

KING SOOPERS #147 FALCON MARKETPLACE LOTS 2 & 3, BLOCK 1 A PORTION OF SECTION 1, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M., EL PASO COUNTY, COLORADO SITE DEVELOPMENT PLAN

LIST OF CONTACTS

APPLICANT/DEVELOPER

KING SOOPERS INC.
65 TEJON STREET
DENVER, COLORADO 80223
TEL: (303) 778-8884
CONTACT: LOWELL GOOD

ENGINEER

GALLOWAY & COMPANY, INC.
6162 SOUTH WILLOW DRIVE, SUITE 320
GREENWOOD VILLAGE, COLORADO 80111
TEL: (303) 770-8884
FAX: (303) 770-3636
CONTACT: JENNY ROMANO, P.E.
EMAIL: jenny.romano@gallowayus.com

ARCHITECT

CR ARCHITECTURE & DESIGN
600 VINE STREET, SUITE 2210
CINCINNATI, OHIO 45202
TEL: (513) 721-8090
CONTACT: ANTHONY FREY, AIA
EMAIL: a.frey@cr-architects.com

LANDSCAPE ARCHITECT

GALLOWAY & COMPANY, INC.
6162 SOUTH WILLOW DRIVE, SUITE 320
GREENWOOD VILLAGE, COLORADO 80111
TEL: (303) 770-8884
FAX: (303) 770-3636
CONTACT: TIM NELSON
EMAIL: TimNelson@gallowayus.com

SURVEYOR

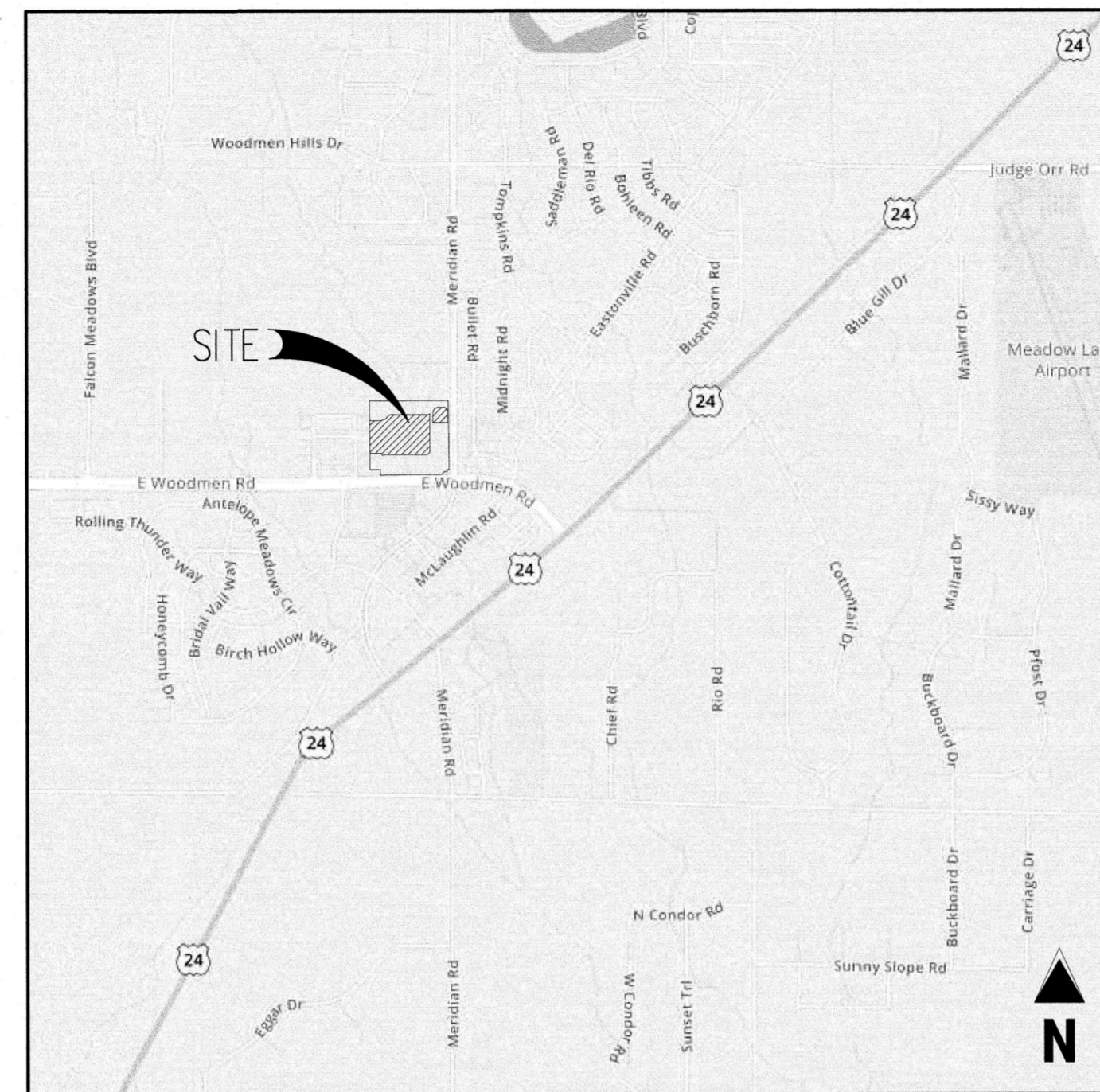
CLARK SURVEYING
119 N. WAHATCH AVE.
COLORADO SPRINGS, CO 80903
TEL: (719) 633-6533
CONTACT: CAMERON FORTH

EL PASO COUNTY PLANNING & COMMUNITY DEVELOPMENT

2880 INTERNATIONAL CIRCLE
COLORADO SPRINGS, CO 80910
TEL: (719) 520-6306
CONTACT: KARI PARSONS
EMAIL: kariparsons@epasoco.com

SITE DATA TABLE	LOT 2 (KING SOOPERS STORE)		LOT 3 (KING SOOPERS FUEL)	
	AREA (SQ. FT.)	% OF GROSS SITE	AREA (SQ. FT.)	% OF GROSS SITE
ZONING	CR: COMMERCIAL REGIONAL		CR: COMMERCIAL REGIONAL	
GROSS SITE AREA	434,598	100.0	57,020	100.0
BUILDING FOOTPRINT	123,000	28.3	180	0.3
PARKING / DRIVES / WALKS / DISPLAY	288,031	66.3	37,774	66.4
LANDSCAPE AREAS	23,567	5.4	19,066	33.3
PARKING DATA	REQUIRED SPACES	PROVIDED SPACES	REQUIRED SPACES	PROVIDED SPACES
STANDARD SPACES (9.5'x21.5' 60-DEGREE AND 9.5'x18' 90-DEGREE)	510	427	1	-
ACCESSIBLE SPACES (9.5'x21.5' 60-DEGREE)	7	20	0	-
TOTAL SPACES	517	447	1	-
PARKING RATIO	1 SPACE / 300 SF GFA PLUS 1 SPACE PER 2 EMPLOYEES	3.6 SPACES / 1000 SF GFA	1 SPACE PER EMPLOYEE ON MAX SHIFT	-
BICYCLE PARKING	5% OF TOTAL PARKING OR MIN. 1	25	-	-

** CART CORRALS NOT INCLUDED AS A PARKING SPACE



VICINITY MAP
SCALE: 1" = 1000'

SHEET LIST

SHEET NO.	TITLE
CO.0	COVER SHEET
C1.0	SITE PLAN
C1.1	SITE DETAILS
C1.2	SITE DETAILS
-	PHOTOMETRIC PLAN (BY EATON)
C5.1	PHOTOMETRIC DETAILS
L1.0	SITE LANDSCAPE PLAN
L1.1 - L1.5	LANDSCAPE PLAN
L1.6	LANDSCAPE DETAILS & NOTES
A1.1	ARCHITECTURAL ELEVATIONS
A1.2	CANOPY ELEVATIONS

GENERAL SITE DESCRIPTION

PROJECT DESCRIPTION:
CONSTRUCTION OF A 123,000 SQUARE FOOT RETAIL BUILDING AND 9 DISPENSER ISLAND FUEL CENTER WITH ASSOCIATED LANDSCAPING, PARKING, AND DRIVES.

CURRENT ZONING: CR

GENERAL NOTES

- SURVEY INFORMATION AND TOPOGRAPHIC CONTOURS WERE PROVIDED BY OTHERS. GALLOWAY & COMPANY INC. CANNOT BE HELD LIABLE FOR ANY INACCURACY IN THE SURVEY INFORMATION.
- EL PASO COUNTY SHALL NOT BE LIABLE FOR THE MAINTENANCE OF PRIVATE IMPROVEMENTS AS SHOWN ON THESE PLANS.
- APPROVED BASE FLOOD ELEVATIONS (BFEs) WILL BE ESTABLISHED THROUGH THE LOMR PROCESS.

LEGAL DESCRIPTION

LOTS 2 AND 3, BLOCK 1 OF FALCON MARKETPLACE SUBDIVISION, A PORTION OF SECTION 1, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M., EL PASO COUNTY, COLORADO.

Approved

By: Craig Dossey, Executive Director

Date: 01/11/2022

El Paso County Planning & Community Development



DESIGN ENGINEER'S STATEMENT

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.

Jenny Romano
JENNY ROMANO, P.E. #44401

9/24/21
DATE

OWNER/DEVELOPER'S STATEMENT

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

Charles M. Boehm
DILLON REAL ESTATE CO., INC. A KANSAS CORPORATION

10/8/2020
DATE

Galloway

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GallowayUS.com



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King Soopers
Supermarket / Petroleum
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Denver, CO 80223
Phone (303) 778-3053
Fax (303) 671-9262

KING SOOPERS #147
FALCON MARKETPLACE
LOTS 2 & 3, BLOCK 1
7530 & 7595 FALCON MARKET PL.
FALCON, CO

#	Date	Issue / Description	Init.
1	12/16/19	2ND SDP Sub.	ACJ
2	03/30/20	3RD SDP Sub.	ACJ
3	05/29/20	4TH SDP Sub.	ACJ
4	10/22/20	5TH SDP Sub.	ACJ
5	09/24/21	6TH SDP Sub.	ACJ

Project No: KSS000147
Drawn By: ACJ
Checked By: JRR
Date: 8/29/19

COVER SHEET

CO.0

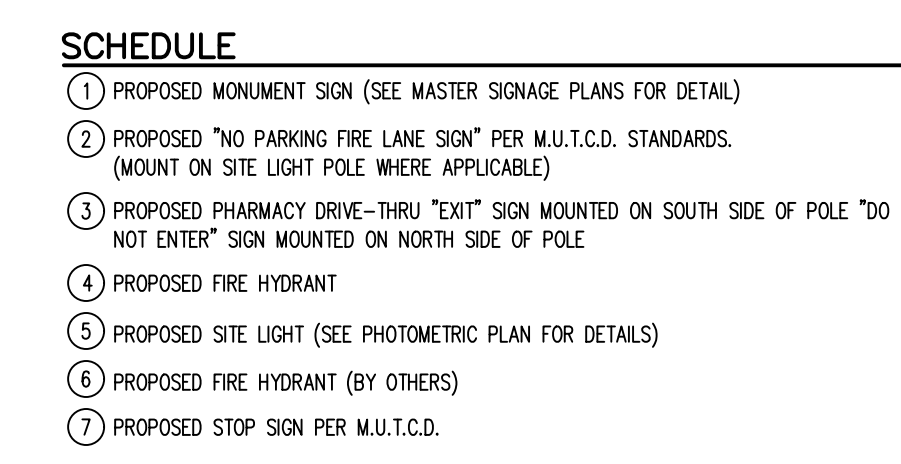
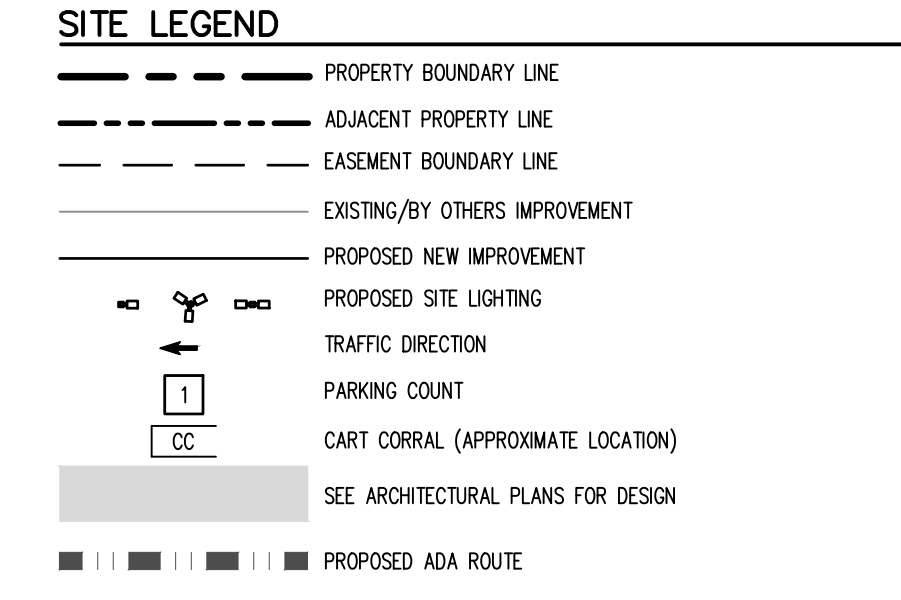
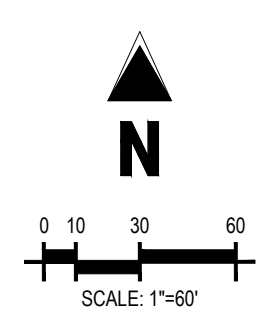
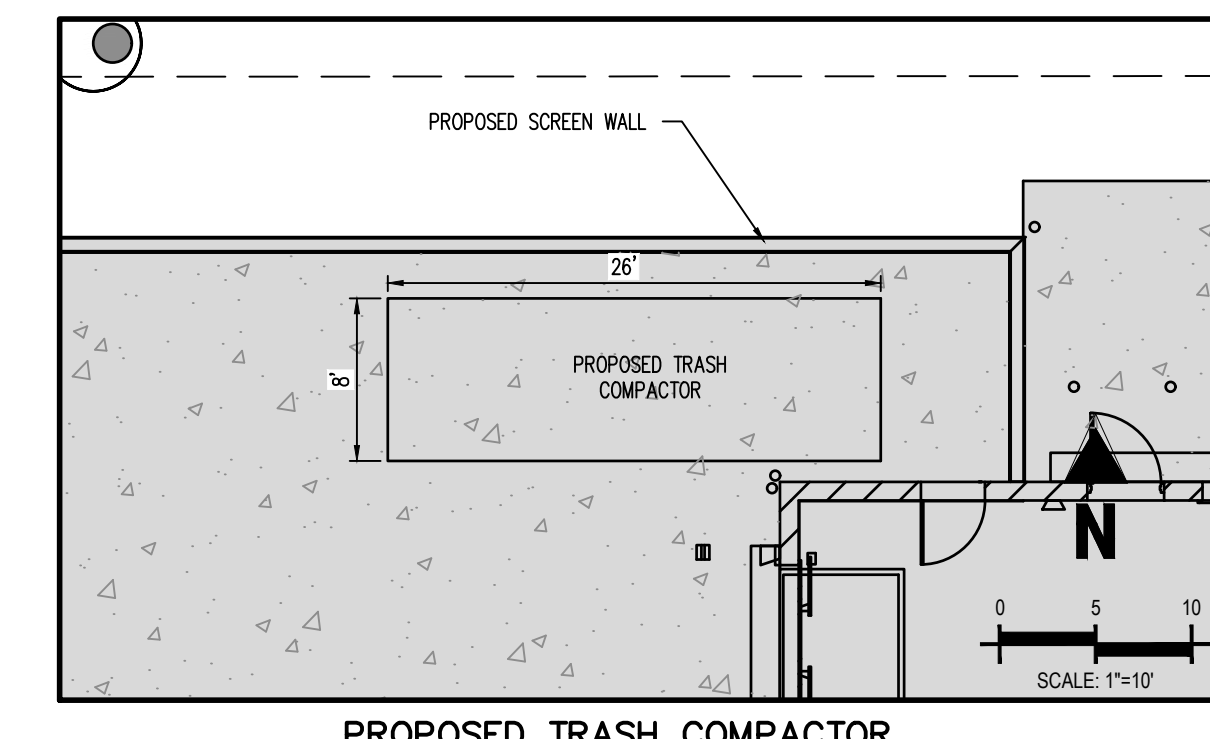
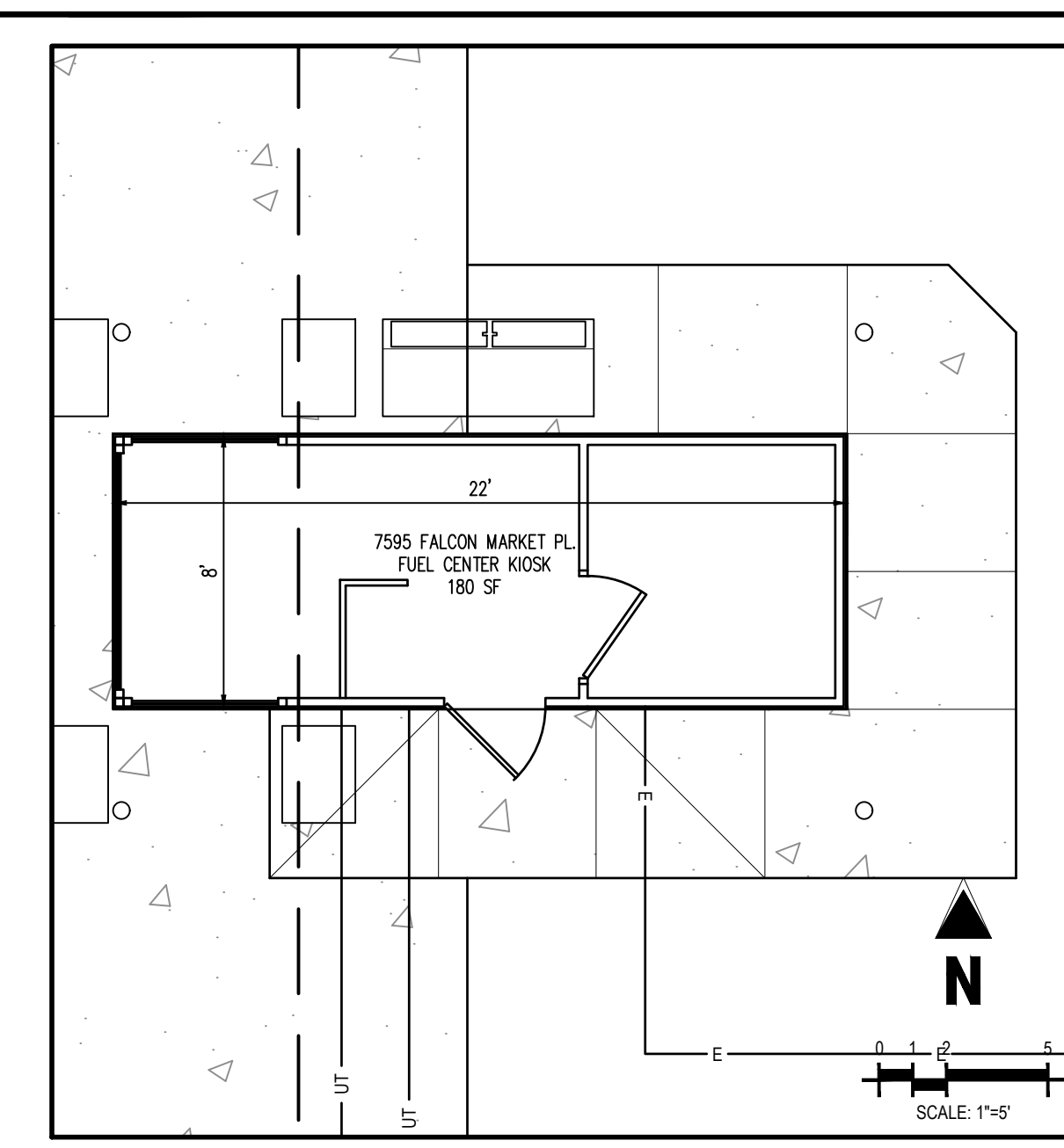
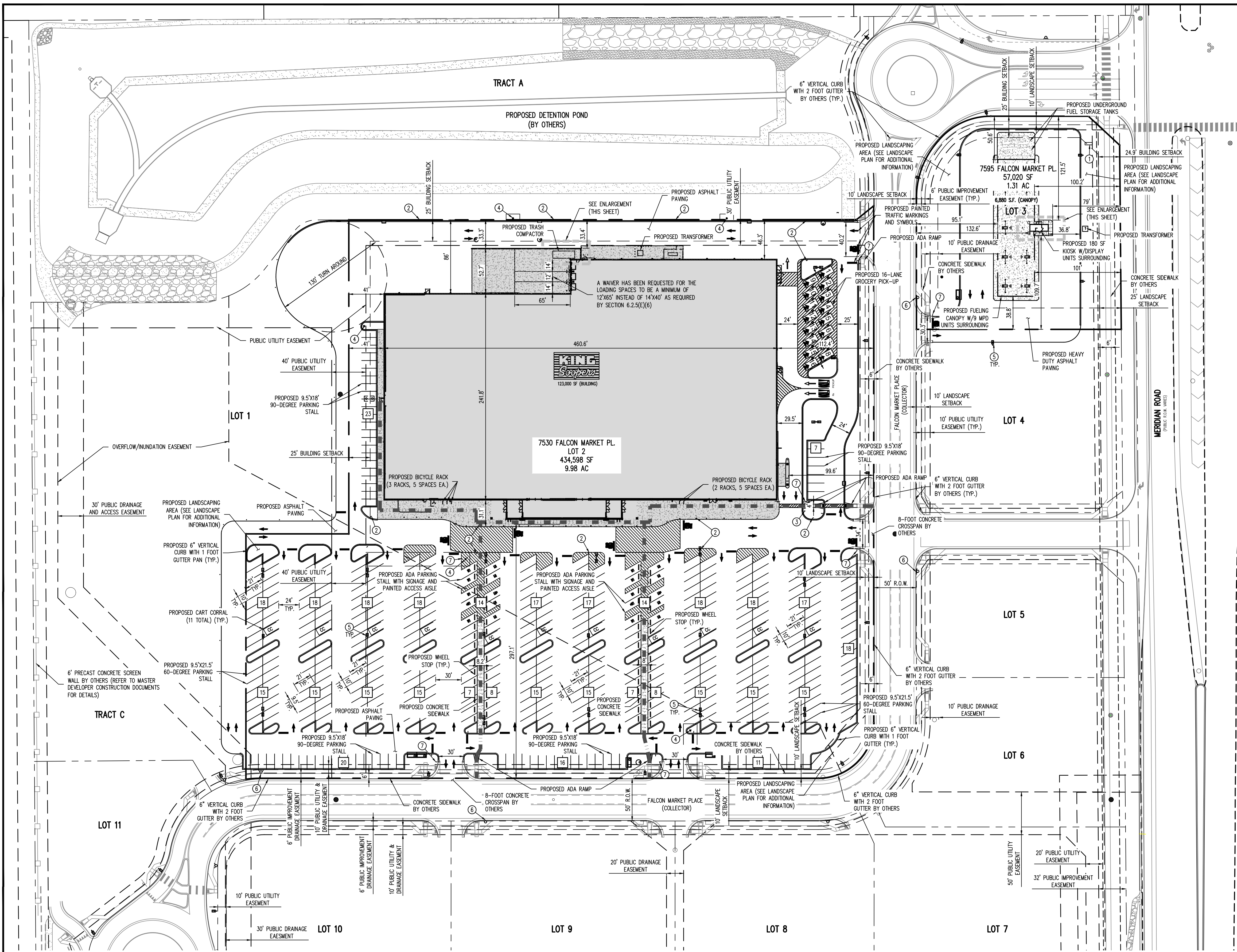


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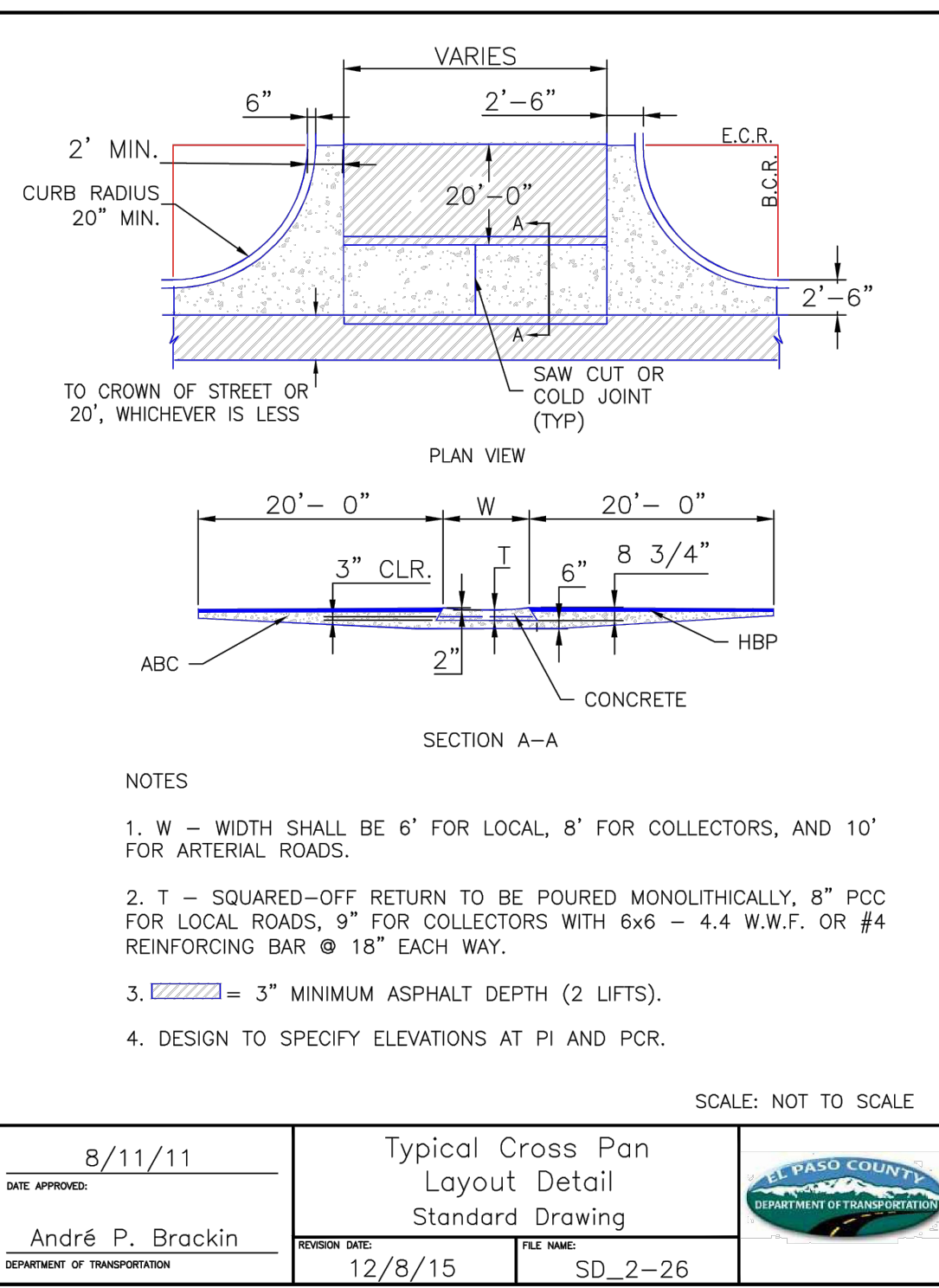
Project No:	KSS0000147
Drawn By:	JRR
Checked By:	JRR
Date:	8/29/19

SITE PLAN

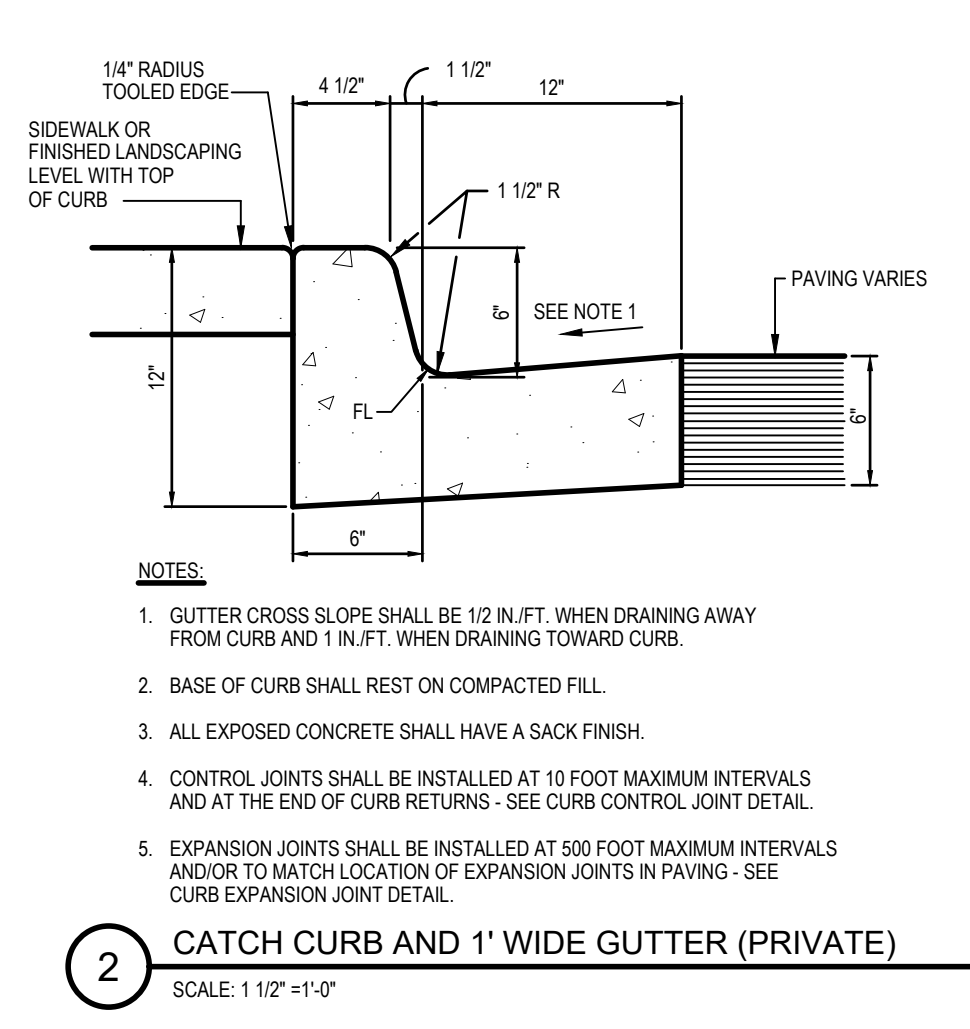
NOTES

- ALL PERMANENT STRIPING ON ASPHALT TO BE THERMOPLASTIC.
- ALL STRIPING ON CONCRETE TO BE EPOXY FOR LANE LINES, TAPE 380-5 FOR SKIP DASH, PREFORMED COLD PLASTIC SYMBOLS, LEGEND AND CROSSWALKS.
- ALL PAVEMENT MARKINGS AND SIGNS ON PRIVATE ROADWAYS SHOULD CONFORM TO THE MANUAL OF UNIFORM TRAFFIC DESIGN.
- ON-SITE PAVEMENT MARKINGS AND ARROWS WILL NOT BE MAINTAINED BY EL PASO COUNTY.
- APPROVED BASE FLOOR ELEVATIONS (BFEs) WILL BE ESTABLISHED THROUGH THE LMR PROCESS.

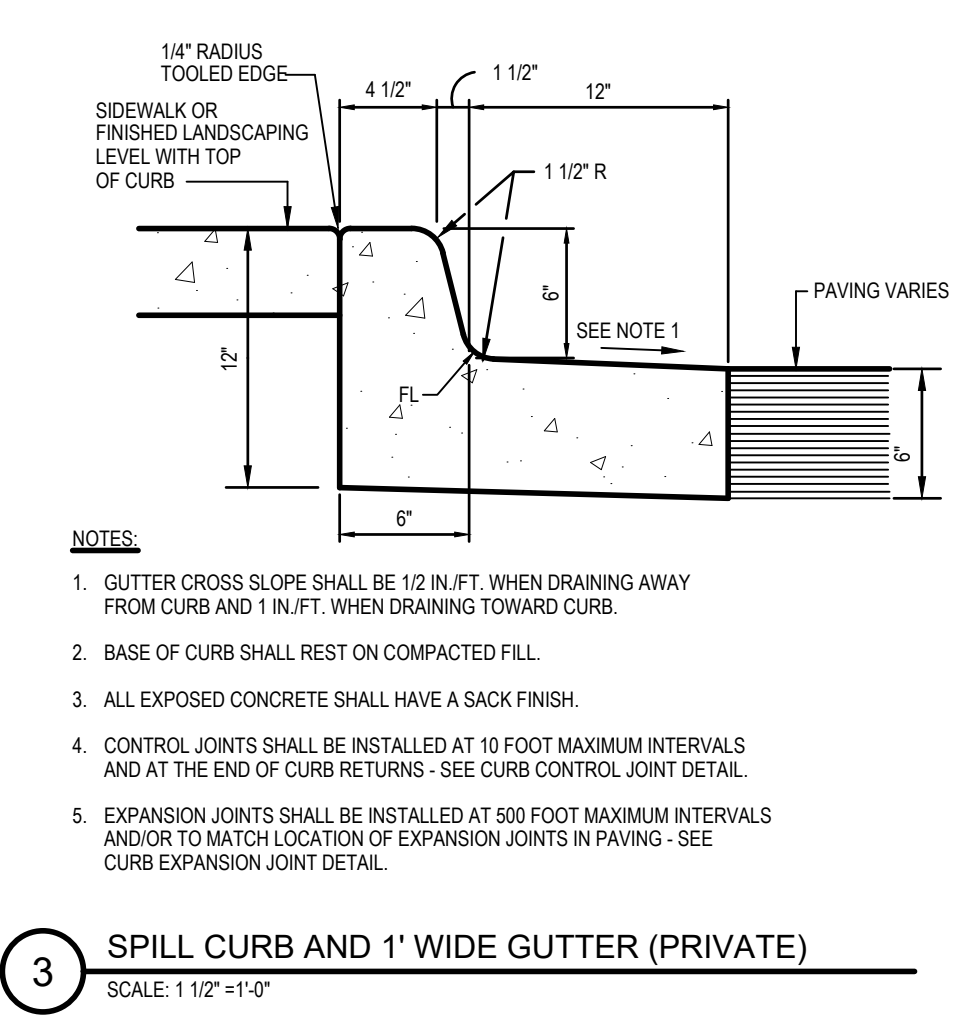
C1.0



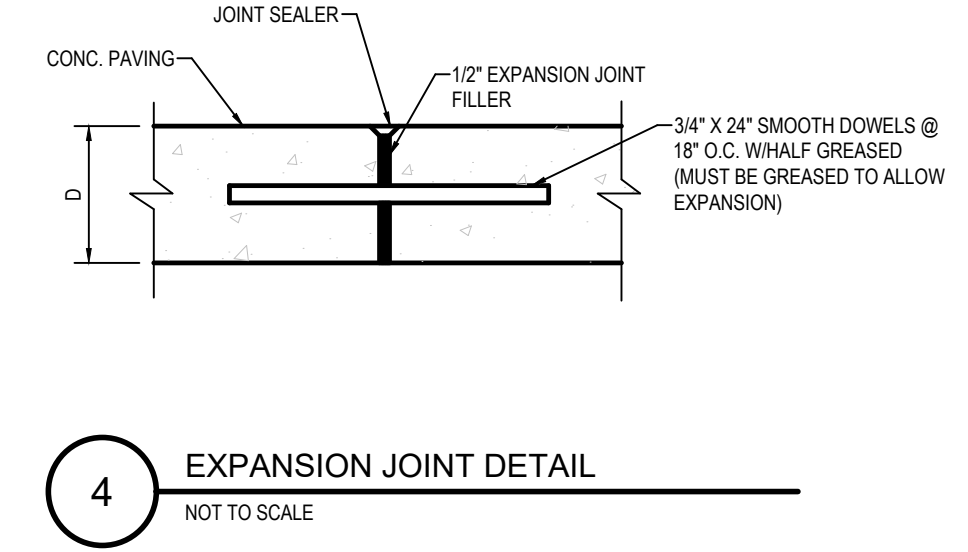
1 CROSS PAN DETAIL
NOT TO SCALE



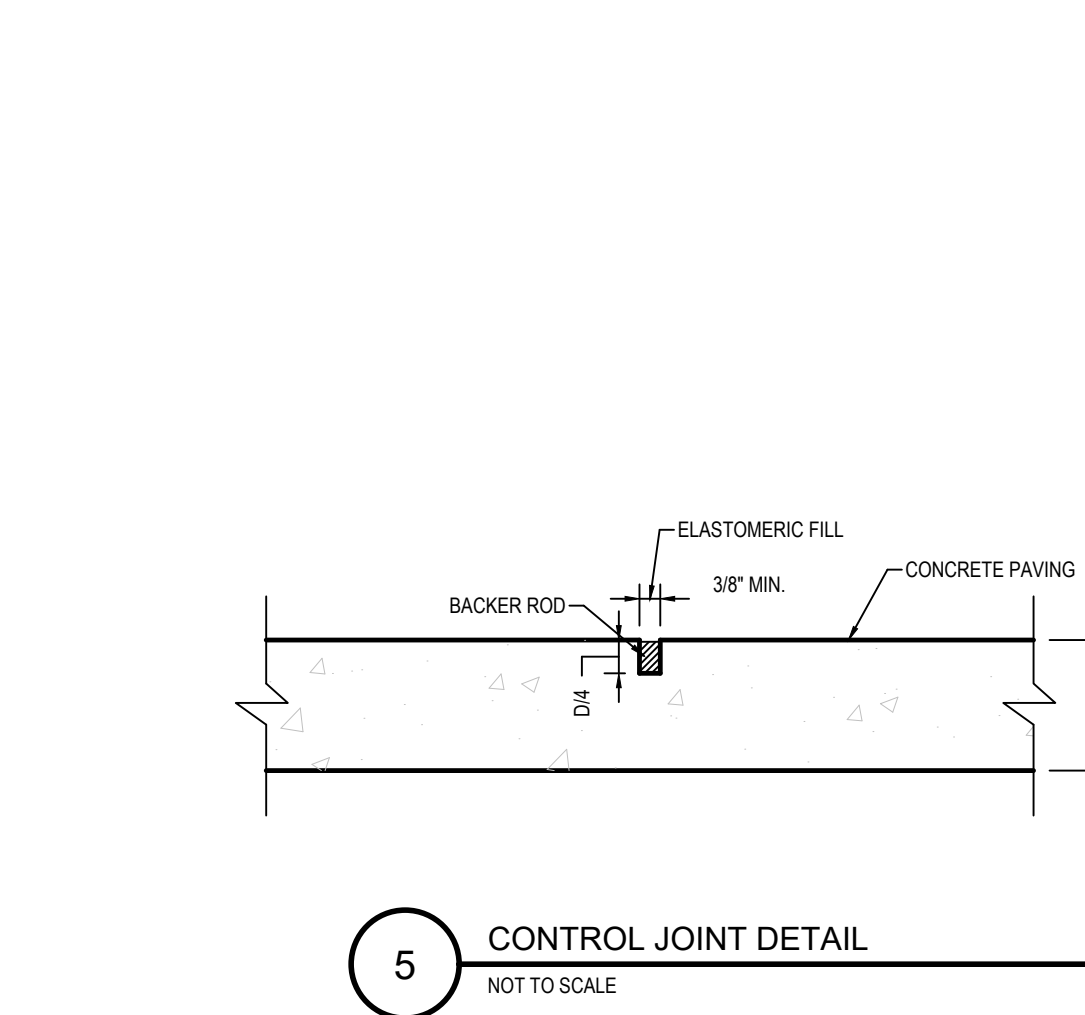
2 CATCH CURB AND 1' WIDE GUTTER (PRIVATE)
SCALE: 1 1/2" = 1'-0"



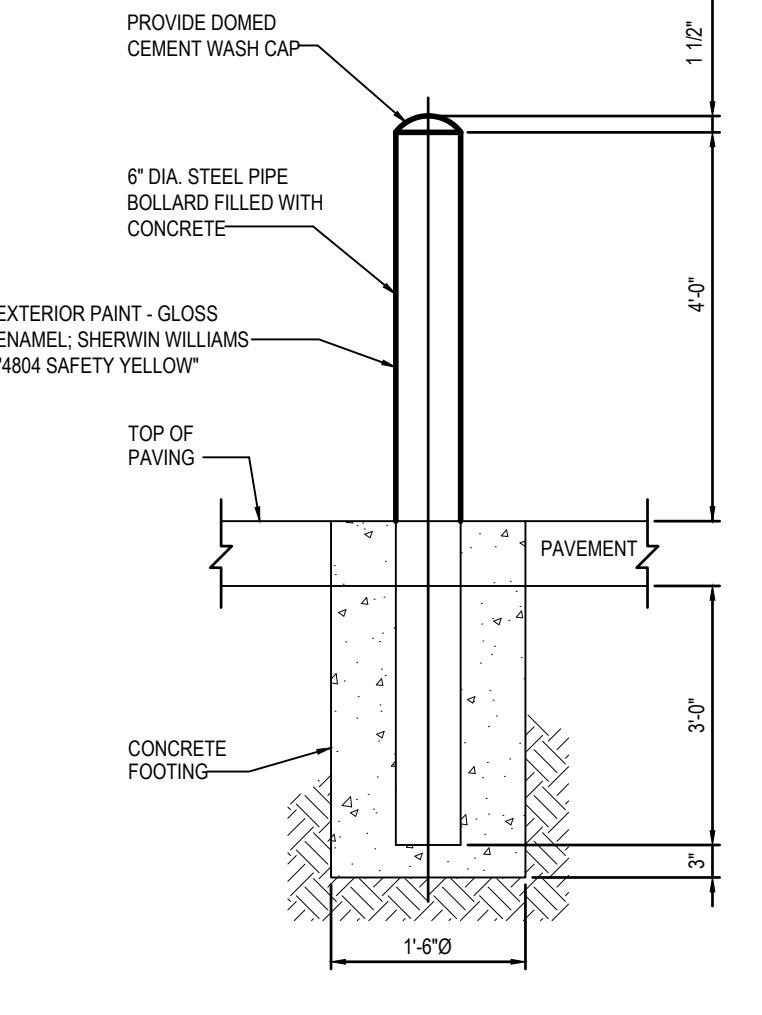
3 SPILL CURB AND 1' WIDE GUTTER (PRIVATE)
SCALE: 1 1/2" = 1'-0"



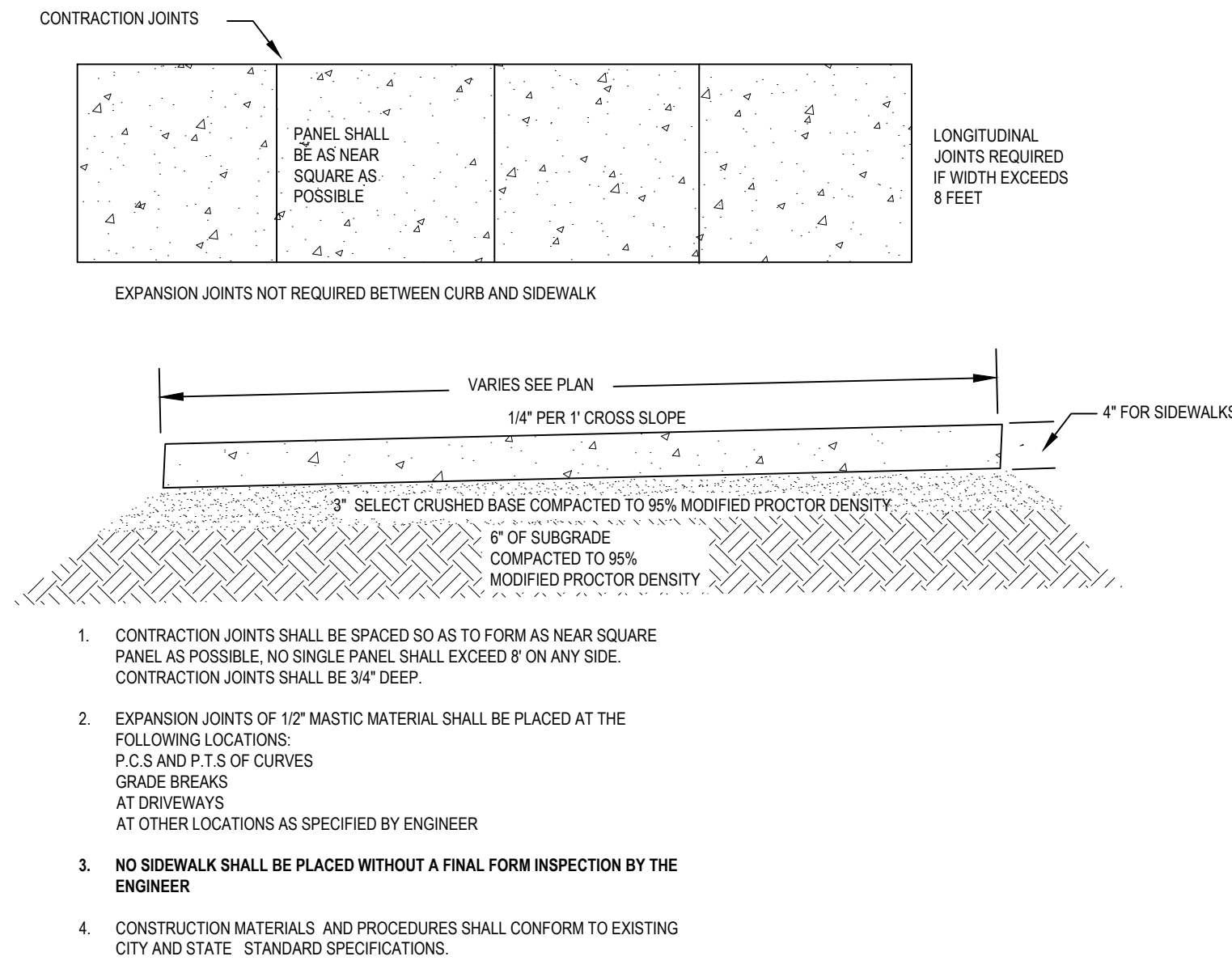
4 EXPANSION JOINT DETAIL
NOT TO SCALE



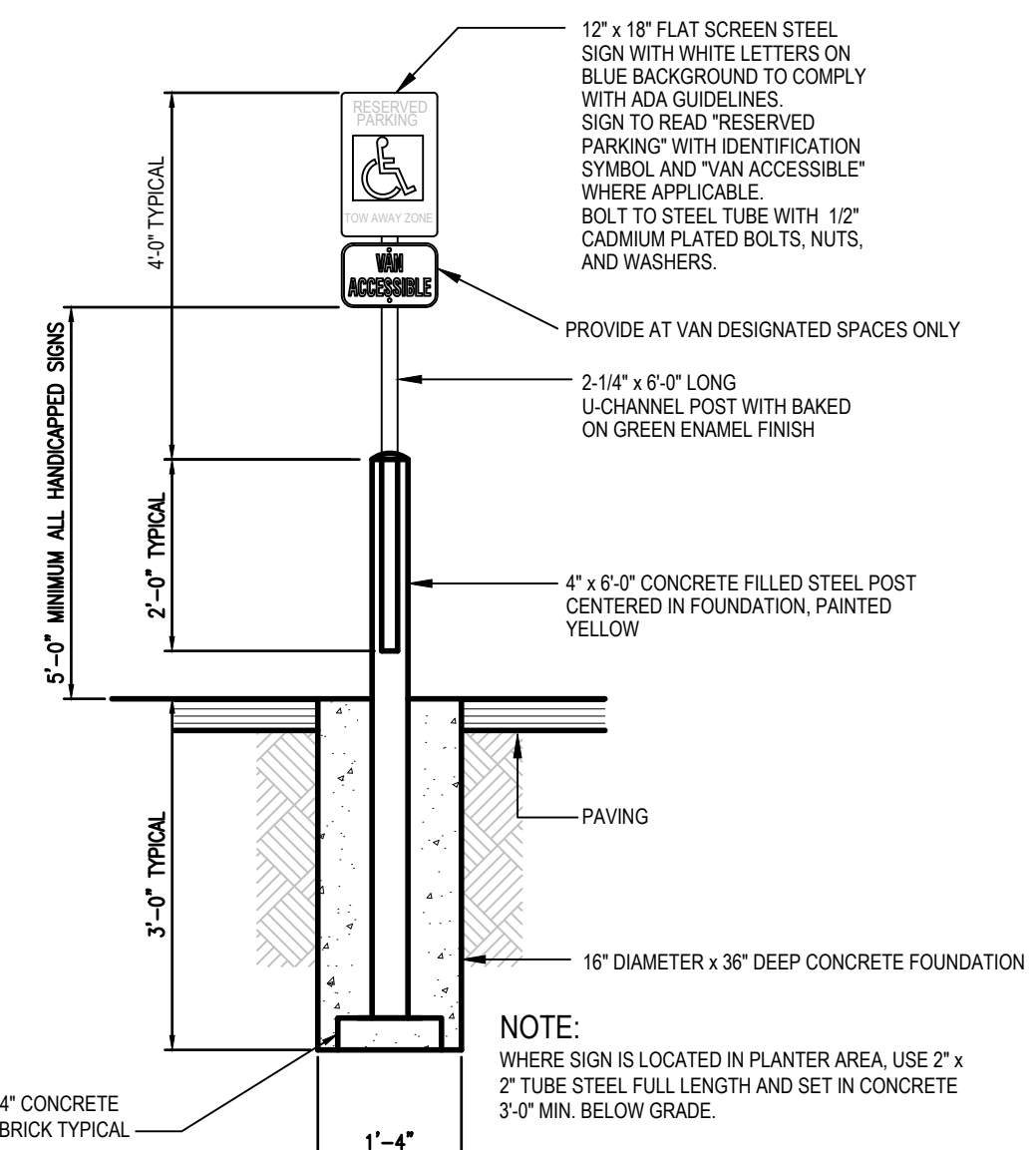
5 CONTROL JOINT DETAIL
NOT TO SCALE



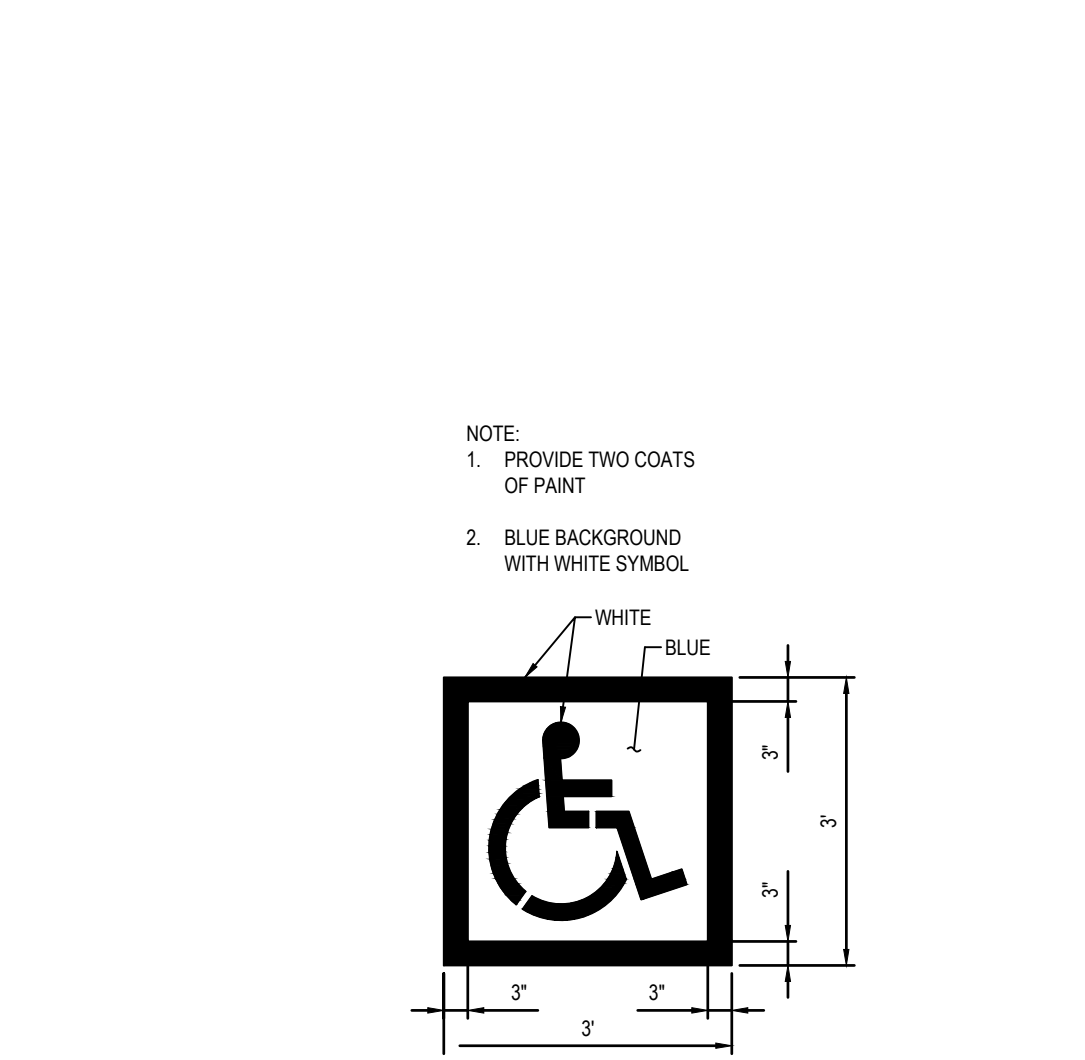
6 PIPE BOLLARD DETAIL
NOT TO SCALE



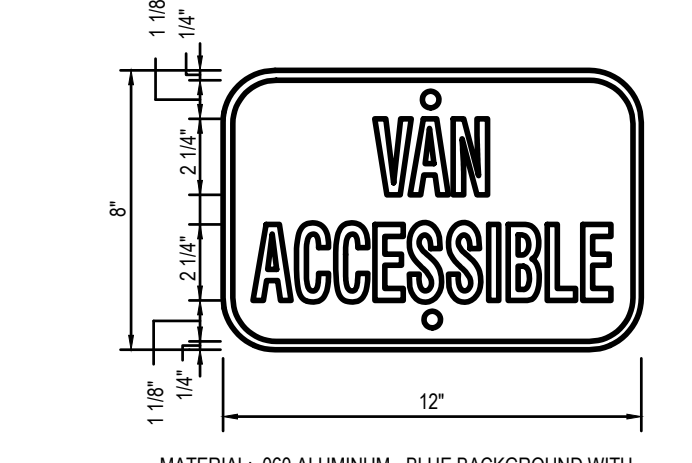
7 CONCRETE SIDEWALK DETAIL
NOT TO SCALE



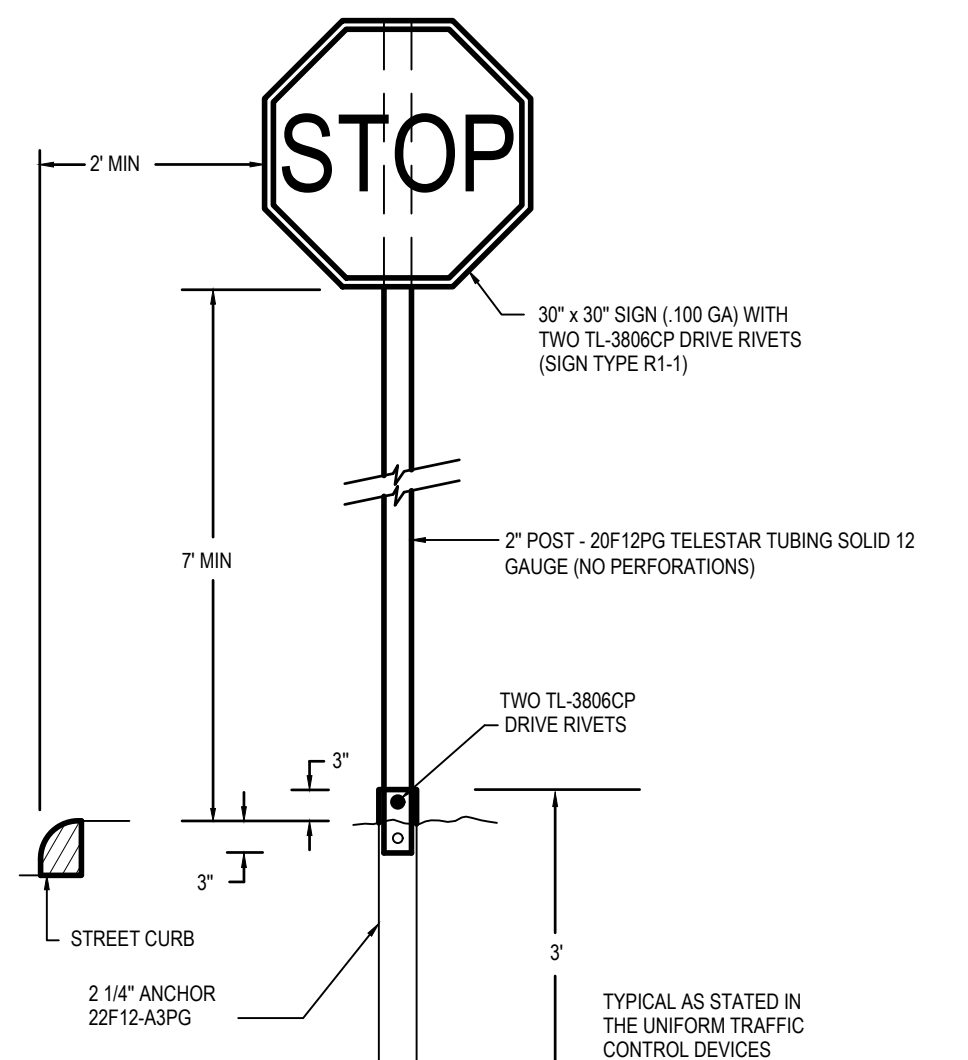
8 HANDICAP PARKING SIGN
NOT TO SCALE



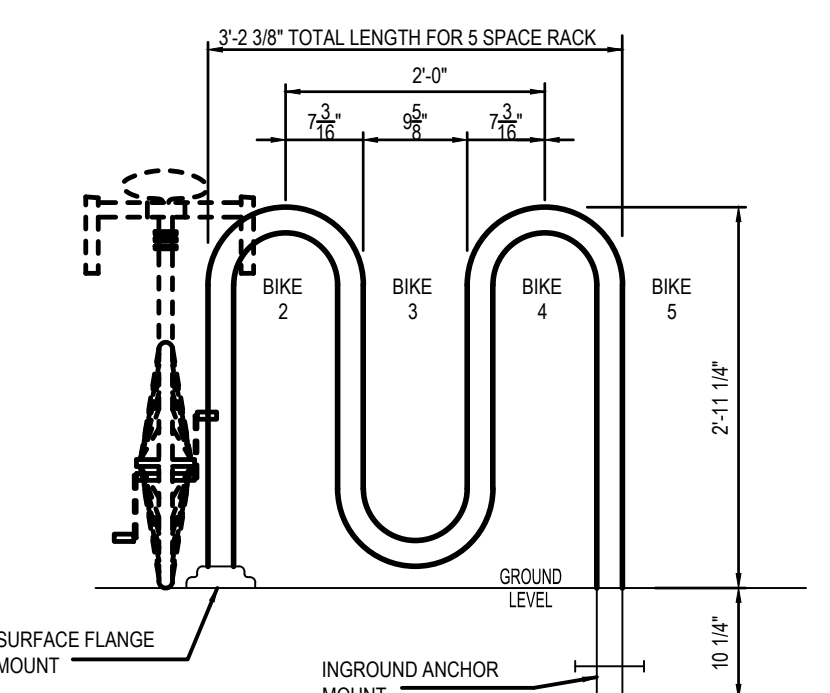
9 HANDICAPPED SYMBOL
SCALE: 1/2" = 1'-0"



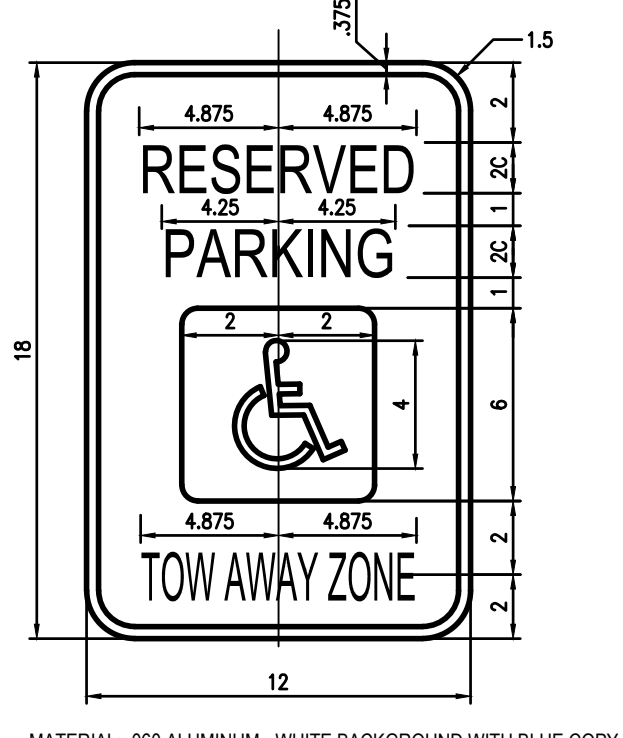
10 'VAN ACCESSIBLE' SIGN DETAIL
SCALE: NOT TO SCALE



11 STOP SIGN DETAIL
NOT TO SCALE



12 BICYCLE RACK DETAIL
SCALE: 3/4" = 1'-0"



13 'PARKING ONLY' SIGN DETAIL
SCALE: NOT TO SCALE

Galloway
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FALCON, CO

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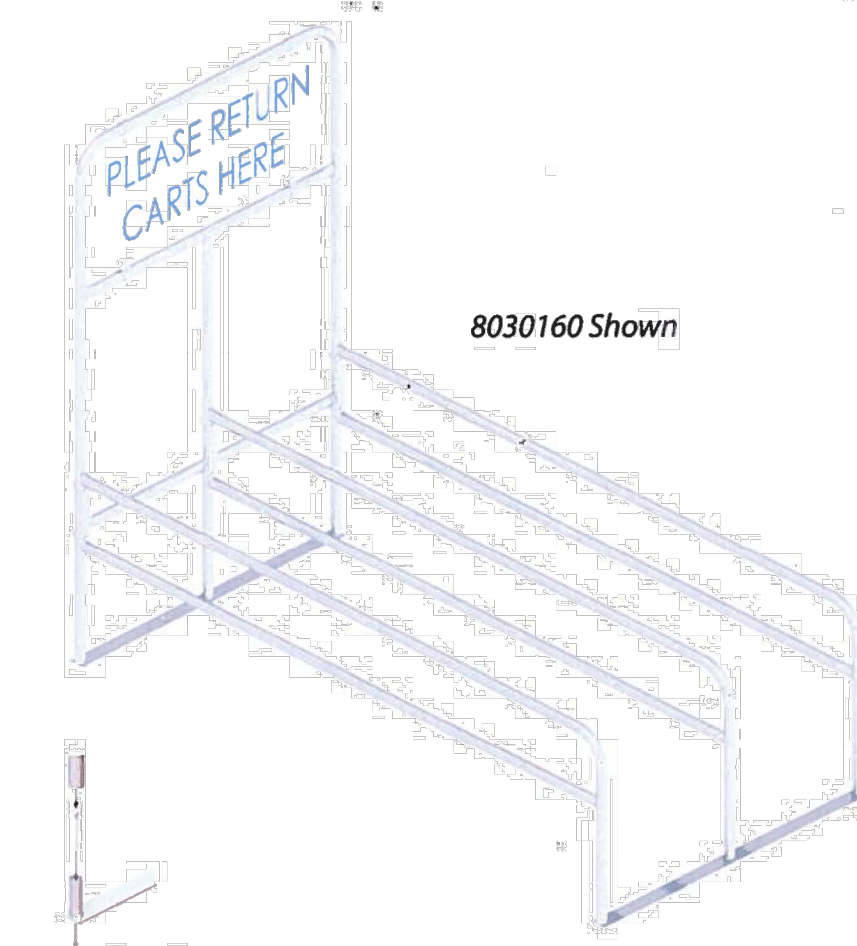
Project No: KSS000147
Drawn By: JRR
Checked By: JRR
Date: 8/29/19

SITE DETAILS

C1.1

603 Series Cart Corral

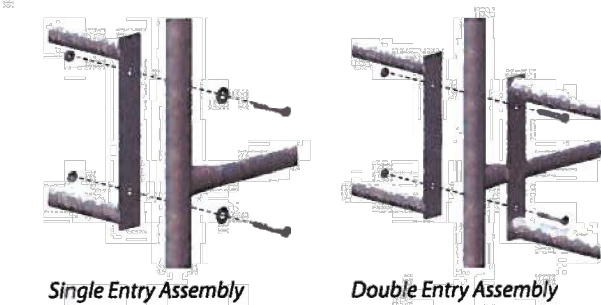
Cart Corrals ensure the safety and simplicity of gathering your carts while decreasing damage to customers' vehicles from stray carts. Strategically place our corrals throughout your parking lot to reduce the labor costs of cart retrieval and enhance the shopping experience of your customers.



8030160 Shown

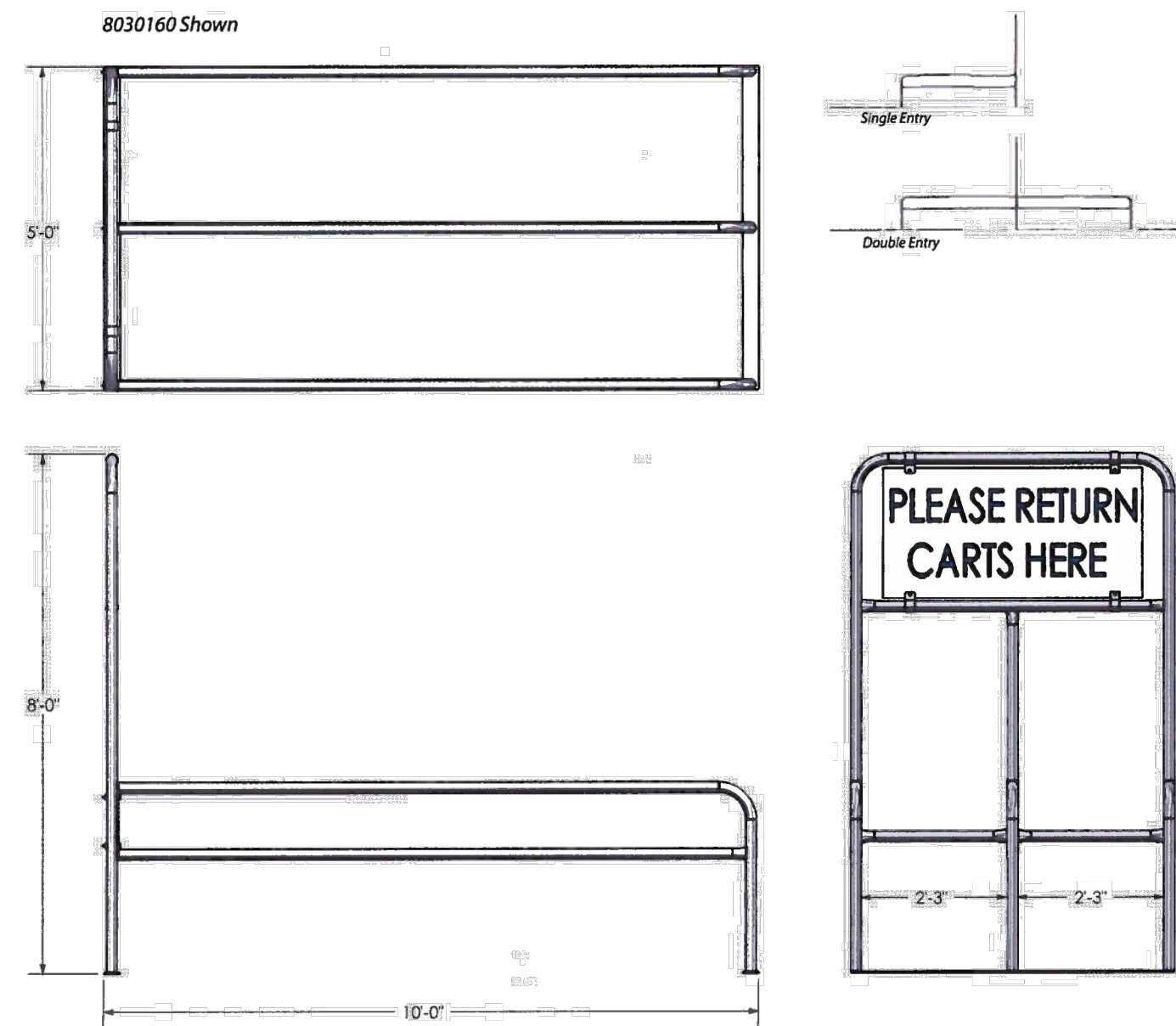
- FEATURES:**
 - Heavy gauge flow coat galvanized mechanical steel tubing provides superior durability
 - Interior corrosion resistant coating
 - Hot dipped, galvanized bar base plates
 - 18-gauge galvanized steel signs with durable powder coated finish and silk screen printing
 - Easily assembled and can be anchored for maximum stability
- OPTIONS:**
 - Siderail Length: 10 ft, 14 ft
 - Single Entry or Double Entry
 - Standard Sign Size/Style: 2448/1424, 2448/0597B (custom signage available)
 - Anchors
 - Powder coat finish available (Inquire with your sales representative)

Optional Anchor



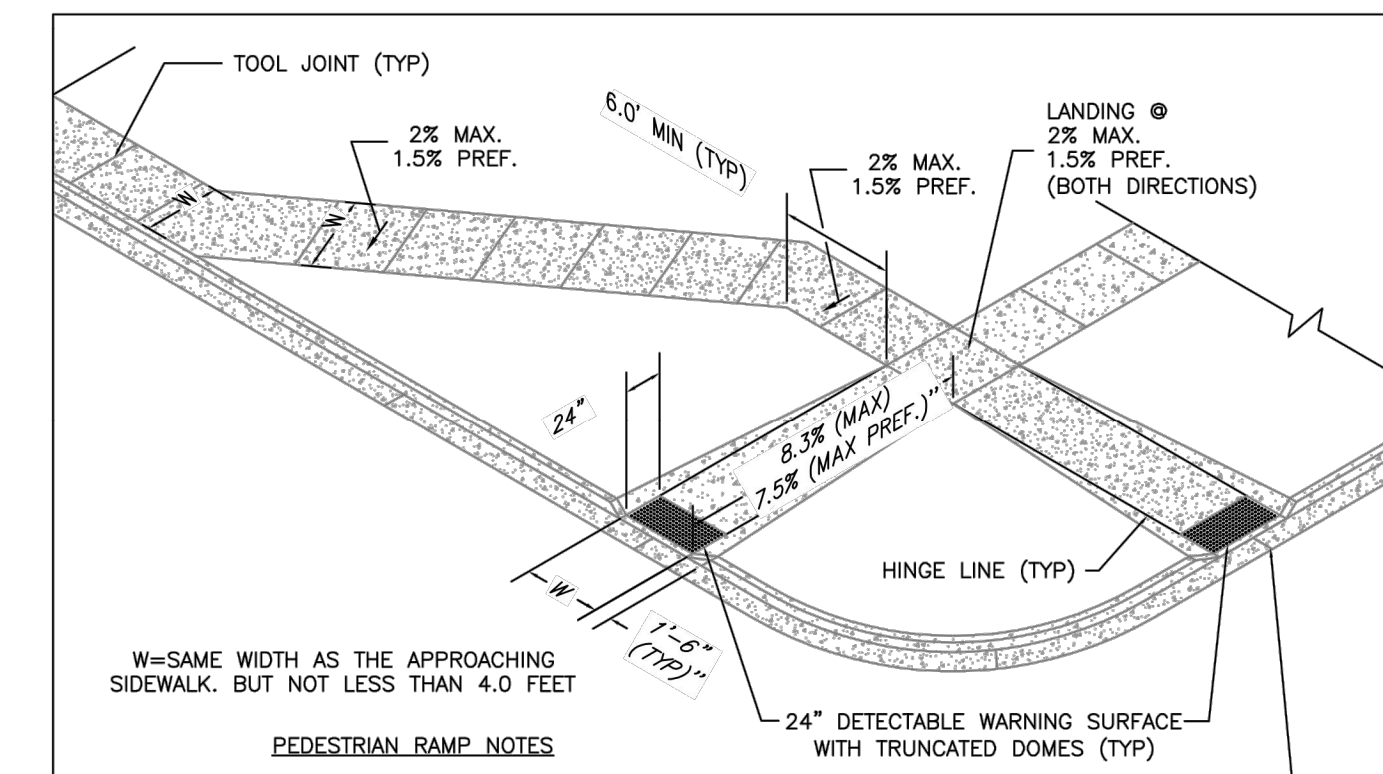
NATIONAL CART CO | PH: 800-455-3802 | FAX: 636-723-4477 | www.nationalcart.com

1 CART CORRAL DETAIL
NOT TO SCALE



Order #	Model #	W	L	H	Entry	Ship Wt	List Price
8030160	CC-603-10	5'	10'	8'	Single	246#	\$627.00
8030161	CC-603-14	5'	14'	8'	Single	298#	\$718.00
8030163	CC-603-20	5'	20'	8'	Double	407#	\$940.00
8030164	CC-603-28	5'	28'	8'	Double	512#	\$1,111.00
B000108	5" Lag Bolt	-	-	-	-	-	\$9.00

NATIONAL CART CO | PH: 800-455-3802 | FAX: 636-723-4477 | www.nationalcart.com

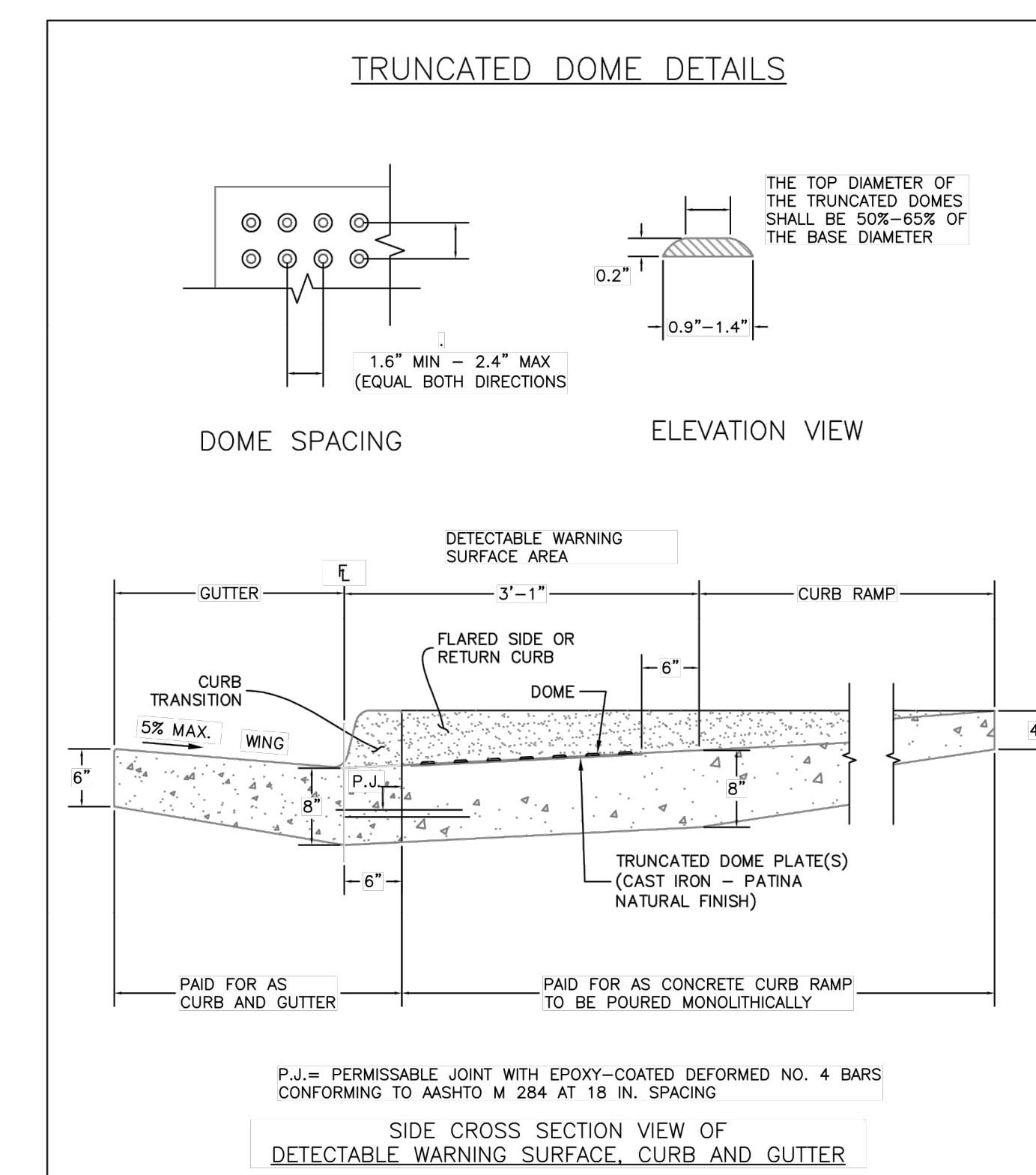


- W=SAME WIDTH AS THE APPROACHING SIDEWALK, BUT NOT LESS THAN 4.0 FEET
- PEDESTRIAN RAMP NOTES**
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT ENGINEERING CRITERIA MANUAL AND ADA REQUIREMENTS.
 - CONTRACTOR TO NOTIFY ENGINEERING DIVISION INSPECTION STAFF 48 HOURS PRIOR TO CONCRETE PLACEMENT.
 - PEDESTRIAN CURB RAMP CONSTRUCTION SHALL BE A MINIMUM 4,500 PSI CONCRETE, MINIMUM 4" THICK, NON-COLORED, NON-SCORED, COARSE BROOM FINISH.
 - PEDESTRIAN CURB RAMP LOCATION AND LENGTH MAY REQUIRE MODIFICATION TO MAINTAIN THE 8.3% MAXIMUM RUNNING RAMP SLOPE DUE TO STREET INTERSECTION GRADES AND/OR ALIGNMENTS. SEE ECM SECTION 6.3.6 FOR PEDESTRIAN PUSHBUTTON LOCATION REQUIREMENTS.
 - DETECTABLE WARNING SURFACE SHALL START A MINIMUM OF 6" BUT NOT MORE THAN 8" FROM THE FLOWLINE OF THE CURB AT ANY POINT.
 - DETECTABLE WARNING SURFACE SHALL BE PREFABRICATED, CAST IRON (PATINA NATURAL FINISH) AND IN ACCORDANCE WITH ECM CHAPTER 6 AND SD_2-42. THERMOPLASTIC TRUNCATED DOMES AND PAVERS WILL NOT BE ACCEPTED.
 - THE DETECTABLE WARNING SURFACE SHALL BE 24" IN LENGTH AND THE FULL WIDTH OF THE RAMP.
 - PEDESTRIAN CURB RAMP WIDTH REQUIRED IS SAME AS APPROACHING SIDEWALK; 4" MINIMUM.
 - ALL PEDESTRIAN CURB RAMPS WILL BE PERPENDICULAR TO TRAFFIC WITH THE EXCEPTION OF MID-BLOCK OR TERMINAL RAMPS WHICH MAY BE PARALLEL SUBJECT TO APPROVAL.
 - DRAINAGE STRUCTURES, TRAFFIC SIGNAL/SIGNALING, UTILITIES/JUNCTION BOXES, OR OTHER OBSTRUCTIONS WITHIN PROPOSED PEDESTRIAN CURB RAMP AREAS AND LANDINGS ARE PROHIBITED.
 - THE COUNTER SLOPE OF THE GUTTER OR ROAD AT THE FOOT OF A RAMP SHALL NOT EXCEED 5%.
- GENERAL NOTES**
- WHERE THE 1'-8" FLARED SIDES OF A PERPENDICULAR CURB RAMP IS (ARE) CONTIGUOUS WITH A PEDESTRIAN OR HARD SURFACE AREA (PEDESTRIAN CIRCULATION PATH), THE MAXIMUM FLARE SLOPE SHALL NOT EXCEED 10:1.
 - PEDESTRIAN WALKWAY (PEDESTRIAN ACCESS ROUTE) AND/OR LOCATION OF EXISTING OR FUTURE PEDESTRIAN RAMPS ON OPPOSITE CORNERS SHALL BE REVIEWED BEFORE CONSTRUCTING NEW RAMPS.
 - AT MARKED PEDESTRIAN CROSSINGS, THE BOTTOM OF THE RAMPS, EXCLUSIVE OF THE FLARE SIDES, SHALL BE TOTALLY CONTAINED WITHIN THE MARKINGS.
- LAYOUT CURB SECTIONS SO THAT AT LEAST ONE TOOL JOINT IS WITHIN RAMP THROAT

6/23/20
DATE APPROVED: Jennifer E. Irvine
DEPARTMENT OF PUBLIC WORKS

Pedestrian Curb Ramp Detail
Standard Drawing
REVISION DATE: 6/23/20
FILE NAME: SD_2-41

2 ADA RAMP DETAIL
NOT TO SCALE



6/23/20
DATE APPROVED: Jennifer E. Irvine
DEPARTMENT OF PUBLIC WORKS

Detectable Warning Surface Details
Standard Drawing
REVISION DATE: 6/23/20
FILE NAME: SD_2-42

3 TRUNCATED DOME DETAIL
NOT TO SCALE



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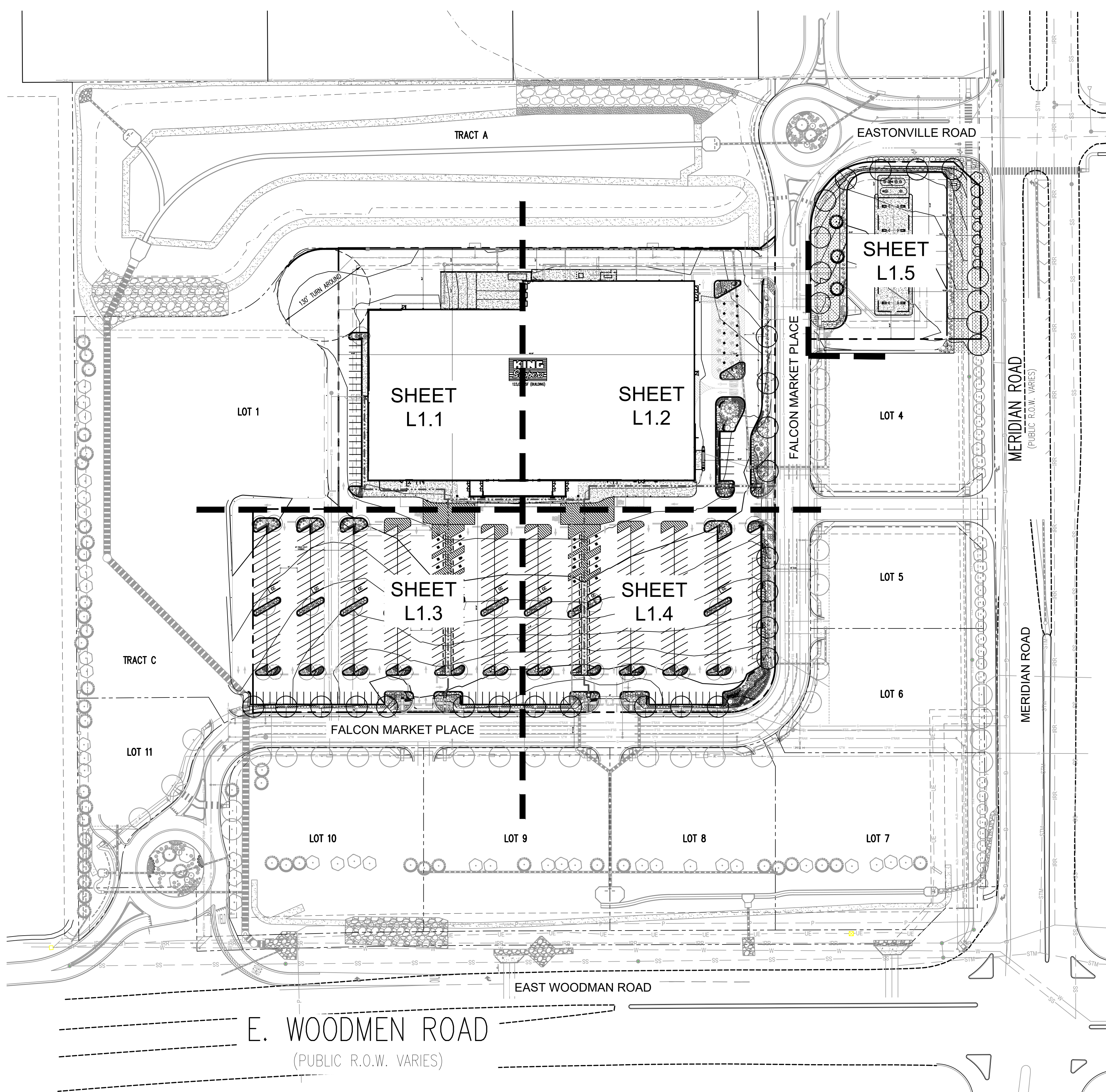
SITE DETAILS

KING SOOPERS #147

FALCON MARKETPLACE LOTS 2 & 3, BLOCK 1

A PORTION OF SECTION 1, TOWNSHIP 13 SOUTH, RANGE 65 WEST
OF THE 6TH P.M., EL PASO COUNTY, COLORADO

SITE DEVELOPMENT PLAN



- PLANTING NOTES**
- GENERAL**
- ALL LANDSCAPE NOTES SHALL BE COORDINATED WITH ALL APPLICABLE KROGER PROJECT MANUAL SECTIONS UNDER 32 90 00 "PLANTING". THE SPECIFICATIONS SHALL TAKE PRECEDENCE OVER THE GENERAL PLANTING NOTES. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH WORK.
 - ALL WORK SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES, STANDARDS, AND SPECIFICATIONS.
 - LANDSCAPE DESIGN IS DIAGRAMMATIC IN NATURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN TAKEOFFS AND QUANTITY CALCULATIONS. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE LANDSCAPE LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN SHALL TAKE PRECEDENCE AND NOTIFY THE LANDSCAPE ARCHITECT OF THESE DISCREPANCIES. MINOR ADJUSTMENTS TO THE LANDSCAPE MATERIAL AND LOCATIONS MAY BE PROPOSED FOR CITY CONSIDERATION AT THE CONSTRUCTION DOCUMENT STAGE TO RESPOND TO MARKET AND FIELD CONDITIONS. HOWEVER, THERE SHALL BE NO REDUCTION IN THE NUMBER AND SIZE OF MATERIALS.
 - THE CONTRACTOR SHALL MAKE HIMSELF AWARE OF THE LOCATIONS OF EXISTING AND PROPOSED UTILITIES, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE UTILITIES AND/OR ANY INJURY TO ANY PERSON.
 - ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR MAINTENANCE EQUIPMENT.
 - THE CONTRACTOR SHALL TAKE EXTREME CARE NOT TO DAMAGE ANY EXISTING PLANTS INDICATED AS "TO REMAIN". ANY SUCH PLANTS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED WITH THE SAME SPECIES, SIZE, AND QUANTITY AT THE CONTRACTOR'S OWN EXPENSE, AND AS ACCEPTABLE TO THE OWNER. REFER TO THE TREE PROTECTION NOTES ON THE PLANS (AS APPLICABLE).
 - LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THEN AN APPROVAL WILL BE OBTAINED FROM THE CITY. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
 - ALL CONSTRUCTION DEBRIS AND MATERIAL SHALL BE REMOVED AND CLEANED OUT PRIOR TO INSTALLATION OF TOPSOIL, TREES, SHRUBS, AND TURF.
 - FOR ALL INFORMATION ON SURFACE MATERIAL OF WALKS, DRIVES, AND PARKING LOTS, SEE THE SITE PLAN. SEE PHOTOMETRIC PLAN FOR FREE STANDING LIGHTING INFORMATION.
 - THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT ONE WEEK PRIOR TO BEGINNING CONSTRUCTION.
 - WINTER WATERING SHALL BE AT THE EXPENSE OF THE CONTRACTOR UNTIL SUCH TIME AS FINAL ACCEPTANCE IS RECEIVED.
 - ALL LANDSCAPE CONSTRUCTION PRACTICES, WORKMANSHIP, AND ETHICS SHALL BE IN ACCORDANCE WITH INDUSTRY STANDARDS SET FORTH IN THE CONTRACTORS HANDBOOK PUBLISHED BY THE COLORADO LANDSCAPE CONTRACTORS ASSOCIATION.
 - LANDSCAPE AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY.
- FINISH GRADING AND SOIL PREPARATION**
- CONTRACTOR SHALL CONSTRUCT AND MAINTAIN FINISH GRADES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.
 - AFTER FINISH GRADES HAVE BEEN ESTABLISHED, IT IS RECOMMENDED THAT THE CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: GENERAL SOIL FERTILITY, PH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL. CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
 - THE CONTRACTOR SHALL REQUIRE INSTALLATION OF SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT FOR THE OWNER'S REPRESENTATIVE CONSIDERATION.
 - AT A MINIMUM, ALL TOPSOIL SHALL BE AMENDED WITH NITROGEN STABILIZED ORGANIC AMENDMENT COMPOST AT A RATE OF 5.0 CUBIC YARDS AND AMMONIUM PHOSPHATE 16-20-0 AT A RATE OF 10 POUNDS PER THOUSAND SQUARE FEET OF LANDSCAPE AREA. COMPOST SHALL BE MECHANICALLY INTEGRATED INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING. GROUND COVER & PERENNIAL BED AREAS SHALL BE AMENDED AT A RATE OF 8 CUBIC FEET PER THOUSAND SQUARE FEET OF NITROGEN STABILIZED ORGANIC AMENDMENT AND 10 LBS. OF 12-12-12 FERTILIZER PER CU. YD., ROTOTILLED TO A DEPTH OF 8". NO
- MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED FOR ORGANIC AMENDMENTS.**
- PLANTING**
- ALL DECIDUOUS TREES SHALL HAVE FULL, WELL-SHAPED HEADS. ALL EVERGREENS SHALL BE UNSHARED AND FULL TO THE GROUND, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
 - ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT SHALL BE THE SOLE JUDGE AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
 - ALL TREES SHALL BE GUYED AND WOOD STAKED AS PER DETAILS. NO "T-STAKES" SHALL BE USED FOR TREES.
 - ALL PLANT MATERIALS SHALL BE TRUE TO TYPE, SIZE, SPECIES, QUALITY, AND FREE OF INJURY, BROKEN ROOT BALLS, PESTS, AND DISEASES, AS WELL AS CONFORM TO THE MINIMUM REQUIREMENTS DESCRIBED IN THE "AMERICAN STANDARD FOR NURSERY STOCK". FOLLOW GREENCO TREE PLANTING RECOMMENDATIONS FOR MINIMUM QUALITY REQUIREMENTS FOR TREES.
 - ALL TREE AND SHRUB BED LOCATIONS ARE TO BE STAKED OUT ON SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - ALL TREES PLANTED ADJACENT TO PUBLIC AND/OR PEDESTRIAN WALKWAYS SHALL BE TRIMMED CLEAR OF ALL BRANCHES BETWEEN GROUND AND A HEIGHT OF EIGHT (8) FEET FOR THAT PORTION OF THE PLAN LOCATED OVER THE SIDEWALK AND/OR ROAD.
 - IF TURF IS TO BE USED, IT IS RECOMMENDED THROUGH GREEN VALLEY TURF COMPANY, 13159 N US HIGHWAY 85, LITTLETON, CO 80125, (303) 798-6764. RIF TALL FESCUE HAS BEEN APPROVED IN MANY JURISDICTIONS AS A LOW HYDROZONE PLANT MATERIAL. INSTALL AND MAINTAIN IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - ALL PLANT MATERIAL SHALL NOT BE PLANTED PRIOR TO INSTALLATION OF TOPSOIL.
 - ALL PLANT BEDS SHALL BE CONTAINED WITH STEEL EDGER. STEEL EDGER IS NOT REQUIRED ALONG CURBS, WALKS OR BUILDING FOUNDATIONS. ALL EDGING SHALL OVERLAP AT JOINTS A MINIMUM OF 6-INCHES, AND SHALL BE FASTENED WITH A MINIMUM OF 4 PINS PER EACH 10 FOOT SECTION. THE TOP OF ALL EDGING MATERIAL SHALL BE A ROLLED TOP AND 1/2 INCH ABOVE THE FINISHED GRADE OF ADJACENT LAWN OR MULCH AREAS. COLOR: GREEN.
 - THE DEVELOPER, HIS SUCCESSOR, OR ASSIGNEE SHALL BE RESPONSIBLE FOR ESTABLISHING AND CONTINUING A REGULAR PROGRAM OF MAINTENANCE FOR ALL LANDSCAPED AREAS. SEE LANDSCAPE GUARANTEE AND MAINTENANCE NOTE.
 - A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS.
 - LANDSCAPE CONTRACTOR TO SUBMIT SAMPLES OF MISCELLANEOUS LANDSCAPING MATERIALS TO THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION, I.E.: MULCH, EDGER, LANDSCAPE FABRIC, ETC.
 - MULCHING
 - ALL MULCH IS RECOMMENDED THROUGH ROCKY MOUNTAIN MATERIALS AND ASPHALT INC., 1910 RAND AVE., COLORADO SPRINGS, CO 80905, (719) 473-3100.
 - AFTER ALL PLANTING IS COMPLETE, THE CONTRACTOR SHALL INSTALL A MINIMUM 4" THICK LAYER OF MULCH AS SPECIFIED IN THE PLANTING LEGEND. INSTALL A 4" THICK RING OF DOUBLE SHREDED CEDAR BARK MULCH AROUND ALL PLANT MATERIAL IN ROCK MULCH BEDS WHERE LANDSCAPING IS SHOWN ON THE PLANS. WOOD MULCH RING SIZE SHALL BE 1.5X THE CONTAINER SIZE OF THE SHRUBS, PERENNIALS, AND ORNAMENTAL GRASSES. TREE RING SIZE SHALL BE GREEN INDUSTRIES OF COLORADO INDUSTRY STANDARD WIDTH.
 - ALL MULCH SHALL BE HARVESTED IN A SUSTAINABLE MANNER FROM A LOCAL SOURCE.
 - INSTALL DEWITT PRO-5 WEED BARRIER FABRIC UNDER ALL ROCK MULCH SHRUB BEDS SPECIFIED ON THE PLANS ONLY. NO LANDSCAPE FABRIC SHALL BE USED IN WOOD MULCH AREAS. NO PLASTIC WEED BARRIERS SHALL BE SPECIFIED.
 - ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.
 - ALL PLANTING AREAS WITH LESS THAN A 4:1 GRADIENT SHALL RECEIVE A LAYER OF MULCH, TYPE AND DEPTH PER PLANS. SUBMIT 1 CUBIC FOOT SAMPLE OF MULCH (ONE SAMPLE PER TYPE) TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. THE MULCH SHALL BE SPREAD EVENLY THROUGHOUT ALL PLANTING AREAS EXCEPT SLOPES 4:1 OR STEEPER, OR AS OTHERWISE DENOTED ON THE PLAN. ABSOLUTELY NO EXPOSED GROUND SHALL REMAIN IN AREAS TO RECEIVE MULCH AFTER MULCH HAS BEEN INSTALLED.
 - ALL PLANTING AREAS ON SLOPES OVER 4:1 SHALL RECEIVE COCONUT FIBER EROSION CONTROL NETTING FROM ROLLS. NETTING SHALL BE #CT-125, AS MANUFACTURED BY NORTH AMERICAN GREEN (OR EQUAL). INSTALL AND STAKE PER MANUFACTURER'S SPECIFICATIONS. SEE ALSO THE CIVIL ENGINEER'S EROSION CONTROL PLAN.

LANDSCAPE DATA

	LOT 2 AREA	LOT 3 AREA
OVERALL SITE AREA	434,688 SF	57,320 SF
BUILDING AREA	123,000 SF	180 SF
PARKING AND VEHICULAR USE AREAS	300,357 SF	36,666 SF
OVERALL LANDSCAPE AREA	28,002 SF (5.8%)	16,110 SF (28.10%)
INTERNAL LANDSCAPE AREA	8,822 SF	16,110 SF
TOTAL # OF OPEN VEHICULAR PARKING SPACES	892	N/A

CAUTION
UTILITIES EXIST WITHIN CONSTRUCTION LIMITS. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THEIR LOCATION PRIOR TO CONSTRUCTION.

IRRIGATION NOTE
IRRIGATION PLANS WILL NEED TO BE SUBMITTED WITHIN 3 MONTHS OF THE DATE OF APPROVAL OF THE SDP (FOR SCENER). THE PLANS MUST BE APPROVED PRIOR TO THE INSTALLATION OF ANY IRRIGATION COMPONENTS.

PARKING LOT ISLAND NOTE
THE SOIL OF ANY PLANTER WITHIN THE PARKING LOT SHALL BE STRUCTURALLY RENOVATED (TILLED) OR REMOVED TO A DEPTH OF THIRTY INCHES (30") AND REPLACED WITH AN ACCEPTABLE GROWING MEDIUM FOR THE SPECIES INDICATED FOR THE INSTALLATION.

SOIL TESTING NOTE
THE LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE DESIGN LANDSCAPE ARCHITECT REGARDING THE REQUIRED SOIL ANALYSIS REPORT AND IS RESPONSIBLE FOR COMPLETING THE SOIL SAMPLING AND SUBMITTING THE SAMPLES TO A SOILS TESTING LAB FOR TESTING. THIS WOULD INCLUDE A SEPARATE LAB TEST REPORT AND RECOMMENDATIONS (AMENDMENT/FERTILIZER AMOUNTS AND APPLICATION RATES) FOR EACH TYPE OF PROPOSED LANDSCAPING (SHRUB BEDS/SODNATIVE SEED). THE SOILS LAB RESULTS AND RECOMMENDATIONS ARE REQUIRED TO BE REVIEWED AND APPROVED BY THE DESIGN LANDSCAPE ARCHITECT AND THE CITY OF COLORADO SPRINGS PRIOR TO INSTALLING ANY LANDSCAPING (PLANTS/SODNATIVE SEED) ON SITE.

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King Soopers
Supermarket / Petroleum
65 Tejon Street
Denver, CO 80223
Phone (303) 778-3053
Fax (303) 871-9262

KING SOOPERS #147
FALCON MARKETPLACE
LOTS 2 & 3, BLOCK 1
7530 & 7595 FALCON MARKET PL.
FALCON, CO

#	Date	Issue / Description	Init.
1	12/16/19	2ND SDP Sub.	ACJ
2	03/30/20	3RD SDP Sub.	ACJ
3	05/29/20	4TH SDP Sub.	ACJ
4	10/02/20	5TH SDP Sub.	ACJ
5	09/24/21	6TH SDP Sub.	ACJ

Project No: KSS000147
Drawn By: JRR
Checked By: JRR
Date: 8/29/19

SITE LANDSCAPE PLAN

L1.0

KING SOOPERS #147

FALCON MARKETPLACE LOTS 2 & 3, BLOCK 1

A PORTION OF SECTION 1, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M., EL PASO COUNTY, COLORADO

SITE DEVELOPMENT PLAN

SEED NOTES

<p>1. ALL SEED MIXES AVAILABLE THROUGH WESTERN NATIVE SEED COMPANY P.O. BOX 188 COALDALE, CO 81222 (719) 942-3935</p> <p>2. DRYLAND SEED MIXES ARE AVAILABLE AS FOLLOWS: 100% "FOOTHILLS GRASS MIX"</p> <p>3. ALL SEED APPLICATIONS SHALL BE DRILL SEEDED, WITH HYDROSLURRY APPLIED OVER THE SEED BED AFTER SEEDING. THE SLURRY MIX SHALL CONTAIN THE FOLLOWING:</p> <table border="0" style="width: 100%; margin-top: 10px;"> <tr> <td style="width: 50%;"></td> <td style="text-align: right; font-weight: bold;">LBS./1,000 SF</td> </tr> <tr> <td>WOOD FIBER MULCH</td> <td style="text-align: right;">48</td> </tr> <tr> <td>15-15-15 ORGANIC FERTILIZER</td> <td style="text-align: right;">4</td> </tr> <tr> <td>ORGANIC BINDER</td> <td style="text-align: right;">9</td> </tr> </table>		LBS./1,000 SF	WOOD FIBER MULCH	48	15-15-15 ORGANIC FERTILIZER	4	ORGANIC BINDER	9	<table border="0" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;"></td> <td style="text-align: right; font-weight: bold;">% SCIENTIFIC NAME</td> <td style="text-align: right; font-weight: bold;">COMMON NAME</td> </tr> <tr> <td>35</td> <td>BOUTELOUA CURTIPENDULA</td> <td>SIDE-OATS GRAMA</td> </tr> <tr> <td>15</td> <td>PASCOPYRUM SMITHII</td> <td>WESTERN WHEATGRASS</td> </tr> <tr> <td>10</td> <td>ELYMUS ELYMOIDES</td> <td>BOTTLEBRUSH SQUIRRELTAIL</td> </tr> <tr> <td>10</td> <td>ELYMUS TRACHYCAULUS</td> <td>SLENDER WHEATGRASS</td> </tr> <tr> <td>5</td> <td>ANDROPOGON GERARDII</td> <td>BIG BLUESTEM</td> </tr> <tr> <td>5</td> <td>BOUTELOUA GRACILIS</td> <td>BLUE GRAMA</td> </tr> <tr> <td>5</td> <td>ORYZOPSIS HYMENOIDES</td> <td>INDIAN RICEGRASS</td> </tr> <tr> <td>5</td> <td>SCHIZACHYRIUM SCOPARIUM</td> <td>LITTLE BLUESTEM</td> </tr> <tr> <td>5</td> <td>SPOROBOLUS CRYPTANDRUS</td> <td>SAND DROPSEED</td> </tr> <tr> <td>5</td> <td>STIPA VIRIDULA</td> <td>GREEN NEEDLEGRASS</td> </tr> </table>		% SCIENTIFIC NAME	COMMON NAME	35	BOUTELOUA CURTIPENDULA	SIDE-OATS GRAMA	15	PASCOPYRUM SMITHII	WESTERN WHEATGRASS	10	ELYMUS ELYMOIDES	BOTTLEBRUSH SQUIRRELTAIL	10	ELYMUS TRACHYCAULUS	SLENDER WHEATGRASS	5	ANDROPOGON GERARDII	BIG BLUESTEM	5	BOUTELOUA GRACILIS	BLUE GRAMA	5	ORYZOPSIS HYMENOIDES	INDIAN RICEGRASS	5	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	5	SPOROBOLUS CRYPTANDRUS	SAND DROPSEED	5	STIPA VIRIDULA	GREEN NEEDLEGRASS
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SEED ESTABLISHMENT NOTES

1. THE LANDSCAPE CONTRACTOR SHALL SEED ALL NATIVE SEED AREAS AS SOON AS POSSIBLE AFTER COMPLETION OF GRADING OPERATIONS. SOIL PREPARATION MEASURES IN AREAS TO BE SEEDED SHALL BE COMPLETED PRIOR TO SEEDING.
2. FOR PROPER ESTABLISHMENT, SEED SHALL BE INSTALLED WHEN AT LEAST THREE MONTHS REMAIN IN THE GROWING SEASON. IF LESS THAN THREE MONTHS REMAIN IN THE GROWING SEASON AT THE TIME OF SEEDING, THE LANDSCAPE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT AND OWNER. THE IRRIGATION SYSTEM FOR SEEDED AREAS SHALL BE FULLY OPERATIONAL AT THE TIME OF SEEDING.
3. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ADDITIONAL CORRECTIVE MEASURES, AT HIS OWN COST, TO SATISFY ESTABLISHMENT REQUIREMENTS AND ENSURE TIMELY CLOSEOUT. THESE MEASURES MAY INCLUDE, AT THE OWNER'S OPTION, RESEEDING OF SPARSELY GERMINATED AREAS AND/OR INSTALLATION OF SOIL IN ALL SEEDED AREAS.

IRRIGATION CONCEPT

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER SERVICE AFTER THE WATER METER, BEFORE BUILDING'S DOUBLE CHECK VALVE.
3. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
4. ALL NON-TURF/SEED PLANTED AREAS WILL BE DRIP IRRIGATED. TURF SOIL/SEED SHALL RECEIVE POP-UP SPRAY IRRIGATION FOR HEAD TO HEAD COVERAGE.
5. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
6. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND SMART MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

PLANTING LEGEND

QTY	LEGEND	BOTANIC NAME	COMMON NAME	PLANTING SIZE (MINIMUM)	MATURE SIZE (H X W) (V.L.L.M.H)	WATER USE
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PROPOSED ROW TREES

29	GTSB	GLEDTISIA TRIACANTHOS INERMIS 'SUNBURST'	SUNBURST LOCUST	2.5' CAL B&B	50'X30'	L
2	MASP	MALLUS X 'SPRING SNOW'	SPRING SNOW CRABAPPLE	2' CAL B&B	20'X15'	L
6	QUCR	QUERCUS 'CRIMSCHMIDT'	CRIMSON SPIRE OAK	2' CAL B&B	48'X15'	M

DECIDUOUS TREES

1	ACTA	ACER TARTICUM 'GARANN'	HOT WINGS MAPLE (MULTI-STEM)	2' CAL B&B	25'X20'	L
6	ACTR	ACER TRUNCATUM X A. plat. 'JFS-KW202'	CRIMSON SUNSET MAPLE	2' CAL B&B	35'X25'	L/M
27	GLTR	GLEDTISIA TRIACANTHOS INERMIS 'SHADEMASTER'	SHADEMASTER LOCUST	2.5' CAL B&B	50'X35'	L
1	QUBI	QUERCUS BICOLOR	SWAMP WHITE OAK	2.5' CAL B&B	50'X40'	L
13	TICO	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LINDEN	2.5' CAL B&B	40'X30'	L

CONIFEROUS TREES

17	JUVI	JUNIPERUS VIRGINIANA 'SKYROCKET'	SKYROCKET JUNIPER	6-8' HT B&B	20'X5'	VL
2	PSME	PSEUDOTSUGA MENZIEI 'GLAUCA'	ROCKY MOUNTAIN DOUGLAS FIR	6-8' HT B&B	55'X25'	L
3	PIPO	PINUS PONDEROSA	PONDEROSA PINE	6-8' HT B&B	40'X25'	L

DECIDUOUS SHRUBS

87	CAQL	CARYOPTERIS X CLANDONENSIS	BLUE MIST SPIREA	#5 CONT. 18-24"	3'X2'	VL
301	CHNV	CHRYSOETHAMNUS NAUSEOSUS	RABBITBRUSH	#5 CONT. 18-24"	4'X4'	VL
21	PAMA	ARCTOSTAPHYLOS 'PANCHITO'	PANCHITO MANZANITA	#5 CONT. 18-24"	2'X4'	VL
182	PEAT	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	#5 CONT. 18-24"	4'X4'	VL
4	POFR	POTENTILLA FRUTICOSA 'GOLD FINGER'	GOLD FINGER POTENTILLA	#5 CONT. 18-24"	3'X4'	L/M
46	PRBE	PRUNUS BESSEYI 'PAWNEE BUTTES'	PAWNEE BUTTES SAND CHERRY	#5 CONT. 18-24"	1.5'X4'	L
9	RHAR	RHUS AROMATICA 'GROW-LOW'	GRO-LOW FRAGRANT SUMAC	#5 CONT. 18-24"	5'X6'	L/M
95	RHTR	RHUS TRILOBATA	THREE LEAF SUMAC	#5 CONT. 18-24"	4'X4'	VL

EVERGREEN SHRUBS

130	JUHO	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP JUNIPER	#5 CONT. 18-24"	1'X5'	VL
155	JUSA	JUNIPERUS SABINA 'BUFFALO'	BUFFALO JUNIPER	#5 CONT. 18-24"	1'X5'	VL
4	PIPU	PICEA PUNGENS 'GLOBOSA'	GLOBE BLUE SPRUCE	#5 CONT. 18-24"	5'X6'	L/M

ORNAMENTAL GRASSES

214	CAAC	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	#1 CONT.	5'X2'	L
129	HESE	HELICTOTRICHION SEMPERVIRENS	BLUE AVENA GRASS	#1 CONT.	2.5'X2.5'	L
155	PAVI	PANICUM VIRGATUM 'SHENANDOAH'	RED SWITCH GRASS	#1 CONT.	3'X2'	L

PERENNIALS

82	ACMI	ACHILLEA MILLEFOLIUM 'PAPRIKA'	PAPRIKA YARROW	#1 CONT.	3'X2'	VL
286	SAMA	SALVIA SYLVESTRIS X 'MAINACHT'	MAY NIGHT SALVIA	#1 CONT.	2'X1.5'	VL
76	SAPA	SALVIA PACHYPHYLLA	MOJAVE SAGE	#1 CONT.	3'X2'	VL

MISCELLANEOUS

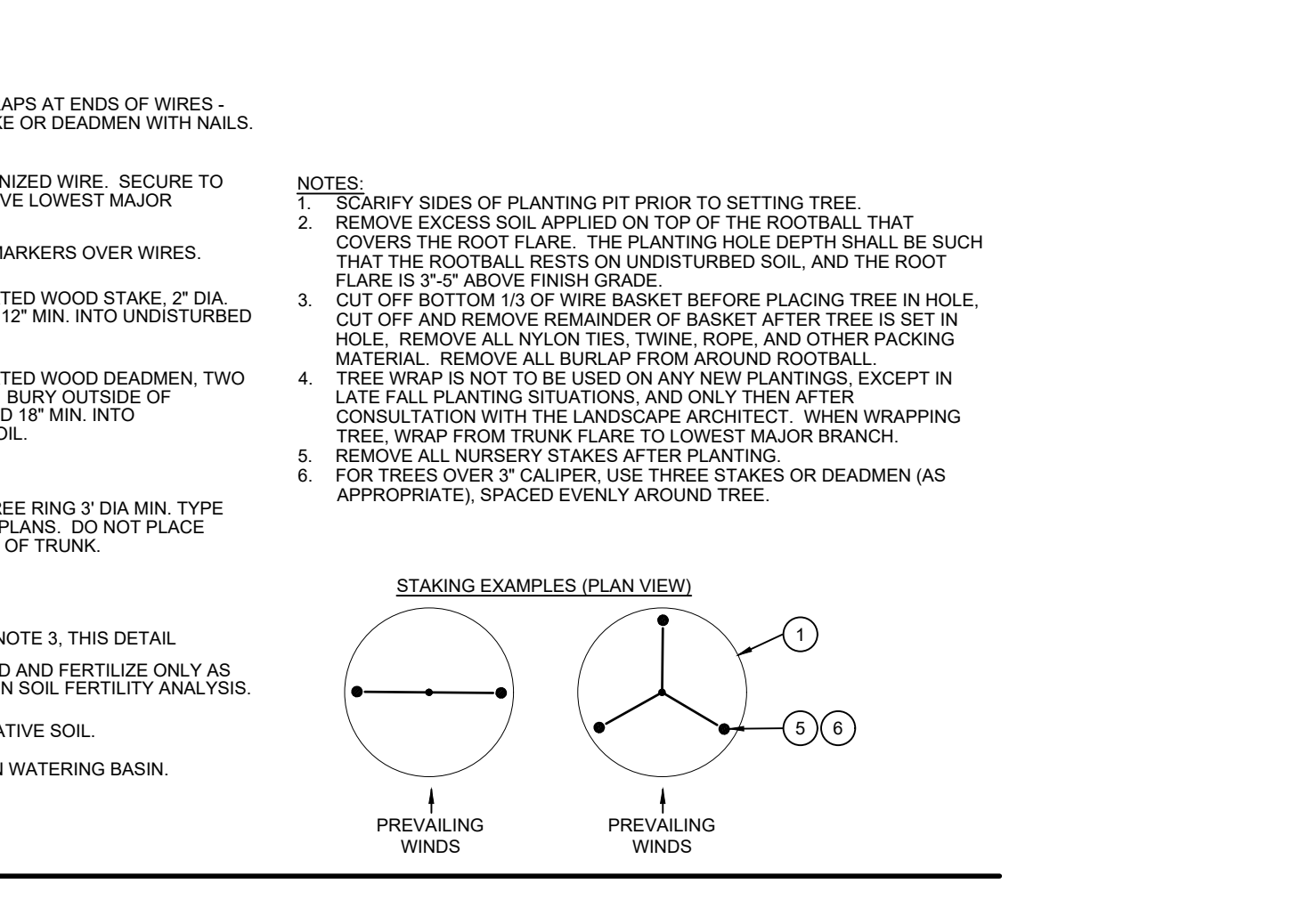
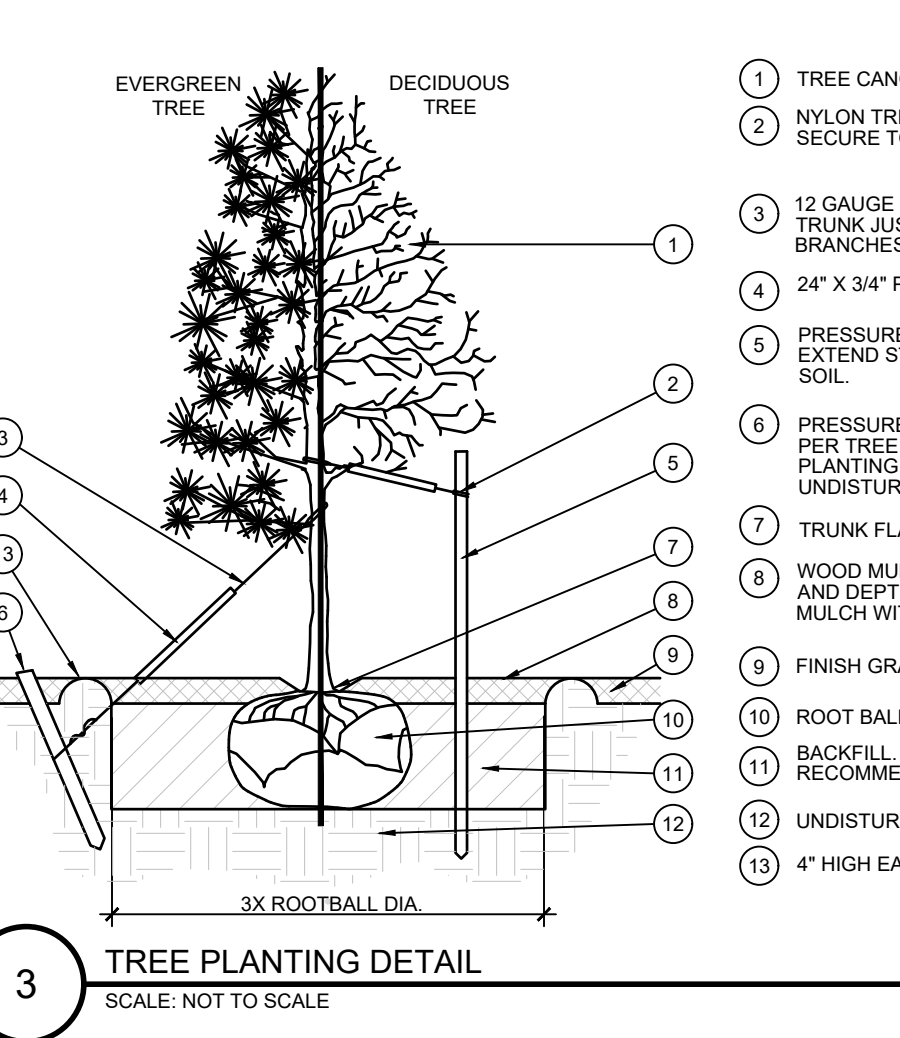
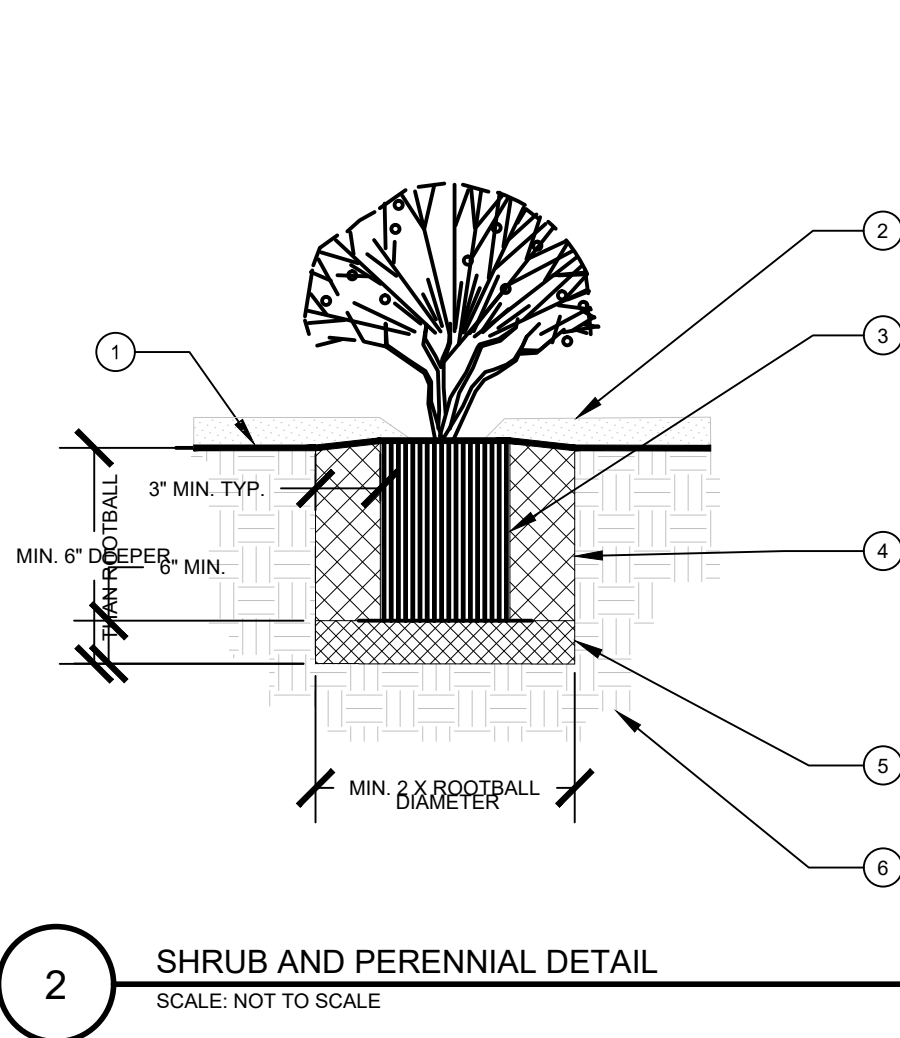
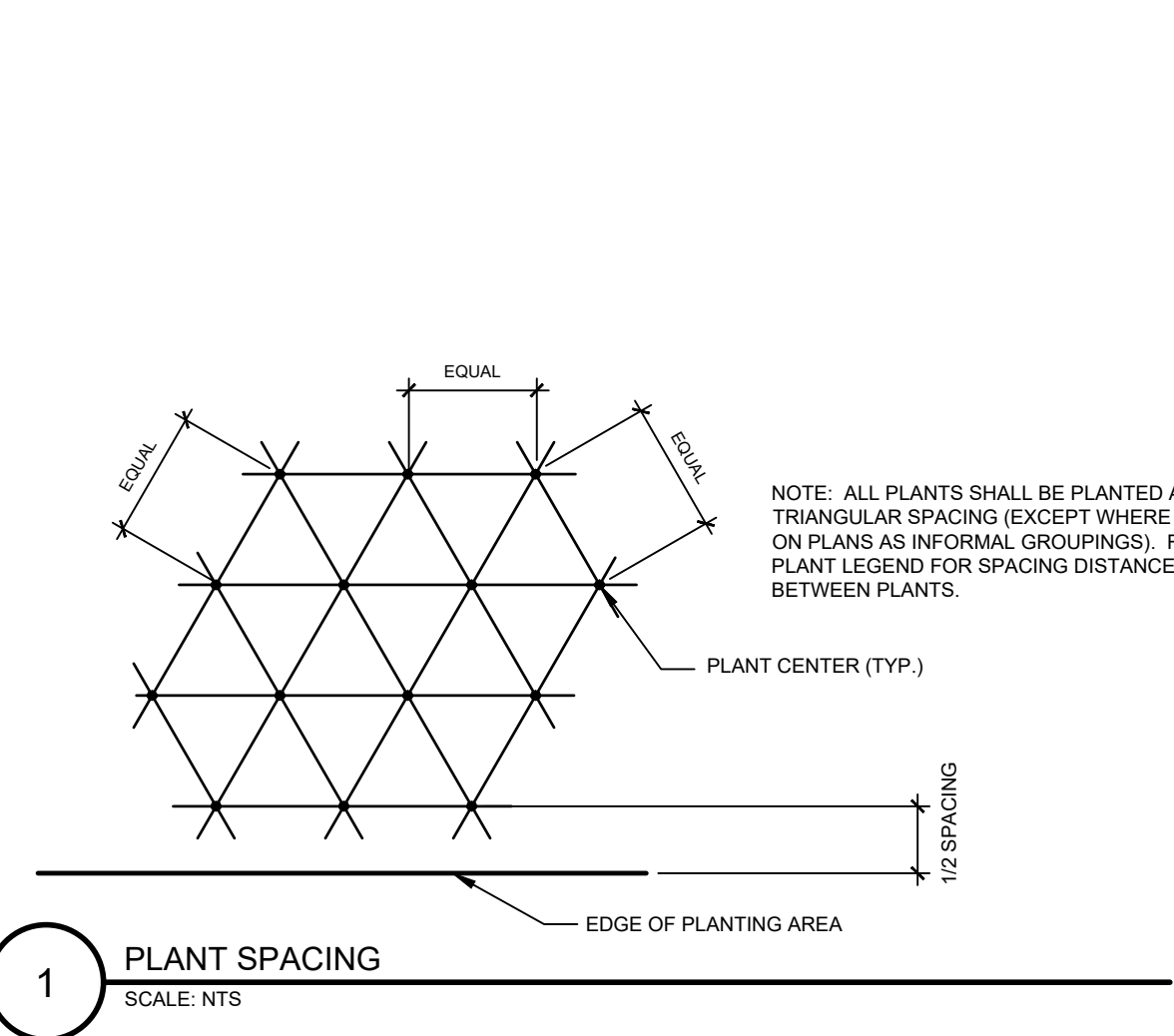
17,919 SF	---	GRASS SEED	XERISCAPE SEED MIX. SEE NOTES	SEED	---	VL
33,114 SF	---	ROCK COBBLE MULCH	25%-75% ARKANSAS RIVER ROCK TO MATCH EXISTING ADJACENT SITE	MULCH	---	---
520 LF	---	STEEL EDGING	14 GAUGE, 4" HIGH BY 1/8" THICK, BLACK COLOR	EDGER	---	---

TREE PROTECTION NOTES

1. USE EL PASO COUNTY TREE PROTECTION NOTE (IF AVAILABLE). TREE PROTECTION NOTES BELOW SHALL BE USED FOR FURTHER INTEGRATION.
2. "PROTECTED ZONE" FOR EXISTING TREES: BEFORE BEGINNING ANY DEMOTION OR CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL INSTALL TEMPORARY FENCING AROUND ALL EXISTING TREES WITHIN THE CONSTRUCTION ZONE THAT ARE TO BE SAVED. THE FENCE SHALL BE INSTALLED NO CLOSER TO THE TREE THAN THE EDGE OF THE TREE'S PROTECTED ZONE, GENERALLY DEFINED AS THE AREA BEGINNING FIVE FEET OUTSIDE OF THE TREE'S DRIPLINE AND EXTENDING TOWARDS THE TREE (OR AS FAR AWAY FROM THE TRUNK AS PRACTICABLE). THE FENCING SHALL BE OF A MATERIAL AND HEIGHT ACCEPTABLE TO THE LANDSCAPE ARCHITECT. ALL CONTRACTORS AND THEIR CREWS SHALL NOT BE ALLOWED INSIDE THIS "PROTECTED ZONE" NOR SHALL THEY BE ALLOWED TO STORE OR DUMP FOREIGN MATERIALS WITHIN THIS AREA. NO WORK OF ANY KIND, INCLUDING TRENCHING, SHALL BE ALLOWED WITHIN THE PROTECTED ZONE EXCEPT AS DESCRIBED BELOW. THE FENCING SHALL REMAIN AROUND EACH TREE TO BE SAVED UNTIL THE COMPLETION OF CONSTRUCTION OPERATIONS.
3. TEMPORARY MULCH: TO ALLEVIATE SOIL COMPACTION IN ANTICIPATED AREAS OF HIGH CONSTRUCTION TRAFFIC, AND ONLY WHERE FENCING CANNOT BE SET FIVE FEET OUTSIDE OF THE DRIPLINE, THE CONTRACTOR SHALL INSTALL A LAYER OF MULCH, 9"-12" THICK, OVER ALL EXPOSED EARTH FROM THE TREE TRUNK TO 5' OUTSIDE OF THE DRIPLINE. THIS LAYER SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. WHEN PLANTING OPERATIONS ARE COMPLETED, THE MULCH SHALL BE REDISTRIBUTED THROUGHOUT ALL PLANTING AREAS IN A 3" THICK "PERMANENT" MULCH LAYER.
4. NECESSARY WORK: WHEN IT BECOMES NECESSARY TO ENTER THE "PROTECTED ZONE" SUCH AS FOR FINE GRADING, IRRIGATION INSTALLATION AND PLANTING OPERATIONS, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE FOLLOWING RULES:
 - A. EVERY EFFORT SHALL BE MADE TO PRESERVE THE EXISTING GRADE AROUND PROTECTED TREES IN AS WIDE AN AREA AS POSSIBLE.
 - B. TRENCHING WITHIN THE PROTECTED ZONE OF EXISTING TREES SHALL BE PERFORMED BY HAND, AND WITH EXTREME CARE NOT TO SEVER ROOTS 1-1/2" IN DIAMETER AND LARGER. WHERE ROOTS 1-1/2" IN DIAMETER AND LARGER ARE ENCOUNTERED, THE CONTRACTOR SHALL TUNNEL UNDER SAID ROOTS. EXPOSED ROOTS THAT HAVE BEEN TUNNELED UNDER SHALL BE WRAPPED IN WET BURLAP AND KEPT MOIST WHILE THE TRENCH IS OPEN.
 - C. WHERE ROOTS 1-1/2" IN DIAMETER OR LARGER MUST BE CUT DUE TO EXTENSIVE GRADE CHANGES, THOSE ROOTS MUST BE EXPOSED BY HAND DIGGING AND CUT CLEANLY. RAGGED CUTS GENERALLY DO NOT HEAL PROPERLY, AND MAY LEAVE THE TREE OPEN TO PESTS AND PATHOGENS.
 - D. WHERE TRENCHING NEAR TREES HAS ALREADY OCCURRED FROM PREVIOUS CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL MAKE EVERY EFFORT TO CONFINE HIS TRENCHING OPERATIONS TO THE PREVIOUSLY-CREATED TRENCHES, WHILE ADHERING TO THE CONDITIONS SET FORTH IN 3B.
5. PRUNING: PRUNE ONLY THE TREES THAT ARE INDICATED ON THE PLANS AS REQUIRING PRUNING. PRUNE TREES ACCORDING TO INTERNATIONAL SOCIETY OF ARBORICULTURE / ANSI A300 STANDARDS.
 - A. REMOVE ALL DEAD WOOD.
 - B. PRUNE LIVE WOOD FOR HEALTH OR STRUCTURAL REASONS ONLY, INCLUDING THE NEED TO ELIMINATE DISEASED OR DAMAGED GROWTH, ELIMINATE STRUCTURALLY UNSOUND GROWTH, REDUCE THE POTENTIAL FOR WIND TOPPLING OR WIND DAMAGE, OR TO MAINTAIN GROWTH WITHIN LIMITED SPACE. DO NOT REMOVE MORE THAN 25% OF ANY TREE'S LIVE FOLIAGE IN ANY ONE GROWING SEASON. PRUNE ONLY TO INTERNATIONAL SOCIETY OF ARBORICULTURE/ANSI A300 STANDARDS, AND ONLY UNDER THE DIRECT SUPERVISION OF A CERTIFIED ARBORIST.
 - C. FINAL CUTS SHALL BE MADE JUST OUTSIDE THE SHOULDER RING AREA. EXTREMELY FLUSHED CUTS WHICH PRODUCE LARGE WOUNDS SHALL NOT BE MADE.
 - D. ALL TRIMMING CUTS SHALL BE PERFORMED IN SUCH A MANNER AS TO PROMOTE THE NATURAL GROWTH AND SHAPE OF EACH TREE SPECIES.
 - E. IMPROPER PRUNING METHODS INCLUDING, BUT NOT LIMITED TO, "TOPPING", "TIPPING", "HEADING BACK", "DEHORNING", AND "NOTCHING" WILL NOT BE ALLOWED. THE CONTRACTOR SHALL PAY FOR ALL WORK NECESSARY TO CORRECT SUCH PRUNING WHEN PERFORMED BY HIS CREWS OR SUBCONTRACTORS.
 - F. SHOULD THE CONTRACTOR REQUIRE MORE INFORMATION, THE CONTRACTOR SHALL CONTACT THE ISA AT (217) 355-9411 FOR A COPY OF THE ANSI A300 PRUNING STANDARDS. CONTRACTOR SHALL ADHERE TO THE METHODS AND PRACTICES SET FORTH IN THIS DOCUMENT.
6. LANDSCAPE AND IRRIGATION (NATIVE TREES ONLY): ANY FUTURE LANDSCAPE AND IRRIGATION SHOULD ADHERE TO THE FOLLOWING GUIDELINES:
 - A. NO IRRIGATION OR PLANTING SHOULD OCCUR CLOSER THAN 6'-10" FROM THE TRUNK.
 - B. WHERE IRRIGATION DOES OCCUR WITHIN THE PROTECTED ZONE, DRIP IRRIGATION SHOULD BE USED WHEREVER POSSIBLE. ADDITIONALLY, ONLY PLANTS WITH LOW WATER NEEDS SHOULD BE PLANTED WITHIN THE PROTECTED ZONE, SPACED FAR APART WHERE CLOSE TO THE TREE. PLANTS MAY BE SPACED CLOSER TOGETHER NEAR THE EDGE OF THE PROTECTED ZONE.

LANDSCAPE GUARANTEE AND MAINTENANCE

1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOIL, SEEDED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
2. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A NEAT, CLEAN, AND HEALTHY CONDITION FOR A PERIOD OF 90 DAYS. THIS SHALL INCLUDE PROPER PRUNING, MOWING AND AERATION OF LAWNS, WEEDING, REPLACEMENT OF MULCH, REMOVAL OF LITTER, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON AND TO MAXIMIZE WATER CONSERVATION. IF SITE OPENS DURING WINTER, TO AVOID FREEZE DAMAGE ON PLANTINGS, THE 90 DAYS SHOULD BEGIN AFTER ACCEPTANCE OF THE WORK.
3. DURING THE LANDSCAPE MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES IN ALL LANDSCAPE AREAS AT THE MINIMUM SLOPE SPECIFIED IN THE GEOTECHNICAL REPORT. LANDSCAPE AREAS WHICH SETTLE AND CREATE THE POTENTIAL FOR PONDING SHALL BE REPAIRED TO ELIMINATE PONDING POTENTIAL AND BLEND IN WITH THE SURROUNDING GRADES. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.



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Denver, CO 80223
Phone (303) 778-3053
Fax (303) 871-9262

KING SOOPERS #147
FALCON MARKETPLACE
LOTS 2 & 3, BLOCK 1
7530 & 7595 FALCON MARKET PL.
FALCON, CO

#	Date	Issue / Description	Init.
1	12/16/19	2ND SDF Sub.	ACJ
2	03/30/20	3RD SDF Sub.	ACJ
3	05/29/20	4TH SDF Sub.	ACJ
4	10/02/20	5TH SDF Sub.	ACJ
5	09/24/21	6TH SDF Sub.	ACJ

Project No: KSS000147
Drawn By: JRR
Checked By: JRR
Date: 8/29/19

PLANTING DETAILS + NOTES

L1.6

Symbol	Qty	Label	Arrangement	Lum. Watts	Total Watts	Lum. Lumens	LLF	Description
1	C100-T3	SINGLE	217	217	31061	0.903	PRV-XL-C100-D-UNV-T3-BZ	
2	C100-T4	SINGLE	217	434	31035	0.903	PRV-XL-C100-D-UNV-T4-BZ	
2	C100-T5	SINGLE	217	434	33450	0.903	PRV-XL-C100-D-UNV-T5-BZ	
8	C100-T5 (2)	BACK-BACK	217	3472	33450	0.903	PRV-XL-C100-D-UNV-T5-BZ	
4	C125-T5-2	BACK-BACK	264	2112	39097	0.903	PRV-XL-C125-D-VOLT-T5-BZ	
5	C150-T5	SINGLE	285	1425	44287	0.903	PRV-XL-C150-D-UNV-T5-BZ	
2	C150-T5-2	BACK-BACK	285	1140	44287	0.903	PRV-XL-C150-D-UNV-T5-BZ	
3	C40-T4-HSS	SINGLE	131	393	15518	0.903	PRV-C40-D-UNV-T4-BZ-HSS	
5	C75-T3	SINGLE	176	880	26120	0.903	PRV-XL-C75-D-VOLT-T3-BZ	
9	C75-T4	SINGLE	176	1584	26098	0.903	PRV-XL-C75-D-VOLT-T4-BZ	
3	LWA1	SINGLE	59	177	6505	0.912	GWC-AF-01-LED-VOLT-T3-BZ	
3	LWA2	SINGLE	113	339	12710	0.912	GWC-AF-02-LED-VOLT-T3-BZ	
7	LWB2	SINGLE	113	781	12784	0.912	GWC-AF-02-LED-VOLT-T4FT-BZ	
28	SCV-13	SINGLE	84.3	2360.4	12933	1.000	SCV-LED-13L-SC-50	

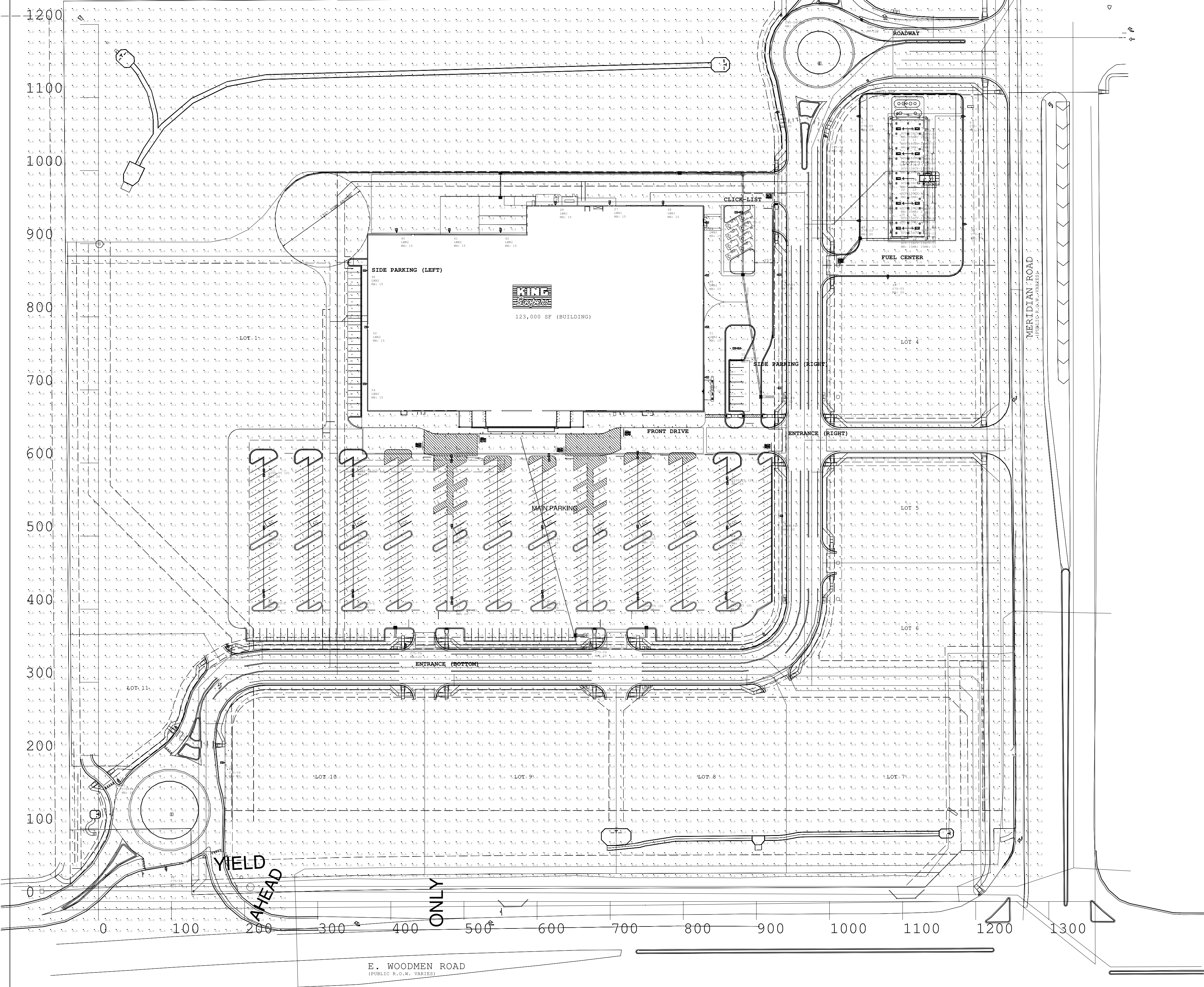
**Project manager to specify
fixture voltage for each fixture type**

Total Watts = 15758.39

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CANOPY	Illuminance	Fc	30.56	45.1	11.0	2.78	4.10
PROPERTY LINE	Illuminance	Fc	0.04	0.1	0.0	N.A.	N.A.
BUILDING REAR	Illuminance	Fc	2.21	9.1	0.1	22.10	91.00
CLICK-LIST	Illuminance	Fc	6.66	11.6	3.0	2.22	3.87
ENTRANCE (BOTTOM)	Illuminance	Fc	3.45	6.0	2.3	1.50	2.61
ENTRANCE (RIGHT)	Illuminance	Fc	1.60	3.0	0.7	2.29	4.29
FRONT DRIVE	Illuminance	Fc	4.15	8.2	1.4	2.96	5.86
FUEL CENTER	Illuminance	Fc	4.51	10.7	1.0	4.51	10.70
MAIN PARKING	Illuminance	Fc	4.30	8.8	1.5	2.87	5.87
ROADWAY	Illuminance	Fc	1.96	8.0	0.3	6.53	26.67
SIDE PARKING (LEFT)	Illuminance	Fc	4.34	6.6	1.7	2.55	3.88
SIDE PARKING (RIGHT)	Illuminance	Fc	4.56	8.7	1.5	3.04	5.80

LumNo	Label	X	Y	Z	Orient	Tilt
1	C40-T4-HSS	933.25	1216.25	20	279.293	0
2	C40-T4-HSS	1045.25	1209.75	20	251.98	0
3	C40-T4-HSS	1055.5	1121.25	20	147.995	0
4	C75-T4	925.899	1079.451	20	10.042	0
5	C75-T3	1037.25	1074.5	20	0	0
6	C75-T3	1165.5	1074.25	20	180	0
7	SCV-13	1091.5	1064.5	15	0	0
8	SCV-13	1107.5	1064.5	15	0	0
9	SCV-13	1123.5	1063.5	15	0	0
10	SCV-13	1091.5	1050.5	15	0	0
11	SCV-13	1107.5	1050.5	15	0	0
12	SCV-13	1123.5	1050.5	15	0	0
13	C75-T4	996.75	1045.75	20	149.237	0
14	SCV-13	1091.5	1030.5	15	0	0
15	SCV-13	1107.5	1030.5	15	0	0
16	SCV-13	1123.5	1029.5	15	0	0
17	SCV-13	1091.5	1016.5	15	0	0
18	SCV-13	1107.5	1016.5	15	0	0
19	SCV-13	1123.5	1016.5	15	0	0
20	SCV-13	1091.5	996.5	15	0	0
21	SCV-13	1107.5	996.5	15	0	0
22	SCV-13	1091.5	982.5	15	0	0
23	SCV-13	1107.5	982.5	15	0	0
24	SCV-13	1091.5	962.5	15	0	0
25	SCV-13	1107.5	962.5	15	0	0
26	SCV-13	1123.5	961.5	15	0	0
27	LWA1	696.25	955.75	15	90	0
28	LWA1	775.25	955.25	15	90	0
29	LWA1	625	955	15	90	0
30	SCV-13	1091.5	948.5	15	0	0
31	SCV-13	1107.5	948.5	15	0	0
32	SCV-13	1123.5	948.5	15	0	0
33	C150-T5-2	875.75	943	20	0	0
34	C75-T3	1037.25	931.5	20	0	0
35	LWB2	828.5	929.25	15	0	0
36	SCV-13	1091.5	928.5	15	0	0
37	SCV-13	1107.5	928.5	15	0	0
38	SCV-13	1123.5	927.5	15	0	0
39	C75-T3	1187.25	926.75	20	180	0
40	LWB2	407.75	915.75	15	90	0
41	LWB2	480	915.75	15	90	0
42	LWB2	550	915.75	15	90	0
43	SCV-13	1091.5	914.5	15	0	0
44	SCV-13	1107.5	914.5	15	0	0
45	SCV-13	1123.5	914.5	15	0	0
46	LWA2	367.25	863.25	15	180	0
47	C150-T5	928.25	857.264	20	0	0
48	LWB2	828.5	856.75	15	0	0
49	C75-T3	1079.75	852	20	90	0
50	LWA2	368.25	786	15	180	0
51	LWB2	828.5	786	15	0	0
52	C150-T5-2	873	757	20	0	0
53	LWB2	828.5	717.25	15	0	0
54	LWA2	367.25	708.25	15	180	0
55	C100-T4	927.5	702.614	20	0	0
56	C100-T5 (2)	737.5	610.9	20	90	0
57	C125-T5-2	616.4	607.3	20	90	0
58	C125-T5-2	483	605.8	20	90	0
59	C100-T5 (2)	226.25	586.7	20	90	0
60	C100-T5 (2)	348.25	586.65	20	90	0
61	C100-T5 (2)	860.15	575.9	20	90	0
62	C100-T4	930.25	527.614	20	0	0
63	C150-T5	483.3	510.8	20	90	0
64	C150-T5	348.45	509.65	20	90	0
65	C150-T5	737.6	509.9	20	90	0
66	C150-T5	607.1	509.2	20	90	0
67	C100-T5	226.6	508.55	20	90	0
68	C100-T5	858.95	508.65	20	90	0
69	C125-T5-2	226.1	421.45	20	90	0
70	C125-T5-2	347.95	421.3	20	90	0
71	C100-T5 (2)	607.35	420.35	20	90	0
72	C100-T5 (2)	858.45	418.55	20	90	0
73	C100-T5 (2)	737.85	418.05	20	90	0
74	C100-T5 (2)	483.3	411.95	20	90	0
75	C100-T3	906.205	368.853	20	301.038	0
76	C75-T4	673.08	354.75	20	270	0
77	C75-T4	420.08	353.25	20	270	0
78	C75-T4	175.5	352.25	20	297.553	0
79	C75-T4	104.25	239.75	20	321.532	0
80	C75-T4	172.25	190	20	180	0
81	C75-T4	25.75	167.5	20	306.656	0
82	C75-T4	92.75	41.75	20	96.203	0

Total Quantity: 82



COOPER
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1121 Highway 74 South
Peachtree City, GA 30269
tel no: 770-486-3966
fax no: 770-486-4599
e-mail: mkt-lightingapplications@eaton.com

COOPER
Lighting Solutions

Project Name: **KING SOOPERS - FALCON, CO**

Client: **WENDY NORMAN - EATON**

Drawn By: **John Czyczki**

Date: **9/22/2020**

Scale: **1"=50'**

Project No: **1901148R3.AGI**

We make no representation as to the completeness, currency or accuracy because of reasons inherent to CAD and the additional digital data used to produce a lighting application. All digital CAD data appear to be extremely accurate, however, this apparent accuracy is an artifact of the techniques used to generate it, and is in no way meant to imply actual accuracy. The user of this data takes full responsibility for the accuracy and correctness of all measurements, area, inventories or other data extracted from this, either manually or using software. This data is provided for informational purposes only and is not intended for use in any legal or regulatory proceedings. The user of this data is advised that the data is provided for informational purposes only and is not intended for use in any legal or regulatory proceedings. An accurate lighting application requires light loss ratios or other data which will affect the actual light levels obtained. This analysis is a mathematical model and can be only as accurate as the input data and the IES standards used. In addition, calculated values may vary from actual measurements in certain situations due to variances, such as but not limited to, lamp output, input voltage ballast variances, manufacturing tolerances, and other factors. Lighting application drawings are being provided to the recipient of this escalator.

Catalog # : Project :
Prepared By : Date :



Scottsdale™ Vertex™ - SCV Petroleum Canopy LED Luminaire

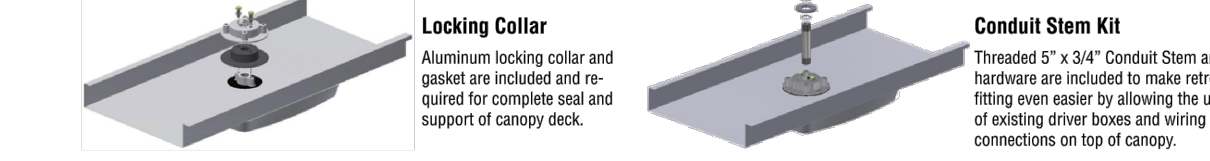
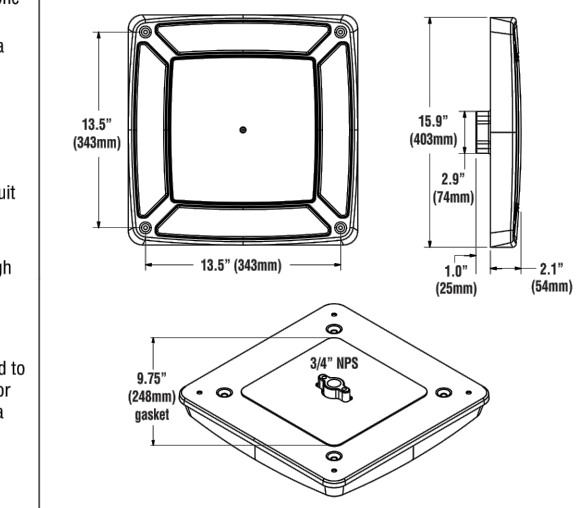
The Scottsdale™ Vertex™ is the most feature-rich canopy fixture in the marketplace. Innovations such as combined optical distributions, multiple lumen packages, field serviceability and simple installation make this fixture the ideal canopy solution. Its exceptional design and performance are backed by LSI's best-in-class customer service.



Features & Specifications

- Optical System**
 - Proprietary silicone refractor optics provide exceptional coverage and uniformity in Symmetrical or Combination Throw distributions.
 - State-of-the-art silicone optics deliver industry leading optical control with an integrated gasket to provide an IP66 rated sealed optical chamber in one component.
 - Silicone optical material does not yellow or crack with age and provides a minimum light transmission of 95%.
 - Available in 5000K, 4000K and 3000K (+/- 275K) color temperatures.
 - Minimum CRI of 70.
- Electrical**
 - High-performance driver features over-voltage, under-voltage, short-circuit and over-temperature protection.
 - 0-10V dimming (10% - 100%) standard.
 - Standard Universal Voltage (120-277 VAC) Input 50/60 Hz or optional High Voltage (347-480 VAC).
 - LED Calculated Life: >100K Hours (See Lumen Maintenance on Page 2)
 - Total harmonic distortion: <20%
 - Operating temperature: -40°C to +50°C (-40°F to +122°F) when mounted to Steel/Aluminum surfaces for 10k, 15k, & 16L Lumen Packages, +45°C for 20L Lumen Package, and +40°C for 23L Lumen Package. If mounted to a non-metallic surface, reduce ambient by 5°C.
 - Power factor: >0.90
 - Input power stays constant over life.

Dimensions



* Assembled in USA by American workers at American and foreign plants using state-of-the-art equipment for mass and volume manufacturing facility in Ohio. Made by American workers with the ARRA.

Scottsdale™ Vertex™ - SCV Petroleum Canopy LED Luminaire

Luminaire Ordering Guide

Family / Size	LED Type	Lumen Package	Distribution	Voltage	Driver	Color Temperature	Finish	Mounting	Color
SCV Premium Canopy Luminaire	16L - 1000 Lumens 15L - 1000 Lumens 20L - 2000 Lumens 23L - 2000 Lumens	16L - 1000 Lumens 15L - 1000 Lumens 20L - 2000 Lumens 23L - 2000 Lumens	SCV Symmetrical SCV Combination Standard Symmetrical and Forward Throw	120-277V 347-480V	DM - Drive to 10% (5 to 10% dimming) HW - 347-480V	5000K 4000K 3000K	WHT - White BLK - Black BRZ - Bronze	WHT - White BLK - Black BRZ - Bronze	BLK - Black BRZ - Bronze

Accessory Ordering Information

Description	Order Number	Description	Order Number
Result Panel Kit - SCV (EVA) (EVA to SCV for 16" Deck Panel with larger opening)	67453	30" x 30" Ready Plate Kit (with 4" Center hole)	56108667
Result Panel Kit - SCV (EVA) (EVA to SCV for 12" Deck Panel)	67611	Junction Box	661461
Result Panel Kit - SCV (EVA) (EVA to SCV for 12" Deck Panel)	67626	Kit - Hook Plug and Sealant (enough for 25 mounts)	133240
Result Panel Kit - SCV (EVA) (EVA to SCV for 12" Deck Panel)	67627	Resulting Top Plate (to be attached to pole and support)	67626/627
Result 2nd Cover Panel Back (no holes)	56152	Surface Mount Base	67453
Result R/C Cover Panel Back (no holes)	56152	Result Kit - SCV/SCV to SCV	661462
30" x 30" Ready Plate Kit (with 4" Center hole)	56108667		

- FOOTNOTES:**
- 1 - Consult factory for HV with Act Link Synapse Wireless Control System.
 - 2 - IMBST is field configurable via the LSI app that can be downloaded from your smartphone's native app store.
 - 3 - Used for 12" openings.
 - 4 - Used for 12" openings.
 - 5 - Not available in HV.

Accessories/Options



McGraw-Edison

Project	Date

DESCRIPTION

The Galleon™ wall LED luminaire's appearance is complementary to the Galleon area and also luminaire bringing a modern architectural style to lighting applications. Flexible mounting options accommodate wall surfaces in both an upward and downward configuration. The Galleon family of LED products deliver exceptional performance with patented, high-efficiency AccoLED™ Optics™, providing uniform and energy conscious lighting for parking lots, building and security lighting applications.

DESCRIPTION
The Galleon™ wall LED luminaire's appearance is complementary to the Galleon area and also luminaire bringing a modern architectural style to lighting applications. Flexible mounting options accommodate wall surfaces in both an upward and downward configuration. The Galleon family of LED products deliver exceptional performance with patented, high-efficiency AccoLED™ Optics™, providing uniform and energy conscious lighting for parking lots, building and security lighting applications.

ORDERING INFORMATION

Product Family	Light Engine	Number of Light Engines	Lamp Type	Voltage	Distribution	Color	Mounting Options
GW-EDISON-100	100W LED	1	LED	120-277V	Wide Flood	White	BLANK-Surface Mount

DESCRIPTION

The Galleon™ wall LED luminaire's appearance is complementary to the Galleon area and also luminaire bringing a modern architectural style to lighting applications. Flexible mounting options accommodate wall surfaces in both an upward and downward configuration. The Galleon family of LED products deliver exceptional performance with patented, high-efficiency AccoLED™ Optics™, providing uniform and energy conscious lighting for parking lots, building and security lighting applications.

ORDERING INFORMATION

Product Family	Light Engine	Number of Light Engines	Lamp Type	Voltage	Distribution	Color	Mounting Options
GW-EDISON-100	100W LED	1	LED	120-277V	Wide Flood	White	BLANK-Surface Mount

GWC GALLEON WALL LUMINAIRE

Product Family	Light Engine	Number of Light Engines	Lamp Type	Voltage	Distribution	Color	Mounting Options
GWC-100	100W LED	1	LED	120-277V	Wide Flood	White	BLANK-Surface Mount

DESCRIPTION

The Galleon™ wall LED luminaire's appearance is complementary to the Galleon area and also luminaire bringing a modern architectural style to lighting applications. Flexible mounting options accommodate wall surfaces in both an upward and downward configuration. The Galleon family of LED products deliver exceptional performance with patented, high-efficiency AccoLED™ Optics™, providing uniform and energy conscious lighting for parking lots, building and security lighting applications.

ORDERING INFORMATION

Product Family	Light Engine	Number of Light Engines	Lamp Type	Voltage	Distribution	Color	Mounting Options
GWC-100	100W LED	1	LED	120-277V	Wide Flood	White	BLANK-Surface Mount

DESCRIPTION

The Galleon™ wall LED luminaire's appearance is complementary to the Galleon area and also luminaire bringing a modern architectural style to lighting applications. Flexible mounting options accommodate wall surfaces in both an upward and downward configuration. The Galleon family of LED products deliver exceptional performance with patented, high-efficiency AccoLED™ Optics™, providing uniform and energy conscious lighting for parking lots, building and security lighting applications.

ORDERING INFORMATION

Product Family	Light Engine	Number of Light Engines	Lamp Type	Voltage	Distribution	Color	Mounting Options
GWC-100	100W LED	1	LED	120-277V	Wide Flood	White	BLANK-Surface Mount

Lumark

Project	Date

DESCRIPTION

The Lumark™ area, also luminaire combines optical performance, energy efficiency and long term reliability in an advanced, patent pending modern design. Utilizing the latest LED technology, the Lumark luminaire offers uniformity resulting in greater peak spacing. A versatile mount standard arm facilitates ease of installation for both retrofit and new installation applications. The Lumark luminaire is designed for use in parking lots, walkways, roadways and building areas.

ORDERING INFORMATION

Product Family	Light Engine	Number of Light Engines	Lamp Type	Voltage	Distribution	Color	Mounting Options
LUMARK-100	100W LED	1	LED	120-277V	Wide Flood	White	BLANK-Surface Mount

DESCRIPTION

The Lumark™ area, also luminaire combines optical performance, energy efficiency and long term reliability in an advanced, patent pending modern design. Utilizing the latest LED technology, the Lumark luminaire offers uniformity resulting in greater peak spacing. A versatile mount standard arm facilitates ease of installation for both retrofit and new installation applications. The Lumark luminaire is designed for use in parking lots, walkways, roadways and building areas.

ORDERING INFORMATION

Product Family	Light Engine	Number of Light Engines	Lamp Type	Voltage	Distribution	Color	Mounting Options
LUMARK-100	100W LED	1	LED	120-277V	Wide Flood	White	BLANK-Surface Mount

PRV / PRV-XL PREVAIL

Product Family	Light Engine	Number of Light Engines	Lamp Type	Voltage	Distribution	Color	Mounting Options
PRV-100	100W LED	1	LED	120-277V	Wide Flood	White	BLANK-Surface Mount

DESCRIPTION

The PRV™ area, also luminaire combines optical performance, energy efficiency and long term reliability in an advanced, patent pending modern design. Utilizing the latest LED technology, the PRV luminaire offers uniformity resulting in greater peak spacing. A versatile mount standard arm facilitates ease of installation for both retrofit and new installation applications. The PRV luminaire is designed for use in parking lots, walkways, roadways and building areas.

ORDERING INFORMATION

Product Family	Light Engine	Number of Light Engines	Lamp Type	Voltage	Distribution	Color	Mounting Options
PRV-100	100W LED	1	LED	120-277V	Wide Flood	White	BLANK-Surface Mount

DESCRIPTION

The PRV™ area, also luminaire combines optical performance, energy efficiency and long term reliability in an advanced, patent pending modern design. Utilizing the latest LED technology, the PRV luminaire offers uniformity resulting in greater peak spacing. A versatile mount standard arm facilitates ease of installation for both retrofit and new installation applications. The PRV luminaire is designed for use in parking lots, walkways, roadways and building areas.

ORDERING INFORMATION

Product Family	Light Engine	Number of Light Engines	Lamp Type	Voltage	Distribution	Color	Mounting Options
PRV-100	100W LED	1	LED	120-277V	Wide Flood	White	BLANK-Surface Mount

2) FIXTURE "LWA" & "LWB"

NOT TO SCALE

3) FIXTURE "C"

NOT TO SCALE

4) FIXTURE "SCV"

NOT TO SCALE

Galloway

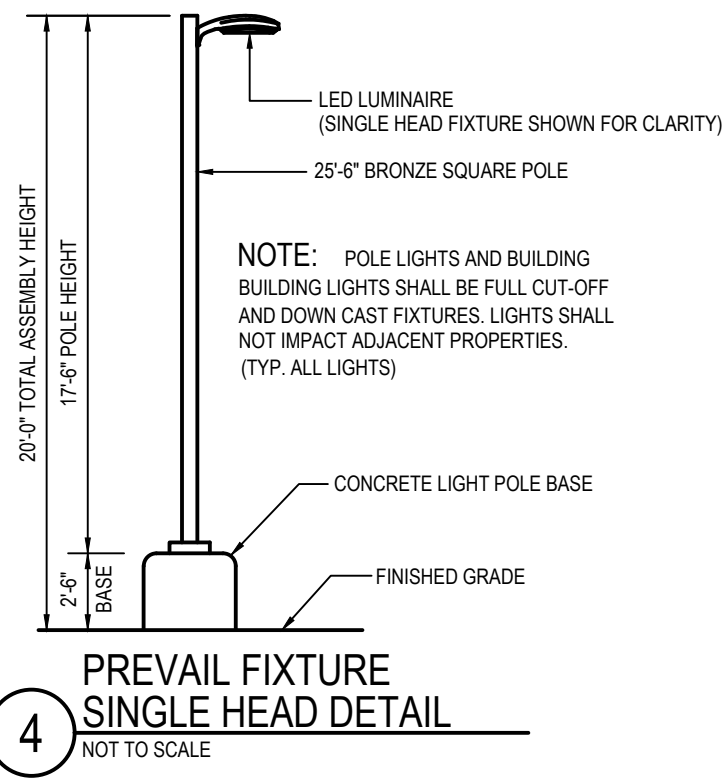
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KING SCOOPERS #147
FALCON MARKETPLACE
LOTS 2 & 3, BLOCK 1
7530 & 7595 FALCON MARKET PL
FALCON, CO



#	Date	Issue / Description	Init.
1	12/16/19	2ND SDF Sub.	ACJ
2	03/30/20	3RD SDF Sub.	ACJ
3	05/29/20	4TH SDF Sub.	ACJ
4	10/02/20	5TH SDF Sub.	ACJ
5	09/24/21	6TH SDF Sub.	ACJ

Project No: KSS000147
Drawn By: JAC
Checked By: JRR
Date: 8/29/19
PHOTOMETRIC DETAILS

C5.1