

THE CITIZEN ON CONSTITUTION SITE DEVELOPMENT PLAN

**A PORTION OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M.,
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO**

LEGAL DESCRIPTION

PARCEL A:

A PARCEL OF LAND LOCATED IN SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 5; THENCE SOUTH 89°53'50" WEST, 30.00 FEET ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 5 TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF MARKSHEFFEL ROAD; THENCE SOUTHERLY RIGHT-OF-WAY LINE OF PROPOSED 120.00 FOOT WIDE RIGHT-OF-WAY LINE TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF PROPOSED 120.00 FOOT WIDE RIGHT-OF-WAY LINE OF CONSTITUTION AVENUE TO THE POINT OF BEGINNING OF THE TRACT OF LAND HEREIN DESCRIBED; THENCE SOUTH 00°20'42" WEST, 435.00 FEET ALONG SAID WESTERLY RIGHT-OF-WAY LINE OF MARKSHEFFEL ROAD TO THE SOUTHEAST CORNER OF THE TRACT OF LAND DESCRIBED IN BOOK 2083 AT PAGE 587 OF THE RECORDS OF SAID COUNTY; THENCE SOUTH 89°53'50" WEST, 1292.28 FEET ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE TO THE POINT OF BEGINNING, EL PASO COUNTY, COLORADO.

EXCEPT THAT PORTION DESCRIBED AS FOLLOWS: THAT PORTION OF THE NORTHEAST ONE-QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M., SITUATE IN EL PASO COUNTY, COLORADO, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 5 THENCE SOUTH 89°53'50" WEST ON THE NORTH LINE THEREOF, 1322.28 FEET TO THE NORTHWEST CORNER OF SAID NORTHEAST ONE-QUARTER OF SECTION 5, THENCE SOUTH 00°20'41" WEST ON THE WEST LINE OF SAID NORTHEAST ONE-QUARTER OF SECTION 5, 60.00 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF PROPOSED 120.00 FOOT RIGHT-OF-WAY OF CONSTITUTION AVENUE AND THE POINT OF BEGINNING OF THE TRACT OF LAND HEREIN DESCRIBED, THENCE (1) CONTINUE ON THE LAST MENTIONED COURSE 435.00 FEET; (2) NORTH 89°53'50" EAST, 172.42 FEET; (3) NORTH 00°20'41" EAST 435.00 FEET TO A POINT ON SAID SOUTHERLY RIGHT-OF-WAY LINE OF PROPOSED CONSTITUTION AVENUE; (4) SOUTH 89°53'50" WEST ON SAID SOUTHERLY RIGHT-OF-WAY LINE OF PROPOSED CONSTITUTION AVENUE, 172.42 FEET TO THE POINT OF BEGINNING.

EXCEPT THAT PORTION CONVEYED TO THE BOARD OF COUNTY COMMISSIONER, EL PASO COUNTY, COLORADO IN WARRANTY DEED RECORDED JUNE 9, 2010 UNDER RECEPTION NO. 210054574.

COUNTY OF EL PASO,
STATE OF COLORADO.

PARCEL B:

THAT PORTION OF THE NORTHEAST ONE-QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, SITUATE IN COUNTY EL PASO, STATE OF COLORADO AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 5, THENCE SOUTH 89°53'50" WEST ON THE NORTH LINE THEREOF, 1,322.28 FEET TO THE NORTHWEST CORNER OF SAID NORTHEAST ONE-QUARTER OF SECTION 5, THENCE SOUTH 00°20'41" WEST ON THE WEST LINE OF SAID NORTHEAST ONE-QUARTER OF SECTION 5, 60.00 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF PROPOSED 120.00 FOOT RIGHT OF WAY OF CONSTITUTION AVENUE AND THE POINT OF BEGINNING OF THE TRACT OF LAND HEREIN DESCRIBED, THENCE (1) CONTINUE ON LAST MENTIONED COURSE, 435.00 FEET; (2) NORTH 89°53'50" EAST, 172.42 FEET; (3) NORTH 00°20'41" EAST, 435.00 FEET TO A POINT ON SAID SOUTHERLY RIGHT OF WAY LINE OF PROPOSED CONSTITUTION AVENUE; (4) SOUTH 89°53'50" WEST ON SAID SOUTHERLY RIGHT OF WAY LINE OF PROPOSED CONSTITUTION AVENUE, 172.42 FEET TO A POINT OF BEGINNING.

COUNTY OF EL PASO,
STATE OF COLORADO.

(PER TITLE COMMITMENT FILE NO. NCS-1074278-INDY AS PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY.)

GENERAL NOTES

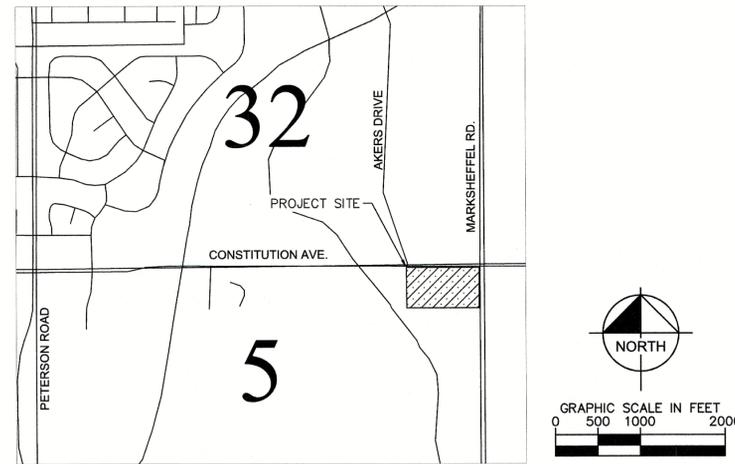
- BASED ON ELEVATION DATA, THE APPLICANT WILL NEED TO FILE FEDERAL AVIATION ADMINISTRATION (FAA) FORM 7460-1 "NOTICE OF PROPOSED CONSTRUCTION OR ALTERATION" FOR ANY NEW VERTICAL DEVELOPMENT AT THIS SITE, INCLUDING TEMPORARY CONSTRUCTION EQUIPMENT, AND PROVIDE FAA DOCUMENTATION TO THE AIRPORT BEFORE THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES; FAA'S WEBSITE: (<https://oiaa.faa.gov/oiaa/external/portal.jsp>)
- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

SITE DATA

ZONING CLASSIFICATION: RESIDENTIAL, MULTI-DWELLING (RM-30)
LAND USE: RESIDENTIAL, MULTI-FAMILY
JURISDICTION: EL PASO COUNTY
SITE ADDRESS: 7640 & 7750 CONSTITUTION AVE.
TAX SCHEDULE NO.: 5405104075 AND 5405104074
BUILDING SETBACKS: 25' FRONT SETBACK (AKERS DRIVE)
15' SIDE SETBACK
15' REAR SETBACK
MAXIMUM LOT COVERAGE: 60%
PROPOSED EASEMENTS: REFER TO FINAL PLAT
LANDSCAPE: 5% OF INTERIOR LOT (NOT INCLUDING LANDSCAPE BUFFER)
SITE COVERAGE: BUILDING - 2.55 AC | 26%±
PAVEMENT/HARDSCAPE - 4.42 AC | 45%±
LANDSCAPING (INCLUDES OPEN SPACE) - 2.85 AC | 29%±

BUILDING DATA

BUILDING HEIGHT: PROPOSED: 40.0'
MAXIMUM BY CODE: 40.0'
PROPOSED LOT COVERAGE: 26%±
PROPOSED BUILDING GROSS SF: ±310,730 SF
NO BUILD AREAS: N/A



SITE DEVELOPMENT PLAN	
Sheet Number	Sheet Title
C1.0	COVER SHEET
C2.0	OVERALL SITE INDEX PLAN
C2.1	SITE PLAN (W)
C2.2	SITE PLAN (C)
C2.3	SITE PLAN (E)
C2.4	GRADING PLAN (W)
C2.5	GRADING PLAN (C)
C2.6	GRADING PLAN (E)
C3.0	UTILITY PLAN COVER SHEET
C3.1	UTILITY PLAN NOTES
C3.2	UTILITY PLAN NOTES
C3.3	UTILITY SERVICE PLAN
C3.4	UTILITY SERVICE PLAN
C3.5	WATER PLAN
C3.6	WATER PLAN
C3.7	SAN. SEWER PLAN & PROFILE LINE A
C3.8	SAN. SEWER PLAN & PROFILE LINE A
C4.0	STORM PLAN & PROFILE COVER SHEET
C4.1	STORM PLAN AND PROFILE LINE A
C4.2	STORM PLAN AND PROFILE LINE B & C
C4.3	STORM PLAN AND PROFILE LINE D
C4.4	STORM PLAN AND PROFILE LINE D
C4.5	STORM PLAN AND PROFILE LINE E
C4.6	STORM PLAN AND PROFILE LINE F
C4.7	STORM PLAN AND PROFILE LINE F
C4.8	STORM PLAN AND PROFILE LINE G
C4.9	STORM PLAN AND PROFILE LINE H
C4.10	STORM PLAN AND PROFILE LINE I & J
C4.11	DETENTION POND PLAN AND DETAILS
C5.0	CONSTRUCTION DETAILS
C5.1	CONSTRUCTION DETAILS

* SHEETS PROVIDED AS SEPARATE DOCUMENTS

* BUILDING ELEVATION PLANS	
SHEET NUMBER	SHEET TITLE
A4-00	BUILDING A ELEVATIONS
A4-01	BUILDING A ELEVATIONS
A4-02	BUILDING A ELEVATIONS
A4-03	BUILDING A ELEVATIONS
A4-10	BUILDING B ELEVATIONS
A4-11	BUILDING B ELEVATIONS
A4-12	BUILDING B ELEVATIONS
A4-13	BUILDING B ELEVATIONS
* FLOOR PLANS	
SHEET NUMBER	SHEET TITLE
A3-01	BUILDING A 1ST FLOOR PLANS
A3-02	BUILDING A 2ND FLOOR PLANS
A3-03	BUILDING A 3RD FLOOR PLANS
A3-04	BUILDING A ROOF PLANS
A3-11	BUILDING B 1ST FLOOR PLANS
A3-12	BUILDING B 2ND FLOOR PLANS
A3-13	BUILDING B 3RD FLOOR PLANS
A3-14	BUILDING B ROOF PLANS
* LANDSCAPE PLANS	
SHEET NUMBER	SHEET TITLE
--	COVER SHEET
L600	OVERALL LANDSCAPE PLAN
L601	LANDSCAPE PLAN
L602	LANDSCAPE PLAN
L603	LANDSCAPE PLAN
L604	LANDSCAPE PLAN
L605	LANDSCAPE PLAN
L606	LANDSCAPE PLAN
L607	COURTYARD ENLARGEMENT
L608	NOTES AND TABULATIONS
L609	LANDSCAPE DETAILS
L610	LANDSCAPE DETAILS & NOTES
L611	SITE DETAILS
L612	SITE DETAILS
L613	SITE DETAILS
L614	SITE DETAILS
* LIGHTING PLANS	
SHEET NUMBER	SHEET TITLE
E0-01	SITE PLAN - ELECTRICAL
E0-02	SITE PLAN - PHOTOMETRICS
E0-03	SITE PLAN - CUT SHEETS
E0-04	SITE PLAN - CUT SHEETS
E0-05	SITE PLAN - CUT SHEETS
* SIGN PLANS	
SHEET NUMBER	SHEET TITLE
L700	OVERALL SIGN PLAN
L701	SIGN DETAILS

LAND AREA:

TOTAL PROPERTY AREA: +/- 9.812 ACRES

BENCHMARK:

ELEVATIONS ARE BASED UPON CITY OF COLORADO SPRINGS FIMS BENCHMARK "BLT104" (ELEVATION=6452.43 NGVD29)

SOIL TYPE:

THE SOIL ON SITE IS USGS HYDROLOGIC SOIL GROUP A/B.

FEMA CLASSIFICATION

FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP, MAP NUMBER 08041C0756G, EFFECTIVE DATE DECEMBER 7, 2018, INDICATES THIS PARCEL OF LAND TO BE LOCATED IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).

PARKING COUNTS

	PARKING REQUIRED	PARKING PROVIDED
OFF-STREET PARKING	1 BEDROOM: 1.5/DU = 144	293 (REGULAR) 93 (COMPACT) 66 (GARAGE) TOTAL = 452
	2 BEDROOM: 1.7/DU = 160	
	3 BEDROOM: 2.0/DU = 72	
	GUEST: 1/3 DU = 76	
ADA	1/25 SPACES = 19	19 (INCLUDES 2 ADA GARAGE)
BICYCLE PARKING	5% OF REQUIRED STALLS = 23	23

CONTACTS:

OWNER:
THE GARRETT COMPANIES
1051 GREENWOOD SPRINGS BLVD, SUITE 101
GREENWOOD, IN 46143
TEL: (317) 886-7926
CONTACT: KARL STOUT

ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
2 NORTH NEVADA AVENUE, SUITE 300
COLORADO SPRINGS, CO 80903
TEL: (719) 453-0180
CONTACT: MITCHELL HESS, P.E.

EL PASO COUNTY:
EL PASO COUNTY
PCD DEPARTMENT
2880 INTERNATIONAL CIRCLE, SUITE 110
COLORADO SPRINGS, CO 80910
PHONE: (719) 520-6300

SURVEYOR:
BARRON LAND, LLC
2790 N. ACADEMY BLVD. SUITE 311
COLORADO SPRINGS, CO 80917
TEL: (719) 360-6827
CONTACT: SPENCER BARRON, PLS

PROPERTY OWNER ACKNOWLEDGEMENT

CITIZEN ON CONSTITUTION, LLC, BEING THE OWNER(S) OF THE LAND DESCRIBED HEREIN HAVE CAUSED SAID LAND TO BE SITE PLANNED UNDER THE NAME OF CITIZEN ON CONSTITUTION. ALL CONDITIONS, TERMS, AND SPECIFICATIONS DESIGNATED OR DESCRIBED ON THIS DOCUMENT SHALL BE BINDING ON THE OWNERS, THEIR HEIRS, SUCCESSORS AND ASSIGNS.

NO CHANGES MAY BE MADE TO THIS SITE DEVELOPMENT PLAN WITHOUT COUNTY APPROVAL. MINOR CHANGES TO THE SITE DEVELOPMENT PLAN MAY BE APPROVED ADMINISTRATIVELY BY THE COUNTY PLANNING DEPARTMENT. MAJOR CHANGES TO THIS SITE DEVELOPMENT PLAN, ESPECIALLY DELETIONS OF APPROVED ITEMS OR SUBSTANTIAL CHANGES IN BUILDING LOCATION SHALL BE SUBJECT TO THE SAME APPLICATION, REVIEW AND APPEAL PROCESSES APPLICABLE TO THE ORIGINAL SITE DEVELOPMENT PLAN. ENGINEERING, GRADING, AND CONSTRUCTION PLANS ARE NOT PART OF THIS APPROVAL.

IN WITNESS WHEREOF, WE HAVE HEREUNTO SET OUR HANDS AND SEALS THIS 9 DAY OF December, 2022.

[PROPERTY OWNER]

NOTARY CERTIFICATE
(STATE OF Indiana)
(COUNTY OF Johnson)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 9th DAY OF December, 2022, BY Eric Garrett, Manager (NAME AND TITLE) Citizen on Constitution, LLC

MY COMMISSION EXPIRES: May 10, 2028

ADDRESS OF NOTARY: 4010 W 100th N, Bergersville, IN 46104

[Signature]
NOTARY PUBLIC

RACHEL MCNICHOUS
Notary Public - Seal
Johnson County - State of Indiana
Commission Number: NP0726701
My Commission Expires May 10, 2028

OWNER/DEVELOPER STATEMENT

I, THE OWNER/DEVELOPER ACCEPT THE CONDITIONS AND RESTRICTIONS AS SET FORTH ON THE FINAL DEVELOPMENT PLAN.

CITIZEN ON CONSTITUTION, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS SUCCESSORS AND/OR ASSIGNS

BY: Eric Garrett

TITLE: Manager

ADDRESS: 1051 Greenwood Springs Blvd
Greenwood, IN 46143

Kimley»Horn

2022 KIMLEY-HORN AND ASSOCIATES, INC.
2 North Nevada Avenue, Suite 300
Colorado Springs, CO 80903 (303) 228-2300

DESIGNED BY: MOH
DRAWN BY: JMM
CHECKED BY: MOH
DATE: 12/07/2022

THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
SITE DEVELOPMENT PLAN
COVER SHEET

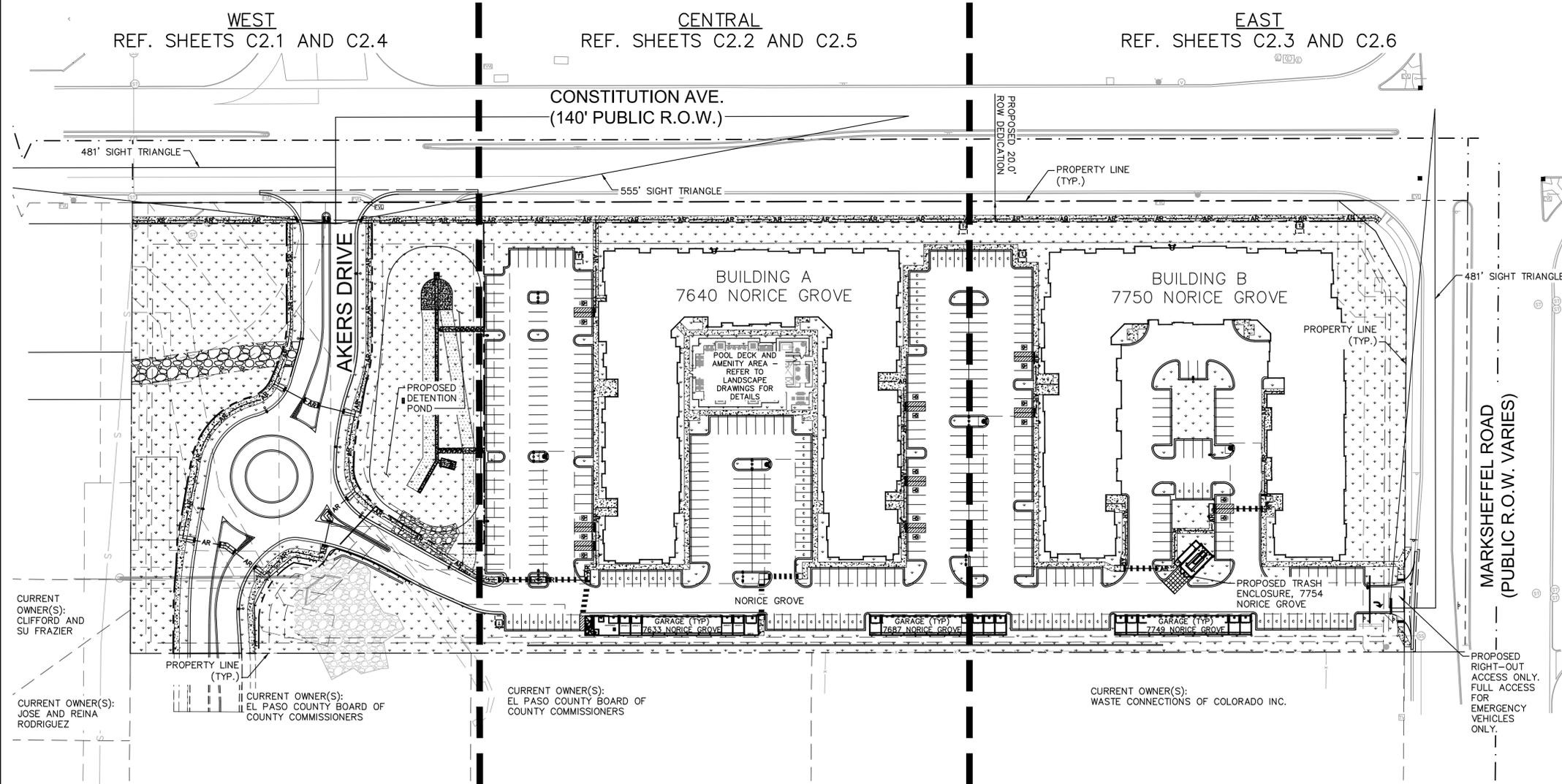
PROJECT NO.
096481004

SHEET
C1.0

NO. BY DATE APPR.
REVISION

THE CITIZEN ON CONSTITUTION SITE DEVELOPMENT PLAN

A PORTION OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M.,
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



LEGEND

- PROPERTY LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- ACCESSIBLE ROUTE
- PROPOSED LANDSCAPE
- PARKING COUNT
- COMPACT PARKING COUNT
- EXISTING RIPRAP

RETAINING WALL NOTE

- FALL PROTECTION RAILING SHALL BE PROVIDED AT ALL RETAINING WALLS THAT ARE 30" IN HEIGHT OR TALLER.
- REFER TO SHEET 14 OF THE AKERS DRIVE & ACCESS ROAD ROUNDABOUT ROADWAY CONSTRUCTION DOCUMENTS FOR THE FALL PROTECTION DETAILS.

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CURRENT OWNER(S):
CLIFFORD AND SU FRAZIER

CURRENT OWNER(S):
JOSE AND REINA RODRIGUEZ

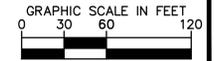
CURRENT OWNER(S):
EL PASO COUNTY BOARD OF COUNTY COMMISSIONERS

CURRENT OWNER(S):
EL PASO COUNTY BOARD OF COUNTY COMMISSIONERS

CURRENT OWNER(S):
WASTE CONNECTIONS OF COLORADO INC.



CALL UTILITY NOTIFICATION CENTER OF COLORADO
1-800-922-1987
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES



NO.	REVISION	BY	DATE	APPR.

Kimley»Horn
2022 KIMLEY-HORN AND ASSOCIATES, INC.
2 North Nevada Avenue, Suite 300
Colorado Springs, CO 80903 (303) 228-2300

DESIGNED BY: MOH
DRAWN BY: JWM
CHECKED BY: MOH
DATE: 12/07/2022

THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
SITE DEVELOPMENT PLAN
OVERALL SITE INDEX PLAN

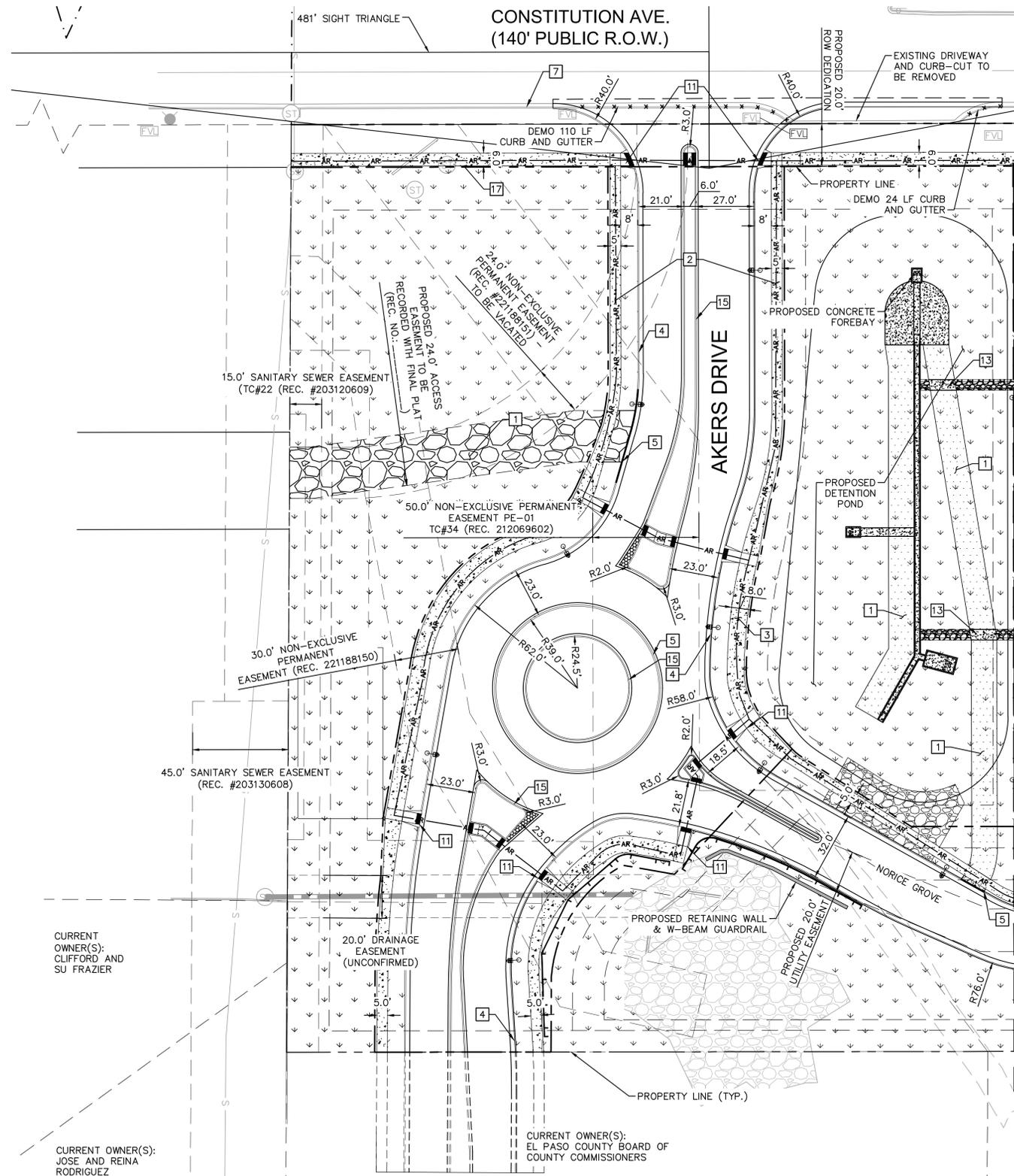


PROJECT NO.
096481004

SHEET
C2.0

THE CITIZEN ON CONSTITUTION SITE DEVELOPMENT PLAN

A PORTION OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M.,
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



LEGEND

	PROPERTY LINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	ACCESSIBLE ROUTE
	PROPOSED LANDSCAPE
	PARKING COUNT
	COMPACT PARKING COUNT
	EXISTING RIPRAP

KEYNOTE LEGEND

- 1 PROPOSED MAINTENANCE ACCESS ROAD, REFERENCE SHEET C4.11 FOR DETAILS
- 2 PROPOSED 5' WIDE CONCRETE SIDEWALK PER COLORADO SPRING STANDARD DRAWING D-2, REFERENCE SHEET C5.0 FOR DETAILS
- 3 PROPOSED 8' WIDE CONCRETE SIDEWALK PER COLORADO SPRING STANDARD DRAWING D-2, REFERENCE SHEET C5.0 FOR DETAILS
- 4 PROPOSED 6" VERTICAL CURB (TYPE A) PER EL PASO COUNTY STANDARD DRAWING SD_2-20, REFERENCE SHEET C5.0 FOR DETAILS
- 5 PROPOSED MOUNTABLE CURB (TYPE C) PER EL PASO COUNTY STANDARD DRAWING SD_2-20, REFERENCE SHEET C5.0 FOR DETAILS
- 6 PROPOSED LANDSCAPE AREA
- 7 EXISTING CURB AND GUTTER
- 8 PROPOSED ADA PARKING, REFERENCE SHEET C5.1 FOR DETAILS
- 9 PROPOSED RETAINING WALL
- 10 PROPOSED CURB CHASE PER COLORADO SPRINGS STANDARD DRAWING D-21, REFERENCE SHEET C5.0 FOR DETAILS
- 11 PROPOSED CURB RAMP PER EL PASO COUNTY STANDARD DRAWING SD_2-40 AND SD_2-41, REFERENCE SHEET C5.0 FOR DETAILS
- 12 PROPOSED PARALLEL CURB RAMP PER EL PASO COUNTY STANDARD DRAWING SD_2-50, REFERENCE SHEET C5.0
- 13 5' CONCRETE VALLEY GUTTER, REFERENCE SHEET C5.0 FOR DETAILS
- 14 PROPOSED HYDRANT
- 15 PROPOSED 6" VERTICAL CURB (TYPE B) PER EL PASO COUNTY STANDARD DRAWING SD_2-20, REFERENCE SHEET C5.0 FOR DETAILS
- 16 PROPOSED ACCESSIBLE PARKING STALL SIGNAGE. REFERENCE SHEET C5.0 FOR DETAILS
- 17 PROPOSED 6' WIDE CONCRETE SIDEWALK PER COLORADO SPRING STANDARD DRAWING D-2, REFERENCE SHEET C5.0 FOR DETAILS
- 18 PROPOSED BIKE RACK WITH 6 SPACES

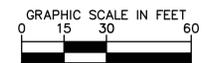
MATCHLINE: SEE SHEET C22



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CURRENT OWNER(S):
JOSE AND REINA RODRIGUEZ

CURRENT OWNER(S):
EL PASO COUNTY BOARD OF COUNTY COMMISSIONERS



NO.	REVISION	BY	DATE	APPR.

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2 North Nevada Avenue, Suite 300
Colorado Springs, CO 80903 (303) 228-2300

DESIGNED BY: MOH
DRAWN BY: JWM
CHECKED BY: MOH
DATE: 12/07/2022

THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
SITE DEVELOPMENT PLAN
SITE PLAN (W)



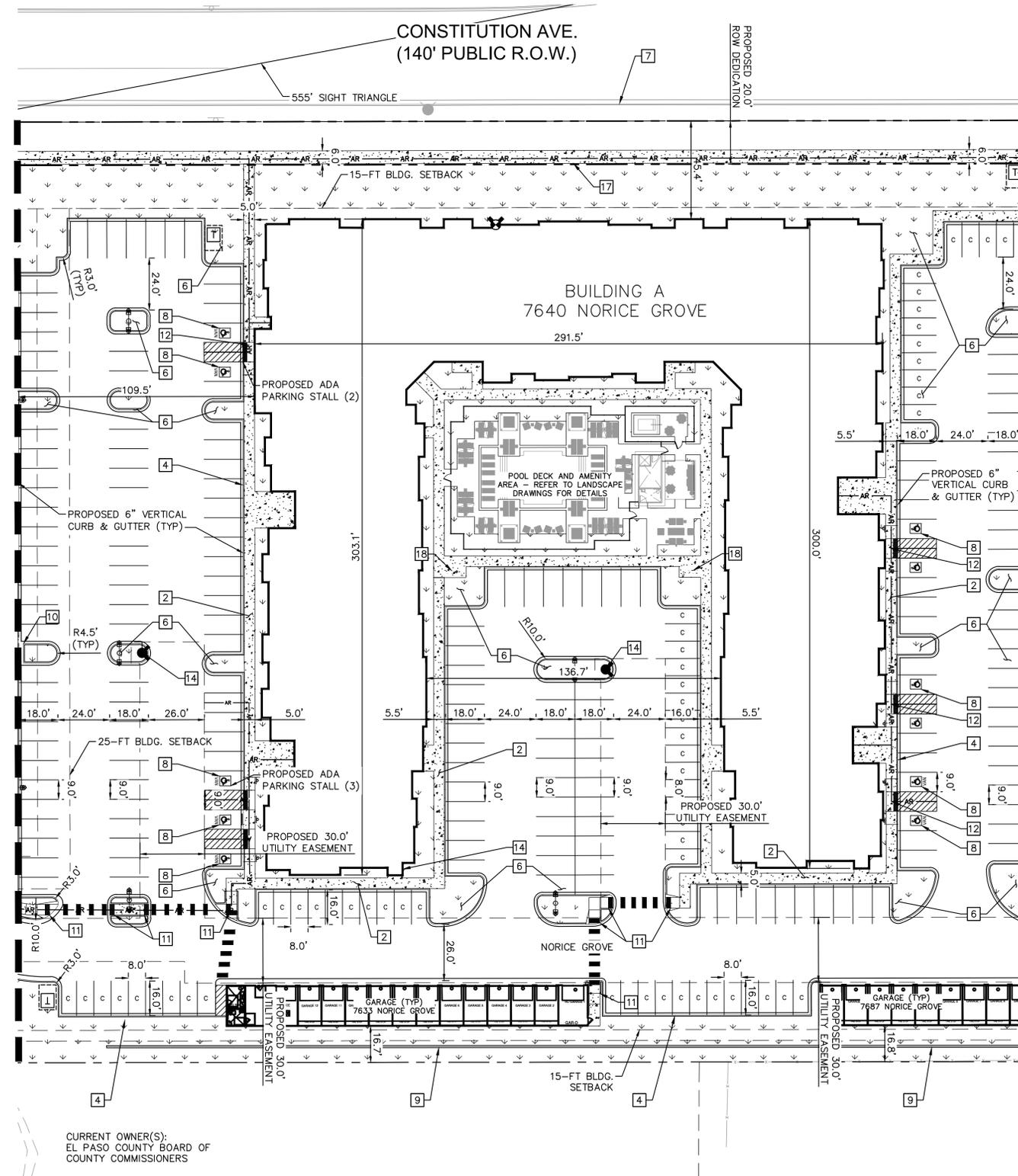
PROJECT NO.
096481004

SHEET

C2.1

THE CITIZEN ON CONSTITUTION SITE DEVELOPMENT PLAN

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LEGEND

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	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	ACCESSIBLE ROUTE
	PROPOSED LANDSCAPE
	PARKING COUNT
	COMPACT PARKING COUNT
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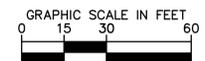
MATCHLINE: SEE SHEET C2.1

MATCHLINE: SEE SHEET C2.3

CURRENT OWNER(S):
EL PASO COUNTY BOARD OF
COUNTY COMMISSIONERS



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MEMBER UTILITIES



NO.	REVISION	BY	DATE	APPR.

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2 North Nevada Avenue, Suite 300
Colorado Springs, CO 80903 (303) 228-2300

DESIGNED BY: MOH
DRAWN BY: JWM
CHECKED BY: MOH
DATE: 12/07/2022

THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
SITE DEVELOPMENT PLAN
SITE PLAN (C)



PROJECT NO.
096481004

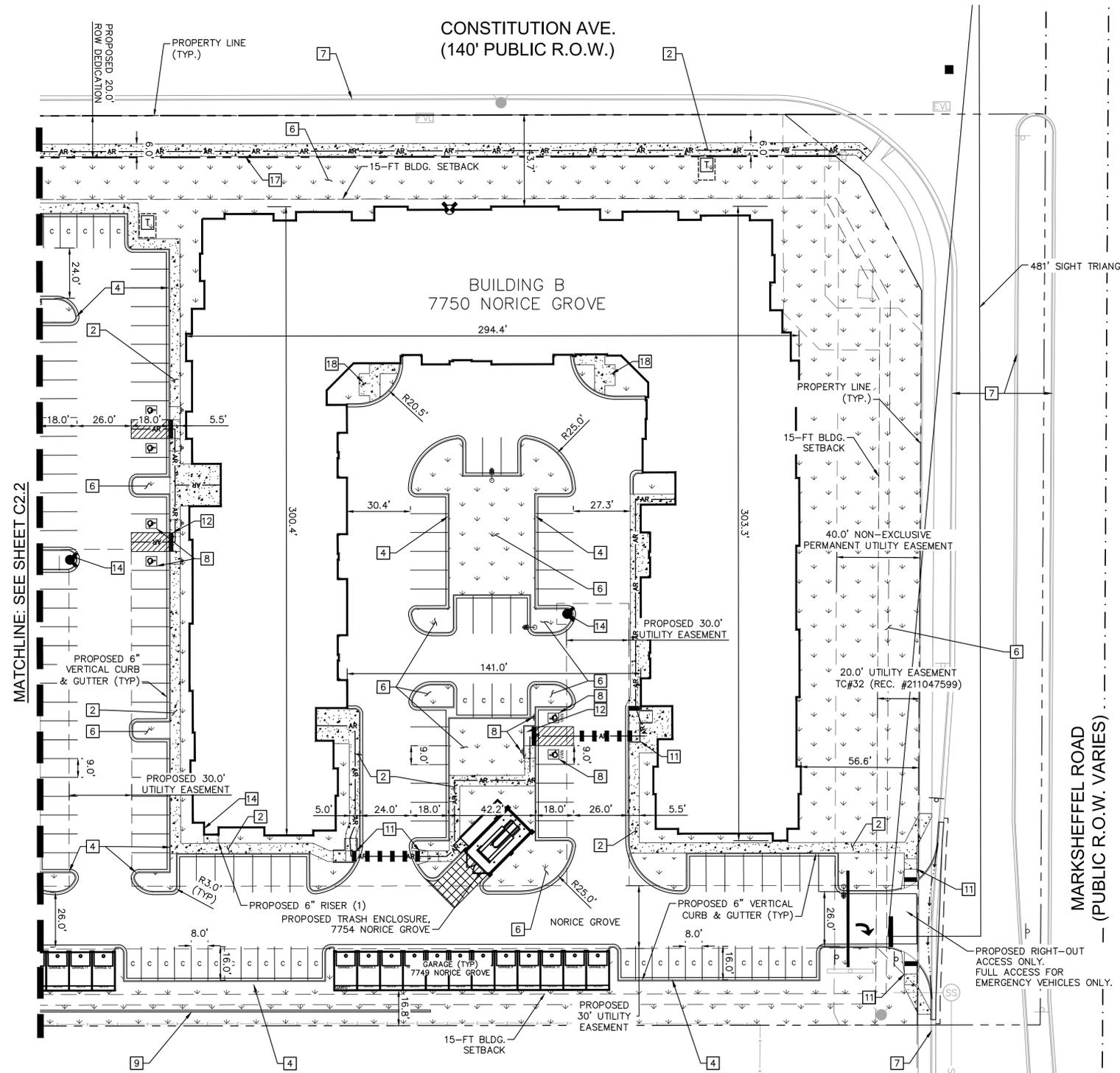
SHEET

C2.2

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CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



LEGEND

	PROPERTY LINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	ACCESSIBLE ROUTE
	PROPOSED LANDSCAPE
	PARKING COUNT
	COMPACT PARKING COUNT
	EXISTING RIPRAP

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- 1 PROPOSED MAINTENANCE ACCESS ROAD, REFERENCE SHEET C4.11 FOR DETAILS
- 2 PROPOSED 5' WIDE CONCRETE SIDEWALK PER COLORADO SPRING STANDARD DRAWING D-2, REFERENCE SHEET C5.0 FOR DETAILS
- 3 PROPOSED 8' WIDE CONCRETE SIDEWALK PER COLORADO SPRING STANDARD DRAWING D-2, REFERENCE SHEET C5.0 FOR DETAILS
- 4 PROPOSED 6" VERTICAL CURB (TYPE A) PER EL PASO COUNTY STANDARD DRAWING SD_2-20, REFERENCE SHEET C5.0 FOR DETAILS
- 5 PROPOSED MOUNTABLE CURB (TYPE C) PER EL PASO COUNTY STANDARD DRAWING SD_2-20, REFERENCE SHEET C5.0 FOR DETAILS
- 6 PROPOSED LANDSCAPE AREA
- 7 EXISTING CURB AND GUTTER
- 8 PROPOSED ADA PARKING, REFERENCE SHEET C5.1 FOR DETAILS
- 9 PROPOSED RETAINING WALL
- 10 PROPOSED CURB CHASE PER COLORADO SPRINGS STANDARD DRAWING D-21, REFERENCE SHEET C5.0 FOR DETAILS
- 11 PROPOSED CURB RAMP PER EL PASO COUNTY STANDARD DRAWING SD_2-40 AND SD_2-41, REFERENCE SHEET C5.0 FOR DETAILS
- 12 PROPOSED PARALLEL CURB RAMP PER EL PASO COUNTY STANDARD DRAWING SD_2-50, REFERENCE SHEET C5.0
- 13 5' CONCRETE VALLEY GUTTER, REFERENCE SHEET C5.0 FOR DETAILS
- 14 PROPOSED HYDRANT
- 15 PROPOSED 6" VERTICAL CURB (TYPE B) PER EL PASO COUNTY STANDARD DRAWING SD_2-20, REFERENCE SHEET C5.0 FOR DETAILS
- 16 PROPOSED ACCESSIBLE PARKING STALL SIGNAGE, REFERENCE SHEET C5.0 FOR DETAILS
- 17 PROPOSED 6' WIDE CONCRETE SIDEWALK PER COLORADO SPRING STANDARD DRAWING D-2, REFERENCE SHEET C5.0 FOR DETAILS
- 18 PROPOSED BIKE RACK WITH 6 SPACES

MATCHLINE: SEE SHEET C2.2

MARKSHEFFEL ROAD
(PUBLIC R.O.W. VARIES)

CURRENT OWNER(S):
WASTE CONNECTIONS OF COLORADO INC.

CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987
CALL 2-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE, OR EXCAVATE
FOR THE MARKING OF UNDERGROUND
MEMBER UTILITIES

NORTH

GRAPHIC SCALE IN FEET
0 15 30 60

NO.	REVISION	BY	DATE	APPR.

Kimley»Horn
2022 KIMLEY-HORN AND ASSOCIATES, INC.
2 North Nevada Avenue, Suite 300
Colorado Springs, CO 80903 (303) 228-2300

DESIGNED BY: MOH
DRAWN BY: JWM
CHECKED BY: MOH
DATE: 12/07/2022

THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
SITE DEVELOPMENT PLAN
SITE PLAN (E)

COLORADO LICENSED
PROFESSIONAL ENGINEER
53916
12/12/2022

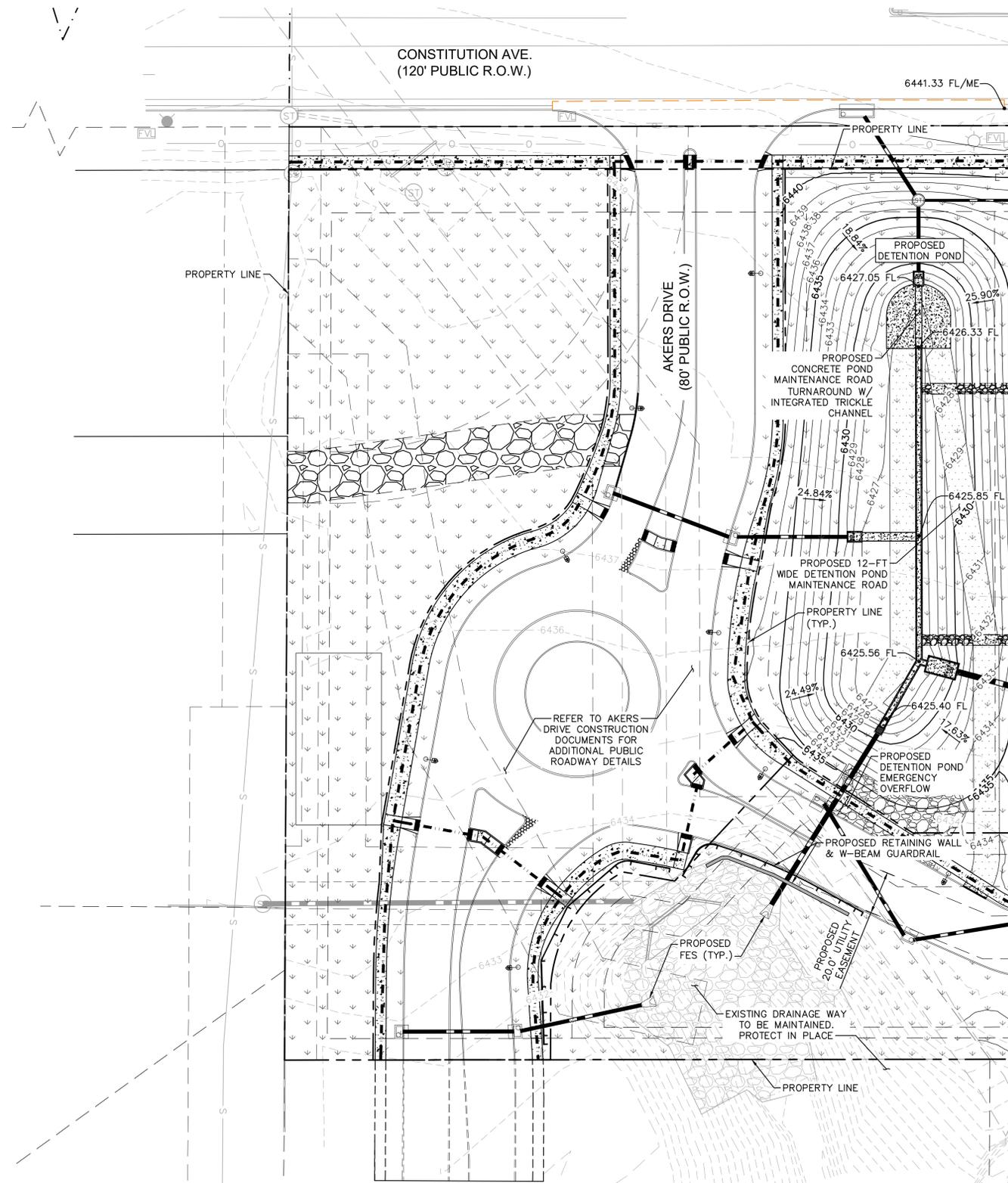
PROJECT NO.
096481004

SHEET
C2.3

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THE CITIZEN ON CONSTITUTION SITE DEVELOPMENT PLAN

A PORTION OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M.,
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



LEGEND

- PROPERTY LINE
- PROPOSED MAJOR CONTOURS
- PROPOSED MINOR CONTOURS
- EXISTING MAJOR CONTOURS
- EXISTING MINOR CONTOURS
- PROPOSED STORM PIPES
- ADA ROUTE
- ADA PARKING AND ACCESS. SLOPES NOT TO EXCEED 2% IN THIS AREA
- PROPOSED STORM DRAIN
- DRAINAGE SLOPE DIRECTION

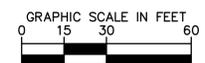
NOTES:

1. ALL PROPOSED SIDEWALKS ARE TO BE ADA COMPLIANT. LONGITUDINAL SLOPES SHALL NOT EXCEED 5%, CROSS SLOPES NOT TO EXCEED 2%.
2. ACCESSIBLE PARKING AND LEVEL LANDINGS SHALL HAVE A MAX SLOPE OF 2% IN ANY DIRECTION.
3. A CLEAR CONVEYANCE PATH HAS BEEN PROVIDED FOR DRAINAGE.
4. REFER TO THE EROSION CONTROL PLAN SHEETS AND REPORT FOR TEMPORARY CONTROL MEASURES AND CONSTRUCTION SEQUENCING THAT SHALL BE USED IN ORDER TO PREVENT LOADING OF LID DRAINAGE FACILITIES WITH SEDIMENT DURING CONSTRUCTION.

MATCHLINE: SEE SHEET C2.5



CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987
CALL 2-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE, OR EXCAVATE
FOR THE MARKING OF UNDERGROUND
MEMBER UTILITIES



NO.	REVISION	BY	DATE	APPR.

Kimley»Horn
2022 KIMLEY-HORN AND ASSOCIATES, INC.
2 North Nevada Avenue, Suite 300
Colorado Springs, CO 80903 (303) 228-2300

DESIGNED BY: MOH
DRAWN BY: JWM
CHECKED BY: MOH
DATE: 12/07/2022

THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
SITE DEVELOPMENT PLAN
GRADING PLAN (W)



PROJECT NO.
096481004

SHEET

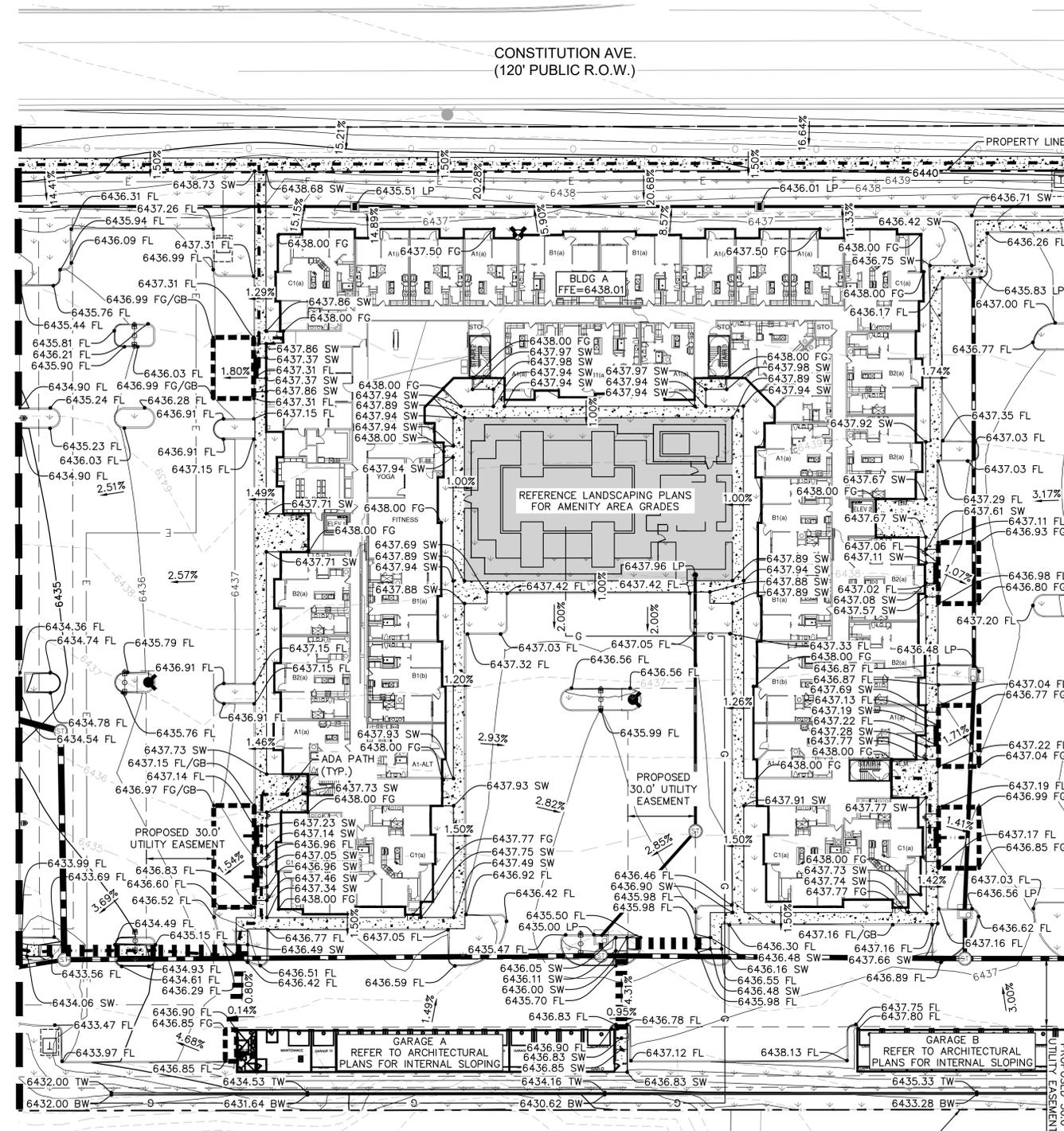
C2.4

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PCD PROJECT NUMBER: PPR-22-029

THE CITIZEN ON CONSTITUTION SITE DEVELOPMENT PLAN

A PORTION OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M.,
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



LEGEND

- PROPERTY LINE
- PROPOSED MAJOR CONTOURS
- PROPOSED MINOR CONTOURS
- EXISTING MAJOR CONTOURS
- EXISTING MINOR CONTOURS
- PROPOSED STORM PIPES
- ADA ROUTE
- ADA PARKING AND ACCESS. SLOPES NOT TO EXCEED 2% IN THIS AREA
- PROPOSED STORM DRAIN
- DRAINAGE SLOPE DIRECTION

NOTES:

1. ALL PROPOSED SIDEWALKS ARE TO BE ADA COMPLIANT. LONGITUDINAL SLOPES SHALL NOT EXCEED 5%, CROSS SLOPES NOT TO EXCEED 2%.
2. ACCESSIBLE PARKING AND LEVEL LANDINGS SHALL HAVE A MAX SLOPE OF 2% IN ANY DIRECTION.
3. A CLEAR CONVEYANCE PATH HAS BEEN PROVIDED FOR DRAINAGE.
4. REFER TO THE EROSION CONTROL PLAN SHEETS AND REPORT FOR TEMPORARY CONTROL MEASURES AND CONSTRUCTION SEQUENCING THAT SHALL BE USED IN ORDER TO PREVENT LOADING OF LID DRAINAGE FACILITIES WITH SEDIMENT DURING CONSTRUCTION.

Kimley»Horn

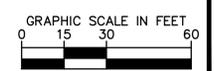
2022 KIMLEY-HORN AND ASSOCIATES, INC.
2 North Nevada Avenue, Suite 300
Colorado Springs, CO 80903 (303) 228-2300

DESIGNED BY: MOH
DRAWN BY: JWM
CHECKED BY: MOH
DATE: 12/07/2022

THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
SITE DEVELOPMENT PLAN
GRADING PLAN (C)



PROJECT NO.
096481004
SHEET
C2.5



MATCHLINE: SEE SHEET C2.4

MATCHLINE: SEE SHEET C2.6

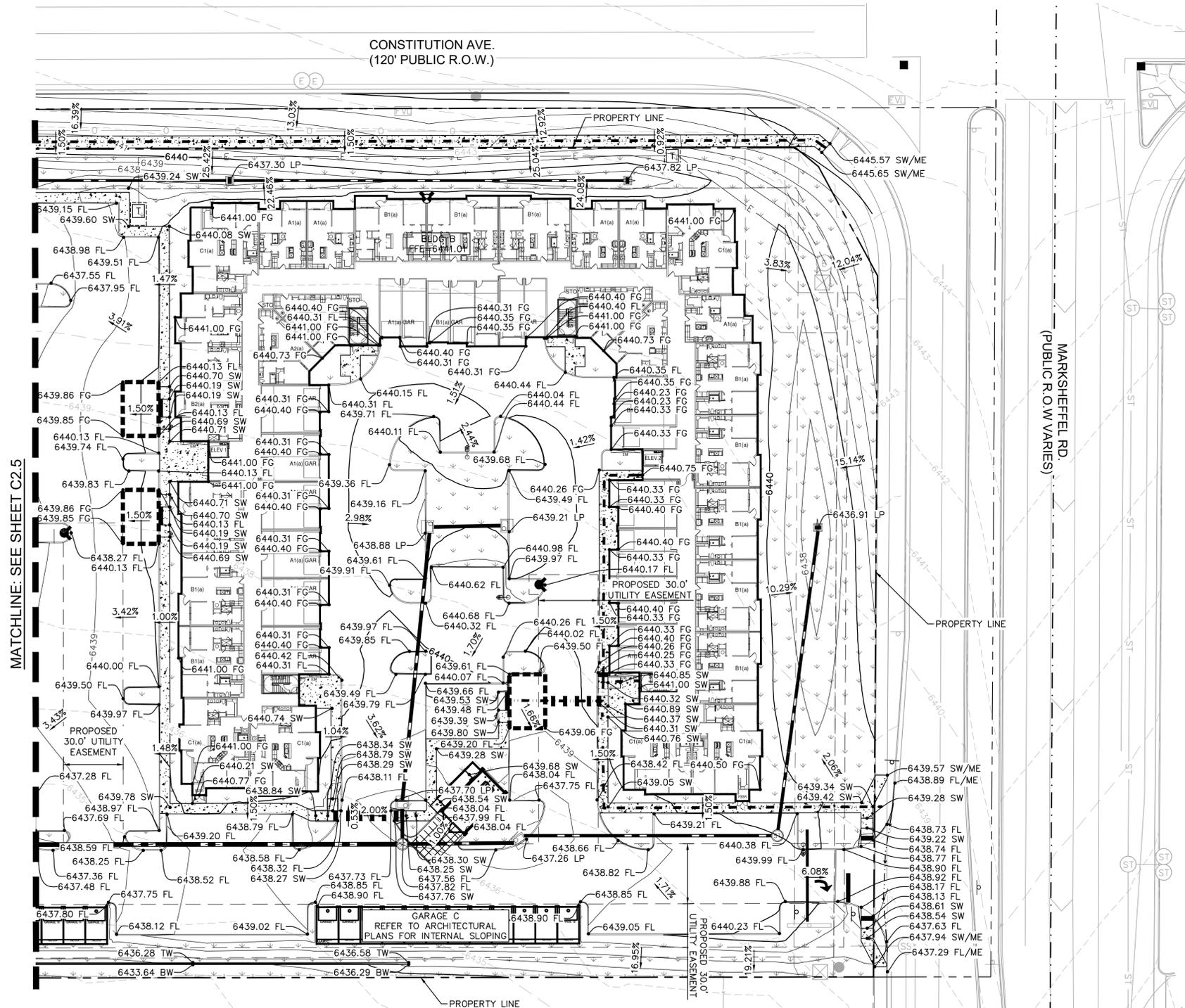


CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987
CALL 2-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE, OR EXCAVATE
FOR THE MARKING OF UNDERGROUND
MEMBER UTILITIES

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THE CITIZEN ON CONSTITUTION SITE DEVELOPMENT PLAN

A PORTION OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M.,
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



LEGEND

- PROPERTY LINE
- 50' PROPOSED MAJOR CONTOURS
- 49' PROPOSED MINOR CONTOURS
- 50' EXISTING MAJOR CONTOURS
- 49' EXISTING MINOR CONTOURS
- PROPOSED STORM PIPES
- ADA ROUTE
- ADA PARKING AND ACCESS. SLOPES NOT TO EXCEED 2% IN THIS AREA
- PROPOSED STORM DRAIN
- X.XX% DRAINAGE SLOPE DIRECTION

NOTES:

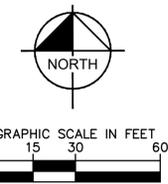
1. ALL PROPOSED SIDEWALKS ARE TO BE ADA COMPLIANT. LONGITUDINAL SLOPES SHALL NOT EXCEED 5%, CROSS SLOPES NOT TO EXCEED 2%.
2. ACCESSIBLE PARKING AND LEVEL LANDINGS SHALL HAVE A MAX SLOPE OF 2% IN ANY DIRECTION.
3. A CLEAR CONVEYANCE PATH HAS BEEN PROVIDED FOR DRAINAGE.
4. REFER TO THE EROSION CONTROL PLAN SHEETS AND REPORT FOR TEMPORARY CONTROL MEASURES AND CONSTRUCTION SEQUENCING THAT SHALL BE USED IN ORDER TO PREVENT LOADING OF LID DRAINAGE FACILITIES WITH SEDIMENT DURING CONSTRUCTION.

MATCHLINE: SEE SHEET C2.5

MARKSHEFFEL RD.
(PUBLIC R.O.W VARIES)



CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987
CALL 2-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE, OR EXCAVATE
FOR THE MARKING OF UNDERGROUND
MEMBER UTILITIES



NO.	REVISION	BY	DATE	APPR.

Kimley»Horn
2022 KIMLEY-HORN AND ASSOCIATES, INC.
2 North Nevada Avenue, Suite 300
Colorado Springs, CO 80903 (303) 228-2300

DESIGNED BY: MOH
DRAWN BY: JWM
CHECKED BY: MOH
DATE: 12/07/2022

THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
SITE DEVELOPMENT PLAN
GRADING PLAN (E)



PROJECT NO.
096481004
SHEET
C2.6

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THE CITIZEN ON CONSTITUTION UTILITY AND WATER SERVICE PLANS

A PORTION OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M., CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

LAND AREA:

543,215 SQ. FT. OR 12.264 ACRES MORE OR LESS

BASIS OF BEARING:

BEARINGS ARE BASED UPON THE SOUTH RIGHT-OF-WAY LINE OF CONSTITUTION AVENUE, MONUMENTED ON THE WEST WITH A #4 REBAR WITH YELLOW PLASTIC CAP STAMPED "PLS 4842" AND ON THE EAST WITH A #5 REBAR WITH YELLOW PLASTIC CAP STAMPED "AZTEC PLS 36567" AND IS ASSUMED TO BEAR N 89°53'50" E, A DISTANCE OF 1691.84 FEET.

BENCHMARK/ PROJECT CONTROL:

ELEVATIONS ARE BASED UPON CITY OF COLORADO SPRINGS FIMS BENCHMARK "BLT104" (ELEVATION=6452.43 NGVD29)

LEGAL DESCRIPTION

PARCEL A:

A PARCEL OF LAND LOCATED IN SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 5; THENCE SOUTH 89°53'50" WEST, 30.00 FEET ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 5 TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF MARKSHEFFEL ROAD; THENCE SOUTH 00°20'42" WEST, 60.00 FEET ALONG SAID WESTERLY RIGHT-OF-WAY LINE TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF PROPOSED 120.00 FOOT WIDE RIGHT-OF-WAY OF CONSTITUTION AVENUE TO THE POINT OF BEGINNING OF THE TRACT OF LAND HEREIN DESCRIBED; THENCE SOUTH 00°20'42" WEST, 435.00 FEET ALONG SAID WESTERLY RIGHT-OF-WAY LINE OF MARKSHEFFEL ROAD TO THE SOUTHEAST CORNER OF THE TRACT OF LAND DESCRIBED IN BOOK 2083 AT PAGE 587 OF THE RECORDS OF SAID COUNTY; THENCE SOUTH 89°53'50" WEST, 1292.28 FEET ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE TO THE POINT OF BEGINNING, EL PASO COUNTY, COLORADO.

EXCEPT THAT PORTION DESCRIBED AS FOLLOWS: THAT PORTION OF THE NORTHEAST ONE-QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M., SITUATE IN EL PASO COUNTY, COLORADO, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 5 THENCE SOUTH 89°53'50" WEST ON THE NORTH LINE THEREOF, 1322.28 FEET TO THE NORTHWEST CORNER OF SAID NORTHEAST ONE-QUARTER OF THE NORTHEAST ONE-QUARTER OF SECTION 5, THENCE SOUTH 00°20'41" WEST ON THE WEST LINE OF SAID NORTHEAST ONE-QUARTER OF SECTION 5, 60.00 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF PROPOSED 120.00 FOOT RIGHT-OF-WAY OF CONSTITUTION AVENUE AND THE POINT OF BEGINNING OF THE TRACT OF LAND HEREIN DESCRIBED, THENCE (1) CONTINUE ON THE LAST MENTIONED COURSE 435.00 FEET; (2) NORTH 89°53'50" EAST, 172.42 FEET; (3) NORTH 00°20'41" EAST 435.00 FEET TO A POINT ON SAID SOUTHERLY RIGHT-OF-WAY LINE OF PROPOSED CONSTITUTION AVENUE; (4) SOUTH 89°53'50" WEST ON SAID SOUTHERLY RIGHT-OF-WAY LINE OF PROPOSED CONSTITUTION AVENUE, 172.42 FEET TO THE POINT OF BEGINNING.

EXCEPT THAT PORTION CONVEYED TO THE BOARD OF COUNTY COMMISSIONER, EL PASO COUNTY, COLORADO IN WARRANTY DEED RECORDED JUNE 9, 2010 UNDER RECEPTION NO. 210054574.

COUNTY OF EL PASO,
STATE OF COLORADO.

PARCEL B:

THAT PORTION OF THE NORTHEAST ONE-QUARTER OF THE NORTHEAST ONE-QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, SITUATE IN COUNTY EL PASO, STATE OF COLORADO AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 5, THENCE SOUTH 89°53'50" WEST ON THE NORTH LINE THEREOF, 1,322.28 FEET TO THE NORTHWEST CORNER OF SAID NORTHEAST ONE-QUARTER OF THE NORTHEAST ONE-QUARTER OF SECTION 5, THENCE SOUTH 00°20'41" WEST ON THE WEST LINE OF SAID NORTHEAST ONE-QUARTER OF SECTION 5, 60.00 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF PROPOSED 120.00 FOOT RIGHT OF WAY OF CONSTITUTION AVENUE AND THE POINT OF BEGINNING OF THE TRACT OF LAND HEREIN DESCRIBED, THENCE (1) CONTINUE ON LAST MENTIONED COURSE, 435.00 FEET; (2) NORTH 89°53'50" EAST, 172.42 FEET; (3) NORTH 00°20'41" EAST, 435.00 FEET TO A POINT ON SAID SOUTHERLY RIGHT OF WAY LINE OF PROPOSED CONSTITUTION AVENUE; (4) SOUTH 89°53'50" WEST ON SAID SOUTHERLY RIGHT OF WAY LINE OF PROPOSED CONSTITUTION AVENUE, 172.42 FEET TO A POINT OF BEGINNING.

COUNTY OF EL PASO,
STATE OF COLORADO.

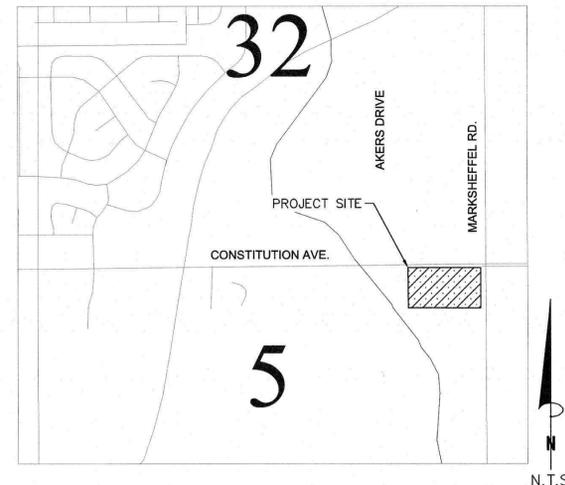
(PER TITLE COMMITMENT FILE NO. NCS-1074278-INDY AS PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY.)

FLOOD ZONE DESIGNATION

FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP, MAP NUMBER 08041C0756G, EFFECTIVE DATE DECEMBER 7, 2018, INDICATES THIS PARCEL OF LAND TO BE LOCATED IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).

GENERAL NOTES

- BASED ON ELEVATION DATA, THE APPLICANT WILL NEED TO FILE FEDERAL AVIATION ADMINISTRATION (FAA) FORM 7460-1 "NOTICE OF PROPOSED CONSTRUCTION OR ALTERATION" FOR ANY NEW VERTICAL DEVELOPMENT AT THIS SITE, INCLUDING TEMPORARY CONSTRUCTION EQUIPMENT, AND PROVIDE FAA DOCUMENTATION TO THE AIRPORT BEFORE THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES; FAA'S WEBSITE (HTTPS://OEAFAA.FAA.GOV/OEAFAA/EXTERNAL/PORTAL.ISP).
- ALL EASEMENTS THAT ARE DEDICATED HEREON FOR PUBLIC UTILITY PURPOSES RELATED TO GAS AND ELECTRIC SHALL BE SUBJECT TO THOSE TERMS AND CONDITIONS AS SPECIFIED IN THE INSTRUMENT RECORDED AT RECEPTION NUMBER 212112548 OF THE RECORDS OF EL PASO COUNTY, COLORADO. ALL OTHER EASEMENTS OR INTERESTS OF RECORD AFFECTING ANY OF THE PLATTED PROPERTY DEPICTED HEREON SHALL NOT BE AFFECTED AND SHALL REMAIN IN FULL FORCE AND EFFECT.



VICINITY MAP
N.T.S.

SHEET INDEX	
SHEET NO.	SHEET TITLE
C3.0	UTILITY PLAN COVER SHEET
C3.1	UTILITY PLAN NOTES
C3.2	UTILITY PLAN NOTES
C3.3	UTILITY SERVICE PLAN
C3.4	UTILITY SERVICE PLAN
C3.5	WATER PLAN
C3.6	WATER PLAN
C3.7	SAN. SEWER PLAN & PROFILE LINE A
C3.8	SAN. SEWER PLAN & PROFILE LINE A

CONTACTS:

OWNER:
THE GARRETT COMPANIES
1051 GREENWOOD SPRINGS BLVD, SUITE 101
GREENWOOD, IN 46143
TEL: (317) 886-7926
CONTACT: KARL STOUT

ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
2 NORTH NEVADA AVENUE, SUITE 300
COLORADO SPRINGS, CO 80903
TEL: (719) 453-0180
CONTACT: MITCHELL HESS, P.E.

EL PASO COUNTY:
EL PASO COUNTY
P&D DEPARTMENT
2880 INTERNATIONAL CIRCLE, SUITE 110
COLORADO SPRINGS, CO 80910
PHONE: (719) 520-6300

SURVEYOR:
BARRON LAND, LLC
2790 N. ACADEMY BLVD, SUITE 311
COLORADO SPRINGS, CO 80917
TEL: (719) 360-6827
CONTACT: SPENCER BARRON, PLS

DEVELOPER'S SIGNATURE BLOCK

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

NAME _____ DATE 12-9-2022

ENGINEER'S SIGNATURE BLOCK

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH THE APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THE DETAILED PLANS AND SPECIFICATIONS

Mitchell Hess



MITCHELL HESS, PE - KIMLEY-HORN AND ASSOCIATES, INC. DATE

EL PASO COUNTY REVIEW STATEMENT

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN DIMENSIONS AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL, AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

JOSHUA PALMER, P.E. _____ DATE _____
COUNTY ENGINEER / ECM ADMINISTRATOR

CHEROKEE METROPOLITAN DISTRICT
WASTEWATER PLAN APPROVAL

THE CHEROKEE METROPOLITAN DISTRICT RECOGNIZES THE DESIGN PROFESSIONAL OF RECORD AS THE LICENSED ENGINEER HAVING RESPONSIBILITY FOR THE SUBMITTED DESIGN AND THE DISTRICT HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY. AS SUCH, THE APPROVAL GRANTED HEREIN IS FOR THE CONSTRUCTION OF THE FACILITIES AS REPRESENTED ON THESE DOCUMENTS. APPROVAL EXPIRES ONE (1) YEAR FROM THE DATE BELOW AND RESUBMITTAL OF THESE PLANS FOR REVIEW AND APPROVAL IS REQUIRED IF CONSTRUCTION DOES NOT BEGIN DURING THIS PERIOD.

APPROVED BY: *Joshua Palmer* DATE: 12-16-2022

CHEROKEE METROPOLITAN DISTRICT
WATER PLAN APPROVAL

THE CHEROKEE METROPOLITAN DISTRICT RECOGNIZES THE DESIGN PROFESSIONAL OF RECORD AS THE LICENSED ENGINEER HAVING RESPONSIBILITY FOR THE SUBMITTED DESIGN AND THE DISTRICT HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY. AS SUCH, THE APPROVAL GRANTED HEREIN IS FOR THE CONSTRUCTION OF THE FACILITIES AS REPRESENTED ON THESE DOCUMENTS. APPROVAL EXPIRES ONE (1) YEAR FROM THE DATE BELOW AND RESUBMITTAL OF THESE PLANS FOR REVIEW AND APPROVAL IS REQUIRED IF CONSTRUCTION DOES NOT BEGIN DURING THIS PERIOD.

APPROVED BY: *Joshua Palmer* DATE: 12-16-2022

	PROJECT NO. 096481004 SHEET C3.0
THE CITIZEN ON CONSTITUTION EL PASO COUNTY, COLORADO UTILITY AND WATER SERVICE PLANS UTILITY PLAN COVER SHEET	DESIGNED BY: MOH DRAWN BY: JWM CHECKED BY: DLS DATE: 12/07/2022
EL PASO COUNTY, COLORADO 2022 KIMLEY-HORN AND ASSOCIATES, INC. 2 North Nevada Avenue, Suite 300 Colorado Springs, CO 80903 (303) 228-2300	REVISION BY DATE APPR.

K:\DEN_Civil\096481004 - El Paso Constitution\CADD\PlanSheets\CD\096481004\UT_Civ.dwg Hess, Mitchell 12/17/2022 10:07 PM

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS:

- THE FOLLOWING NOTES ARE PROVIDED TO GIVE DIRECTIONS TO THE CONTRACTOR BY THE ENGINEER OF THE PLANS.
1. THE CHEROKEE METRO DISTRICT ENGINEER'S SIGNATURE ON THESE PLANS DOES NOT CONSTITUTE APPROVAL OF ANY OF THESE NOTES AND THE CITY WILL NOT BE HELD RESPONSIBLE FOR THEIR ENFORCEMENT.
 2. APPROVAL OF THESE PLANS BY CHEROKEE METRO DISTRICT DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A PERMIT HAS BEEN ISSUED.
 3. THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY CHEROKEE METRO DISTRICT DOES NOT AUTHORIZE THE SUBDIVIDER AND OWNER TO VIOLATE ANY FEDERAL, STATE OR COUNTY LAWS, ORDINANCES, REGULATIONS, OR POLICIES.
 4. NEITHER THE OWNER, NOR THE ENGINEER OF WORK WILL ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SHORING, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS.
 5. CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING: SAFETY OF ALL PERSONS AND PROPERTY, AND THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE TO INSURE THAT ALL SLOPES, STREETS, UTILITIES, AND STORM SEWERS ARE BUILT IN ACCORDANCE WITH THESE PLANS. IF THERE IS ANY QUESTION REGARDING THESE PLANS OR FIELD STAKES, THE CONTRACTOR SHALL REQUEST AN INTERPRETATION BEFORE DOING ANY WORK BY CALLING THE ENGINEER OF RECORD AT 719-453-0180. IN THE EVENT THAT PROPOSED EROSION CONTROL IS INSUFFICIENT, CONTRACTOR WILL INSTALL ADDITIONAL EROSION CONTROLS AT OWNER'S EXPENSE.
 7. EXCEPT AS NOTED HEREON ALL UTILITY SERVICES WITHIN THIS DEVELOPMENT ARE UNDERGROUND INSTALLATIONS. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO STARTING WORK NEAR THEIR FACILITIES, AND SHALL COORDINATE HIS WORK WITH COMPANY REPRESENTATIVES. FOR UTILITY MARK-OUT SERVICE, CALL 811.
 8. THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO OTHER EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID UTILITY INFORMATION. THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN HEREON AND ANY OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS. UTILITIES NOT OF RECORD OR NOT SHOWN ON PLANS SHALL BE CONSIDERED UNFORESEEN CONDITIONS AND DAMAGES THERETO SHALL BE REPAIRED AT THE OWNER'S EXPENSE.
 9. LOCATION AND ELEVATION OF EXISTING IMPROVEMENTS SHALL BE CONFIRMED BY FIELD MEASUREMENTS PRIOR TO CONSTRUCTION OF NEW WORK.
 10. CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY BECAUSE OF ACTUAL LOCATION OF EXISTING FACILITIES, AT THE OWNER'S DISCRETION AND EXPENSE.
 11. FOR ALL UTILITY TRENCHES, SOILS REPORTS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD BY A QUALIFIED SOILS ENGINEER WHICH CERTIFY THAT TRENCH BACKFILL WAS COMPACTED AS DIRECTED BY THE SOILS ENGINEER IN ACCORDANCE WITH THE ON-SITE EARTHWORK SPECIFICATIONS.
 12. ANY WORK DONE WITHOUT INSPECTION OR MATERIALS TESTING IS SUBJECT TO REMOVAL OR CORRECTION.
 13. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ANY DAMAGE TO THE EXISTING IMPROVEMENTS AND REPLACEMENT TO THE SATISFACTION OF THE FIELD ENGINEER.
 14. PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL JOIN CONDITIONS FOR GRADING, DRAINAGE AND UNDERGROUND FACILITIES, INCLUDING LOCATION AND ELEVATION OF EXISTING UNDERGROUND FACILITIES AT CROSSINGS WITH PROPOSED UNDERGROUND FACILITIES, AT THE OWNER'S DISCRETION AND EXPENSE. IF CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND SHALL NOT BEGIN CONSTRUCTION UNTIL THE CHANGED CONDITIONS HAVE BEEN EVALUATED.
 15. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSELF WITH THE PLANS, THE SOILS AND/OR GEOLOGY REPORTS, AND THE SITE CONDITIONS PRIOR TO COMMENCING WORK.
 16. SHOULD CONFLICTING INFORMATION BE FOUND ON THE PLANS OR IN THE FIELD, THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AT KIMLEY-HORN BEFORE PROCEEDING WITH THE WORK IN QUESTION.
 17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DESTROYED BY CONSTRUCTION. CONTRACTOR'S LAND SURVEYOR MUST FIELD LOCATE, REFERENCE, AND/OR PRESERVE ALL HISTORICAL OR CONTROLLING MONUMENTS PRIOR TO ANY EARTHWORK. IF DESTROYED, CONTRACTOR'S LAND SURVEYOR SHALL REPLACE SUCH MONUMENTS WITH APPROPRIATE MONUMENTS. A CORNER RECORD OR RECORD OF SURVEY, AS APPROPRIATE, SHALL BE FILED AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT. IF ANY VERTICAL CONTROL IS TO BE DISTURBED OR DESTROYED, THE COLORADO SPRINGS (EL PASO COUNTY) FIELD SURVEY SECTION MUST BE NOTIFIED, IN WRITING, AT LEAST 3 DAYS PRIOR TO THE CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPLACING ANY VERTICAL CONTROL BENCHMARKS DESTROYED BY THE CONSTRUCTION.
 18. DEVIATIONS FROM THESE PLANS SIGNED PLANS WILL NOT BE ALLOWED UNLESS THE COUNTY ENGINEER APPROVES A CONSTRUCTION CHANGE OR THE COUNTY/AGENCY INSPECTOR REQUIRES THE CHANGE.
 19. AS-BUILT DRAWINGS MUST BE SUBMITTED BY THE CONTRACTOR TO THE ENGINEER PRIOR TO ACCEPTANCE OF THIS PROJECT.
 20. THE AREA WHICH IS DEFINED AS A NON GRADING AREA AND WHICH IS NOT TO BE DISTURBED SHALL BE STAKED PRIOR TO START OF THE WORK. THE PERMIT APPLICANT AND ALL OF THEIR REPRESENTATIVES OR CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS FOR PROTECTION OF THIS AREA AS REQUIRED BY ANY APPLICABLE AGENCY. ISSUANCE OF THE CITY'S GRADING PERMIT SHALL NOT RELIEVE THE APPLICANT OR ANY OF THEIR REPRESENTATIVES OR CONTRACTORS FROM COMPLYING WITH ANY STATE OR FEDERAL REQUIREMENTS BY AGENCIES INCLUDING BUT NOT LIMITED TO COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT OR COLORADO DIVISION OF WILDLIFE. COMPLIANCE MAY INCLUDE OBTAINING PERMITS, OTHER AUTHORIZATIONS, OR COMPLIANCE WITH MANDATES BY ANY APPLICABLE STATE OR FEDERAL AGENCY.
 21. NOTES AND DETAILS DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE GIVEN, CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR WORK.
 22. IF AT ANY TIME DURING THE GRADING OPERATION, ANY UNFAVORABLE GEOLOGICAL CONDITIONS ARE ENCOUNTERED, GRADING IN THAT AREA SHALL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE OBTAINED.
 23. STRAIGHT GRADE SHALL BE MAINTAINED BETWEEN CONTOUR LINES AND SPOT ELEVATIONS UNLESS OTHERWISE SHOWN ON THE PLANS. THE CONTRACTOR SHALL TAKE ADDITIONAL CARE TO ENSURE POSITIVE DRAINAGE AWAY FROM THE STRUCTURE WHILE MEETING MINIMUM AND MAXIMUM PAVEMENT SLOPES AS DEFINED IN THE CRITERIA.
 24. ALL DEBRIS AND FOREIGN MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT APPROVED DISPOSAL SITES. THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FOR THE TRANSPORTATION OF MATERIAL TO AND FROM THE SITE.
 25. DIMENSIONS TO PIPELINES ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 26. CONSTRUCTION STAKING FOR IMPROVEMENTS SHOWN IN THESE PLANS SHALL BE PERFORMED BY CONTRACTOR'S LICENSED LAND SURVEYOR.
 27. ALL DIMENSIONS ARE IN FEET OR DECIMALS THEREOF.
 28. SPOT GRADES ARE TO FLOWLINE OR FINISH PAVEMENT GRADE UNLESS OTHERWISE NOTED.
 29. CONTRACTOR TO BE AWARE OF ALL OVERHEAD LINES AT ALL TIMES, SO AS NOT TO DISTURB THEM.
 30. STORM DRAINAGE SYSTEMS SHOWN ON THESE PLANS HAVE BEEN DESIGNED FOR THE FINAL SITE CONDITION AT COMPLETION OF THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE DRAINAGE OF THE SITE, DURING INTERIM CONDITIONS OF CONSTRUCTION.
 31. RETAINING WALLS LOCATED CLOSER TO THE PROPERTY LINE THAN THE HEIGHT OF THE WALL SHALL BE BACKFILLED NOT LATER THAN 10 DAYS AFTER CONSTRUCTION OF THE WALL AND NECESSARY STRUCTURAL SUPPORTING MEMBERS UNLESS RECOMMENDED OTHERWISE BY RESPONSIBLE ENGINEER.
 32. THE CONTRACTOR IS RESPONSIBLE FOR APPLYING FOR AND OBTAINING A STATE STORMWATER DISCHARGE PERMIT FROM COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE) AT MINIMUM 10 BUSINESS DAYS PRIOR TO THE START OF GRADING ACTIVITIES ONSITE. 10 BUSINESS DAYS IS THE MINIMUM TIME REQUIRED BY THE STATE TO PROCESS THE APPLICATION. IT IS HIGHLY RECOMMENDED THAT THE CONTRACTOR APPLY FOR THE PERMIT AT LEAST 20 BUSINESS DAYS PRIOR TO THE START OF GRADING ACTIVITIES.

STANDARD NOTES FOR EL PASO COUNTY CONSTRUCTION PLANS

1. ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
3. CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
 - a. EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
 - b. CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
 - c. COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
 - d. CDOT M & S STANDARDS
4. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
5. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
6. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (PCD) - INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
8. CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
9. ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
10. CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
11. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
12. SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
13. SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DPW AND MUTCD CRITERIA. [IF APPLICABLE, ADDITIONAL SIGNING AND STRIPING NOTES WILL BE PROVIDED.]
14. CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DPW, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
15. THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

WATER PROJECT SPECIFIC NOTES

APPLICABLE	NOT-APPLICABLE	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ANY EXISTING STUBS AND APPURTENANCES THAT WILL NOT BE USED SHALL BE REMOVED AND REPLACED WITH AN ACCEPTABLE SECTION OF MAIN AT THE EXPENSE OF THE CONTRACTOR.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	A CONNECTION TO AN EXISTING STUB IS PROPOSED. CHEROKEE METRO DISTRICT DOES NOT GUARANTEE THE ACCURACY OF THE DEPTHS OR LOCATIONS OF EXISTING STUBS SHOWN ON ANY "AS-BUILT" DRAWINGS.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	A WATER STUB-OUT(S) IS/ARE PROPOSED. CHEROKEE METRO DISTRICT DOES NOT GUARANTEE THAT THE DESIGN OR INSTALLATION OF THE PROPOSED WATER STUB-OUT WILL MEET FUTURE DEVELOPMENT NEEDS.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	A WATER QUALITY PLAN HAS BEEN APPROVED FOR THIS PROJECT

WATER PLAN NOTES

THE CONTRACTOR SHALL NOTIFY COLORADO SPRINGS UTILITIES' INSPECTIONS OFFICE (NORTH: 668-4396 OR SOUTH: 668-4658) AND/OR CHEROKEE METRO DISTRICT (719-597-5080) A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

- GENERAL:**
1. ALL CONSTRUCTION METHODS AND MATERIALS SHALL MEET CHEROKEE METRO DISTRICT STANDARDS AND CSU *WATER LINE EXTENSION AND SERVICE STANDARDS (WATER LESS)*.
 2. THE CONTRACTOR SHALL OBTAIN LOCATES PRIOR TO ANY EXCAVATION.
 3. CHEROKEE METRO DISTRICT DOES NOT GUARANTEE THE ACCURACY OF LOCATIONS OF EXISTING PIPELINES, HYDRANTS, VALVES AND SERVICE LINES. IF FIELD CONDITIONS ARE FOUND TO BE DIFFERENT THAN SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE INSPECTOR AND THE ENGINEER OF RECORD IMMEDIATELY.
 4. NO TREES OR STRUCTURES ARE PERMITTED WITHIN FIFTEEN FEET (15') OF A WATER MAIN.
 5. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITY FACILITIES AS A RESULT OF HIS ACTIONS. THE CONTRACTOR SHALL MAKE ALL THE REQUIRED REPAIRS IMMEDIATELY TO THE SATISFACTION OF COLORADO SPRINGS UTILITIES AND CHEROKEE METRO DISTRICT.
 6. ALL FIELD STAKING SHALL COMPLY WITH THE *WATER LESS AND CHEROKEE STANDARDS*.
 7. THE CONTRACTOR SHALL MAKE THEIR BEST EFFORT TO ENSURE THAT WATER SERVICE TO ADJACENT PROPERTIES IS MAINTAINED DURING CONSTRUCTION.
 8. CORROSION PROTECTION MEASURES SHALL COMPLY WITH THE *WATER LESS AND CHEROKEE STANDARDS*.
 9. NO SERVICE TAPS SHALL BE MADE UNTIL AUTHORIZATION HAS BEEN GRANTED BY THE CHEROKEE METRO DISTRICT INSPECTOR.
 10. ALL BENDS SHALL BE FIELD STAKED PRIOR TO CONSTRUCTION AND THE STATIONING ON THE FIELD STAKES SHALL MATCH THE STATIONING ON THE PLANS.
 11. FIELD MODIFICATIONS TO A FIRE SERVICE LINE OR FIRE HYDRANT DESIGN OR LOCATION MAY NEED TO BE APPROVED BY THE DESIGN ENGINEER, FALCON FIRE DEPARTMENT AND CHEROKEE METRO DISTRICT, AS REQUIRED BY THE INSPECTOR.
 12. REUSE OR SALVAGE OF ANY MATERIAL IS LEFT TO THE DISCRETION OF THE CHEROKEE METRO DISTRICT INSPECTOR.
 13. ALL TRENCH BACKFILL AND COMPACTION SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE CHEROKEE METRO DISTRICT *STANDARD SPECIFICATIONS MANUAL AND CHEROKEE STANDARDS*.
 14. ALL ISOLATION VALVES TO OPEN COUNTERCLOCKWISE.

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NO.	REVISION	BY	DATE	APPR.

Kimley»Horn

2022 KIMLEY-HORN AND ASSOCIATES, INC.
2 North Nevada Avenue, Suite 300
Colorado Springs, CO 80903 (303) 228-2200

DESIGNED BY: MOH
DRAWN BY: JWM
CHECKED BY: DLS
DATE: 12/07/2022

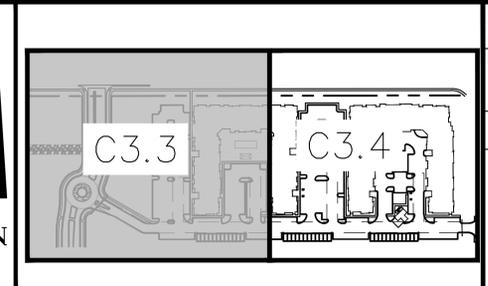
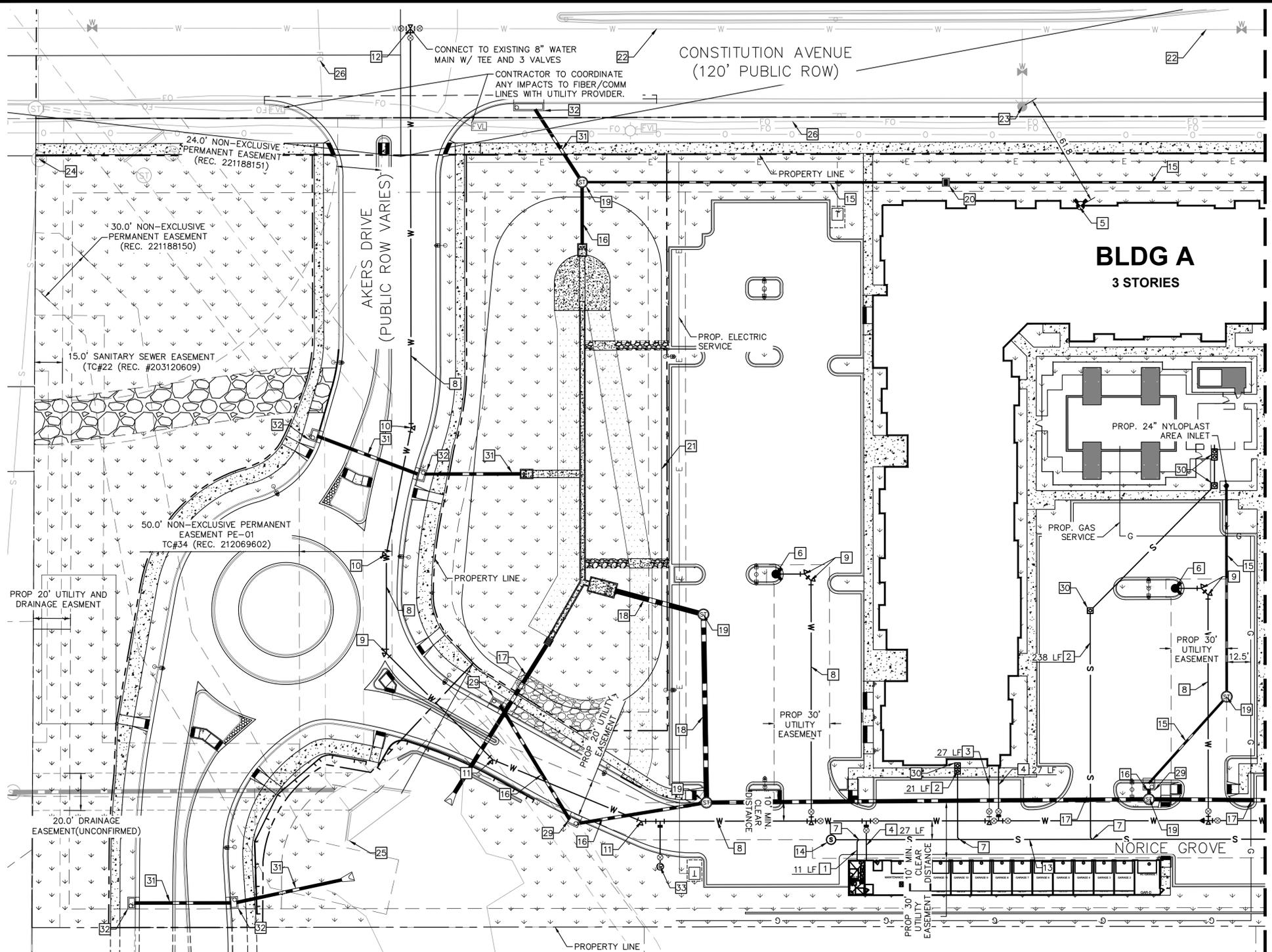
THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
UTILITY AND WATER SERVICE PLANS
UTILITY PLAN NOTES



PROJECT NO.
096481004

SHEET
C3.1

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LEGEND

---	PROPERTY LINE
---	EXISTING WATER LINE & VALVE
---	PROPOSED WATER LINE & VALVE
⊙	PROPOSED FIRE HYDRANT
---	EXISTING SANITARY SEWER LINE & MANHOLE
---	PROPOSED SANITARY SEWER LINE, MANHOLE, AND DOUBLE CLEANOUT
---	PROPOSED STORM SEWER LINE & MANHOLE
⊠	PROPOSED STORM SEWER STRUCTURES

KEY NOTE LEGEND

1	PROPOSED 4" SDR35 PVC SANITARY SERVICE
2	PROPOSED 6" SDR35 PVC SANITARY SERVICE
3	PROPOSED 6" C900 PVC FIRE SERVICE
4	PROPOSED 4" C900 PVC DOMESTIC SERVICE LINE W/ 3" METER AND BFP INTERNAL TO BUILDING (REF. MEP PLANS)
5	PROPOSED FIRE DEPARTMENT CONNECTION
6	PROPOSED FH ASSEMBLY PER CSU STANDARD DETL. A5-6, PAINTED WITH CMD STANDARD COLORS
7	PROPOSED WASTEWATER TAP PER CSU WASTEWATER STANDARD DETAIL D1-6
8	PROPOSED 8" C900 PVC PUBLIC WATER MAIN
9	45° BEND
10	11.25° BEND
11	22.5° BEND
12	PROPOSED WATER MAIN POINT OF CONNECTION
13	PROPOSED 8" SANITARY MAIN
14	PROPOSED SANITARY MANHOLE
15	PROPOSED PRIVATE 12" HDPE STORM LINE
16	PROPOSED PRIVATE 18" HDPE STORM LINE
17	PROPOSED PRIVATE 24" HDPE STORM LINE
18	PROPOSED PRIVATE 30" HDPE STORM LINE
19	PROPOSED PRIVATE STORM MANHOLE
20	PROPOSED PRIVATE CDOT TYPE 13 INLET
21	PROPOSED DETENTION POND
22	EXISTING WATER MAIN
23	EXISTING FIRE HYDRANT
24	EXISTING SANITARY MANHOLE
25	EXISTING STORM OUTFALL
26	EXISTING FIBER OPTIC LINE
27	EXISTING ELECTRICAL LINE
28	EXISTING CABLE TV LINE
29	PROPOSED PRIVATE CDOT TYPE-R INLET
30	PROPOSED CLEANOUT
31	PROPOSED PUBLIC 18" RCP STORM LINE
32	PROPOSED PUBLIC CDOT TYPE-R INLET
33	PROPOSED 1.5" IRRIGATION METER AND SERVICE LINE
34	PROPOSED 10" C900 PVC PUBLIC WATER MAIN

NOTES:

1. ALL WATER LINES TO BE BEDDED PER COLORADO SPRINGS UTILITIES SPECIFICATIONS.
2. ALL CONDITIONS SHOWN TO BE "EXISTING" OR "ASSUMED" SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO POTHOLES OF EXISTING UTILITY ELEVATIONS AT CROSSINGS AND TIE-IN LOCATIONS. ANY DISCREPANCIES SHALL BE NOTED AND SUBMITTED TO THE OWNER AND THE ENGINEER FOR REVIEW. CHANGES TO THE ORIGINAL DESIGN OF THIS PROJECT DUE TO EXISTING SITE CONDITIONS MUST BE APPROVED BY BOTH THE ENGINEER AND OWNER PRIOR TO MAKING ANY CHANGES.
3. THE HORIZONTAL DIMENSIONS BETWEEN PROPOSED UTILITY LINES MAY VARY SLIGHTLY BASED ON INSTALLED VALVES, ADAPTER, AND PUMPS.
4. ALL APPURTENANCES ON HYDRANT LATERALS SHALL BE INSTALLED WITH MJ RESTRAINTS PER CSU STANDARDS.

CAUTION NOTE (SERVICE LINES):

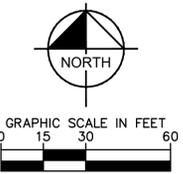
CONTRACTOR SHALL MAINTAIN 1' OF VERTICAL SEPARATION AT ALL DRY UTILITY CROSSINGS. CONTRACTOR SHALL POTHOLE ALL EXISTING UTILITY CROSSINGS TO VERIFY DEPTH AND COORDINATE WITH ENGINEER OF RECORD.

WATER SERVICE LINE NOTES:

1. CURB STOPS SHALL BE INSTALLED A MINIMUM OF 7 FEET FROM THE BUILDING FOUNDATION.
2. ALL WATER SERVICE LINES SHALL BE STUBBED AND TERMINATE AT THE CURB STOP
3. METER LOCATIONS ARE NOT SHOWN ON THIS PLAN. METERS TO BE INSTALLED INSIDE THE MULTI FAMILY STRUCTURE IN ACCORDANCE WITH CMD STD. DTL. B1-11A.
4. ALL QUANTITIES PER THIS PLAN ARE FOR REFERENCE ONLY.
5. CHEROKEE METRO DISTRICT'S RESPONSIBILITY ENDS AT VALVED CONNECTION AT MAIN OR SEWER LATERAL CONNECTION.
6. PAVEMENT REPAIRS OR LANDSCAPE REPAIRS FOR WATER AND SANITARY SEWER REPAIRS ARE RESPONSIBILITY OF OWNER.

811 Know what's below. Call before you dig.

CALL UTILITY NOTIFICATION CENTER OF COLORADO
1-800-922-1987
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES



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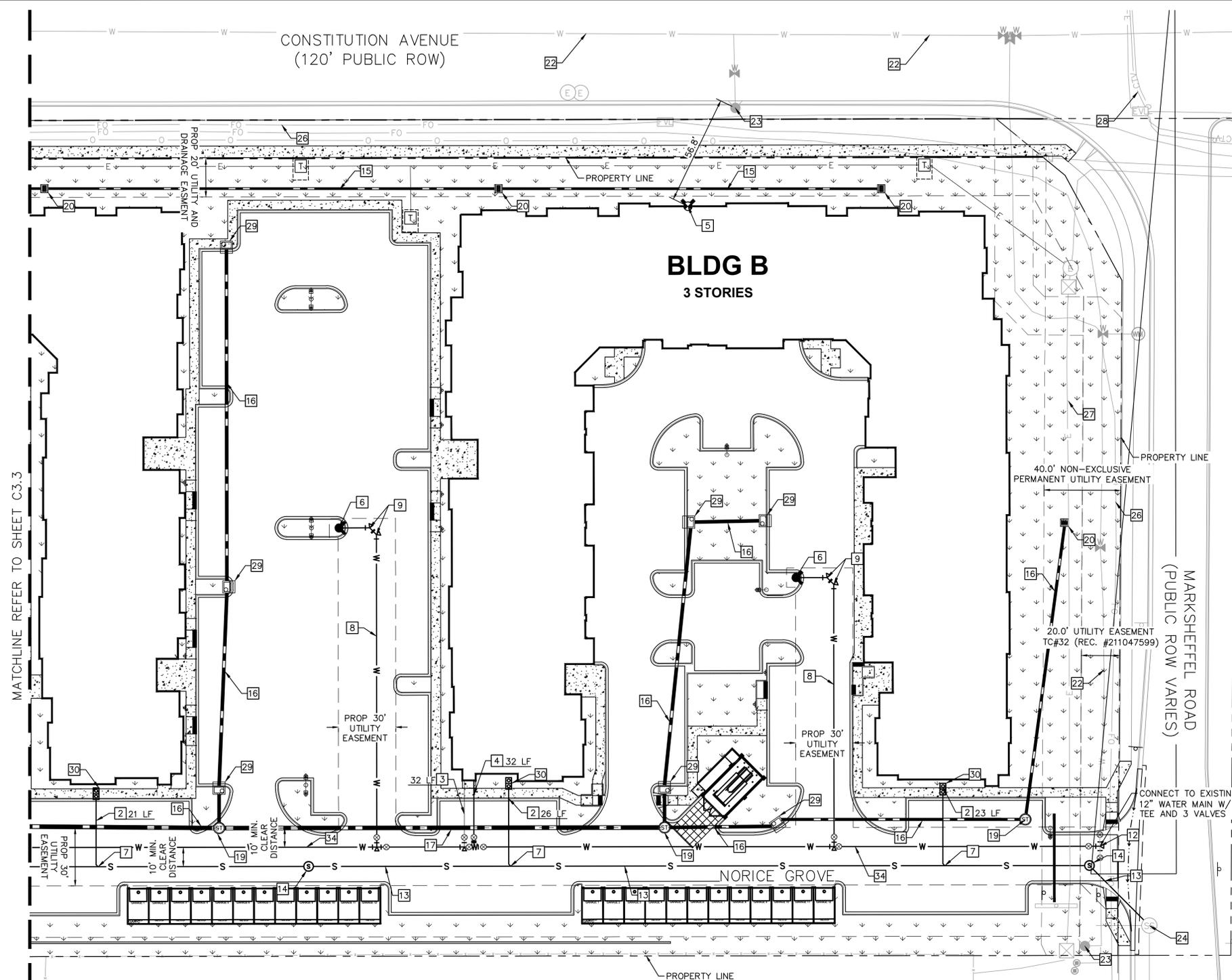
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THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
UTILITY AND WATER SERVICE PLANS
UTILITY SERVICE PLAN

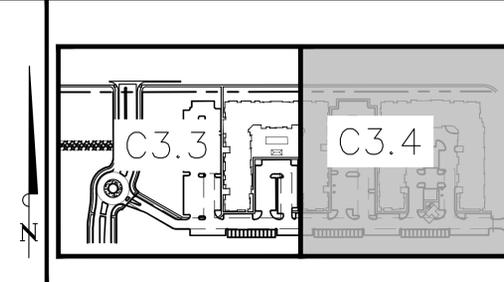
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MATCHLINE REFER TO SHEET C3.3



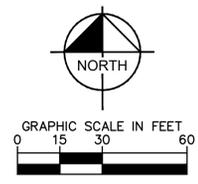
- LEGEND**
- PROPERTY LINE
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 - PROPOSED WATER LINE & VALVE
 - PROPOSED FIRE HYDRANT
 - EXISTING SANITARY SEWER LINE & MANHOLE
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- NOTES:**
- ALL WATER LINES TO BE BEDDED PER COLORADO SPRINGS UTILITIES SPECIFICATIONS.
 - ALL CONDITIONS SHOWN TO BE "EXISTING" OR "ASSUMED" SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO POTHOLES OF EXISTING UTILITY ELEVATIONS AT CROSSINGS AND TIE-IN LOCATIONS. ANY DISCREPANCIES SHALL BE NOTED AND SUBMITTED TO THE OWNER AND THE ENGINEER FOR REVIEW. CHANGES TO THE ORIGINAL DESIGN OF THIS PROJECT DUE TO EXISTING SITE CONDITIONS MUST BE APPROVED BY BOTH THE ENGINEER AND OWNER PRIOR TO MAKING ANY CHANGES.
 - THE HORIZONTAL DIMENSIONS BETWEEN PROPOSED UTILITY LINES MAY VARY SLIGHTLY BASED ON INSTALLED VALVES, ADAPTER, AND PUMPS.
 - ALL APPURTENANCES ON HYDRANT LATERALS SHALL BE INSTALLED WITH MJ RESTRAINTS PER CSU STANDARDS.

CAUTION NOTE (SERVICE LINES):
 CONTRACTOR SHALL MAINTAIN 1' OF VERTICAL SEPARATION AT ALL DRY UTILITY CROSSINGS. CONTRACTOR SHALL POTHOLE ALL EXISTING UTILITY CROSSINGS TO VERIFY DEPTH AND COORDINATE WITH ENGINEER OF RECORD.

- WATER SERVICE LINE NOTES:**
- CURB STOPS SHALL BE INSTALLED 7 FEET FROM THE PROPERTY LINE IN ACCORDANCE WITH CSU STD. DETAIL B2-3.
 - ALL WATER SERVICE LINES SHALL BE STUBBED AND TERMINATE AT THE CURB STOP
 - METER LOCATIONS ARE NOT SHOWN ON THIS PLAN. METERS TO BE INSTALLED INSIDE THE MULTI FAMILY STRUCTURE IN ACCORDANCE WITH CMD STD. DTL. B1-11A.
 - ALL QUANTITIES PER THIS PLAN ARE FOR REFERENCE ONLY.
 - CHEROKEE METRO DISTRICT'S RESPONSIBILITY ENDS AT VALVED CONNECTION AT MAIN OR SEWER LATERAL CONNECTION.
 - PAVEMENT REPAIRS OR LANDSCAPE REPAIRS FOR WATER AND SANITARY SEWER REPAIRS ARE RESPONSIBILITY OF OWNER.



811 Know what's below. Call before you dig.

CALL UTILITY NOTIFICATION CENTER OF COLORADO
 1-800-922-1987
 CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES

Kimley»Horn
 2022 KIMLEY-HORN AND ASSOCIATES, INC.
 2 North Nevada Avenue, Suite 300
 Colorado Springs, CO 80903 (303) 228-2300

DESIGNED BY: MOH
 DRAWN BY: JWM
 CHECKED BY: DLS
 DATE: 12/07/2022

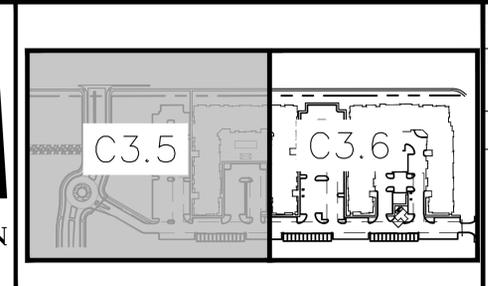
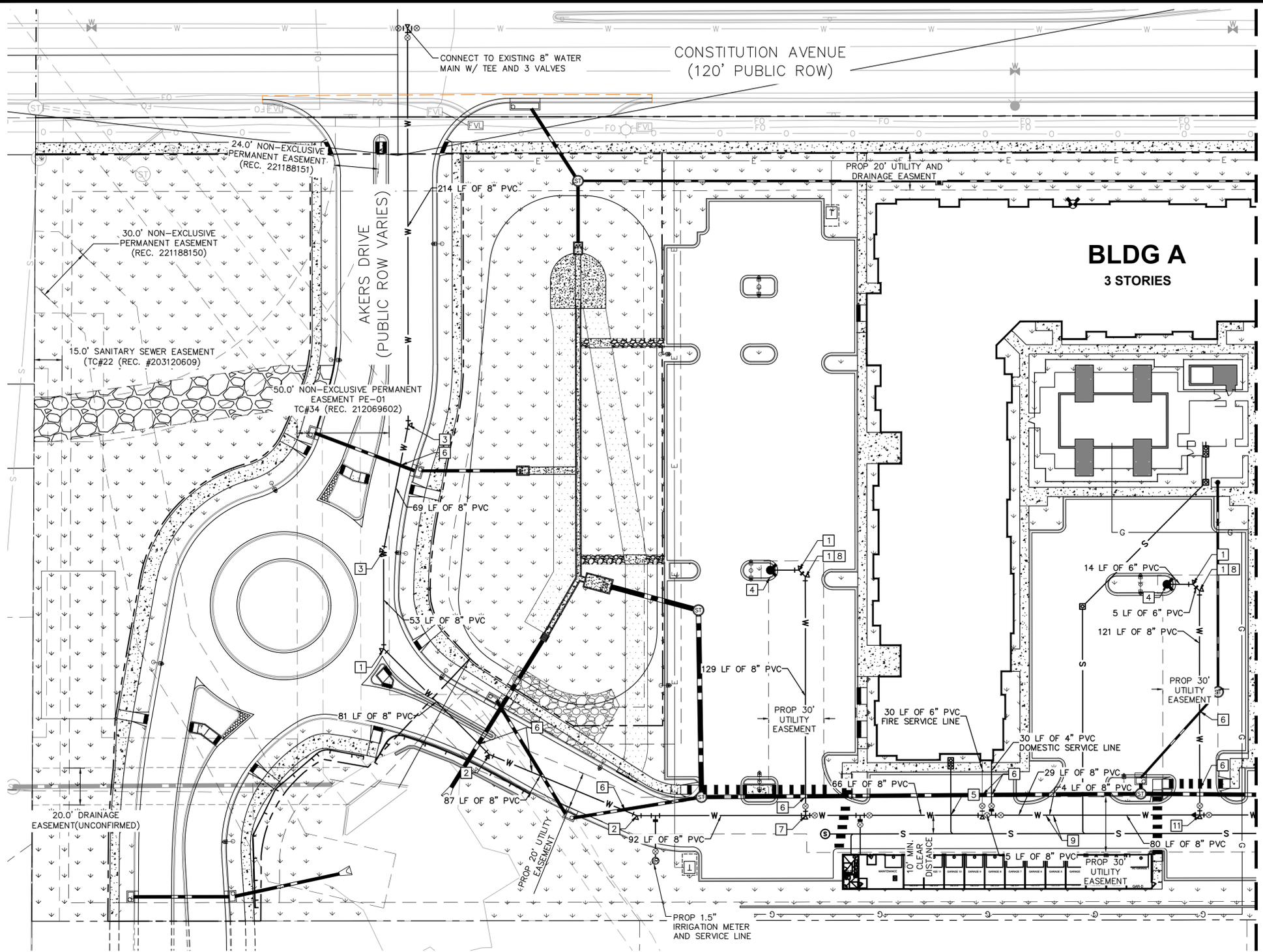
THE CITIZEN ON CONSTITUTION
 EL PASO COUNTY, COLORADO
 UTILITY AND WATER SERVICE PLANS
 UTILITY SERVICE PLAN

PROJECT NO. 096481004
 SHEET C3.4

REVISION BY DATE APPR.

PCD PROJECT NUMBER: PPR-2229 & SF-226

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LEGEND

---	PROPERTY LINE
---	EXISTING WATER LINE & VALVE
---	PROPOSED WATER LINE & VALVE
⊙	PROPOSED FIRE HYDRANT
---	EXISTING SANITARY SEWER LINE & MANHOLE
---	PROPOSED SANITARY SEWER LINE, MANHOLE, AND DOUBLE CLEANOUT
---	PROPOSED STORM SEWER LINE & MANHOLE
⊠	PROPOSED STORM SEWER STRUCTURES

KEY NOTE LEGEND

1	45° HORIZONTAL BEND WITH THRUST BLOCK
2	22.5° HORIZONTAL BEND WITH THRUST BLOCK
3	11.25° HORIZONTAL BEND WITH THRUST BLOCK
4	FH ASSEMBLY PER CSU STANDARD DETL. A5-6
5	SANITARY SEWER CROSSING
6	STORM SEWER CROSSING
7	8"x8" FIRE SERVICE TEE W/ 8" GATE VALVE (3-VALVE CLUSTER)
8	8"x6" REDUCER W/ THRUST BLOCK
9	22.5° VERTICAL BEND
10	10"x8"x10" FIRE SERVICE TEE W/ 10" & 8" GATE VALVES (2-VALVE CLUSTER)
11	10"x8"x8" FIRE SERVICE TEE W/ 10" & 8" GATE VALVES (3-VALVE CLUSTER)

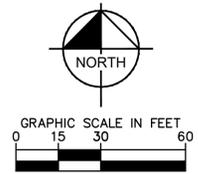
- NOTES:**
- ALL WATER LINES TO BE BEDDED PER COLORADO SPRINGS UTILITIES SPECIFICATIONS.
 - ALL CONDITIONS SHOWN TO BE "EXISTING" OR "ASSUMED" SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO POTHOLING OF EXISTING UTILITY ELEVATIONS AT CROSSINGS AND TIE-IN LOCATIONS. ANY DISCREPANCIES SHALL BE NOTED AND SUBMITTED TO THE OWNER AND THE ENGINEER FOR REVIEW. CHANGES TO THE ORIGINAL DESIGN OF THIS PROJECT DUE TO EXISTING SITE CONDITIONS MUST BE APPROVED BY BOTH THE ENGINEER AND OWNER PRIOR TO MAKING ANY CHANGES.
 - THE HORIZONTAL DIMENSIONS BETWEEN PROPOSED UTILITY LINES MAY VARY SLIGHTLY BASED ON INSTALLED VALVES, ADAPTER, AND PUMPS.
 - ALL APPURTENANCES ON HYDRANT LATERALS SHALL BE INSTALLED WITH MJ RESTRAINTS PER CSU STANDARDS.
 - ALL WATER LINES DESIGNATED PVC TO BE CONSTRUCTED WITH C900 PVC PIPE.

CAUTION NOTE (SERVICE LINES):

CONTRACTOR SHALL MAINTAIN 1' OF VERTICAL SEPARATION AT ALL DRY UTILITY CROSSINGS. CONTRACTOR SHALL POTHOLE ALL EXISTING UTILITY CROSSINGS TO VERIFY DEPTH AND COORDINATE WITH ENGINEER OF RECORD.



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BY DATE APPR.

REVISION

NO.

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Colorado Springs, CO 80903 (303) 228-2300

DESIGNED BY: MOH
DRAWN BY: JWM
CHECKED BY: DLS
DATE: 12/07/2022

THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
UTILITY AND WATER SERVICE PLANS
WATER PLAN

COLORADO LICENSED
P. S. HELL O. HELL
53916
12/12/2022
PROFESSIONAL ENGINEER

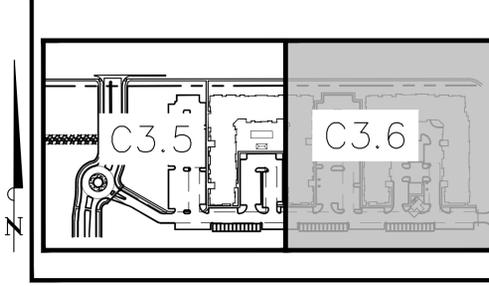
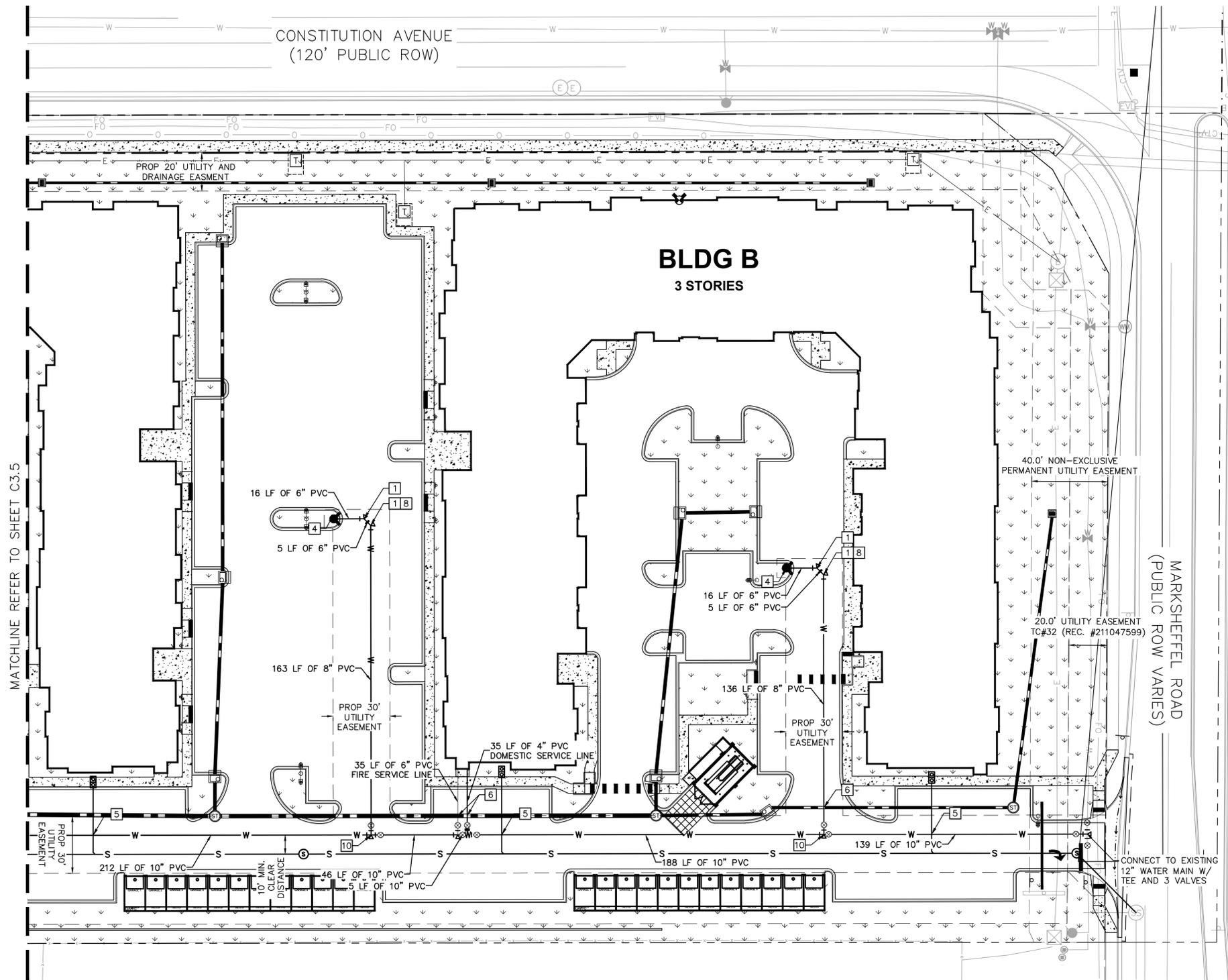
PROJECT NO.
096481004

SHEET
C3.5

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LEGEND

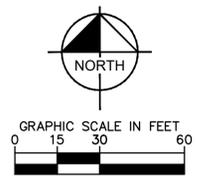
	PROPERTY LINE
	EXISTING WATER LINE & VALVE
	PROPOSED WATER LINE & VALVE
	PROPOSED FIRE HYDRANT
	EXISTING SANITARY SEWER LINE & MANHOLE
	PROPOSED SANITARY SEWER LINE, MANHOLE, AND DOUBLE CLEANOUT
	PROPOSED STORM SEWER LINE & MANHOLE
	PROPOSED STORM SEWER STRUCTURES

KEY NOTE LEGEND

1	45' HORIZONTAL BEND WITH THRUST BLOCK
2	22.5' HORIZONTAL BEND WITH THRUST BLOCK
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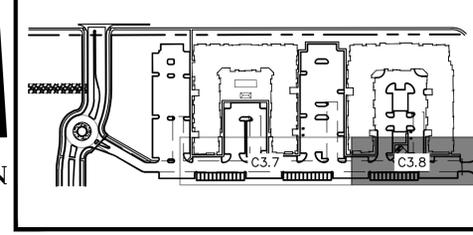
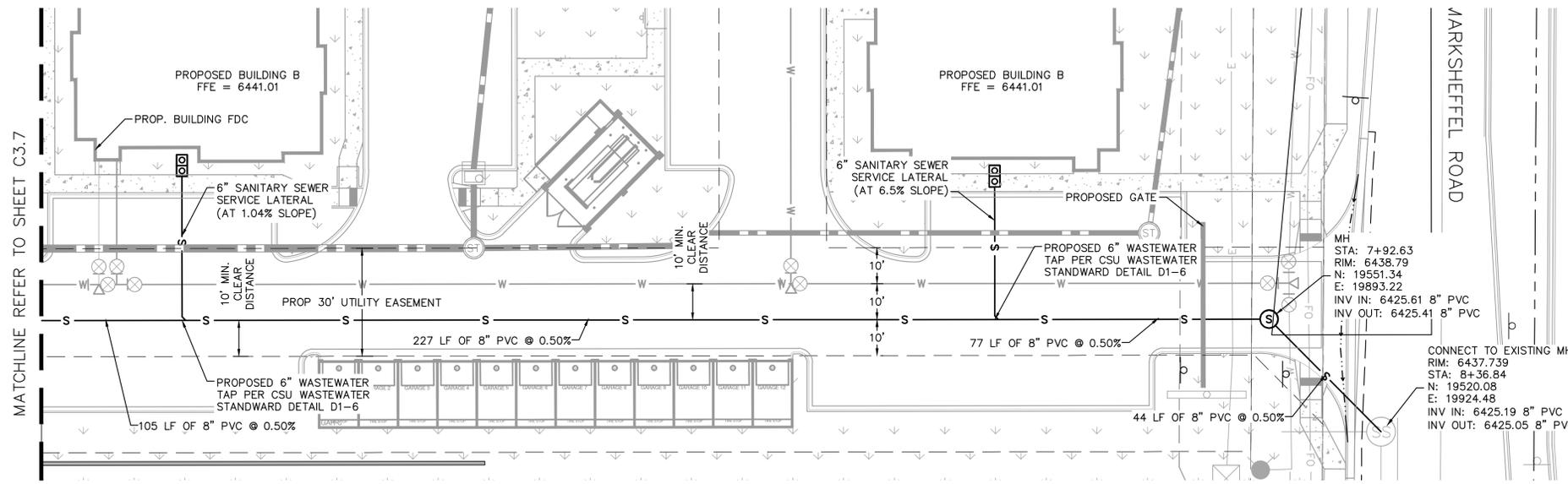
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CHECKED BY: DLS
DATE: 12/07/2022

THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
UTILITY AND WATER SERVICE PLANS
WATER PLAN

PROJECT NO.
096481004

SHEET
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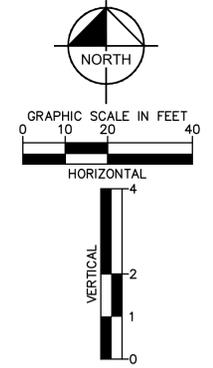
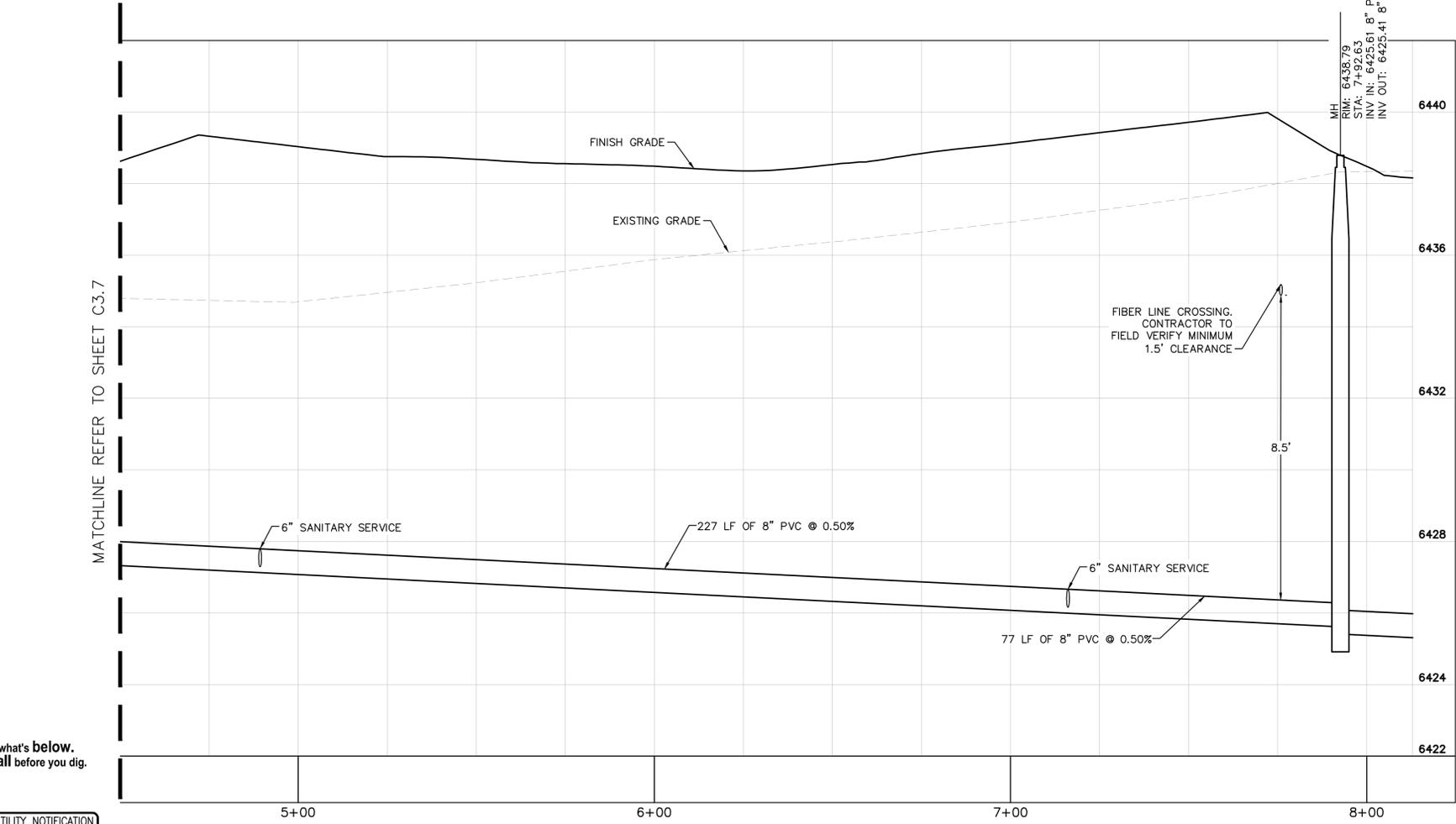


LEGEND:

- PROPERTY LINE
- - - EXISTING EASEMENT LINE
- - - PROPOSED EASEMENT LINE
- - - EXISTING SANITARY SEWER
- - - PROPOSED SANITARY SEWER W/ DOUBLE C.O.
- (S) SANITARY SEWER MANHOLE
- (SS) EXISTING SANITARY MANHOLE
- (D) PROPOSED STORM MANHOLE
- ▬ PROPOSED STORM SEWER
- W - PROPOSED WATER LINE
- ⦿ PROPOSED FIRE HYDRANT
- PROPOSED STORM INLET

SANITARY SEWER NOTES

1. MANHOLE RIM ELEVATIONS PROVIDED FOR REFERENCE ONLY. CONTRACTOR SHALL INSTALL MANHOLES IN ACCORDANCE WITH APPLICABLE DETAILS BASED UPON FINAL FINISH GRADING AT MANHOLE LOCATION. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTMENTS TO ACCOMMODATE DEVIATIONS IN SITE GRADING AT NO COST TO THE OWNER.
2. ALL SANITARY SEWER MANHOLES AND MAINS ARE PUBLIC UNLESS OTHERWISE NOTED.
3. ALL SERVICE LATERALS SHALL BE 6" PVC AND PRIVATE UNLESS OTHERWISE NOTED ON PLANS.
4. CONTRACTOR SHALL VERIFY LOCATIONS AND ELEVATIONS OF EXISTING SANITARY SEWER AT ALL CONNECTION POINTS AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
5. CONTRACTOR TO MODIFY EXISTING MANHOLE RIM ELEVATIONS TO MATCH PROPOSED FINISH GRADE AS NECESSARY.
6. SANITARY MAINS UNDER 1.04% SLOPE SHALL REQUIRE SELECT BEDDING PER CSU WASTEWATER LESS 5.11.D.3



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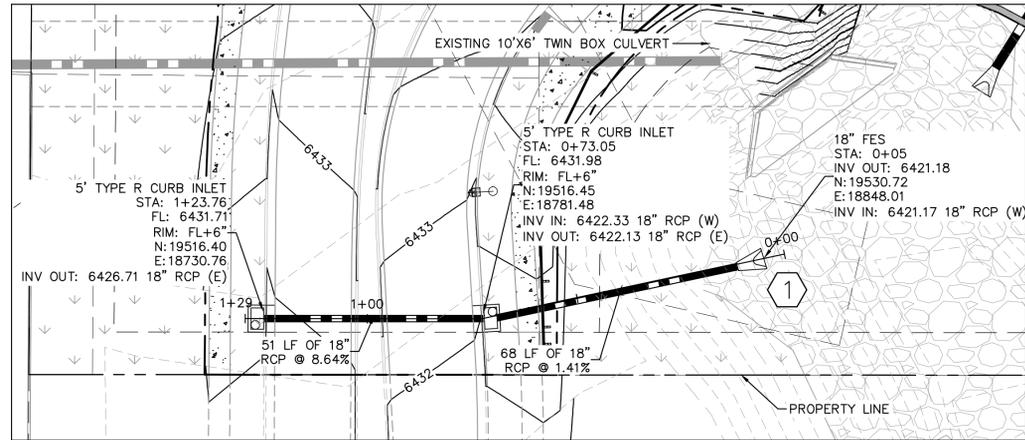
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DATE: 12/07/2022

THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
UTILITY AND WATER SERVICE PLANS
SAN. SEWER PLAN & PROFILE LINE A



PROJECT NO.
096481004
SHEET
C3.8

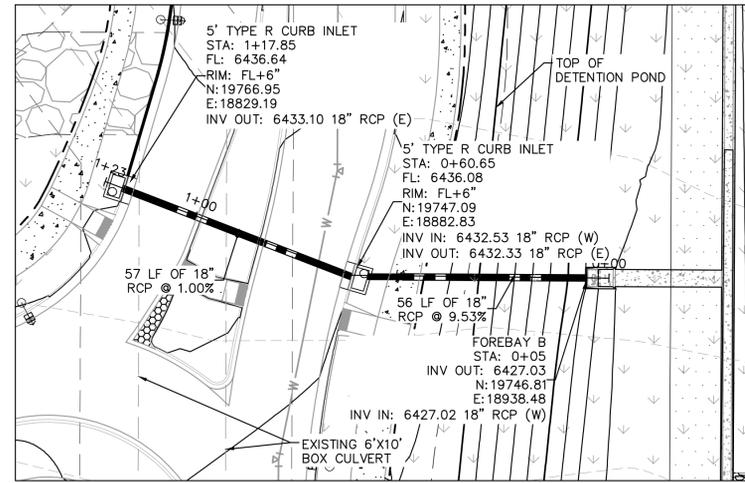
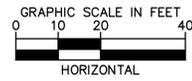
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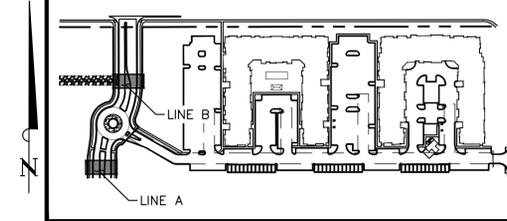
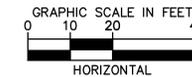
STORM SEWER LINE A - PLAN VIEW



1 CONTRACTOR TO REPAIR ANY DAMAGE DONE TO EXISTING GROUDED RIPRAP AND ENSURE ALL VEGETATION IS RETURNED TO PRE-DISTURBED CONDITION



STORM SEWER LINE B - PLAN VIEW



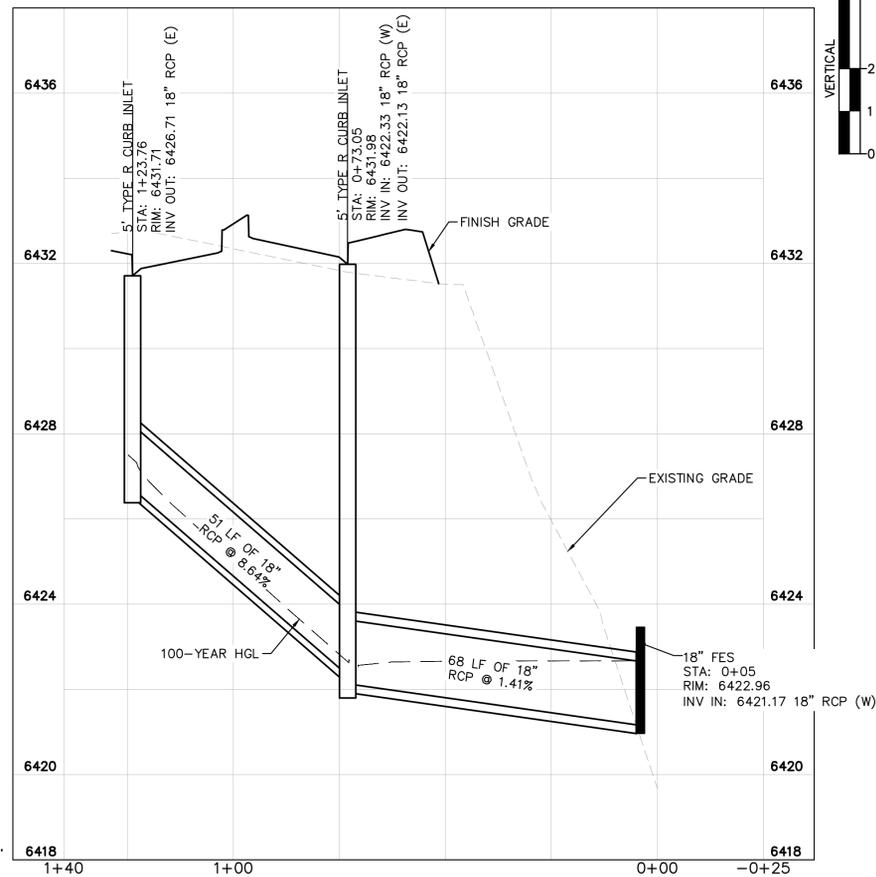
KEY MAP
NOT TO SCALE

LEGEND:

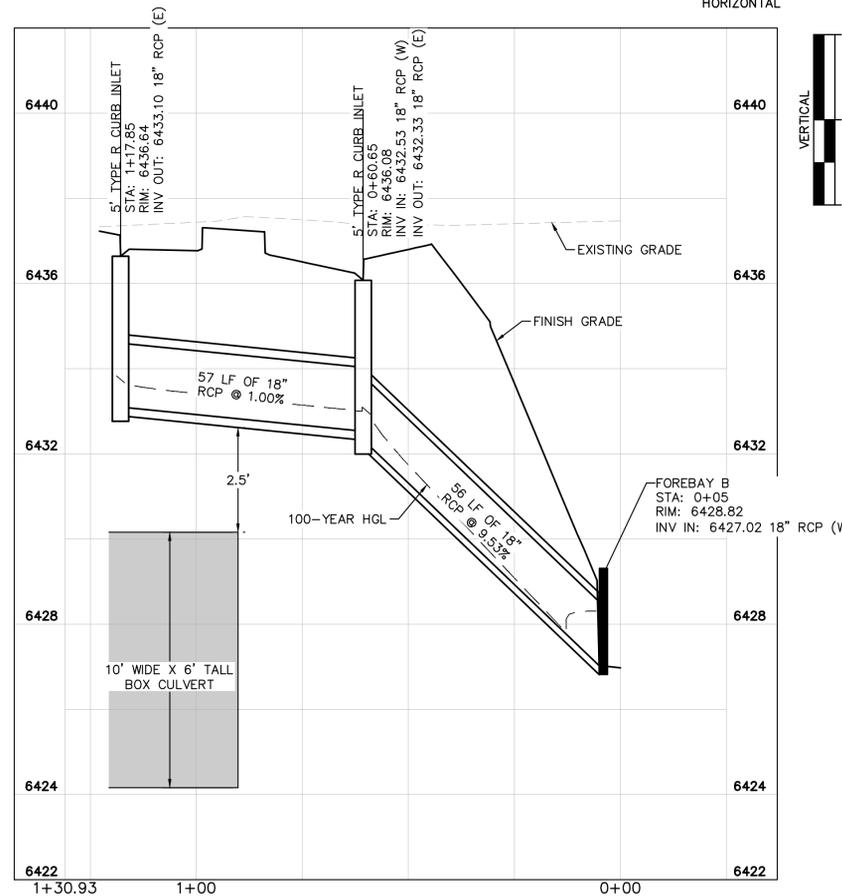
- PROPERTY LINE
- - - EXISTING EASEMENT LINE
- - - PROPOSED EASEMENT LINE
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING WATER LINE
- PROPOSED WATER LINE
- ▲ EXISTING FIRE HYDRANT
- ▲ PROPOSED FIRE HYDRANT
- ▲ PROPOSED FIRE DEPARTMENT CONNECTION W/ APPROVED KNOX HARDWARE
- S --- EXISTING SANITARY SEWER
- S --- PROPOSED SANITARY SEWER
- ⊙ SANITARY SEWER MANHOLE
- ⊙ PROPOSED STORM MANHOLE
- ⊙ EXISTING STORM MANHOLE
- PROPOSED CURB INLET
- EXISTING CURB INLET
- PROPOSED GRATE INLET

STORM SEWER NOTES

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2. CONTRACTOR SHALL MODIFY STANDARD INLET STRUCTURE DIMENSIONS AND STRUCTURAL COMPONENTS TO ACCOMMODATE ASSOCIATED ENTRY AND OUTLET PIPES.
3. ALL STORM SEWER MAINS PIPE, INLETS AND MANHOLES ARE PRIVATELY OWNED AND MAINTAINED BY THE OWNER UP UNTIL THE PUBLIC CONNECTION POINT, UNLESS OTHERWISE NOTED ON THE PLANS.
4. ALL CURB INLET STATIONS ARE BASED ON THE MIDPOINT OF THE CURB INLET AT THE FLOWLINE.
5. ALL CURB INLET FL ELEVATIONS AND STATIONING ARE BASED ON THE MIDPOINT OF THE CURB INLET AT FLOWLINE.
6. ALL STORM SEWER PIPE 12" AND GREATER SHALL BE HDPE UNLESS OTHERWISE NOTED.
7. ALL PRIVATE LANDSCAPE DRAINS SHALL BE NYOPLAST TYPE OR APPROVED EQUIVALENT. RE: UTILITY DETAILS FOR NYOPLAST DETAILED DRAWINGS.
8. CONTRACTOR SHALL VERIFY LOCATIONS AND ELEVATIONS OF EXISTING STORM SEWER AT ALL CONNECTION POINTS AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
9. CONTRACTOR TO MODIFY EXISTING MANHOLE RIM ELEVATIONS TO MATCH PROPOSED FINISH GRADE AS NECESSARY.



STORM SEWER LINE A - PROFILE VIEW



STORM SEWER LINE B - PROFILE VIEW



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CHECKED BY: DLS
DATE: 12/07/2022

THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
UTILITY AND WATER SERVICE PLANS
STORM PLAN AND PROFILE LINE A

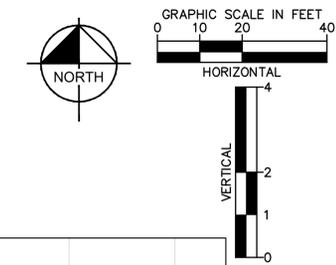
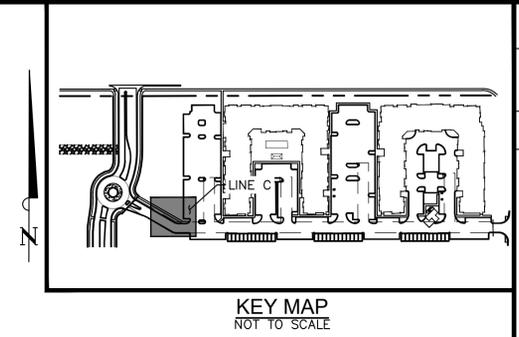
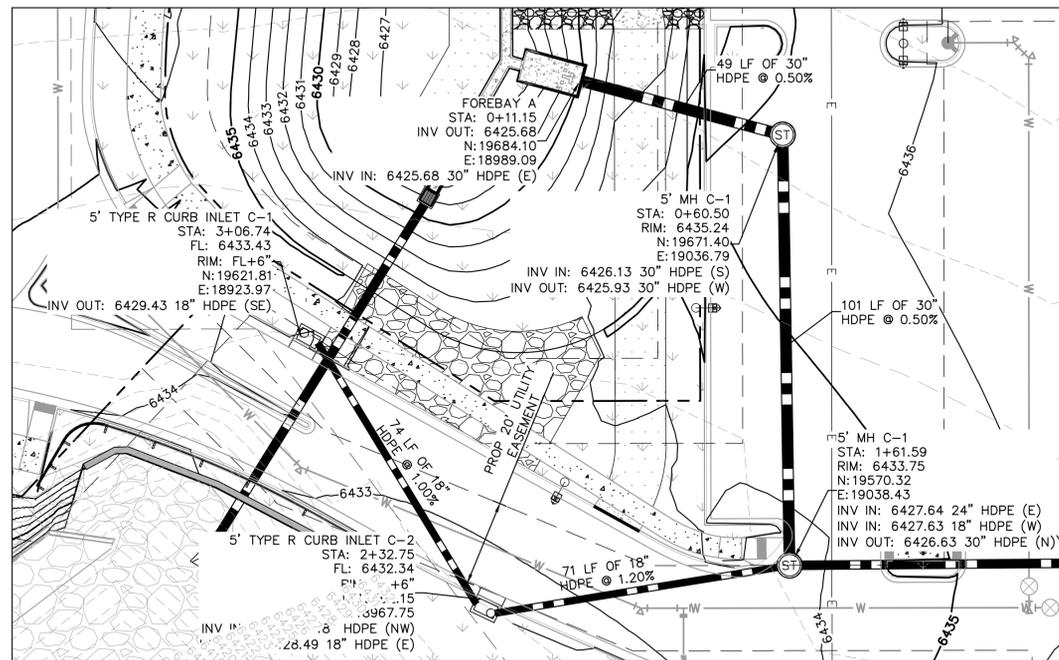


PROJECT NO.
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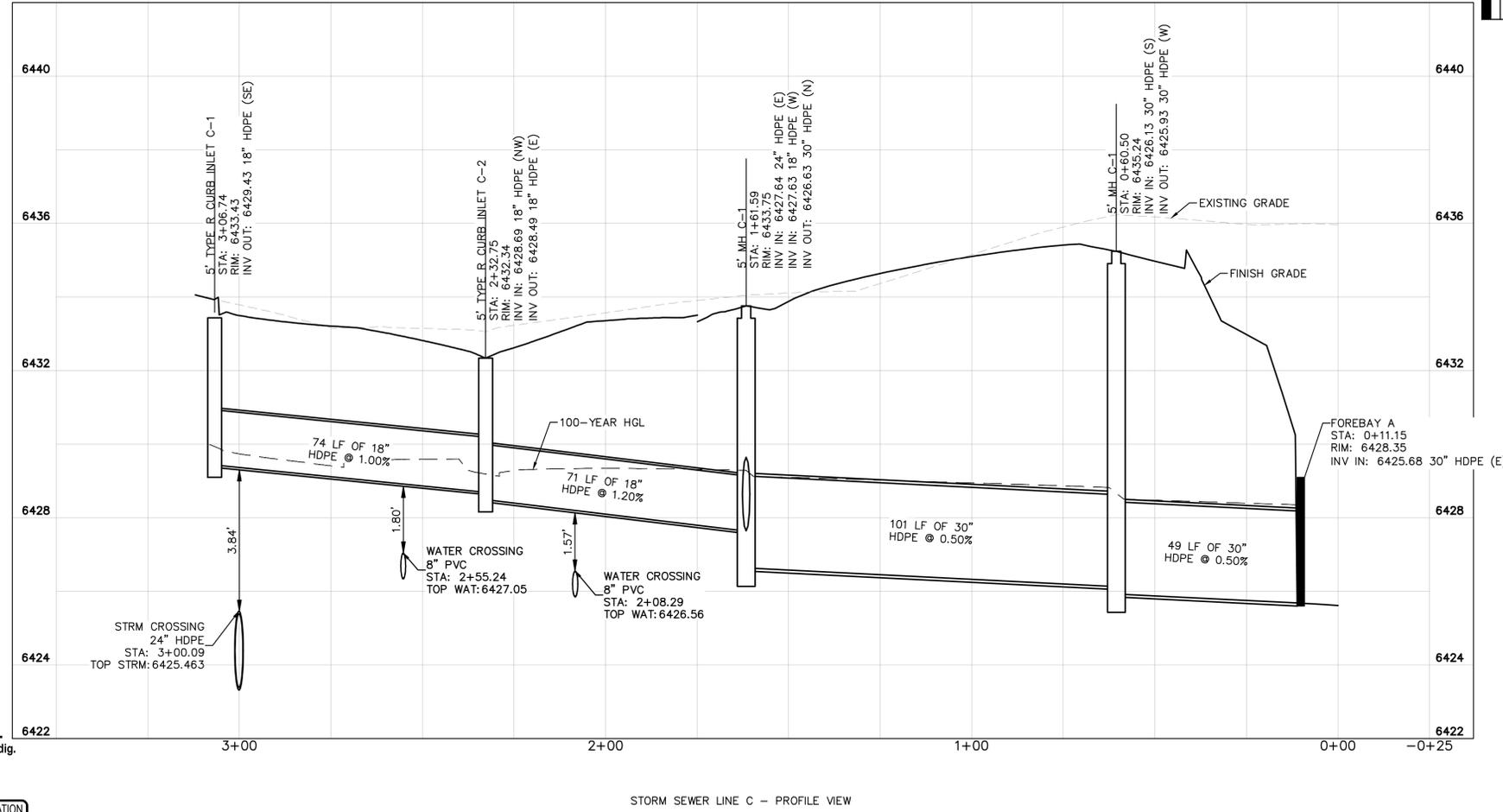
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- LEGEND:**
- PROPERTY LINE
 - - - - - EXISTING EASEMENT LINE
 - - - - - PROPOSED EASEMENT LINE
 - EXISTING STORM SEWER
 - PROPOSED STORM SEWER
 - EXISTING WATER LINE
 - PROPOSED WATER LINE
 - EXISTING FIRE HYDRANT
 - PROPOSED FIRE HYDRANT
 - PROPOSED FIRE DEPARTMENT CONNECTION W/ APPROVED KNOX HARDWARE
 - EXISTING SANITARY SEWER
 - PROPOSED SANITARY SEWER
 - ⊙ SANITARY SEWER MANHOLE
 - ⊙ PROPOSED STORM MANHOLE
 - ⊙ EXISTING STORM MANHOLE
 - PROPOSED CURB INLET
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 - PROPOSED GRATE INLET



- STORM SEWER NOTES**
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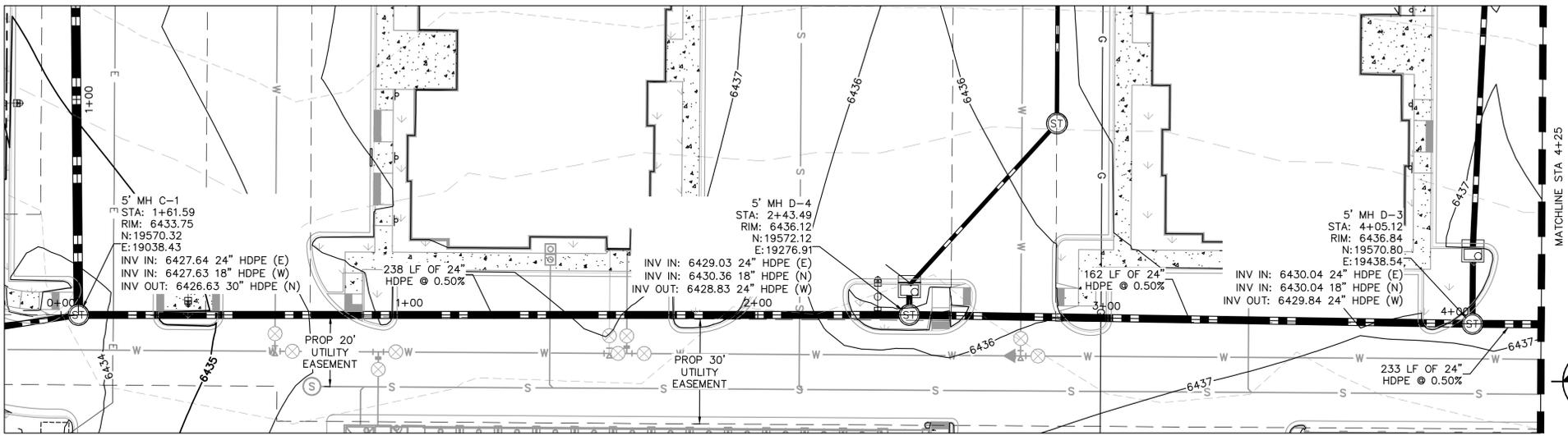
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 DATE: 12/07/2022

THE CITIZEN ON CONSTITUTION
 EL PASO COUNTY, COLORADO
 UTILITY AND WATER SERVICE PLANS
STORM PLAN AND PROFILE LINE B & C

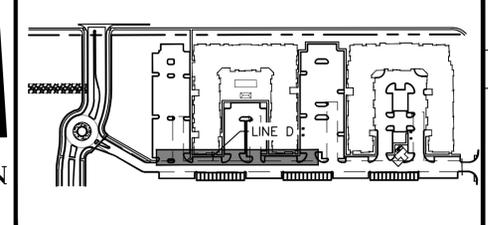
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 COLORADO LICENSED
 53916
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PROJECT NO.
 096481004

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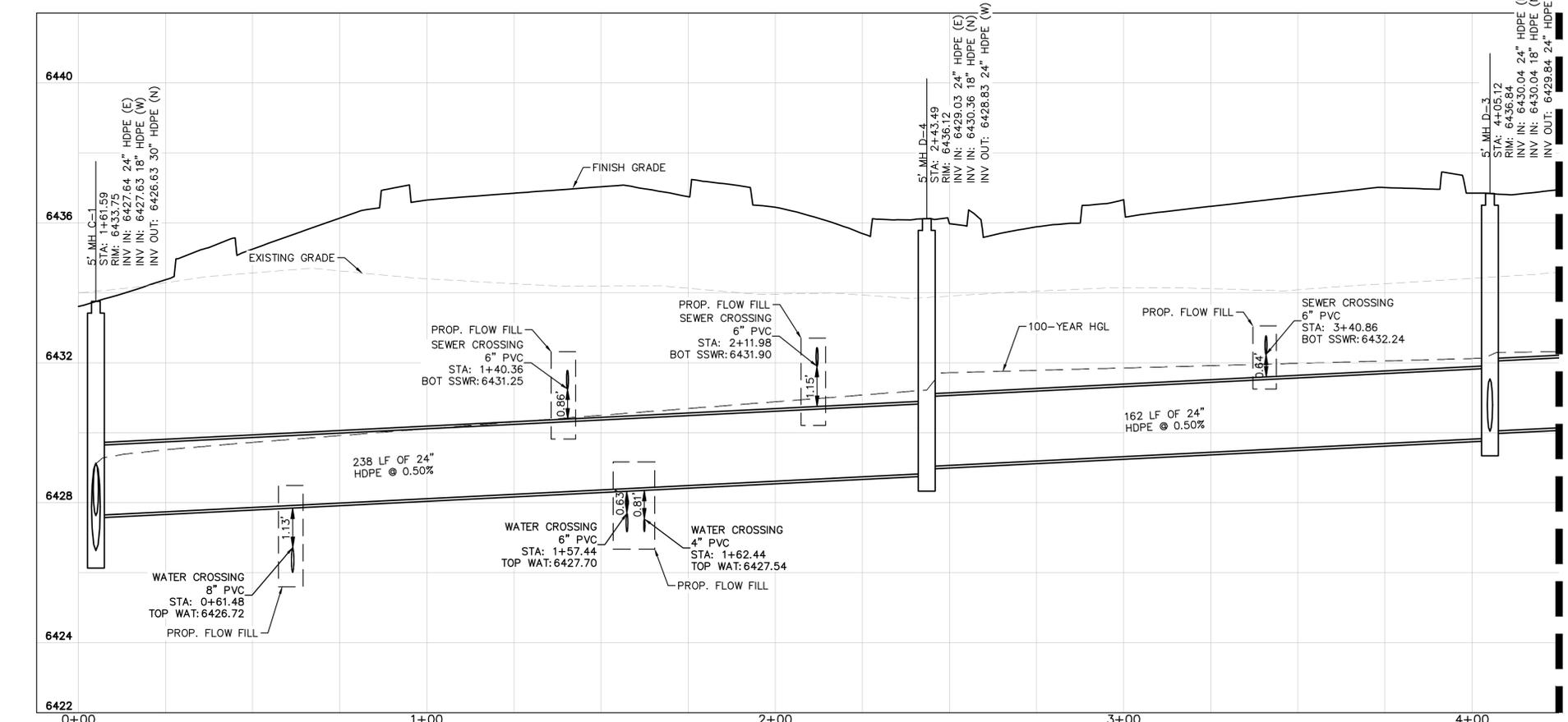
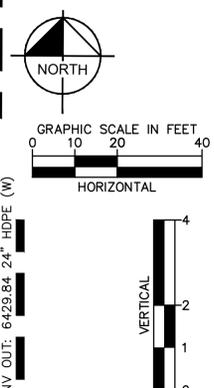


STORM SEWER LINE D STA 0+00-4+25 PLAN VIEW



KEY MAP
NOT TO SCALE

- LEGEND:**
- PROPERTY LINE
 - - - EXISTING EASEMENT LINE
 - - - PROPOSED EASEMENT LINE
 - EXISTING STORM SEWER
 - PROPOSED STORM SEWER
 - EXISTING WATER LINE
 - PROPOSED WATER LINE
 - EXISTING FIRE HYDRANT
 - PROPOSED FIRE HYDRANT
 - PROPOSED FIRE DEPARTMENT CONNECTION W/ APPROVED KNOX HARDWARE
 - EXISTING SANITARY SEWER
 - PROPOSED SANITARY SEWER
 - SANITARY SEWER MANHOLE
 - PROPOSED STORM MANHOLE
 - EXISTING STORM MANHOLE
 - PROPOSED CURB INLET
 - EXISTING CURB INLET
 - PROPOSED GRATE INLET



STORM SEWER LINE D STA 0+00-4+25 - PROFILE VIEW

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Colorado Springs, CO 80903 (303) 228-2300

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THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
UTILITY AND WATER SERVICE PLANS
STORM PLAN AND PROFILE LINE D



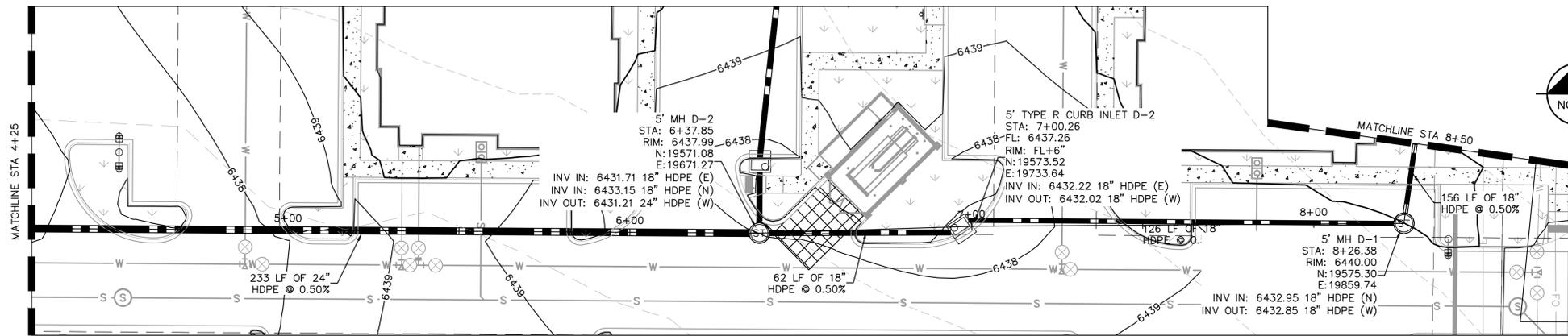
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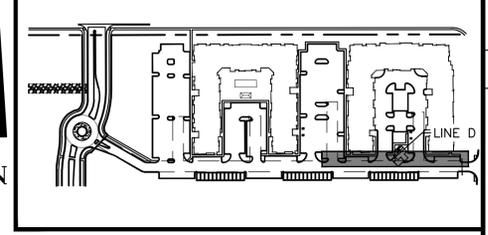
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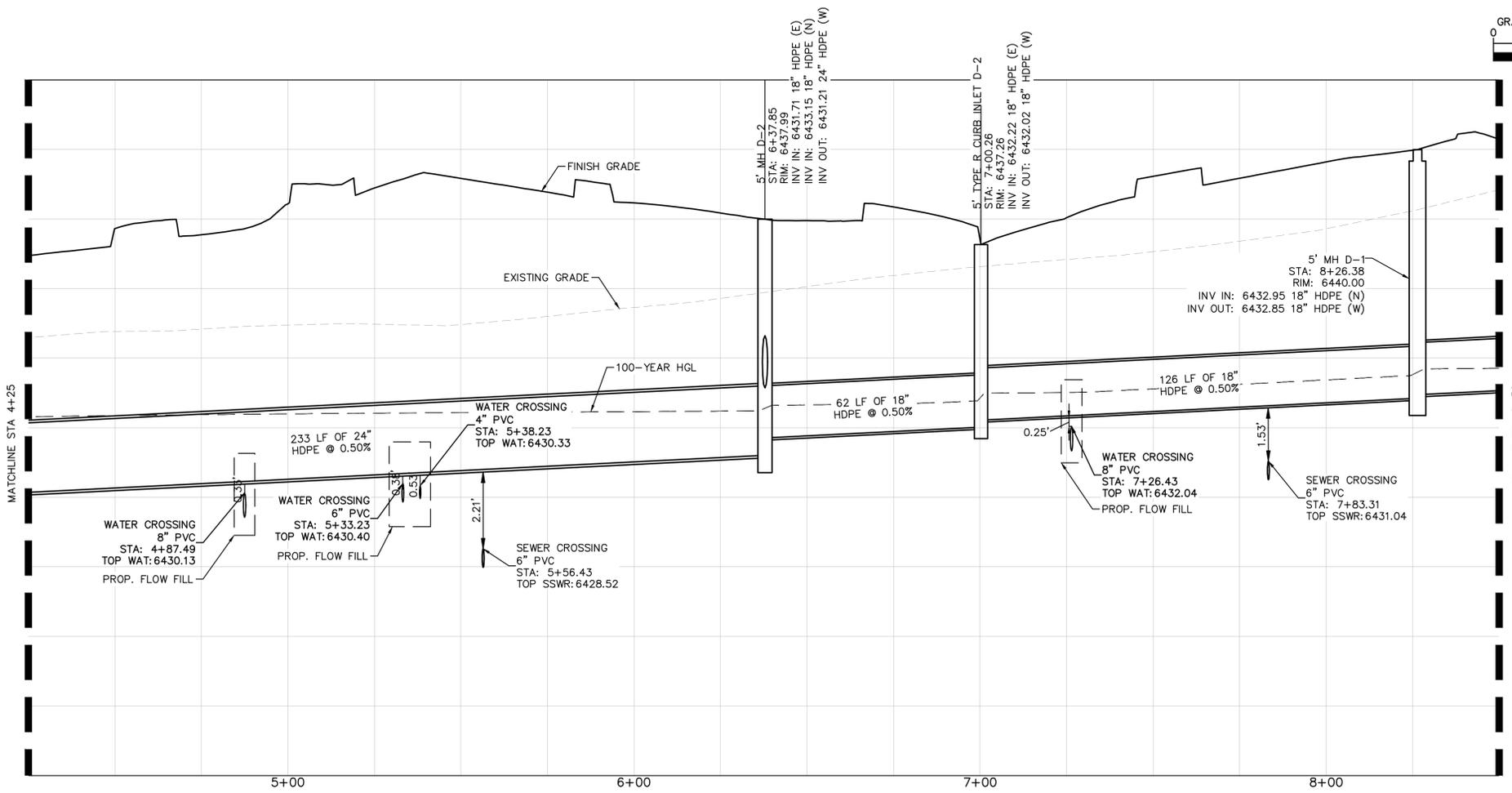
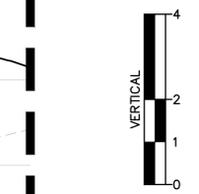
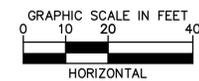
STORM SEWER LINE D STA 4+25-8+50 - PLAN VIEW



KEY MAP
NOT TO SCALE

LEGEND:

- PROPERTY LINE
- - - - - EXISTING EASEMENT LINE
- - - - - PROPOSED EASEMENT LINE
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING WATER LINE
- PROPOSED WATER LINE
- ▲ EXISTING FIRE HYDRANT
- ▲ PROPOSED FIRE HYDRANT
- ▲ PROPOSED FIRE DEPARTMENT CONNECTION W/ APPROVED KNOX HARDWARE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- ⊙ SANITARY SEWER MANHOLE
- ⊙ PROPOSED STORM MANHOLE
- ⊙ EXISTING STORM MANHOLE
- PROPOSED CURB INLET
- EXISTING CURB INLET
- PROPOSED GRATE INLET



STORM SEWER LINE D STA 4+25-8+50 - PROFILE VIEW

STORM SEWER NOTES

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7. ALL PRIVATE LANDSCAPE DRAINS SHALL BE NYOPLAST TYPE OR APPROVED EQUIVALENT. RE: UTILITY DETAILS FOR NYOPLAST DETAILED DRAWINGS.
8. CONTRACTOR SHALL VERIFY LOCATIONS AND ELEVATIONS OF EXISTING STORM SEWER AT ALL CONNECTION POINTS AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
9. CONTRACTOR TO MODIFY EXISTING MANHOLE RIM ELEVATIONS TO MATCH PROPOSED FINISH GRADE AS NECESSARY.



CALL UTILITY NOTIFICATION CENTER OF COLORADO
1-800-922-1987
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES

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Kimley»Horn
2022 KIMLEY-HORN AND ASSOCIATES, INC.
2 North Nevada Avenue, Suite 300
Colorado Springs, CO 80903 (303) 228-2300

DESIGNED BY: MOH
DRAWN BY: JWM
CHECKED BY: DLS
DATE: 12/07/2022

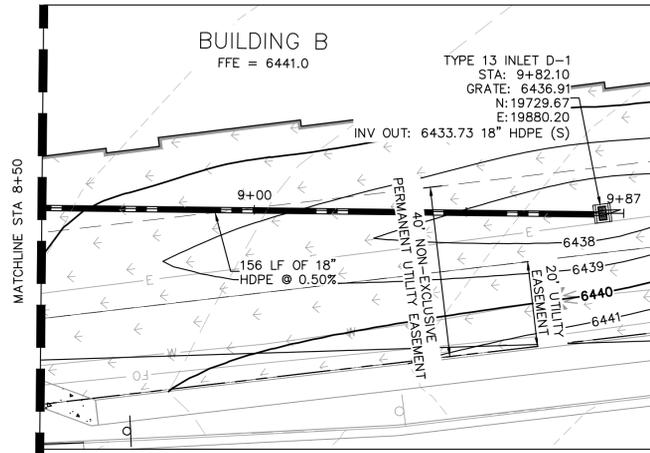
THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
UTILITY AND WATER SERVICE PLANS
STORM PLAN AND PROFILE LINE D



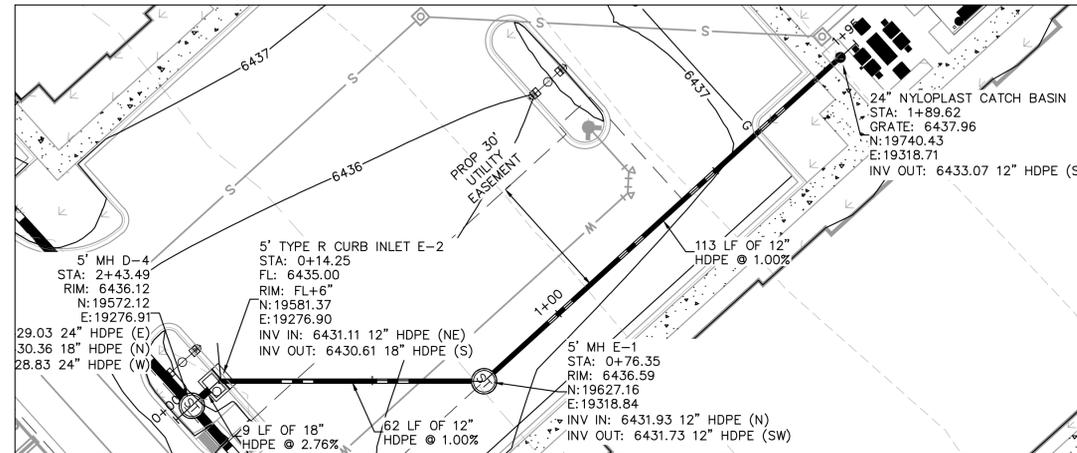
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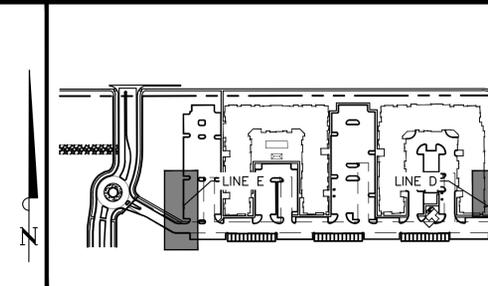
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STORM SEWER LINE D STA 8+50-END - PLAN VIEW



STORM SEWER LINE E - PLAN VIEW



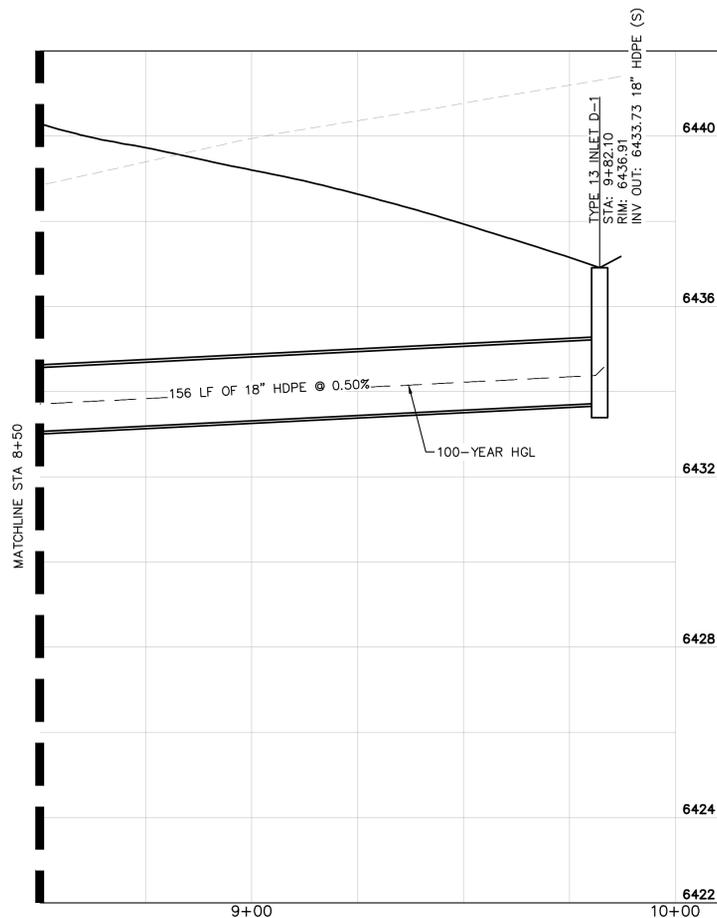
KEY MAP
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LEGEND:

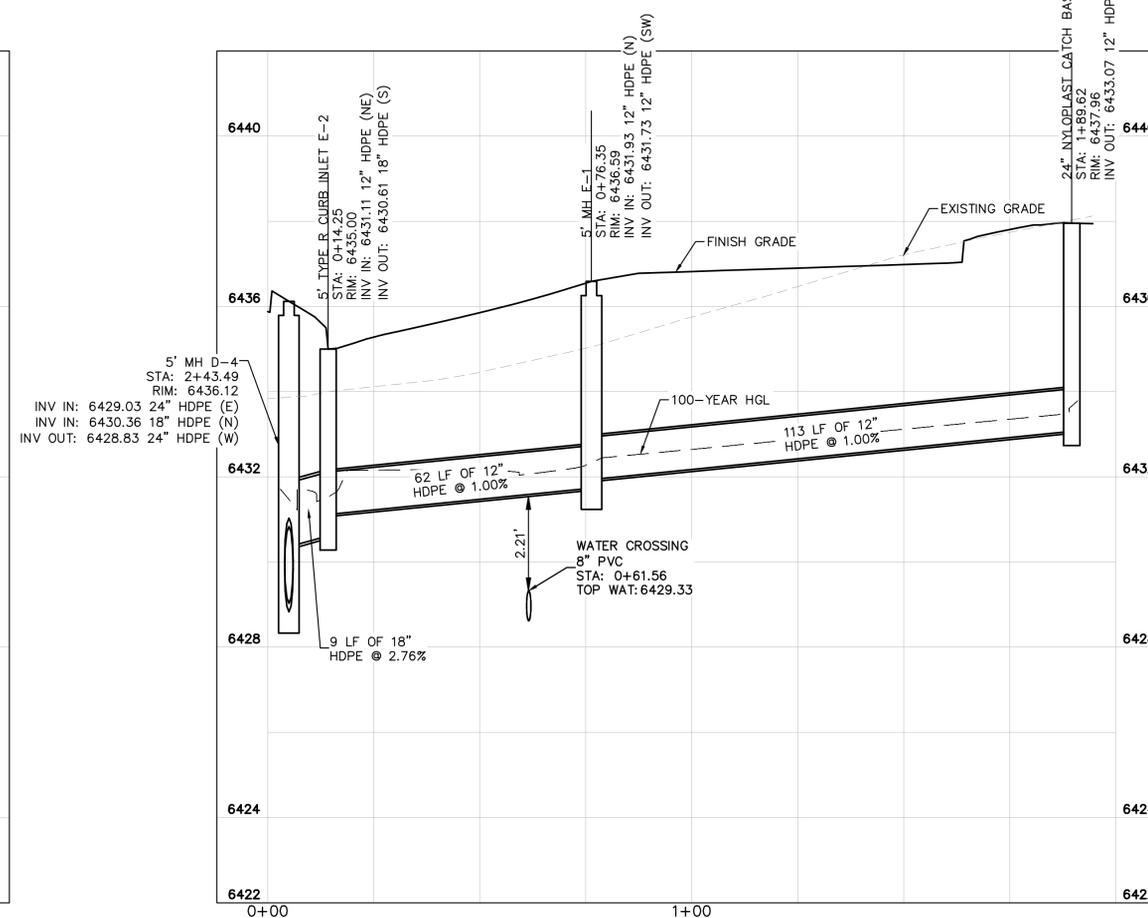
- PROPERTY LINE
- - - - - EXISTING EASEMENT LINE
- - - - - PROPOSED EASEMENT LINE
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- - - - - EXISTING WATER LINE
- - - - - PROPOSED WATER LINE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- PROPOSED FIRE DEPARTMENT CONNECTION W/ APPROVED KNOX HARDWARE
- - - - - EXISTING SANITARY SEWER
- - - - - PROPOSED SANITARY SEWER
- ⊙ SANITARY SEWER MANHOLE
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- PROPOSED CURB INLET
- EXISTING CURB INLET
- PROPOSED GRATE INLET

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STORM SEWER LINE D STA 8+50-END - PROFILE VIEW



STORM SEWER LINE E - PROFILE VIEW



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 DATE: 12/07/2022

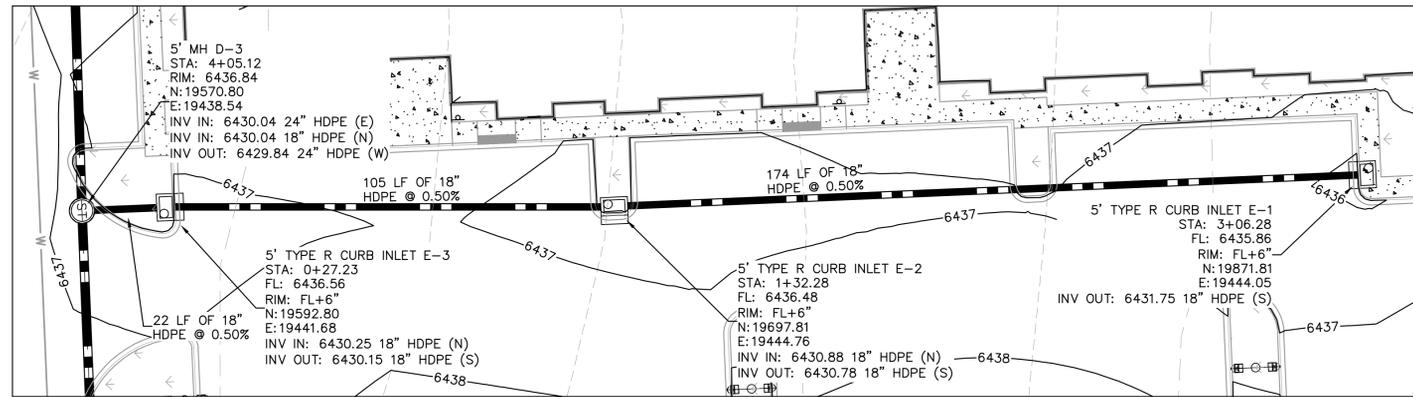
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 EL PASO COUNTY, COLORADO
 UTILITY AND WATER SERVICE PLANS
STORM PLAN AND PROFILE LINE



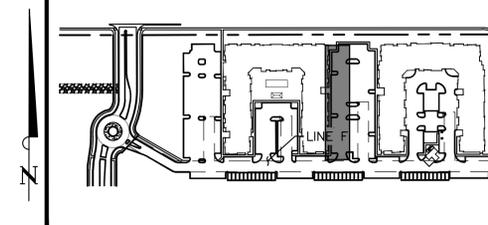
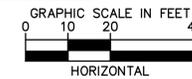
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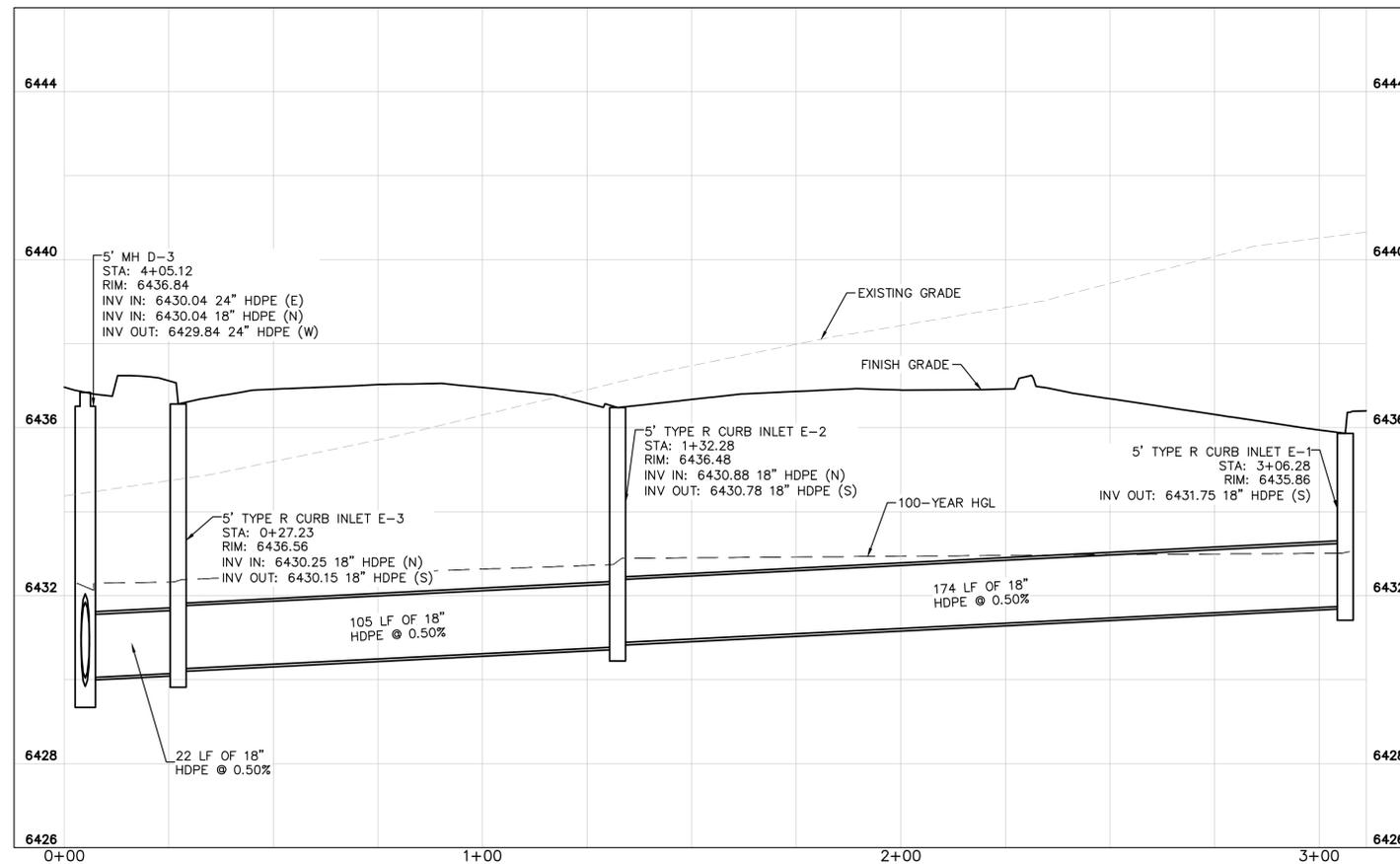


STORM SEWER LINE F - PLAN VIEW



LEGEND:

- PROPERTY LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING WATER LINE
- PROPOSED WATER LINE
- ▲ EXISTING FIRE HYDRANT
- ▲ PROPOSED FIRE HYDRANT
- ▲ PROPOSED FIRE DEPARTMENT CONNECTION W/ APPROVED KNOX HARDWARE
- S --- EXISTING SANITARY SEWER
- S --- PROPOSED SANITARY SEWER
- ⊙ SANITARY SEWER MANHOLE
- ⊙ PROPOSED STORM MANHOLE
- ⊙ EXISTING STORM MANHOLE
- PROPOSED CURB INLET
- EXISTING CURB INLET
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STORM SEWER LINE F - PROFILE VIEW

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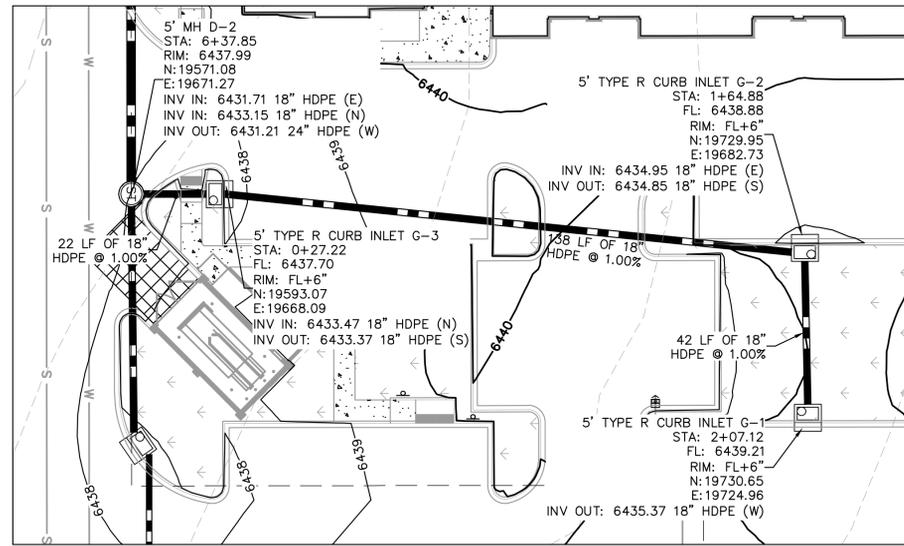
THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
UTILITY AND WATER SERVICE PLANS
STORM PLAN AND PROFILE LINE F



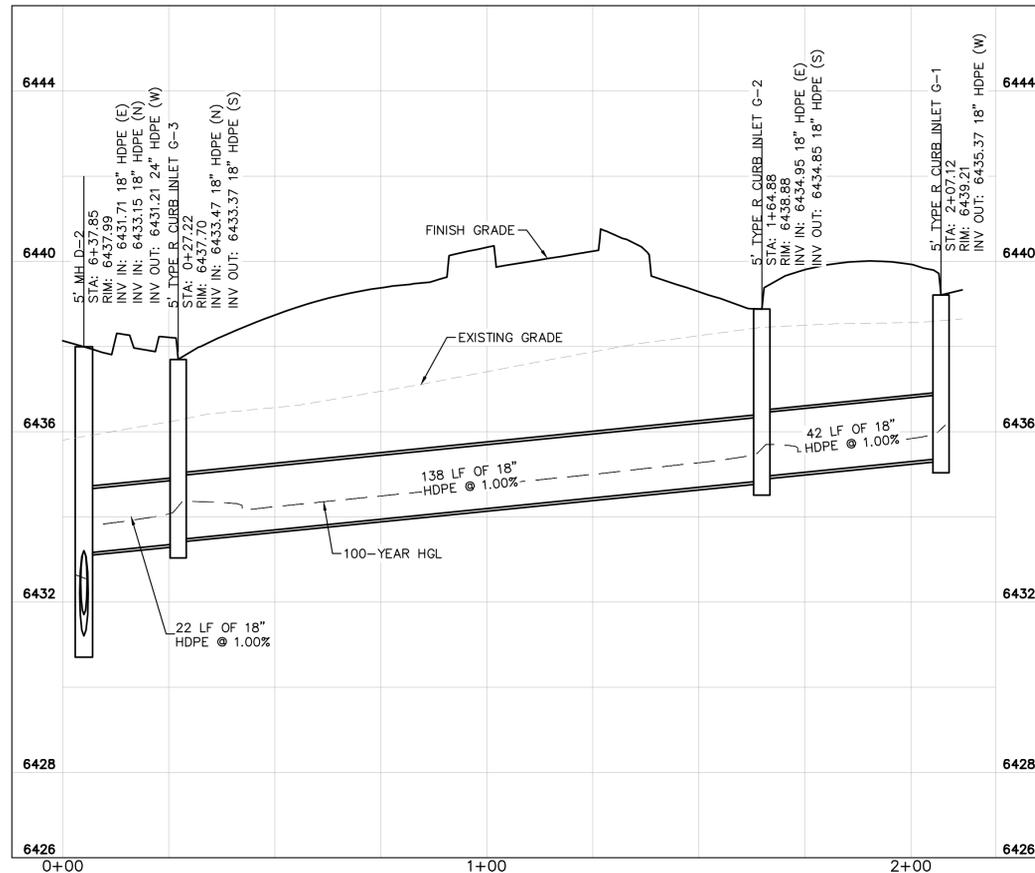
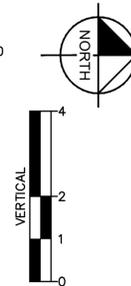
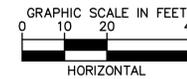
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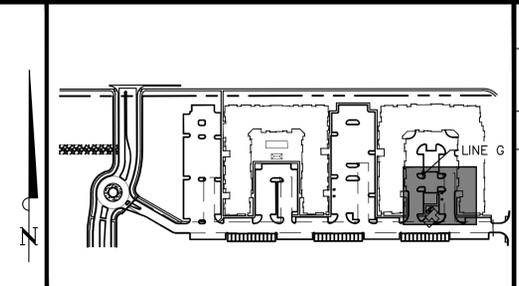
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STORM SEWER LINE G - PLAN VIEW



STORM SEWER LINE G - PROFILE VIEW



- LEGEND:**
- PROPERTY LINE
 - EXISTING EASEMENT LINE
 - PROPOSED EASEMENT LINE
 - EXISTING STORM SEWER
 - PROPOSED STORM SEWER
 - EXISTING WATER LINE
 - PROPOSED WATER LINE
 - EXISTING FIRE HYDRANT
 - PROPOSED FIRE HYDRANT
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 - EXISTING SANITARY SEWER
 - PROPOSED SANITARY SEWER
 - SANITARY SEWER MANHOLE
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EL PASO COUNTY, COLORADO
UTILITY AND WATER SERVICE PLANS
STORM PLAN AND PROFILE LINE F

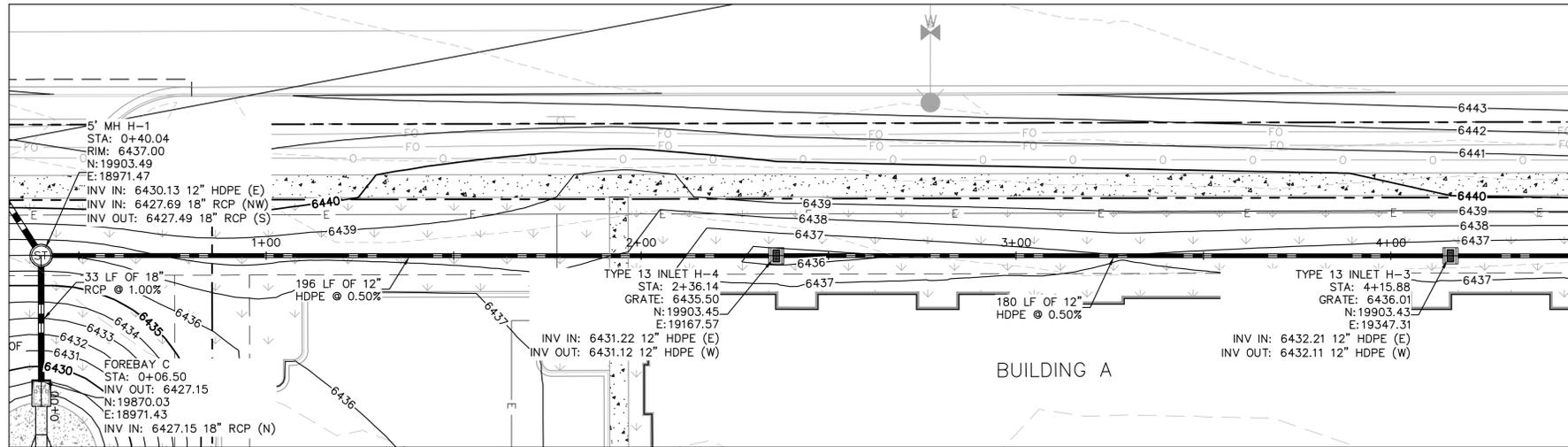


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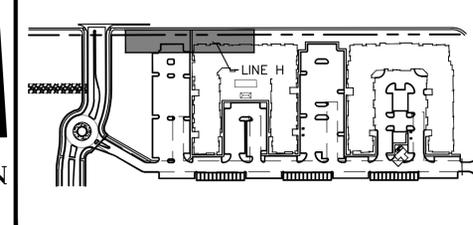
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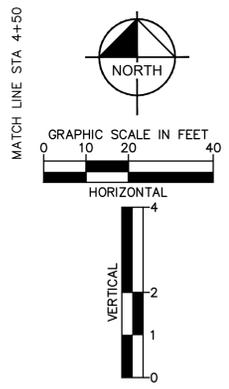
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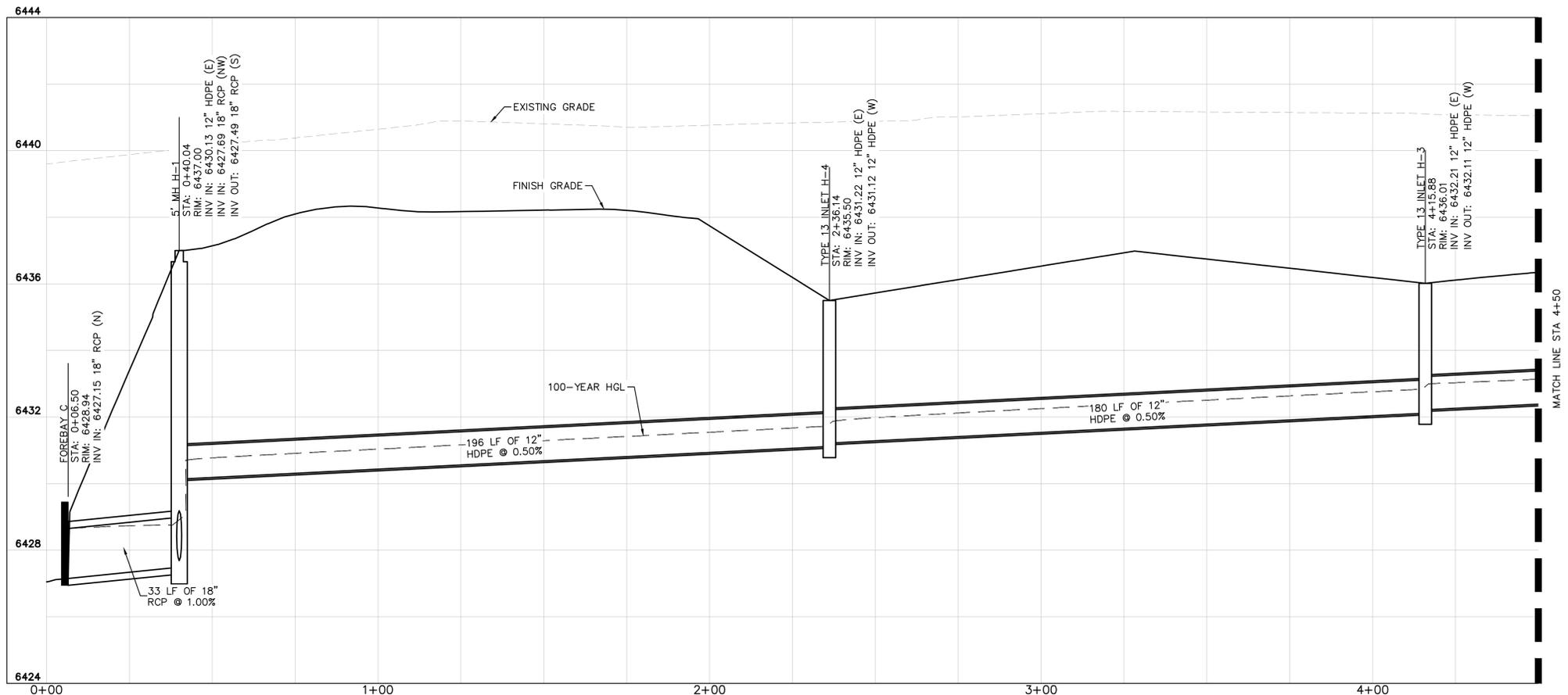
STORM SEWER LINE H STA 0+00-4+50 - PLAN VIEW



KEY MAP
NOT TO SCALE



- LEGEND:**
- PROPERTY LINE
 - EXISTING EASEMENT LINE
 - PROPOSED EASEMENT LINE
 - EXISTING STORM SEWER
 - PROPOSED STORM SEWER
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STORM SEWER LINE H STA 0+00-4+50 - PROFILE VIEW

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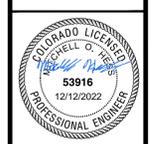


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 Colorado Springs, CO 80903 (303) 228-2300

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THE CITIZEN ON CONSTITUTION
 EL PASO COUNTY, COLORADO
 UTILITY AND WATER SERVICE PLANS
STORM PLAN AND PROFILE LINE G

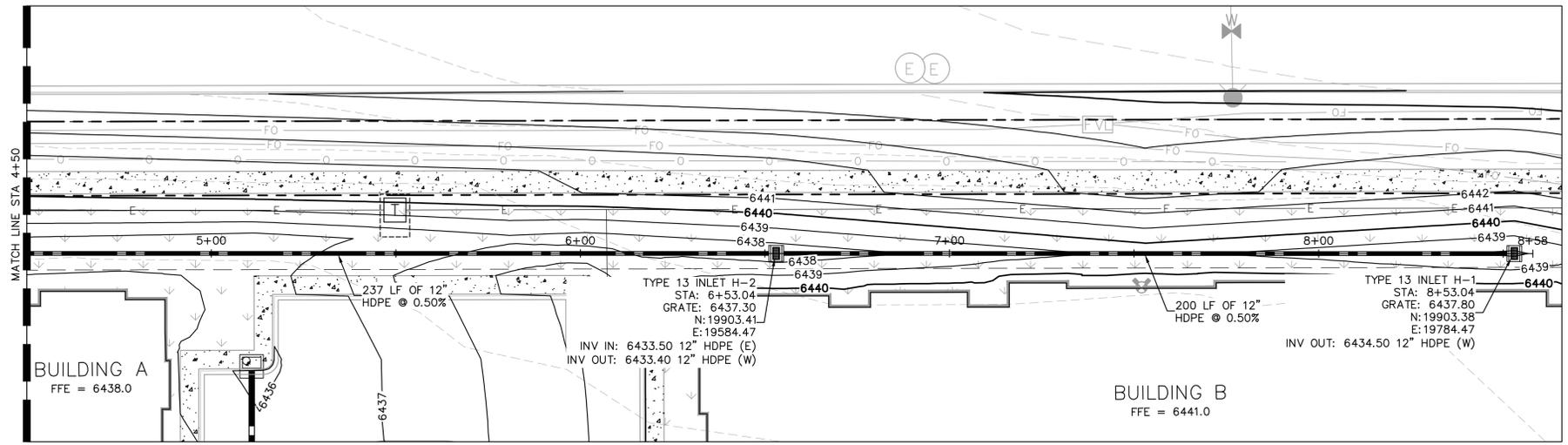


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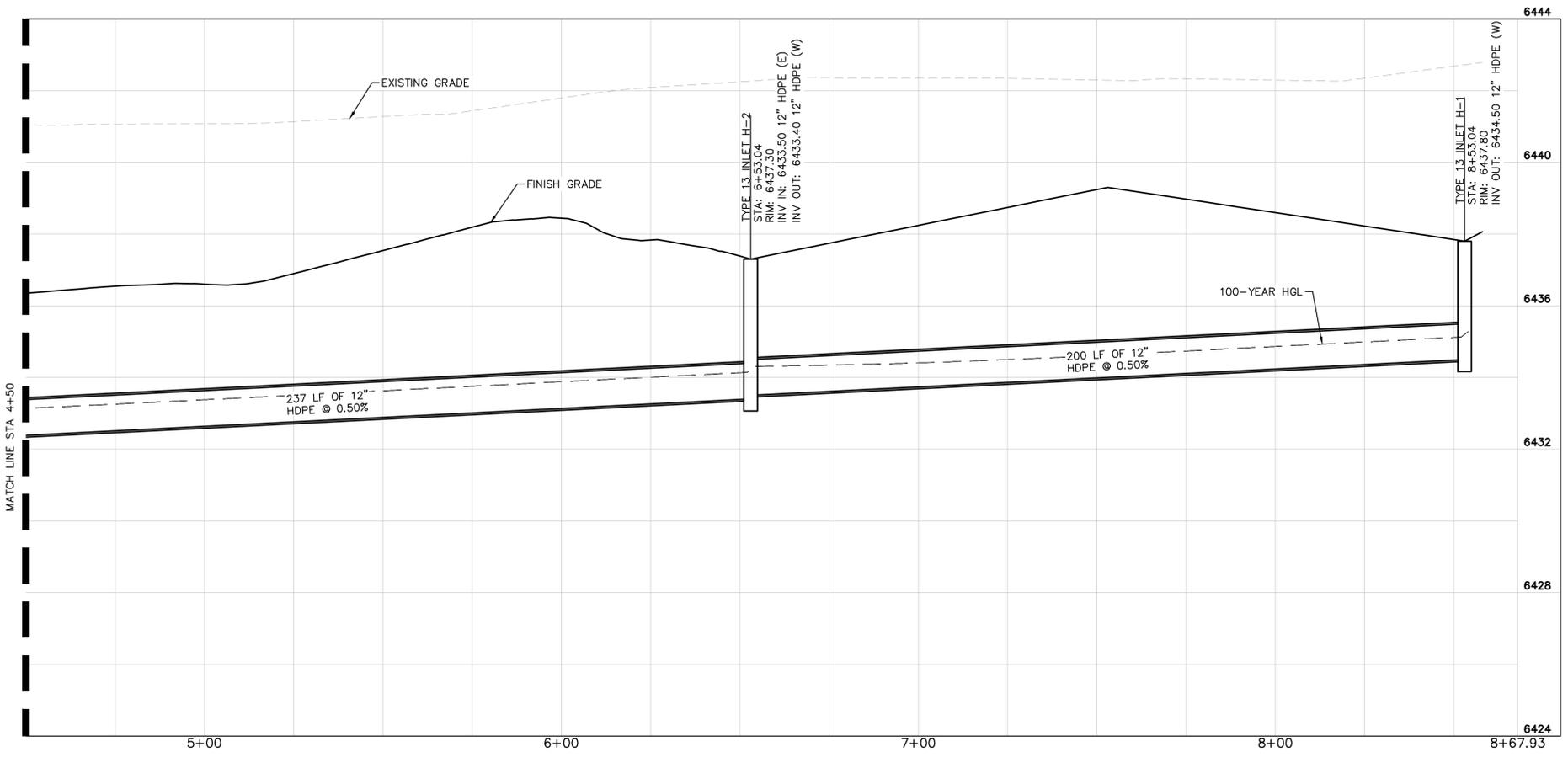
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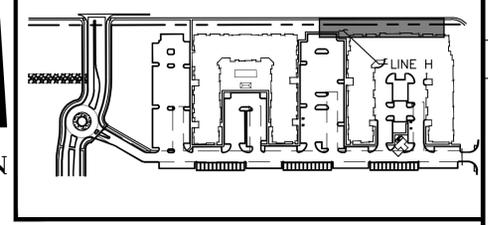
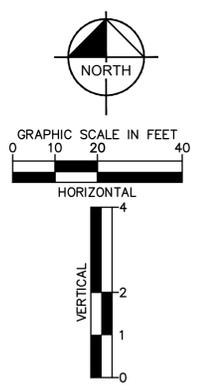
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STORM SEWER LINE H STA 4+50-END - PLAN VIEW



STORM SEWER LINE H STA 4+50-END - PROFILE VIEW



KEY MAP NOT TO SCALE

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STORM PLAN AND PROFILE LINE H



PROJECT NO.
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SHEET

C4.9

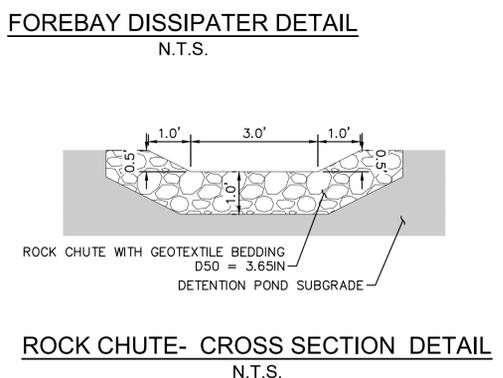
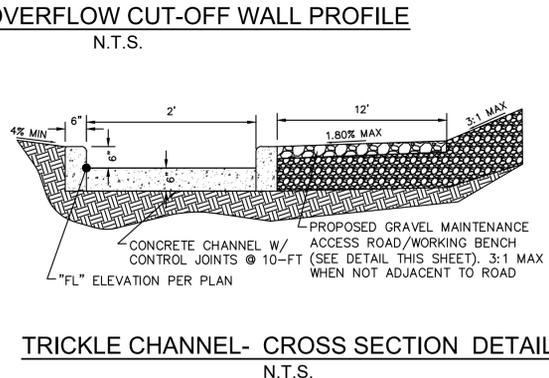
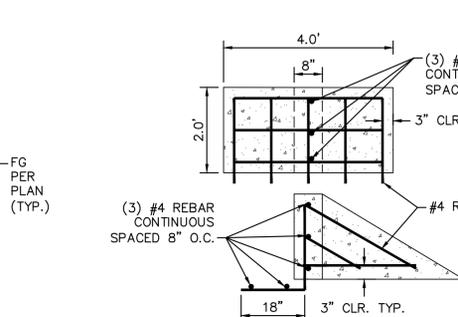
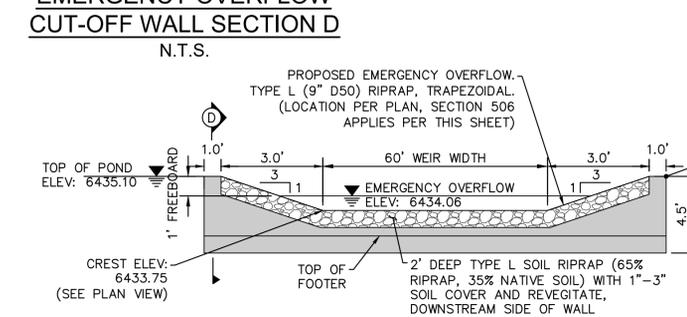
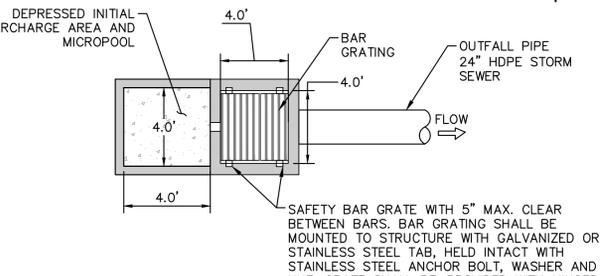
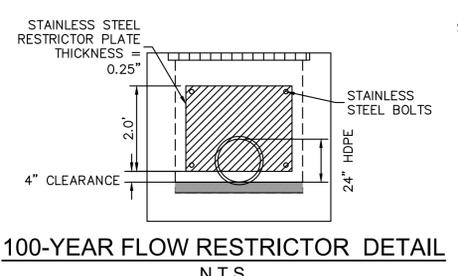
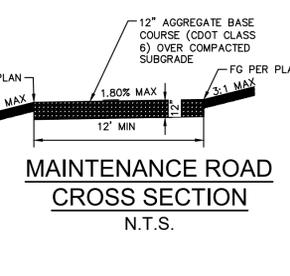
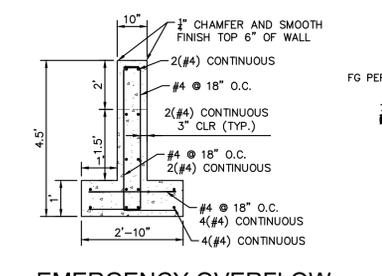
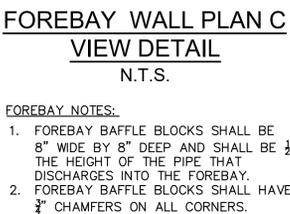
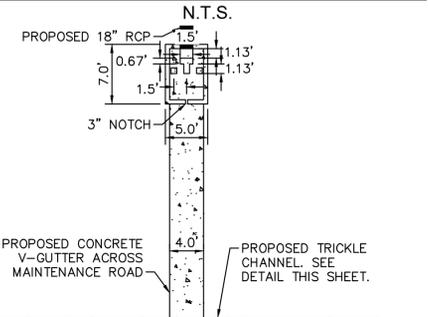
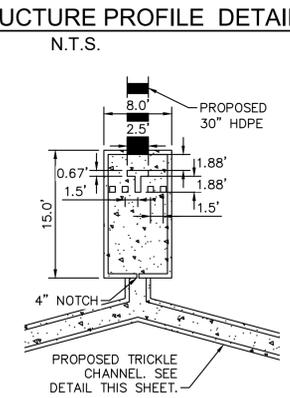
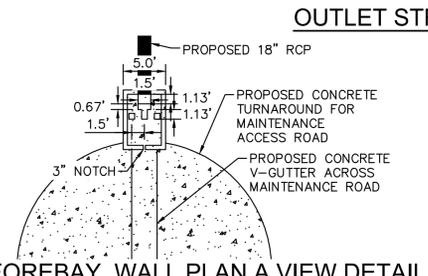
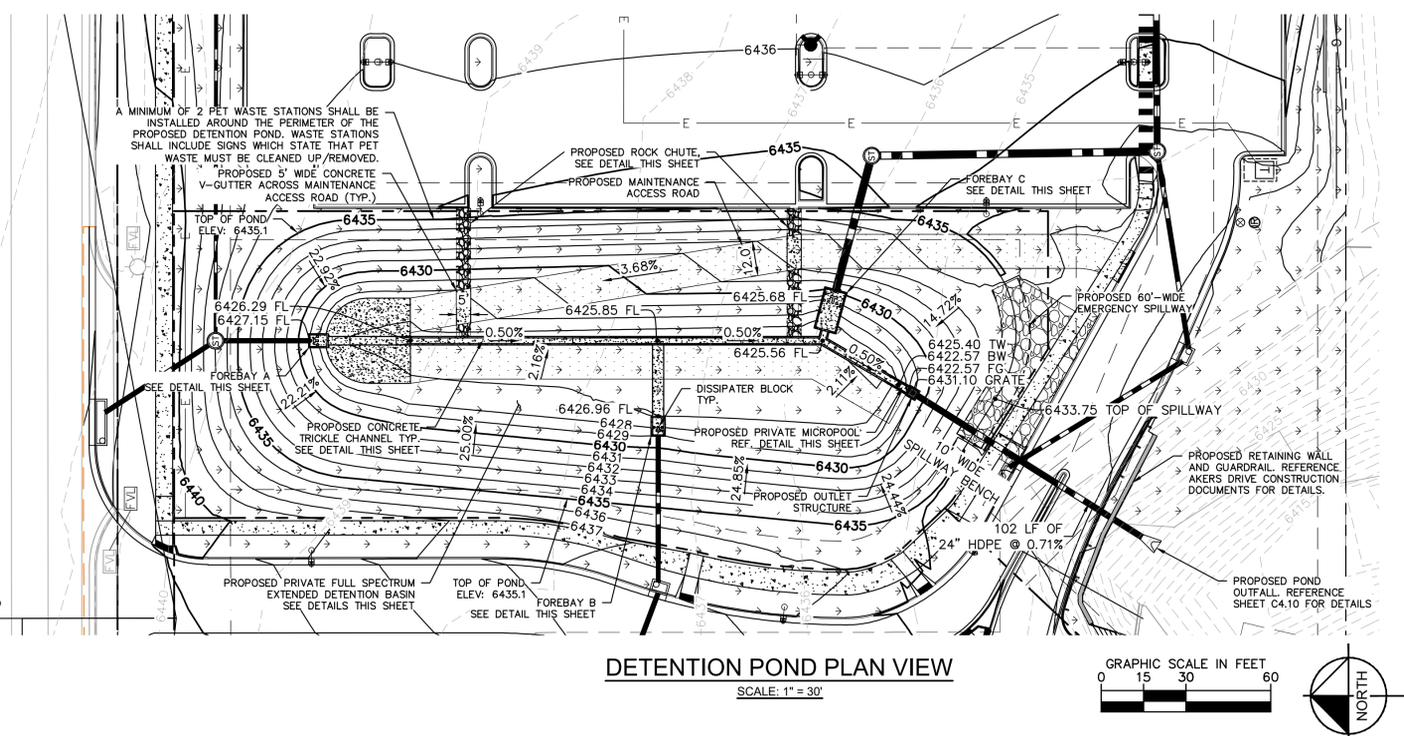
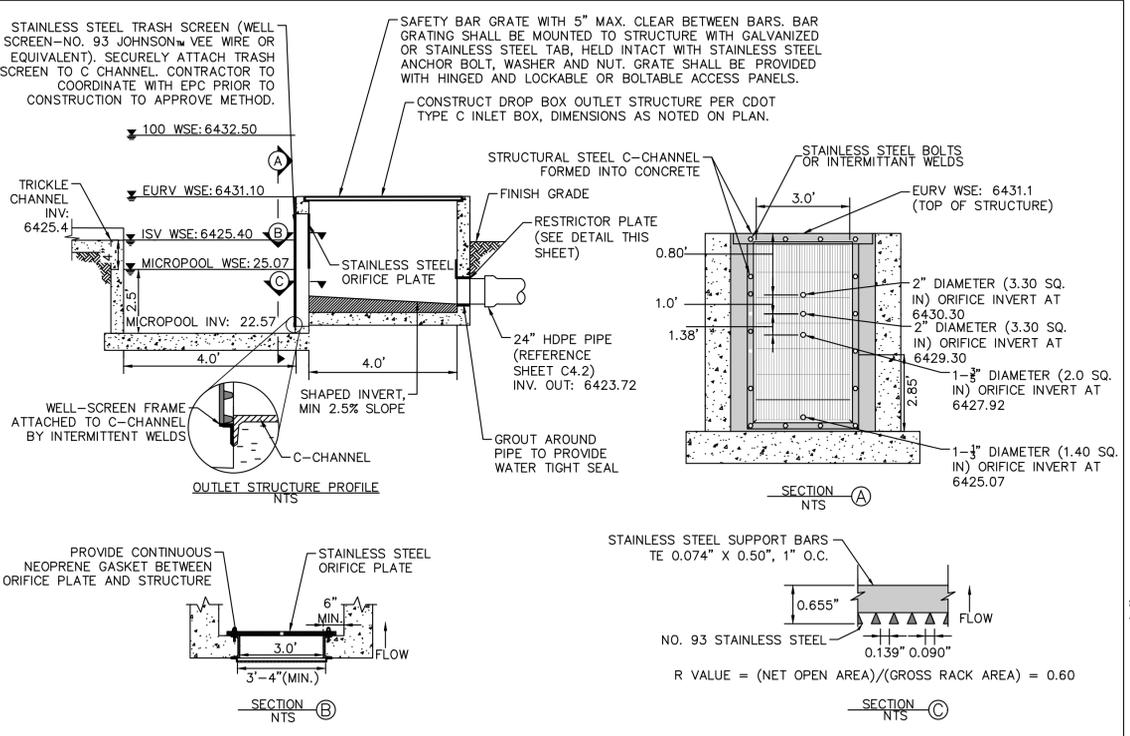


Table 506-2

Pay Item	Stone Size d50 ¹ (Inches)	Percent of Material Smaller Than Typical Stone ²	Typical Stone Dimensions ³ (Inches)	Typical Stone Weight ⁴ (Pounds)
Riprap 6	6	70-100	12	85
		50-70	9	35
		35-50	6	10
Riprap 9	9	70-100	15	160
		50-70	12	85
		35-50	9	35
Riprap 12	12	70-100	21	440
		50-70	18	275
		35-50	12	85
Riprap 18	18	70-100	30	1280
		50-70	24	650
		35-50	18	275
Riprap 24	24	70-100	42	3500
		50-70	33	1700
		35-50	24	650

¹d50 = nominal stone size
²based on typical rock mass
³equivalent spherical diameter
⁴based on a specific gravity = 2.5

Nominal stone size and total thickness of the riprap shall be as shown on the plans.

Kimley»Horn

2022 KIMLEY-HORN AND ASSOCIATES, INC.
 2 North Nevada Avenue, Suite 300
 Colorado Springs, CO 80903 (303) 228-2300

DESIGNED BY: MOH
 DRAWN BY: JWM
 CHECKED BY: DLS
 DATE: 12/07/2022

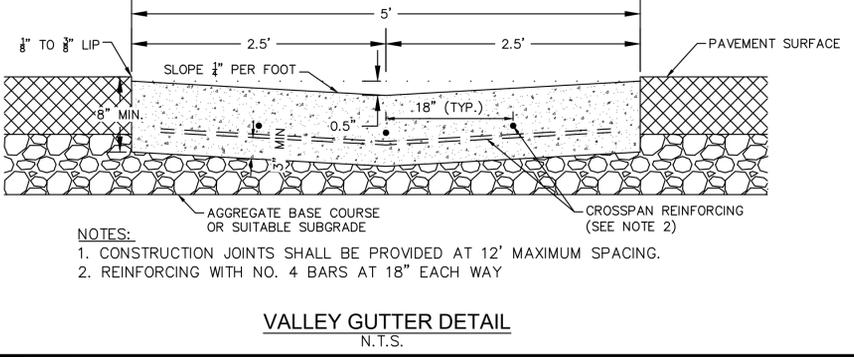
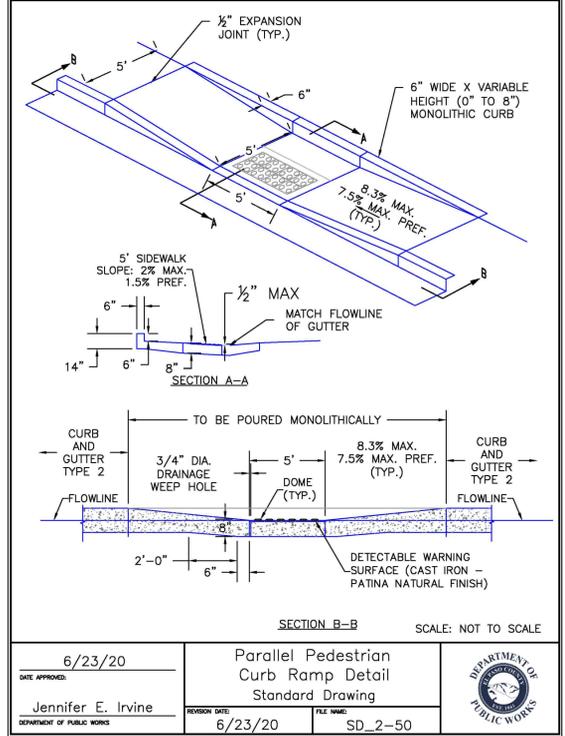
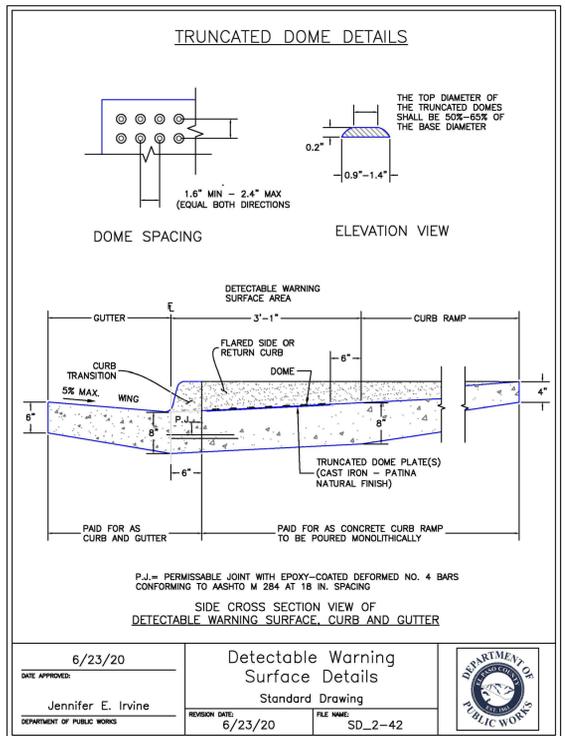
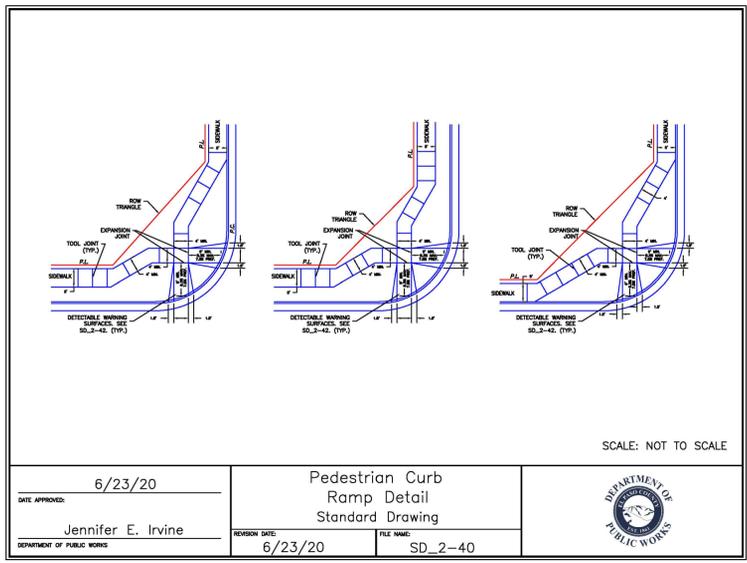
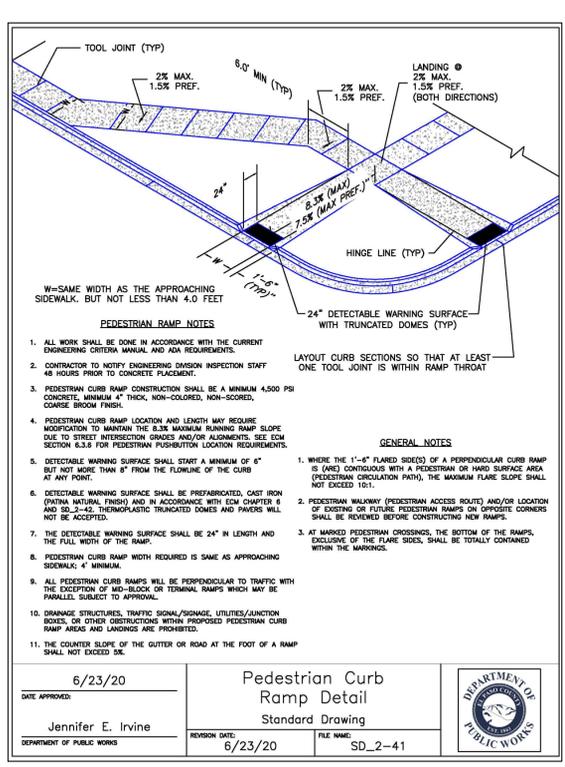
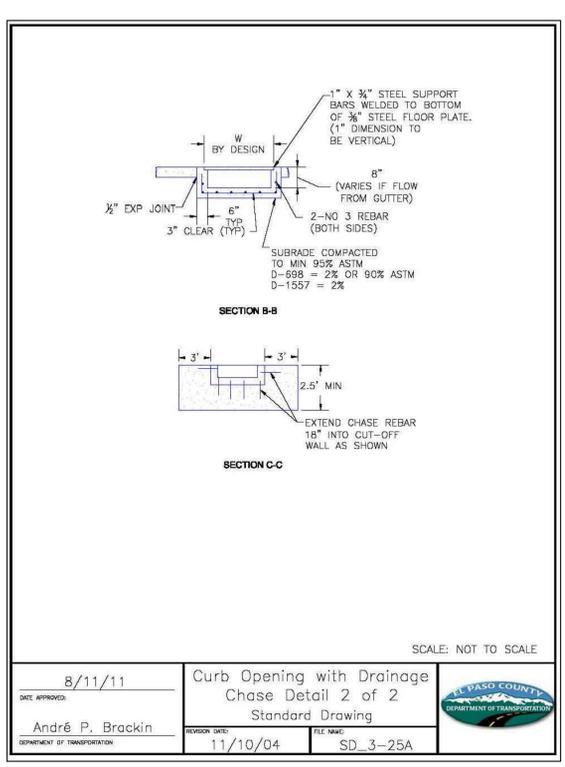
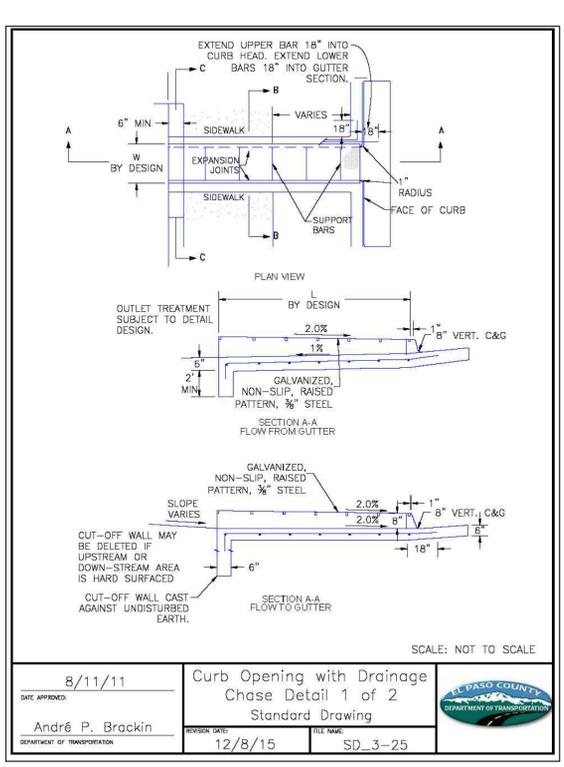
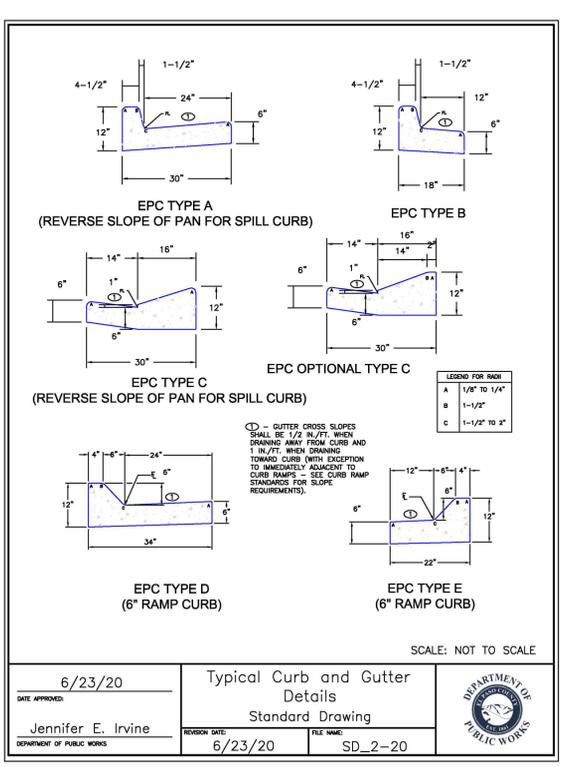
THE CITIZEN ON CONSTITUTION
 EL PASO COUNTY, COLORADO
 UTILITY AND WATER SERVICE PLANS
DETENTION POND PLAN AND DETAILS

PROFESSIONAL ENGINEER
 53916
 12/12/2022

PROJECT NO. 096481004
 SHEET C4.11

NO. REVISION BY DATE APPR.

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NO.	REVISION	DATE	APPR.

Kimley»Horn
 2022 KIMLEY-HORN AND ASSOCIATES, INC.
 2 North Nevada Avenue, Suite 300
 Colorado Springs, CO 80903 (303) 228-2300

DESIGNED BY: MOH
 DRAWN BY: JWM
 CHECKED BY: MOH
 DATE: 12/07/2022

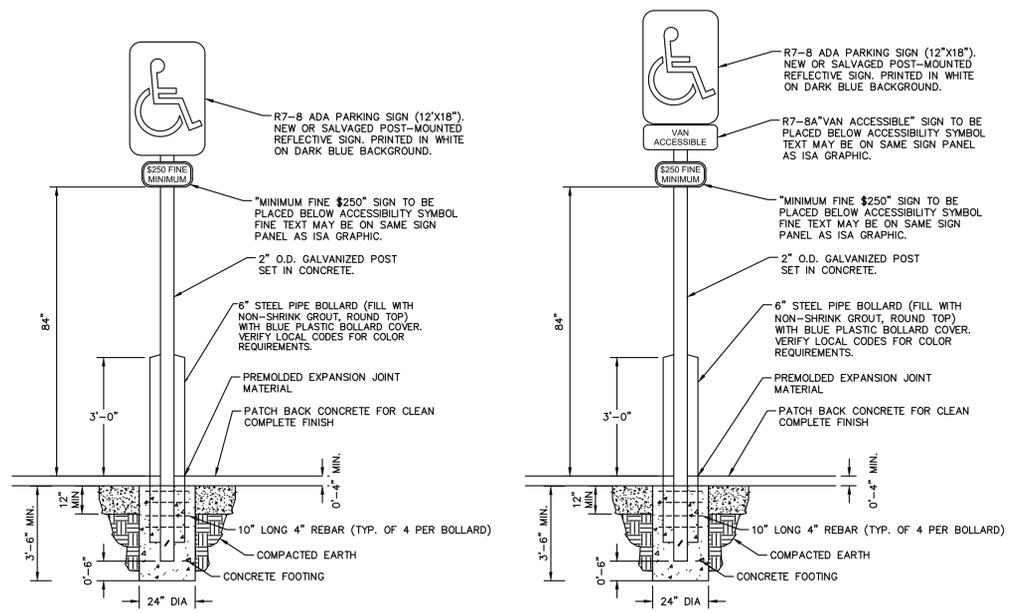
THE CITIZEN ON CONSTITUTION
 EL PASO COUNTY, COLORADO
 SITE DEVELOPMENT PLAN
 CONSTRUCTION DETAILS



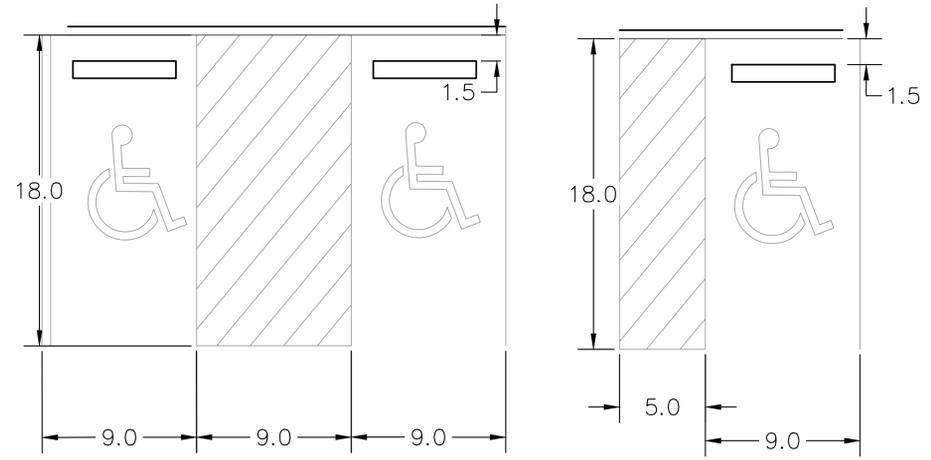
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 SHEET C5.0

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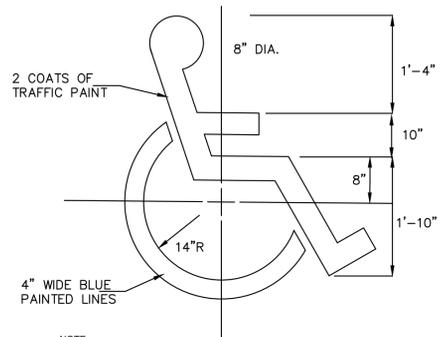
ADA PARKING SIGN DETAILS
SCALE: 1"=20'



ADA PARKING STALL DETAILS
NOT TO SCALE



AUTHORIZED ACCESS ONLY SIGN DETAIL
NOT TO SCALE

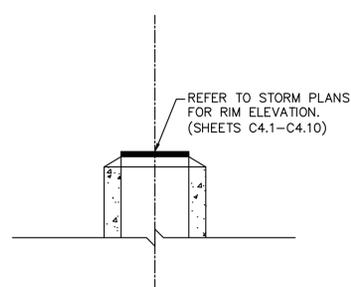


HANDICAP SYMBOL
NOT TO SCALE

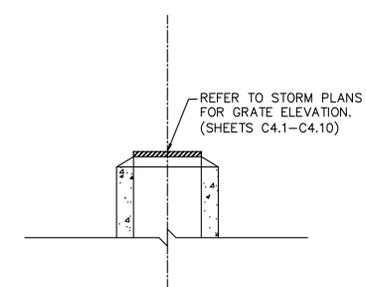


30"x30"
MINIMUM SIZE
BACKGROUND
4090 (3M-WHITE DIAMOND GRADE) OR EQUIVALENT
1172 C (3M-RED EC FILM) OR EQUIVALENT

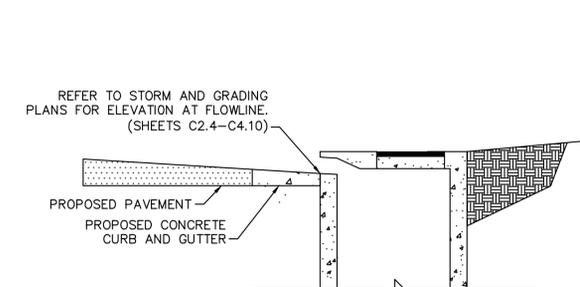
MUTCD R1-1 STOP SIGN DETAIL
NOT TO SCALE



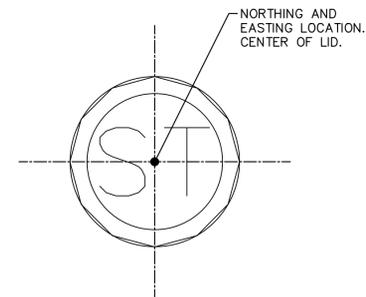
ELEVATION VIEW - MANHOLES INLETS
NOT TO SCALE



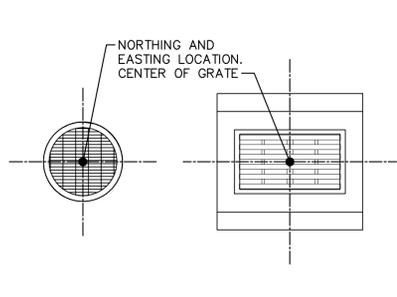
ELEVATION VIEW - AREA INLETS
NOT TO SCALE



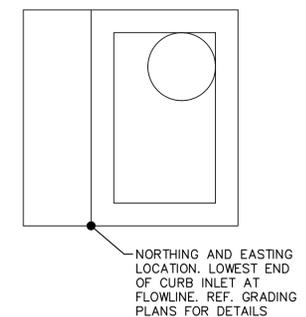
ELEVATION VIEW - CURB INLETS
NOT TO SCALE



PLAN VIEW - MANHOLES
NOT TO SCALE

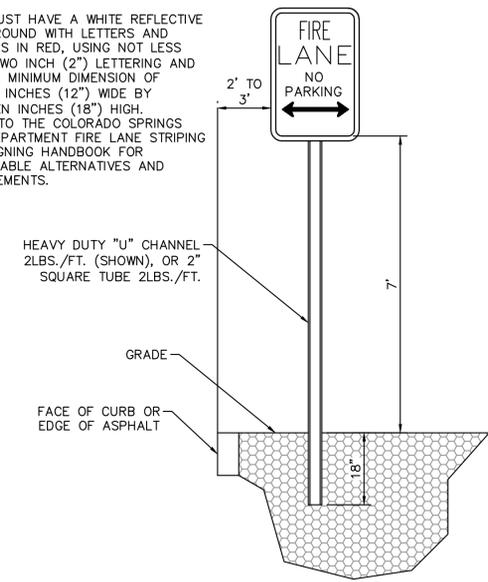


PLAN VIEW - AREA INLETS
NOT TO SCALE



PLAN VIEW - CURB INLETS
NOT TO SCALE

- NOTE:**
- SIGN MUST HAVE A WHITE REFLECTIVE BACKGROUND WITH LETTERS AND BORDERS IN RED, USING NOT LESS THAN TWO INCH (2") LETTERING AND HAVE A MINIMUM DIMENSION OF TWELVE INCHES (12") WIDE BY EIGHTEEN INCHES (18") HIGH.
 - REFER TO THE COLORADO SPRINGS FIRE DEPARTMENT FIRE LANE STRIPING AND SIGNING HANDBOOK FOR ACCEPTABLE ALTERNATIVES AND REQUIREMENTS.



FIRE LANE SIGNAGE DETAIL
NOT TO SCALE

NO.	REVISION	BY	DATE	APPR.

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SITE DEVELOPMENT PLAN
CONSTRUCTION DETAILS



PROJECT NO.
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SHEET
C5.1