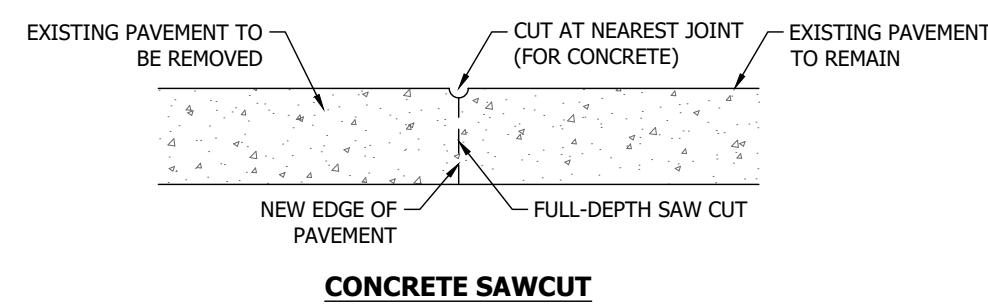
NOT TO SCALE



1. CONCRETE COMPRESSIVE STRENGTH SHALL BE 3600 PSI IN 28 DAYS. CONFIRM WITH GEOTECHNICAL REPORT.

DRIVEWAY GUTTER DETAIL

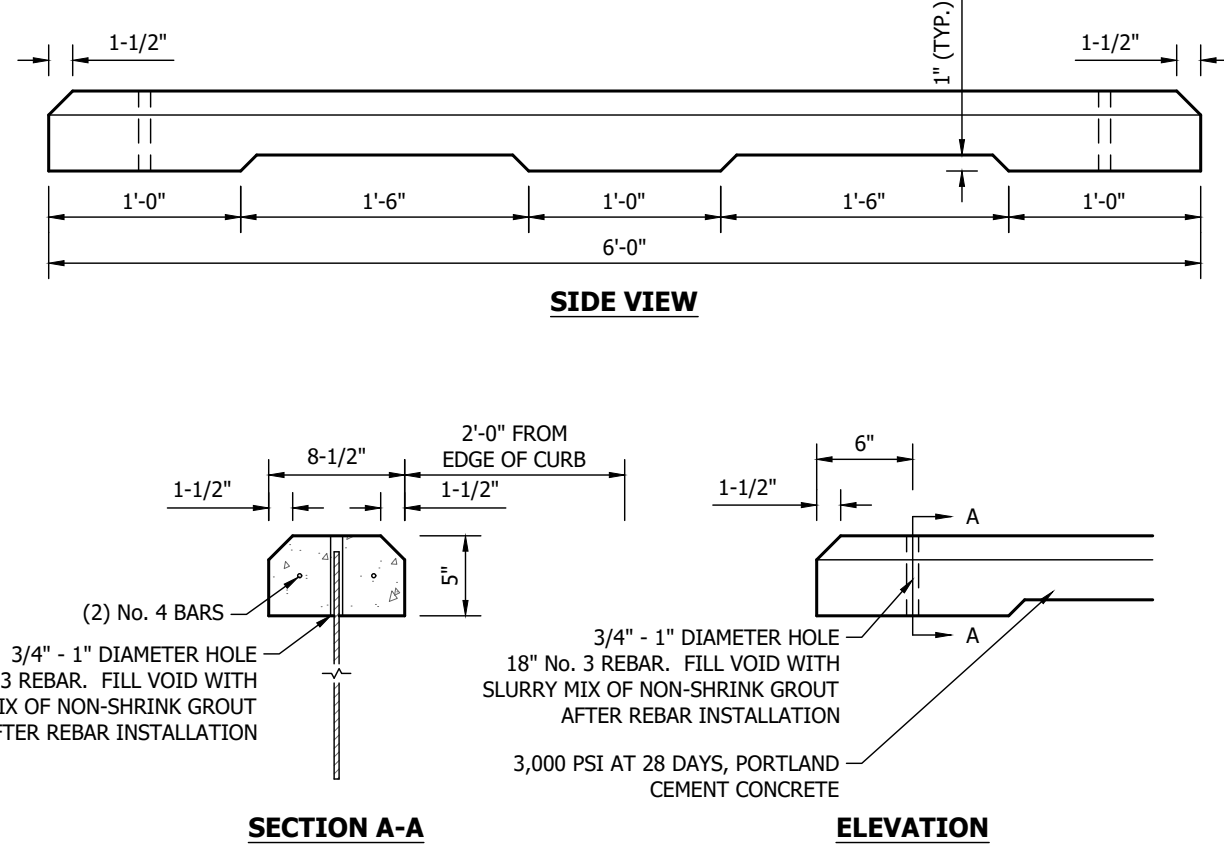
NOT TO SCALE



ASPHALT SAWCUT AND LAP JOINT

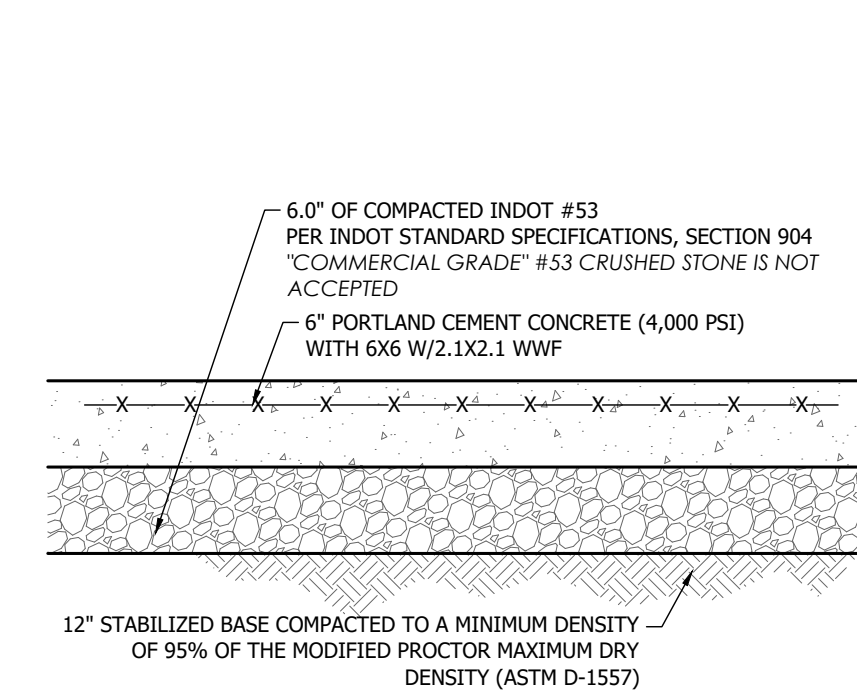
SAWCUT / LAP JOINT DETAIL

NOT TO SCALE



PRECAST CONCRETE WHEELSTOP

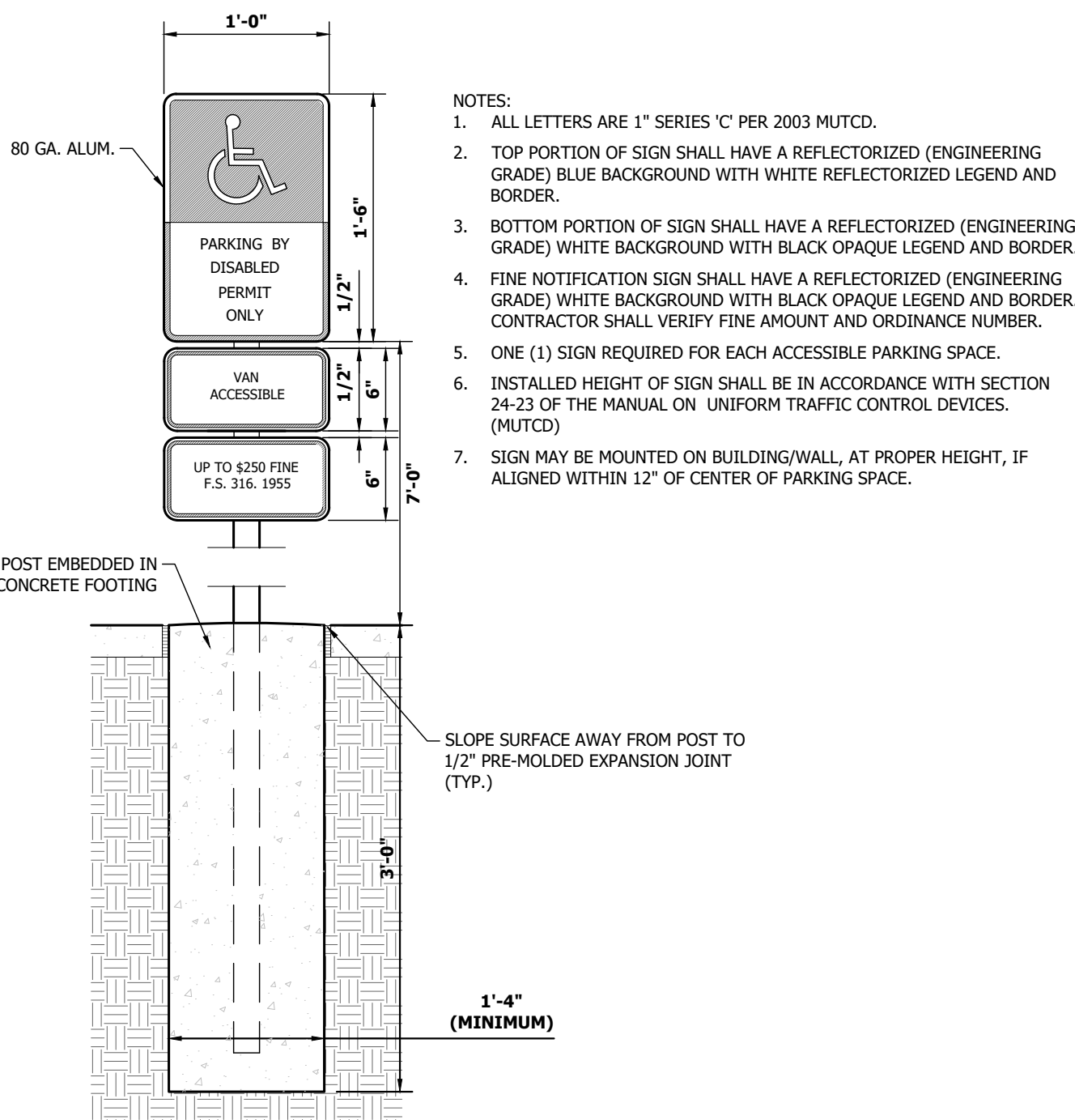
NOT TO SCALE



CONCRETE PAVEMENT

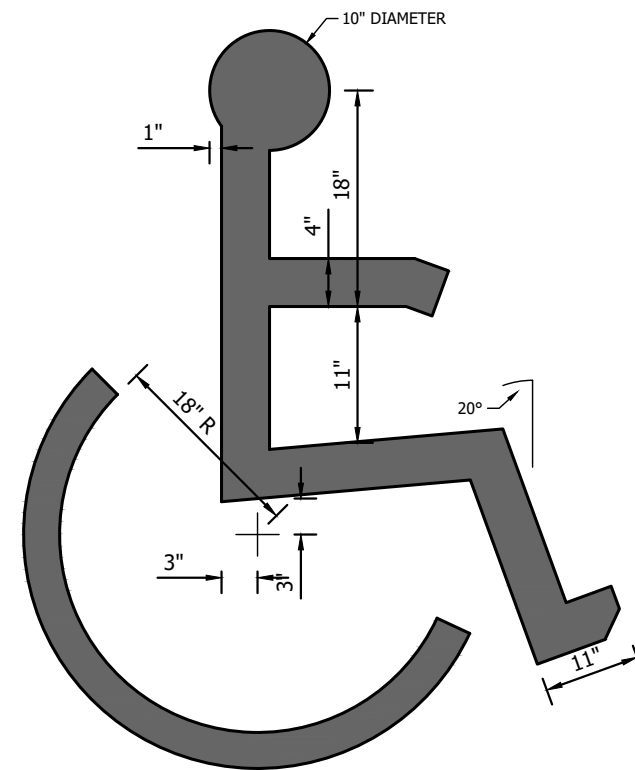
NOT TO SCALE

1. REFER TO APPLICABLE DETAIL FOR CONCRETE JOINT DETAILS
2. SEE NOTES THIS SHEET



ACCESSIBLE PARKING SIGNAGE

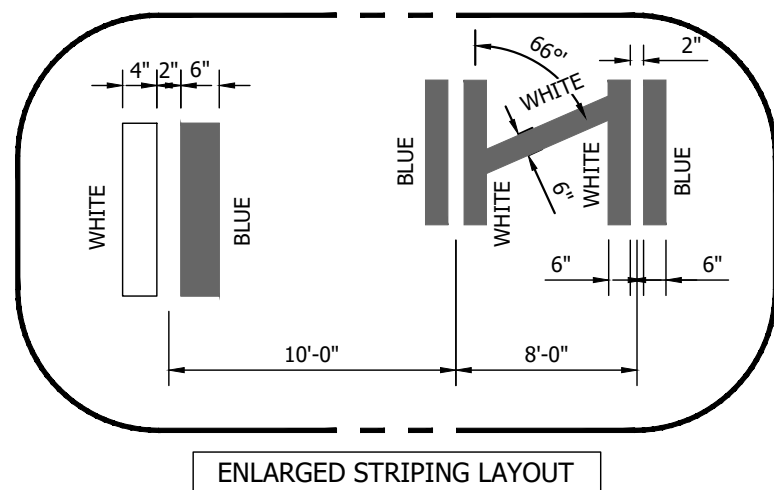
NOT TO SCALE



1. ALL STRIPES TO BE 4" PAINTED

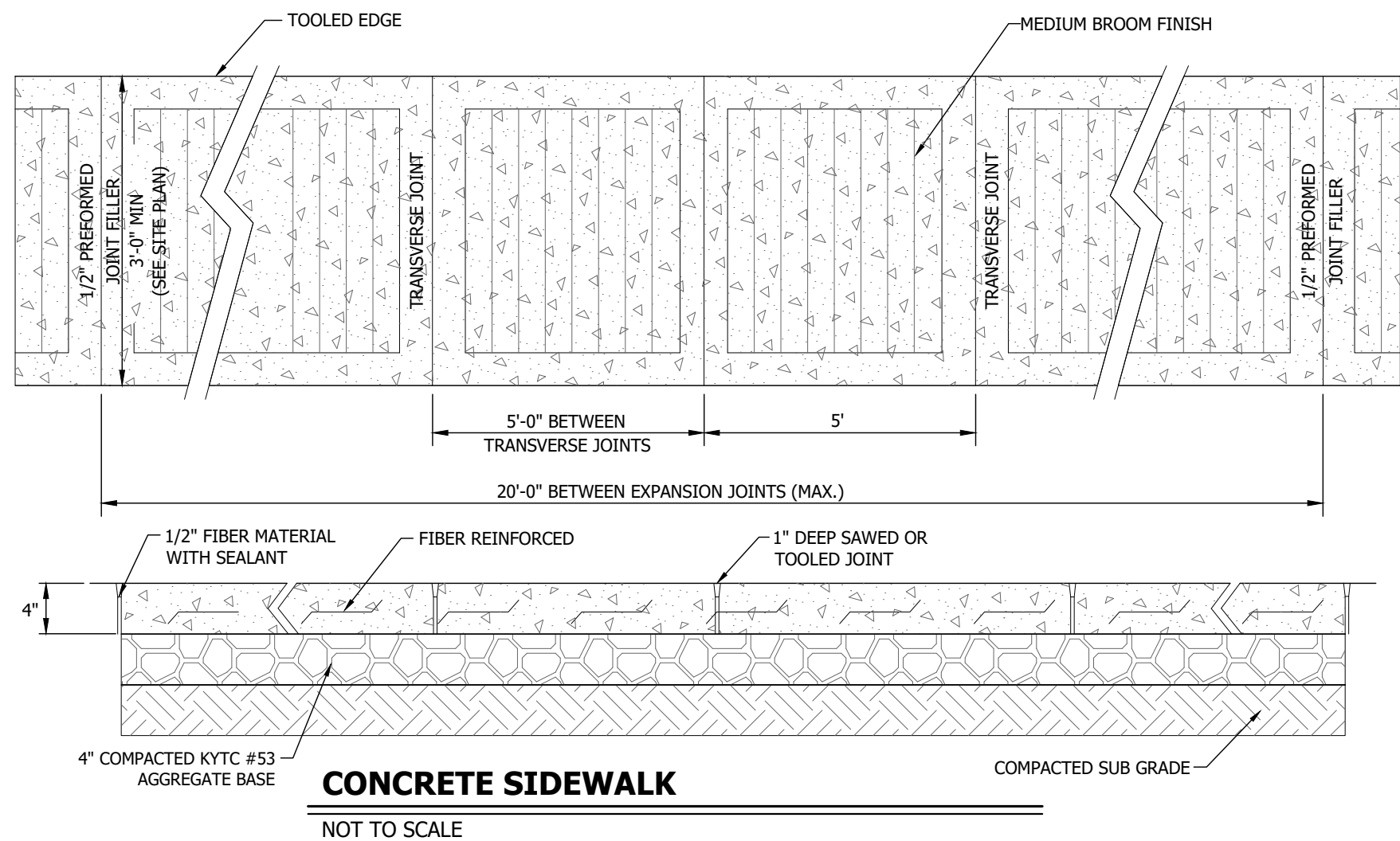
ACCESSIBLE PARKING PAVEMENT MARKINGS

NOT TO SCALE



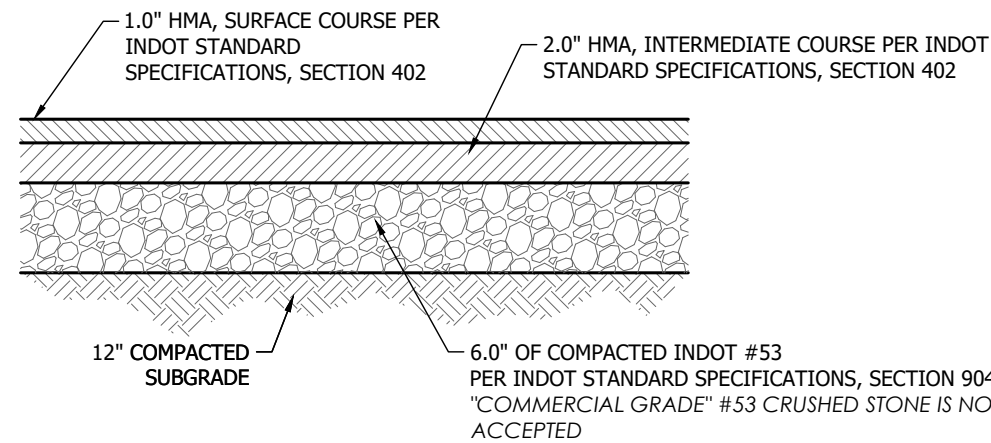
ACCESSIBLE PARKING PAVEMENT MARKINGS

NOT TO SCALE



CONCRETE SIDEWALK

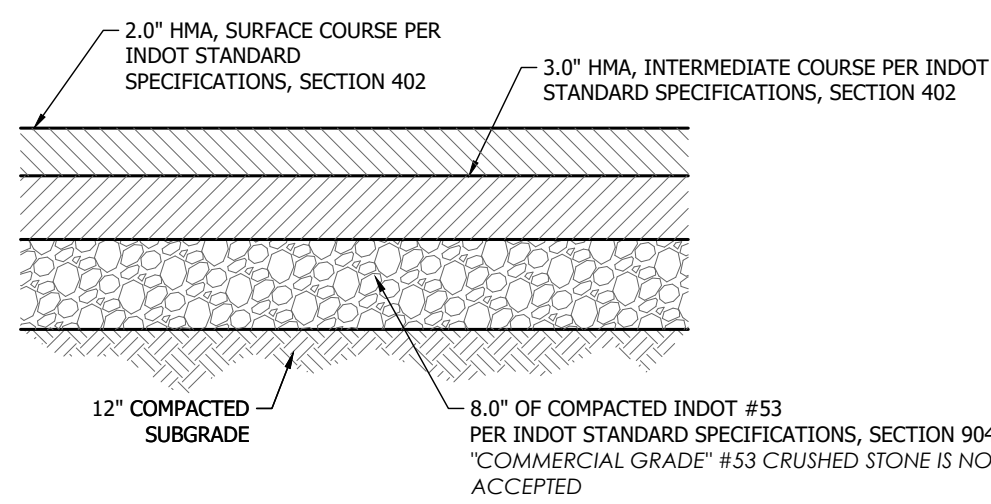
NOT TO SCALE



1. ALL MATERIALS AND INSTALLATION PER APPLICABLE IDOT STANDARD SPECIFICATIONS, LATEST EDITION.

STANDARD DUTY ASPHALT PAVEMENT

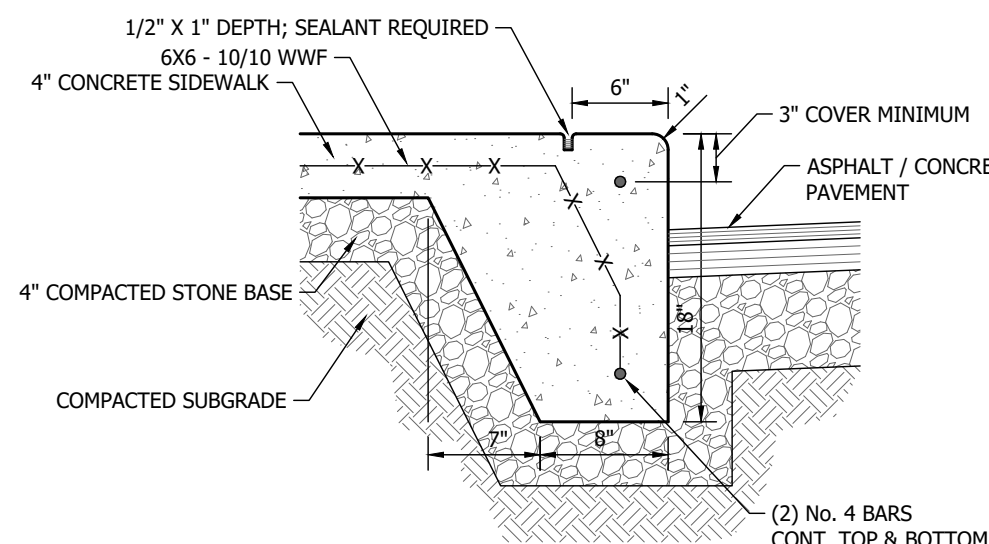
NOT TO SCALE



1. ALL MATERIALS AND INSTALLATION PER APPLICABLE IDOT STANDARD SPECIFICATIONS, LATEST EDITION.

HEAVY DUTY ASPHALT PAVEMENT

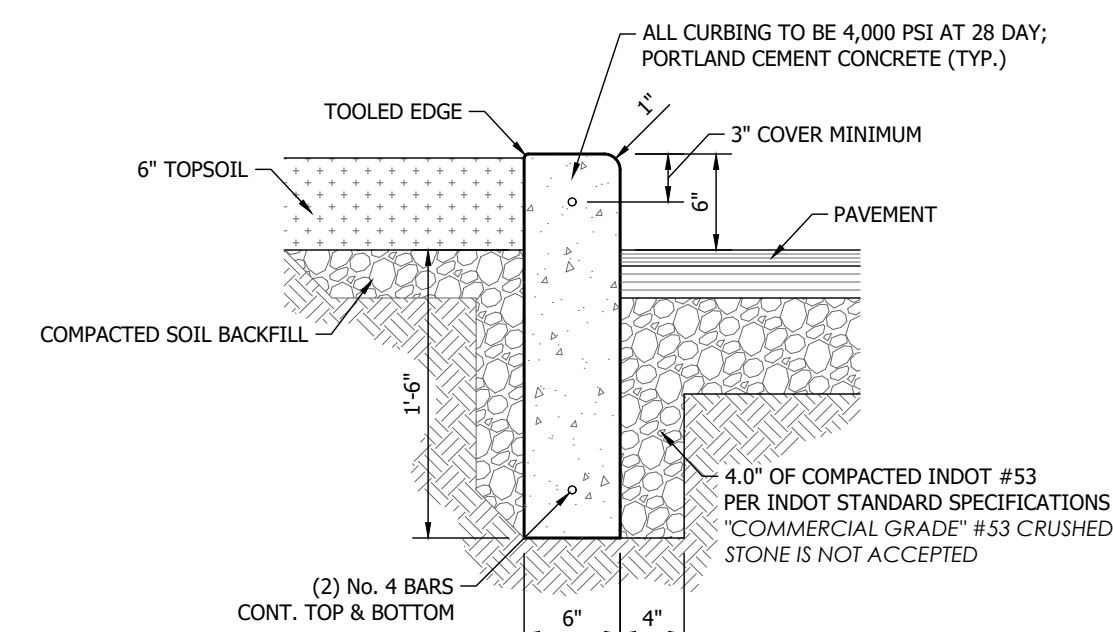
NOT TO SCALE



1. CONCRETE COMPRESSIVE STRENGTH SHALL BE 3600 PSI IN 28 DAYS. CONFIRM WITH GEOTECHNICAL REPORT.

CONCRETE CURB & WALK DETAIL

NOT TO SCALE

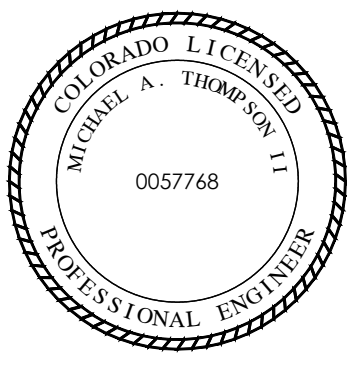


1. CONFIRM CONCRETE MINIMUM STRENGTH WITH GEOTECHNICAL REPORT.
2. PROVIDE EXPANSION JOINTS AT 20'-0" O.C.

STRAIGHT CONCRETE CURB DETAIL

NOT TO SCALE

REVISION BLOCK



Michael Thompson

DATE

10/21/2020

DRAWN BY

KPB

CHECKED BY

AMT

HAMILTON DESIGNS
A LIMITED LIABILITY COMPANY

11 Municipal Drive, Suite 300
Fishers, Indiana 46038
P. (317) 570-9800
www.hamilton-designs.com

CONSTRUCTION PLANS FOR:
ARBY'S I FALCON, CO
11775 Meridian Market View
Falcon, Colorado 80831

BELL AMERICAN GROUP, LLC
8930 Bash Street, Suite 1
Indianapolis, Indiana 46256

PROJECT NO.

2019-0246

DATE

10/21/2020

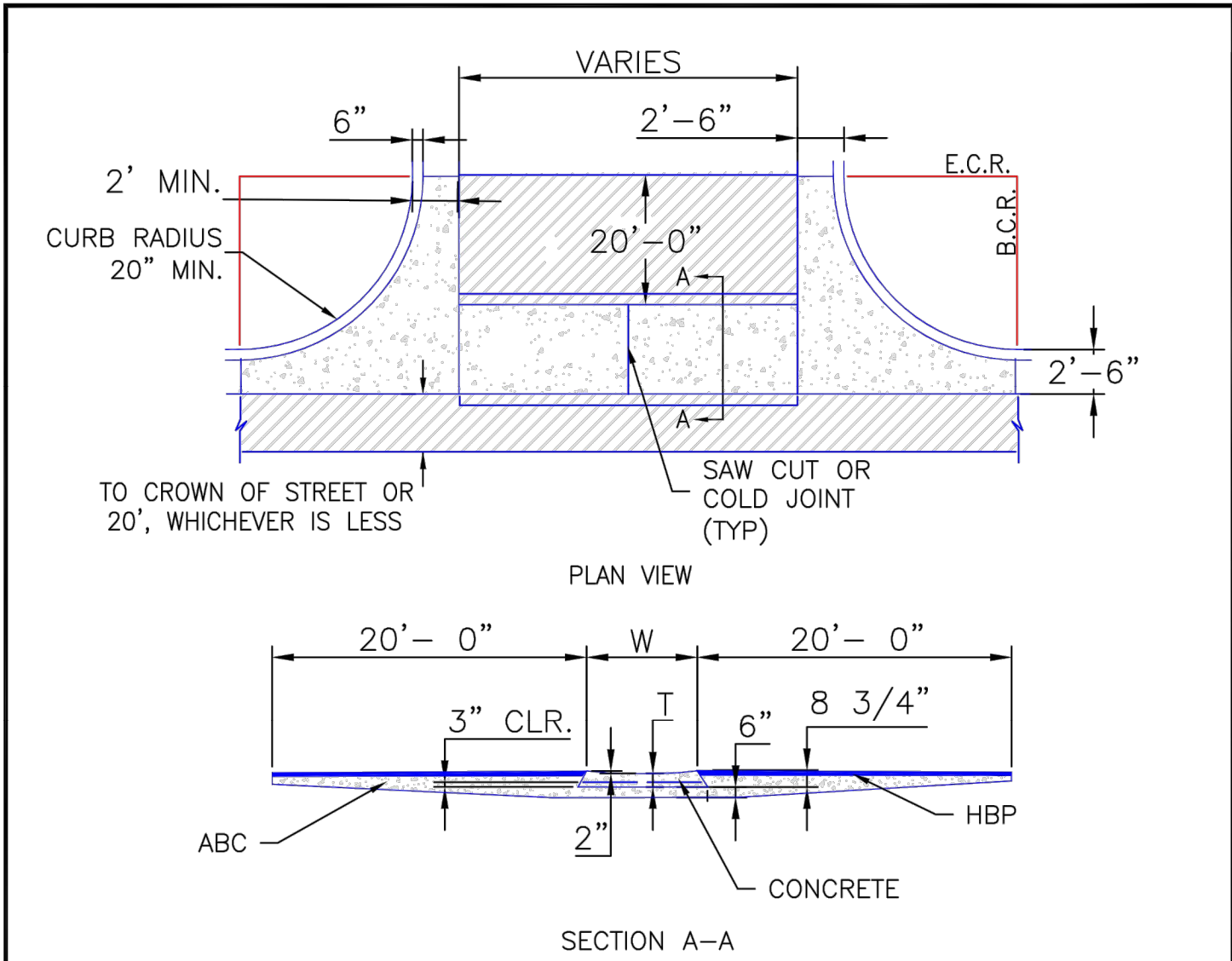
SCALE


SHEET NAME

SITE DETAILS


SHEET NO.

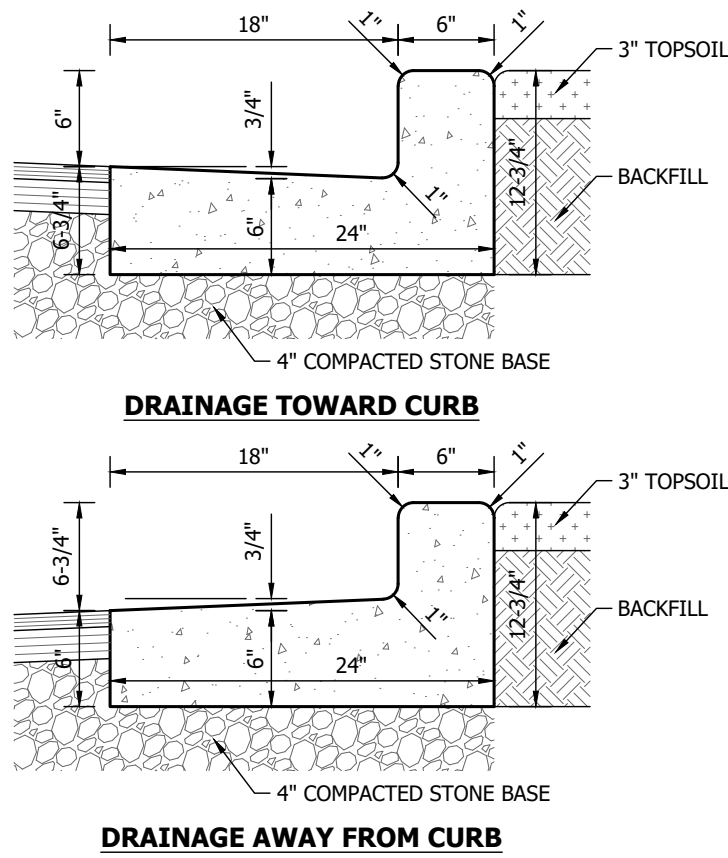
CS-501



- NOTES
1. W - WIDTH SHALL BE 6' FOR LOCAL, 8' FOR COLLECTORS, AND 10' FOR ARTERIAL ROADS.
 2. T - SQUARED-OFF RETURN TO BE POURED MONOLITHICALLY, 8" PCC FOR LOCAL ROADS, 9" FOR COLLECTORS WITH 6x6 - 4.4 W.W.F. OR #4 REINFORCING BAR @ 18" EACH WAY.
 3.  = 3" MINIMUM ASPHALT DEPTH (2 LIFTS).
 4. DESIGN TO SPECIFY ELEVATIONS AT PI AND PCR.

SCALE: NOT TO SCALE

8/11/11 DATE APPROVED:	Typical Cross Pan Layout Detail Standard Drawing	
André P. Brackin DEPARTMENT OF TRANSPORTATION	REVISION DATE: 12/8/15	FILE NAME: SD_2-26



1. CONCRETE COMPRESSIVE STRENGTH SHALL BE 3600 PSI IN 28 DAYS. CONFIRM WITH GEOTECHNICAL REPORT.

COMBINED CURB & GUTTER DETAIL

NOT TO SCALE

REVISION BLOCK



Michael Thompson

DATE 10/21/2020	CHECKED BY AMT
DRAWN BY KPB	

**HAMILTON
DESIGNS**
A LIMITED LIABILITY COMPANY

11 Municipal Drive, Suite 300
Fishers, Indiana 46038
P. (317) 570-9800
www.hamilton-designs.com

CONSTRUCTION PLANS FOR:
ARBY'S I FALCON, CO
11775 Meridian Market View
Falcon, Colorado 80831

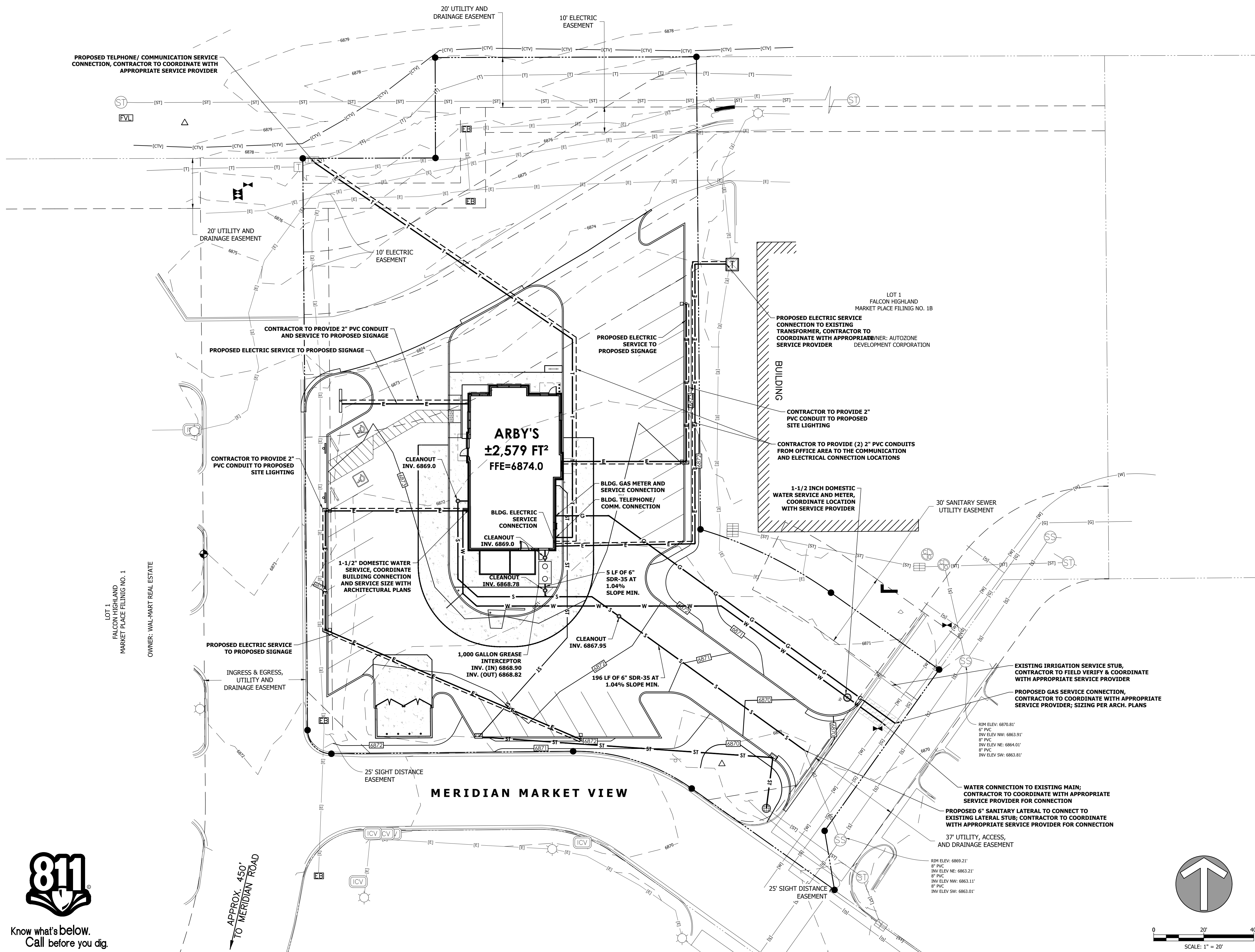
BELL AMERICAN GROUP, LLC
8930 Bosh Street, Suite L
Indianapolis, Indiana 46256

PROJECT NO. 2019-0246
DATE 10/21/2020
SCALE
SHEET NAME SITE DETAILS
SHEET NO.

CS-502

EAST WOODMEN ROAD
(PUBLIC R.O.W. VARIES)
(REC. NO. 215032985 & 204062427)

APPROX. 500'
TO MERIDIAN ROAD
INTERSECTION



LEGEND OF EXISTING FEATURES

---	PROPERTY LINE	⬤	BENCHMARK
---	RIGHT-OF-WAY LINE	○ RBC	MONUMENT
---	SETBACK LINE	△	SECTION CORNER
---	EASEMENT	⊠ HC	TRANSFORMER
---	SECTION LINE	⊠ E	ELECTRIC METER
---	CENTERLINE	⊠ E	ELECTRIC MANHOLE
---	INTERMEDIATE CONTOUR	⊠ E	POWER POLE GUY WIRE
---	INDEX CONTOUR	⊠ T	LIGHT POLE
---	TELEPHONE UNDER GR.	⊠ T	TELEPHONE PEDESTAL
---	TELEPHONE OVERHEAD	⊠ T	TELEPHONE MANHOLE
---	FIBER OPTIC SERVICE	⊠ T	GAS MARKER
---	GAS SERVICE	⊠ T	TRAFFIC POLE
---	POWER UNDERGROUND	⊠ T	TRAFFIC MANHOLE
---	POWER OVERHEAD	⊠ T	GAS METER
---	WATER SERVICE	⊠ T	GAS VALVE
---	SANITARY SEWER	⊠ T	STORM MANHOLE
---	STORM SEWER	⊠ T	SANITARY MANHOLE
---	POND NORMAL POOL	⊠ T	STORM INLETS
---	EX. FLOWLINE	⊠ T	CLEAN-OUT
---	CHAIN LINK FENCE	⊠ T	DOWNSPOUT
---	FARM FENCE	⊠ T	FIRE HYDRANTS
---	WOOD FENCE	⊠ T	WATER METER
---	IRON FENCE RAILING	⊠ T	WATER VALVES
---	BUILDING STRUCTURE	⊠ T	POST INDICATOR VALVE
---	EX. BUILDING OVERHEAD	⊠ T	FIRE DEPARTMENT CONN.
---	RIM	⊠ T	SIGNS
---	INV.	⊠ T	MAILBOX
---	FFE	⊠ T	ADA PARKING
---		⊠ T	PARKING COUNT
---		⊠ T	TREES
---		⊠ T	SHRUB
---		⊠ T	SPOT GRADE

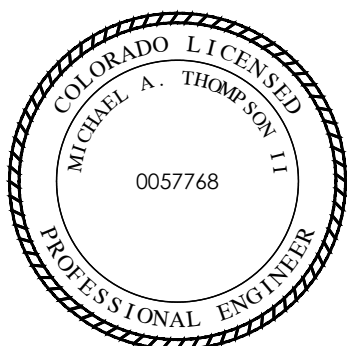
UTILITY PLAN LEGEND - PROPOSED

---	ST	STORM SEWER	⊠ S	SANITARY MANHOLE
---	S	SANITARY SEWER	⊠ S	SANITARY SEWER CLEANOUT
---	W	WATER SERVICE	⊠ S	FIRE HYDRANT
---	F	FIRE SERVICE	⊠ S	WATER METER
---	G	GAS SERVICE	⊠ S	WATER VALVE
---	T	TELEPHONE / COMMUNICATION	⊠ S	POST INDICATOR VALVE
---	OH-T	OVERHEAD TELEPHONE / COMMUNICATION	⊠ S	FIRE DEPARTMENT CONN.
---	E	ELECTRIC SERVICE	⊠ S	RIM ELEVATION
---	OH-E	OVERHEAD ELECTRIC SERVICE	⊠ S	INVERT ELEVATION
---	T	TRANSFORMER	⊠ S	FINISHED FLOOR ELEVATION
---	⊠	POWER POLE	⊠ S	STORM MANHOLE
---	⊠	LIGHT POLE	⊠ S	STORM INLETS
---			⊠ S	STORM ENDOSEIGN
---			⊠ S	STORM SEWER CLEANOUT
---			⊠ S	DOWNSPOUT

UTILITY CONTACTS

ELECTRIC SERVICE MOUNTAIN VIEW ELECTRIC 11140 E. WOODMEN ROAD FALCON, CO 80831 CONTACT: CATHY HANSEN-LEE P. (719) 495-2283	WATER DISTRICT FALCON HIGHLANDS METROPOLITAN DISTRICT 111 S. TEJON STREET, SUITE 705 COLORADO SPRINGS, CO 80903 CONTACT: JOSH MILLER, DISTRICT MGR. P. (719) 284-7226 E. josh.miller@CLAcconnect.com
PHONE SERVICE AT&T 7376 McLAUGHLIN ROAD FALCON, CO 80831 P. (719) 266-2665	SEWER DISTRICT FALCON HIGHLANDS METROPOLITAN DISTRICT 111 S. TEJON STREET, SUITE 705 COLORADO SPRINGS, CO 80903 CONTACT: JOSH MILLER, DISTRICT MGR. P. (719) 284-7226 E. josh.miller@CLAcconnect.com
GAS SERVICE BLACK HILLS ENERGY 105 S. VICTORIA AVENUE PUEBLO, CO 81003 P. (888) 890-5554	

REVISION BLOCK



Michael Thompson

DATE
10/21/2020
DRAWN BY
KPB
CHECKED BY
AMT

HAMILTON
DESIGNS
A LIMITED LIABILITY COMPANY

11 Municipal Drive, Suite 300
Fishers, Indiana 46038
P. (317) 570-8800
www.hamilton-designs.com

CONSTRUCTION PLANS FOR:
ARBY'S | FALCON, CO
11775 Meridian Market View
Falcon, Colorado 80831

BELL AMERICAN GROUP, LLC
8930 Bash Street, Suite 1
Indianapolis, Indiana 46256

PROJECT NO.
2019-0246

DATE
10/21/2020

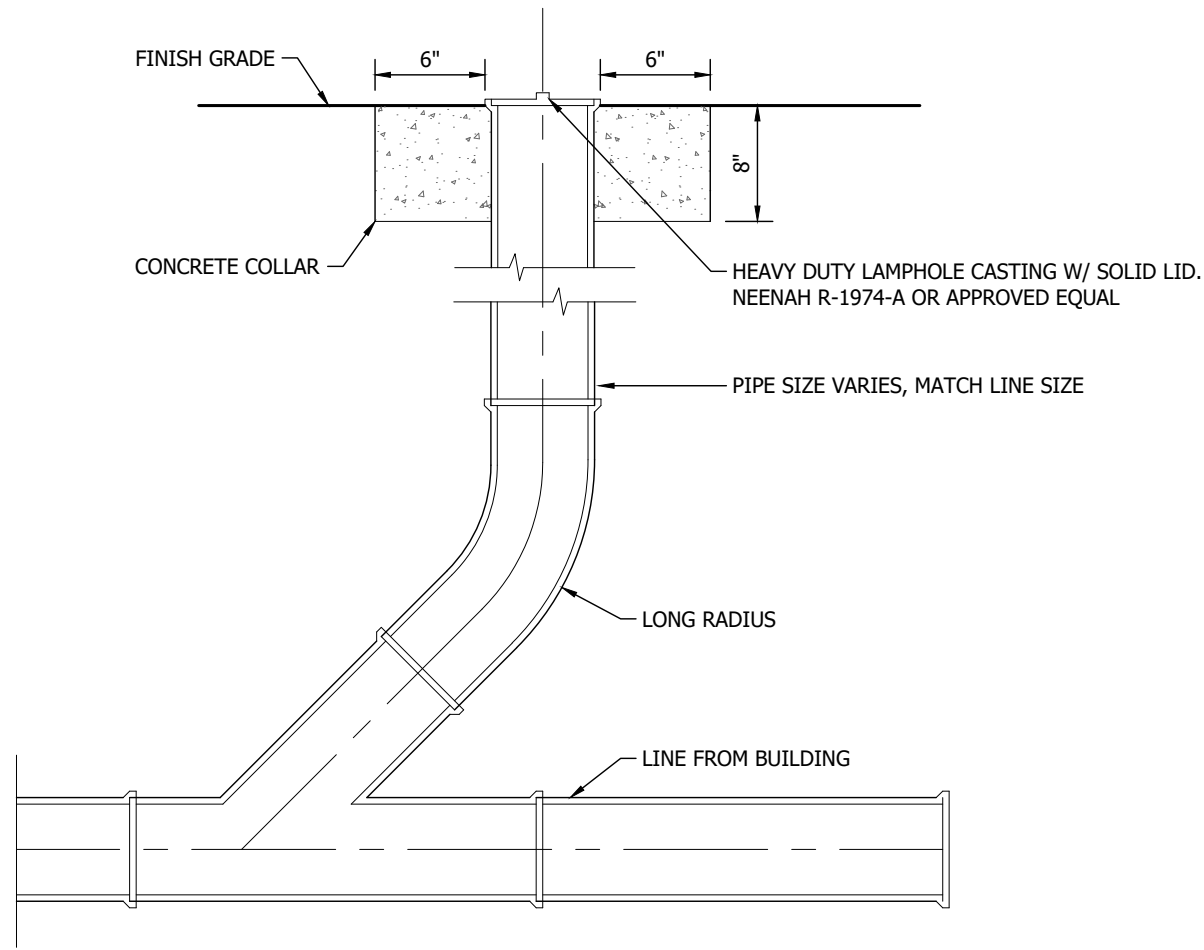
SCALE
1" = 20'

SHEET NAME
UTILITY PLAN

SHEET NO.
CU-101

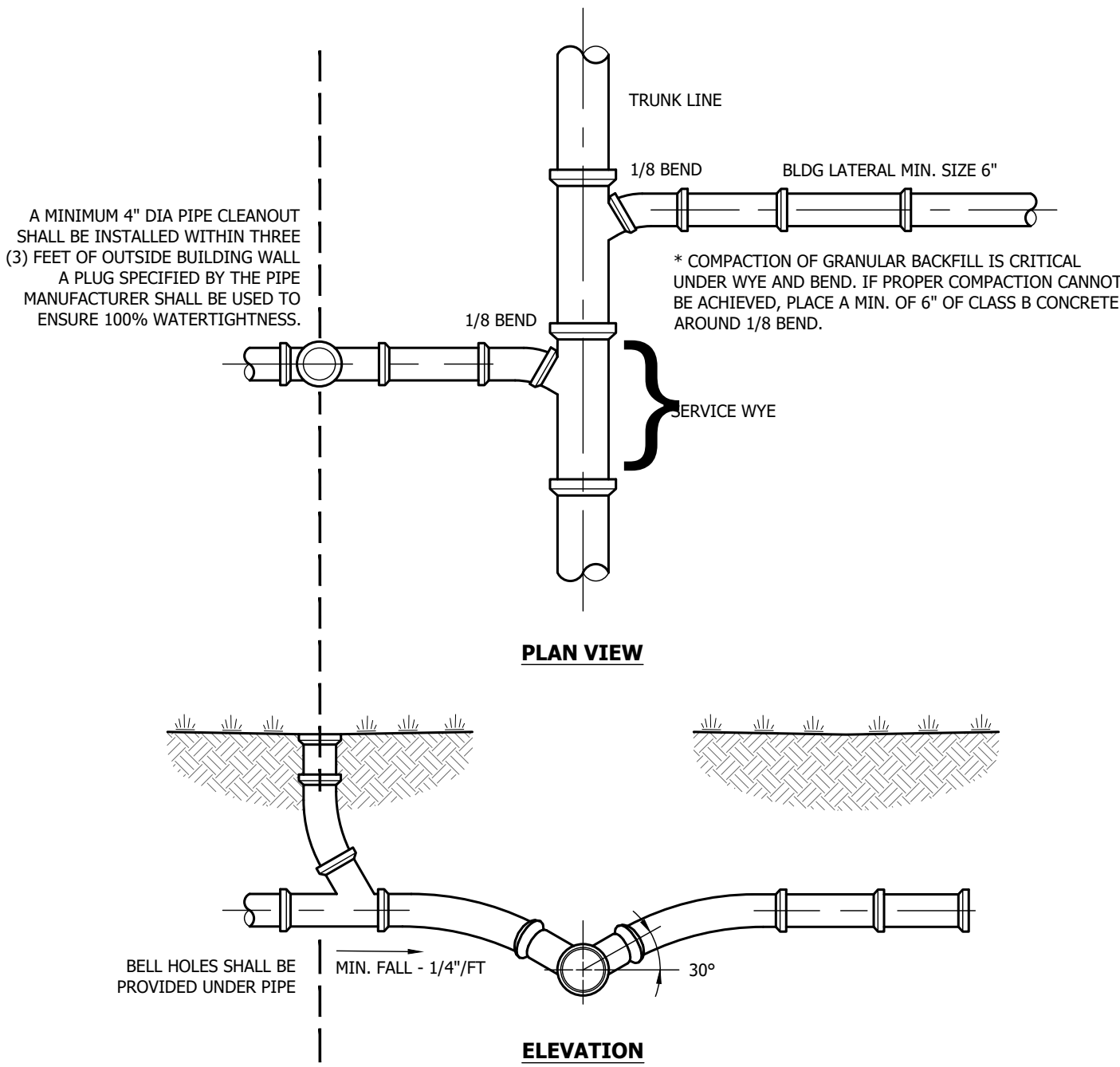


Know what's below.
Call before you dig.



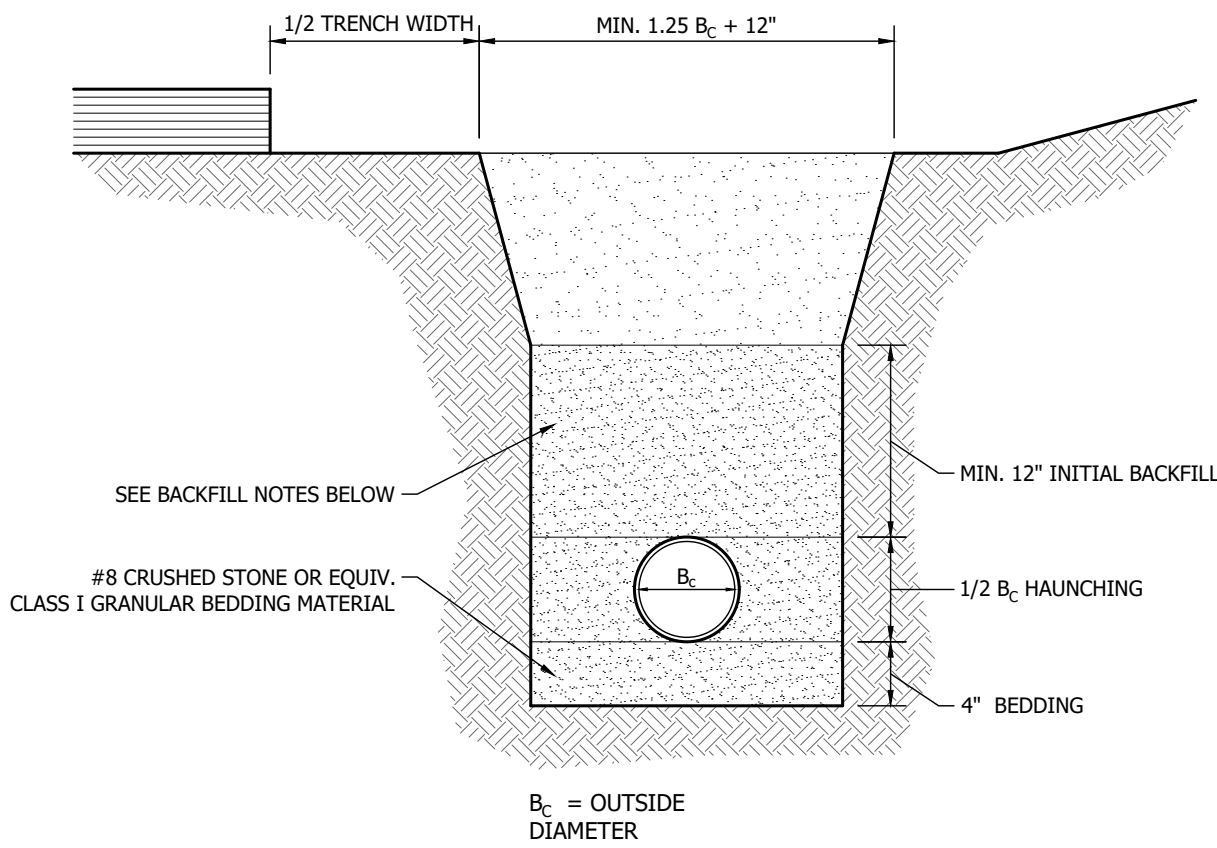
HEAVY DUTY CLEANOUT DETAIL

NOT TO SCALE



SERVICE CONNECTION FOR SHALLOW SEWERS
(LESS THAN 15 FEET)

NOT TO SCALE

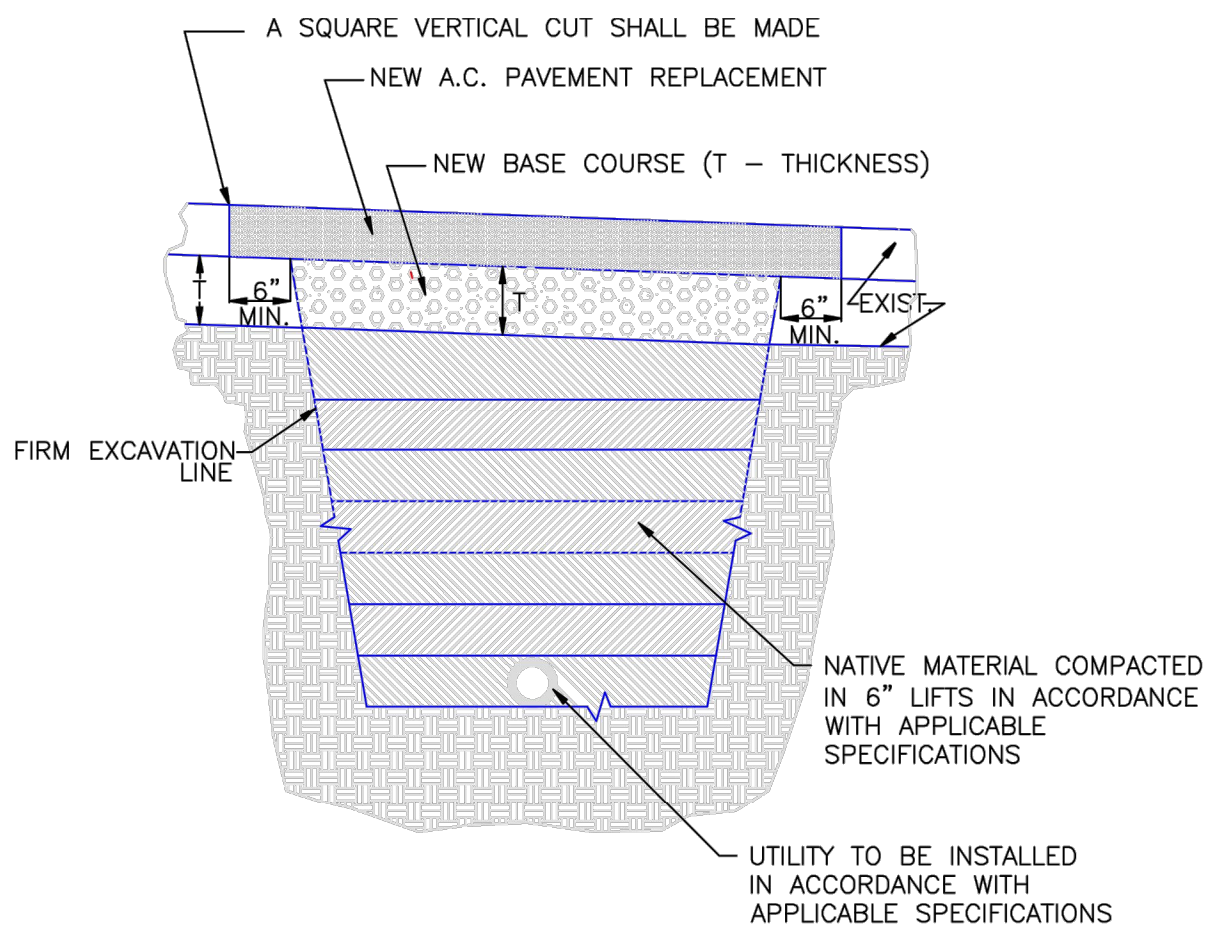


BACKFILL NOTES:

- WHERE PIPE IS DIRECTLY BENEATH OR WITHIN 5 FEET OF PAVEMENT AREAS, FINAL BACKFILL SHOULD CONSIST OF COMPACTED #53 AGGREGATE PLACED FROM 12" ABOVE THE TOP OF PIPE TO THE PAVEMENT BASE.
- OUTSIDE PAVEMENT AREAS, NATIVE MATERIAL SHALL BE USED AND COMPACTED TO PREVENT SETTLEMENT. NATIVE MATERIAL TO BE CLEAN FILL MATERIAL AND FREE OF ROCKS 6" IN DIAMETER AND LARGER.
- ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D231, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
- ALL BEDDING & INITIAL BACKFILL SHALL BE INSTALLED IN 6" TO 12" BALANCED LIFTS. BEDDING MATERIAL SHALL BE HAND PLACED AROUND THE HAUNCH & SIDES OF THE PIPE TO ENSURE PROPER COMPACTION & COMPLETE FILLING OF ALL VOIDS.

FLEXIBLE PIPE BEDDING DETAIL


NOT TO SCALE



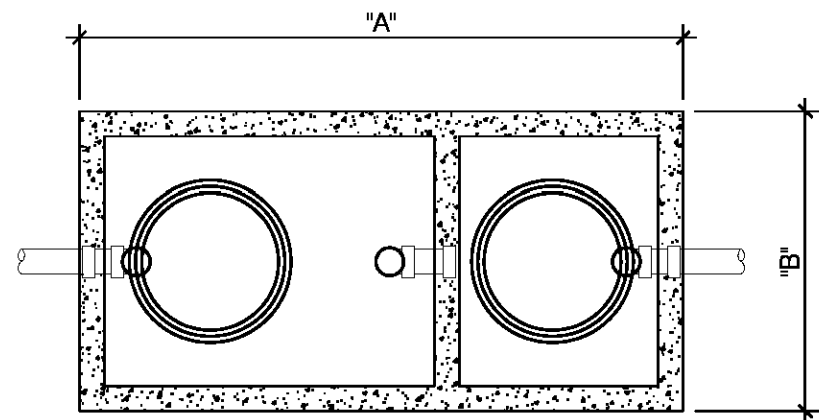
NOTES:

- THIS DETAIL MAY BE USED FOR PAVEMENT CUTS LESS THAN 200 SQ. FT.
- EXISTING PAVEMENT MAY BE ROUGH CUT INITIALLY IN CONJUNCTION WITH TRENCHING.
- A SQUARE VERTICAL CUT SHALL BE MADE IN THE EXISTING A.C. PAVEMENT AFTER PLACEMENT OF BACKFILL PRIOR TO PAVEMENT REPLACEMENT.
- THICKNESS OF NEW A.C. PAVEMENT REPLACEMENT SHALL MATCH EXISTING (4" MIN.)
- THICKNESS OF NEW BASE COURSE SHALL BE MINIMUM OF 6" OR EQUAL TO EXISTING, WHICHEVER IS GREATER.

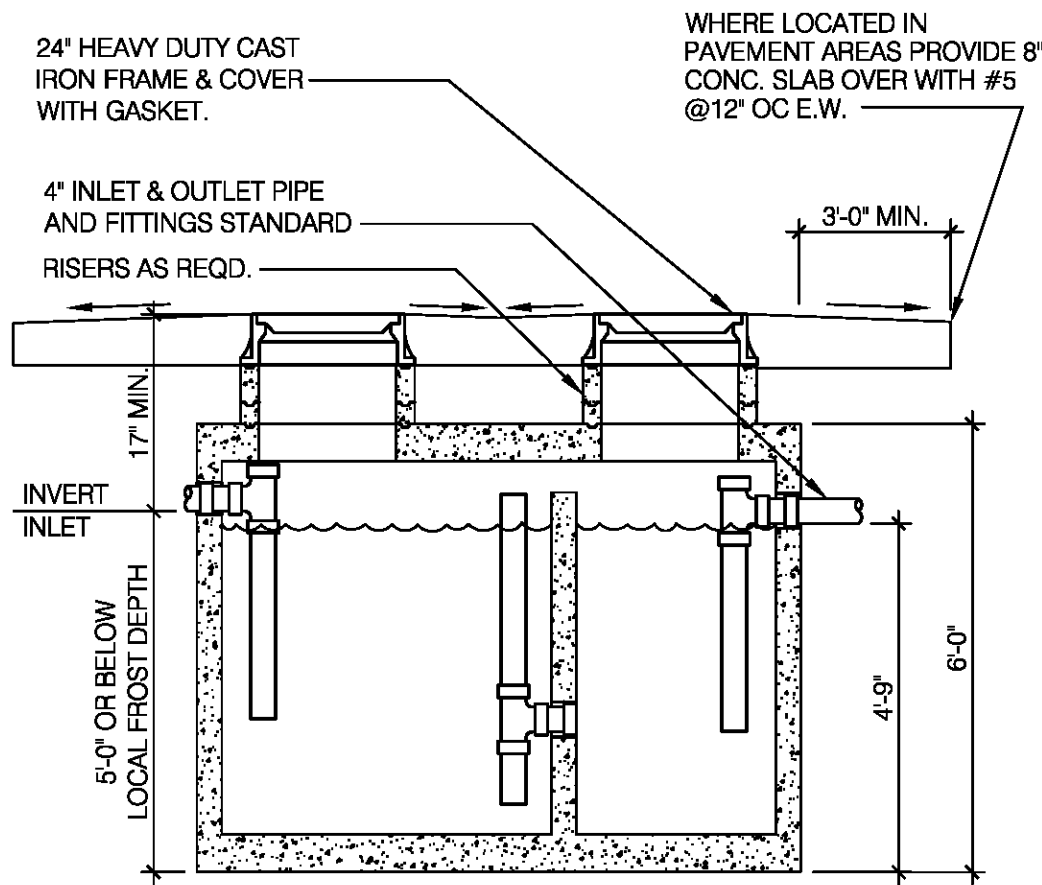
SCALE: NOT TO SCALE

8/11/11		Utility Trench Repair Detail Asphalt Pavement Standard Drawing		
DATE APPROVED:				
André P. Brackin				
DEPARTMENT OF TRANSPORTATION		REVISION DATE:	FILE NAME:	
		11/10/04	SD_4-20	

EXTERIOR GREASE INTERCEPTOR



TOP VIEW



SECTION

G.T. SIZE	DIM. 'A'	DIM. 'B'
500 GALLON	6'-2"	4'-2"
750 GALLON	8'-1"	4'-0"
1000 GALLON	8'-2"	5'-1"
1200 GALLON	8'-6"	5'-9"

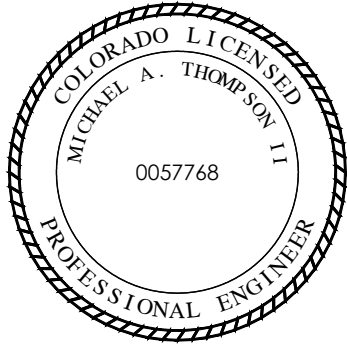
YUM! STD.

YUM! STD.

NOTE:
UTILIZE 1,000 GALLON INTERCEPTOR UNLESS LOCAL CODES SPECIFY ALTERNATIVE CAPACITY.

EXTERIOR GREASE INTERCEPTOR

REVISION BLOCK



Michael Thompson

DATE

10/21/2020

DRAWN BY

KPB

CHECKED BY

AMT

HAMILTON
DESIGNS

A LIMITED LIABILITY COMPANY

11 Municipal Drive, Suite 300
Fishers, Indiana 46038
P. (317) 570-9800
www.hamilton-designs.com

CONSTRUCTION PLANS FOR:

ARBY'S I FALCON, CO

11775 Meridian Market View
Falcon, Colorado 80831

BELL AMERICAN GROUP, LLC

8930 Bash Street, Suite L
Indianapolis, Indiana 46256

PROJECT NO.

2019-0246

DATE

10/21/2020

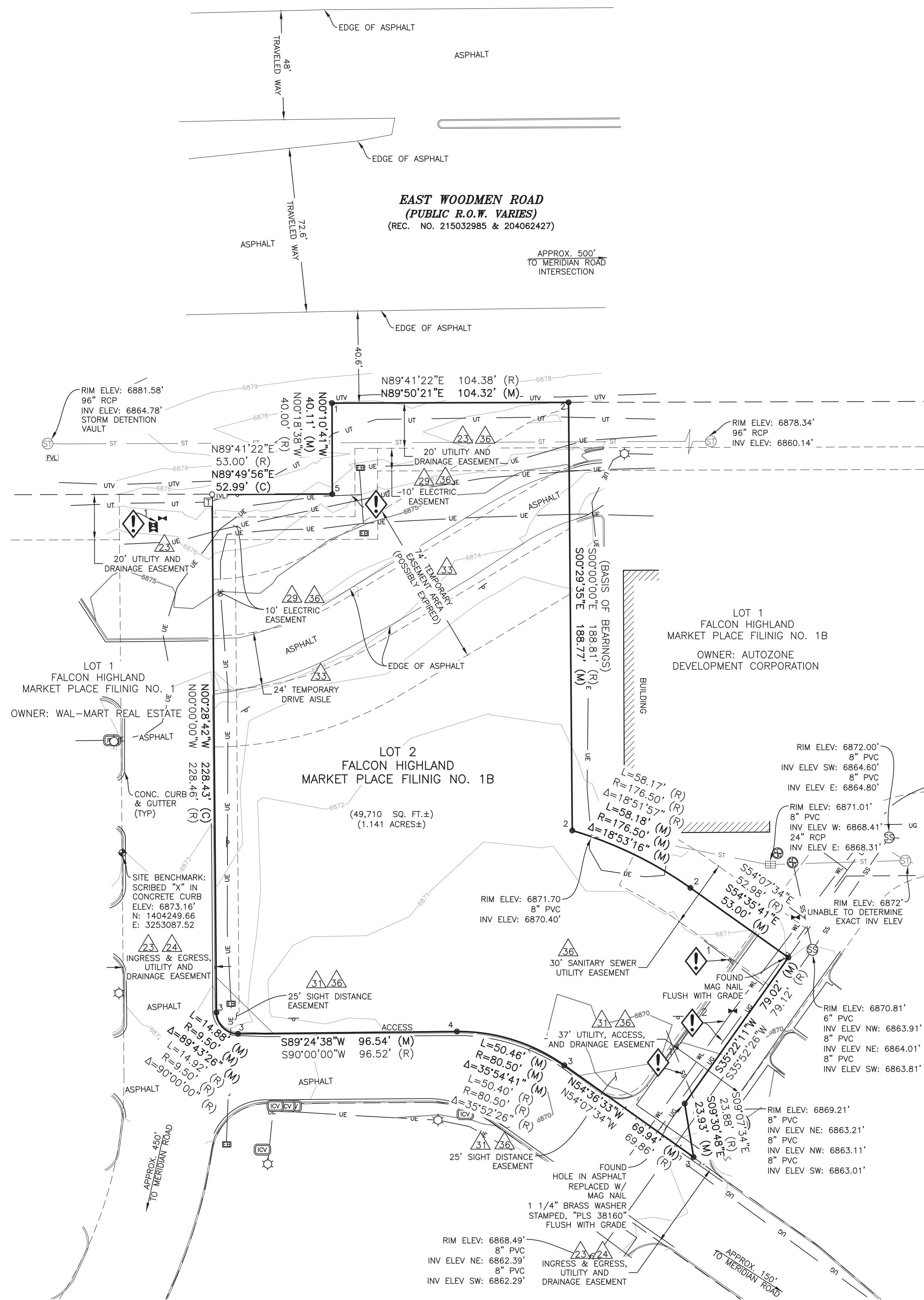
SCALE

SHEET NAME

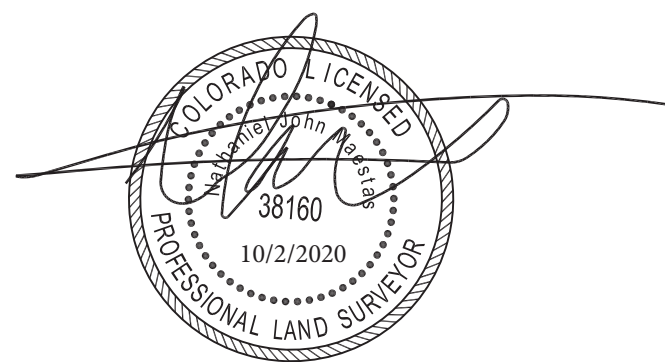
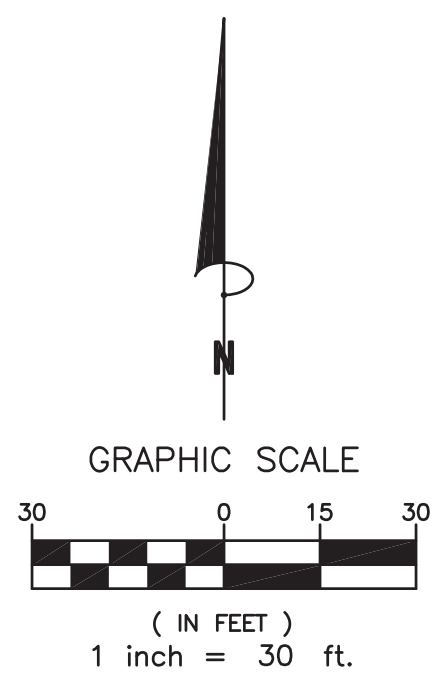
UTILITY
DETAILS

SHEET NO.

CU-501



- LEGEND
- ◆ SITE BENCHMARK
 - FOUND MONUMENT (AS NOTED)
 - 1 NO 4 REBAR W/
YELLOW PLASTIC CAP
STAMPED, "PLS 24964"
FLUSH WITH GRADE
 - 2 NO 5 REBAR W/
1 1/4" ALUMINUM CAP
STAMPED, "PLS 23515"
FLUSH WITH GRADE
 - 3 MAG NAIL W/
1 1/2" ALUMINUM CAP
STAMPED, "PLS 34583"
FLUSH WITH GRADE
 - 4 NO 5 REBAR W/
1 1/4" ALUMINUM CAP
STAMPED, "PLS 34583"
FLUSH WITH GRADE
 - 5 NO 5 REBAR W/
RED PLASTIC CAP
STAMPED, "PLS 35589"
FLUSH WITH GRADE
 - SET MONUMENT (AS NOTED)
 - NO 5 REBAR W/
RED PLASTIC CAP
STAMPED, "PLS 38160"
FLUSH WITH GRADE
 - SANITARY MANHOLE
 - CLEANOUT
 - STORM MANHOLE
 - STORM INLET (ROUND)
 - STORM INLET (RECTANGLE)
 - WATER VALVE
 - IRRIGATION CONTROL VALVE
 - LIGHT POLE
 - ELECTRIC TRANSFORMER
 - ELECTRIC CABINET
 - FIBEROPTIC VAULT
 - TELEPHONE VAULT
 - TELEPHONE PEDESTAL
 - TELEPHONE MARKER
 - SIGN
 - ST — STORM LINE (UNDERGROUND)
 - SS — SANITARY LINE (UNDERGROUND)
 - WL — WATER LINE (UNDERGROUND)
 - UE — ELECTRIC LINE (UNDERGROUND)
 - UT — TELEPHONE LINE (UNDERGROUND)
 - UTV — CABLE TV LINE (UNDERGROUND)
 - UG — GAS LINE (UNDERGROUND)
 - △ X △ EXCEPTION NUMBER
 - △ X △ AREA OF CONCERN
 - (R) RECORD
 - (M) MEASURED
 - (C) CALCULATED



ALTANSPS LAND TITLE SURVEY

A PORTION OF THE NORTHEAST 1/4 OF SECTION 12,
TOWNSHIP 13 SOUTH, RANGE 65 WEST, OF THE 6TH P.M.,
CITY OF FALCON, EL PASO COUNTY, COLORADO

Project No. 200838 Drawn By: SCG Date: 9/24/2020
Checked By: NJM Sheet 2 of 2

Notice: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

Revisions		Date	
No.	Description	By	Date
1	Added water/gas line information	SCG	10/2/2020

LEGAL DESCRIPTION:

Lot 2, Falcon Highlands Market Place Filing No. 1B, County of El Paso, State of Colorado.

NOTES:

1. Any underground utilities shown have been located from field survey information, as--built drawings and/or utility markings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from the information available. Public utility locate request was made under Ticket No. A025901494--00A dated 09/15/2020. This site was located by standard RF methods.
2. Basis of bearings is the east line of Lot 2, Falcon Highland Market Place Filing No. 1B, monumented at the north and south by a no. 5 rebar with a 1 1/4" aluminum cap stamped, "PLS 23515" flush with grade, having a measured bearing of S00°29'35"E a measured distance of 188.77 feet.
3. FEDERAL EMERGENCY MANAGEMENT AGENCY, FEMA FIRMette published September 24, 2020, referencing Flood Insurance Rate Map, Map Number 08041C0553G effective date December 7, 2018, indicates this parcel of land is located in Zone X (Area of minimal flood hazard).
4. This survey does not constitute a title search by Clark Land Surveying, Inc. to determine ownership or easements of record. For all information regarding easements, rights of way and title of record, Clark Land Surveying, Inc. relied upon a Commitment for Title Insurance, prepared by First American Title Insurance Company, Commitment No. NCS--1000392--OMHA with an effective date of June 18, 2020 at 5:00 PM.
5. The lineal units used in this drawing are U.S. Survey Feet.
6. Elevations are based on NAVD 88 datum.
7. The improvements shown hereon are as of the date of field work, September 23, 2020.
8. This site is zoned: No zoning report was provided at the time of survey.

For additional zoning information please contact the El Paso County Planning Department at (719) 520--6300

9. This property contains a calculated area of 49,710 square feet (1.141 acres) more or less.
10. There are improvements along portions of the boundary as shown hereon. Ownership and/or maintenance responsibilities of said improvements was not determined by this survey.
11. Access is obtained indirectly from Meridian Road through a ingress/egress, utility and drainage easement shown on the plat of Falcon Highlands Market Place Filing No. 1 recorded December 29, 2005 under Reception No. 205204360. The right of way lines of said street and the boundary lines of subject property are coterminous and contain no gaps, gores or overlaps.
12. Easements and other record documents shown or noted on this survey were examined as to location and purpose and were not examined as to restrictions, exclusions, conditions, obligations, terms, or as to the right to grant the same.
13. This ALTA/NSPS Land Title Survey was prepared for the exclusive use of persons/parties listed in certification. Said statement does not extend to any unnamed person/parties without an express statement by the surveyor naming said person/parties.
14. The subject property is vacant land -- Not Posted Address: 11775 Meridian Market View, Falcon, Colorado.
15. There is no observable evidence of earth moving work, building construction or building additions within recent months.
16. There are no changes in street right of way lines either completed or proposed, per documents provided by title company.
17. There is no observable evidence of recent street or sidewalk construction or repairs.
18. There is no evidence of potential wetlands observed on the subject property at the time the survey was conducted, nor have we received any documentation of any wetlands being located on the subject property. No markers were observed at the time of the survey.
19. Encroachment Statement:

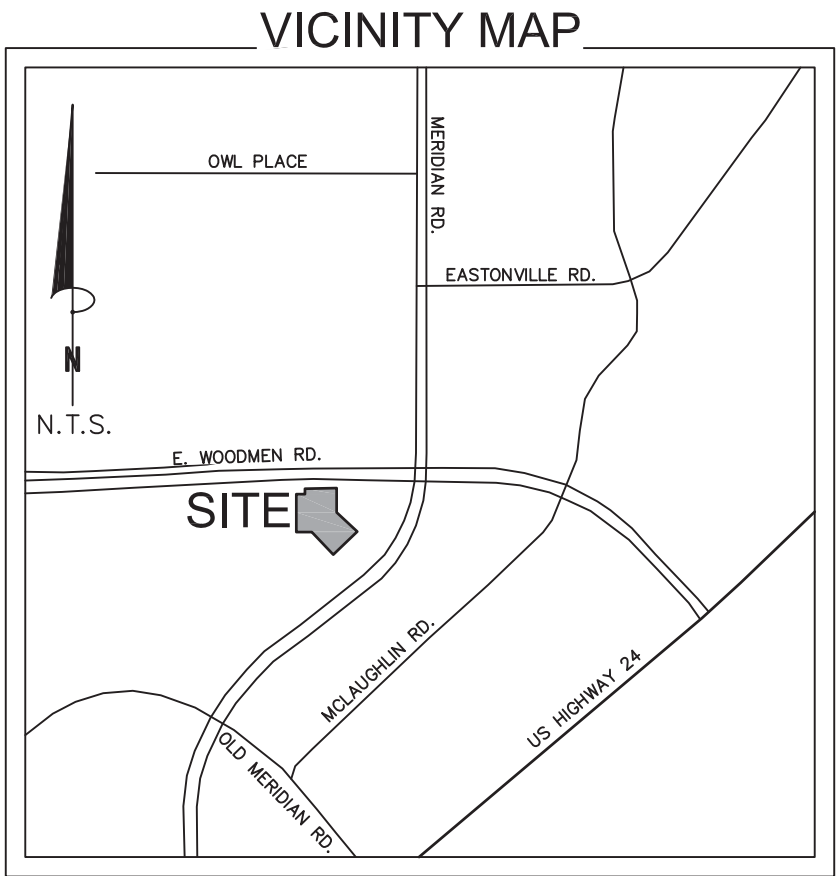
No apparent encroachments at the time of survey.
20. Site Benchmark: Scribed "X" in concrete curb, as shown. Elevation: 6873.16' (NAVD 88)

AREAS OF CONCERN:

- 1 Unable to determine terminus of utility line.
- 2 Gas line is shown per a gas as--built provided by Colorado Spring Utilities, and water line is shown per separate utility sketch

SCHEDULE B2 EXCEPTIONS:

- Item No.
- 9 Easements, notes, covenants, restrictions and rights--of--way as shown on the plat of Falcon, recorded September 18, 1888 in Plat Book B at Page 37.
--IS LOCATED ON SUBJECT PARCEL, BLANKET IN NATURE.
- 10 Reservation of a One Half interest in oil, gas and other minerals as reserved in Deeds recorded December 16, 1964 in Book 2049 at Page 330, and recorded January 7, 1965 in Book 2051 at Page 997, and any and all assignments thereof or interests therein.
--IS LOCATED ON SUBJECT PARCEL, BLANKET IN NATURE.
- 11 Any tax, lien, fee or assessment by reason of inclusion of subject property in the The Upper Black Squirrel Creek Ground Water Management District, as evidenced by instrument recorded December 11, 1979 in Book 3260 at Page 701.
--IS LOCATED ON SUBJECT PARCEL, BLANKET IN NATURE.
- 12 Any tax, lien, fee or assessment by reason of inclusion of subject property in the Falcon Fire Protection District, as evidenced by instrument recorded December 2, 1980 in Book 3380 at Page 670, and in Book 3380 at Page 675, and recorded February 17, 1981 in Book 3404 at Page 582, and in Book 3404 at Page 587.
--IS LOCATED ON SUBJECT PARCEL, BLANKET IN NATURE.
- 13 The Following notice pursuant to CRS 9--1.5--103 concerning underground facilities have been filed with the Clerk and Recorder and are general and does not necessarily give notice of underground facilities with the subject property: Mountain View electric Association, Inc. recorded May 9, 1983 in Book 3718 at Page 812.
--IS LOCATED ON SUBJECT PARCEL, BLANKET IN NATURE.
- 14 Terms, conditions, provisions, obligations and agreements as set forth in the Resolution No. 99--517 recorded March 6, 2001 at Reception No. 201027211.
--IS LOCATED ON SUBJECT PARCEL, NOT SURVEY RELATED.
- 15 Terms, conditions, provisions, obligations and agreements as set forth in the Agreement recorded February 4, 2002 at Reception No. 202019211.
--IS NOT LOCATED ON SURVEY AREA.
- 16 Terms, conditions, provisions, obligations and agreements as set forth in the Resolution No. 02--282 recorded August 2, 2002 at Reception No. 202127235.
--IS LOCATED ON SUBJECT PARCEL, NOT SURVEY RELATED.
- 17 PUD Development Plan -- Falcon Highlands recorded August 8, 2002 at Reception No. 202131585, and PUD Guidelines recorded August 8, 2012 at Reception No. 202131586.
--IS LOCATED ON SUBJECT PARCEL, BLANKET IN NATURE.
- 18 Any tax, lien, fee or assessment by reason of inclusion of subject property in the Woodmen Road Metropolitan District, as evidenced by instrument recorded January 23, 2003 at Reception No. 203016313.
--IS LOCATED ON SUBJECT PARCEL, BLANKET IN NATURE.
- 19 Terms, conditions, provisions, obligations and agreements as set forth in the Resolution No. 04--500 recorded January 31, 2005 at Reception No. 205015066.
--IS LOCATED ON SUBJECT PARCEL, NOT SURVEY RELATED.
- 20 Terms, conditions, provisions, obligations and agreements as set forth in the Resolution No. 05--468 recorded December 29, 2005 at Reception No. 205204357.
--IS LOCATED ON SUBJECT PARCEL, NOT SURVEY RELATED.
- 21 Terms, conditions, provisions, obligations and agreements as set forth in the Resolution No. 05--469 recorded December 29, 2005 at Reception No. 205204358.
--IS LOCATED ON SUBJECT PARCEL, NOT SURVEY RELATED.
- 22 Terms, conditions, provisions, obligations and agreements as set forth in the Subdivision Improvements Agreement recorded December 29, 2005 at Reception No. 205204359.
--IS LOCATED ON SUBJECT PARCEL, NOT SURVEY RELATED.
- 23 Easements, notes, covenants, restrictions and rights--of--way as shown on the plat of Falcon Highlands Market Place Filing No. 1, recorded December 29, 2005 at Reception No. 205204360.
--IS LOCATED ON SUBJECT PARCEL, BLANKET IN NATURE AND SHOWN HEREON.
- 24 Terms, conditions, provisions, obligations and agreements as set forth in the Access and Maintenance Agreement recorded December 30, 2005 at Reception No. 205205441.
--IS ADJACENT TO SUBJECT PARCEL, SHOWN HEREON.
- 25 Covenants, conditions, restrictions, provisions, easements and assessments as set forth in Easements with Covenants and Restrictions Affecting Land ("ECR") recorded December 30, 2005 at Reception No. 205205445, First Amendment recorded March 8, 2007 at Reception No. 207032067, and Second Amendment recorded September 2, 2009 at Reception No. 209105012, and Third Amendment recorded November 12, 2013 at Reception No. 213138230, but omitting any covenant or restriction based on race, color, religion, sex, handicap, familial status, or national origin, and any and all amendments, assignments, or annexations thereto.
--IS LOCATED ON SUBJECT PARCEL, BLANKET IN NATURE.
- 26 Terms, conditions, provisions, obligations and agreements as set forth in the Memorandum of Joint Development Agreement recorded January 6, 2006 at Reception No. 206002273.
--IS LOCATED ON SUBJECT PARCEL, BLANKET IN NATURE.
- 27 Terms, conditions, provisions, obligations and agreements as set forth in the Resolution No. 05--537 recorded January 23, 2006 at Reception No. 206009492.
--IS NOT LOCATED ON SUBJECT PARCEL, NOT SURVEY RELATED.
- 28 Terms, conditions, provisions, obligations and agreements as set forth in the Resolution No. 05--538 recorded January 26, 2006 at Reception No. 206011021.
--IS LOCATED ON SUBJECT PARCEL, NOT SURVEY RELATED.
- 29 Terms, conditions, provisions, obligations, easements and agreements as set forth in the Grant of Right of Way recorded December 27, 2006 at Reception No. 206186206.
--IS LOCATED ON SUBJECT PARCEL, SHOWN HEREON.
- 30 Terms, conditions, provisions, obligations and agreements as set forth in the Exclusive Agreement recorded December 29, 2006 at Reception No. 206187816.
--IS LOCATED ON SUBJECT PARCEL, BLANKET IN NATURE.
- 31 Easements, notes, covenants, restrictions and rights--of--way as shown on the plat of Falcon Highlands Market Place Filing No. 1A, recorded November 27, 2006 at Reception No. 206712475.
--IS LOCATED ON SUBJECT PARCEL, BLANKET IN NATURE AND SHOWN HEREON.
- 32 Terms, conditions, provisions, obligations and agreements as set forth in the Resolution No. 06--338 recorded March 2, 2007 at Reception No. 207029075.
--IS LOCATED ON SUBJECT PARCEL, NOT SURVEY RELATED.
- 33 Terms, conditions, provisions, obligations, easements and agreements as set forth in the Temporary Drive Aisle Agreement recorded December 8, 2009 at Reception No. 209140581.
--IS LOCATED ON SUBJECT PARCEL, SHOWN HEREON. (POSSIBLY EXPIRED)
- 34 Terms, conditions, provisions, obligations and agreements as set forth in the Common Area Maintenance Agreement recorded December 8, 2009 at Reception No. 209140582.
--IS LOCATED ON SUBJECT PARCEL, BLANKET IN NATURE.
- 35 Terms, conditions, provisions, obligations and agreements as set forth in the Exclusive Agreement recorded December 8, 2009 at Reception No. 209140583.
--IS LOCATED ON SUBJECT PARCEL, BLANKET IN NATURE.
- 36 Easements, notes, covenants, restrictions and rights--of--way as shown on the plat of Falcon Highlands Market Place Filing No. 1B, recorded October 22, 2009 at Reception No. 209712894. Items not listed above are determined non--survey related items and are not plotted hereon.
--IS LOCATED ON SUBJECT PARCEL, BLANKET IN NATURE AND SHOWN HEREON.



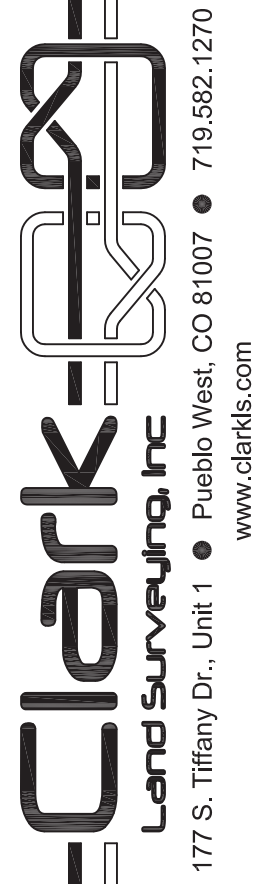
ALTA/NSPS LAND TITLE SURVEY

A PORTION OF THE NORTHEAST 1/4 OF SECTION 12,
TOWNSHIP 13 SOUTH, RANGE 65 WEST, OF THE 6TH P.M.,
CITY OF FALCON, EL PASO COUNTY, COLORADO

Project No.	Drawn By: SCG	Date: 9/24/2020
	Checked By: NJM	Sheet 1 of 2

Notice: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

Revisions	Description	By	Date
No.			
1	Added water/gas line information	SCG	10/2/2020

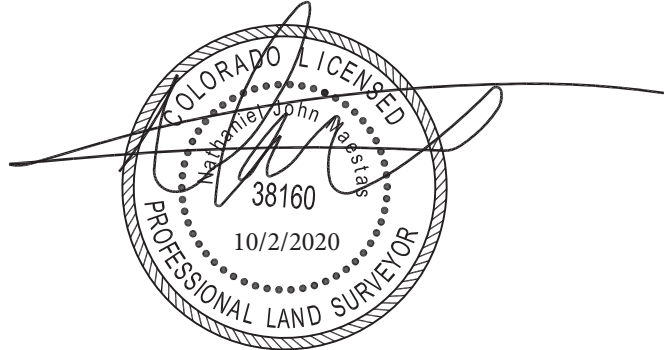


SURVEYOR'S CERTIFICATION:

To: Rb Colorado LLC, a Delaware limited liability company; Regency Realty Group, Inc., a Florida corporation; and First American Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6b, 7a, 7b1, 7c, 8, 9, 11, 13, 14, 16, 17, 18, 19, 20 and 21 of Table A thereof. The field work was completed on September 23, 2020.
Date of Plat or Map: September 24, 2020.

The undersigned further states that the plat was surveyed and drawn to the normal standard of practice of surveyors in the State of Colorado under his direct responsibility and supervision and accurately shows the described tract of land thereof, and that the requirements of Title 38 of Colorado Revised Statutes, 1973, as amended, have been met to the best of his professional knowledge, belief and opinion. This certification is neither a warranty nor guarantee, either expressed or implied.



Nathaniel J. Maestas
Colorado Professional Land Surveyor No. 38160
For and on behalf of Clark Land Surveying, Inc.
Email: ALTA@clarksls.com