

CONSTRUCTION NOTES

- ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
- CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
 - EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
 - CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
 - COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
 - CDOT M & S STANDARDS
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ON-SITE AND OFF-SITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (PCD) - INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
- CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
- ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
- CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
- SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DOT AND MUTCD CRITERIA. [IF APPLICABLE, ADDITIONAL SIGNING AND STRIPING NOTES WILL BE PROVIDED.]
- CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DOT, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
- THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

SIGNING AND STRIPING NOTES

- ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY WILL NOT BE VISIBLE UNDER DAY OR NIGHT CONDITIONS. AT NO TIME WILL IT BE ACCEPTABLE TO PAINT OVER EXISTING PAVEMENT MARKINGS.
- ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT.
- ALL SIGNS SHOWN ON THE SIGNING AND STRIPING PLAN SHALL BE NEW SIGNS. EXISTING SIGNS MAY REMAIN OR BE REUSED IF THEY MEET CURRENT EL PASO COUNTY AND MUTCD STANDARDS.
- STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.
- ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR.
- ALL STREET NAME SIGNS SHALL HAVE "D" SERIES LETTERS, WITH LOCAL ROADWAY SIGNS BEING 4" UPPER-LOWER CASE LETTERING ON 8" BLANK AND NON-LOCAL ROADWAY SIGNS BEING 6" LETTERING, UPPER-LOWER CASE ON 12" BLANK, WITH A WHITE BORDER THAT IS NOT RECESSED. MULTI-LANE ROADWAYS WITH SPEED LIMITS OF 35 MPH OR HIGHER SHALL HAVE 8" UPPER-LOWER CASE LETTERING ON 12" BLANK WITH A WHITE BORDER THAT IS NOT RECESSED. THE WIDTH OF THE NON-RECESSED WHITE BORDERS SHALL MATCH PAGE 255 OF THE 2012 MUTCD "STANDARD HIGHWAY SIGNS". SIGNAL POLE MOUNTED AND OVERHEAD STREET NAME SIGNS SHALL BE PER MUTCD SIZE STANDARDS.
- ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.
- ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75" X 1.75" SQUARE TUBE SIGN POST AND STUB POST BASE. FOR OTHER APPLICATIONS, REFER TO THE CDOT STANDARD S-614-8 REGARDING USE OF THE P2 TUBULAR STEEL POST SLIPBASE DESIGN.
- ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.100" MINIMUM THICKNESS.
- ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 125 MIL THICKNESS PREFORMED THERMOPLASTIC PAVEMENT MARKINGS WITH TAPERED LEADING EDGES PER CDOT STANDARD S-627-1. WORD AND SYMBOL MARKINGS SHALL BE THE NARROW TYPE. STOP BARS SHALL BE 24" IN WIDTH. CROSSWALK LINES SHALL BE 12" WIDE AND A MINIMUM OF 8' LONG PER CDOT S-627-1. (CROSSWALK LINES 9' LONG ARE PREFERRED.)
- ALL LONGITUDINAL LINES SHALL BE A MINIMUM 15MIL THICKNESS EPOXY PAINT. ALL NON-LOCAL RESIDENTIAL ROADWAYS SHALL INCLUDE BOTH RIGHT AND LEFT EDGE LINE STRIPING AND ANY ADDITIONAL STRIPING AS REQUIRED BY CDOT S-627-1.
- THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (719) 520-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING.
- THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS (DPW) PRIOR TO ANY SIGNAGE OR STRIPING WORK WITHIN AN EXISTING EL PASO COUNTY ROADWAY.

WEBSTER ELEMENTARY SCHOOL CIVIL CONSTRUCTION DOCUMENTS TRACT A, WILSONS WIDFIELD ADDITION NO. 6 EL PASO COUNTY, STATE OF COLORADO



VICINITY MAP

Sheet List Table	
Sheet Number	Sheet Title
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C2.1	HORIZONTAL CONTROL PLAN
C2.2	SITE ACCESS
C2.3	CONSTRUCTION DETAILS
C3.0	OVERALL UTILITY PLAN
C3.1	WATER & HYDRANT PLAN
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C7.1	DETAILED BUILDING GRADING
C8.0	POND GRADING PLAN
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C9.1	INITIAL EROSION CONTROL PLAN
C9.2	INTERIM EROSION CONTROL PLANN
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C9.5	EROSION CONTROL DETAILS
C9.6	EROSION CONTROL DETAILS
C9.7	EROSION CONTROL DETAILS
L1.0	LANDSCAPE PLAN
L1.1	LANDSCAPE DETAILS
L1.2	LANDSCAPE DETAILS
L1.3	LANDSCAPE NOTES
IR1.0	IRRIGATION PLAN
IR1.1	IRRIGATION DETAILS

CONTACTS:

OWNER:
WIDFIELD SCHOOL DISTRICT 3
445 JERSEY LANE
COLORADO SPRINGS, CO 80911
TEL: (719) 391-3531
CONTACT: DAVE GISH

ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
2 NEVADA NORTH AVE., SUITE 300
COLORADO SPRINGS, CO 80903
TEL: (719) 453-0182
CONTACT: ERIC GUNDERSON, P.E.

EL PASO COUNTY:
EL PASO COUNTY
PCD DEPARTMENT
2880 INTERNATIONAL CIRCLE, SUITE 110
COLORADO SPRINGS, CO 80910
PHONE: (719) 520-6300

SURVEYOR:
DREXEL, BARRELL & CO.
3 SOUTH 7TH STREET
COLORADO SPRINGS, CO 80905
TEL: (719) 260-0887
CONTACT: TIM MCCONNELL

LAND AREA:

TOTAL PROPERTY AREA: +/- 6.51 ACRES

BENCHMARK:

THIS UTILITY/FACILITY WAS UNABLE TO BE LOCATED AND IS SHOWN IN AN APPROXIMATE/ASSUMED LOCATION BASED ON RECORD DRAWINGS OR OTHER AVAILABLE INFORMATION OR FIELD EVIDENCES, THE CONTRACTOR IS TO FIELD VERIFY THE LOCATION AND ELEVATION OF THE UTILITY/FACILITY IF IT EXISTS.

LEGAL DESCRIPTION

TRACT A, WILSONS WIDFIELD ADDITION NO. 6, ACCORDING TO REC. #55193130001, RECORDS OF EL PASO COUNTY, STATE OF COLORADO.

SOIL TYPE:

THE SOIL ON SITE IS USGS HYDROLOGIC SOIL GROUP B/C.

FLOOD ZONE DESIGNATION

FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP, MAP NUMBER 08041C0952G, EFFECTIVE DATE DECEMBER 7, 2018 INDICATES THIS PARCEL OF LAND IS LOCATED IN ZONE X (AREA OF MINIMAL FLOOD HAZARD).

SITE INFORMATION:

TIMING:
ANTICIPATED STARTING AND COMPLETION TIME PERIOD OF SITE GRADING:
START: SUMMER 2022
END: SUMMER 2023
EXPECTED DATE ON WHICH THE FINAL STABILIZATION WILL BE COMPLETE:
SUMMER 2024

AREAS:
TOTAL DISTURBED AREA: 6.51 ACRES

RECEIVING WATERS:
NAME OF RECEIVING WATERS: EAST BIG JOHNSON, ULTIMATELY FOUNTAIN CREEK

DESCRIPTION OF EXISTING VEGETATION:
THE EXISTING SITE CURRENTLY CONTAINS AN EXISTING SCHOOL BUILDING, PARKING LOT, BALL FIELD, AND GROUND COVER CONSISTING OF 100% WEEDS, GRASSES, AND TREES.

DESCRIPTION OF PERMANENT BMPS:
FULL SPECTRUM EXTENDED DETENTION BASIN

SOILS INFORMATION:
SOIL GROUP: 32% B, 68% C
SOIL SLOPES: 3 H: 1V OR LESS FOR ALL UN-RETAINED AREAS

NOTES:

- NO BATCH PLANTS OR MASONRY MIX STATIONS WILL BE UTILIZED ON SITE.
- NO SPRINGS, STREAMS, WETLANDS, OR OTHER SURFACE WATER CROSS THE SITE.

DEVELOPER'S STATEMENT	
I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN AND ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.	
WIDFIELD SCHOOL DISTRICT 3 DEVELOPER SIGNATURE	<i>David Gish</i> 12/26/2022 DATE
ENGINEER'S STATEMENT	
THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.	
ERIC GUNDERSON, P.E. #49487 KIMLEY-HORN AND ASSOCIATES, INC.	12/23/22 DATE
EL PASO COUNTY	
COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT. FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL, AS AMENDED.	
IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR'S DISCRETION.	
JOSHUA PALMER, P.E. - COUNTY ENGINEER/ECM ADMINISTRATOR	APPROVED Engineering Department 01/18/2023 4:32:37 PM <i>adm@ecm</i> EPC Planning & Community Development Department



Construction Documents

Drawn: _____ JAR
Checked: _____ EUG
Issued: 6 APRIL, 2022
Revised: DECEMBER 13, 2022

Area Key Plan

COVER SHEET

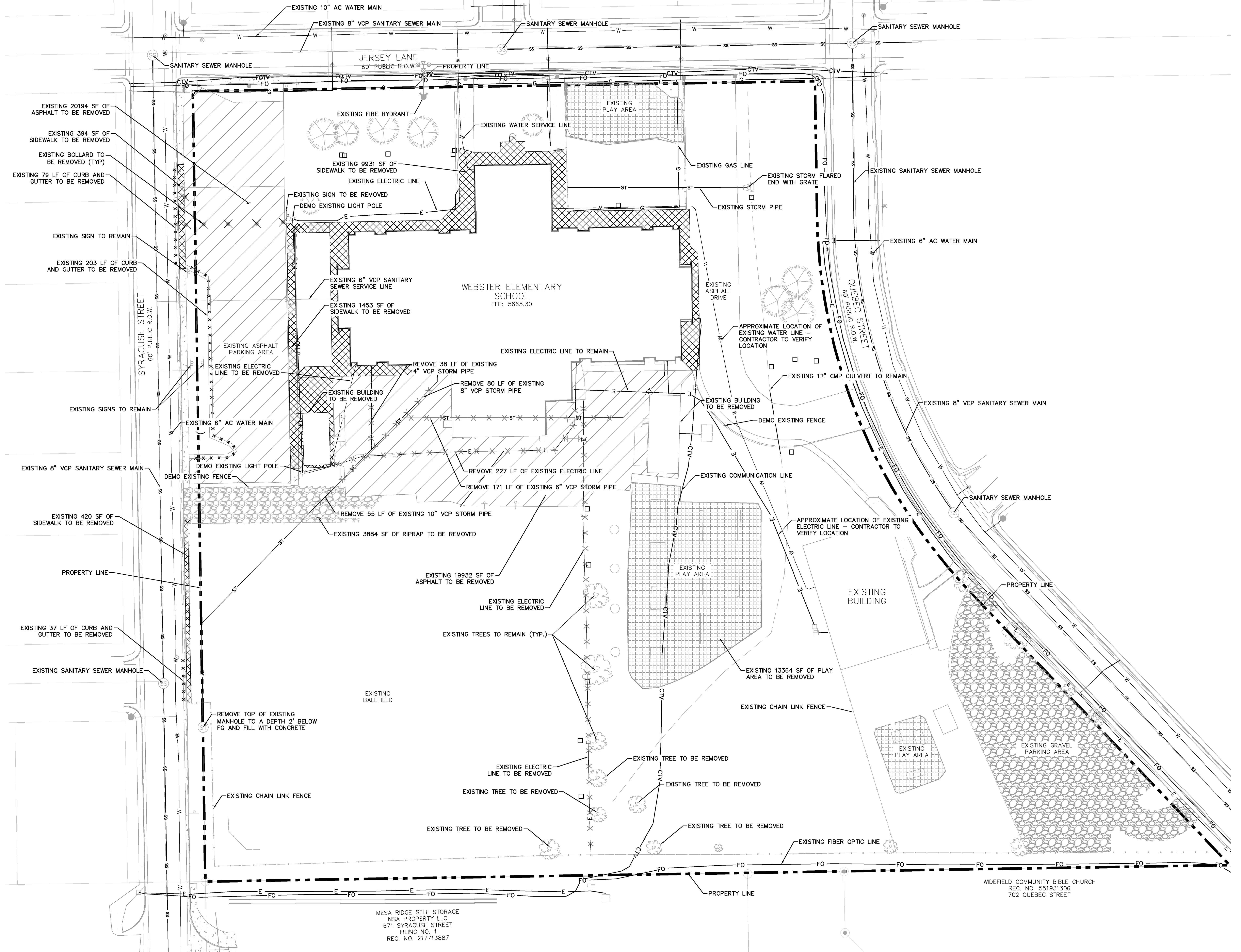
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LEGEND

- P PROPERTY LINE
- - - EX. EASEMENT
- - - EX. UNDERGROUND GAS LINE
- - - S EX. SANITARY SEWER LINE
- - - E EX. ELECTRIC LINE
- - - T EX. UNDERGROUND TELEPHONE LINE
- - - W EX. WATER LINE
- - - EX. STORM SEWER
- X X X X X DEMO EXISTING UTILITY
- x x x x x x x x x DEMO EXISTING CURB AND GUTTER
- ▣ DEMO EXISTING CONCRETE
- ▨ DEMO EXISTING ASPHALT

NOTES

1. ALL EXISTING UTILITIES TO REMAIN UNLESS OTHERWISE NOTED.
2. UTILITIES TO BE REMOVED ARE TO BE CAPPED IN PLACE IN ACCORDANCE WITH LOCAL UTILITY REGULATIONS.
3. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. CONTRACTOR TO FIELD VERIFY THE LOCATION.



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**Webster Elementary School
Addition and Alterations**
445 Jersey Lane, Colorado Springs, CO 80911

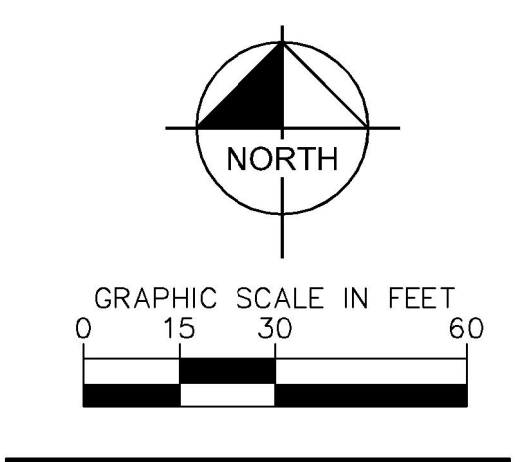
Widefield School District 3
1820 Main Street
Colorado Springs, CO. 80911



Construction Documents

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Revised: DECEMBER 13, 2022

Area Key Plan



UTILITY DEMOLITION PLAN

C1.0

Project No.: PPR-22-009 21-003
The LKA Partners Incorporated

LEGEND

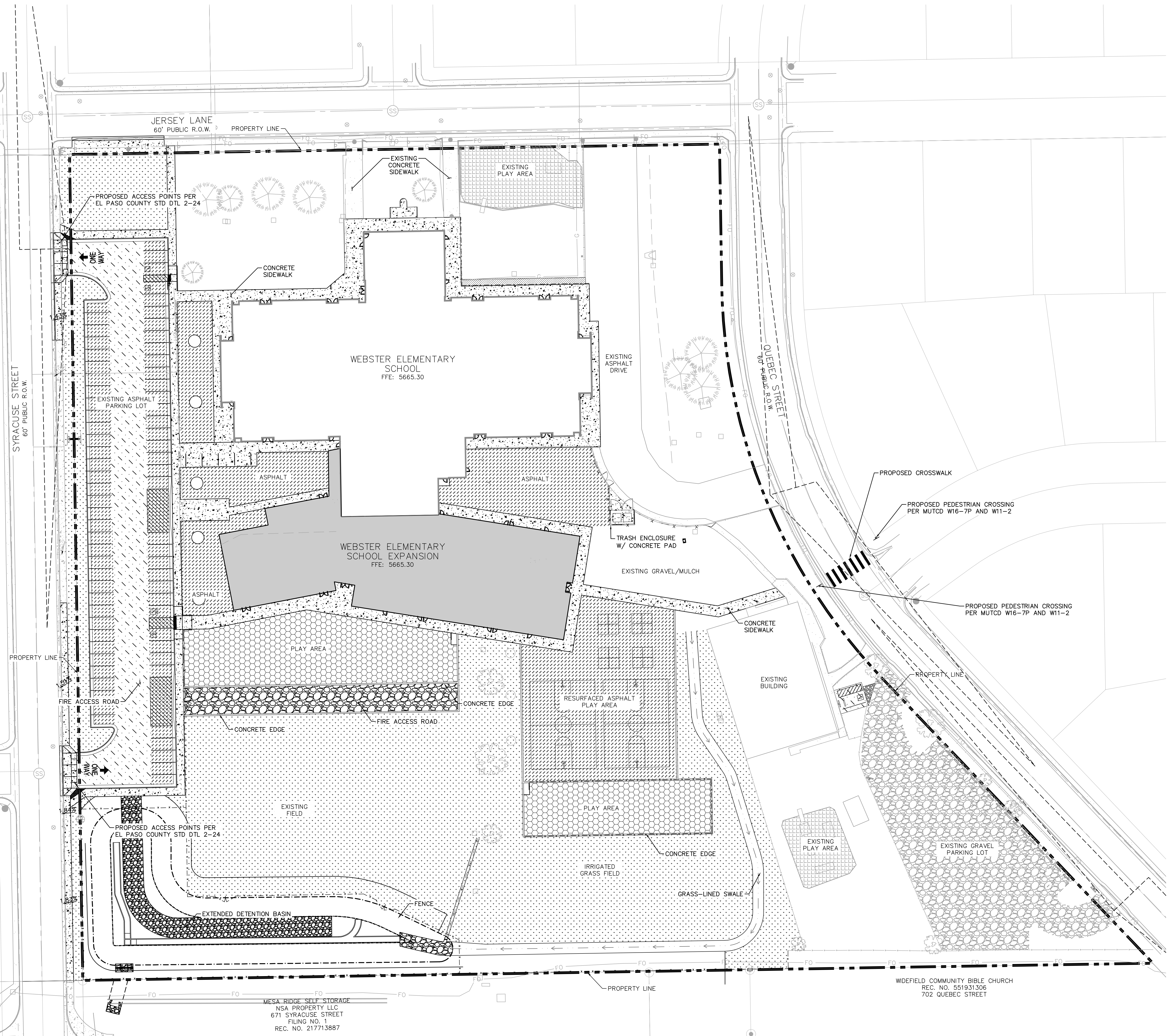
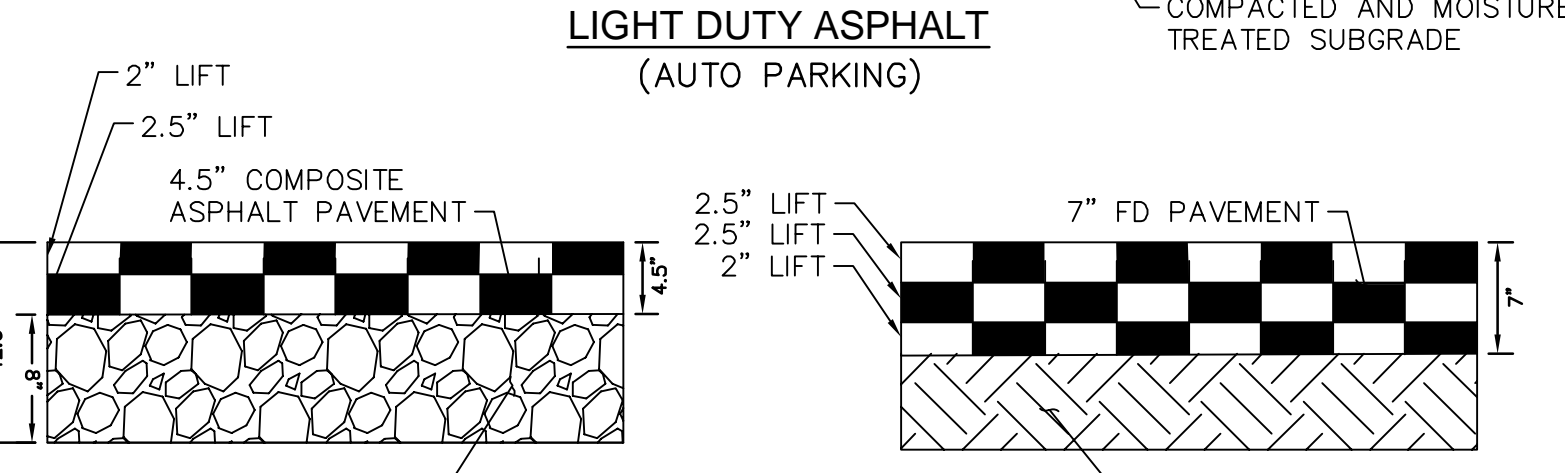
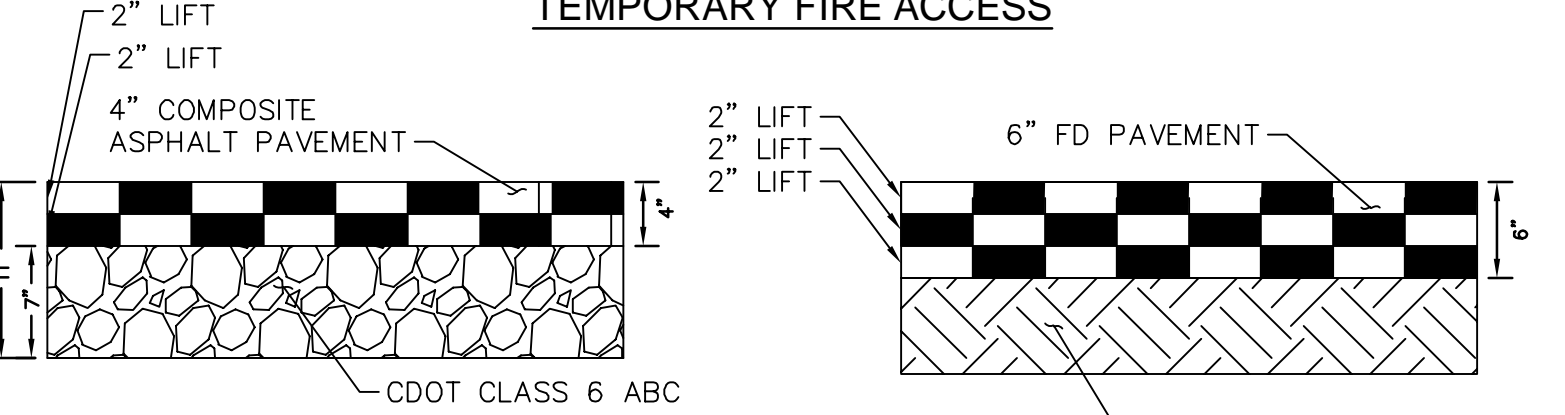
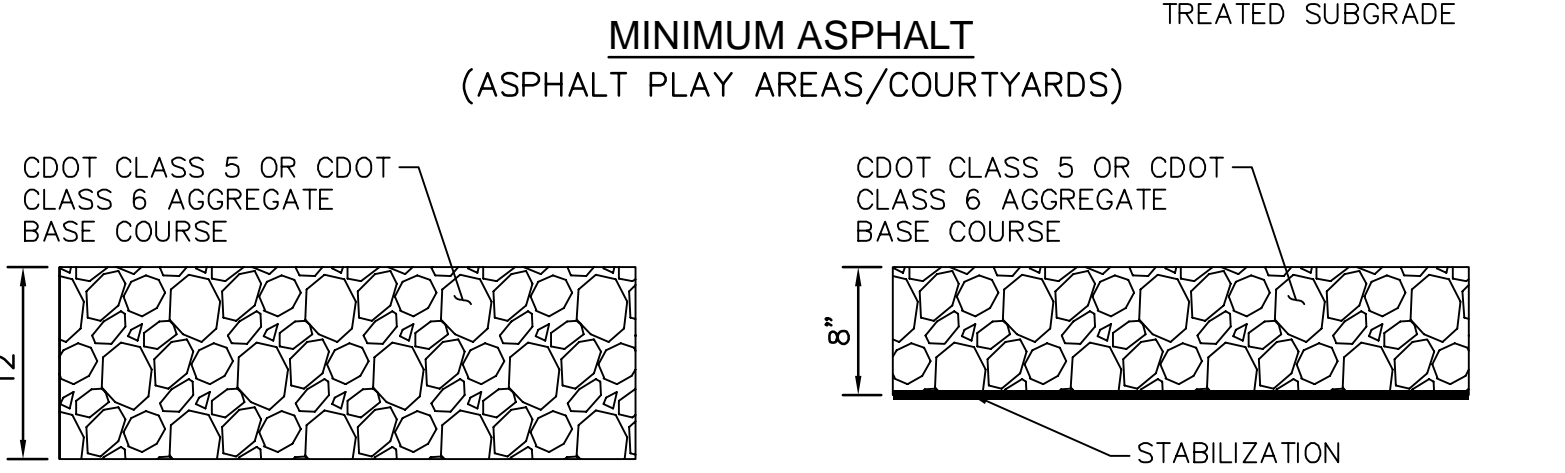
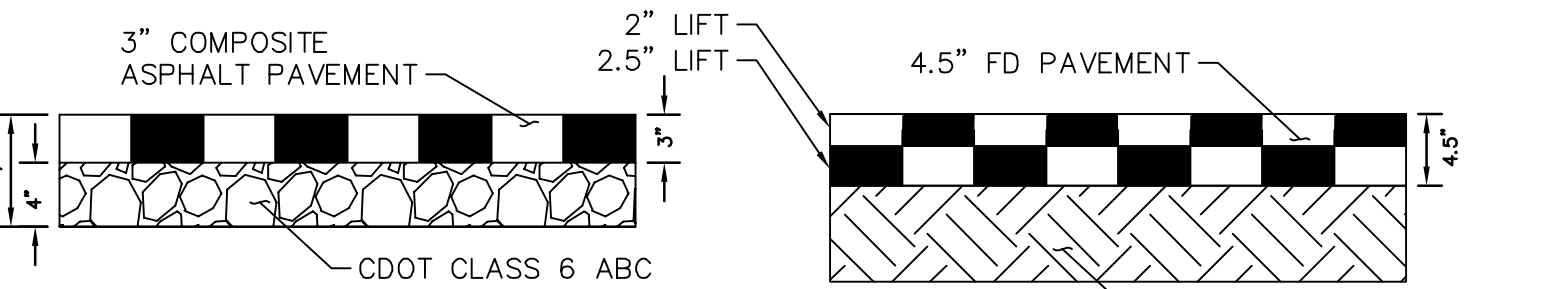
- PROPERTY LINE
- PARCEL LINE
- - - BUILDING SETBACK
- - - LANDSCAPE SETBACK
- [Pattern] PROPOSED LANDSCAPING
- [Pattern] PROPOSED ASPHALT DRIVE LANES
- [Pattern] PROPOSED ASPHALT PARKING AREA & NON-VEHICULAR AREA
- [Pattern] EXISTING CONCRETE SIDEWALK
- [Pattern] PROPOSED CONCRETE SIDEWALK
- [Pattern] PROPOSED WOOD FIBER SAFETY SURFACING
- [Pattern] PROPOSED GRAVEL ROAD
- [Pattern] EXISTING GRAVEL PARKING AREA
- [Pattern] EXISTING GRAVEL/MULCH PLAY AREA

GENERAL NOTES

1. ALL PUBLIC IMPROVEMENTS IN THE COUNTY'S R.O.W. SHALL MEET EL PASO COUNTY ENGINEERING AND ADA STANDARDS.
2. ALL SIGNS AND ROADWAY MARKINGS SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
3. TWO COATS WHITE TRAFFIC PAINT (4" MIN. WIDTH) REQUIRED FOR PAVEMENT STRIPING.
4. REFERENCE THE GEOTECHNICAL REPORT, BY GROUND ENGINEERING, FOR PAVEMENT SECTIONS AND INFORMATION.
5. ASPHALT MIX DESIGN TO BE SPECIFIED BY GEOTECH ENGINEER.
6. FULL DEPTH ASPHALT IS NOT ALLOWED WITHIN EL PASO COUNTY R.O.W.

MINIMUM PAVEMENT SECTIONS

LOCATION	FLEXIBLE PAVEMENT (INCHES ASPHALT)	COMPOSITE SECTION (IN. ASPHALT/IN. AGGREGATE BASE)	RIGID SECTION (IN. CONCRETE/IN. AGGREGATE BASE)
ASPHALT PLAY AREA	4.5	3/4	-
GENERAL PARKING AREAS	6	4/7	6/6
DRIVE LANES	7	4.5/8	6.5/6



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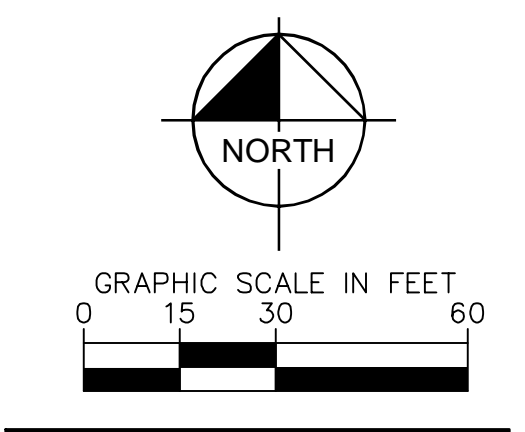
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Construction Documents

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Area Key Plan



PAVING PLAN

C2.0

Project No.: PPR-22-009 21-003
The LKA Partners Incorporated

LEGEND

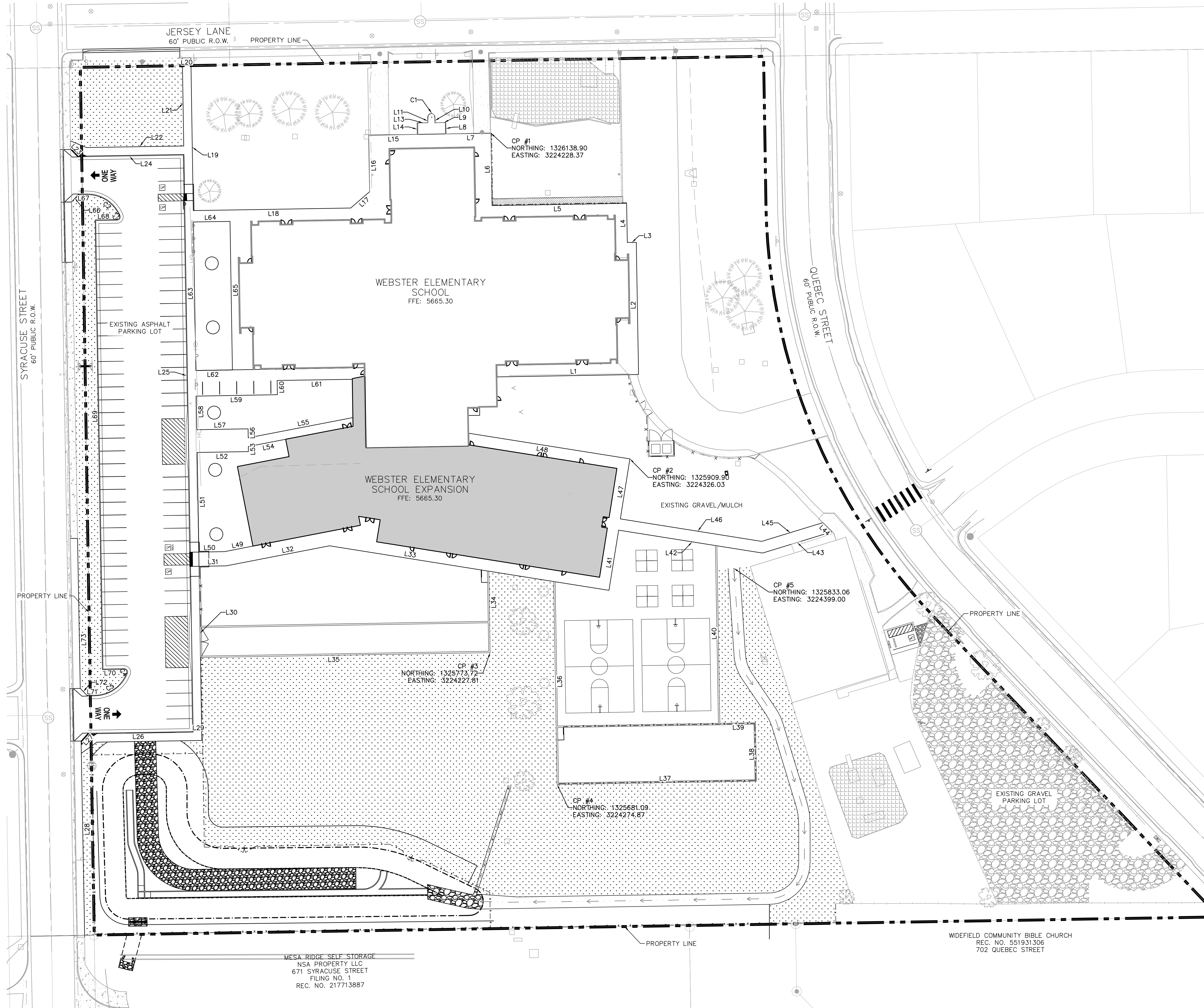
	PROPERTY LINE
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	BUILDING SETBACK
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	EXISTING CONCRETE SIDEWALK
	PROPOSED CONCRETE SIDEWALK
	PROPOSED WOOD FIBER SAFETY SURFACING
	PROPOSED GRAVEL ROAD
	EXISTING GRAVEL PARKING AREA
	EXISTING GRAVEL/MULCH PLAY AREA

LINE TABLE			LINE TABLE			LINE TABLE		
LINE	LENGTH	BEARING	LINE	LENGTH	BEARING	LINE	LENGTH	BEARING
L1	99.33	N89°02'37.12"E	L27	7.49	S41°49'48.98"W	L52	36.00	S89°04'50.57"W
L2	92.90	N0°57'22.88"W	L28	137.78	S1°00'24.67"E	L53	3.62	S0°55'09.43"E
L3	6.33	S89°02'37.12"W	L29	6.00	N89°04'50.57"E	L54	26.71	S79°02'37.12"W
L4	27.50	N0°57'22.88"W	L30	116.50	N0°55'09.43"W	L55	74.91	N79°02'37.12"E
L5	94.53	S89°02'37.12"W	L31	19.06	N89°04'50.57"E	L56	6.29	S0°55'09.43"E
L6	50.97	N0°57'22.88"W	L32	73.97	N79°02'37.12"E	L57	36.00	N89°03'05.27"E
L7	31.61	S89°02'37.12"W	L33	198.78	S80°57'22.31"E	L58	23.64	S0°55'09.43"E
L8	8.00	N1°20'17.96"W	L34	57.47	S0°57'20.14"E	L59	57.01	S89°02'37.12"W
L9	7.50	S88°39'42.04"W	L35	203.47	S89°02'37.12"W	L60	10.00	S0°57'22.88"E
L10	4.05	N0°57'22.88"W	L36	142.67	S0°57'22.88"E	L61	52.74	S89°02'37.12"W
L11	4.00	S0°57'22.88"E	L37	140.00	N89°02'37.12"E	L62	25.72	S89°01'59.71"W
L12	7.50	S89°02'37.12"W	L38	41.00	N0°57'22.88"W	L63	104.40	N0°55'09.43"W
L13	7.50	S89°02'37.12"W	L39	25.00	S89°02'37.12"W	L64	25.65	N89°00'40.98"E
L14	8.00	S0°57'22.88"E	L40	124.80	N0°57'22.88"W	L65	104.41	S0°57'22.88"E
L15	34.17	S89°02'37.12"W	L41	42.75	N9°02'37.12"E	L66	7.53	S41°49'48.98"W
L16	39.72	S0°57'22.88"E	L42	102.42	S80°57'22.88"E	L67	5.79	S88°54'12.10"W
L17	17.53	S49°08'22.07"W	L43	51.20	N72°55'25.00"E	L68	14.83	N89°04'50.57"E
L18	110.63	S89°02'37.12"W	L44	9.08	N45°15'40.98"W	L69	315.00	N0°55'09.43"W
L19	107.39	N0°55'09.43"W	L45	45.05	S72°55'25.00"W	L70	14.83	S89°04'50.57"W
L20	6.00	S89°04'50.57"W	L46	100.57	N80°57'22.88"W	L71	5.19	N89°04'50.57"E
L21	61.91	S0°55'09.43"E	L47	42.75	N9°02'37.12"E	L72	7.49	S43°43'45.39"E
L22	79.47	S89°04'50.13"W	L48	114.53	N80°57'22.88"W	L73	105.50	S1°00'24.67"E
L23	7.42	S43°43'43.03"E	L49	20.20	N79°02'37.12"E			
L24	73.91	N89°04'50.57"E	L50	18.18	N89°04'50.57"E			
L25	405.00	S0°55'09.43"E	L51	70.00	S0°55'09.43"E			
L26	73.14	S89°04'50.57"W						

CURVE TABLE					
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	TANGENT
C1	2.50'	7.85'	S89°02'37"W	5.00'	180°00'00" INFINITY'
C2	25.00'	29.59'	N57°01'02"W	27.89'	67°48'14" 16.80'
C3	2.50'	4.90'	N32°58'58"E	4.15'	112°31'35" 3.74'
C4	2.50'	4.90'	N34°49'16"W	4.15'	112°11'46" 3.72'
C5	25.00'	29.59'	N55°10'44"E	27.89'	67°48'14" 16.80'

GENERAL NOTES

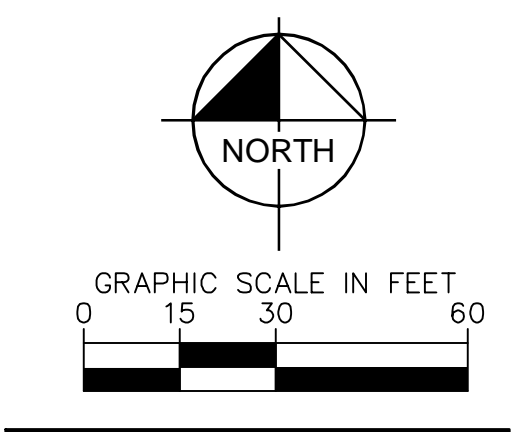
- ALL LINE AND CURVE LABELS REPRESENT EDGE OF PAVEMENT/CONCRETE OR FLOWLINE OF SWALE PER THIS SHEET.



Construction Documents

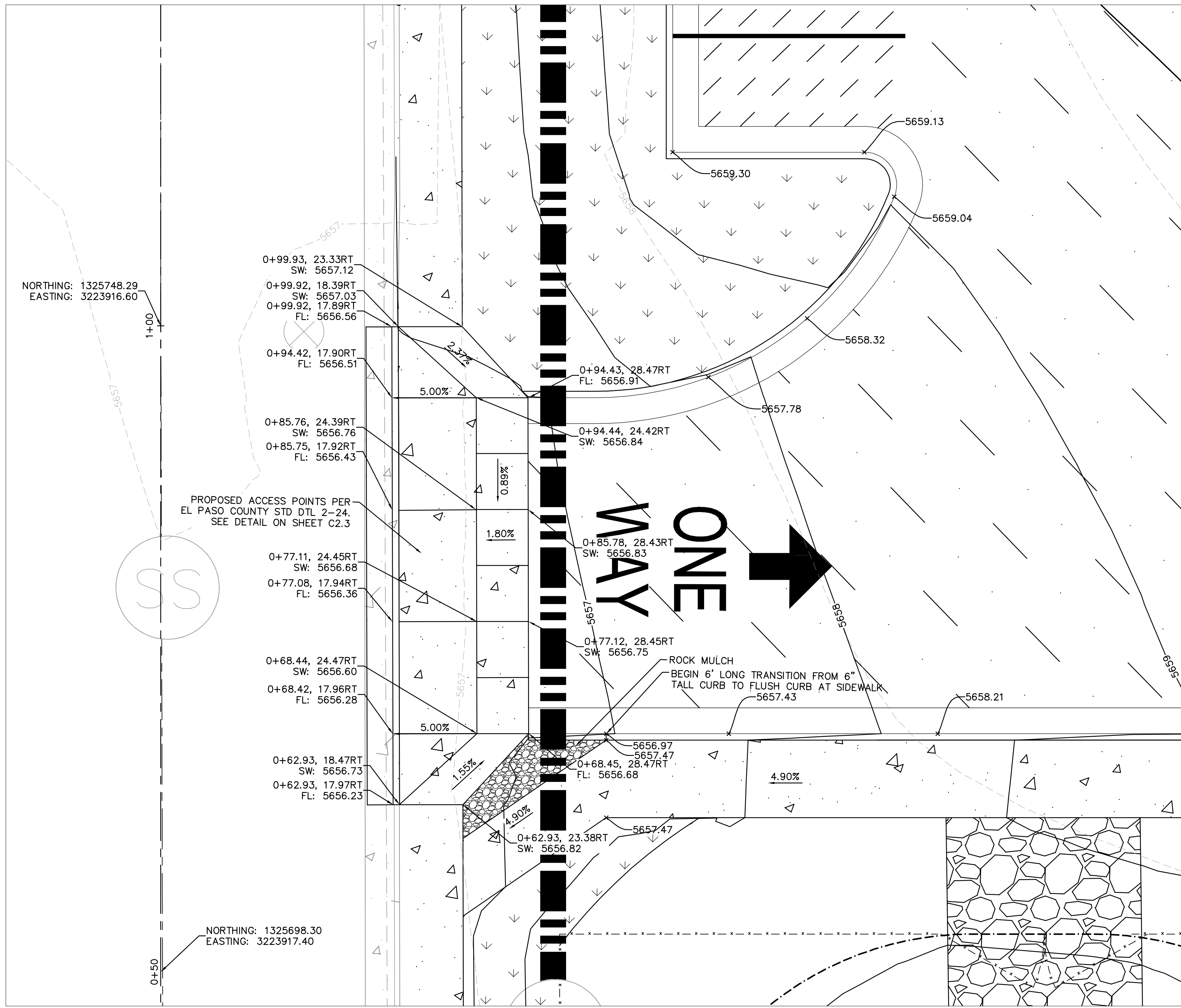
Drawn: JAR
Checked: EJG
Issued: 6 APRIL, 2022
Revised: DECEMBER 13, 2022

Area Key Plan

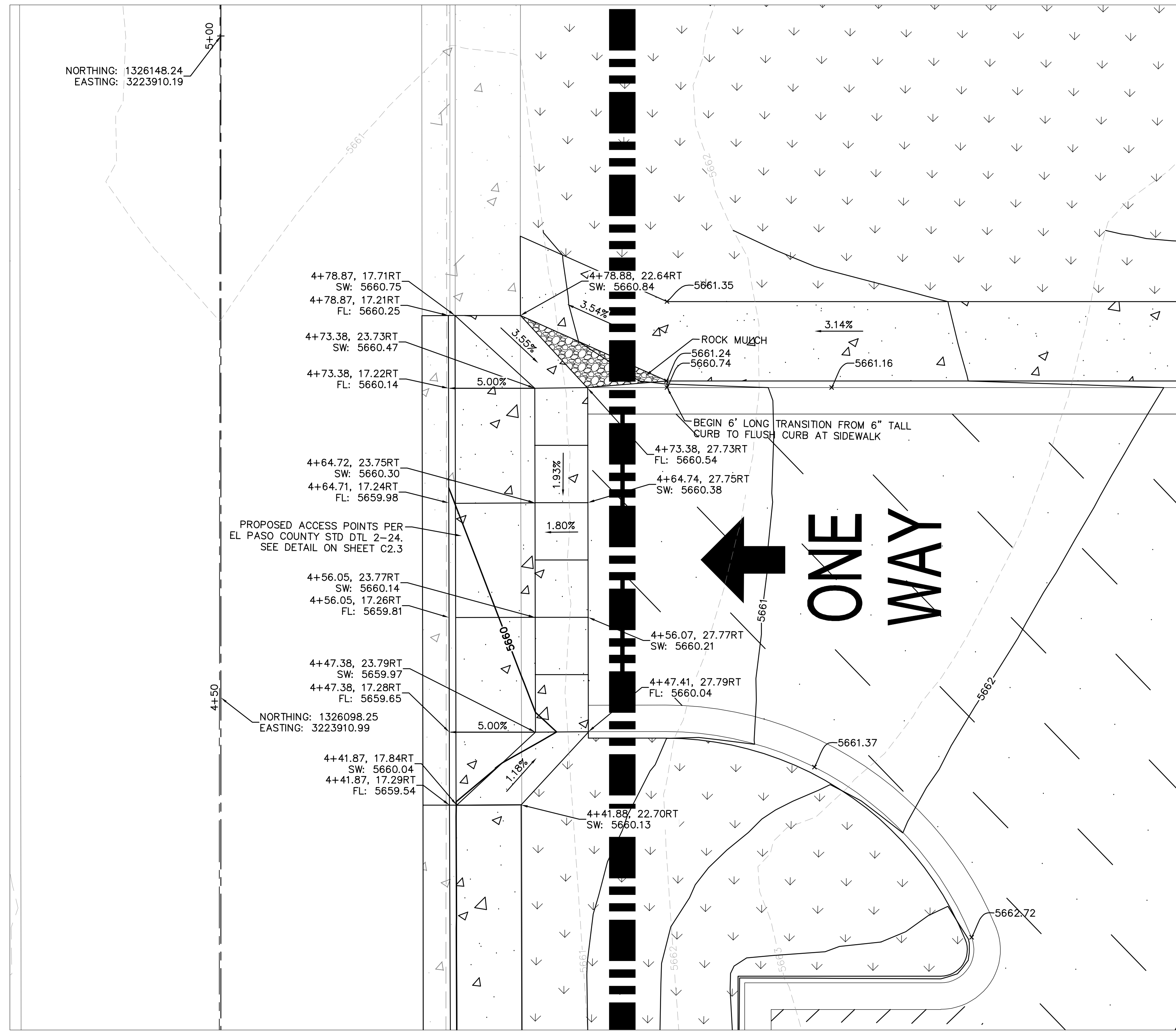
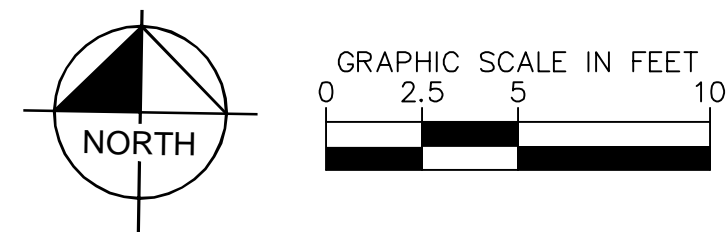


HORIZONTAL CONTROL PLAN

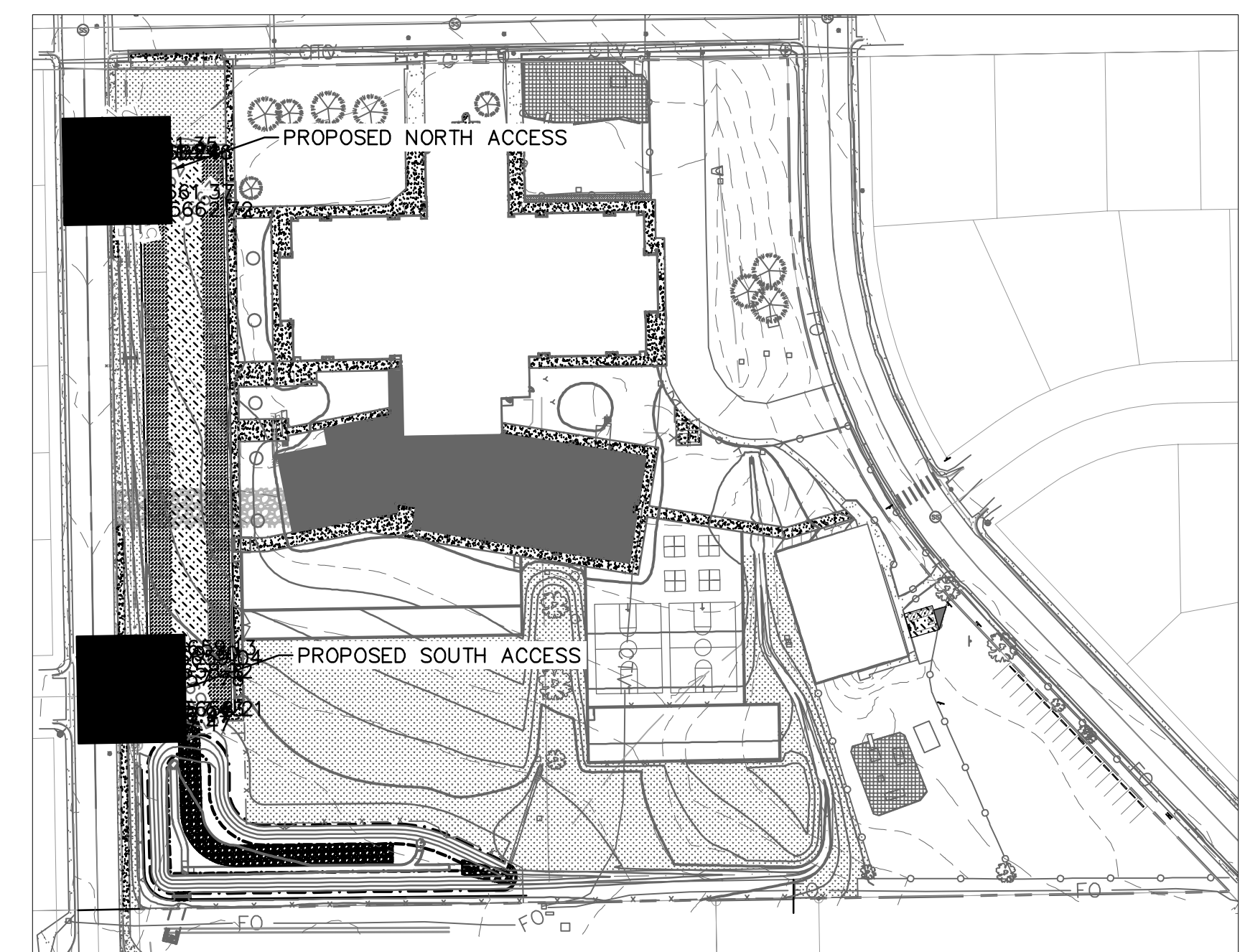
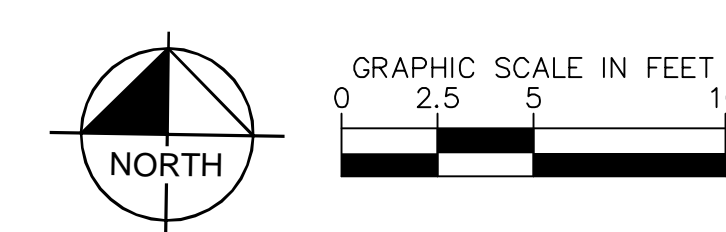
C2.1



PROPOSED SOUTH ACCESS



PROPOSED NORTH ACCESS



**Webster Elementary School
Addition and Alterations**
445 Jersey Lane, Colorado Springs, CO 80911

Widefield School District 3
1820 Main Street
Colorado Springs, CO 80911



Construction Documents

Drawn: JAR
Checked: EUG
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Revised: DECEMBER 13, 2022

Area Key Plan

SITE ACCESS

C2.2

Project No.: PPR-22-009 21-003
The LKA Partners Incorporated

LKA PARTNERS
INCORPORATED
A Professional Corporation for Architecture and Planning

Kimley-Horn
INCORPORATED
A PROFESSIONAL CORPORATION FOR ARCHITECTURE AND PLANNING

450 North Tejon Street, Suite 208
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Tel: 719.473.8446 Fax: 719.473.8448
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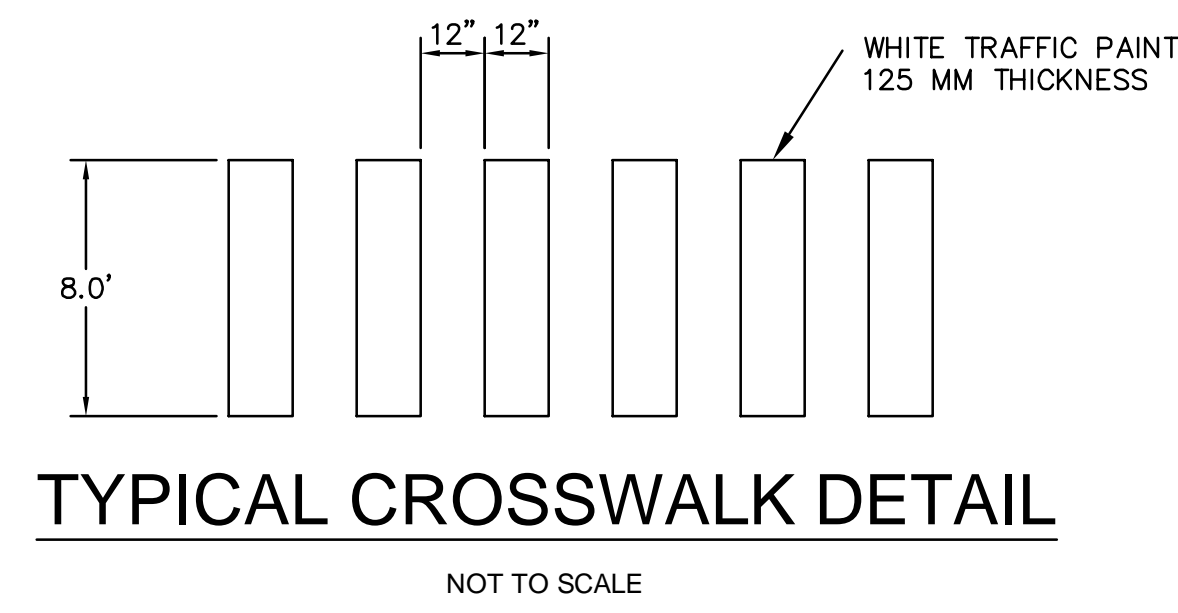
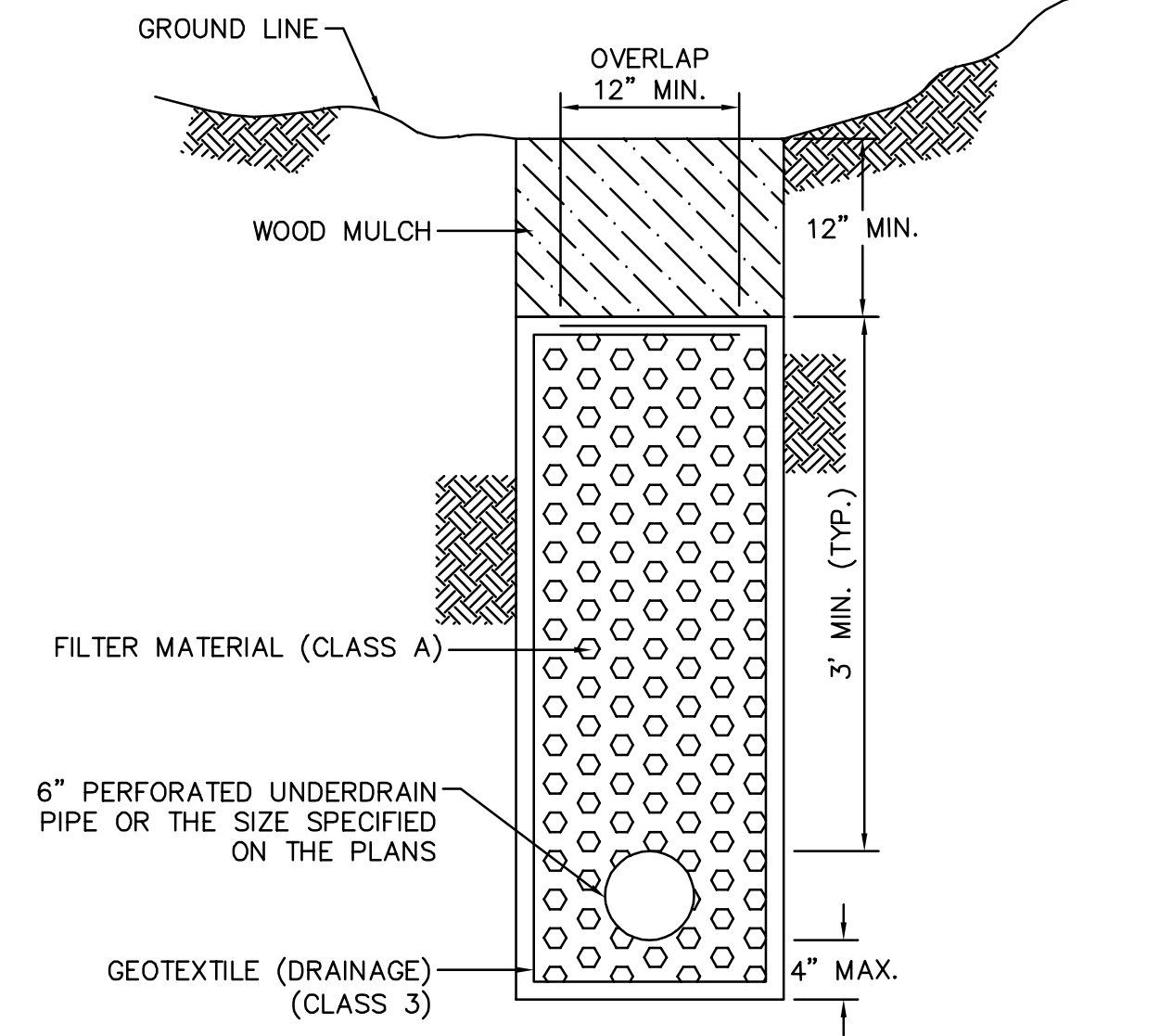


Table GS-3. Dimensions for Slotted Pipe

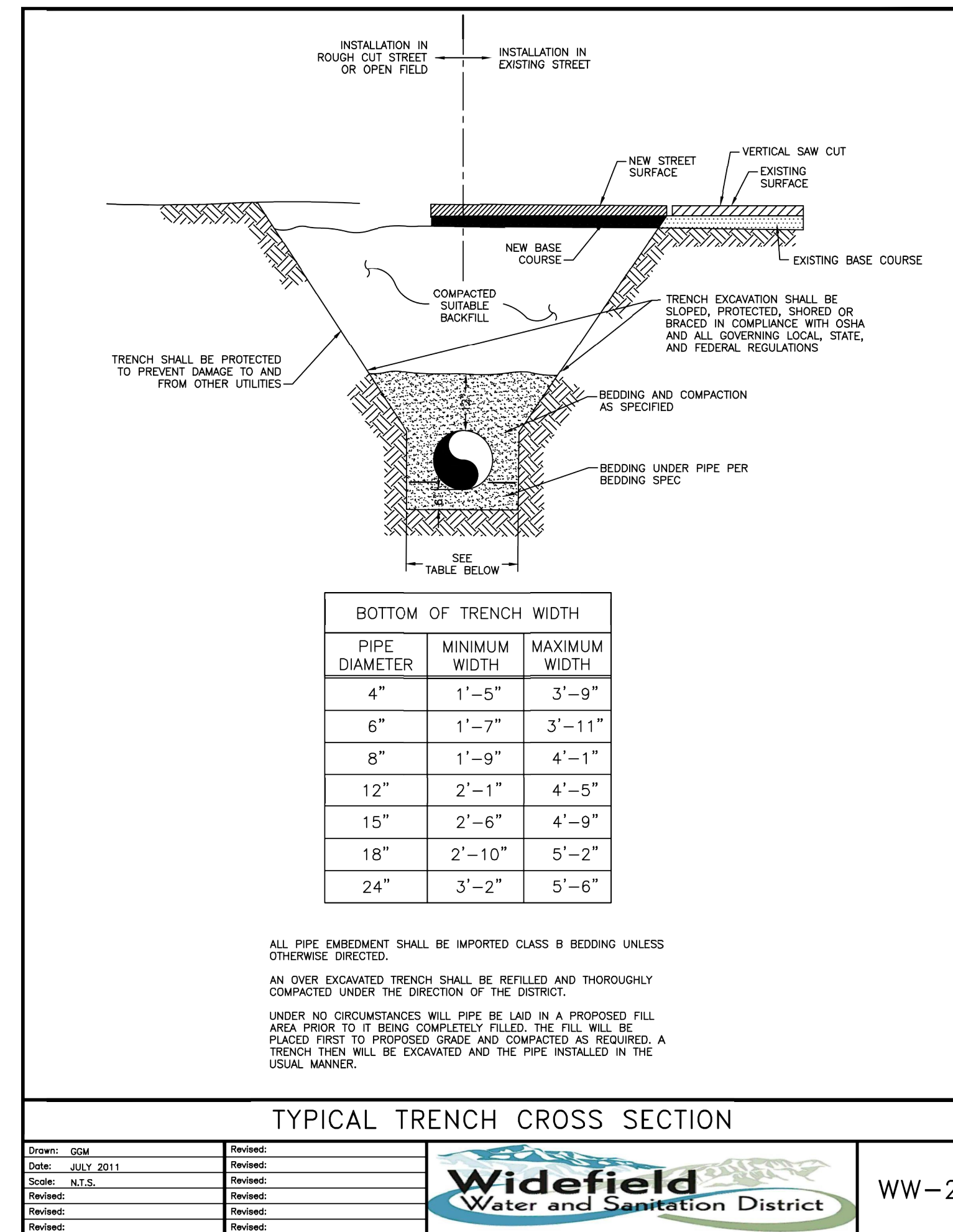
Pipe Diameter	Slot Length ¹	Maximum Slot Width	Slot Centers ¹	Open Area ¹ (per foot)
4"	1-1/16"	0.032"	0.413"	1.90 in ²
6"	1-3/8"	0.032"	0.516"	1.98 in ²

¹Some variation in these values is acceptable and is expected from various pipe manufacturers. Be aware that both increased slot length and decreased slot centers will be beneficial to hydraulics but detrimental to the structure of the pipe.



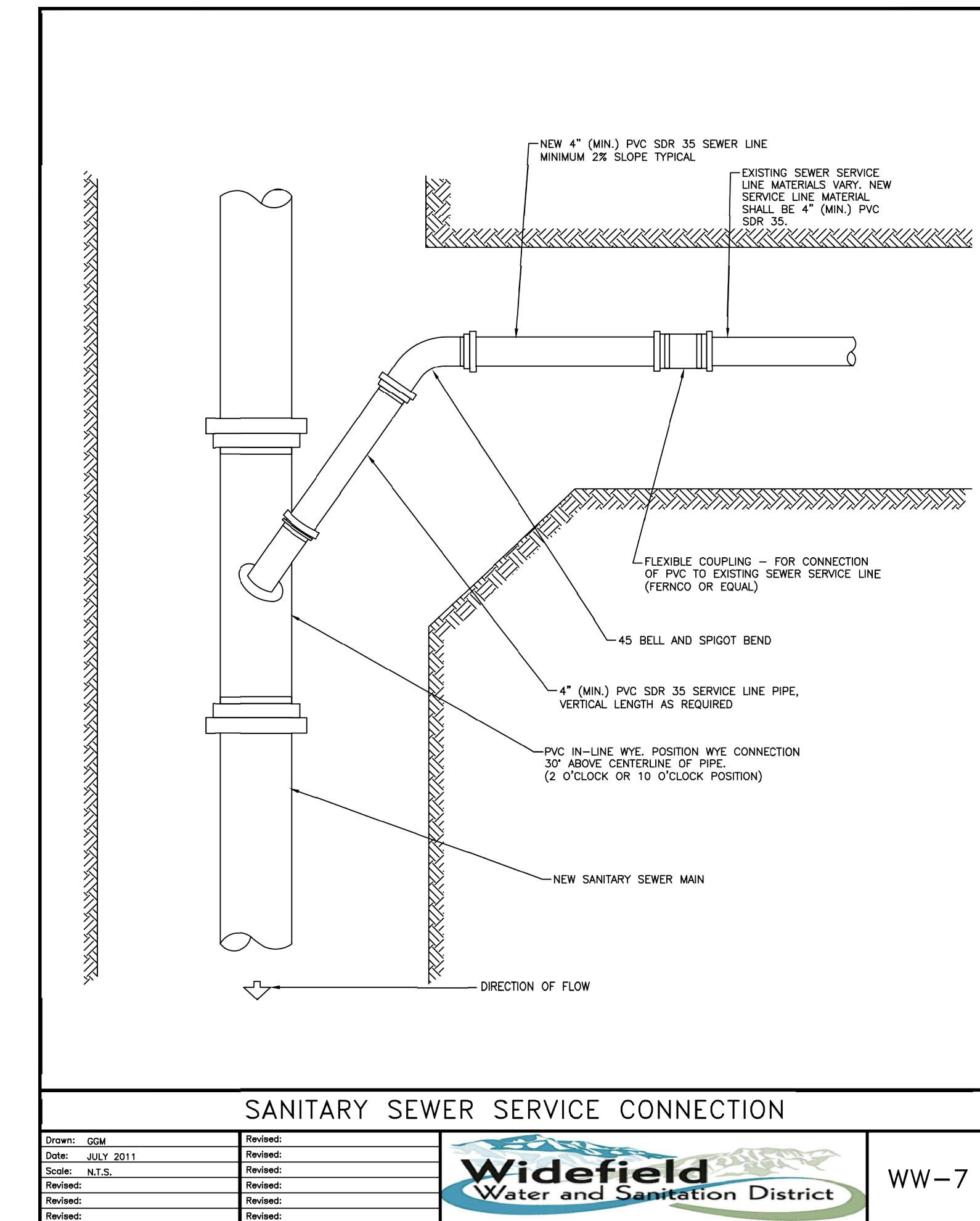
PIPE UNDERDRAIN DETAIL

NOT TO SCALE



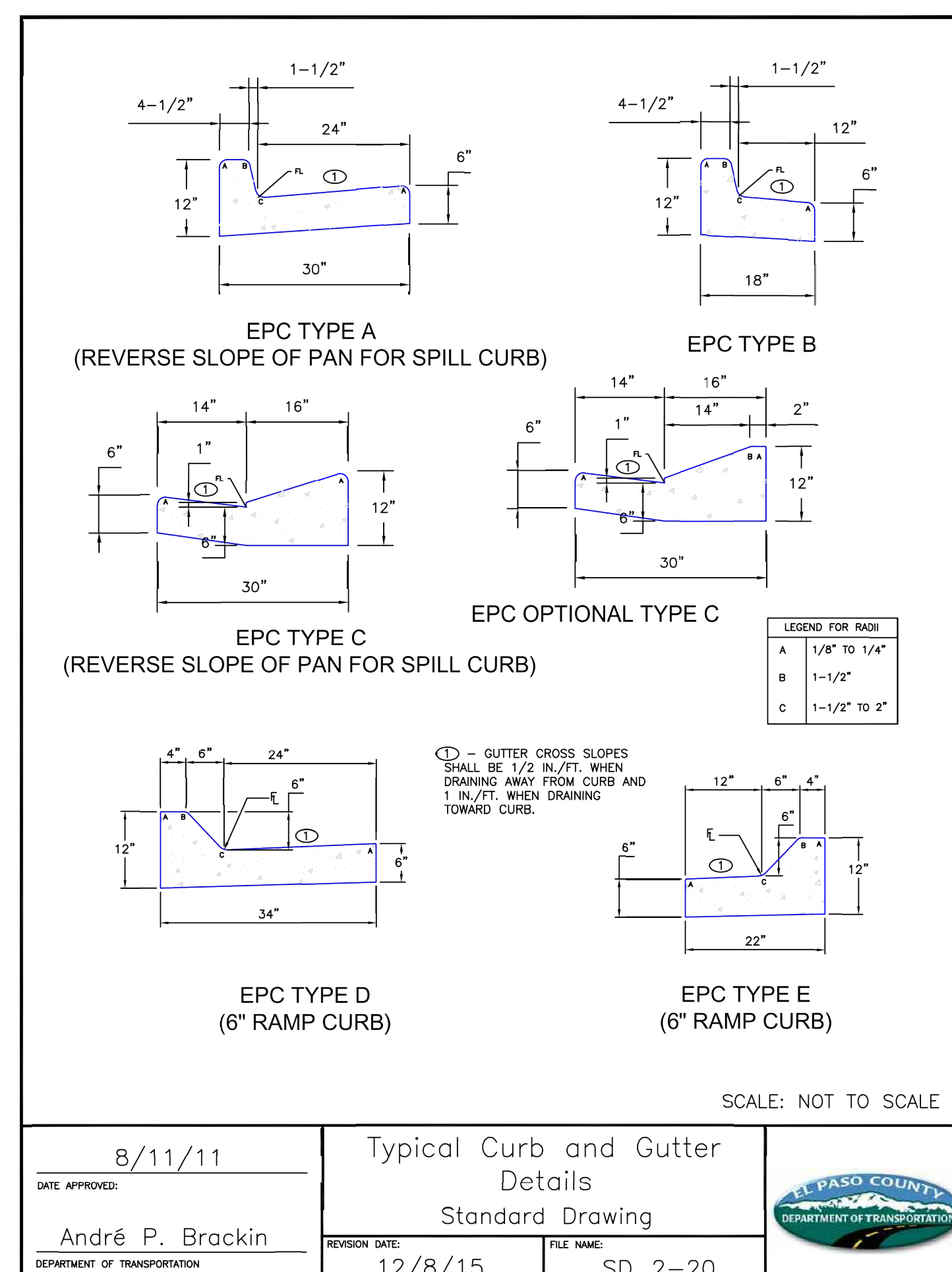
TYPICAL TRENCH CROSS SECTION

Drawn: GJM	Reviewed:		WW-2
Date: JULY 2011	Reviewed:		
Scale: N.T.S.	Reviewed:		
Revised:	Reviewed:		
Revised:	Reviewed:		

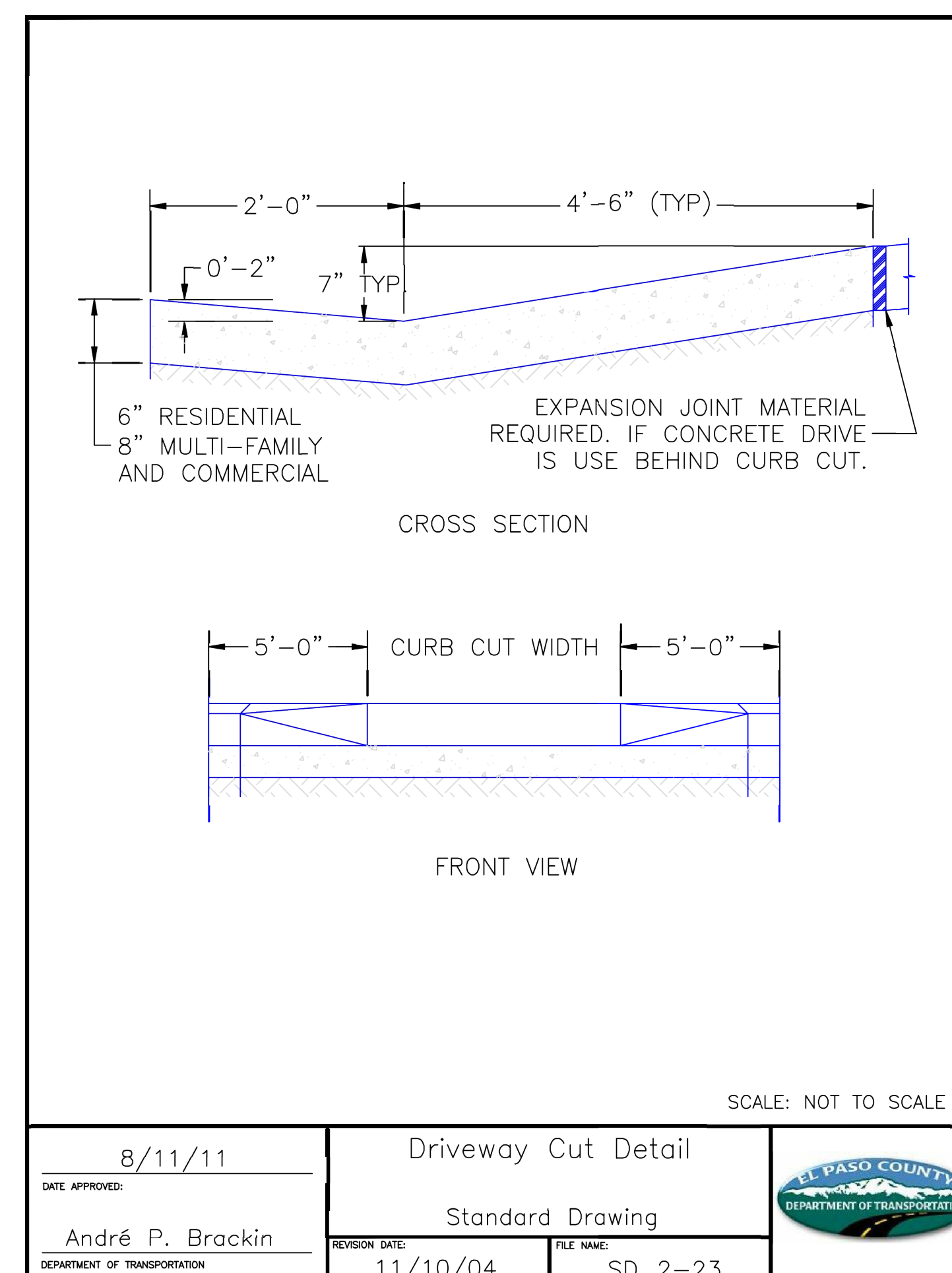


SANITARY SEWER SERVICE CONNECTION

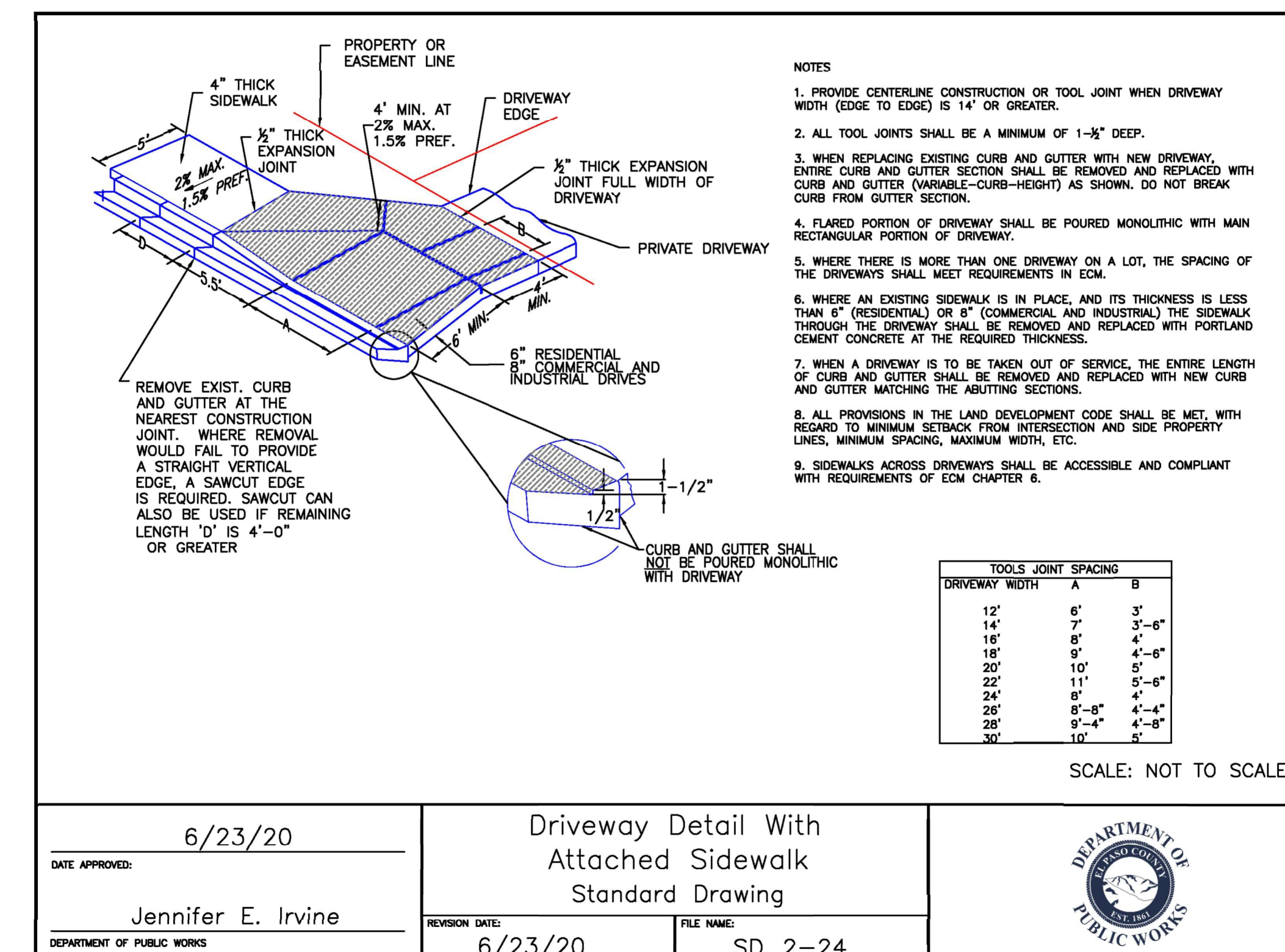
Drawn: GJM	Reviewed:		WW-7
Date: JULY 2011	Reviewed:		
Scale: N.T.S.	Reviewed:		
Revised:	Reviewed:		
Revised:	Reviewed:		



DATE APPROVED: 8/11/11	
APPROVED: André P. Brackin	
REVISION DATE: 12/8/15 FILE NAME: SD_2-20	



DATE APPROVED: 8/11/11	
APPROVED: André P. Brackin	
REVISION DATE: 11/10/04 FILE NAME: SD_2-23	



DATE APPROVED: 6/23/20	
APPROVED: Jennifer E. Irvine	
REVISION DATE: 6/23/20 FILE NAME: SD_2-24	

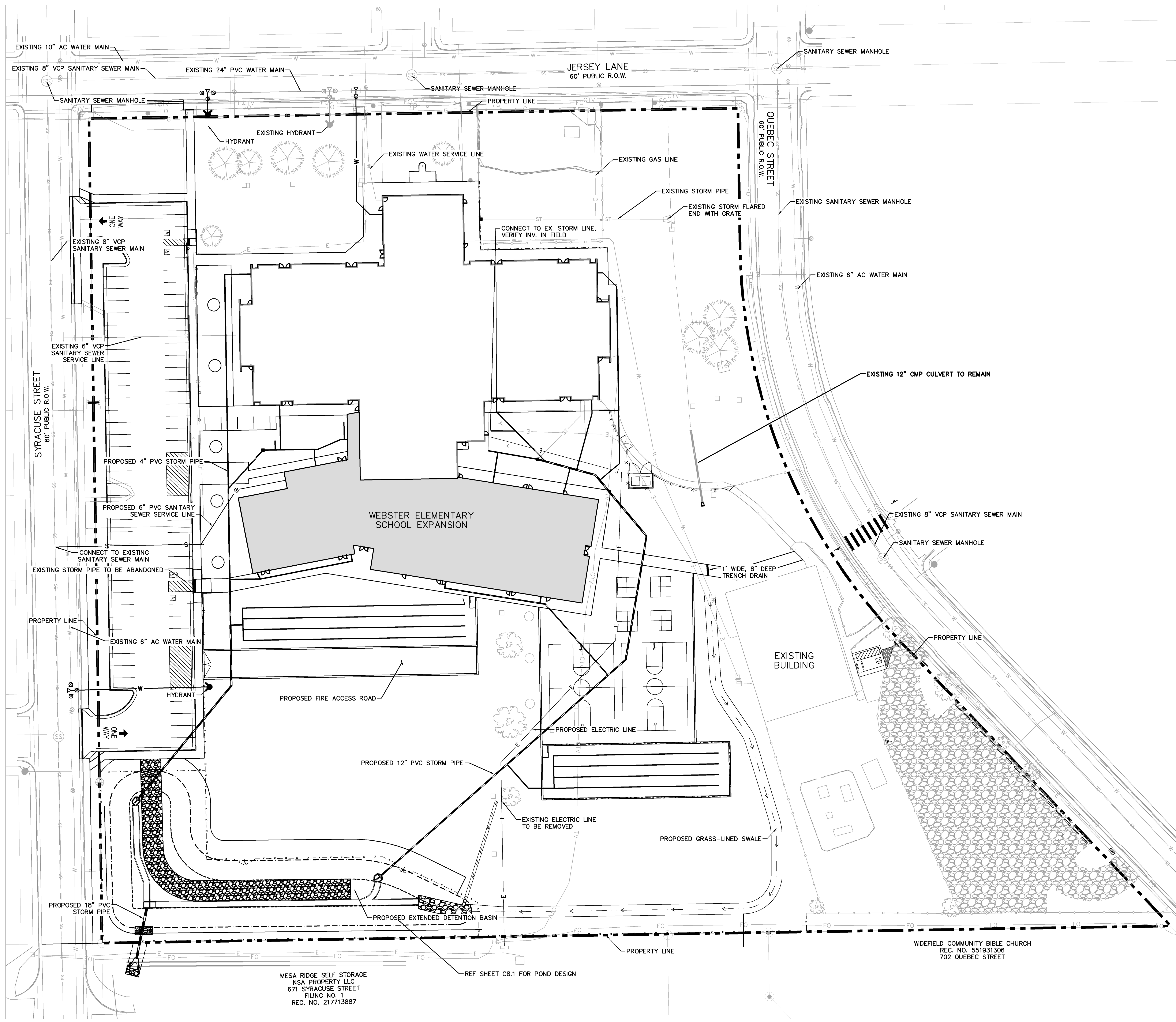


LEGEND

	PROPERTY LINE
	PARCEL LINE
	PROPOSED LANDSCAPING
	EXISTING SIDEWALK
	PROPOSED UNDERGROUND DETENTION
	PROPOSED WATER LINE AND VALVE
	PROPOSED SANITARY SEWER LINE
	PROPOSED CENTURY LINK COMMUNICATION LINE
	PROPOSED UNDERGROUND GAS LINE
	PROPOSED POWER LINE AND MANHOLE
	PROPOSED FIRE LINE
	PROPOSED TRANSFORMER
	EX. GAS LINE
	EX. SANITARY SEWER LINE
	EX. ELECTRIC LINE
	EX. WATER LINE
	EX. STORM SEWER

NOTES

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MESA RIDGE SELF STORAGE
NSA PROPERTY LLC
671 SYRACUSE STREET
FILING NO. 1
REC. NO. 217713887

REF SHEET C8.1 FOR POND DESIGN

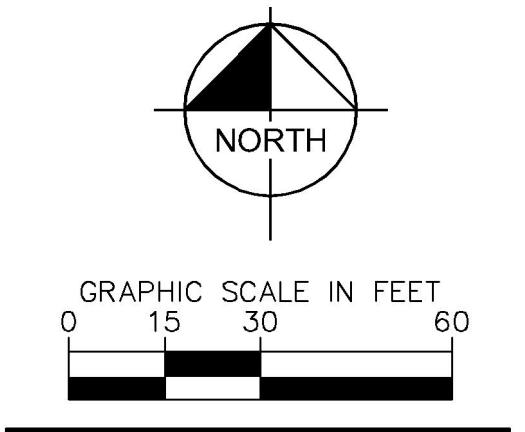
WIDEFIELD COMMUNITY BIBLE CHURCH
REC. NO. 551931306
702 QUEBEC STREET



Construction Documents

Drawn: JAR
Checked: EJG
Issued: 6 APRIL, 2022
Revised: DECEMBER 13, 2022

Area Key Plan



OVERALL UTILITY PLAN

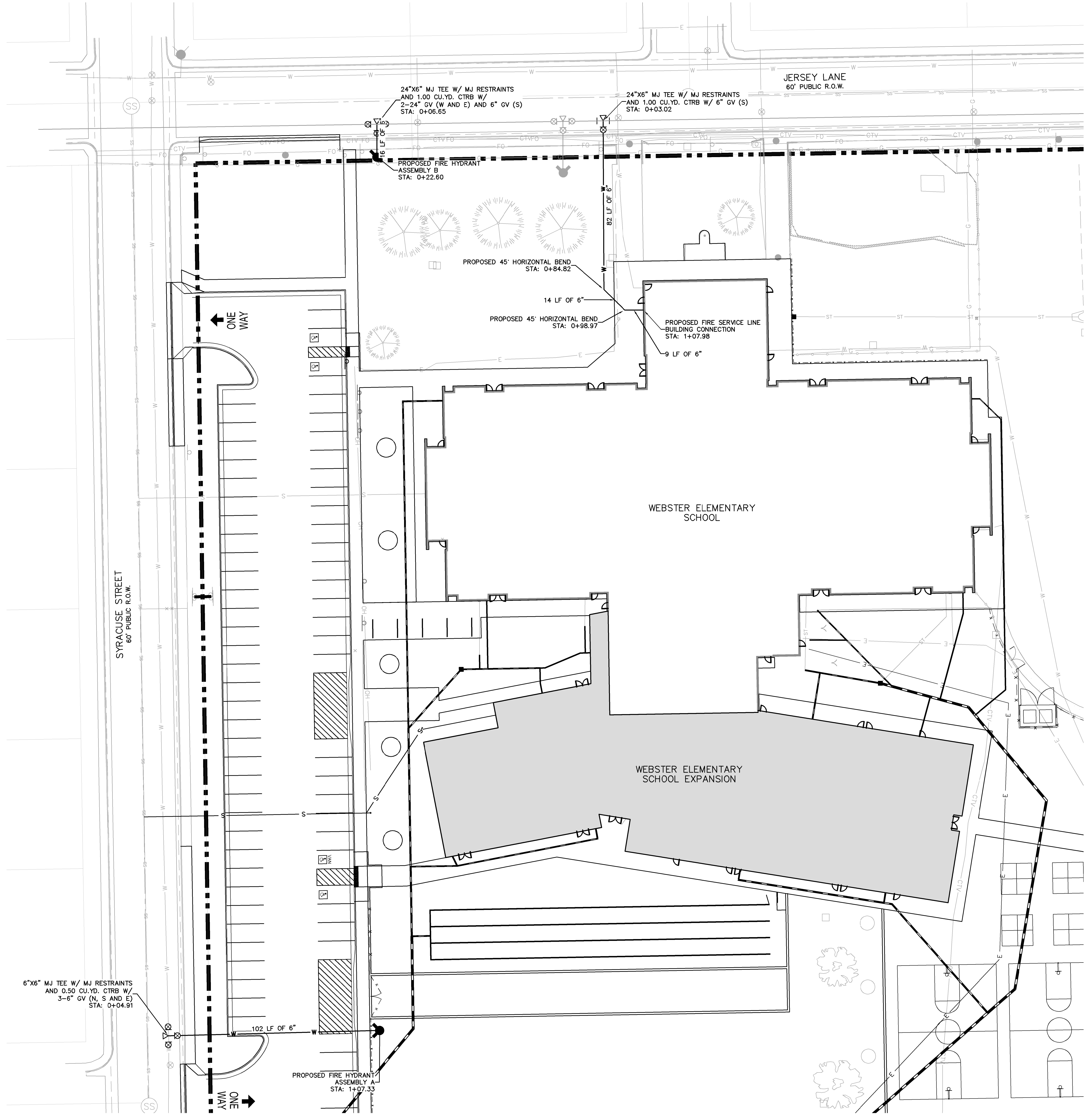
C3.0

LEGEND

- PROPERTY LINE
- PARCEL LINE
- PROPOSED LANDSCAPING
- EXISTING SIDEWALK
- W --- PROPOSED WATER LINE AND VALVE
- S --- PROPOSED SANITARY SEWER LINE
- GNL --- PROPOSED CENTURY LINK COMMUNICATION LINE
- G --- PROPOSED UNDERGROUND GAS LINE
- E --- PROPOSED POWER LINE AND MANHOLE
- F --- PROPOSED FIRE LINE
- PROPOSED TRANSFORMER
- G --- EX. GAS LINE
- S --- EX. SANITARY SEWER LINE
- E --- EX. ELECTRIC LINE
- W --- EX. WATER LINE
- EX. STORM SEWER

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9. ALL WATER LINES TO BE INSTALLED WITH MINIMUM 5' OF COVER FROM TOP OF PIPE TO TOP OF FINISHED SURFACE.



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**Webster Elementary School
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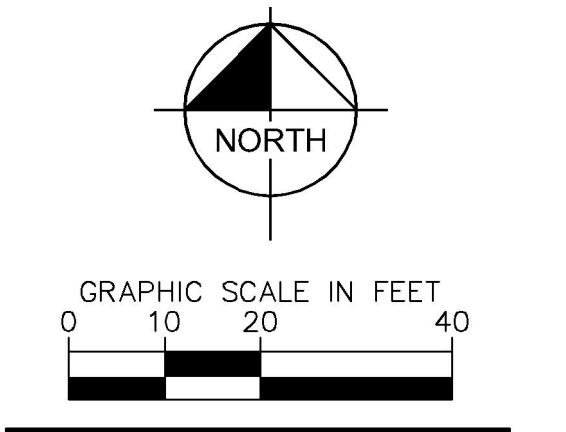
Widefield School District 3
 1820 Main Street
 Colorado Springs, CO. 80911



Construction Documents

Drawn: JAR
 Checked: EJG
 Issued: 6 APRIL, 2022
 Revised: DECEMBER 13, 2022

Area Key Plan



WATER & HYDRANT PLAN

C3.1

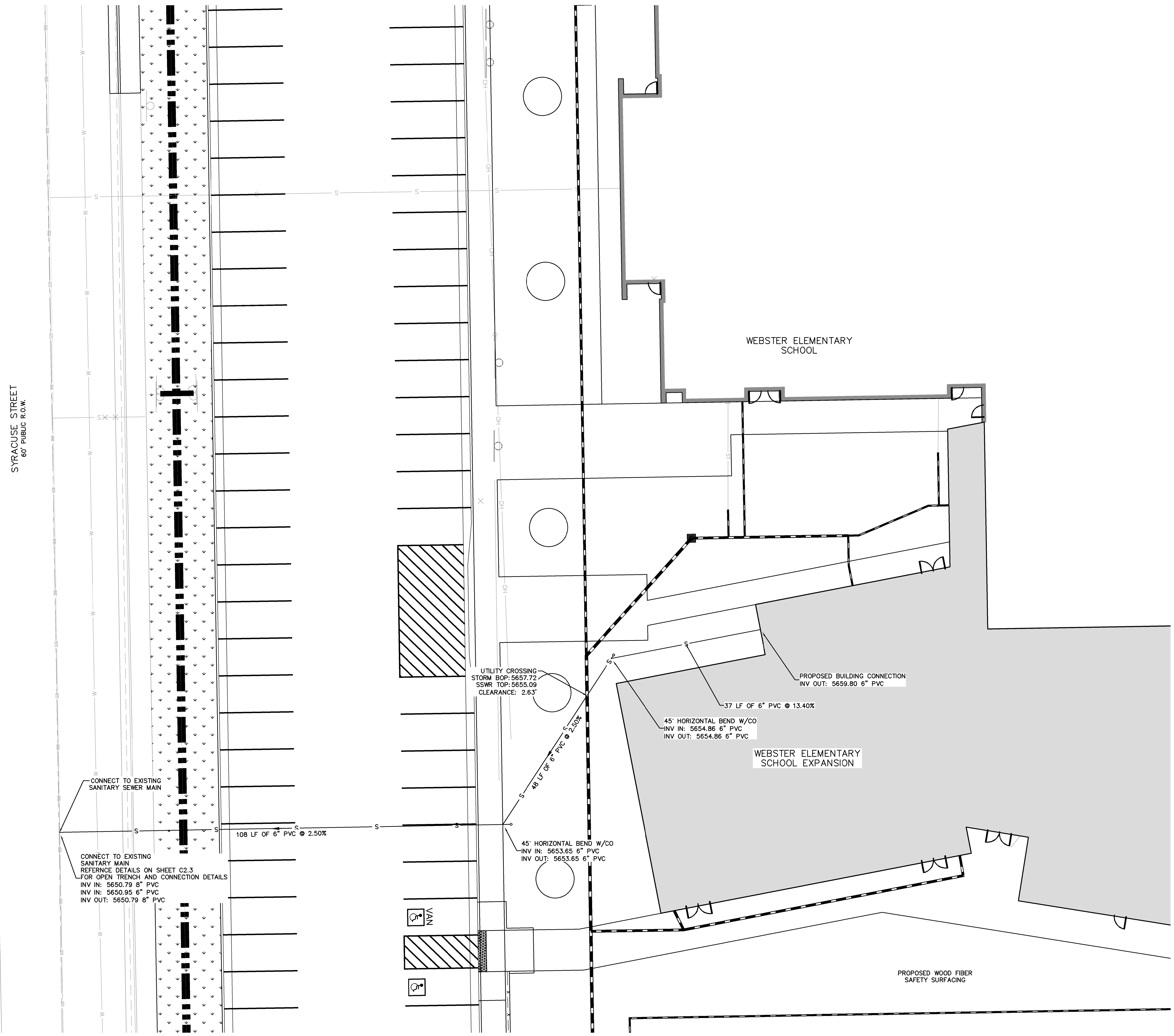
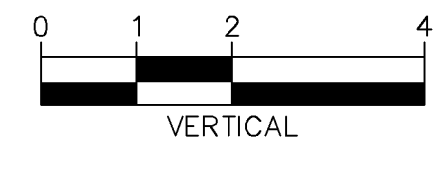
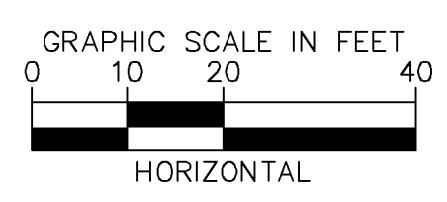
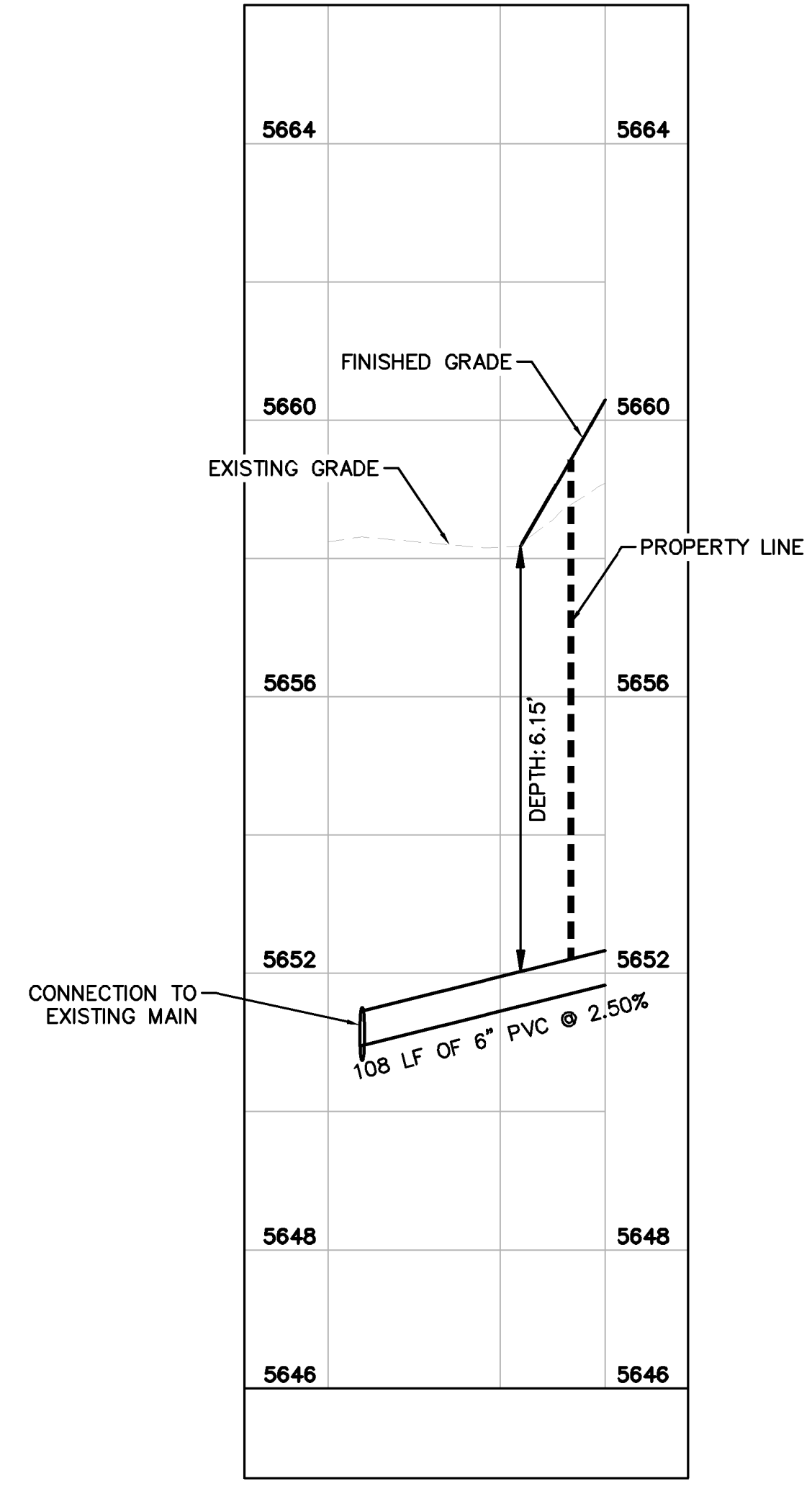
LEGEND

- PROPERTY LINE
- PARCEL LINE
- [Pattern] PROPOSED LANDSCAPING
- [Pattern] EXISTING SIDEWALK
- [Pattern] PROPOSED UNDERGROUND DETENTION
- W PROPOSED WATER LINE AND VALVE
- S PROPOSED SANITARY SEWER LINE
- CNTL PROPOSED CENTURY LINK COMMUNICATION LINE
- G PROPOSED UNDERGROUND GAS LINE
- E PROPOSED POWER LINE AND MANHOLE
- F PROPOSED FIRE LINE
- [Symbol] PROPOSED TRANSFORMER
- G EX. GAS LINE
- S EX. SANITARY SEWER LINE
- E EX. ELECTRIC LINE
- W EX. WATER LINE
- [Symbol] EX. STORM SEWER

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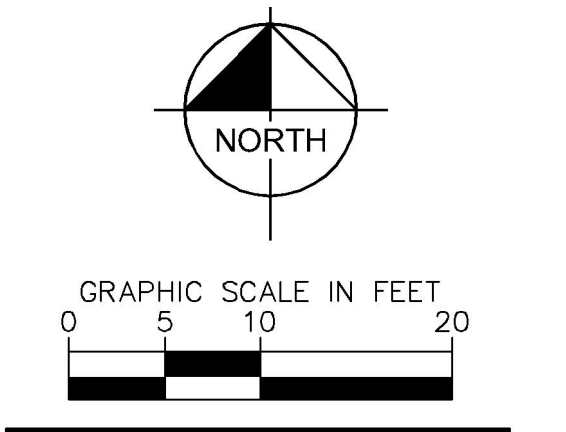
PROPOSED SANITARY CONNECTION WITHIN R.O.W. PROFILE



Construction Documents

Drawn: JAR
Checked: EJJ
Issued: 6 APRIL, 2022
Revised: DECEMBER 13, 2022

Area Key Plan



SANITARY SERVICE PLAN

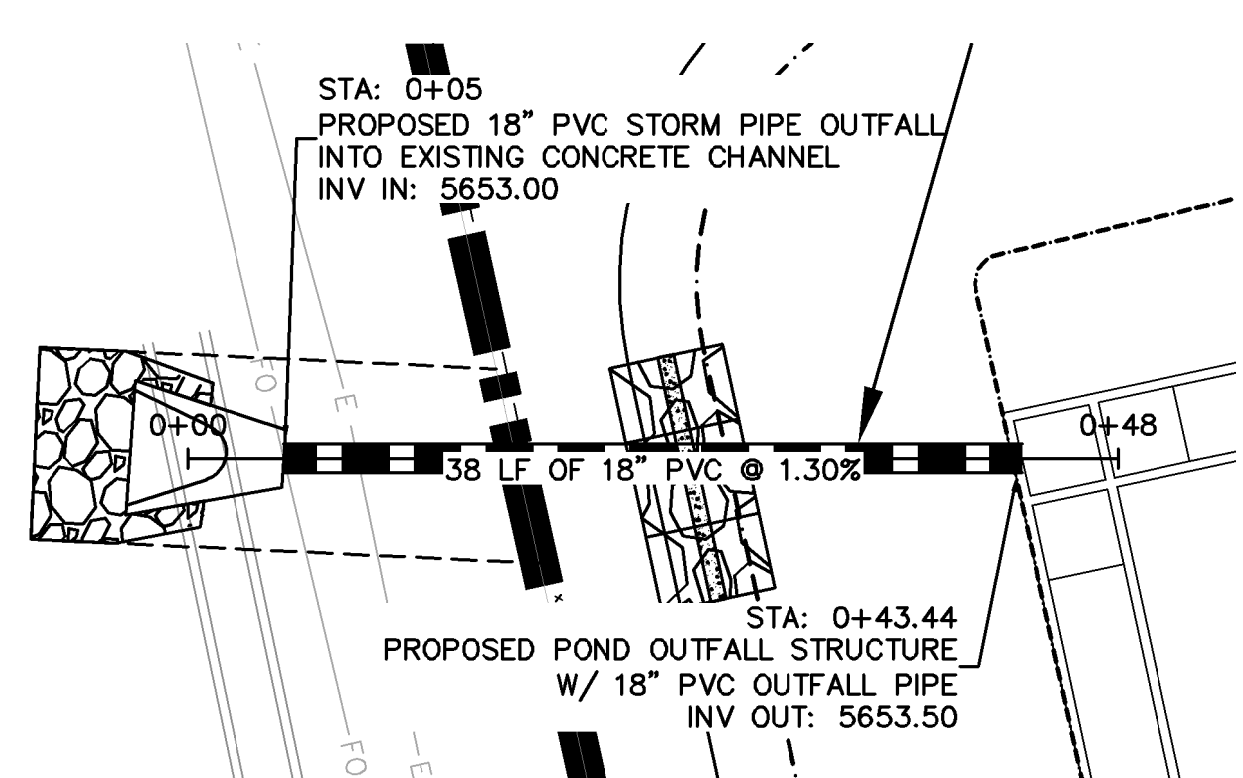
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LEGEND

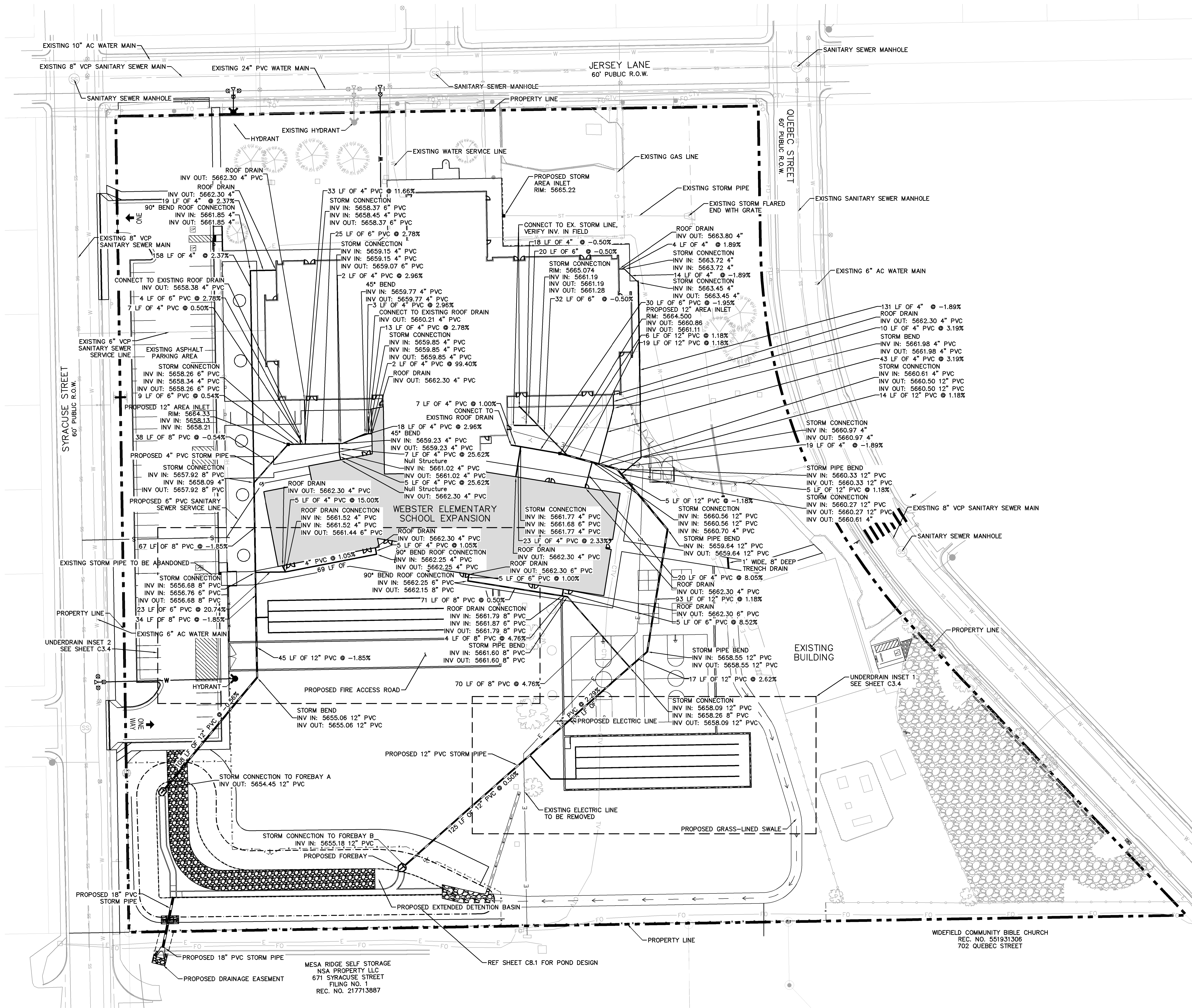
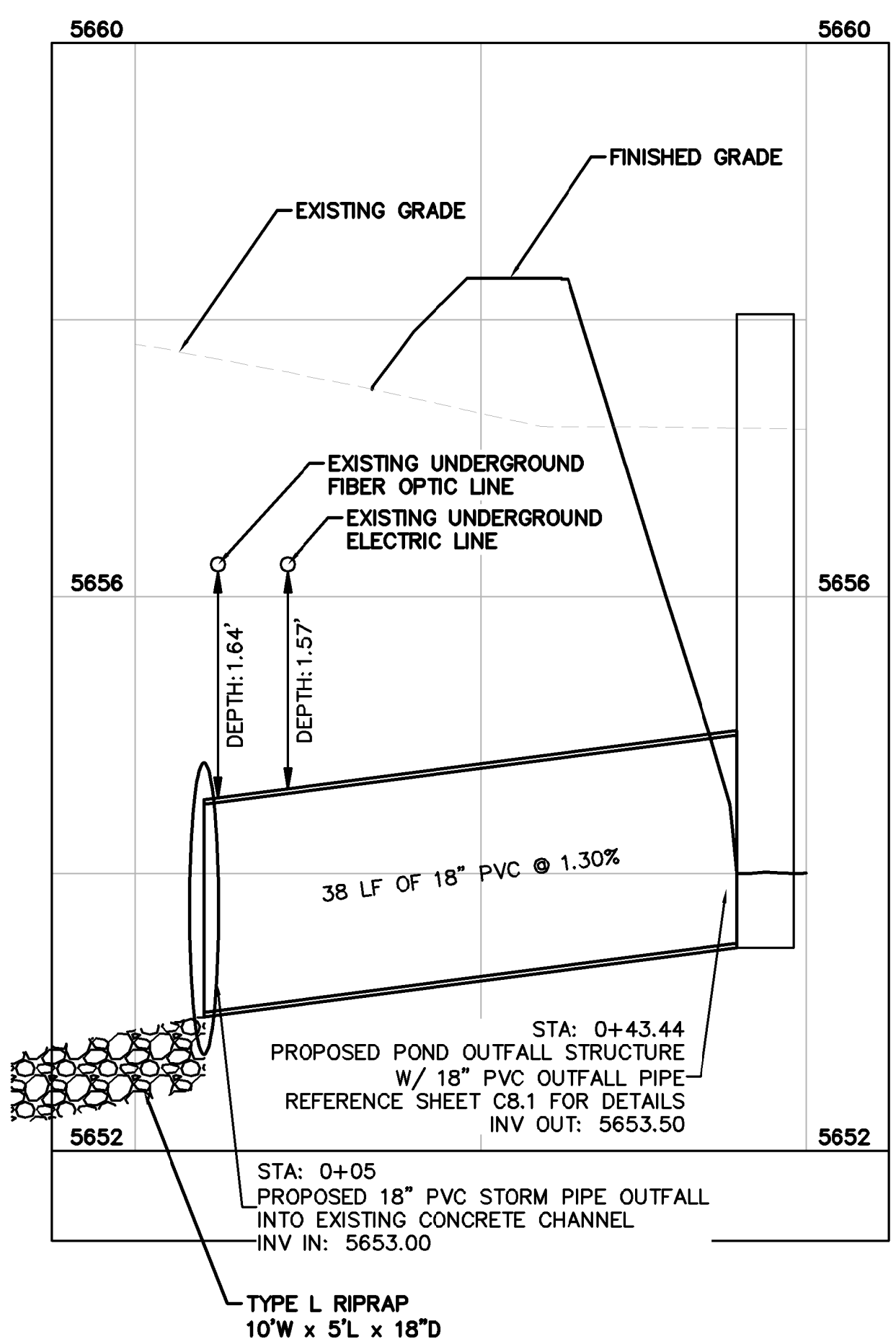
- PROPERTY LINE
- PARCEL LINE
- PROPOSED LANDSCAPING
- EXISTING SIDEWALK
- PROPOSED UNDERGROUND DETENTION
- W --- PROPOSED WATER LINE AND VALVE
- S --- PROPOSED SANITARY SEWER LINE
- PROPOSED CENTURY LINK COMMUNICATION LINE
- G --- PROPOSED UNDERGROUND GAS LINE
- E --- PROPOSED POWER LINE AND MANHOLE
- F --- PROPOSED FIRE LINE
- PROPOSED TRANSFORMER
- G --- EX. GAS LINE
- S --- EX. SANITARY SEWER LINE
- E --- EX. ELECTRIC LINE
- W --- EX. WATER LINE
- EX. STORM SEWER

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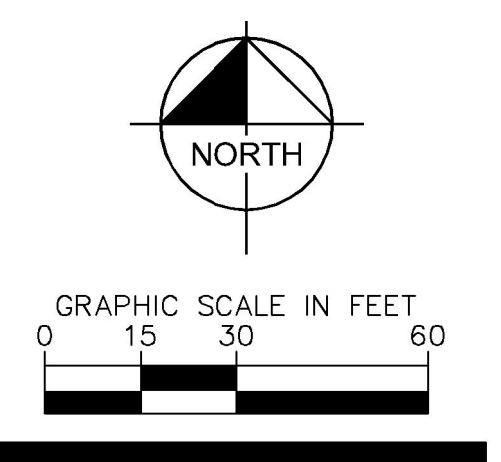
POND OUTFALL PIPE PLAN AND PROFILE



Construction Documents

Drawn: JAR
Checked: EJJ
Issued: 6 APRIL, 2022
Revised: DECEMBER 13, 2022
RFI 31R, JUN 01, 2022

Area Key Plan



STORM PLAN

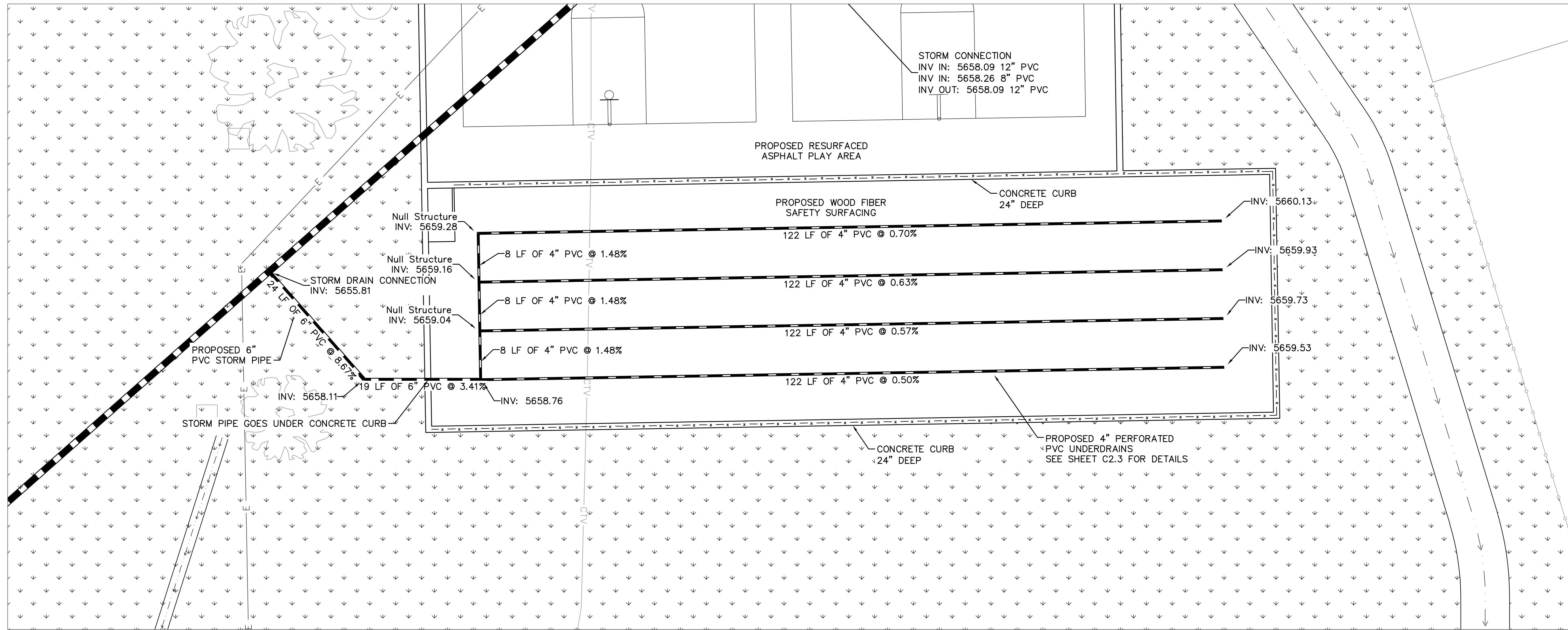
C3.3

LEGEND

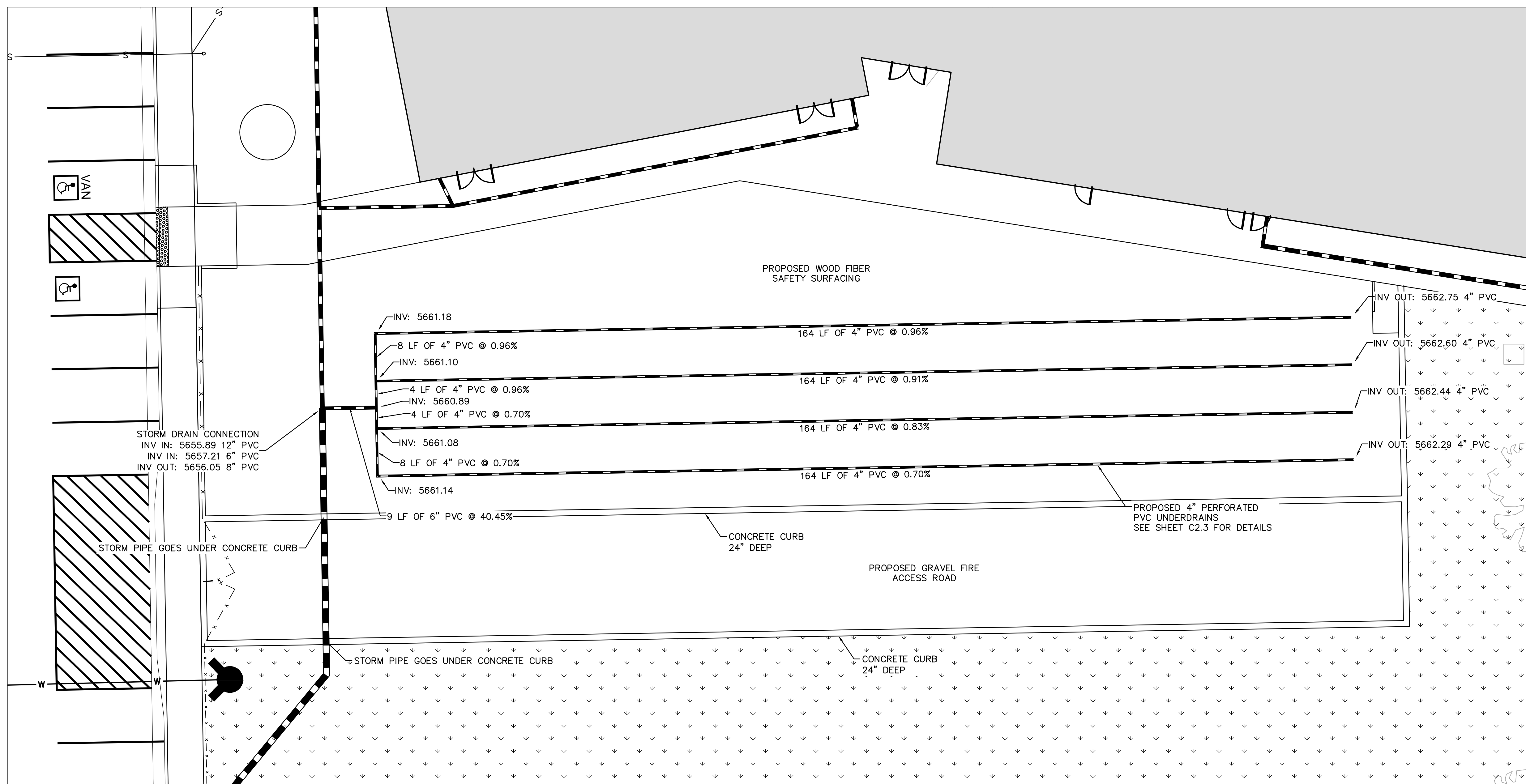
- PROPERTY LINE
- PARCEL LINE
- [Stippled Box] PROPOSED LANDSCAPING
- [Dotted Box] EXISTING SIDEWALK
- [Hatched Box] PROPOSED UNDERGROUND DETENTION
- W PROPOSED WATER LINE AND VALVE
- S PROPOSED SANITARY SEWER LINE
- CNTL PROPOSED CENTURY LINK COMMUNICATION LINE
- G PROPOSED UNDERGROUND GAS LINE
- E PROPOSED POWER LINE AND MANHOLE
- F PROPOSED FIRE LINE
- [Transformer Symbol] PROPOSED TRANSFORMER
- G EX. GAS LINE
- S EX. SANITARY SEWER LINE
- E EX. ELECTRIC LINE
- W EX. WATER LINE
- [Dashed Line] EX. STORM SEWER

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UNDERDRAIN INSET 1



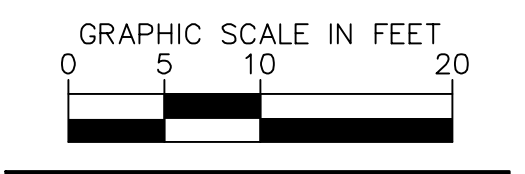
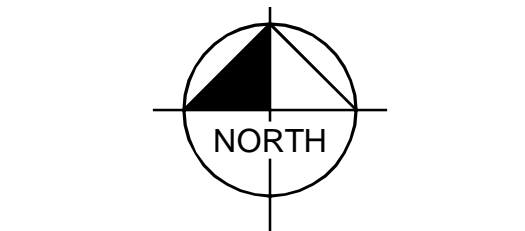
UNDERDRAIN INSET 2



Construction Documents

Drawn: JAR
Checked: EJG
Issued: 6 APRIL, 2022
Revised: DECEMBER 13, 2022
CCD-003, Feb 24, 2022

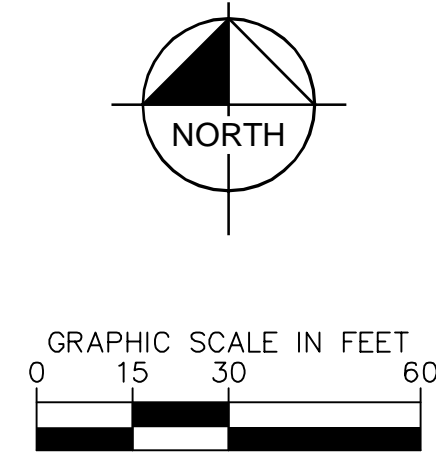
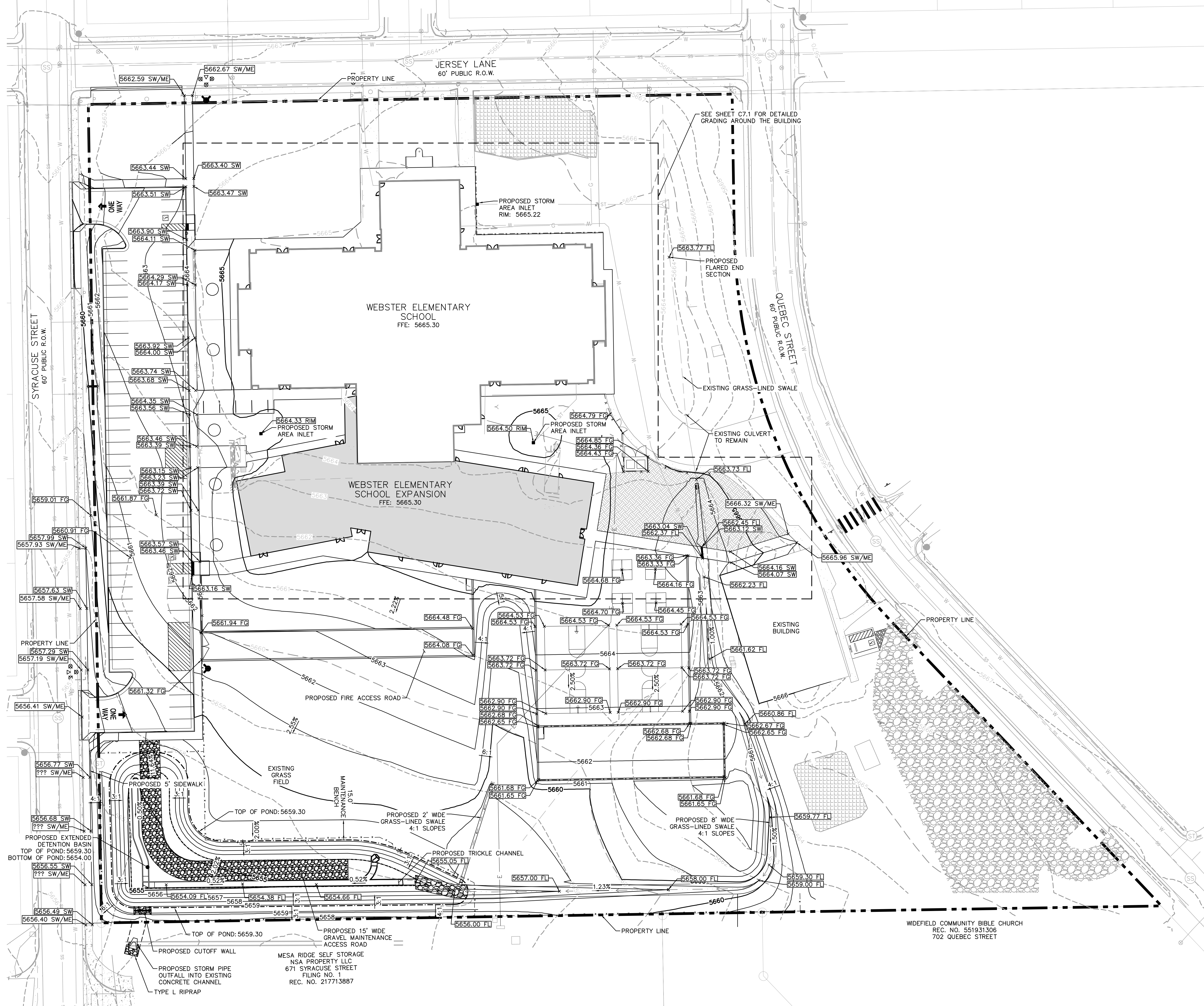
Area Key Plan



STORM UNDERDRAIN PLAN

C3.4

- LEGEND**
- PROPERTY LINE
 - G EX. GAS LINE
 - S EX. SANITARY SEWER LINE
 - E EX. ELECTRIC LINE
 - W EX. WATER LINE
 - EX. STORM SEWER
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - PROPOSED LANDSCAPING
 - EXISTING SIDEWALK
 - FG FINISHED GRADE
 - FFE FINISH FLOOR ELEVATION
 - ME MATCH EXISTING
 - FL FLOWLINE
 - SW SIDEWALK



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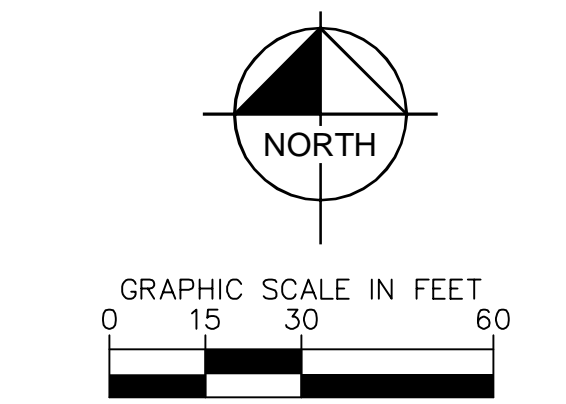
Widefield School District 3
1820 Main Street
Colorado Springs, CO 80911



Construction Documents

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Issued: 6 APRIL, 2022
Revised: DECEMBER 13, 2022

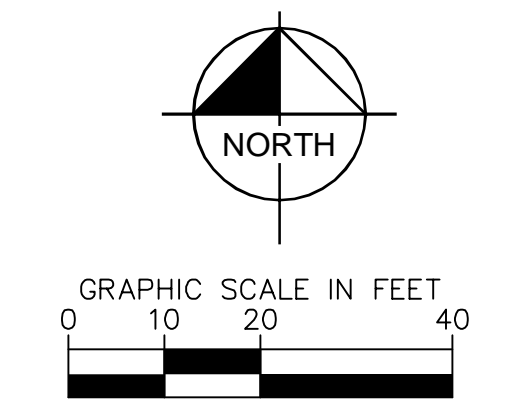
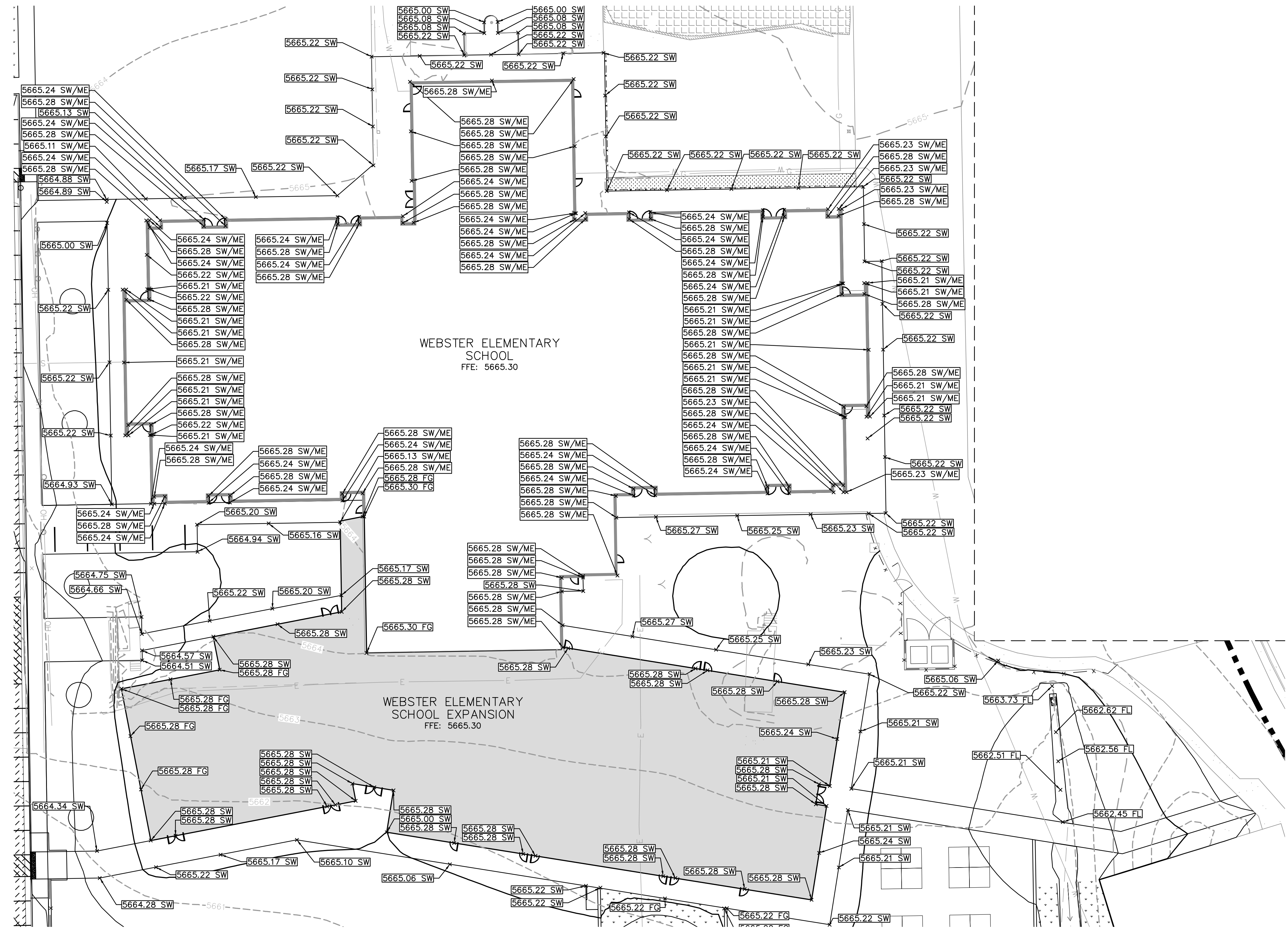
Area Key Plan



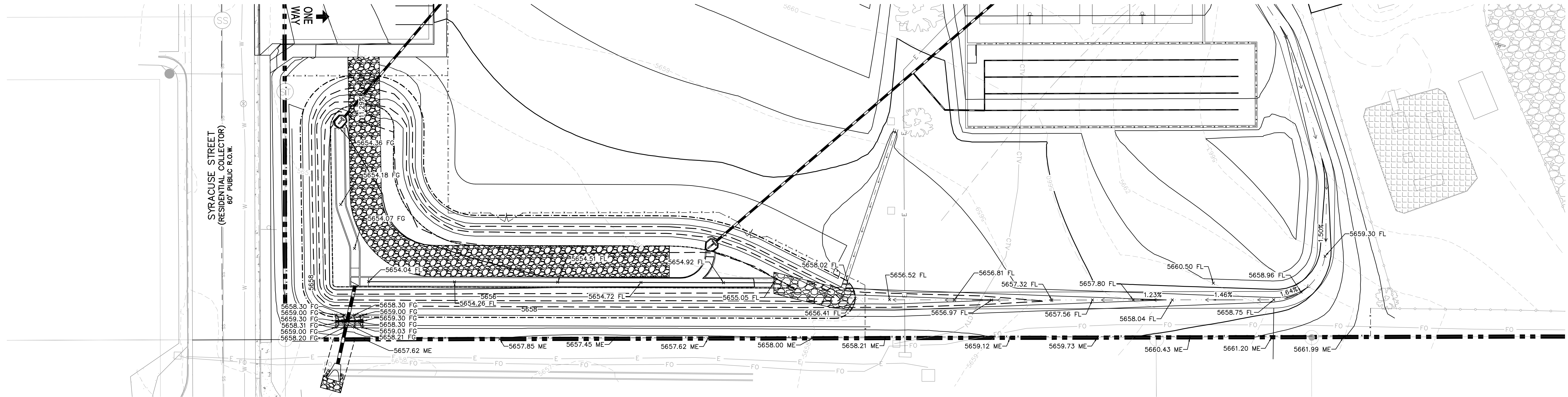
GRADING PLAN

C7.0

- LEGEND**
- PROPERTY LINE
 - G EX. GAS LINE
 - S EX. SANITARY SEWER LINE
 - E EX. ELECTRIC LINE
 - W EX. WATER LINE
 - EX. STORM SEWER
 - 6000 PROPOSED MAJOR CONTOUR
 - 6001 PROPOSED MINOR CONTOUR
 - 6000 EXISTING MAJOR CONTOUR
 - 6001 EXISTING MINOR CONTOUR
 - PROPOSED LANDSCAPING
 - EXISTING SIDEWALK
 - FG FINISHED GRADE
 - FFE FINISH FLOOR ELEVATION
 - ME MATCH EXISTING
 - FL FLOWLINE
 - SW SIDEWALK



- LEGEND**
- PROPERTY LINE
 - G --- EX. GAS LINE
 - S --- EX. SANITARY SEWER LINE
 - E --- EX. ELECTRIC LINE
 - W --- EX. WATER LINE
 - EX. STORM SEWER
 - 6000 --- PROPOSED MAJOR CONTOUR
 - 6001 --- PROPOSED MINOR CONTOUR
 - 6000 --- EXISTING MAJOR CONTOUR
 - 6001 --- EXISTING MINOR CONTOUR
 - PROPOSED LANDSCAPING
 - EXISTING SIDEWALK
 - FG FINISHED GRADE
 - FL FLOWLINE
 - ME MATCH EXISTING



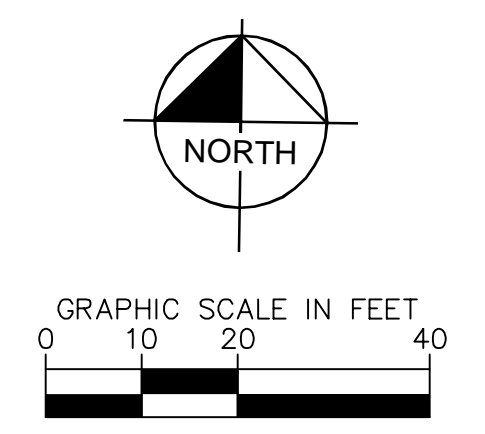
**Webster Elementary School
Addition and Alterations**
445 Jersey Lane, Colorado Springs, CO 80911



Construction Documents

Drawn: JAR
Checked: EJG
Issued: 6 APRIL, 2022
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Area Key Plan



POND GRADING PLAN

C8.0

Project No.: PPR-22-009 21-003
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