

FOREST LAKES DEVELOPMENT GUIDELINES

- A. Applicability:**
These standards shall apply to all property contained in Forest Lakes Planned Unit Development (PUD) Phase 2. These guidelines shall govern the land use, the dimensional zoning regulations, and along with the covenants, the regulatory process for determining compliance with the provisions of the Forest Lakes PUD.
- B. Project Description:**
Forest Lakes Phase 2 is a single family residential development consisting of 231 single family lots located in El Paso County.
- C1. Permitted Principal Uses include accessory uses:**
1. Single-family dwellings
2. Open space, golf course, active parks and trails
3. Schools
4. Recreation Centers
5. Utility improvements and detention structures
6. Adult Care Home*
7. Child Care Facility*
9. Accessory uses as defined by the R Residential District.
*These uses are subject to development standards in Section 5.1 of Land Development Code
- C2. Use subject to special review:**
1. Other principal uses in the R Residential District.
2. Special review uses in the R Residential District.
- C3. Accessory uses shall be subject to the regulations of section 5.1 of the Land Development Code:**
1. Guest houses: see Section 5.2.29 of Land Development Code. The provision of guest quarters does not count toward the total 231 dwelling units provided under the Forest Lakes PUD Development Plan/Preliminary Plan.
2. All other accessory uses shall be subject to the regulations of section 5.1 of the Land Development Code.

- D. Development Requirements for residential lots. (see lot typicall on this sheet):**
- LOT A**
Maximum Lot Coverage: Fifty-five (55) percent.
Minimum Lot Size: 9,600 S.F.
Maximum Building Height: Thirty (30) feet.
Minimum Lot Width at Building Setback Line: Eighty (80) feet, unless otherwise shown on plans.
Minimum Lot Depth: One Hundred Twenty (120) feet.
Setback Requirements (measured from R.O.W.):
Front Yard: Twenty (20) feet.
Attached/Detached Garage: Twenty (20) feet from front property line to front-loaded garage. Ten (10) feet from property line to side-loaded garage.
Side Yard: Seven and a half (7.5) feet.
Corner Lot: The side yard setback for the side street side shall be Ten (10) feet.
Rear Yard: Twenty (20) feet.
- LOT B**
Maximum Lot Coverage: Fifty-five (55) percent.
Minimum Lot Size: 7,200 s.f.
Maximum Building Height: Thirty (30) feet.
Minimum Lot Width at Building Setback Line: Sixty (60) feet, unless otherwise shown on plans.
Minimum Lot Depth: One Hundred Twenty (120) feet.
Setback Requirements (measured from R.O.W.):
Front Yard: Fifteen (15) feet.
Attached/Detached Garage: Twenty (20) feet from front property line to front-loaded garage. Ten (10) feet from property line to side-loaded garage.
Side Yard: Five (5) feet.
Corner Lot: The side yard setback for the side street side shall be Ten (10) feet.
Rear Yard: Twenty (20) feet.
- LOT C**
Maximum Lot Coverage: Fifty-five (55) percent.
Minimum Lot Size: 10,500 s.f.
Maximum Building Height: Thirty (30) feet.
Minimum Lot Width at Building Setback Line: Seventy (70) feet, unless otherwise shown on plans.
Minimum Lot Depth: One Hundred Fifty (150) feet.
Setback Requirements (measured from R.O.W.):
Front Yard: Twenty (20) feet.
Attached/Detached Garage: Twenty (20) feet from front property line to front-loaded garage. Ten (10) feet from property line to side-loaded garage.
Side Yard: Seven and a half (7.5) feet.
Corner Lot: The side yard setback for the side street side shall be Ten (10) feet.
Rear Yard: Twenty (20) feet.

- E. Lot Sizes:**
1. The PUD Development Plan and the Plat establish the lot sizes for each lot.
2. Following initial subdivision, no vacations and replats shall be allowed if these would result in the addition of lots in a manner not fully consistent with the PUD Development Plan.
- F. Streets:**
Streets within Forest Lakes Phase 2 provide general vehicular circulation throughout the development. Streets shall be publicly owned and maintained except when noted. Any private streets shall be owned and maintained by the appropriate Home Owners Association or the Forest Lakes Metropolitan District. Construction will be to El Paso County Standards except where PUD modifications are approved by the County. All Streets shall be paved with curb and gutter.

- G. Architectural Control Committee Review/Covenants:**
Covenants for Forest Lakes will be created by separate documents and recorded prior to final plat. The Covenants establish rules and regulations for the property within the subdivisions and establish the governance mechanism of the subdivision, including the creation of the Architectural Control Committee.

- H. Authority:**
The authority of this PUD Development Plan is Section 4.2 (Planned Unit Development District) of the El Paso County Zoning Resolution. The Authority for Section 4.2 of the El Paso County Zoning Resolution is the Colorado Planned Unit Development Act of 1972.

- I. Adoption:**
The Adoption of this PUD Development Plan shall evidence the findings and decision of the Board of El Paso County Commissioners that this PUD Development Plan for Forest Lakes Phase 2 is in general conformity with the El Paso County Master Plan, is authorized by the provisions of Section 4.2 of the Land Development Code and this PUD Development Plan complies with the Colorado Planned Unit Development Act of 1972, as amended.

- K. Relationship to County Regulations:**
The provisions of this PUD Development Plan shall prevail and govern the development of Forest Lakes Phase 2, provided, however that where the provisions of this PUD Development Plan do not address a particular subject, the relevant provision of the El Paso County Land Development Code, as amended, any determination or interpretation issued by the Planning & Community Development Director or any other applicable resolutions or regulations of El Paso County, shall be applicable.

- General Notes:**
1. All public streets shall be constructed to El Paso County standards, dedicated to El Paso County for and upon acceptance by El Paso County, shall be maintained by El Paso County Department of Transportation except for landscaping as indicated in note #2. All private streets as indicated on the plan shall be owned and maintained by the Forest Lakes Metropolitan District.
2. Landscape entry features, open space tracts, parks, and trails, shall be owned (when appropriate) and maintained by the Forest Lakes Metropolitan District. All double frontage streets shall have a minimum of one tree per thirty (30) feet of frontage. These trees can be clustered along the frontage as determined by the subdividor.
3. Contour interval shown on plan is two (2) feet.
4. Public utility/drainage easements shall be provided on all lots as follows:
a. Front: ten (10) feet
b. Side: five (5) feet
c. Rear: seven and one-half (7.5) feet
d. Streets: Ten (10) feet easement along all areas when front easement is not appropriate.
e. Subdivision Perimeter: Twenty (20) feet
5. Trails identified on plans shall be open to the public for non-motorized uses which may be used for walking, jogging, and bicycling.
6. All open space/trail/landscape tracts shall be limited to non-motorized use only.
7. Development of the property shall be in accordance with the approved PUD Development Plan.
8. The Planning and Community Development Director shall have the ability to grant an administrative variance to the standards of this PUD Development Plan on a case by case basis.

PUD MODIFICATION TABLE
(AS ALLOWED BY LDC SECTION 4.2.6.)

1	STREET DESIGN REQUIREMENTS: A 6% intersection grade where ECM Table2-7 requires a 4% intersection grade for Urban Local Roadways at the following intersections: <ul style="list-style-type: none">Mountain Ledge Lane at Forest Lakes DriveFoothills Flash Court at Forest Lakes DriveMontane Mesa Way at Forest Lakes DriveForest Lakes Drive at Mesa Top Drive
---	--

SOCIAL IMPACTS TABLE

ISSUE	PROVIDER / MAINTENANCE	AVAILABILITY / AMOUNT
STUDENT GENERATION		231 SF Dwelling Units
Elementary School (.34/DU):	School District 38	
Middle School (.16/DU):	School District 38	
High School (.20/DU):	School District 38	
TOTAL:	162	
WATER PROVIDER	Forest Lakes Metropolitan District	(See Water Resources Report)
WASTEWATER PROVIDER	Forest Lakes Metropolitan District	(See Wastewater Report)
FIRE PROTECTION PROVIDER	Tri-Lakes Monument Fire Protection District	
EMERGENCY SERVICES		
Ambulance:	El Paso County	
Police:	El Paso County Sheriff	
RECREATION ACREAGE		
Open Space:	Forest Lakes Metropolitan District	201.558 acres
Parks:	Forest Lakes Metropolitan District	N/A
Trails:	Forest Lakes Metropolitan District	N/A
Private Open Areas:	Forest Lakes Metropolitan District	N/A

FOREST LAKES
PUD DEVELOPMENT PLAN AND
PRELIMINARY PLAN FOR PHASE 2

LEGAL DESCRIPTION:

A PARCEL OF LAND BEING A PORTION OF THE SOUTHWEST QUARTER OF SECTION 28, AND THE SOUTHEAST QUARTER OF SECTION 29 ALL IN TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: A PORTION OF THE NORTHERLY BOUNDARY OF FOREST LAKES FILING NO. 1 RECORDED UNDER RECEPTION NO. 206712407 RECORDS OF EL PASO COUNTY, COLORADO, BEING MONUMENTED AT BOTH ENDS BY A NO. 4 REBAR AND RED PLASTIC SURVEYORS CAP STAMPED "ROCKWELL PLS 19586" ASSUMED TO BEAR N89°29'26"W, A DISTANCE OF 3103.31 FEET.

COMMENCING AT THE NORTHWESTERLY CORNER OF FOREST LAKES FILING NO. 1 RECORDED UNDER RECEPTION NO. 206712407, RECORDS OF EL PASO COUNTY, COLORADO, SAID POINT BEING ON THE NORTH LINE OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO, SAID POINT BEING THE POINT OF BEGINNING;

THENCE, ON THE WESTERLY BOUNDARY OF SAID FOREST LAKES FILING NO. 1, THE FOLLOWING (17) SEVENTEEN COURSES:

- S04°27'43"E, A DISTANCE OF 339.79 FEET;
- S38°59'42"W, A DISTANCE OF 180.21 FEET TO A POINT ON CURVE;
- ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS N21°35'30"E, HAVING A DELTA OF 01°06'06", A RADIUS OF 370.00 FEET AND A DISTANCE OF 7.11 FEET TO A POINT OF REVERSE CURVE;
- ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 31°25'41", A RADIUS OF 330.00 FEET AND A DISTANCE OF 181.01 FEET TO A POINT OF REVERSE CURVE;
- THENCE, ON THE ARC OF A CURVE TO THE LEFT HAVING A DELTA OF 32°16'24", A RADIUS OF 120.00 FEET AND A DISTANCE OF 67.59 FEET TO A POINT OF TANGENT;
- S70°21'22"E, A DISTANCE OF 52.28 FEET TO A POINT OF CURVE;
- ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 27°30'55", A RADIUS OF 215.00 FEET AND A DISTANCE OF 103.25 FEET TO A POINT OF TANGENT;
- S42°50'27"E, A DISTANCE OF 31.85 FEET TO A POINT OF CURVE;
- ON THE ARC OF A CURVE TO THE LEFT HAVING A DELTA OF 47°22'46", A RADIUS OF 110.00 FEET AND A DISTANCE OF 90.96 FEET TO A POINT OF TANGENT;
- N89°46'48"E, A DISTANCE OF 30.97 FEET TO A POINT OF CURVE;
- ON THE ARC OF A CURVE TO THE LEFT HAVING A DELTA OF 72°40'04", A RADIUS OF 70.00 FEET AND A DISTANCE OF 88.78 FEET TO A POINT OF TANGENT;
- N17°06'44"E A DISTANCE OF 29.40 FEET;
- S72°53'16"E, A DISTANCE OF 60.00 FEET;
- S17°06'44"W, A DISTANCE OF 29.40 FEET TO A POINT OF CURVE;
- ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 46°47'45", A RADIUS OF 130.00 FEET AND A DISTANCE OF 106.18 FEET TO A POINT OF CURVE;
- S26°02'29"E, A DISTANCE OF 239.56 FEET;
- S16°10'29"W, A DISTANCE OF 383.49 FEET TO THE SOUTHWESTERLY CORNER OF SAID FOREST LAKES FILING NO. 1;

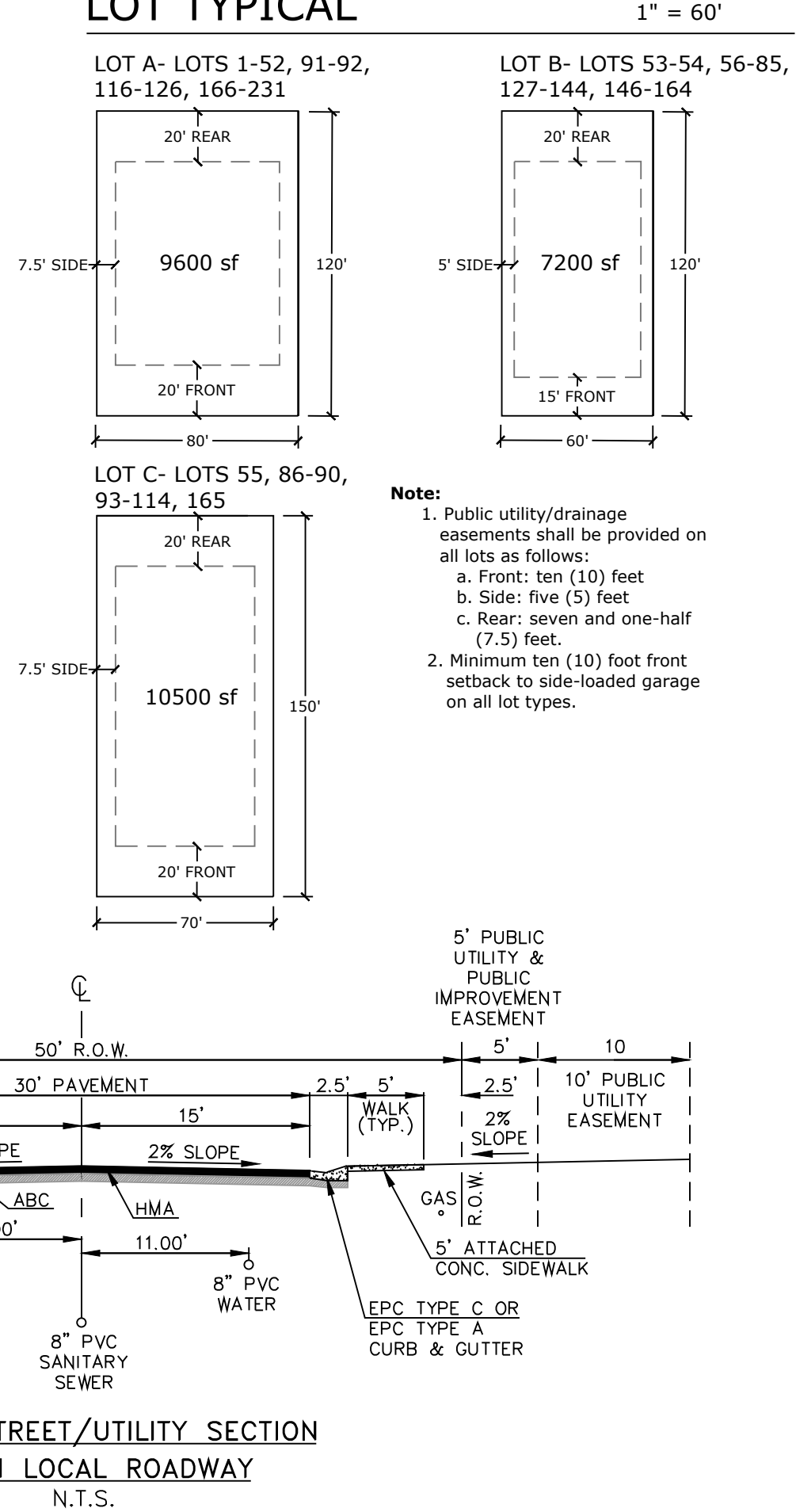
THENCE S02°39'14"E, A DISTANCE OF 1236.36 FEET TO A POINT ON THE SOUTH LINE OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO;
THENCE S88°58'38"W, ON SAID SOUTH LINE, A DISTANCE OF 913.60 FEET TO THE SOUTHEAST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 28;
THENCE S88°58'38"W, ON THE SOUTH LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 28, A DISTANCE OF 1331.94 FEET TO THE SOUTHWEST CORNER OF SAID SECTION 28;
THENCE S89°10'18"W, ON THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 29, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO A DISTANCE OF 2620.81 FEET TO THE SOUTH QUARTER CORNER OF SAID SECTION 29;
THENCE N00°13'11"E, ON THE WEST LINE OF SAID SOUTHEAST QUARTER OF SECTION 29, A DISTANCE OF 2671.51 FEET TO THE CENTER QUARTER OF SAID SECTION 29;
THENCE N89°40'43"E, ON THE NORTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 29, A DISTANCE OF 2638.56 FEET TO THE WEST QUARTER CORNER OF SECTION 28;
THENCE N89°29'26"E, ON THE NORTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 28, A DISTANCE OF 1718.18 FEET TO THE POINT OF BEGINNING.

CONTAINING A CALCULATED AREA OF 287.000 ACRES.

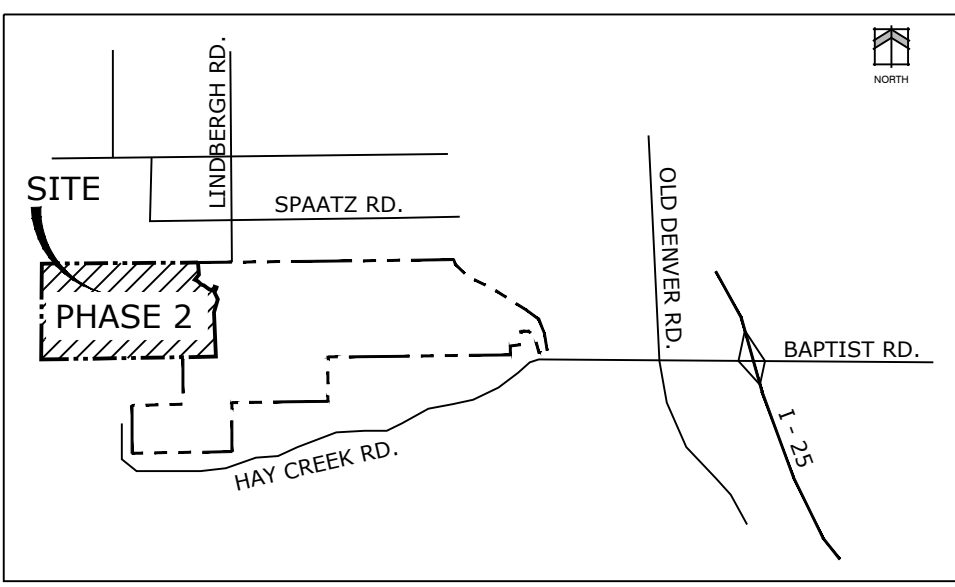
PERMITTED USES TABLE

PRINCIPAL USES	
CMRS Facility, Stealth	S
Dwellings - Detached Single Family	A
Model Home/Subdivision Sales Office	T
Public Park, Open Space	A
Yard Sales	T
ACCESSORY USES	
Day Care Home	A
Home Occupation, Residential	A
Mother-in-law apartment	A
Personal Use Greenhouse	A
Residential accessory structures & uses	A
Solar Energy system	A
LEGEND	
A: Allowed Use	
S: Special Use*	
T: Temporary Use**	
Uses not listed in this table are prohibited.	
* Special uses are subject to the requirements of the El Paso County Land Development Code, Section 5.3.2.	
** Temporary uses are subject to the requirements of the El Paso County Land Development Code, Section 5.3.1.	

LOT TYPICAL



VICINITY MAP



Property Owner:
Forest Lakes Residential Development #2 LLC
1111 Main Street, Suite 1600
Kansas City, MO 64105
(312) 543-1903

Subdivider:
Classic Homes
6385 Corporate Drive
Colorado Springs, CO 80919
(719) 499-3818

Property Address:
3750 Hay Creek Road,
Colorado Springs, CO 80921

DEVELOPMENT DATA

- | | |
|------------------------|--|
| • Existing Zoning: | PUD |
| • Approved Plan: | Forest Lakes Preliminary Plan/PUD 2001 |
| • Tax ID Number: | 7100000420 |
| • Total Area: | 287.00 AC |
| • Number of Lots : | 231 Total |
| • Total Lot Area: | 65.03 AC |
| • Average Lot Size: | 16,375 SF |
| • Minimum Lot Size: | 7,200 SF |
| • Minimum Lot Width: | 60', unless otherwise shown on plans. |
| • Minimum Lot Depth: | 120' |
| • Gross Density: | .81 DU/AC |
| • Net Density: | 1.28 DU/AC |
| • R.O.W.: | 22.02 AC |
| • Total Tract Area: | 199.95 AC |
| • Maximum Height: | 30 Feet |
| • Maximum Lot Coverage | 55% |

Name of Landowner _____

Landowner's Signature, notarized _____

Ownership Certification
I/we _____, a (one of the following: qualified title insurance company, title company, title attorney, or attorney at law) duly qualified, insured, or licensed by the State of _____, do hereby certify that I/we have examined the title of all lands depicted and described hereon and that title to such land is owner in fee simple by _____ at the time of this application.

Notarized Signature _____

OR Name of Attorney and registration number _____

County Certification
This rezoning request to PUD has been reviewed and found to be complete and in accordance with the _____ (Board resolution or motion #) regulations. _____ (date) approving the PUD and all applicable El Paso County # _____

Chair, Board of County Commissioners _____ Date _____

Director, Planning & Community Development _____ Date _____

Clerk and Recorder Certification
State of Colorado)
El Paso County)ss.
I hereby certify that this Plan was filed in my office on this _____ (day) of _____ (month), 20____ at _____ o'clock a.m./p.m. and was recorded per Reception No. _____.

El Paso County Clerk and Recorder _____

SHEET INDEX

Sheet 1 of 15	Cover Page
Sheet 2 of 15	Overall
Sheet 3 of 15	Preliminary Site Plan
Sheet 4 of 15	Preliminary Site Plan
Sheet 5 of 15	Preliminary Site Plan
Sheet 6 of 15	Preliminary Site Plan
Sheet 7 of 15	Preliminary Site Plan
Sheet 8 of 15	Preliminary Site Plan
Sheet 9 of 15	Preliminary Details
Sheet 10 of 15	Preliminary Grading & Utilities Plan
Sheet 11 of 15	Preliminary Grading & Utilities Plan
Sheet 12 of 15	Preliminary Grading & Utilities Plan
Sheet 13 of 15	Preliminary Grading & Utilities Plan
Sheet 14 of 15	Preliminary Grading & Utilities Plan
Sheet 15 of 15	Preliminary Grading & Utilities Plan

Land Planning
Landscape
Architecture
Urban Design

NES

N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

© 2012. All Rights Reserved.

FOREST LAKES
PHASE 2

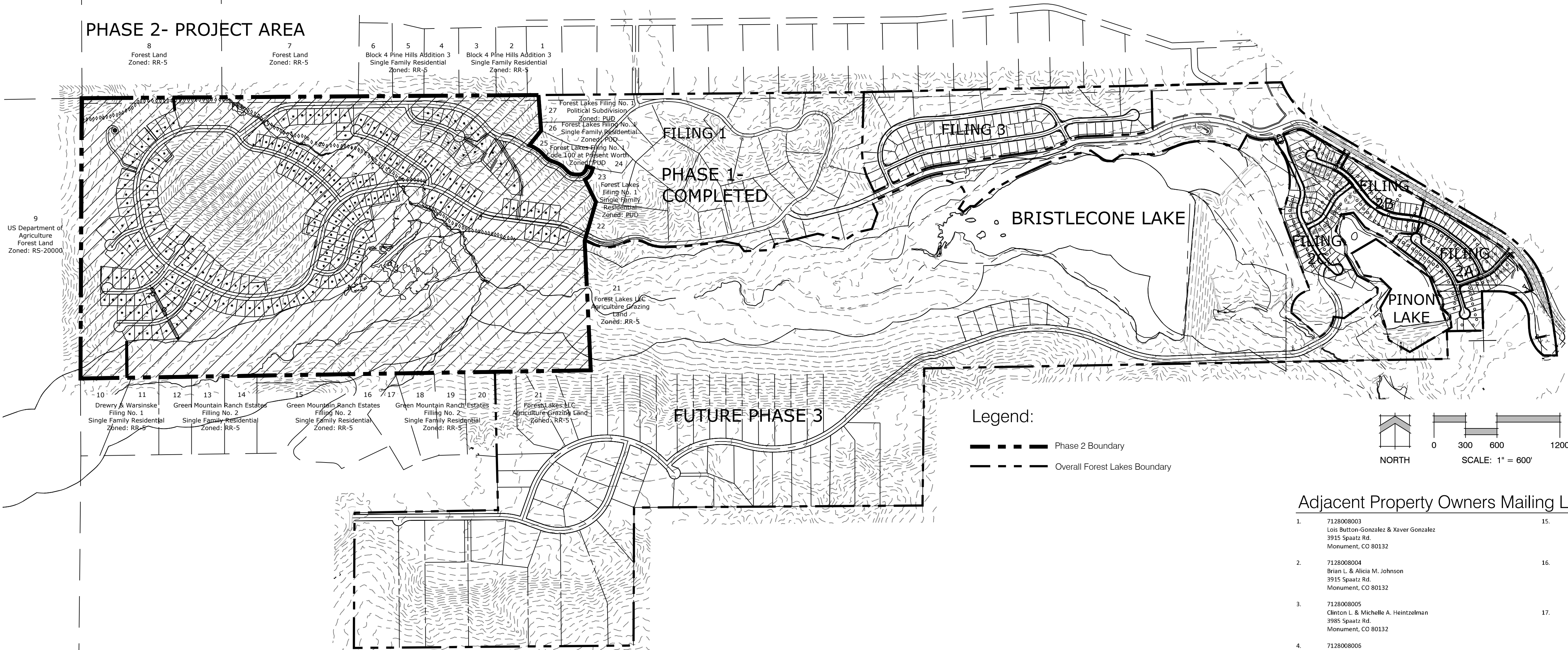
DATE: 12.20.17
PROJECT MGR: A. Barlow
PREPARED BY: R. Sawyer

DATE: _____ BY: _____ DESCRIPTION: _____

COVER SHEET

1
1 OF 15

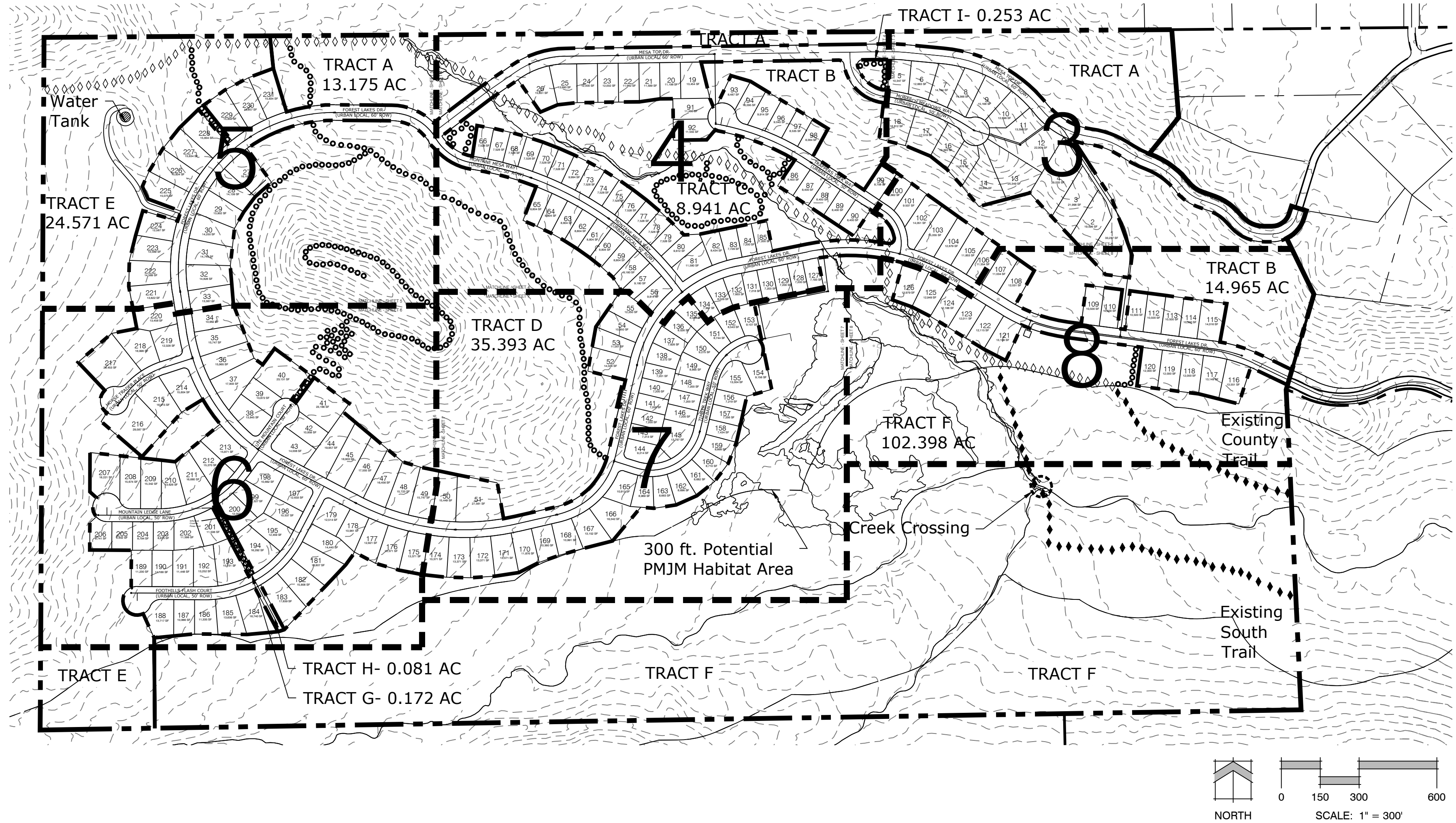
ADD "PCD File No. PUDSP181"



Adjacent Property Owners Mailing List:

1. 712808003 Lois Button-Gonzalez & Xavier Gonzalez 3915 Spaatz Rd. Monument, CO 80132	15. 7133002001 Ivan and Margerit Kosta 2569 Diamondback Dr. Colorado Springs, CO 80921
2. 712808004 Brian L. & Alicia M. Johnson 3915 Spaatz Rd. Monument, CO 80132	16. 7132001006 Adnet Living Trust & Adnet Jacques J. P. Trust 4360 Diamondback Dr. Colorado Springs, CO 80921
3. 712808005 Clinton L. & Michelle A. Heintzelman 3985 Spaatz Rd. Monument, CO 80132	17. 7133001004 Jean & George H. Hammond 4110 Plateau Dr. Colorado Springs, CO 80921
4. 712808006 David Christopher Milodragovich & Reba Elaine Milodragovich 4045 Spaatz Rd. Monument, CO 80132	18. 7133001003 Aaron M. & Joey M. Barkley 200 Everett Ave. Willow Grove, PA 19090
5. 712808007 Shawn A. Morris & Mary F. Morris 4125 Spaatz Rd. Monument, CO 80132	19. 7133001002 Antje E. Leiser 4020 Plateau Dr. Colorado Springs, CO 80921
6. 712808008 Deborah L. Doty Living Trust 4185 Spaatz Rd. Monument, CO 80132	20. 7133001001 Garry L. & Laura A. Mills 3990 Plateau Dr. Colorado Springs, CO 80921
7. 7100000275 Timothy Royal Peterson PO Box 2459 Monument, CO 80132	21. 7100000429 c/o Jane Dickinson Forest Lakes LLC 1111 Main St. Ste. 1600 Kansas City, MO 64105
8. 7100000187 Timothy Royal Peterson PO Box 2459 Monument, CO 80132	22. 7128009019 Ryan K. & Andrea N. Osteroos 3875 Cherry Plum Dr. Colorado Springs, CO 80920
9. 7100000217 Forest Service Department of Agriculture United States of America Washington, DC 20405	23. 7128009001 Thomas J. & Annie B. Lennon 3905 Mesa Top Dr. Monument, CO 80132
10. 7133000027 Diamond Back Ranch, LLC 4585 Diamondback Dr. Colorado Springs, CO 80921	24. 7128009002 John D. & Kerstin E. Sargent 5705 Pioneer Mesa Dr. Colorado Springs, CO 80923
11. 7132000208 James C. Drewry Jr. & Nancy L. Drewry 4555 Diamondback Dr. Colorado Springs, CO 80921	25. 7128008011 Patrick P. & Kari A. Harrington 9234 Dome Rock Pl. Colorado Springs, CO 80924
12. 7132000204 William B. Fitzpatrick 4515 Diamondback Dr. Colorado Springs, CO 80921	26. 7128008010 Ronald J. & Cheryl M. Shouse 8866 Country Creek Trl. Colorado Springs, CO 80924
13. 7132000203 Carol J. Johnson 4485 Diamondback Dr. Colorado Springs, CO 80921	27. 7128008009 Forest Lakes Metropolitan District 2 N Cascade Ave Ste. 1280 Colorado Springs, CO 80903
14. 7133000002 Mark G. & Lisa M. Difalco Trust 4280 Chevron Dr. Highland, MI 48356	

PHASE 2 OVERALL



Tract Table:

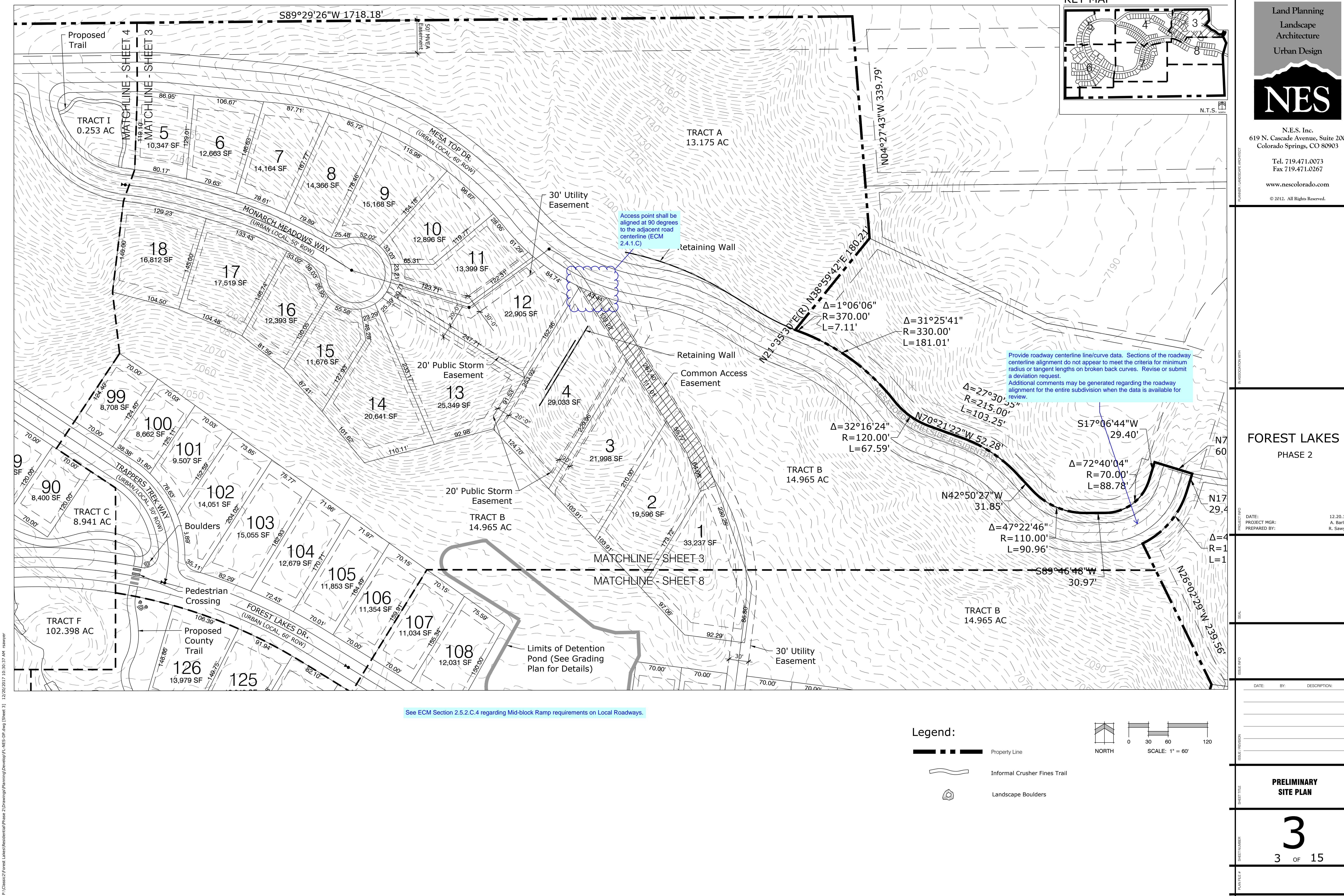
Tracts	Use	Ac.	Ownership & Maintenance
A	Open Space, Trails, Drainage, Utilities	13.175	Forest Lakes Metropolitan District
B	Open Space, Drainage, Utilities	14.965	Forest Lakes Metropolitan District
C	Open Space, Trails, Drainage, Landscaping, Utilities	8.941	Forest Lakes Metropolitan District
D	Open Space, Trails, Utilities	35.393	Forest Lakes Metropolitan District
E	Open Space, Trails, Drainage, Utilities, Water Tank	24.571	Forest Lakes Metropolitan District
F	Open Space, Trails, Drainage, Utilities	102.398	Forest Lakes Metropolitan District
G	Trails, Drainage, Landscaping, Utilities	0.172	Forest Lakes Metropolitan District
H	Drainage, Utilities	0.081	Forest Lakes Metropolitan District
I	Trail, Landscaping, Utilities	0.253	Forest Lakes Metropolitan District

FOREST LAKES
PHASE 2

DATE: 12.20.17
PROJECT MGR: A. Barlow
PREPARED BY: R. Sawyer

OVERALL

2
OF 14

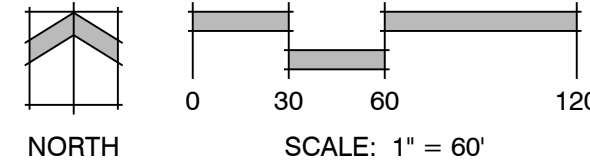


P:\Classic2\Forest Lakes\Residential\Phase 2\Drawings\Planning\Develop\PL-MES-CP.dwg [Sheet 3] 12/20/2017 10:30:37 AM rnsawyer

See ECM Section 2.5.2.C.4 regarding Mid-block Ramp requirements on Local Roadways.

Legend:

- Property Line
- Informal Crusher Fines Trail
- Landscape Boulders



FOREST LAKES
PHASE 2

DATE: 12.20.17
PROJECT MGR: A. Barlow
PREPARED BY: R. Sawyer

DATE: BY: DESCRIPTION:

PRELIMINARY
SITE PLAN

3
3 OF 15

Land Planning
Landscape
Architecture
Urban Design

NES

N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

© 2012. All Rights Reserved.

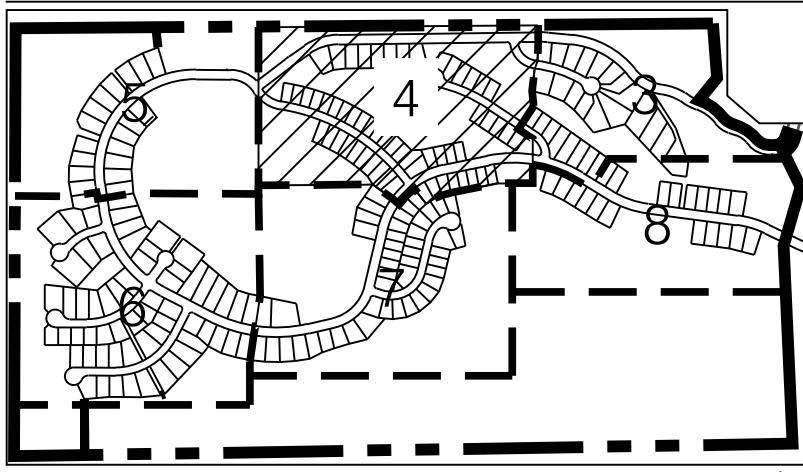
Note:

Existing vegetation to be cleared in accordance with
Firewise Guidelines.

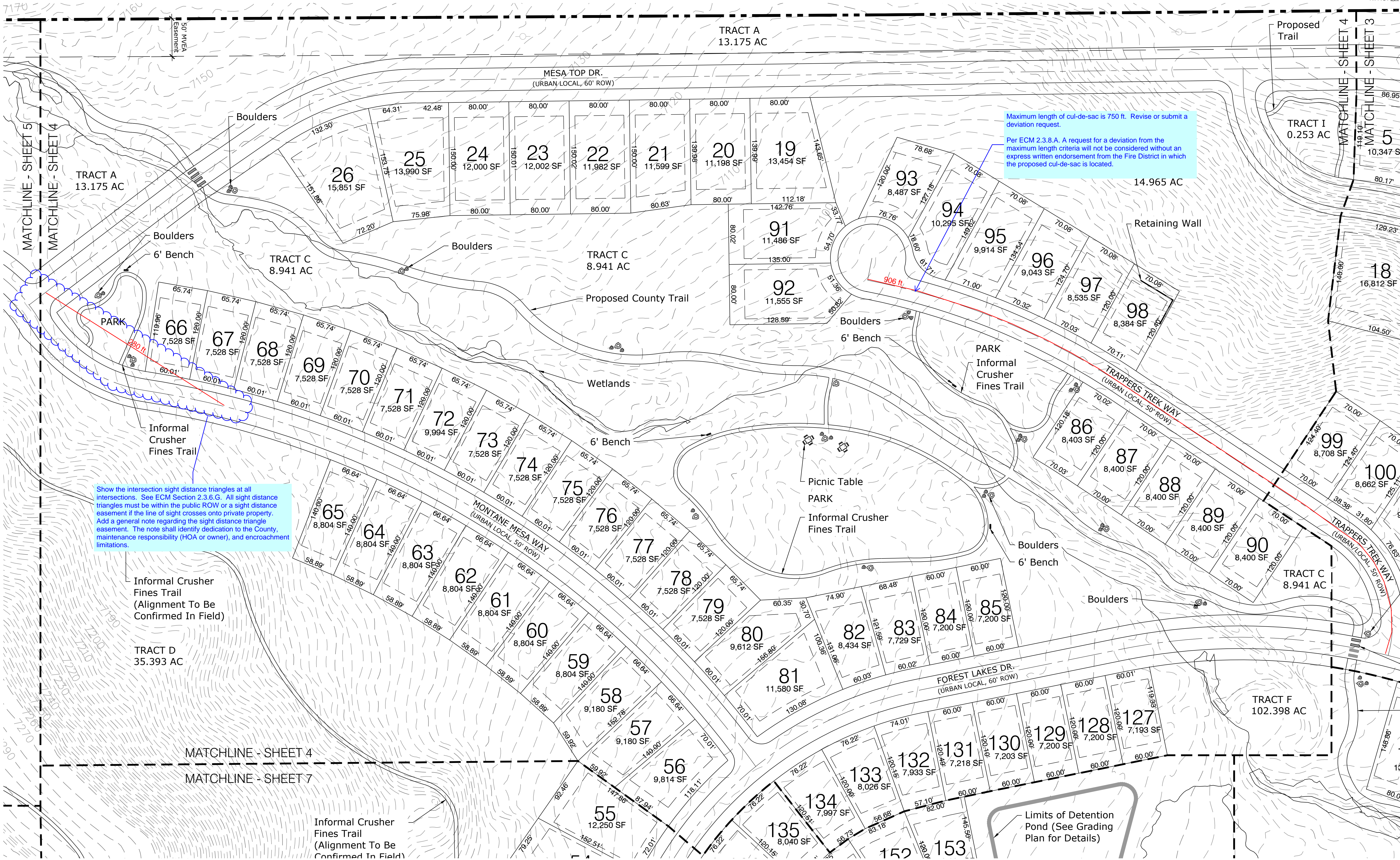
Legend:

- Property Line
- Informal Crusher Fines Trail
- Bench
- Landscape Boulders
- Picnic Table

KEY MAP



N.T.S.



Land Planning
Landscape
Architecture
Urban Design



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903
Tel. 719.471.0073
Fax 719.471.0267
www.nescolorado.com
© 2012. All Rights Reserved.

FOREST LAKES
PHASE 2

DATE: 12.20.17
PROJECT MGR: A. Barlow
PREPARED BY: R. Sawyer

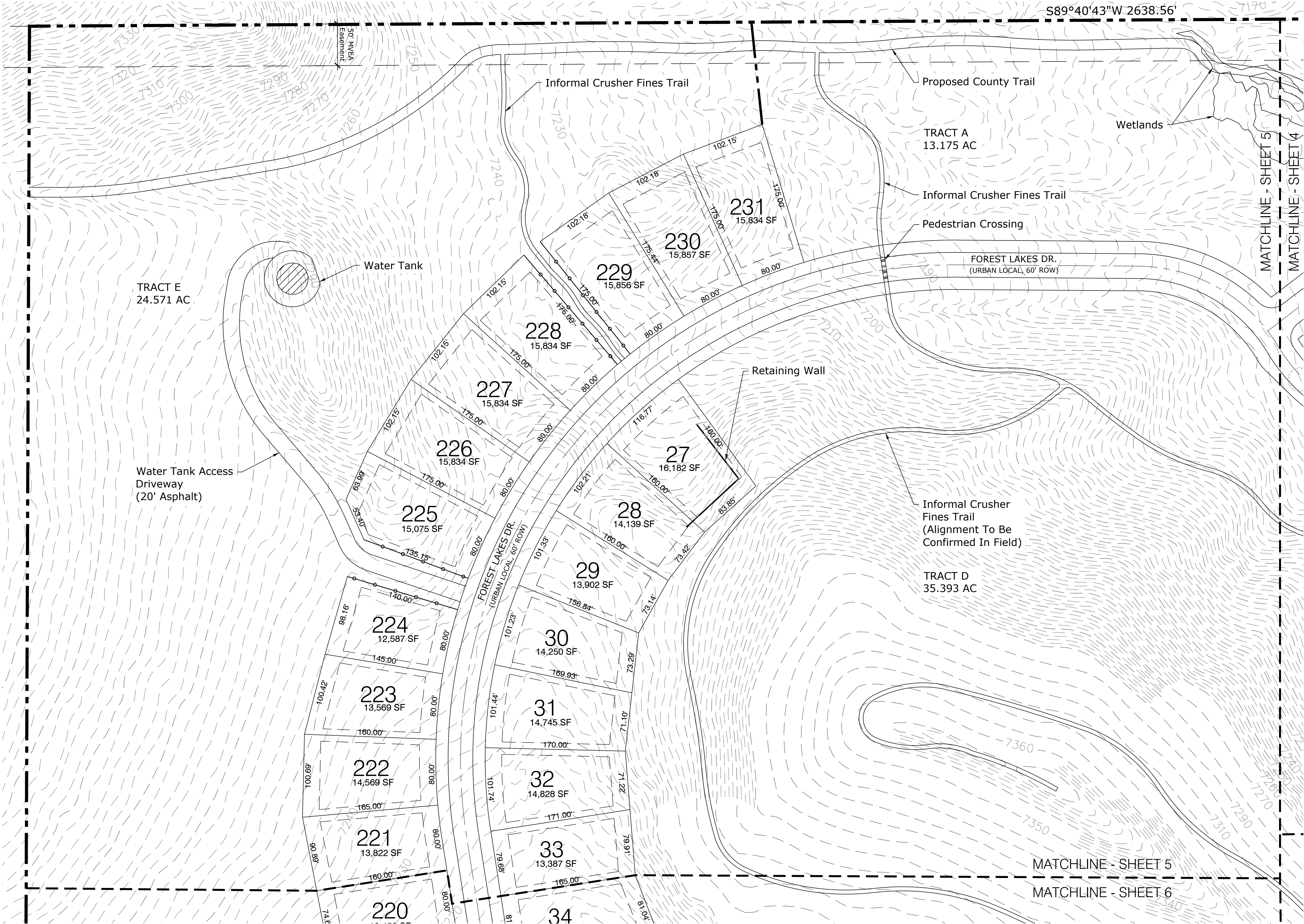
DATE:	BY:	DESCRIPTION:

PRELIMINARY
SITE PLAN

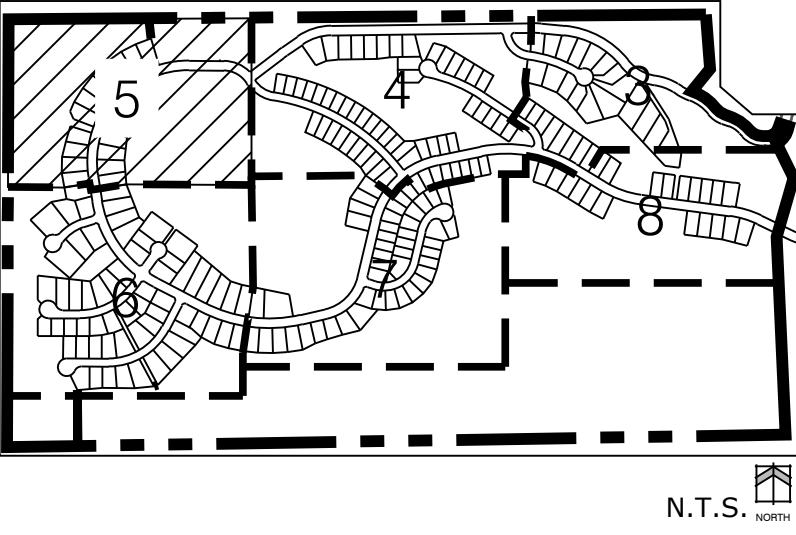
4
4 OF 15

P:\Class2\Forest Lakes\Residential\Phase 2\Drawings\Planning\Develop\PL-MES-DR.dwg [Sheet 4] 12/20/2017 9:30:57 AM Sawyer

P:\Classic2\Forest Lakes\Residential\Phase 2\Drawings\Planning\Develop\PL-NES-DP.dwg [Sheet 5] 12/20/2017 9:33:55 AM rswayer



KEY MAP



Legend:

- Property Line
- ~ Informal Crusher Fines Trail
- o-o- 3 Rail Fence

Land Planning
Landscape
Architecture
Urban Design

NES

N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

© 2012. All Rights Reserved.

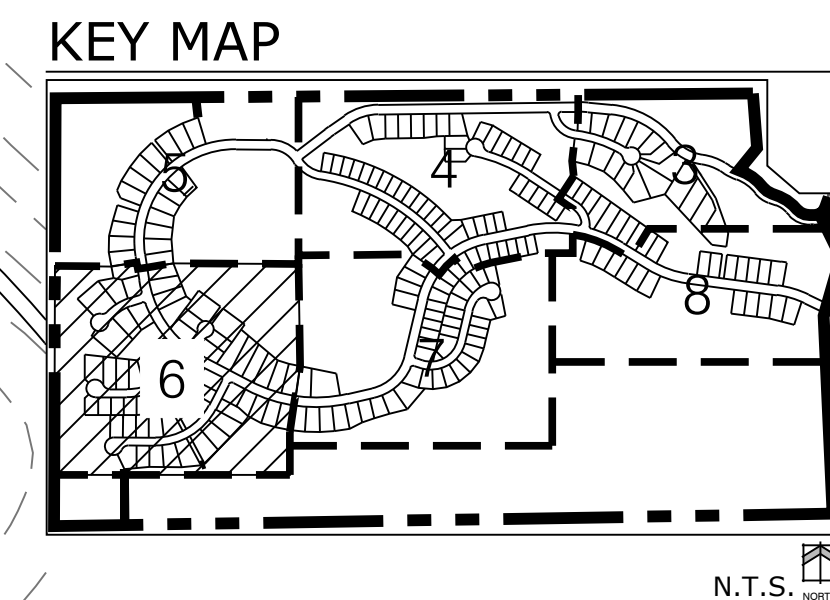
FOREST LAKES
PHASE 2

PROJECT INFO
DATE: 12.20.17
PROJECT MGR: A. Barlow
PREPARED BY: R. Sawyer

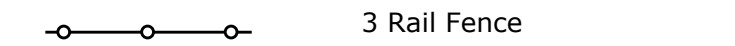
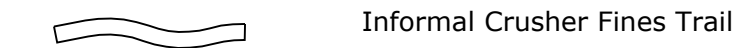
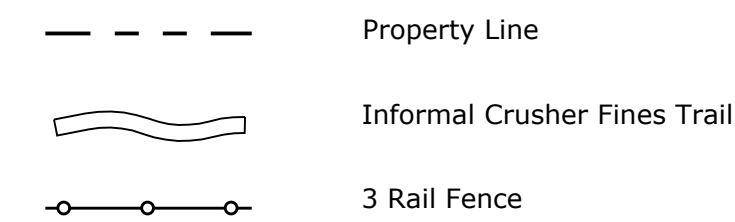
DATE:	BY:	DESCRIPTION:

PRELIMINARY
SITE PLAN

5
5 OF 15



Legend:



MATCHLINE - SHEET 5

MATCHLINE - SHEET 6

Informal Crusher
Fines Trail
(Alignment To Be
Confirmed In Field)

TRACT E
24.571 AC
(SEE SHEET 2
TRACT E DETAIL)

TRACT D
35.393 AC

FOREST LAKES
PHASE 2

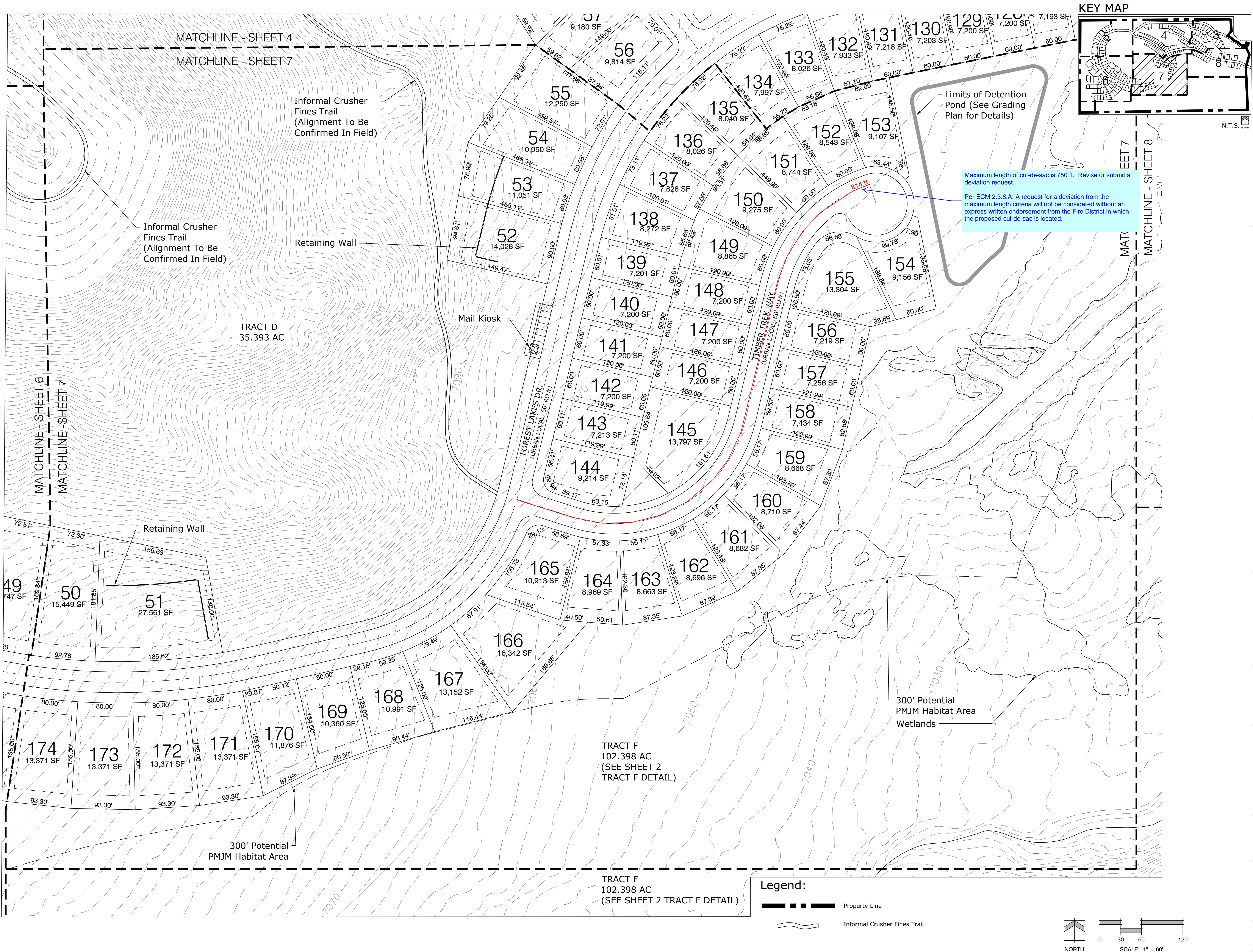
PROJECT INFO	DATE:	12.20.17
	PROJECT MGR:	A. Barlow
	PREPARED BY:	R. Sawyer

DATE:	BY:	DESCRIPTION:
-------	-----	--------------

PRELIMINARY SITE PLAN

6
6 OF 1

P:\Classic2\Forest Lakes\Residential\Phase 2\Drawings\Planning\Develop\PL-NES-DP.dwg [Sheet 7] 12/20/2017 9:42:16 AM r Sawyer



Land Planning
Landscape Architecture
Urban Design

NES

N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

© 2012. All Rights Reserved.

FOREST LAKES
PHASE 2

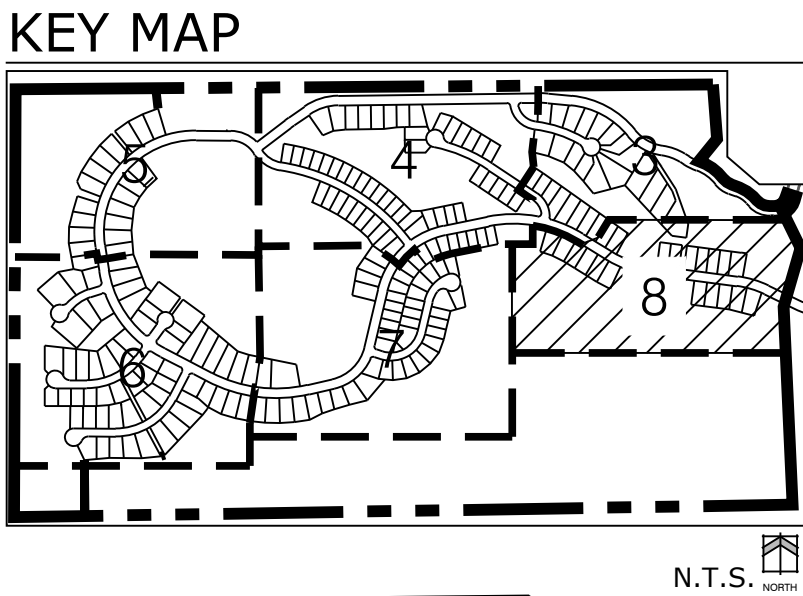
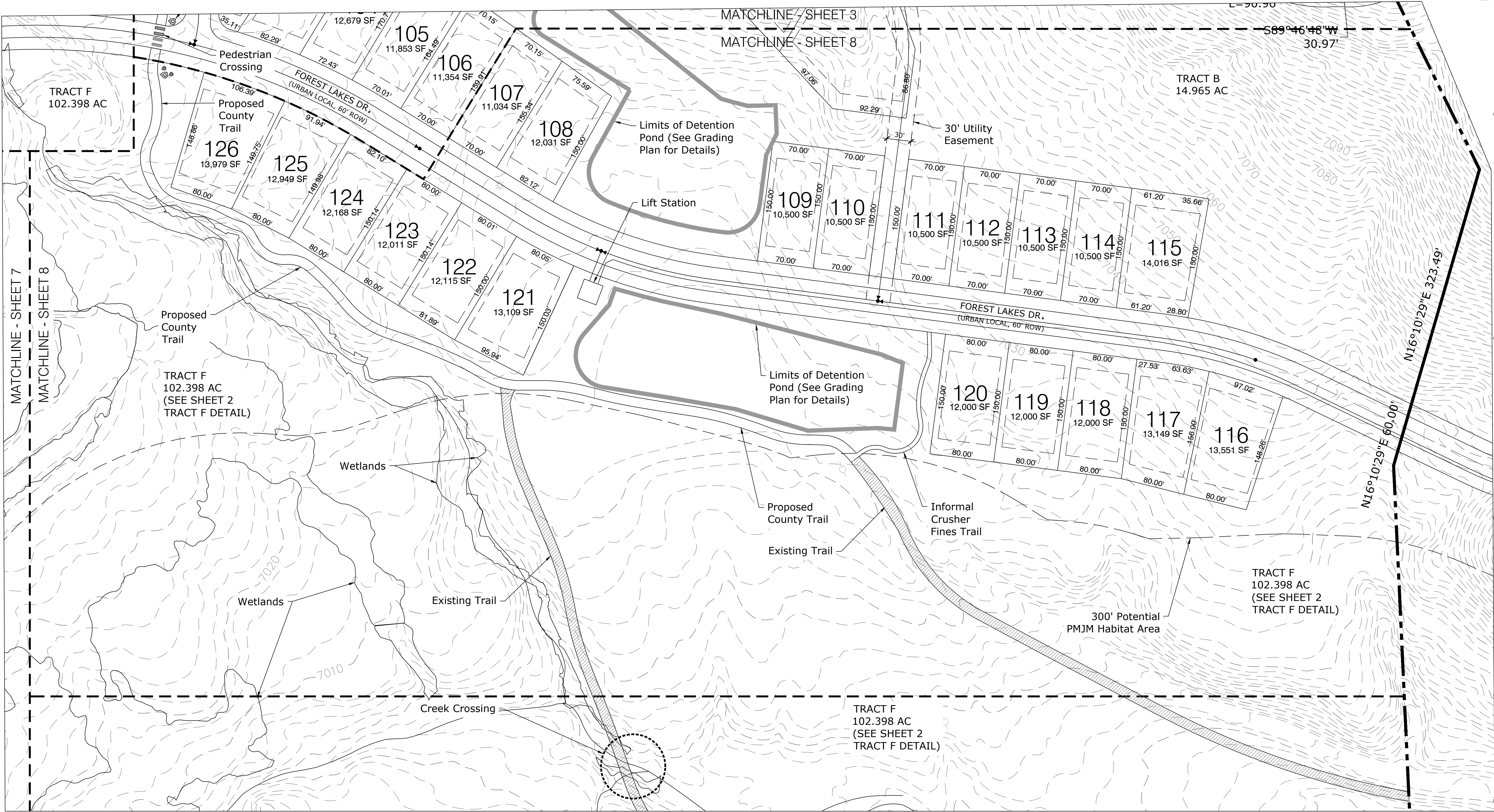
DATE: 12.20.17
PROJECT MGR: A. Barlow
PREPARED BY: R. Sawyer

DATE: BY: DESCRIPTION:

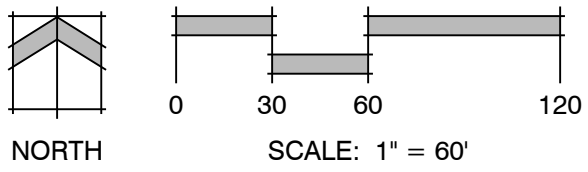
PRELIMINARY
SITE PLAN

7
7 OF 15

P:\Classic2\Forest Lakes\Residential\Phase 2\Drawings\Planning\Develop\PL-NES-DP.dwg (Sheet 8) 12/20/2017 9:43:19 AM Sawyer



- Legend:**
- Property Line
 - Informal Crusher Fines Trail
 - Existing Trail
 - Creek Crossing



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903
Tel. 719.471.0073
Fax 719.471.0267
www.nescolorado.com
© 2012. All Rights Reserved.

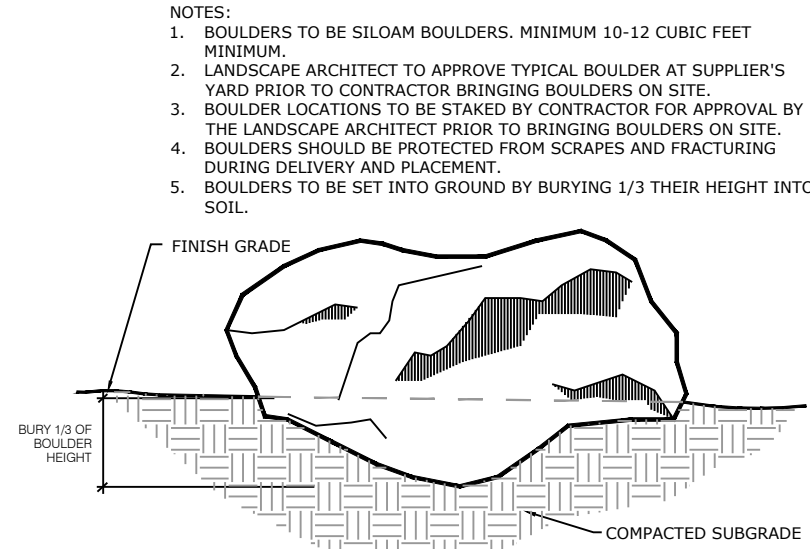
**FOREST LAKES
PHASE 2**

DATE: 12.20.17
PROJECT MGR: A. Barlow
PREPARED BY: R. Sawyer

DATE:	BY:	DESCRIPTION:

**PRELIMINARY
SITE PLAN**

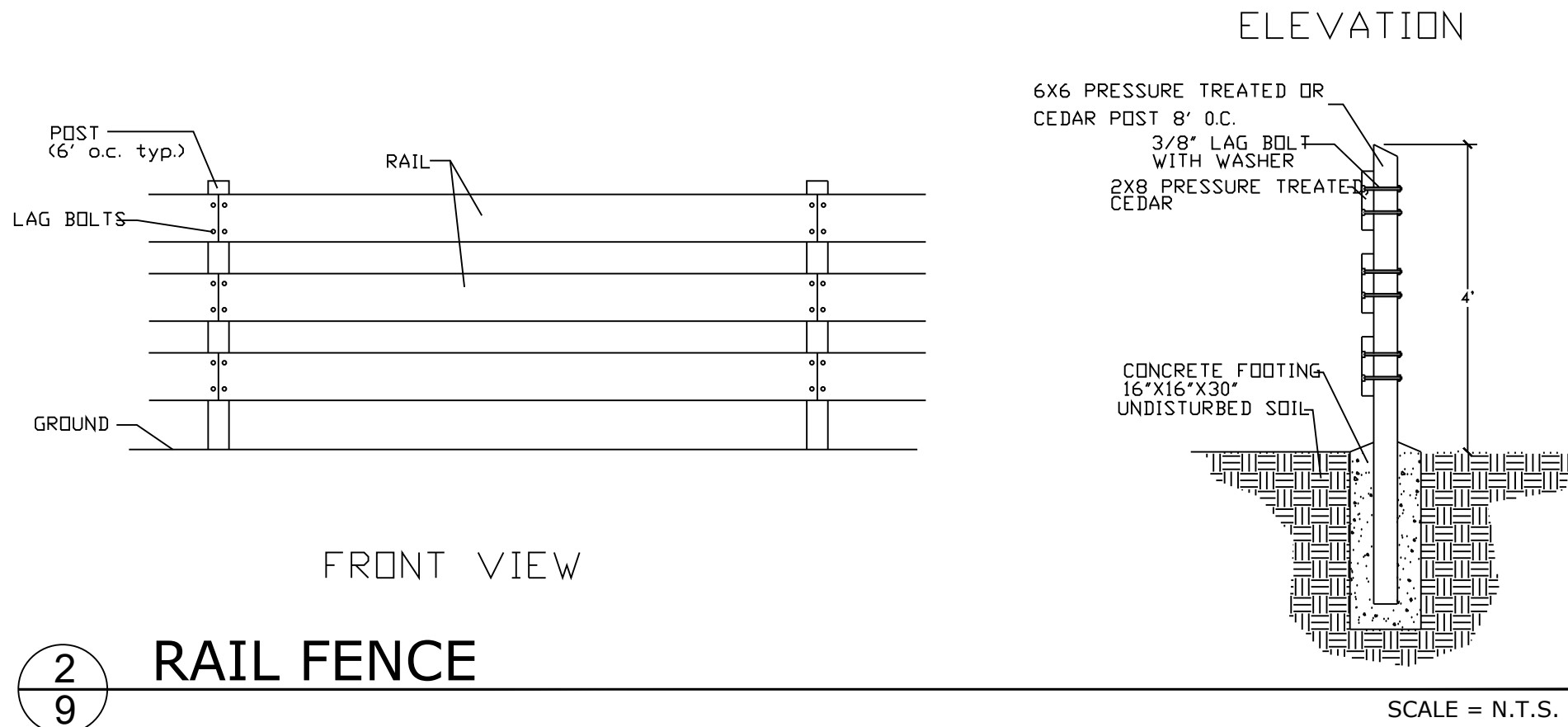
8
8 OF 15



1
9

BOULDER

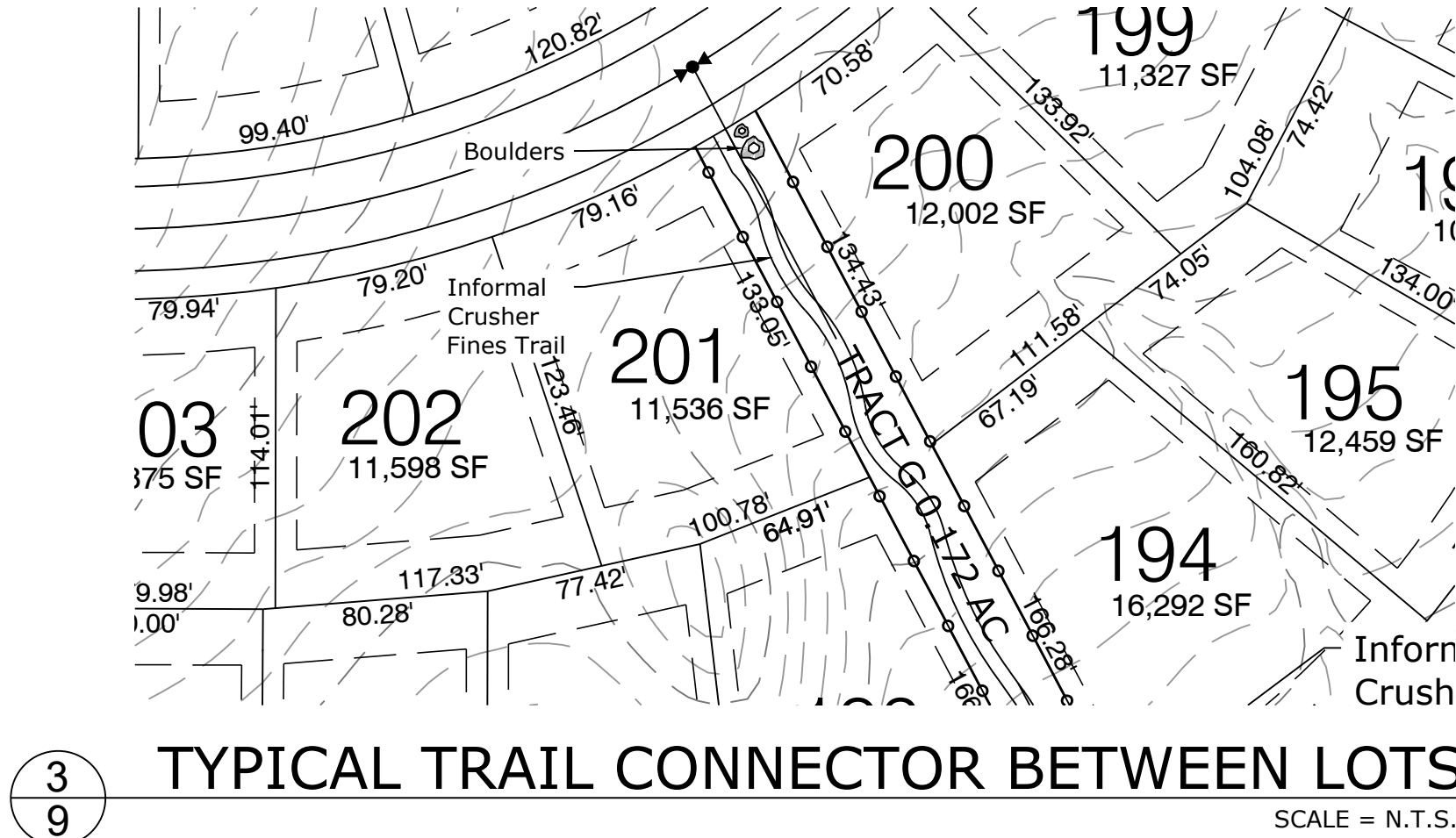
SCALE = N.T.S.



2
9

RAIL FENCE

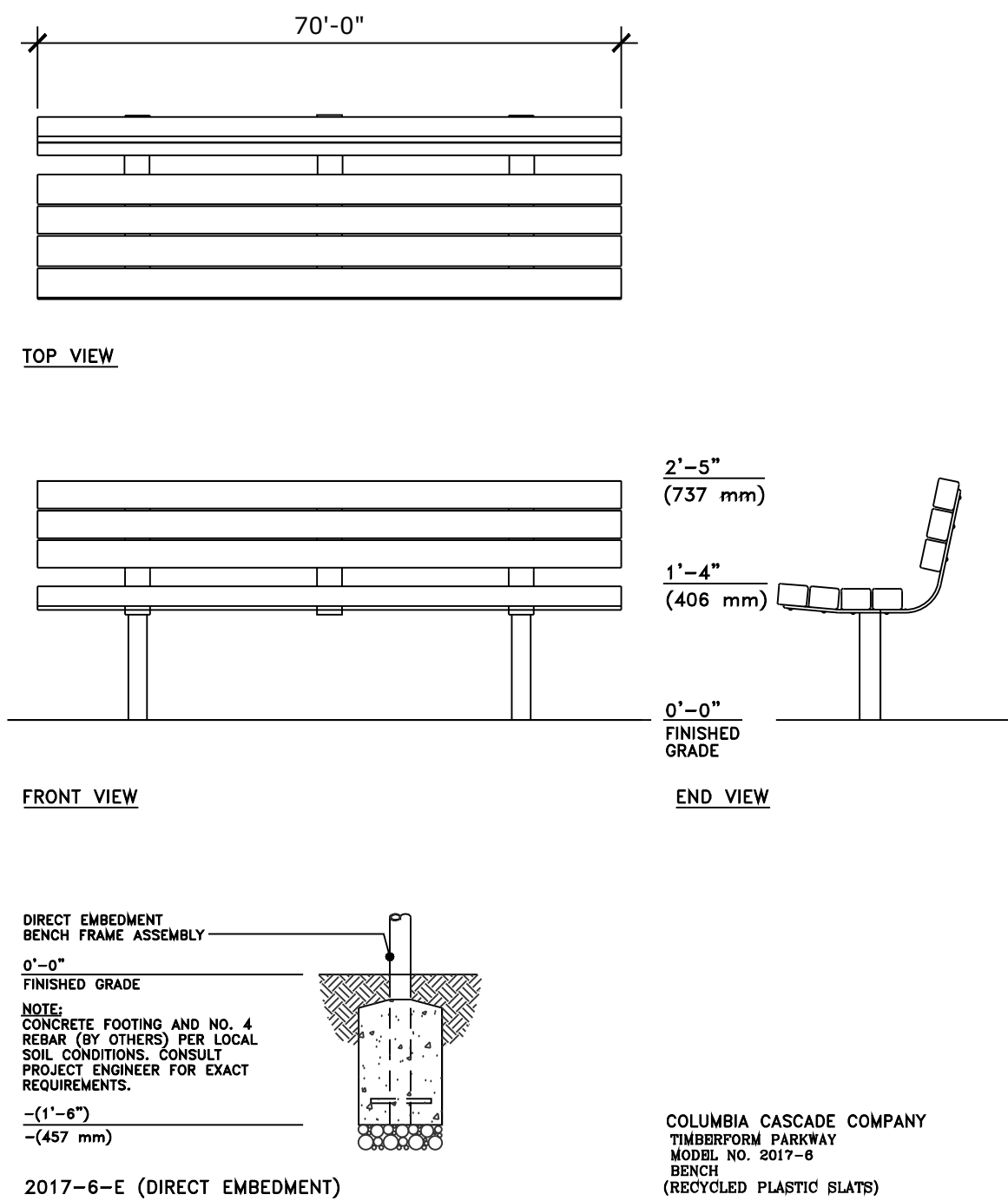
SCALE = N.T.S.



3
9

TYPICAL TRAIL CONNECTOR BETWEEN LOTS

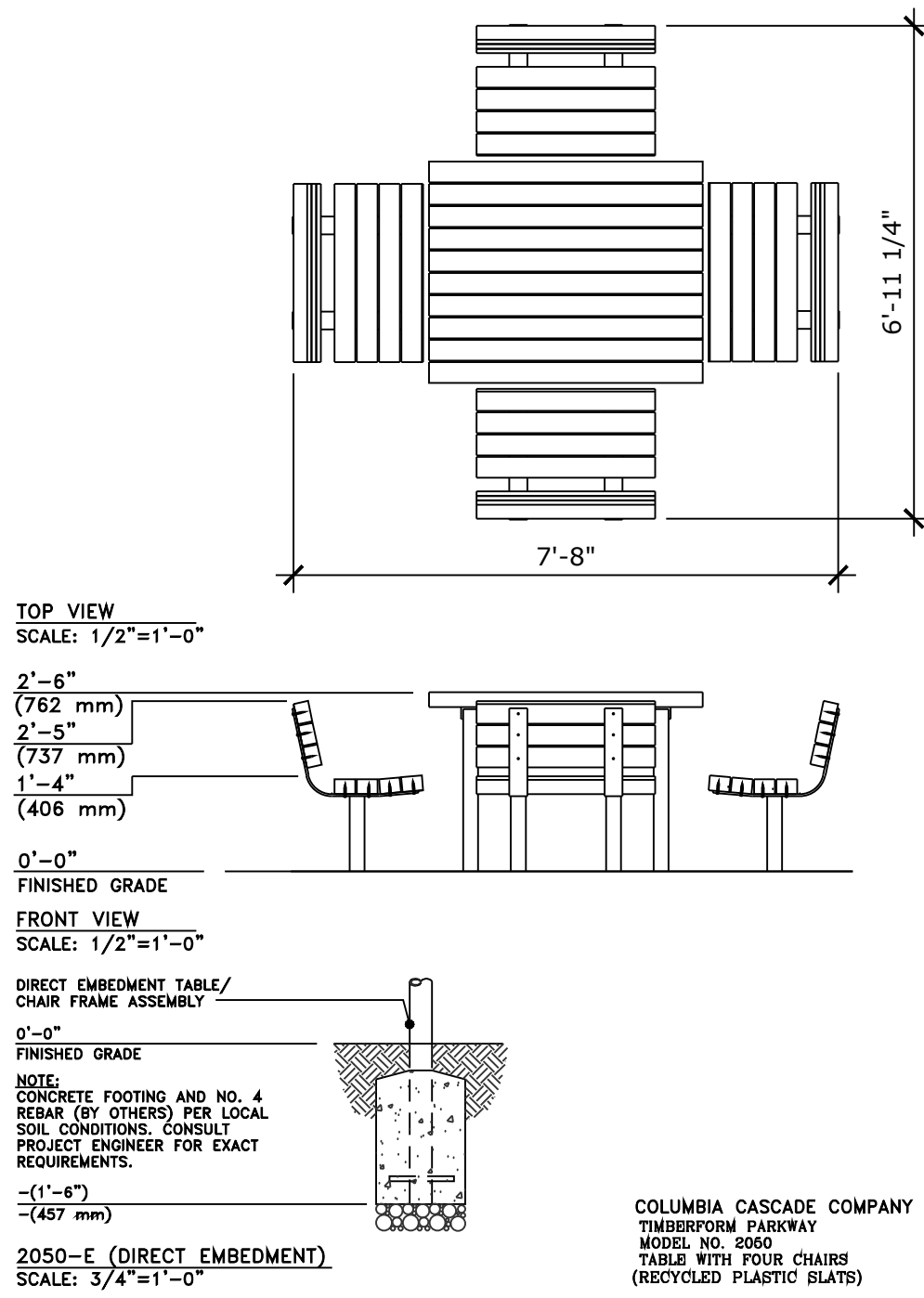
SCALE = N.T.S.



4
9

BENCH

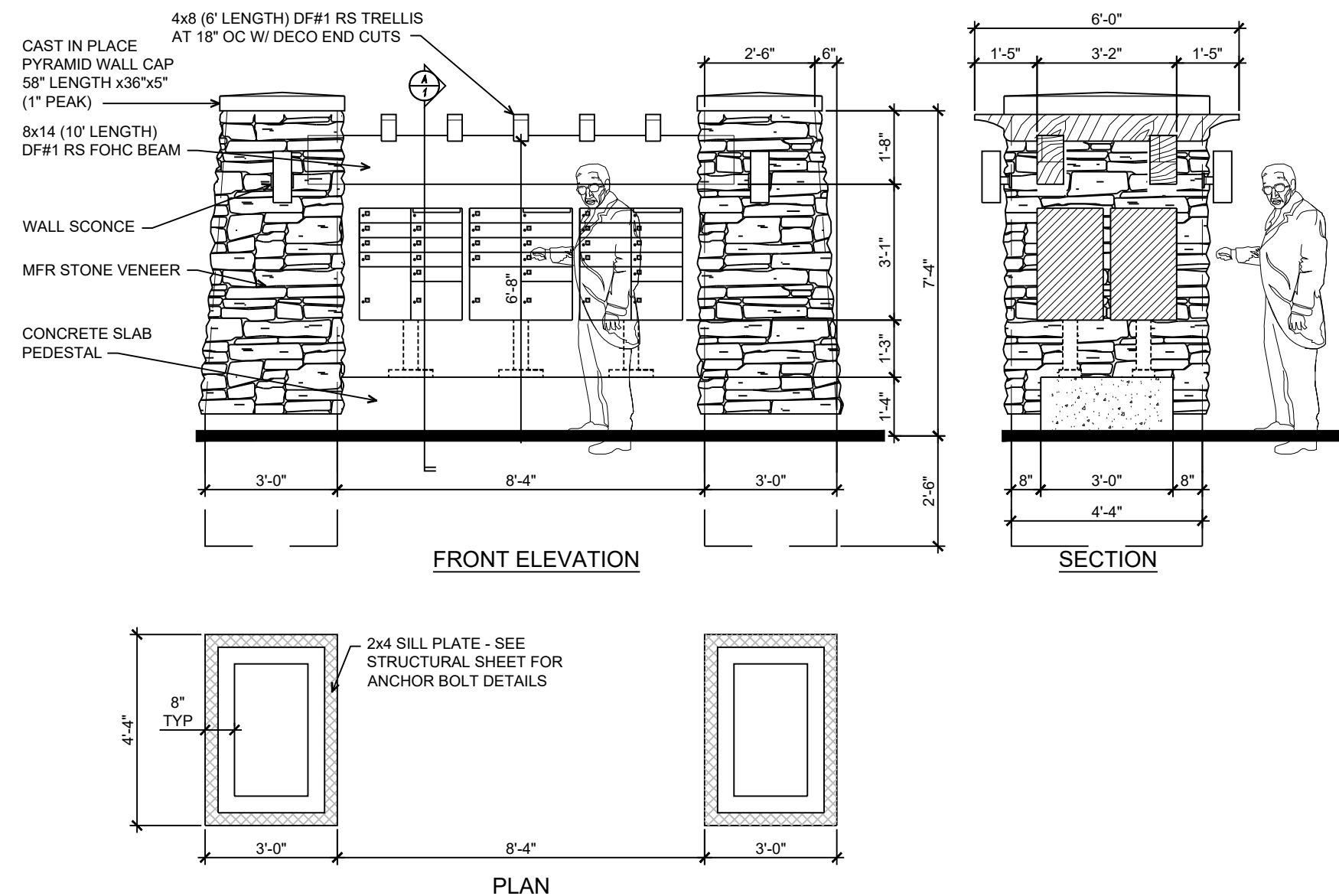
SCALE = N.T.S.



5
9

PICNIC TABLE

SCALE = N.T.S.



6
9

MAIL KIOSK

SCALE = N.T.S.

FOREST LAKES
PHASE 2

PROJECT INFO
DATE: 12.20.17
PROJECT MGR: A. Barlow
PREPARED BY: R. Sawyer

SEAL

ISSUE INFO

DATE:	BY:	DESCRIPTION:

ISSUE / REVISION

SHEET TITLE

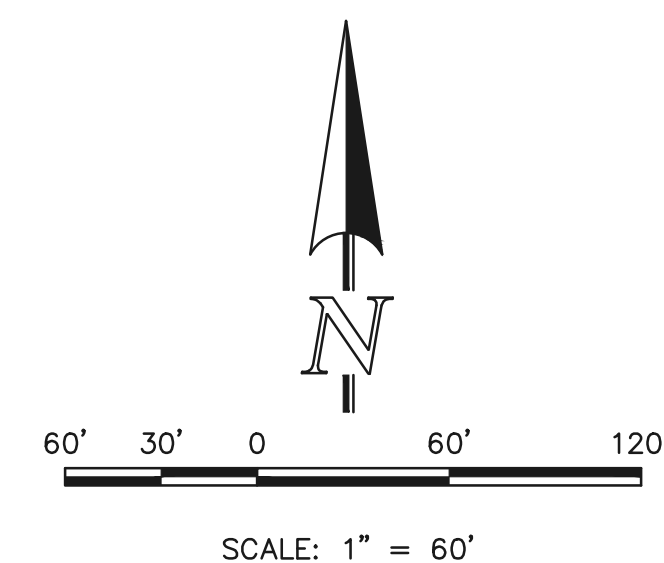
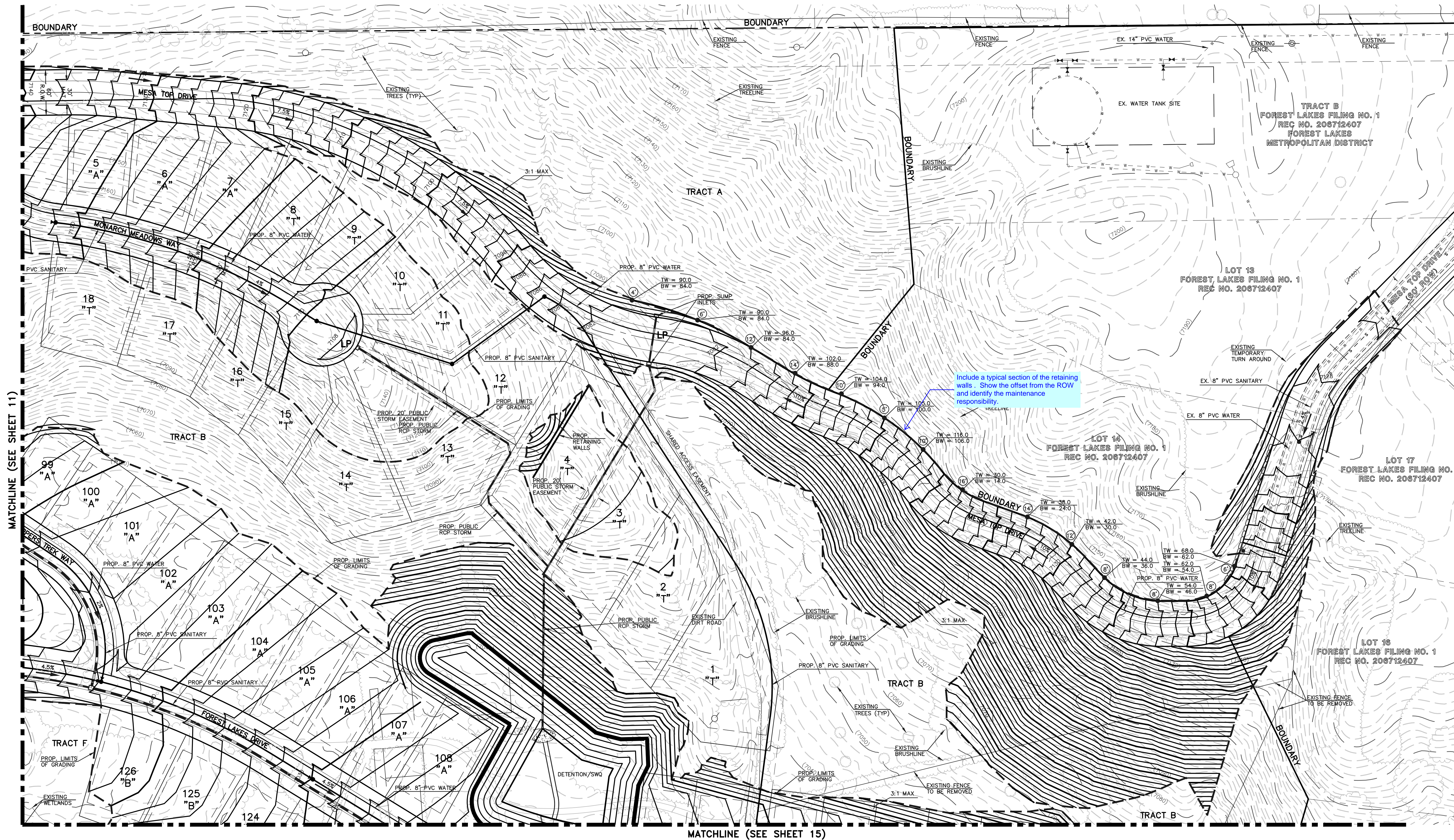
DETAILS

9

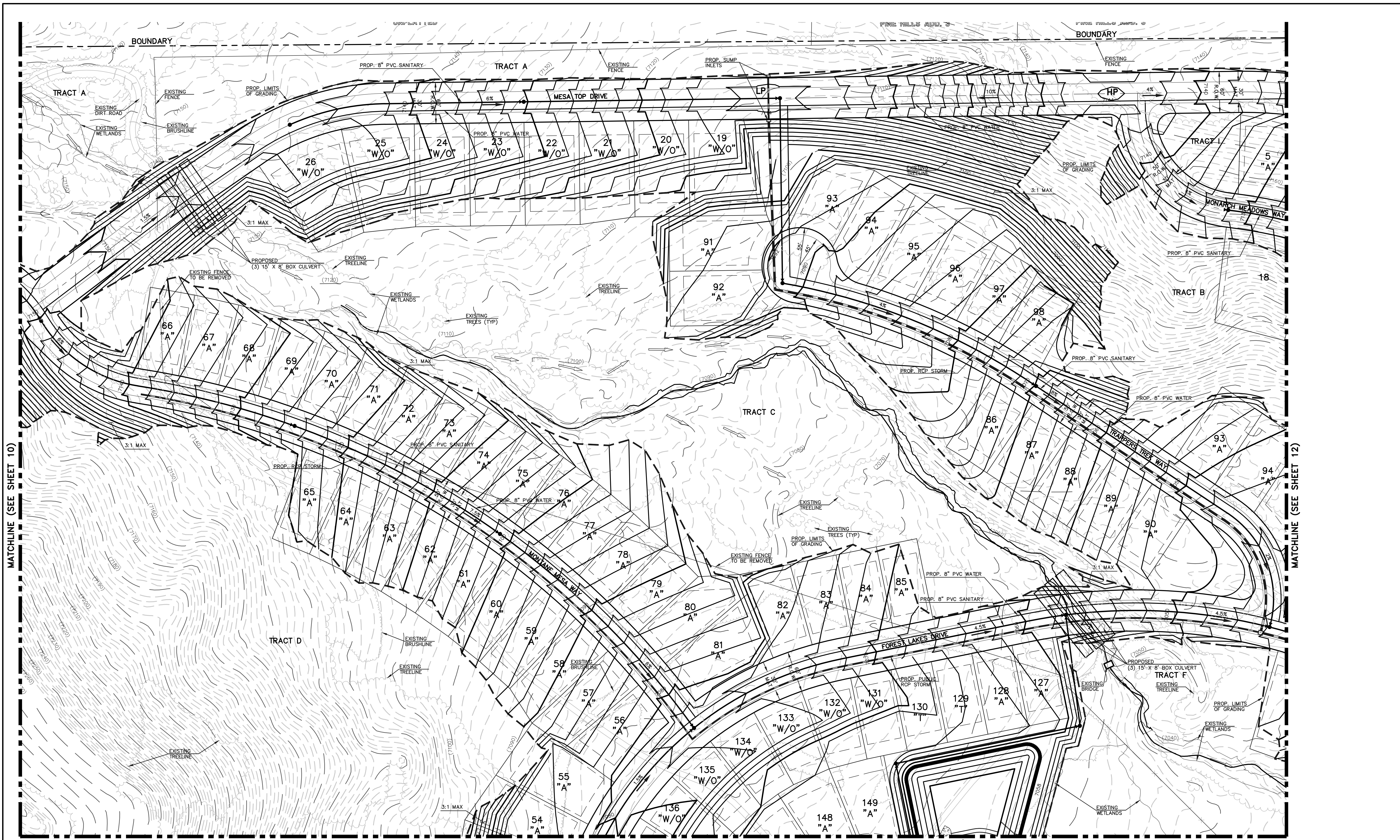
9 OF 15

SHEET NUMBER

PLANTING



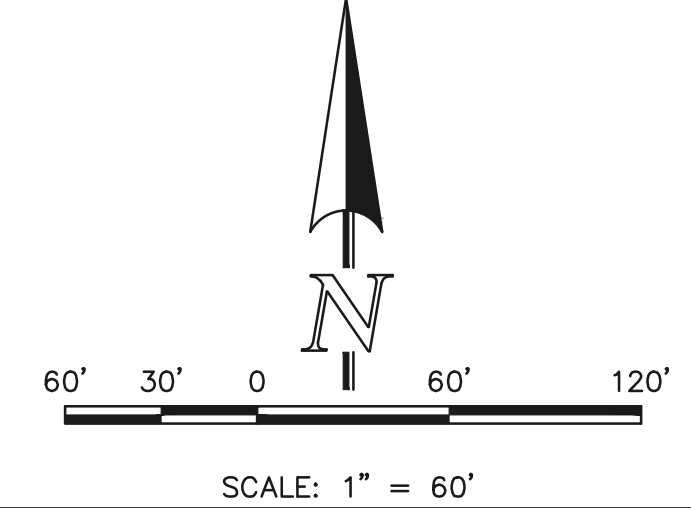
CLASSIC CONSULTING ENGINEERS & SURVEYORS <small>619 N. Cascade Avenue, Suite 200 Colorado Springs, Colorado 80903 (719) 785-0790 (719) 785-0799 (Fax)</small>		FOREST LAKES PHASE 2 PRELIMINARY GRADING & UTILITIES PLAN		CLASSIC ENGINEERS & SURVEYORS
		DESIGNED BY DRAWN BY CHECKED BY	KRC JRH (V)	




MATCHLINE (SEE SHEET 10)

MATCHLINE (SEE SHEET 12)

MATCHLINE (SEE SHEET 14)





CLASSIC
CONSULTING
ENGINEERS & SURVEYORS

FOREST LAKES
PHASE 2
PRELIMINARY GRADING & UTILITIES PLAN

DESIGNED BY	KRC	SCALE	DATE
DRAWN BY	JRH	(H) 1" = 60'	09/14/17
CHECKED BY		(V) 1" =	SHEET 11 OF 15
			JOB NO. 1175.20

619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903

(719) 785-0790
(719) 785-0799 (Fax)

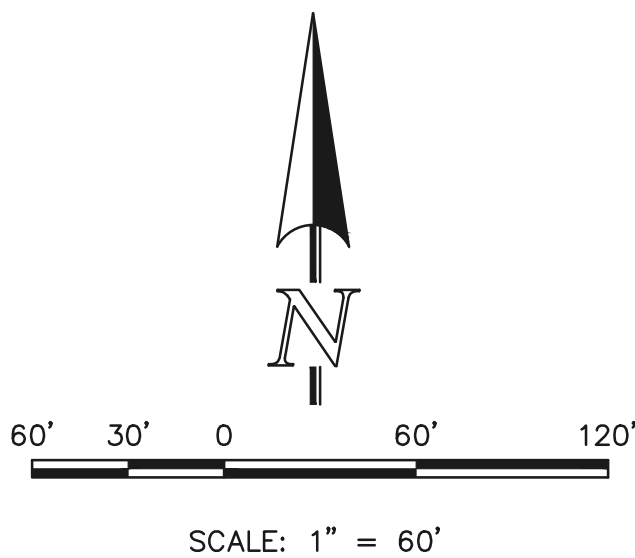
CLASSIC
ENGINEERS & SURVEYORS

LEGEND

- (6770) EXISTING CONTOUR
- 6770 PROPOSED CONTOUR
- BOUNDARY/FILING LINE
- EXISTING FLOW DIRECTION
- PROPOSED FLOW
- ⊙ EXISTING VEGETATION
- PROPOSED INLET
- ▬ PROPOSED STORM SEWER PIPE
- HP PROPOSED HIGH POINT
- LP PROPOSED LOW POINT
- "A" A LOT
- "B" B LOT
- "W/O" WALKOUT LOT
- "T" TRANSITION LOT
- "G" GARDEN LOT

LEGEND:

DESCRIPTION	SYMBOL
PROPOSED STORM SEWER	▬
PROPOSED STORM INLET	□
EXISTING STORM SEWER	▬
EXISTING STORM INLET	□
EXISTING FIRE HYDRANT	⊙
EXISTING WATER MAIN	▬
EXISTING SANITARY SEWER MAIN W/ MANHOLE	▬
PROPOSED SANITARY	▬
PROPOSED WATER	▬
BOUNDARY LINE	---

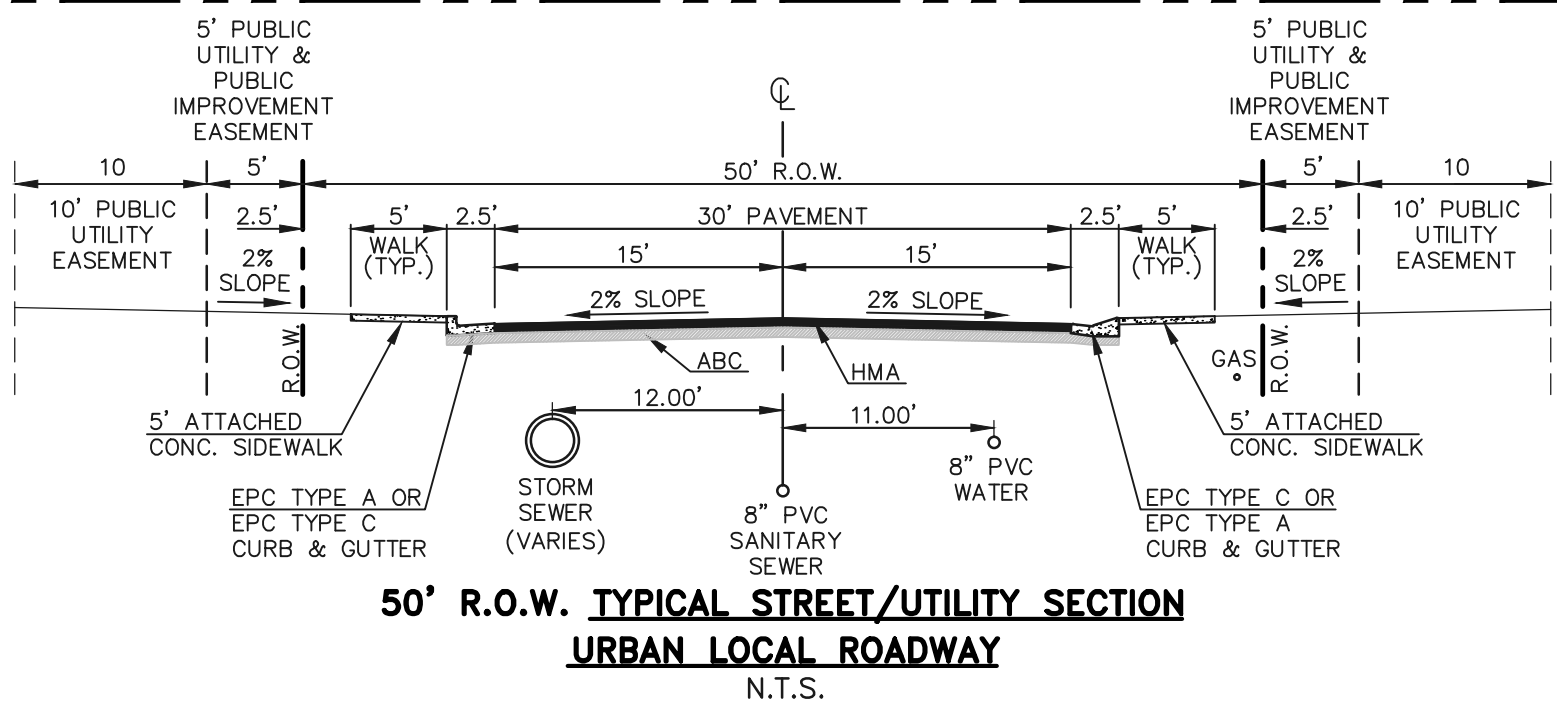
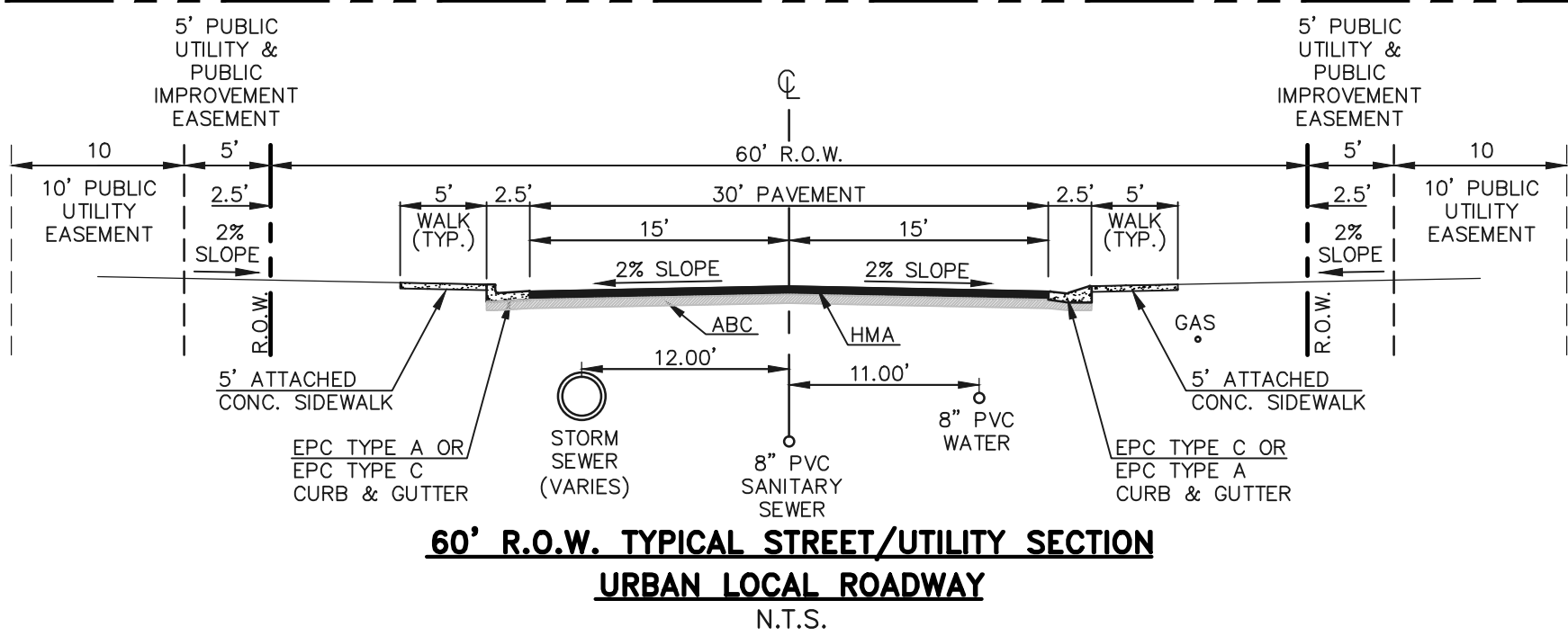


MATCHLINE (SEE SHEET 11)

Per the ECM 10% grade permitted at the discretion of the ECM Administrator.

Provide justification for the 10% grade to include the plans to mitigate for any effects due to the steeper grade especially since this steeper section is approaching or is at a bend on the road.

Provide such analysis at all sections exceeding the design standards.

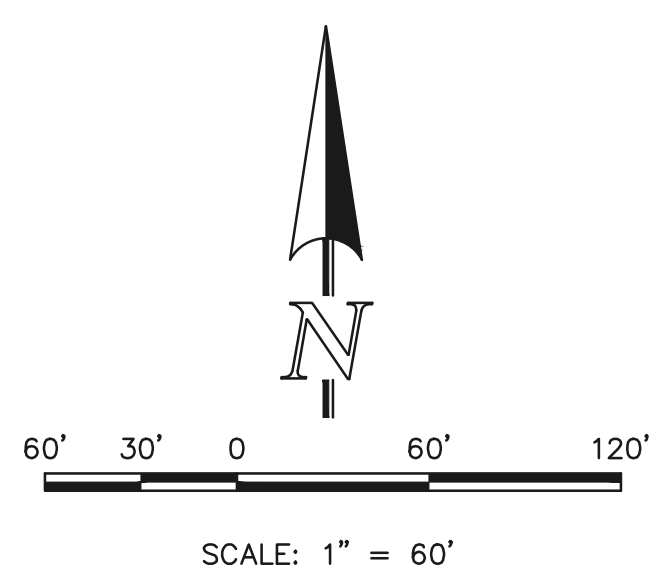


CLASSIC
CONSULTING
ENGINEERS & SURVEYORS

619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903

(719) 785-0790
(719) 785-0799 (Fax)

FOREST LAKES			
PHASE 2			
PRELIMINARY GRADING & UTILITIES PLAN			
DESIGNED BY	KRC	SCALE	DATE 09/14/17
DRAWN BY	JRH	(H) 1"= 60'	SHEET 12 OF 15
CHECKED BY		(V) 1"=	JOB NO. 1175.20



UNPLATTED
FOREST SERVICE
DEPT. OF AGRICULTURE
UNITED STATES OF AMERICA

MATCHLINE (SEE SHEET 14)



CLASSIC
CONSULTING
ENGINEERS & SURVEYORS

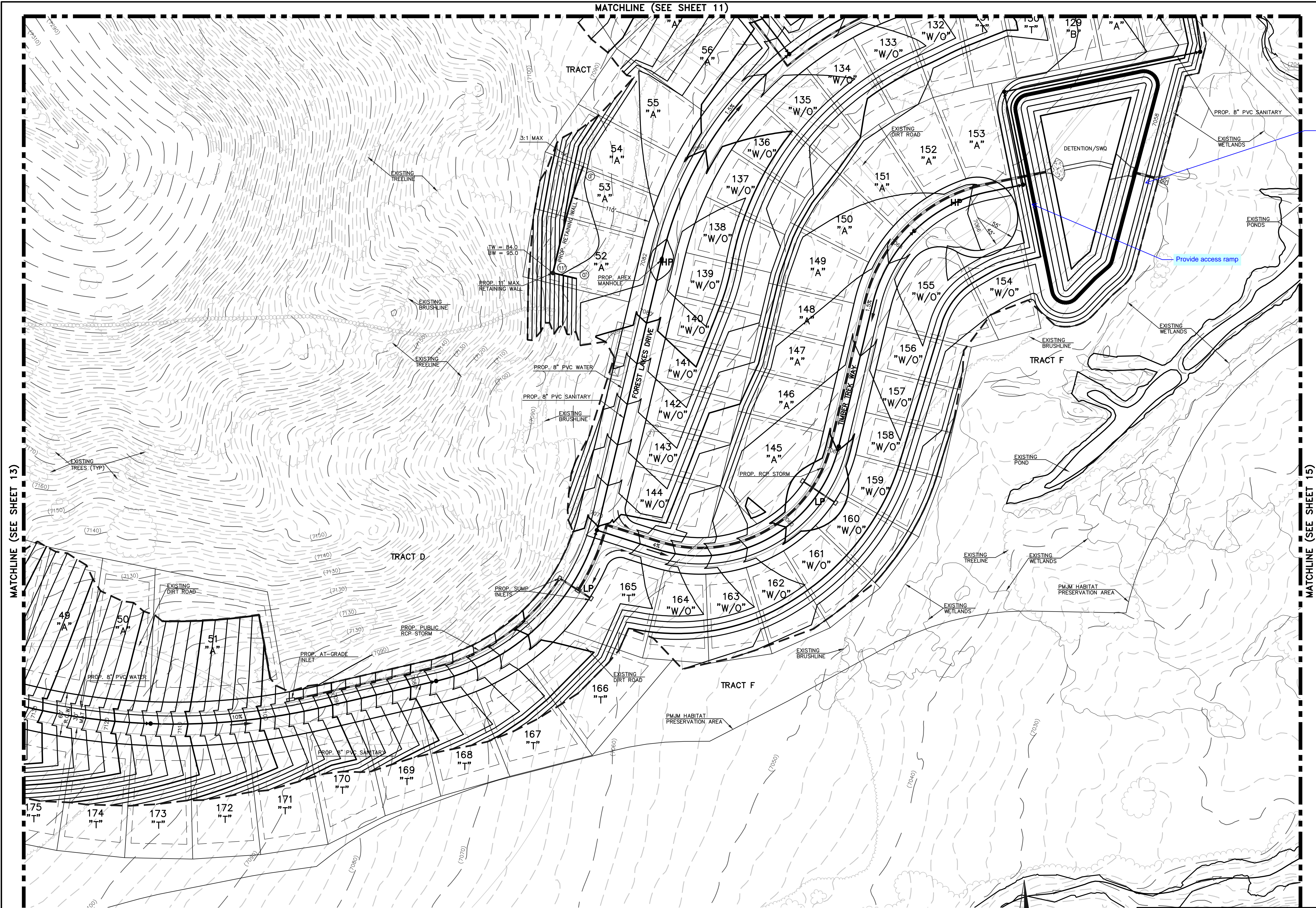
619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903

(719) 785-0790
(719) 785-0799 (Fax)

FOREST LAKES PHASE 2 PRELIMINARY GRADING & UTILITIES PLAN			
DESIGNED BY	KRC	SCALE	DATE 09/14/17
DRAWN BY	JRH	(H) 1"= 60'	SHEET 13 OF 15
CHECKED BY		(V) 1"=	JOB NO. 1175.20

CLASSIC
ENGINEERS & SURVEYORS

MATCHLINE (SEE SHEET 11)

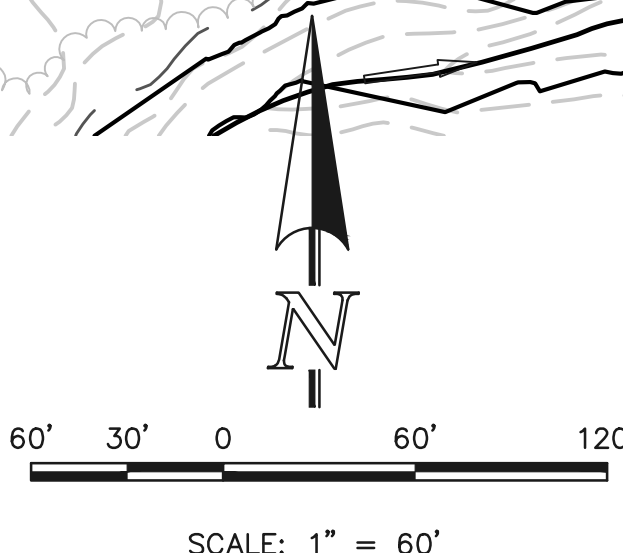


Be advised that the following requirement will be required with the final plat application:
A geotechnical analysis and report prepared by a P.E. with recommendations for the foundation preparation and embankment construction shall be submitted for all permanent detention facilities. (DCM Chapter 11 Section 11.3.3)

Provide access ramp

MATCHLINE (SEE SHEET 13)

MATCHLINE (SEE SHEET 15)



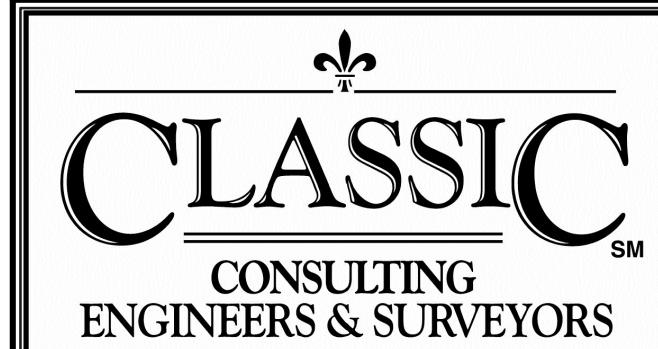
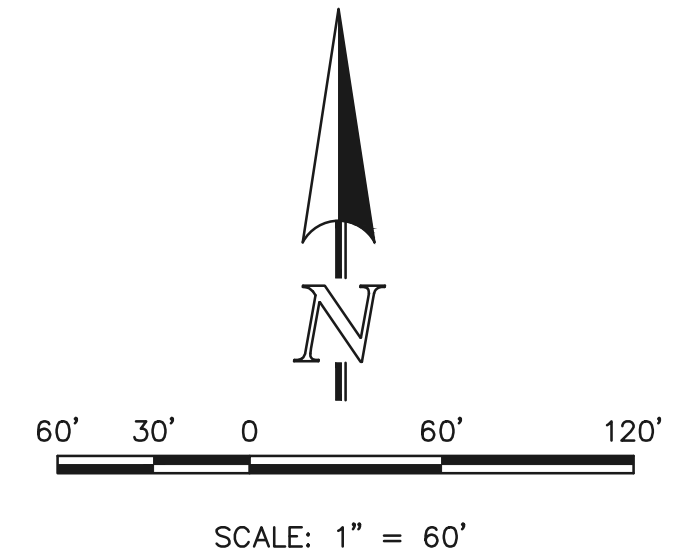
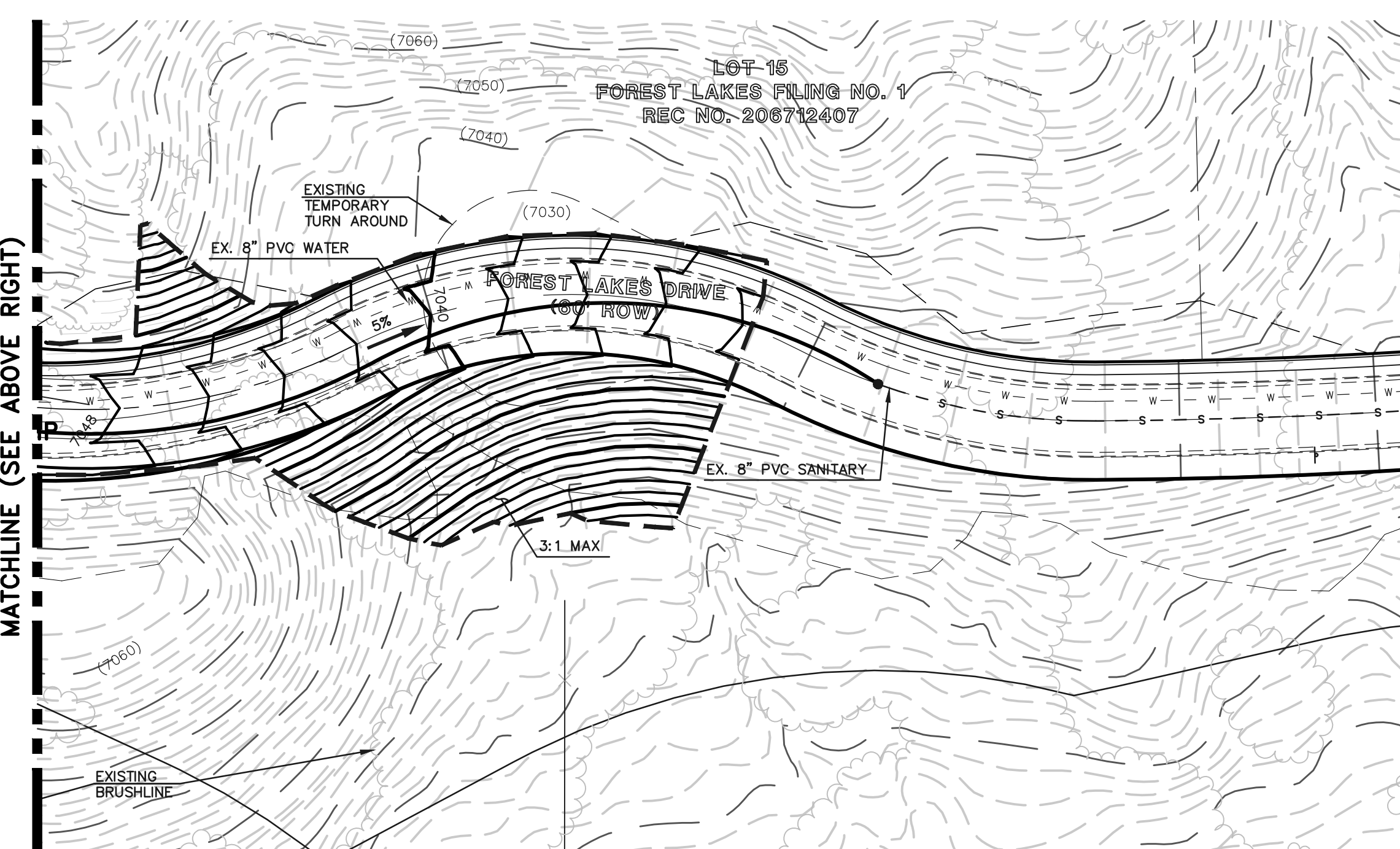
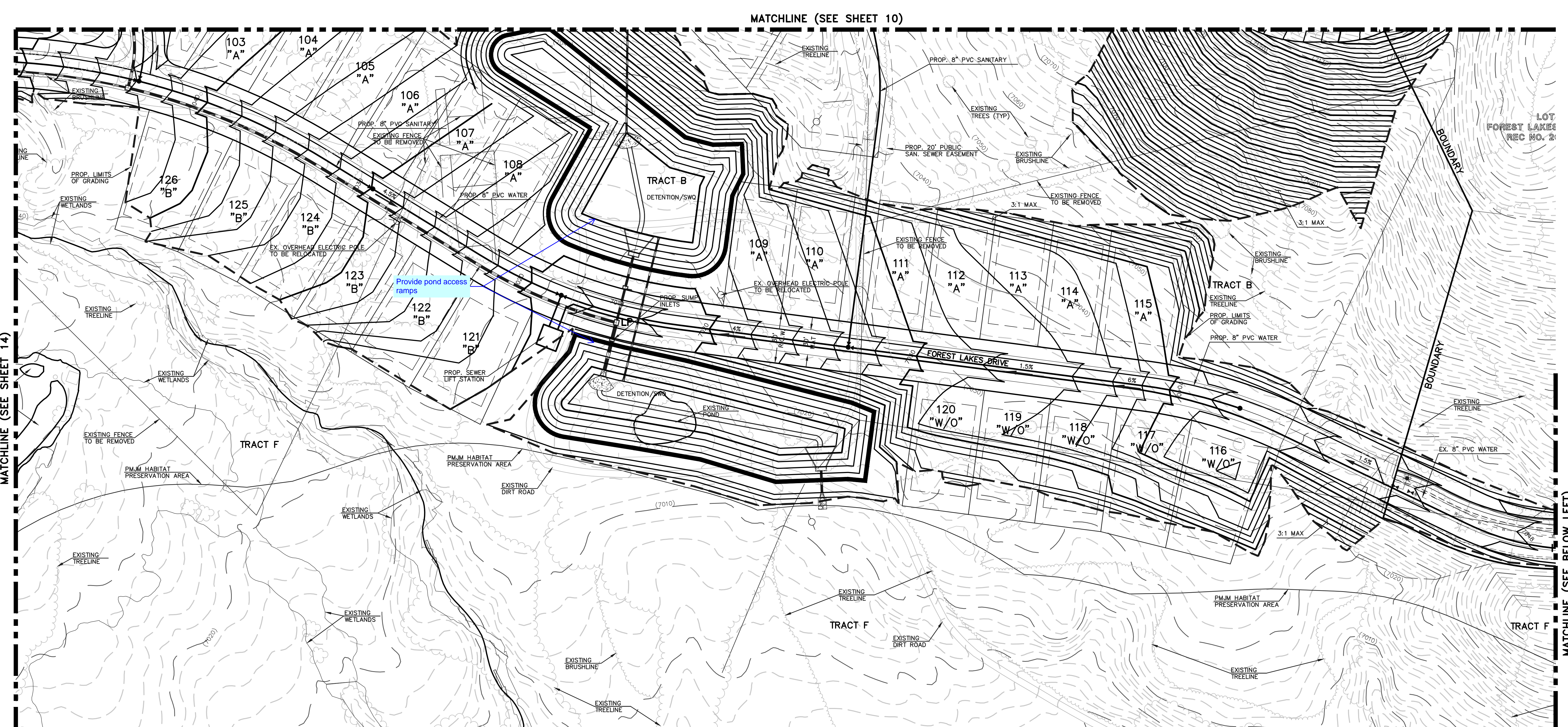


619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903

(719) 785-0790
(719) 785-0799 (Fax)

FOREST LAKES PHASE 2 PRELIMINARY GRADING & UTILITIES PLAN			
DESIGNED BY	KRC	SCALE	DATE 09/14/17
DRAWN BY	JRH	(H) 1"= 60'	SHEET 14 OF 15
CHECKED BY		(V) 1"=	JOB NO. 1175.20

CLASSIC
CONSULTING
ENGINEERS & SURVEYORS



FOREST LAKES PHASE 2 PRELIMINARY GRADING & UTILITIES PLAN			
DESIGNED BY	KRC	SCALE	DATE 09/14/17
DRAWN BY	JRH	(H) 1"= 60'	SHEET 15 OF 15
CHECKED BY		(V) 1"=	JOB NO. 1175.20

619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903
(719) 785-0790
(719) 785-0799 (Fax)