Kimley»Horn

CITIZEN ON CONSTITUTION SDP

LETTER OF INTENT

Approved
By: Justin Kilgore
Planning Manager
Date:01/27/2023
El Paso County Planning & Community Development

AUGUST 1, 2022

KIMLEY-HORN AND ASSOCIATES

Contents

APPLICANT-OWNER/CONSULTANT INFORMATION: 2
OWNER: 2
APPLICANT 2
APPLICANT'S CONSULTANT 2
REQUEST 2
PROJECT DESCRIPTION 2
PROPERTY LOCATION, ACREAGE, PARCEL ID INFO, & ZONING 2
RM-30 ZONING COMPLIANCE: 3
SDP DESCRIPTION 3
YOUR EL PASO MASTER PLAN CONFORMANCE 4
Master Plan Conformity (Land Use & Housing) 5
WATER MASTER PLAN CONFORMANCE & CONSIDERATIONS 12

APPLICANT-OWNER/CONSULTANT INFORMATION:

OWNER:	FEATHERGRASS IINVESTMENTS, LLC ATTN: KENNETH DRISCOLL 719-651-9133 kdriscoll719@gmail.com 4715 N. CHESTNUT ST COLORADO SPRINGS, CO 80907
APPLICANT	THE GARRETT COMPANIES, INC. ATTN: RACHEL HARMON 317-775-1853 RHarmon@TheGarrettCo.com 1051 GREENWOOD SPRINGS BLVD, SUITE 101 GREENWOOD, IN 46143
APPLICANT'S CONSULTANT	KIMLEY-HORN & ASSOCIATES ATTN: MITCHELL HESS, P.E. 719-453-0180 mitchell.hess@kimley-horn.com 2. NORTH NEVADA AVENUE, SUITE 300 COLORADO SPRINGS, CO 80903

REQUEST

Approval of 11.72-acre 'Citizen on Constitution SDP (hereafter, "SDP")', in the RM-30 Zone (Approved by the BOCC – PCD File No. P218) on Citizen on Constitution Filing No. 1 (Pending approval – PCD File No. SF-226).

PROJECT DESCRIPTION

Creation of create a single lot (8.927 AC) and tracts for a 226-unit multifamily development in the RM-30 District, 1.352 AC of Right-of-Way dedication, a 0.800 AC tract for stormwater detention, and a 1.185 AC tract for open space. Final development plans include 2 – three (3) story buildings with tuck under, detached garages, and uncovered surface parking, indoor/outdoor recreation amenities, and open spaces.

PROPERTY LOCATION, ACREAGE, PARCEL ID INFO, & ZONING

The properties included in the final plat are located at the southwest corner of Marksheffel Road and Constitution Avenue at 7640 and 7750 Constitution Avenue. The pending replat includes Parcel No. 5405000051 and Parcel No. 5405000035, which are legally described as Tracts M and N, Urban Collection at Palmer Ridge, respectively. The parcels are currently zoned CR with Commercial Aviation Development Overlay (CAD-O), subject to

approval of a map amendment (rezoning) to the RM-30 CAD-O zone (PCD File No. P-21-8). See vicinity map for location/site details.

RM-30 ZONING COMPLIANCE:

Development of the site will be in conformance with the zoning requirements of the RM-30 zone, including landscape buffering/screening requirements of the Code summarized below:

- Maximum density: 30 DU/AC
- Structural Setbacks (from property boundary):
  - Front 25-feet (Akers Drive)
  - Side/Rear: 15-feet
  - The minimum distance between buildings shall be 10 feet.
- Max Lot Coverage: 60%
- Max Height: 40-feet
- Parking: Refer to SDP Cover Sheet
- Roadway Landscape Buffers:
  - Principal Arterial: 25-foot buffer/landscape setback (1 tree/25 feet of Constitution Ave/Marksheffel Rd frontages)
  - Non-Arterial: 10 feet (1 tree/30 feet of future Akers Drive frontage)
- Buffer Between Non-Residential, Multifamily Residential and Single-Family/Duplex Uses:
  - 15-feet along frontages adjacent to single-family residential uses
  - 15-feet along residential boundary where compatibility is a concern
  - 1 tree/25-feet of common property line
  - A minimum 1/3 trees shall be evergreen
- Internal Landscaping Requirements:
  - A minimum of 15% of the lot or parcel shall be landscaped.
  - A minimum of one tree shall be provided for every 500 square feet of required internal landscape area.

SDP DESCRIPTION

The site development plan application for the proposed platted site includes: two (2) mid-rise, three (3) story multifamily unit buildings, attached and detached garages, uncovered surface parking, office, club house, swimming pool, landscaping, open spaces, active and passive recreational amenities. The development plan also depicts required on and off-site public and private transportation and circulation, stormwater, and/or utility improvements, buffering and screening, final grading and erosion control, and construction plans for on- and off-site improvements.

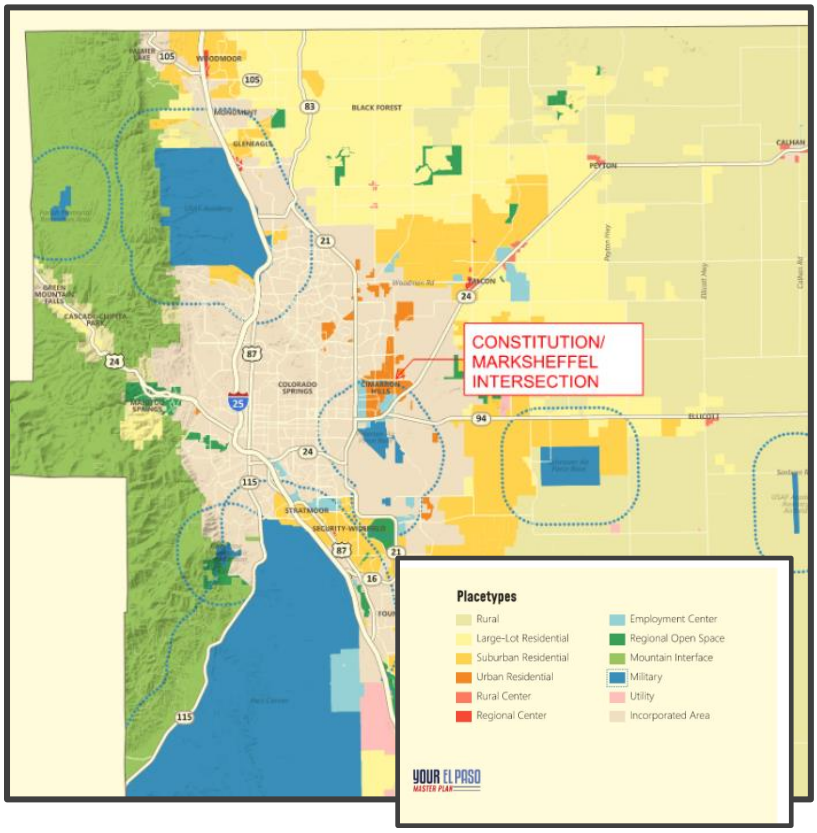
The developer intends to pay the traffic impact fee in full at or prior to the time of building permit issuance.

YOUR EL PASO MASTER PLAN CONFORMANCE

The proposed SDP is in general conformance with the EL Paso County Master Plan as discussed in detail below. The proposed subdivision plat implements the proposed RM-30 zone ***(PCD File No. P-21-8)*** to create a legal zoning lot for proposed multifamily development. Findings of Master Plan conformance are pending with the rezone application. The Plat is also consistent with Master Plan to implement the multifamily land use. Increased market demand for housing is reflected in the recent residential infill developments on property previously zoned or planned for commercial, light industrial, and manufacturing uses.

There has also been a substantial ongoing change in the character of the area's development and land use patterns creating a mixed land use character that incorporates commercial, industrial, single & multifamily densities centered at Marksheffel/Constitution intersection and adjacent corridor segments. This development pattern is consistent with the location and primary and supporting land uses of the Urban Residential Placetype shown on the Placetypes Map in the Master Plan.

Since the properties were rezoned to the current CS (Commercial Service) zone from M (Industrial) in 2004, the surrounding area has undergone a substantial change in character from primarily industrial/commercial land uses to a mixed use comprised of commercial/retail uses supporting a growing single-family residential market base.



The proposed RM-30 zoning and planned multifamily land uses and densities are consistent with the existing adjacent commercial, industrial, public, and residential land uses which are in various stages of development and redevelopment.

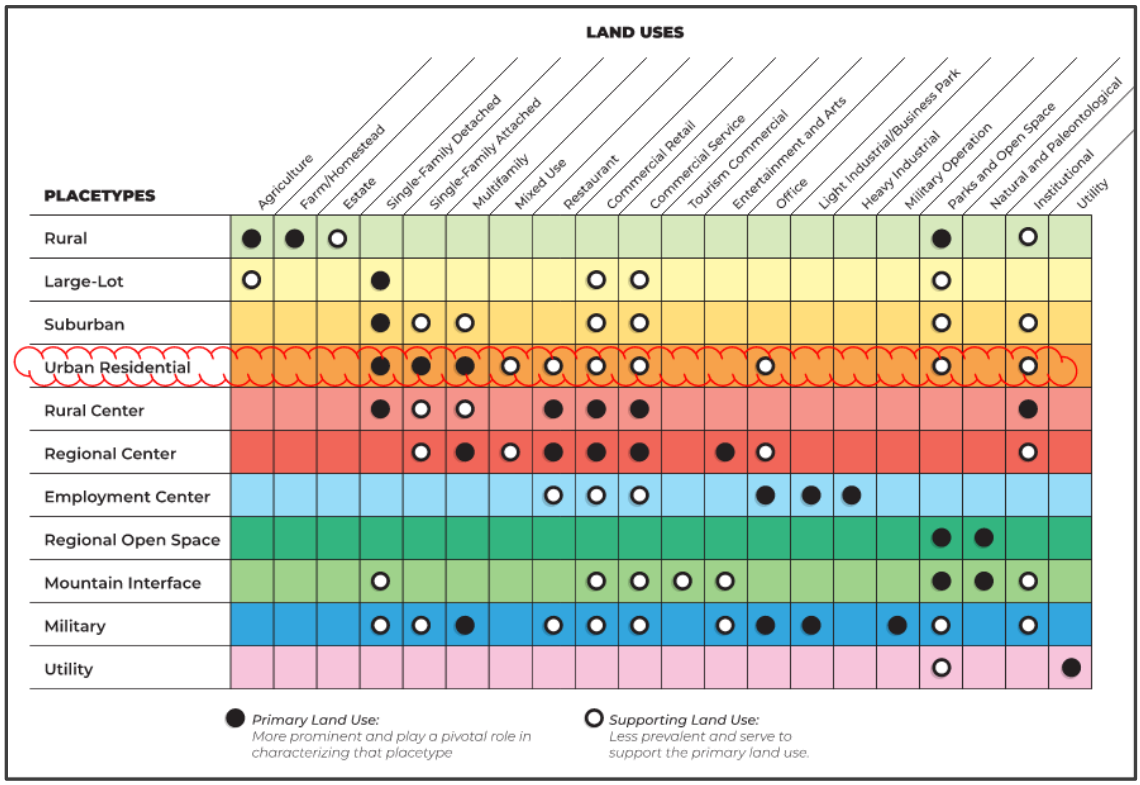
MASTER PLAN CONFORMITY (LAND USE & HOUSING)

Core Principle 1: Manage growth to ensure a variety of compatible land uses that preserve all character areas of the County.

Goal 1.1 *- Ensure compatibility with established character and infrastructure capacity.*

Land Use

The Your El Paso Master Plan locates this property within an urban residential placetype where higher density and multifamily residential uses are identified as a primary land use in this area designation.



Many of the Regional and Employment Center Placetype land uses are located adjacent to or in proximity to the Project which include commercial retail, restaurant, commercial service, and light industrial in the surrounding CR (Commercial Retail), CS (Commercial Service), M (Industrial), I-3 (Heavy Industrial), and City of Colorado Springs PBC (Planned Business Center) zone districts.

The proposed multifamily uses and densities are compatible with the existing and approved residential, commercial, and industrial land use patterns and densities along the Constitution Avenue corridor in both easterly and westerly directions as well as the Marksheffel Rd Corridor in

both northerly and southerly directions. Plat and Site Development Plan approval will implement development consistent with the intent and goals of the Master Plan.

Infrastructure Capacity (Utilities and Urban Services)

Necessary urban services to meet the multifamily demands are available and currently serving adjacent and nearby residential, commercial, industrial land uses and densities. Specific services include water/wastewater, fire protection, emergency ambulatory/medical service (EMS), police protection, public schools for compulsory education, public parks and recreation opportunities, and public drainage/transportation facilities and associated infrastructure. Akers Drive will be extended southerly from Constitution Avenue to provide public access to the planned development as well as a secondary emergency access for the Urban Collection at Hannah Ridge residential development.

Public services and utilities are, or will be, provided by the following

- Water & Wastewater Services: Cherokee Metropolitan District (CMD)
- Natural Gas: Colorado Springs Utilities
- Electric Service: Mountain View Electric Association
- Fire Protection: Falcon Fire Protection District
- Public Schools: Colorado Springs District #11
- Library Services: Pikes Peak Library District:
- Roads: El Paso County Road and Bridge
- Police Protection: El Paso County Sheriff's Department
- Special District Services: Constitution Heights Metro District
- Parks, Trails, Open Spaces: El Paso County, City of Colorado Springs, CMD

Utility and fire protection commitments and use specific service demands and delivery requirements will be provided at future subdivision phases for the multifamily project. The subsequent subdivision and site development plan submittal and review will include detailed reports and analysis of system or service deficiencies. Impacted service providers will outline respective infrastructure and/or operational needs in order to meet projected demands.

Infrastructure Capacity (Transportation and Access – Summarized from TIS)

The project is expected to generate approximately 1,230 weekday daily trips, with 76 of these trips occurring during the morning peak hour and 97 of these trips occurring during the afternoon peak hour.

Regional access to the project will be provided by US Highway 24 (US-24), Powers Boulevard (SH-21), and State Highway 94 (SH-94). Primary access will be provided by Constitution Avenue and Marksheffel Road. Direct access will be provided by a full movement access from the extension of Akers Drive southerly from Constitution Avenue. Constitution Avenue extends eastbound and westbound with two through lanes in each direction with a posted speed limit of 50 miles per hour. Marksheffel Road extends in the north-south direction with two through lanes in each direction and has a posted speed limit of 50 miles per hour.

The access along the new south leg of Akers Drive will be approximately 300 feet south of Constitution Avenue (measured edge line to center). Per the ECM, spacing of intersections along urban local roadways (Akers) from an arterial roadway should be 330 feet from the right-of-way line of the arterial to the centerline of the access roadway. Therefore, the proposed access along the new south leg of Akers Drive does not meet ECM standards. The access along Akers Drive is expected to meet operational, vehicle queue, and sight distance standards.

The following deviations will be provided as part of the final plat submittal for the ECM administrators consideration:

- A deviation will be provided to request full movement access from a future south leg of Akers Drive at Constitution Avenue. The future south leg of Akers Drive along Constitution Avenue will be located approximately 1,050 feet west of Marksheffel Road (measured edge line to center), and approximately 825 feet east of Hannah Ridge Drive. According to the El Paso Engineering Criteria Manual (ECM) section 2.2.5.B, spacing of roads accessing an urban principal arterial that will result in a full movement intersection shall be planned at one-half mile. However, as stated in the ECM, one parcel access shall be granted to each existing lot, if it does not create safety or operational problems. The intersection of Constitution Avenue and Akers Drive is expected to meet operational, vehicle queue, and sight distance standards; therefore, it is believed that a south leg of Akers Drive at Constitution Avenue should be granted to allow for one full movement access to the existing lot.

- A deviation will be provided in support of allowing a right-out only access along Marksheffel Road. The proposed right-out access along Marksheffel Road will be located approximately 400 feet south of Constitution Avenue (measured edge line to center). The proposed right-out only access along Marksheffel Road is expected to meet operational, vehicle queue, and sight distance standards; therefore, it is believed that this access should be granted to only allow right-turn exiting movements.

- The access along the new south leg of Akers Drive will be approximately 300 feet south of Constitution Avenue (measured edge line to center). According to the El Paso County Engineering Criteria Manual section 2.2.5.D, spacing of intersections along urban collector roadways from an arterial roadway should be 330 feet from the right-of-way line of the arterial to the centerline of the access roadway. Therefore, the proposed access along the new south leg of Akers Drive does not meet ECM standards. The access along Akers Drive is expected to meet operational, vehicle queue, and sight distance standards. A deviation will need to be provided to request for this proposed access to remain at the proposed location.

- A northbound left turn lane is warranted at the Constitution Avenue and Akers Drive intersection and based on an El Paso County ECM design speed of 40 miles per hour for an Urban Non-Residential Collector, the deceleration lane length required is 155 feet plus a 160-foot taper. Additionally, 50 feet of storage is required by El Paso County due to the peak hour

volume. Therefore, this left turn lane is recommended to provide a length of 205 feet plus a 160-foot taper. The proposed spacing between Constitution Avenue and the access intersection is not sufficient to allow for a 205-foot northbound left turn lane plus 160-foot taper at the Constitution Avenue and Akers Drive intersection. It should be noted a 165-foot northbound left turn lane plus a 120-foot taper based on a design speed of 30 mph is expected to be accommodated with the proposed location of the project access along Akers Drive. A deviation will be requested to allow for the northbound left turn lane at the Constitution Avenue and Akers Drive intersection be constructed with a design speed of 30 miles per hour.

A traffic signal is warranted with 2045 traffic volume projections at the intersection of Constitution Avenue and Akers Drive. It is recommended that El Paso County monitor traffic volumes at this intersection in the future to determine if signalization is the appropriate control. It should be noted the north leg of this intersection is the controlling approach that triggers the need for signal control and project traffic is only expected to utilize the south leg of this intersection.

The project access intersections are anticipated to have all movements operating with acceptable LOS C or better during the peak hours in both the buildout year 2023 and the 2045 long term horizons. It should be noted that the access along Akers Drive will not have any conflicting movements in the short-term; therefore, vehicle delays are not reported at this access intersection.

Goal 1.3 *- Encourage a range of development types to support a variety of land uses. (Addressed together with core principle and goals below)*

Core Principle 2: Preserve and develop neighborhoods with a mix of housing types.
Goal 2.1 - *Promote development of a mix of housing types in identified areas.*
Goal 2.3 *- Locate attainable housing that provides convenient access to goods, services, and employment.*

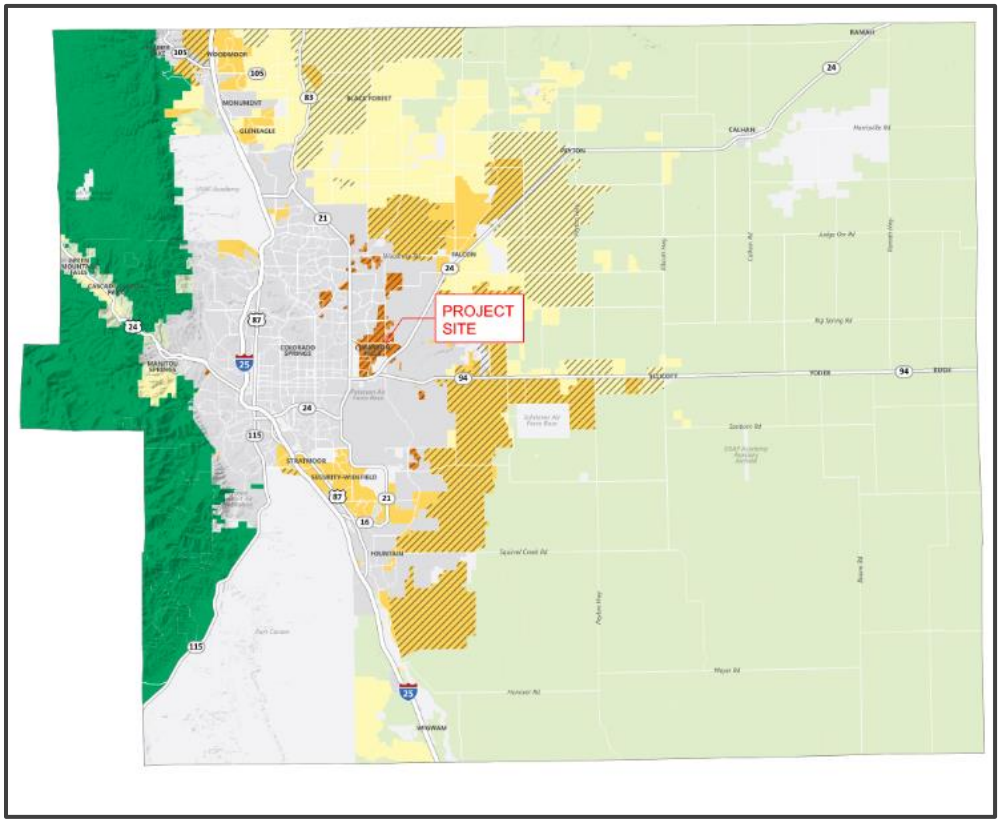
The housing type in the area is characterized by higher urban residential densities including but not limited to single family detached & attached, townhome, and apartment densities and supporting commercial retail uses surrounding the Marksheffel/Constitution intersection. (e.g., Claremont Ranch 9, The Sands, Midtown Collection at Hannah Ridge, Urban Collection at Hannah Ridge, various Hannah Ridge Filings, Upland Flats by Watermark).

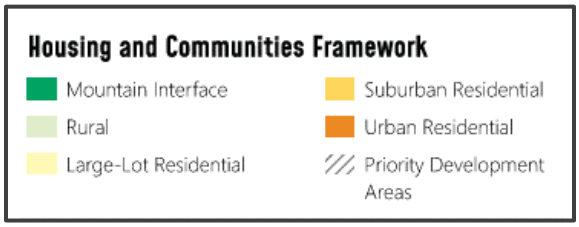
The existing and approved land use mix within the adjacent area includes residential (single-family attached, single-family detached, and multifamily) land uses, together with commercial and retail uses, service oriented, light, and heavy industrial land uses along and adjacent to the Constitution Corridor from Peterson Road to the west to the easternmost terminus of Constitution Avenue to the east at State Highway 24, along the Marksheffel Corridor from North Carefree to the north southerly to the intersection of Marksheffel Road and State Highway 94 to the south (see surrounding land use map exhibit/not vicinity map).

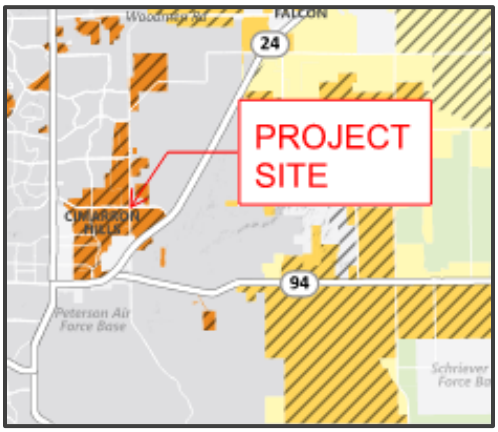
The proposed multifamily housing development will provide an additional 226 apartment units to the available rental housing market supply. This housing will create opportunities for individuals and families to find attainable and affordable housing near conveniently located to major transportation thoroughfares (Marksheffel Rd, Constitution Ave, Powers Blvd, SH 24, & SH 94) which can connect them to employment centers, commercial/retail corridors and nodes, and recreational opportunities throughout the El Paso County region. The increased residential densities provide additional customer base in support of existing and planned commercial at the Constitution/Marksheffel intersection, Powers Blvd corridor, and at the SH 24/SH 94 commercial node (pending Crossroads North and Crossroads at Meadowbrook developments, See PCD File Nos SP-20-7 & SP-21-29, respectively).

The proposed rezone and development of multi-family housing will provide additional housing choices to meet the current regional demand for workforce, affordable, and attainable housing. The proposed rezone provides opportunity to create market rate affordable and attainable housing within a multifamily context. Rental/leasing prices will be market rate which are comparable to rent rates for similarly aged communities in El Paso County that provide comparable unit and community amenities. The proposed infill multifamily development provides a balancing and complementary land use mix that supports nearby commercial/retail uses and workforce housing demands.

According to the Priority Development Areas Map in the Master Plan, the site is located within an Urban Residential Priority Development Area where “new residential development should be prioritized first for new residential development to accommodate growth” in the County.





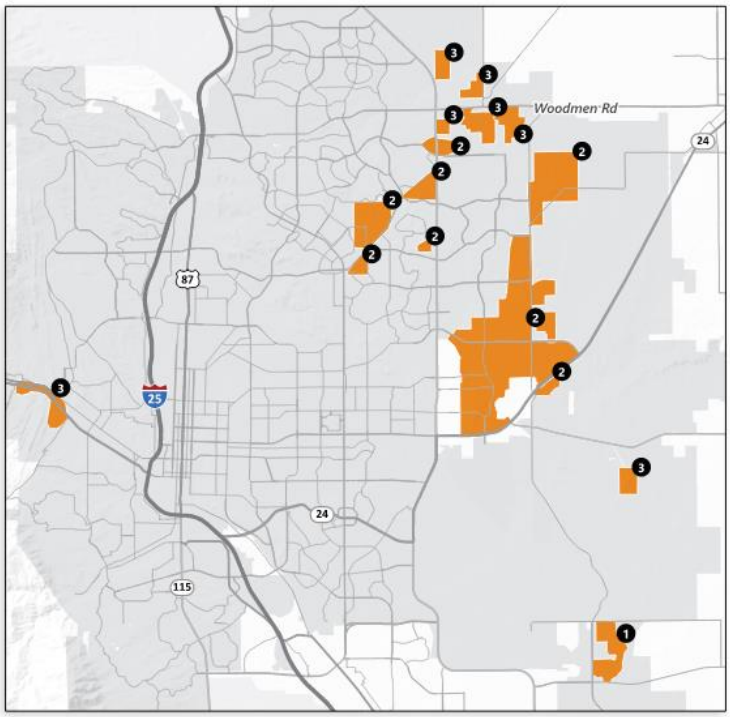


Urban Residential Priority Development (Areas Larger Enclaves) According to the Your El Paso Master Plan, "*Larger enclaves, including Cimarron Hills, currently exhibit the Urban Residential place-types characteristics. They have denser housing clustered together with a wide variety of commercial and employment businesses to create a complete community. However, some have only one or two uses due to their size. All of them have been designated as transition areas within the Areas of Change because all or part of them could be redeveloped to better support the establishment of complete communities. "*

"Overall, the County should prioritize higher-quality redevelopment of any primary or supporting land use for the Urban Residential place type as opportunities arise."

The proposed multifamily densities are an appropriate transition at the Constitution Ave/Marksheffel Rd intersection which has an existing/approved land use mix of retail and service oriented commercial, light to heavy industrial, light manufacturing, single-family detached, medium to high density multifamily uses.

The functionality of the site with respect to access, design, and building orientation. This site will be consistent and compatible with existing conditions such as location and massing of buildings relative to adjacent rights of way and view corridors. The location of community/resident amenities and recreation areas, site design which respects the location as a County/City gateway, as well as, enhancing the overall visual character attractiveness of the area through contemporary building facades and private architectural design standards.



Urban Residential Priority Development Areas

WATER MASTER PLAN CONFORMANCE & CONSIDERATIONS

- **Goal 1.1 – Ensure an adequate water supply in terms of quantity, dependability and quality for existing and future development.**
- **Goal 6.0 – Require adequate water availability for proposed development.**
- **Policy 6.0.8 – Encourage development patterns and higher density, mixed use developments in appropriate locations that propose to incorporate meaningful water conservation measures.**
- **Policy 6.0.11– Continue to limit urban level development to those areas served by centralized utilities.**

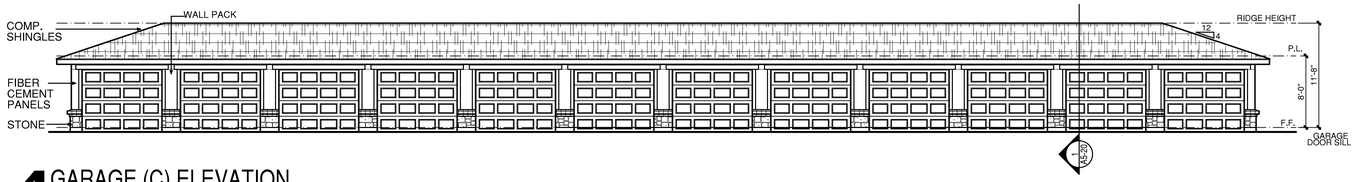
The development area is located in Region 5 as identified on the El Paso County Water Master Plan Planning Regions Map and is within the Cherokee Metropolitan District (CMD) Service Area. Region 5 consists of areas served by CMD and is not expected to experience significant growth by 2060. However, the District may expand water and sewer service to growth areas outside of Region 5.
Cherokee Metro District has sufficient supply and existing infrastructure in the area to serve this infill development. Water quality is good and Cherokee is in compliance with all regulatory limits.

CMD currently serves approximately 7,500 residential and 500 commercial taps. CMD also provides services outside District boundaries to Schriever AFB and the Woodmen Hills Development. System/infrastructure interconnections exist between CMD, CSU, Meridian Service MD, and Woodmen Hills MD. CMD is developing owned water supplies to increase available water and improve flexibility in provision of summer flows. By the end of 2021, these new wells will contribute 458 AFY of capacity to the CMD system (Table 2) for a total of 4,443.0 AFY. Since 2011, actual demand from CMD customers has fallen 30-35% below commitments, partially due to some committed developments being incomplete but largely due to water saving measures undertaken by CMD customers.

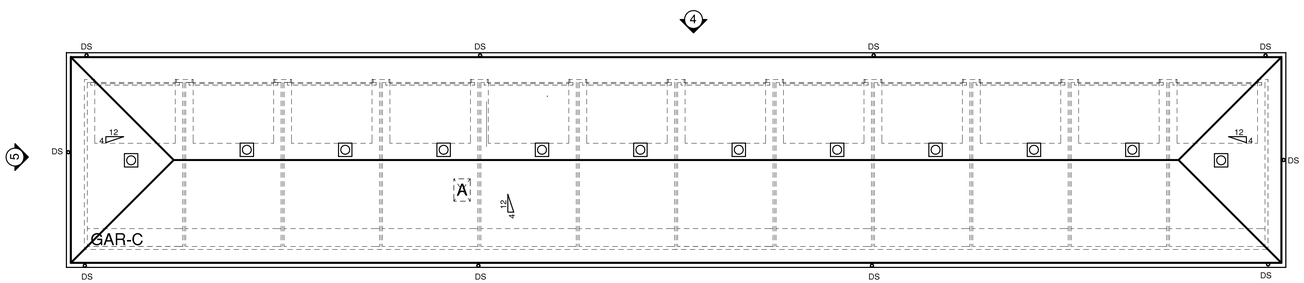
CMD water supplies are drawn entirely from groundwater supplies from 21 wells (Well Nos. 1-21) in the eastern portion of the County and from two (2) wells in the "Sundance Ranch" property located in the northern portion of the County. According to the District, water from Well Nos. 1-8 provide a maximum of 653 AFY to a fixed customer base. This water is unavailable to other users and is tracked separately from CMD's general exportable supply portfolio. Water supplies from the remaining wells (Well Nos 9-21) in the amount of 3,985 AFY is available for export outside the Basin. See Water Providers Report for Proposed Watermark at Constitution Apartments, dated January 29, 2021 for specific details provided by the District in support of this application and to address Water Master Plan Criteria.

According to the Water Resources Report, the CMD has 4,443.0 AFY of exportable supply and 4,130.4 AFY of commitments, CMD has a water balance of 312.6 AFY remaining for additional commitments.

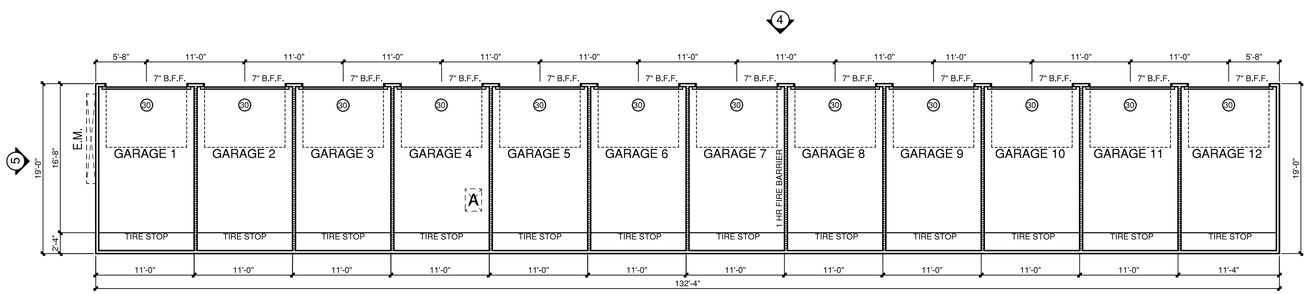
CMD has provided a water and sewer service commitment Letter whereby the District has committed to allocate **50.6 AF/YR** for the proposed development out of its current supplies. Anticipated Residential demand includes 45.2 AF/YR for Residential Domestic use and 5.4 AF/YR for irrigation within the multifamily use.



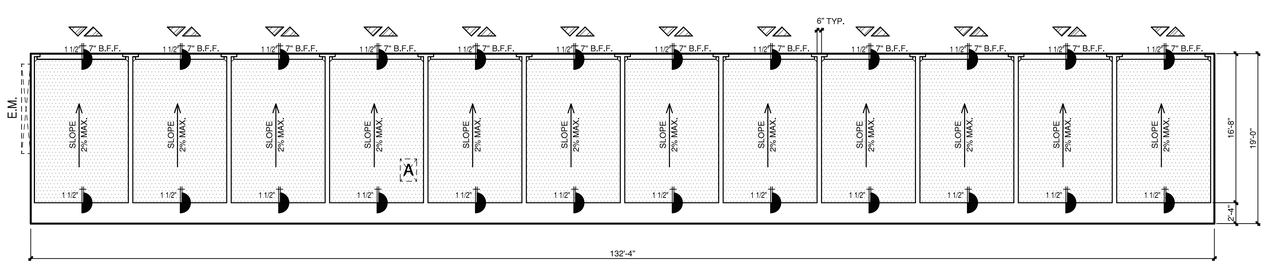
4 GARAGE (C) ELEVATION
SCALE: 1/8"=1'-0"



3 GARAGE (C) ROOF PLAN
SCALE: 1/8"=1'-0"



2 GARAGE (C) FLOOR PLAN
SCALE: 1/8"=1'-0"



1 GARAGE (C) FORMING PLAN
SCALE: 1/8"=1'-0"

LEGEND:

- DOOR KEY
- E.M. PLAN METER LOCATIONS
- ELEVATION ELECTRIC METER LOCATION
- A 22" X 30" THRU ATTIC ACCESS LOCKABLE. REFER TO DETAIL 6-A7-80
- HIGH ROOF VENTS
- DS DOWN SPOUT
- PEDESTRIAN ENTRY
- CONCRETE BROOM FINISH
- SLOPED CONCRETE CONCRETE BROOM FINISH
- INDICATES DROP IN ELEVATION
- INDICATES SLOPE FROM FINISH FLOOR (MAX. 1/4" PER FOOT)
- WP WP APPROX. WALL PACK LOCATION REFER TO PHOTOMETRIC PLAN.
- ROOF SLOPE
- F.D. FLOOR DRAIN
- VEHICULAR ENTRY
- 1 HR WALL

FORMING NOTES:

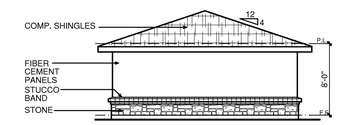
- REFER TO STRUCTURAL PLANS AND SPECIFICATIONS FOR FOUNDATION REQUIREMENTS.
- CONTRACTOR SHALL COMPARE STRUCTURAL AND ARCHITECTURAL DRAWINGS AND REPORT ANY DISCREPANCY TO THE ARCHITECT PRIOR TO FABRICATION OR INSTALLATION OF STRUCTURAL MEMBERS.
- MAX. SLOPE IS 1/4" PER FOOT AT LOCATIONS INDICATED IN PLAN.
- ARROWS INDICATE DIRECTION OF SLOPE DOWN.
- DIMENSION AT EDGE OF CONCRETE INDICATED WITH B.F.F. NOTATION (BELOW FINISH FLOOR)
- SLOPE CONCRETE IN CORNERS SO NO PUDDLING OF WATER WILL OCCUR.
- COORDINATE CONTROL JOINTS IN ARCHITECTURAL FINISH WITH STRUCTURAL

GENERAL NOTES:

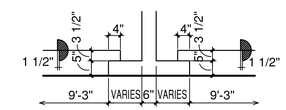
- WALL MOUNTED SERVICE EQUIPMENT AND SERVICE LINES TO BE PAINTED TO MATCH BUILDING. REFER TO SPECIFICATIONS.
- GENERAL CONTRACTOR TO ENSURE CONTROL/EXPANSION JOINTS IN ARCHITECTURAL FINISH ARE COORDINATED WITH STRUCTURAL LOCATIONS. REFER TO MANUFACTURER FOR SPECIFIC REQUIREMENTS PERTAINING TO MATERIALS USED.
- COORDINATE WITH INTERIOR DESIGNER FOR INTERIOR FINISHES
- ALL DIMENSIONS ARE FROM FRAMING U.N.O.
- MATERIALS SHALL BE CONTINUOUS AT EXTERIOR CORNERS.
- REFER TO MEP FOR MECHANICAL, ELECTRICAL, AND PLUMBING.

ROOF NOTES:

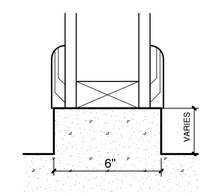
- DOWNSPOUT LOCATIONS ARE CONCEPTUAL IN NATURE AND MUST BE COORDINATED BY THE CONTRACTOR ON SITE WITH THE LANDSCAPING, RETAINING WALLS, SIDEWALKS AND INDIVIDUAL BUILDING ORIENTATION AND DRAINAGE TO INSURE THAT OUTFLOW FROM DOWNSPOUTS DOES NOT CROSS WALKING OR DRIVING SURFACES. IT IS THE INTENT OF THE ARCHITECT THAT GUTTER DOWNSPOUTS TERMINATE IN UNDERGROUND DRAINAGE PIPING AND CARRIED AWAY FROM THE BUILDING AND OTHER FINISHED SURFACES WHERE POSSIBLE.
- ROOF TRUSS LAYOUT, PROFILES AND DESIGN ARE TO BE PROVIDED BY THE TRUSS MANUFACTURER BY WAY OF SHOP DRAWINGS, AND ARE TO BE SIGNED AND SEALED BY A REGISTERED ENGINEER.
- ROOF SURFACES WITH A SLOPE GREATER THAN 2 UNITS VERTICAL PER 12 UNITS HORIZONTAL, DIRECTLY ABOVE COOLED CONDITIONED SPACES SHALL HAVE MINIMUM REFLECTANCE OF 0.35 OR A MINIMUM SOLAR REFLECTIVE INDEX OF 29.



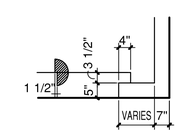
5 GARAGE (C) ELEVATION
SCALE: 1/8"=1'-0"



F-3 DETAIL AT GARAGE DOOR
SCALE: 1/2" = 1'-0"



F-2 STEM WALL DETAIL AT GARAGE
SCALE: 3" = 1'-0"



F-1 DETAIL AT GARAGE DOOR
SCALE: 1/2" = 1'-0"

STATE OF COLORADO
AARON DALE
402290
LICENSED ARCHITECT
03-28-2022

REVISIONS

PCD PROJECT NUMBER: PPR-22-029

THE CITIZEN ON CONSTITUTION

226 APARTMENT UNITS IN COLORADO SPRINGS, CO
THE GARRET COMPANIES

PERMIT ISSUE
03-28-2022

HEDK ARCHITECTS
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03-28-2022

PROJECT
21166

SHEET NUMBER
A2-30
12 CAR
GARAGE C

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LEGEND:

- DOOR KEY
- E.M. PLAN METER LOCATIONS
- ELEVATION ELECTRIC METER LOCATION
- 22" X 30" THRU ATTIC ACCESS LOCKABLE. REFER TO DETAIL 6-A7-80
- HIGH ROOF VENTS
- DS DOWN SPOUT
- PEDESTRIAN ENTRY
- CONCRETE BROOM FINISH
- SLOPED CONCRETE CONCRETE BROOM FINISH
- INDICATES DROP IN ELEVATION
- INDICATES SLOPE FROM FINISH FLOOR (MAX. 1/4" PER FOOT)
- WP APPROX. WALL PACK LOCATION REFER TO PHOTOMETRIC PLAN.
- ROOF SLOPE
- F.D. FLOOR DRAIN
- VEHICULAR ENTRY
- 1 HR WALL

FORMING NOTES:

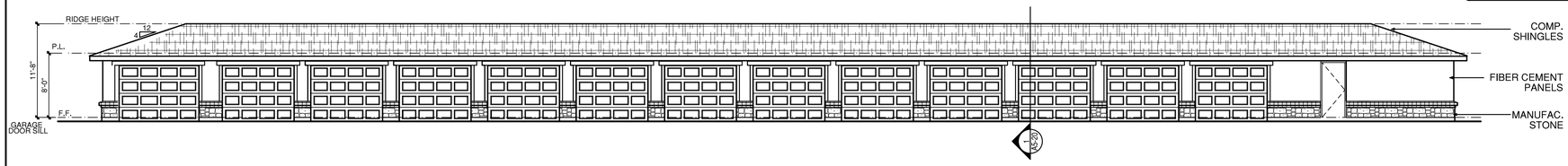
- REFER TO STRUCTURAL PLANS AND SPECIFICATIONS FOR FOUNDATION REQUIREMENTS.
- CONTRACTOR SHALL COMPARE STRUCTURAL AND ARCHITECTURAL DRAWINGS AND REPORT ANY DISCREPANCY TO THE ARCHITECT PRIOR TO FABRICATION OR INSTALLATION OF STRUCTURAL MEMBERS.
- MAX. SLOPE IS 1/4" PER FOOT AT LOCATIONS INDICATED IN PLAN.
- ARROWS INDICATE DIRECTION OF SLOPE DOWN.
- DIMENSION AT EDGE OF CONCRETE INDICATED WITH B.F.F. NOTATION (BELOW FINISH FLOOR)
- SLOPE CONCRETE IN CORNERS SO NO PUDDLING OF WATER WILL OCCUR.
- COORDINATE CONTROL JOINTS IN ARCHITECTURAL FINISH WITH STRUCTURAL

GENERAL NOTES:

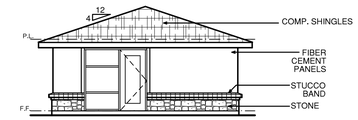
- WALL MOUNTED SERVICE EQUIPMENT AND SERVICE LINES TO BE PAINTED TO MATCH BUILDING. REFER TO SPECIFICATIONS.
- GENERAL CONTRACTOR TO ENSURE CONTROL/EXPANSION JOINTS IN ARCHITECTURAL FINISH ARE COORDINATED WITH STRUCTURAL LOCATIONS. REFER TO MANUFACTURER FOR SPECIFIC REQUIREMENTS PERTAINING TO MATERIALS USED.
- COORDINATE WITH INTERIOR DESIGNER FOR INTERIOR FINISHES
- ALL DIMENSIONS ARE FROM FRAMING U.N.O.
- MATERIALS SHALL BE CONTINUOUS AT EXTERIOR CORNERS.
- REFER TO MEP FOR MECHANICAL, ELECTRICAL, AND PLUMBING.

ROOF NOTES:

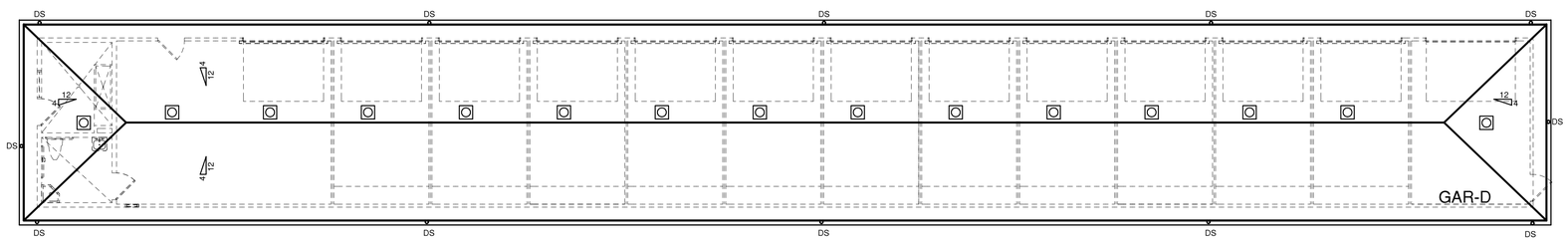
- DOWNSPOUT LOCATIONS ARE CONCEPTUAL IN NATURE AND MUST BE COORDINATED BY THE CONTRACTOR ON SITE WITH THE LANDSCAPING, RETAINING WALLS, SIDEWALKS AND INDIVIDUAL BUILDING ORIENTATION AND DRAINAGE TO INSURE THAT OUTFLOW FROM DOWNSPOUTS DOES NOT CROSS WALKING OR DRIVING SURFACES. IT IS THE INTENT OF THE ARCHITECT THAT GUTTER DOWNSPOUTS TERMINATE IN UNDERGROUND DRAINAGE PIPING AND CARRIED AWAY FROM THE BUILDING AND OTHER FINISHED SURFACES WHERE POSSIBLE.
- ROOF TRUSS LAYOUT, PROFILES AND DESIGN ARE TO BE PROVIDED BY THE TRUSS MANUFACTURER BY WAY OF SHOP DRAWINGS, AND ARE TO BE SIGNED AND SEALED BY A REGISTERED ENGINEER.
- ROOF SURFACES WITH A SLOPE GREATER THAN 2 UNITS VERTICAL PER 12 UNITS HORIZONTAL, DIRECTLY ABOVE COOLED CONDITIONED SPACES SHALL HAVE MINIMUM REFLECTANCE OF 0.35 OR A MINIMUM SOLAR REFLECTIVE INDEX OF 29.



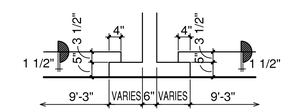
4 GARAGE (E) ELEVATION
SCALE: 1/8"=1'-0"



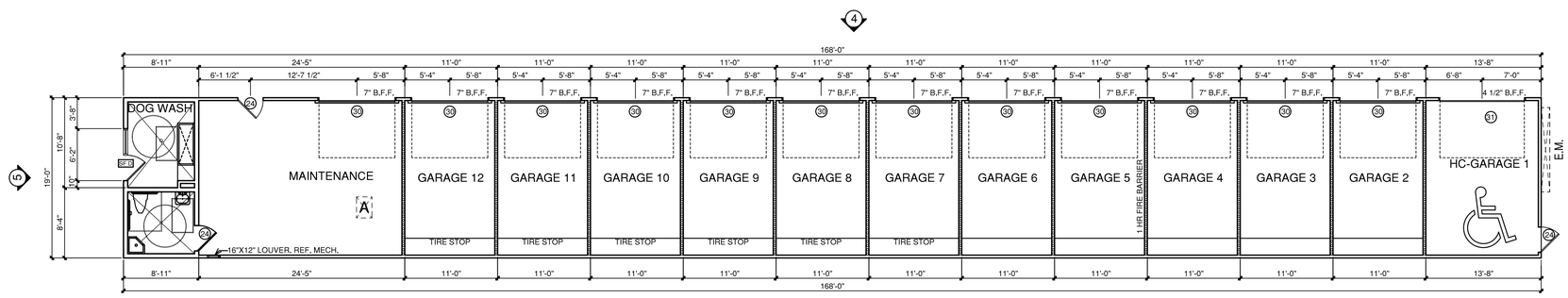
5 GARAGE (D) ELEVATION
SCALE: 1/8"=1'-0"



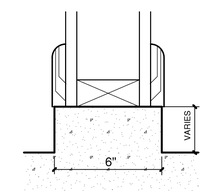
3 GARAGE (D) ROOF PLAN
SCALE: 1/8"=1'-0"



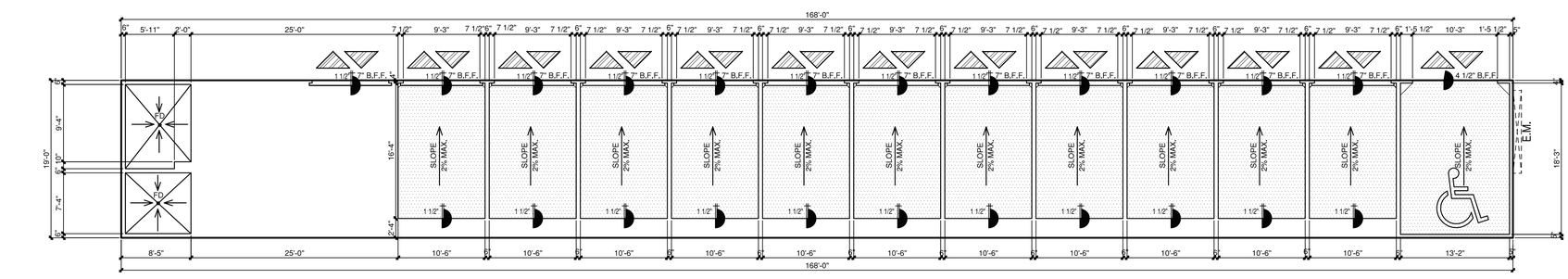
F-3 DETAIL AT GARAGE DOOR
SCALE: 1/2" = 1'-0"



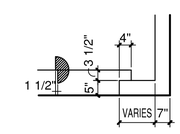
2 GARAGE (D) FLOOR PLAN
SCALE: 1/8"=1'-0"



F-2 STEM WALL DETAIL AT GARAGE
SCALE: 3" = 1'-0"



1 GARAGE (D) FORMING PLAN
SCALE: 1/8"=1'-0"



F-1 DETAIL AT GARAGE DOOR
SCALE: 1/2" = 1'-0"

STATE OF COLORADO
AARON DALE
402290
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03-28-2022

REVISIONS

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THE CITIZEN ON CONSTITUTION
226 APARTMENT UNITS IN COLORADO SPRINGS, CO
THE GARRET COMPANIES

PERMIT ISSUE
03-28-2022

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SHEET NUMBER
A2-31
12 CAR GARAGE D

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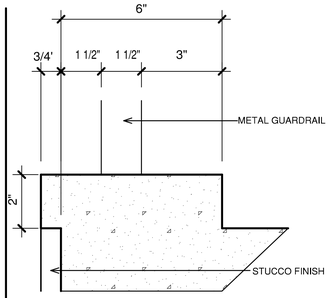
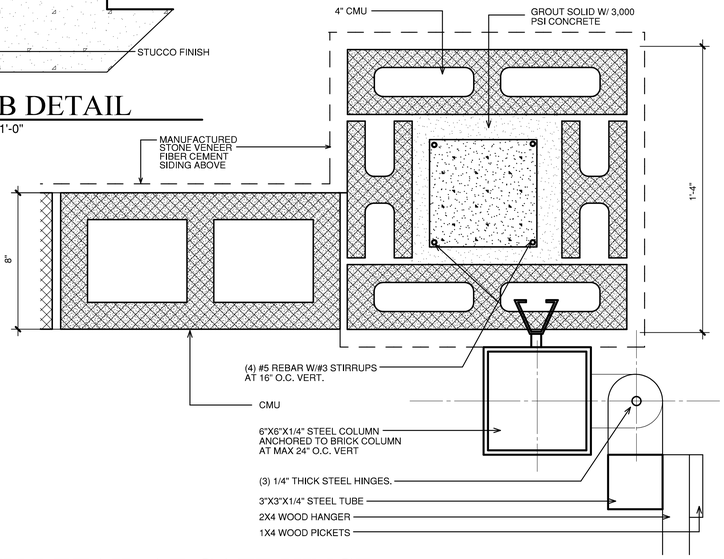
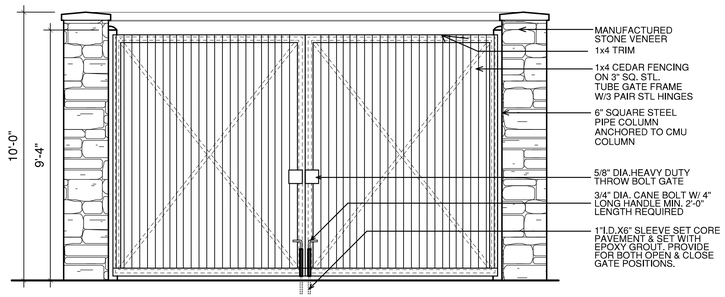


7 CURB DETAIL
SCALE 3"=1'-0"

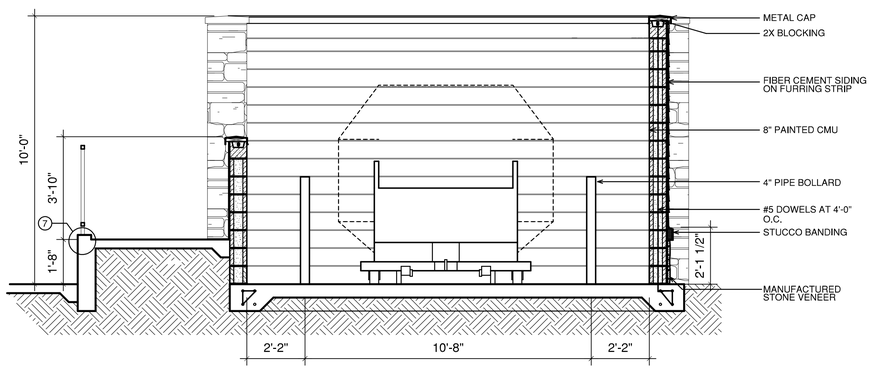


6 CMU DETAIL AT GATE HINGE
SCALE: 3"=1'-0"

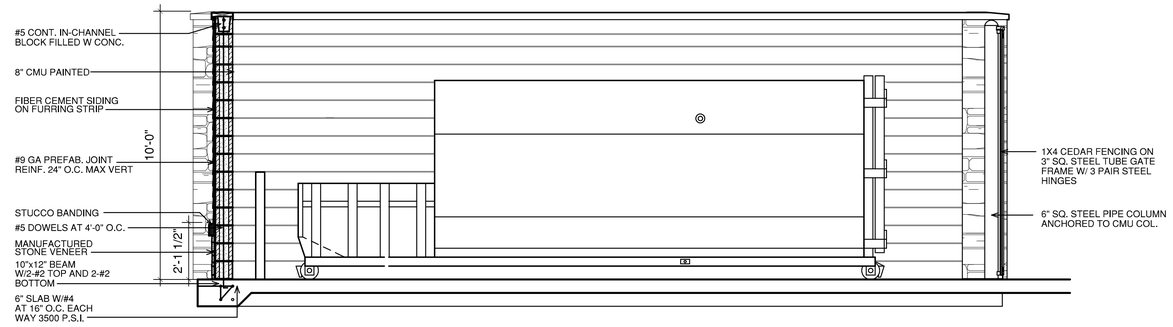


5 GATE FRONT ELEVATION
SCALE: 3/8"=1'-0"

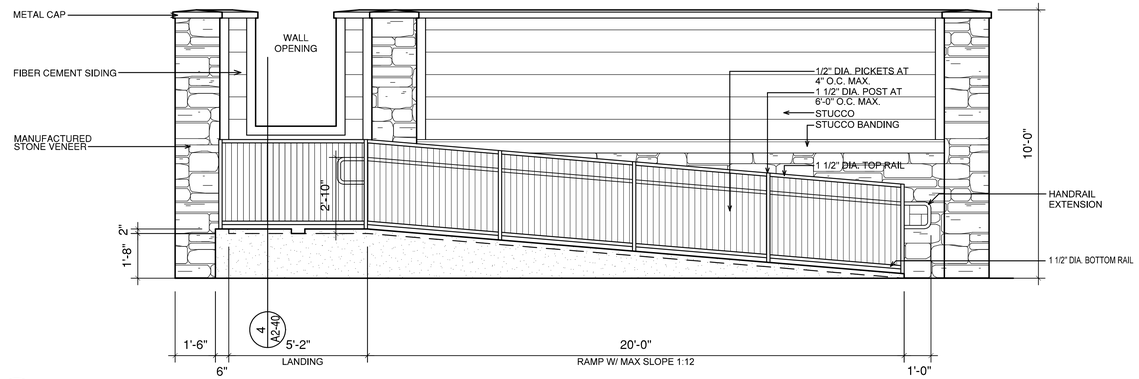
NOTE:
ADJUST HEIGHT ABOVE GRADE GRADE IN FIELD TO ALL FOR GATE SWING INTO SLOPE



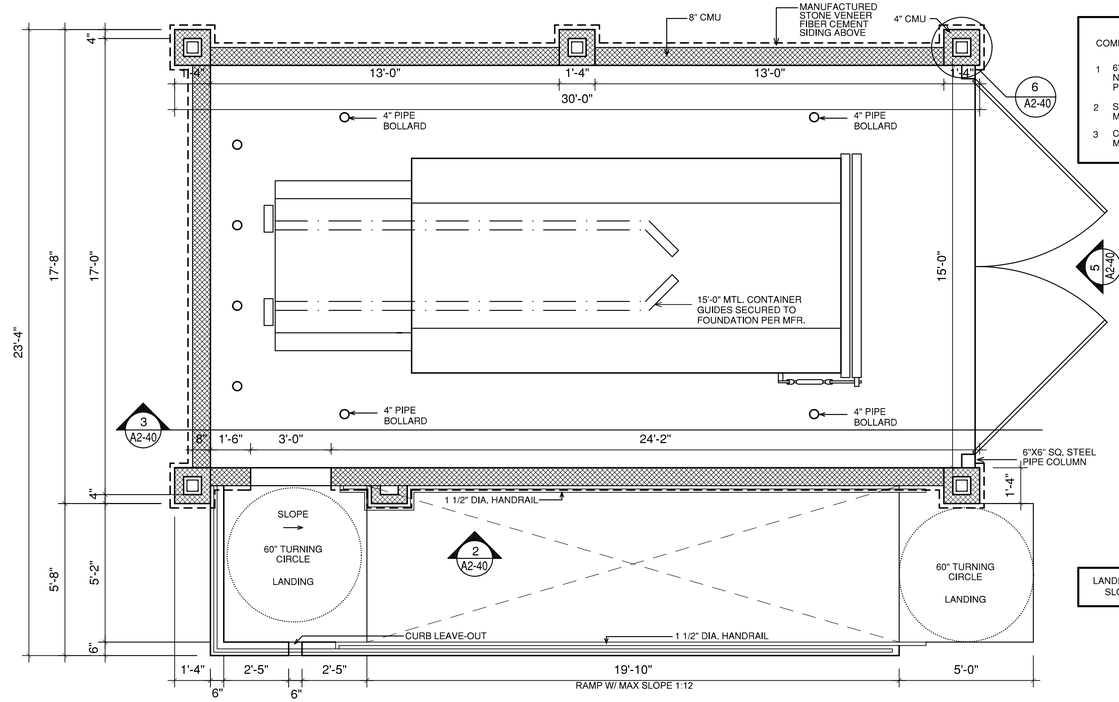
4 END ELEVATION-RJ-250-SC
SCALE: 3/8"=1'-0"



3 SIDE ELEVATION-RJ-250-SC
SCALE 3/8"=1'-0"



2 ELEVATION-ENTRY SIDE
SCALE 3/8"=1'0"

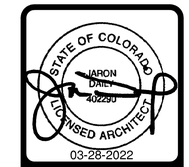


COMPACTOR PAD REQUIREMENTS

1. 6" CONCRETE PAD, 3000 P.S.I. WITH NO. 3 REBAR 24" O.C.E.W. SHALL BE PROVIDED WITH EACH COMPACTOR.
2. SCREENING WALL / FENCE TO BE 6' MIN. HEIGHT AND 30' MIN. LENGTH.
3. COMPACTOR GUIDE BAR TO BE A MAXIMUM OF SIX FEET IN LENGTH.

LANDINGS NOT TO EXCEED 2% SLOPE IN ANY DIRECTION

1 COMPACTER PLAN-RJ-250-SC
SCALE 3/8"=1'-0"



REVISIONS

PCD PROJECT NUMBER: PPR-22-029

THE CITIZEN ON CONSTITUTION

226 APARTMENT UNITS IN COLORADO SPRINGS, CO
THE GARRET COMPANIES

PERMIT ISSUE
03-28-2022

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PROJECT
21166

SHEET NUMBER
A2-40
TRASH COMPACTOR

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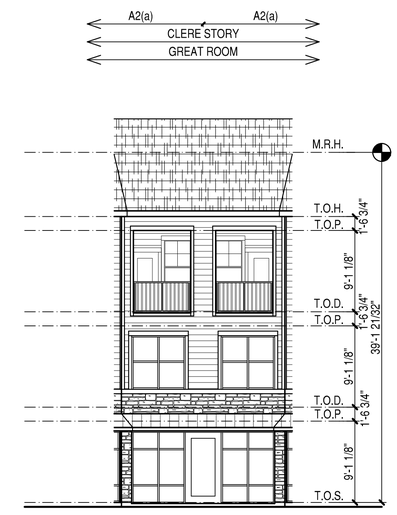
1 BUILDING 'A' - OVERALL FRONT ELEVATION
SCALE: 1/16" = 1'-0"

2 BUILDING 'A' - FRONT ELEVATION
SCALE: 1/8" = 1'-0"

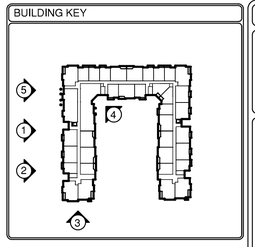
3 BUILDING 'A' - SIDE ELEVATION
SCALE: 1/8" = 1'-0"



4 BUILDING 'A' - REAR (COURTYARD) ELEVATION
SCALE: 1/8" = 1'-0"

5 BUILDING 'A' - FRONT ELEVATION
SCALE: 1/8" = 1'-0"

BUILDING KEY



ELEVATION LEGEND

T.O.H. = TOP OF HEEL
T.O.D. = TOP OF DECK
T.O.P. = TOP OF PLATE
T.O.S. = TOP OF SLAB
M.R.H. = MEDIAN ROOF HEIGHT
ROOF SLOPE = 4:12

MATERIALS KEY

- MANUFACTURED STONE
- 8" F.C. LAP SIDING
- B&B SIDING
- METAL AWNINGS
- COMP. SHINGLES

STATE OF COLORADO
JARON DALEY
402290
LICENSED ARCHITECT
03-28-2022

REVISIONS

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226 APARTMENT UNITS IN COLORADO SPRINGS, CO
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SHEET NUMBER
A4-00

BUILDING A
OVERALL ELEVATIONS

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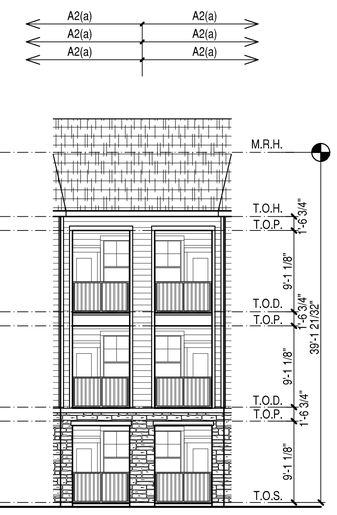
1 BUILDING 'A' - OVERALL FRONT ELEVATION
SCALE: 1/16" = 1'-0"

2 BUILDING 'A' - FRONT ELEVATION
SCALE: 1/8" = 1'-0"

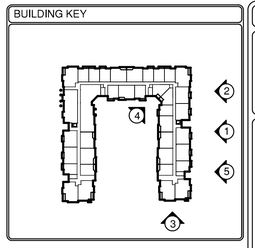
3 BUILDING 'A' - SIDE ELEVATION
SCALE: 1/8" = 1'-0"



4 BUILDING 'A' - REAR (COURTYARD) ELEVATION
SCALE: 1/8" = 1'-0"

5 BUILDING 'A' - FRONT ELEVATION
SCALE: 1/8" = 1'-0"

BUILDING KEY



ELEVATION LEGEND

T.O.H. =	TOP OF HEEL
T.O.D. =	TOP OF DECK
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T.O.S. =	TOP OF SLAB
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ROOF SLOPE = 4:12

MATERIALS KEY

- MANUFACTURED STONE
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- COMP. SHINGLES

STATE OF COLORADO
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SHEET NUMBER
A4-01

BUILDING A
OVERALL ELEVATIONS

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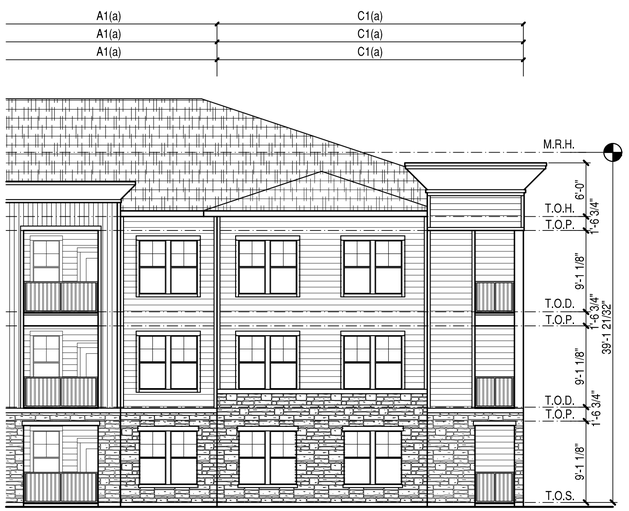
1 BUILDING 'A' - OVERALL SIDE ELEVATION
SCALE: 1/16" = 1'-0"

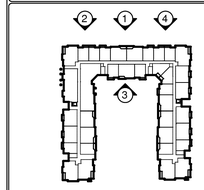


2 BUILDING 'A' - SIDE ELEVATION
SCALE: 1/8" = 1'-0"

3 BUILDING 'A' - REAR (COURTYARD) ELEVATION
SCALE: 1/8" = 1'-0"

4 BUILDING 'A' - SIDE ELEVATION
SCALE: 1/8" = 1'-0"

BUILDING KEY



ELEVATION LEGEND

T.O.H. =	TOP OF HEEL
T.O.D. =	TOP OF DECK
T.O.P. =	TOP OF PLATE
T.O.S. =	TOP OF SLAB
M.R.H. =	MEDIAN ROOF HEIGHT

ROOF SLOPE = 4:12

MATERIALS KEY

- MANUFACTURED STONE
- 8" F.C. LAP SIDING
- B&B SIDING
- METAL AWNINGS
- COMP. SHINGLES

STATE OF COLORADO
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PROJECT
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SHEET NUMBER
A4-02

BUILDING A
OVERALL ELEVATIONS

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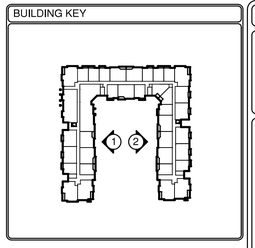
BUILDING KEY



ELEVATION LEGEND

T.O.H. = TOP OF HEEL
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T.O.P. = TOP OF PLATE
T.O.S. = TOP OF SLAB
M.R.H. = MEDIAN ROOF HEIGHT
ROOF SLOPE = 4:12

MATERIALS KEY

- MANUFACTURED STONE
- 8" F.C. LAP SIDING
- B&B SIDING
- METAL AWNINGS
- COMP. SHINGLES

1 BUILDING 'A' - REAR (COURTYARD) ELEVATION
SCALE: 1/8" = 1'-0"

2 BUILDING 'A' - REAR (COURTYARD) ELEVATION
SCALE: 1/8" = 1'-0"

STATE OF COLORADO
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A4-03

BUILDING A
OVERALL ELEVATIONS

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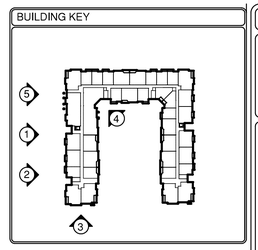
1 BUILDING 'B' - OVERALL FRONT ELEVATION
SCALE: 1/16" = 1'-0"



ELEVATION LEGEND

T.O.H. =	TOP OF HEEL
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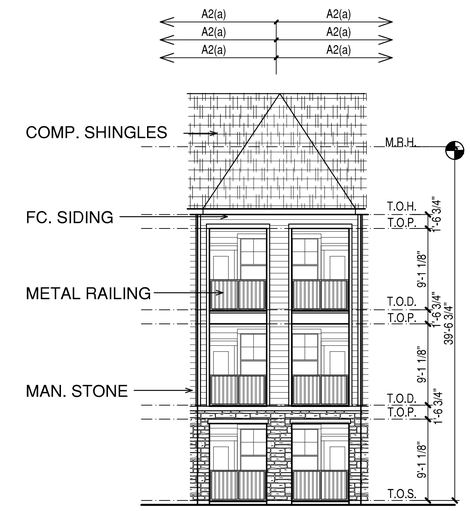
T.O.S. =	TOP OF SLAB
M.R.H. =	MEDIAN ROOF HEIGHT
ROOF SLOPE = 4:12	

MATERIALS KEY

- MANUFACTURED STONE
- 8" F.C. LAP SIDING
- B&B SIDING
- METAL AWNINGS
- COMP. SHINGLES

2 BUILDING 'B' - FRONT ELEVATION
SCALE: 1/8" = 1'-0"

3 BUILDING 'B' - SIDE ELEVATION
SCALE: 1/8" = 1'-0"



4 BUILDING 'B' - REAR (COURTYARD) ELEVATION
SCALE: 1/8" = 1'-0"

5 BUILDING 'B' - FRONT ELEVATION
SCALE: 1/8" = 1'-0"

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402290
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DATE
03-28-2022

PROJECT
21166

SHEET NUMBER
A4-10

BUILDING B
OVERALL ELEVATIONS

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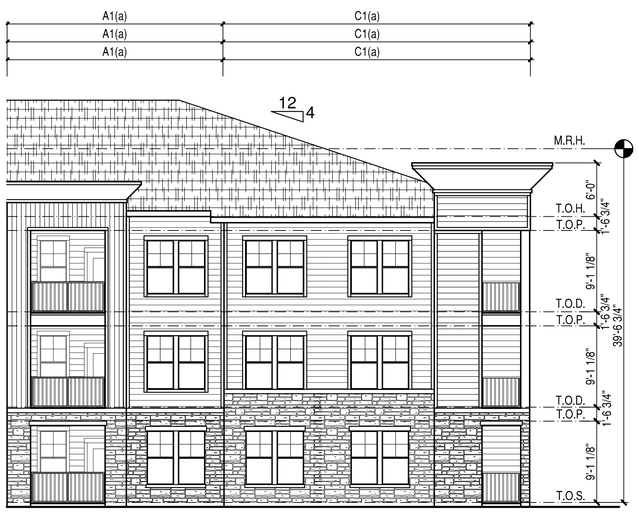
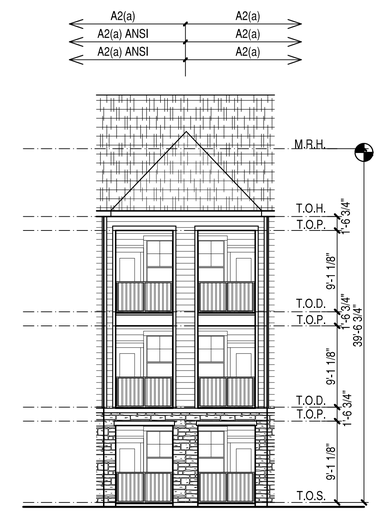
1 BUILDING 'B' - OVERALL FRONT ELEVATION
SCALE: 1/16" = 1'-0"



2 BUILDING 'B' - FRONT ELEVATION
SCALE: 1/8" = 1'-0"

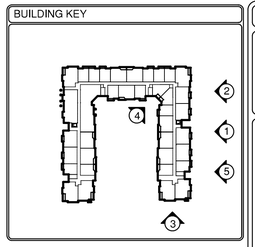
3 BUILDING 'B' - SIDE ELEVATION
SCALE: 1/8" = 1'-0"



4 BUILDING 'B' - REAR (COURTYARD) ELEVATION
SCALE: 1/8" = 1'-0"

5 BUILDING 'B' - FRONT ELEVATION
SCALE: 1/8" = 1'-0"

BUILDING KEY



ELEVATION LEGEND

T.O.H. = TOP OF HEEL
T.O.D. = TOP OF DECK
T.O.P. = TOP OF PLATE
T.O.S. = TOP OF SLAB
M.R.H. = MEDIAN ROOF HEIGHT
ROOF SLOPE = 4:12

MATERIALS KEY

- MANUFACTURED STONE
- 8" F.C. LAP SIDING
- B&B SIDING
- METAL AWNINGS
- COMP. SHINGLES

STATE OF COLORADO
JARON DALEY
402290
LICENSED ARCHITECT
03-28-2022

REVISIONS

PCD PROJECT NUMBER: PPR-22-029

THE CITIZEN ON CONSTITUTION

226 APARTMENT UNITS IN COLORADO SPRINGS, CO
THE GARRET COMPANIES

PERMIT ISSUE
03-28-2022

HEDK ARCHITECTS
4595 EXCEL PARKWAY ADDISON, TX 75001
214.520.8878
hedk.com

DATE
03-28-2022

PROJECT
21166

SHEET NUMBER
A4-11

BUILDING B
OVERALL ELEVATIONS

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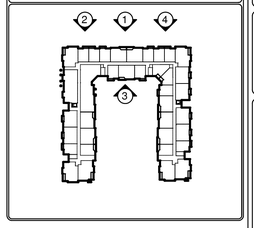
1 BUILDING 'B' - OVERALL FRONT ELEVATION
SCALE: 1/16" = 1'-0"

BUILDING KEY



ELEVATION LEGEND

T.O.H. = TOP OF HEEL
T.O.D. = TOP OF DECK
T.O.P. = TOP OF PLATE
T.O.S. = TOP OF SLAB
M.R.H. = MEDIAN ROOF HEIGHT
ROOF SLOPE = 4:12

MATERIALS KEY

- MANUFACTURED STONE
- 8" F.C. LAP SIDING
- B&B SIDING
- METAL AWNINGS
- COMP. SHINGLES

2 BUILDING 'B' - FRONT ELEVATION
SCALE: 1/8" = 1'-0"

3 BUILDING 'B' - SIDE ELEVATION
SCALE: 1/8" = 1'-0"

4 BUILDING 'B' - FRONT ELEVATION
SCALE: 1/8" = 1'-0"

PCD PROJECT NUMBER: PPR-22-029

THE CITIZEN ON CONSTITUTION

226 APARTMENT UNITS IN COLORADO SPRINGS, CO
THE GARRET COMPANIES

STATE OF COLORADO
JARON DALEY
402290
LICENSED ARCHITECT
03-28-2022

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PROJECT
21166

SHEET NUMBER
A4-12

BUILDING B
OVERALL ELEVATIONS

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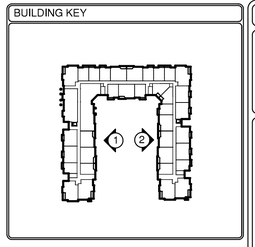
BUILDING KEY



ELEVATION LEGEND

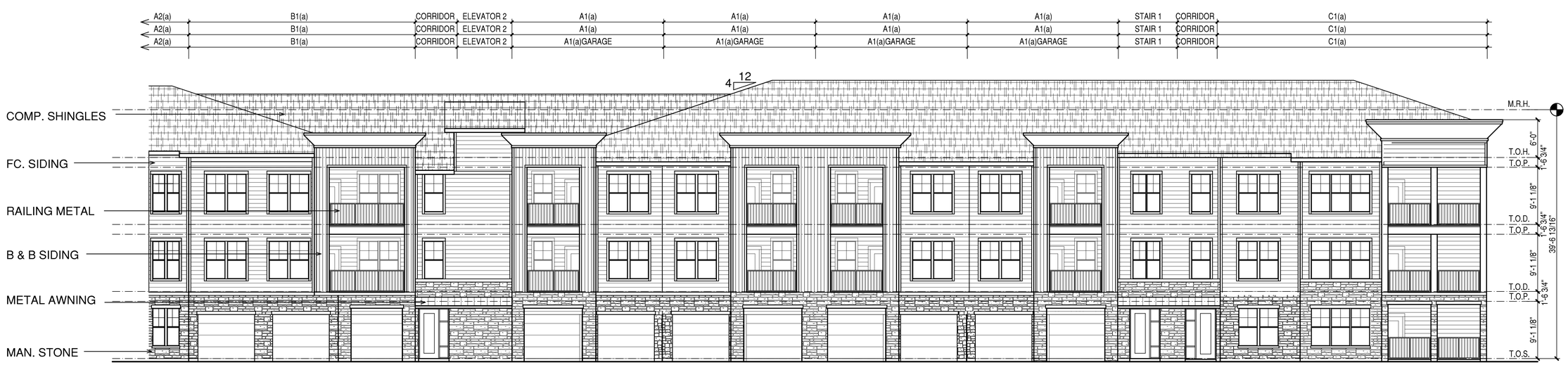
T.O.H. = TOP OF HEEL
T.O.D. = TOP OF DECK
T.O.P. = TOP OF PLATE
T.O.S. = TOP OF SLAB
M.R.H. = MEDIAN ROOF HEIGHT
ROOF SLOPE = 4:12

MATERIALS KEY

- MANUFACTURED STONE
- 8" F.C. LAP SIDING
- B&B SIDING
- METAL AWNINGS
- COMP. SHINGLES

1 BUILDING 'B' - OVERALL REAR ELEVATION

SCALE: 1/16" = 1'-0"



2 BUILDING 'B' - OVERALL REAR ELEVATION

SCALE: 1/8" = 1'-0"

PCD PROJECT NUMBER: PPR-22-029

STATE OF COLORADO
JARON DALEY
402290
LICENSED ARCHITECT
03-28-2022

REVISIONS

THE CITIZEN ON CONSTITUTION

226 APARTMENT UNITS IN COLORADO SPRINGS, CO
THE GARRET COMPANIES

PERMIT ISSUE
03-28-2022

HEDK ARCHITECTS
4595 EXCEL PARKWAY ADDISON, TX 75001
214.520.8878
hedk.com

DATE
03-28-2022

PROJECT
21166

SHEET NUMBER
A4-13

BUILDING B
OVERALL ELEVATIONS

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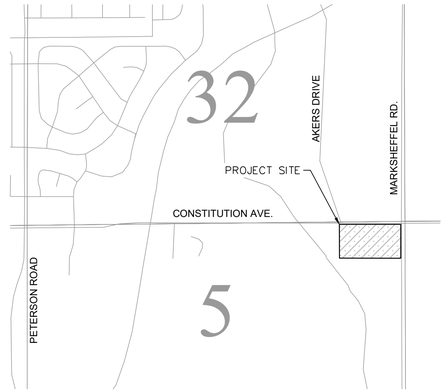
THE CITIZEN ON CONSTITUTION

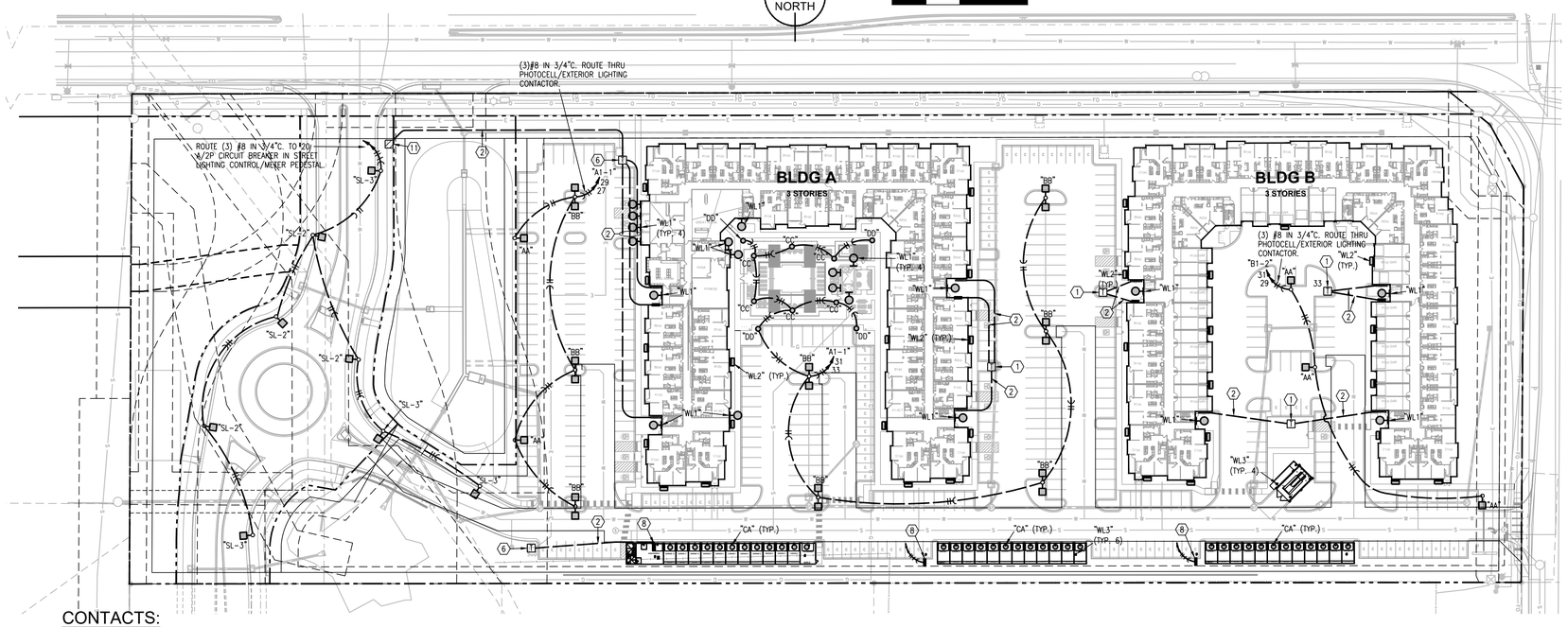
SITE DEVELOPMENT PLAN

A PORTION OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M.,
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



NORTH

GRAPHIC SCALE IN FEET
0 500 1000 2000



NOTES:

1. COORDINATE WATER AND SANITARY SEWER WITH CIVIL DRAWINGS. VERIFY ALL UTILITY LOCATIONS WITH PROVIDERS.
2. PRIMARY AND SECONDARY POWER AND TRANSFORMER LOCATIONS SHOWN ARE PRELIMINARY ONLY. FINAL DESIGN BY COLORADO SPRINGS UTILITIES. VERIFY PRIMARY CONDUIT ROUTING AND REQUIREMENTS/CONTRACTOR RESPONSIBILITIES WITH UTILITY COMPANY AND INCLUDE ALL COSTS. CONTACT JOE REUTER, JREUTER@CSU.ORG
3. CONTRACTOR SHALL INCLUDE IN BASE BID ALL COSTS AND FEES IMPOSED BY THE UTILITY PROVIDERS TO ESTABLISH SERVICE TO THE BUILDING.
4. FIELD VERIFY ALL ABOVE AND BELOW GRADE UTILITIES CALL 1-800-DIG-SAFE (1-800-344-7233) 48 HOURS PRIOR TO ANY DIGGING FOR UTILITY LOCATORS.
5. REFER TO CIVIL DRAWINGS FOR COORDINATION AND LOCATION OF OTHER BUILDING SERVICES.
6. TRANSFORMER AND LIGHT POLE LOCATIONS SHALL BE COORDINATED WITH OTHER SITE UTILITIES AND LOCATED SUCH THAT THEY ARE NOT DIRECTLY ABOVE UNDERGROUND UTILITIES.
7. PROVIDE PULL STRING IN ALL VOICE/DATA/CATV CONDUITS.
8. REFERENCE BUILDING PLANS FOR CIRCUITING OF BUILDING MOUNTED EXTERIOR LIGHTING

LEGEND:

1. PROPOSED LOCATION FOR 3 PHASE TRANSFORMER. TRANSFORMER BY POWER COMPANY. PAD BY CONTRACTOR ACCORDING TO POWER COMPANY STANDARDS.
2. FEEDERS AND CONDUIT FOR SECONDARY SERVICE FROM TRANSFORMER TO BUILDING ALONG WITH TRENCHING AND BACKFILL BY CONTRACTOR. TRANSFORMER BY POWER COMPANY. REFER TO RISER DIAGRAM FOR DETAILS.
3. 24"Wx36"Lx30"D QUAZITE HANDHOLE FOR TELE/DATA/CATV SYSTEMS. VERIFY SIZE, QUANTITY AND LOCATION WITH UTILITY PROVIDER(S).
4. (3) 4"C. FOR VOICE/DATA/CATV SYSTEMS AT 36" MIN. BELOW-GRADE. VERIFY SIZE AND QUANTITY WITH UTILITY PROVIDER(S).
5. ROUTE (3) 4"C. FOR VOICE/DATA/CATV SYSTEMS TO DEMARC LOCATION AT 36" MIN. BELOW-GRADE. VERIFY SIZE, QUANTITY AND DEMARC LOCATION WITH UTILITY PROVIDER(S).
6. PROPOSED LOCATION FOR 1 PHASE TRANSFORMER TRANSFORMER POWER COMPANY. PAD BY CONTRACTOR ACCORDING TO POWER COMPANY STANDARDS.
7. 3/4"G. UP TO GAS GRILL (90 MBH). PROVIDE WITH GAS SHUTOFF VALVE AND SOLENOID VALVE CONNECTED TO TIMER. REFERENCE LANDSCAPE DRAWINGS.
8. GARAGE PANEL. REFER TO SHEET ME201 FOR SIZE. FEEDER SHALL CONSIST OF (4) #8 IN 1"C. TO DESIGNATED HOUSE PANEL IN BUILDING #2.
9. (3) #8 IN 3/4"C. ROUTE THRU PHOTOCELL/EXTERIOR LIGHTING CONTACTOR IN CLUBHOUSE.
10. POWER/USB PEDESTAL. REFER TO LANDSCAPE DRAWINGS.
11. STREET LIGHTING CONTROL/METER PEDESTAL EQUAL TO MYERS POWER PRODUCTS, INC. #MEUG16-M100, 120/208 V., 1PH., NEMA 3R. PROVIDE WITH 100 A. MCB, BUILT-IN LIGHTING ARRESTOR, PHOTOCELL, AUTO-TEST SWITCH AND SLIP FITTING FOR CONCRETE PAD MOUNTING.

NO.	REVISION	BY	DATE	APPR.
1	Bid Set 9/12/2022	MDH	9/12/2022	MDH
2	SDP Site Lighting Submittal		10/24/2022	

LS&A
Lattner Sommers & Associates, P.A.
CONSULTING ENGINEERS
3499 SW Summerfield Drive, Suite A
Topeka, Kansas 66614-3974
8625 College Boulevard, Suite 102
Overland Park, Kansas 66210
Phone: (785) 233-5202
Email: lsaps@lsaps.com
LSA PROJECT NO. 2207004

DESIGNED BY: DBE
DRAWN BY: CAD
CHECKED BY: DBE
DATE: 04/18/2022

THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
SITE DEVELOPMENT PLAN
SITE PLAN - ELECTRICAL

CONTACTS:

811 Know what's below. Call before you dig.

CALL UTILITY NOTIFICATION CENTER OF COLORADO
1-800-922-1987
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES

OWNER:
THE GARRETT COMPANIES, INC.
1051 GREENWOOD SPRINGS BLVD, SUITE 101
GREENWOOD, IN 46143
TEL: (317) 497-8275
CONTACT: ANDREW WHITE

EL PASO COUNTY:
EL PASO COUNTY
PCD DEPARTMENT
2880 INTERNATIONAL CIRCLE, SUITE 110
COLORADO SPRINGS, CO 80910
PHONE: (719) 520-6300

ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
4582 SOUTH ULSTER STREET, SUITE 1500
DENVER, CO 80237
TEL: (303) 228-2318
CONTACT: DAN SKEEHAN, P.E.

SURVEYOR:
BARRON LAND, LLC
2790 N. ACADEMY BLVD. SUITE 311
COLORADO SPRINGS, CO 80917
TEL: (719) 360-6827
CONTACT: SPENCER BARRON, PLS

1 SITE PLAN
1"=60'-0" ELECTRICAL

NORTH

COLORADO LICENSED PROFESSIONAL ENGINEER
40389

10-24-22

PRELIMINARY
FOR REVIEW ONLY
NOT FOR CONSTRUCTION
Kimley»Horn
Kimley-Horn and Associates, Inc.

PROJECT NO.
09648100 4

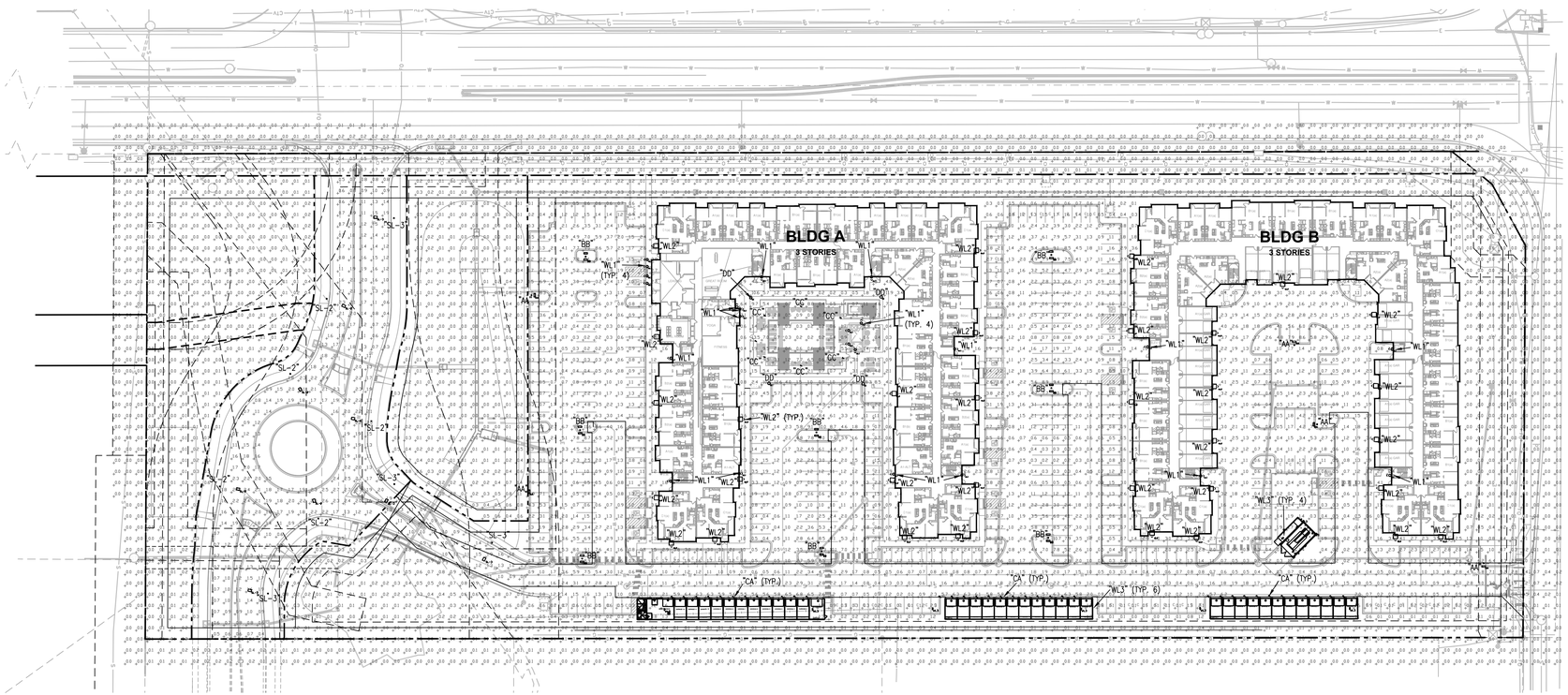
SHEET
E0-01

PCD PROJECT NUMBER: PPR-2229 & SF-226

THE CITIZEN ON CONSTITUTION

SITE DEVELOPMENT PLAN

A PORTION OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M.,
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



1 **SITE PLAN**
1"=60'-0" PHOTOMETRIC

NORTH

PHOTOMETRIC STATISTICS (fc)				
Description	Avg	Max	Min	Average/Min
Roundabout	1.6	2.7	0.4	4.0:1
Collector Roads	1	2	0.3	3.4:1
Site	0.9	18.3	0	-

811 Know what's below. Call before you dig.

CALL UTILITY NOTIFICATION CENTER OF COLORADO
1-800-922-1987
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES

COLORADO LICENSED
40389
PROFESSIONAL ENGINEER
10-24-22

NO.	REVISION	BY	DATE	APPR.
1	Bid Set 9/12/2022	MDH	9/12/2022	MDH
2	SDP Site Lighting Submittal		10/24/2022	

LS&A Lattner Sommers & Associates, P.A.
CONSULTING ENGINEERS
3939 SW Summerfield Drive, Suite A
Topeka, Kansas 66614-3974
8625 College Boulevard, Suite 102
Overland Park, Kansas 66210
Telephone: (785) 233-5232
Email: lsap@lsapa.com
LSA PROJECT NO. 2207004

DESIGNED BY: DBE
DRAWN BY: CAD
CHECKED BY: DBE
DATE: 04/18/2022

THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
SITE DEVELOPMENT PLAN

SITE PLAN - PHOTOMETRICS

PRELIMINARY
FOR REVIEW ONLY
NOT FOR CONSTRUCTION
Kimley»Horn
Kimley-Horn and Associates, Inc.

PROJECT NO.
096481004

SHEET
E0-02

PCD PROJECT NUMBER: PPR-2229 & SF-226

THE CITIZEN ON CONSTITUTION
SITE DEVELOPMENT PLAN
A PORTION OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M.,
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

EXTERIOR LIGHTING FIXTURE SCHEDULE

MARK	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	MOUNTING				FINISH					LIGHT LOSS FACTOR	REMARKS
				RECESS.	SURF.	WALL	MOUNTING HEIGHT		LED	CODE	WATTAGE	LUMENS		
"AA"	MAXLITE	MP-AR-100-U-T3-30-B/GMP-PM-B	POLE LIGHT		POLE		20'-0"	DK BRONZE	X	3000K	100	12,460	0.9	1
"BB"	MAXLITE	(2) MP-AR-100-U-T3-30-B/GMP-PM-B	POLE LIGHT		POLE		20'-0"	DK BRONZE	X	3000K	100	24920	0.9	1,2
"CC"	MAXLITE	BL-CLRD17U-30-B	BOLLARD		BOLLARD		3'-8"	DK BRONZE	X	3000 K	17	1081	0.9	
"DD"	MAXLITE	PTSM-53UT5-30B	POST TOP		POLE		12'-0"	DK BRONZE	X	3000K	53	6830	0.9	3
"SL-2"	AMERICAN ELECTRIC LIGHTING	ATB0-P203-MVOLT-R3	STREET POLE LIGHT		POLE		25'-0"	DK BRONZE	X	3000K	70	10,056	0.9	4
"SL-3"	AMERICAN ELECTRIC LIGHTING	ATB0-P203-MVOLT-R4	STREET POLE LIGHT		POLE		25'-0"	DK BRONZE	X	3000K	70	10,056	0.9	4
"WL1"	PROGRESS LIGHTING	P5676-2030K9	WALL MOUNTED LIGHT			X	6'-0"	DK BRONZE	X	3000K	9	400	0.9	
"WL2"	MAXLITE	WPCL-70-U-T4-CS-B	WALL MOUNTED LIGHT			X	20'-0"	DK BRONZE	X	3000K	70	8,872	0.9	
"WL3"	HUBBELL LIGHTING	LNC-5LU-3K-3	WALL MOUNTED LIGHT			X	8'-0"	DK BRONZE	X	3000K	13	833	0.9	
"CA"	MAXLITE	DL7119CSWH	SURFACE DOWN LIGHT		X		9'-0"	WHITE	X	3000K	11	1000	0.9	

REMARKS:
1. Provide with 20' tall direct buried screw in pole..
2. Provide with (2) heads mounted on single pole, 180 degrees apart
3. Provide with 12' tall direct buried screw in pole. Post top mounting.
4. Provide with 25' straight round steel pole. Dark Bronze in Color.

AA, BB

MPulse™ — Page 1 of 6

AREA LIGHT

A stunning blend of performance, value and aesthetics, the **MPulse Area Light** is available in a wide range of lumen packages to address a variety of outdoor lighting needs. The Area Light can be combined with a full, architectural-grade LED family to create a total site solution for commercial, municipal, retail, education, and hospitality applications. Optional visual comfort optics distribute light through a non-pixelated light source that creates uniform, eye-pleasing illumination with minimal glare. The high-performance, IP66-rated luminaire delivers a minimum of 120 lumens per watt, providing significant energy savings while remaining durable in the field.

100W-300W also available for wall mount applications, use QMP-KS mount

DIMENSIONS: Please see pg. 4 for dimensional drawings.

PERFORMANCE:
- Available in lumen packages ranging from 12,400lm to 38,400lm
- Calculated lumen maintenance value of > 90% (L90) at 100,000 hours calculated at 25°C
- 120-277V dimming standard. 347-480V options available
- 10KV surge suppression standard

OPTICS:
- Available in Type II, Type III, Type IV, and Type V optics

OPTIONS:
- NEMA 3-pin and 7-pin photocontrol receptacle
- High/Low/Off PIR fixture-integrated photo/motion sensor compatible with FSIR-100 remote control

FINISHES:
- Satin bronze and silver finish standard

CONTROLS:
Photo/Motion Sensor: The Wattstopper FSP-211 uses passive infrared (PIR) sensing technology to react to changes in infrared energy (i.e. moving body heat) within the coverage area. This slim, low-profile sensor is designed for installation inside the bottom of a light fixture body and is ideal for outdoor enviroments. The sensor operates at 120V/230V-240V and single phase 277V. The motion sensor is fully adjustable with dimmed light level options as well as on/off dusk to dawn control. Sensor can be combined with various lenses to operate at mounting heights from 8' to 40'. Factory settings can be adjusted via the FSIR-100, a wireless configuration tool. **Note that the sensor comes with photocell setting disabled and the FSIR-100 must be purchased if photocell functionality is desired.**

RPC, PR7 Options: Allow the use of 3rd party distributed intelligence controllers designed to connect to the fixture via our NEMA standard C136.41 3-, and 7-pin twist lock receptacle to provide dimming and On/Off control. Separate Photocontrol options are available, see page 2.

CONSTRUCTION:
- Die Cast Aluminum housing
- Tempered Glass
- 12" 18/3 cord standard

MOUNTING:
- Straight arm, trunnion swivel, and 2-3/8" slipfitter knuckle options available.

ENVIRONMENT:
- Listed for use in wet locations to UL standards and IP66 rated.

PHOTOMETRICS:
Please see page 6 for Iso-footcandle layouts.
All IES files available online

WARRANTY:
10-year standard warranty with labor allowance*
(further details available at www.maxlite.com/warranties)

*Warranty Limitations: Product must be rated for the application per the Product Data Sheet (PDS); operated ≤16 hrs/day; in ambient of -29°F to 104°F.

*Up to $25/unit; labor allowances of up to $500/unit available for purchase – contact MaxLite representative for details.

SENSOR DEFAULT SETTINGS:

FACTORY DEFAULTS	
High Mode	10V
Low Mode	1V
Time Delay	5 Min
Cut Off	1 Hr
Sensitivity	Max

MaxLite Phone: 1-800-555-5629 | Fax: 973-244-7333 | Web: www.maxlite.com | E-mail: info@maxlite.com MAX18102
Revised: 09/29/2020

Submittal by InSolution Products
jim.rago@insolutionproducts.com M-317-372-4947
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Page 1 of 6
02/26/2021

CC

MaxLite — A NEW WAVE OF LIGHT

PROJECT NAME:________ CATALOG NUMBER:________
NOTES:________ FIXTURE SCHEDULE:________

Page: 1 of 2

PATHMAX™ LED BOLLARDS
CLASSIC SERIES DOME TOP

PRODUCT DESCRIPTION:
The round Classic LED Bollard is an economical and energy efficient choice for lighting walkways, plazas and other pedestrian areas in commercial and residential applications.

FEATURES:
- 120-277V with dimming capability
- Dimming driver standard
- CRI ≥80
- 10 year warranty
- Up to 50,000 hour L70 lifetime, TM-21 standards @ 25°C

CONSTRUCTION:
- Extruded Aluminum housing
- Clear Polycarbonate lens
- An optional GFCI can be installed and centered 12" from the top of the shaft

ENVIRONMENT:
- CSA Group for wet locations
- IP65 rated Optical system

INSTALLATION:
- Flush Mounting Base with Vandal Resistant Screws
- Installation Kit with 8" Anchor Bolts Included

WARRANTY:
10-year standard warranty with labor allowance*
(further details available at www.maxlite.com/warranties)
*Warranty Limitations: Product must be rated for the application per the Product Data Sheet (PDS); operated ≤ 16 hrs; in ambient of -29ºF to 104ºF.

*Up to $25/unit; labor allowances of up to $500/unit available for purchase – contact MaxLite representative for details.

MODEL SELECTION — Typical order example: BL-CLR2D18U-40B

BL	-		RD		U	-		B			
FAMILY	-	SUB FAMILY	SHAPE	WATTAGE	VOLTAGE	-	LED MODULE	FINISH	DISTRIBUTION	HEIGHT	OPTIONS
BL= Bollards	-	CL2= Classic Series, DLC Premium Listed	RD= Round	18= 18W	U= 120-277V	-	30= 3000K, 80 CRI 40= 4000K, 80 CRI 50= 5000K, 80 CRI	B= Bronze Contact MaxLite for additional finishes	(Blank)= Wide Beam	(Blank)= 42"	(Blank)= None
		CL= Classic Series, BAA compliant		17= 17W					(Blank)= Wide Beam T3= Type 3, Cone Reflector LR= Louver	(Blank)= 42" 36= 36" 30= 30" Contact MaxLite for custom lengths	GF= GFCI Outlet, 15A, 120V GS= 180°

Phone: 1-800-555-5629 | Fax: 973-244-7333 | Web: www.maxlite.com | E-mail: info@maxlite.com MAX18144 Revised: 08/27/19 MaxLite

Submittal by InSolution Products
jim.rago@insolutionproducts.com M-317-372-4947
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Page 1 of 2
02/26/2021

DD

MaxLite — A NEW WAVE OF LIGHT

LED POST TOP SPIDER MOUNT
PTSM SERIES

PRODUCT DESCRIPTION:
Maxlite's Post Top Spider Mount offers a sleek stylish area fixture ideal for pathways and parks for general area lighting applications. It comes in 3 different outputs and offers photocell and motion sensor options.

FEATURES:
- Die cast aluminum housing with corrosion resistant powder coat paint finish
- 6,800-15,000 lumens
- Choice of 53/78/143W, 126-130 lm/W
- Available in 3000K, 4000K or 5000K
- 120V-277V, 50/60Hz
- UV stabilized vandal resistant polycarbonate lens
- Slip fitter mounting fits 2 3/8" tenon
- Passes ANSI 3G vibration test
- On/Off Motion sensor or 3pin NEMA twist lock photocell receptacle available as options
- cULus certified for WL

WARRANTY:
5-year standard warranty with labor allowance*
(further details available at www.maxlite.com/warranties)
*Product may be eligible for a warranty extension to 10 years, for an additional fee. Contact MaxLite for details.

DESIGNLIGHTS CONSORTIUM:
Not all product variations listed on this page are DLC Standard/Premium qualified. Visit www.designlights.org/search to confirm qualification.

MODEL SELECTION

PTSM		U	T5		B	
FAMILY	WATTAGE (NOMINAL)	VOLTAGE	DISTRIBUTION	CCT	FINISH	OPTIONS
PTSM=Post Top Spider Mount	53=53W 78=78W 143=143W	U=120-277V	T5=Type V	30=3000K 40=4000K 50=5000K	B=Bronze Contact Maxlite for additional finishes	MS=Daylight/Motion Sensor (On/Off) RPC=NEMA 3pin receptacle (Photocell sold separately)

DLC QPL

MODEL NUMBER	PRODUCT ID	MODEL NUMBER	PRODUCT ID	MODEL NUMBER	PRODUCT ID
PSTM53UT5-30B	PLRIOP5HRCMW	PSTM143UT5-30B	PL1VVYAR1PDJ	PSTM143UT5-30B	PL1VVYAR1PDJ
PSTM53UT5-40B	PLI2R5E0B6CC	PSTM143UT5-40B	PLZ6I293C3MJ	PSTM143UT5-40B	PLZ6I293C3MJ
PSTM53UT5-50B	PLHUXFIESLAP	PSTM143UT5-50B	PL66XM2RO8ZJ	PSTM143UT5-50B	PL66XM2RO8ZJ

ACCESSORIES

MODEL # (ORDER CODE)	DESCRIPTION	ACCESSORY IMAGE
TR3BZ (101677)	Tennon Reducer, 3" to 2-3/8", Bronze	

Phone: 1-800-555-5629 | Fax: 973-244-7333 | Web: www.maxlite.com | E-mail: info@maxlite.com MAX18211 Revised: 10/20/20 MaxLite

Submittal by InSolution Products
jim.rago@insolutionproducts.com M-317-372-4947
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Page 1 of 3
02/26/2021

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10-24-22

NO.	REVISION	BY	DATE	APPR.
1	Bid Set 9/12/2022	MOH	9/12/2022	MOH
2	SDP Site Lighting Submittal		10/24/2022	

LS&A Latimer Sommers & Associates, P.A. CONSULTING ENGINEERS
3639 SW Summerfield Drive, Suite A
Topeka, Kansas 66614-3974
8625 College Boulevard, Suite 102
Overland Park, Kansas 66210
Telephone: (785) 233-3232
Email: lsapa@lsapa.com
LSA PROJECT NO. 2207004

DESIGNED BY: DBE
DRAWN BY: CAD
CHECKED BY: DBE
DATE: 04/18/2022

THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
SITE DEVELOPMENT PLAN
SITE PLAN - CUT SHEETS

PRELIMINARY
FOR REVIEW ONLY
NOT FOR CONSTRUCTION
Kimley»Horn
Kimley-Horn and Associates, Inc.

PROJECT NO.
096481004

SHEET
E0-03

PCD PROJECT NUMBER: PPR-2229 & SF-226

THE CITIZEN ON CONSTITUTION

SITE DEVELOPMENT PLAN

A PORTION OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M.,
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

WL1

PROGRESS LIGHTING

Small Wall Lantern

Wall mounted • Wet location listed PROGRESS LED

P5676-2030K9

Description:

The one-light wall lantern from the Belle LED Collection features nautical undertones and a cage reminiscent of industrial spaces that is ideal for both interior and exterior settings. This fixture is available in convertible ceiling/pendant and wall mount options. Small LED wall lantern. Antique Bronze finish.

Specifications:

- Antique Bronze (-20) (painted)
- Aluminum Construction
- Etched glass diffuser
- LED Module is replaceable (part # 93054049)
- Nautical undertones.
- Cage reminiscent of industrial spaces.
- Ideal for both interior and exterior spaces.
- 623 lumens 69.2 lumens/watt per module (source)
- 3000K color temperature, 90+ CRI.
- Dimmable to 10% brightness (See Dimming Notes)
- Back plate covers a standard 4" octagonal recessed outlet box
- Mounting strap for outlet box included
- 6" of wire supplied
- ENERCY STAR® qualified
- Meets California Title 24 high efficacy requirements for outdoor use only

Images:

Performance:

Number of Modules	1
Input Power	9w
Input Voltage	120 V
Input Frequency	60 Hz
Lumens/LPW (Source)	623/69.2 (LM-82)
Lumens/LPW (Delivered)	401/50.9 (LM-79)
CCT	3000 K
CRI	90 CRI
Life (hours)	60,000 (L70/TM-21)
FCC	Meets FCC Title 47, Part 15 Class B
Min. Start Temp	-30 °C
Max. Operating Temp	30 °C
Warranty	5 year warranty
Labels	cCSAus Wet location listed ENERCY STAR® qualified Meets California Title 24 high efficacy requirements for outdoor use only

Dimensions:

Width: 5-1/2"
Depth: 7-3/8"
Height: 10-5/8"
H/CTR: 3"

Glass
Width: 4-3/8"
Length: 4-3/8"
Height: 8-3/4"

For more information visit our website: www.progresslighting.com

Progress Lighting • 701 Millennium Boulevard • Greenville, SC 29607

Submittal by InSolution Products
jim.rago@insolutionproducts.com M-317-372-4947
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Page 1 of 2
02/26/2021

WL2

MaxLite
A NEW WAVE OF LIGHT

WALLMAX™ LARGE CUTOFF

WPCL SERIES

Built in level helps ensure straight mounting

CCT Selectable switch Choose between 3K, 4K or 5K

PRODUCT DESCRIPTION:
WallMax Cutoff Wall Packs are a full cutoff architectural wall mounted fixture ideal for commercial offices, schools and other public administrative buildings. It offers a wide range of outputs and options including CCT selectability so the customer can choose between 3000K, 4000K and 5000K color temperatures.

FEATURES:
- 120V-277V, 347V-480V available
- 0-10V dimming
- Color Selectable between 3000K, 4000K or 5000K

CONTROL OPTIONS:
- Photocontrol (120V-277V)
- Dimmable motion sensor with photocontrol (requires RMRC-100 remote control to program)

INSTALLATION:
- 1/2" threaded conduit hole in the center of the back housing
- 5 1/2" threaded conduit holes, one on each side of the back housing and 2 on the top of the housing
- Built in level helps ensure straight mounting

CONSTRUCTION:
Die Cast Aluminum housing with polycarbonate LED lens

WARRANTY:
10-year standard warranty with labor allowance*
(further details available at www.maxlite.com/warranties)

*Warranty Limitations: Product must be rated for the application per the Product Data Sheet (PDS); operated ≤16 hrs; in ambient of -29°F to 104°F.
*Up to $25/unit; labor allowances of up to $500/unit available for purchase – contact MaxLite representative for details.

ORDER STRUCTURE

FAMILY	WATTAGE	VOLTAGE	DISTRIBUTION	CCT	FINISH	OPTIONS[1]
WPCL= WallMax Cutoff	**40=** 40W **70W=** 70W **100=** 100W	**U=** 120-277V **HV=** 347-480V	**T4=** Type IV	**CS=** CCT Selectable (3K, 4K, 5K)	**B=** Bronze MaxLite for additional finishes	**EM=** Battery Backup, 0°C,120V or 277V only **EM2=** Battery Backup, -20°C,120V or 277V only **MS[1]=** PIR Daylight/Motion Sensor **PC=** 120-277V Button Photocontrol

NOTES:
[1]EM and MS can be selected together
[2]MS includes PC function, internal for 120-277V, external for 347-480V, requires FSIR-100 remote control to program (at least one per job location)

ACCESSORY

ORDER CODE	MODEL NUMBER	DESCRIPTION	IMAGE
104799	RMRC-100	REMOTE CONTROL FOR SHARKWARD PRODUCTS, RANGE 50FT INDOORS, NO BACKLIGHT	

Phone: 1-800-555-5629 | Fax: 973-244-7333 | Web: www.maxlite.com | E-mail: info@maxlite.com

PLM391
Rev: 09/11/20 MaxLite

Submittal by InSolution Products
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Page 1/3
02/26/2021

WL3

HUBBELL Outdoor Lighting

DATE: LOCATION:
TYPE: PROJECT:
CATALOG #:

LNC

COMPACT LED LITEPAK

FEATURES
- Compact LNC LED is designed for perimeter illumination and available in 3 lumen packages for safety, security and identity
- 3000K, 4000K, 5000K and Amber color temperatures
- Up to 4:1 spacing to mounting height ratio means fewer fixtures to install
- Acrylic diffuser included! Use for applications near entrances or locations where reduced brightness is desired. (Maximum spacing with diffuser 30ft)
- Die-cast aluminum housing with decorative Laredo styling
- Full cut-off neighbor friendly
- Listed to UL1598 for use in wet locations

*3000K and warmer CCTs only

RELATED PRODUCTS
LNC2 INC3 LNC4

SPECIFICATIONS

CONSTRUCTION
- Decorative die-cast aluminum housing and door
- Rugged design protects internal components and provides excellent thermal management for long life
- Powder paint finishes provide lasting appearance in outdoor environments
- Full cut-off distribution; Ambient diffuser included, use for applications near enterances or locations where reduced brightness is desired

OPTICS
- Drivers are 120-277V, 50/60Hz Type II, III and Type IV lenses provide wide lateral spread
- 3000K - 80 CRI, 4000K - 70 CRI, and 5000K - 70 CRI, CCT nominal
- Drivers have greater than .90 power factor and less than 20% Total Harmonic Distortion

INSTALLATION
- Quick mount adapter provides quick installation, designed for recessed box 4" square junction box

ELECTRICAL
- 60,000 hours minimum LED life at L96 rating per IESNA TM-21-11
- Minimum operating temperature is -40°C/-40°F
- 0-10V dimming 120-277V only
- LNC5L – 5 LEDs, Types II, III or IV available, see page 2 for electrical details
- LNC7L – 7 LEDs, Type II, III or IV available, see page 2 for electrical details
- LNC9L – 9 LEDs, Types II, III or IV available, see page 2 for electrical details

CONTROLS
- Photocontrol option is available to provide dusk-to-dawn control for additional energy savings

CERTIFICATIONS
- Listed and labeled to UL 1598 for wet locations, 25°C ambient environments

WARRANTY
- 5 year limited warranty
- See HLI Standard Warranty for additional information

KEY DATA	
Lumen Range	800–2100
Wattage Range	13–22
Efficacy Range (LPW)	64–95
Fixture Projected Life (Hours)	L96>60K
Weights lbs. (kg)	9.6 (24.5)

Page 1/3 Rev. 01/20/21
LNCLED-SPEC

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701 Millennium Blvd • Greenville, SC 29607 / Tel 864.678.1000 / Website www.hubbelloutdoor.com

HUBBELL Lighting

LNC PSG PAGE | LNC BROCHURE | LED BUILDING GUIDE | INSTALLATION INSTRUCTIONS

NO.	REVISION	BY	DATE	APPR.
1	Bid Set 9/12/2022	MDH	9/12/2022	MDH
2	SDP Site Lighting Submittal		10/24/2022	

LS&A
Lettner Sorrell & Associates, P.A.
CONSULTING ENGINEERS
3639 SW Summerfield Drive, Suite A
Topeka, Kansas 66614-3974
8625 College Boulevard, Suite 102
Overland Park, Kansas 66210
Email: lsapa@lsapa.com
LSA PROJECT NO. 2207004

DESIGNED BY: DBE
DRAWN BY: CAD
CHECKED BY: DBE
DATE: 04/18/2022

THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
SITE DEVELOPMENT PLAN
SITE PLAN - CUT SHEETS

Know what's below. Call before you dig.

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CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES

COLORADO LICENSED
40389
PROFESSIONAL ENGINEER
10-24-22

PRELIMINARY
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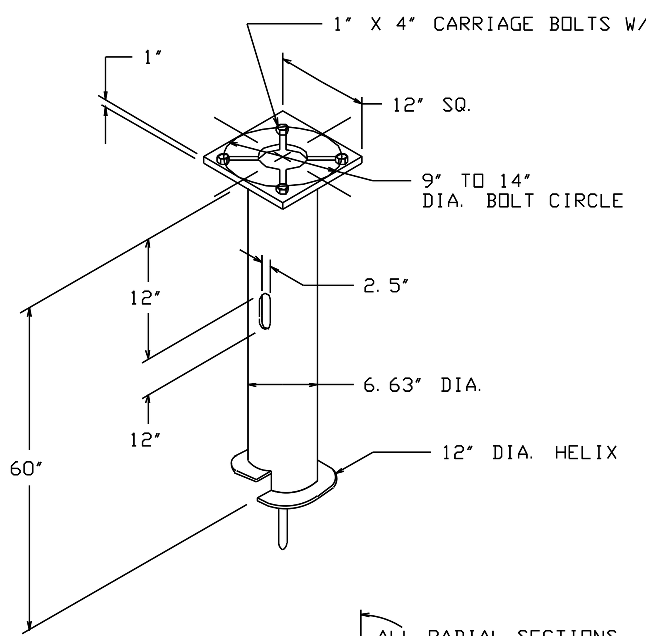
Kimley»Horn
Kimley-Horn and Associates, Inc.

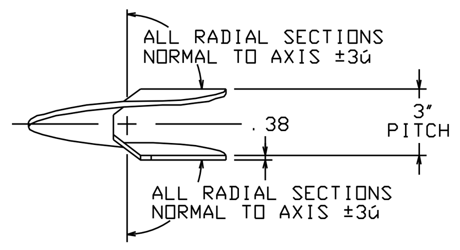
PROJECT NO.
096481004

SHEET
E0-04

PCD PROJECT NUMBER: PPR-2229 & SF-226

THE CITIZEN ON CONSTITUTION
SITE DEVELOPMENT PLAN
A PORTION OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M.,
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO





HELIX MUST BE FORMED BY MATCHING METAL DIE
(SIDE VIEW OF TRUE HELICAL FORM)

-NOTES-

1. FINISH: HOT DIP GALVANIZE PER ASTM-A153 (LATEST REVISION).
2. BASEPLATE TO BE PERPENDICULAR TO SHAFT AXIS (±1ú) AND HOLE CENTERLINE CONCENTRIC (±.188) TO SHAFT AXIS.
3. STENCIL MIN. 1/2 IN. LETTERS MANUFACTURER'S NUMBER AFTER GALVANIZING.
4. PILOT POINT AND SHAFT AXES TO BE CONCENTRIC (±.125 FIM) AND IN LINE (±2ú).
5. FLAME CUT SLOT PERPENDICULAR TO THE BASEPLATE.
6. PREHEAT, TUMBLEBLAST, HANDGRIND, AND CLEAN BASEPLATE, HELIX, AND PILOT POINT ON ALL WELDED AREAS.
7. FLAMECUT IRREGULARITIES PERMISSIBLE: (1) VALLEYS NOT TO EXCEED 3/32 IN. BELOW NOMINAL SURFACE LEVEL, (2) PEAKS OR POSITIVE IRREGULARITIES NOT TO EXCEED 1/32 IN. ABOVE NOMINAL SURFACE LEVEL OR INTERSECTIONS OF NOMINAL SURFACES.
8. MANUFACTURER TO HAVE IN EFFECT INDUSTRY RECOGNIZED WRITTEN QUALITY CONTROL FOR ALL MATERIALS AND MANUFACTURING PROCESSES.
9. ALL MATERIAL IS TO BE NEW, UNUSED AND MILL TRACEABLE MEETING THE FOLLOWING SPECIFICATIONS:

   BASEPLATE: ASTM A36-(LATEST REVISION) HOT ROLLED STEEL PLATE, (CONFORM TO AASHTO TECH. BUL. #270)

   SHAFT: STEEL PIPE PILES, SEAMLESS OR STRAIGHT WELDED, GRADE-2 PER ASTM A252. ALT. MATERIAL: STEEL PIPE TYPE E OR S, GRADE-B PER ASTM A53.

   HELIX: ASTM A635 (LATEST REVISION) HOT ROLLED STEEL.

   PILOT POINT: ASTM A575 (LATEST REVISION) STEEL BAR.

   BOLTS: CARR BOLT PER ANSI B-18.2.1, SAE J429 GRADE-5.

10. BASEPLATE IS PERMANENTLY STAMPED WITH MANUFACTURER'S IDENTIFICATION "ABC" IN 1/2" LETTERS AND DATE CODE IN 1/4" LETTERS.

1 LIGHT POLE FOUNDATION
NO SCALE — CAT. NO. C11242NG4VP

CA

MaxLite — A NEW WAVE OF LIGHT

DISC LIGHT
CCT SELECTABLE SERIES

DL6

DL7

PRODUCT DESCRIPTION:
The LED Disc Light's versatility as a flush mount fixture and surface downlight saves electrical contractors time, labor and space by making it possible to install custom downlighting without a recessed can. This luminaire is wet location rated, CCT selectable (2700K/3000K/4000K/5000K), Title 20 and ETL listed as both a retrofit kit and a luminaire. The slim-profile Disc Light is available in two sizes, and mounts directly to a 3"/4"/5"/6" housing and standard 4" J-Box. In other words, more options and fewer SKUs to stock on distributor shelves and job sites!

Providing exceptional performance in general lighting applications for homes, hotels, motels and commercial properties, this series can also serve as a cost-effective temporary lighting solution. The luminaire is the ideal choice for adding energy-efficient and long-lasting downlighting to bathrooms, showers, spas and other indoor wet, damp, dry locations environment.

FEATURES:
- E26 screw-base connector included
- Listed as a fixture and a retrofit
- Tested and listed with Lutron

DIMMING:
- 120V option available with 120V triac dimming (10%)

MOUNTING:
- DL6 model fits 3"/4" housing and standard 4" J-Box
- DL7 model fits 3"/4"/5"/6" housing and standard 4" J-Box
- E26 screw-base connector included

CONSTRUCTION:
- Durable thermoplastic housing
- Plastic lens

LISTINGS:
- ETL listed for Wet Locations
- ENERGY STAR Certified
- T20 Listed
- Supports T24 Part 6 high efficacy lighting requirements
- JA8 Listed for CCTs ≥ 4000K

WARRANTY:
5-year standard warranty (further details available at www.maxlite.com/warranties) Product may be eligible for a warranty extension to 10 years, for an additional fee. Contact MaxLite for details.

ORDERING STRUCTURE

FAMILY	SIZE	WATTAGE (NOMINAL)	CRI	CCT	FINISH
DL= Disc Light	**6=** O.D. 5.20"	**07=** 07W	**9=** 90	**CS=** 2700K/3000K/4000K/5000K CCT Selectable	**WH=** White
	7= O.D. 7.33""	**11=** 11W			

ORDER CODE

ORDER CODE	MODEL NUMBER
103864	DL6079CSWH
103873	DL7119CSWH

COMPATIBLE DIMMERS

DIMMER BRAND	MODELS
LUTRON	DVLV-600P, DVELV-303P, DV-600P, MACL-153M, SCL-153P, DVCL-153P, MAELV-600, CTCL-153PDH-WH, TGCL-153PH-WH, DVWCL-153PH-WH

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PLM #588
Revised: 12/21/20
Submittal by InSolution Products
jim.rago@insolutionproducts.com M-317-372-4947
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Page 1 of 2
02/26/2021

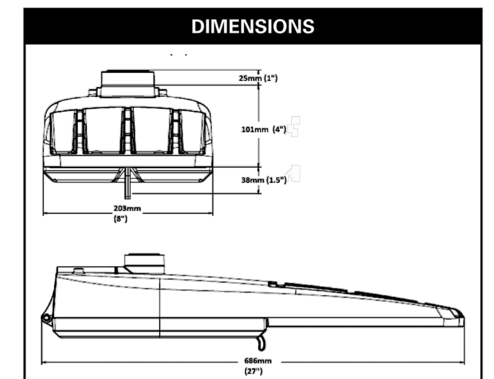
Consistent with LEED® goals & Green Globes™ criteria for light pollution reduction — Buy American

Autobahn Series ATB0
Roadway Lighting

PRODUCT OVERVIEW

Applications:
Roadways
Off ramps
Residential streets
Parking lots

DIMENSIONS



Effective Projected Area (EPA): The EPA for the ATB0 is 0.76 sq. ft.
Approx. Wt. = 14 lbs.

STANDARDS

DesignLights Consortium® (DLC) Premium qualified product. Not all versions of this product may be DLC Premium qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

Color temperatures of ≤ 3000K must be specified for International Dark-Sky Association certification.

Rated for -40°C to 40°C ambient
CSA Certified to U.S. and Canadian standards
Complies with ANSI: C136.2, C136.10, C136.14, C136.31, C136.15, C136.37

BUY AMERICAN — Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT. Please refer to www.acuitybrands.com/buy-american for additional information.

Features: SL2 (TYPE 2), SL3 (TYPE IV)

OPTICAL

The Autobahn's new molded silicone optics provide exceptional performance. Silicone optics are superior to other polymeric materials in the areas of; optical efficiency, thermal performance, and reduction in dirt accumulation, all of which can lead to long term lumen degradation and a shift in optical distribution. Also, because silicone allows for the molding of fine details as well as thick sections, it produces the most crisp, clean and well-defined lighting distributions available. Silicone optics paired with modern LED's allow the Autobahn to take full advantage of both technologies.

Same Light: Performance is comparable to 100 - 400W HPS roadway luminaires.

White Light: Correlated color temperature - 4000K, or optional 2700K, 3000K or 5000K, all 70 CRI minimum.

Unique IP66 rated LED light engines provided 0% uplight and restrict backlight to within sidewalk depth, providing optimal application coverage and optimal pole spacing. Available in Type II, III, IV, and V roadway distributions.

ELECTRICAL

Expected Life: LED light engines are rated >100,000 hours at 25°C, L70. Electronic driver has an expected life of 100,000 hours at a 25°C ambient.

Lower Energy: Saves an expected of 40-60% over comparable HID luminaires.

Robust Surge Protection: Two different surge protection options provide a minimum of ANSI C136.2 10kV/5kA protection. 20kV/10kA protection is also available.

Luminaire ships with a 0-10v dimmable driver. Luminaire is continuous and step dimming capable via AO option or controls installed on P7 photocontrol receptacle option.

MECHANICAL

Includes standard AEL lineman-friendly features such as tool-less entry, 3 station terminal block and quick disconnects. Bubble level located inside the electrical compartment for easily leveling at installation.

Rugged die-cast aluminum housing and door are polyester powder-coated for durability and corrosion resistance. Rigorous five-stage pre-treating and painting process yields a finish that achieves a scribe creepage rating of 7 (per ASTM D1654) after over 5000 hours exposure to salt fog chamber (operated per ASTM B117).

Mast arm mount is adjustable for arms from 1-1/4" to 2" (1-5/8" to 2-3/8" O.D.) diameter. Provides a 3G vibration rating per ANSI C136.31

Wildlife shield is cast into the housing (not a separate piece).

CONTROLS

NEMA 3 pin photocontrol receptacle is standard, with the Acuity designed ANSI standard 7 pin receptacle optionally available.

Premium solid state locking style photocontrol - PCSS (10 year rated life) Extreme long life solid state locking style photocontrol - PCLL (20 year rated life).

Optional onboard Adjustable Output module allows the light output and input wattage to be modified to meet site specific requirements, and also can allow a single fixture to be flexibly applied in many different applications.

Note: Specifications subject to change without notice. Actual performance may differ as a result of end-user environment and application.

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AEL American Electric Lighting

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COLORADO LICENSED PROFESSIONAL ENGINEER 40389
10-24-22

NO.	REVISION	BY	DATE	APPR.
1	Bid Set 9/12/2022	MOH	9/12/2022	MOH
2	SDP Site Lighting Submittal		10/24/2022	

LS&A Latimer Sommers & Associates, P.A.
CONSULTING ENGINEERS
3639 SW Summerfield Drive, Suite A
Topeka, Kansas 66614-3974
8625 College Boulevard, Suite 102
Overland Park, Kansas 66210
Telephone: (785) 233-3232
Email: lsapa@lsapa.com
LSA PROJECT NO. 2207004

DESIGNED BY: DBE
DRAWN BY: CAD
CHECKED BY: DBE
DATE: 04/18/2022

THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
SITE DEVELOPMENT PLAN
SITE PLAN - CUT SHEETS

PRELIMINARY
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Kimley»Horn
Kimley-Horn and Associates, Inc.

PROJECT NO.
096481004

SHEET
E0-05

PCD PROJECT NUMBER: PPR-2229 & SF-226

LANDSCAPE DEVELOPMENT PLANS

THE CITIZEN ON CONSTITUTION

PCD PROJECT NUMBER: PPR-22-29

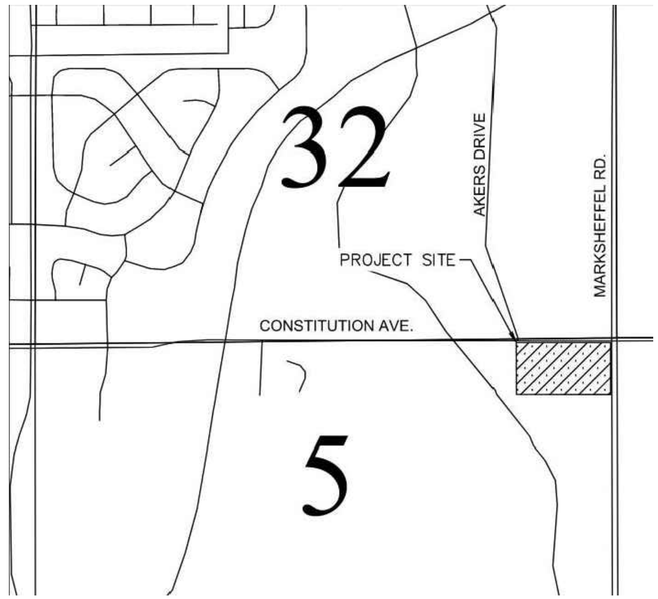
A PORTION OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M.,
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

DATE: 12.07.2022

SHEET INDEX

FINAL LANDSCAPE & IRRIGATION PLANS	
SHEET NUMBER	SHEET TITLE
--	COVER SHEET
L600	OVERALL LANDSCAPE PLAN
L601	LANDSCAPE PLAN
L602	LANDSCAPE PLAN
L603	LANDSCAPE PLAN
L604	LANDSCAPE PLAN
L605	LANDSCAPE PLAN
L606	LANDSCAPE PLAN
L607	COURTYARD ENLARGEMENT
L608	NOTES AND TABULATIONS
L609	LANDSCAPE DETAILS
L610	LANDSCAPE DETAILS & NOTES
L611	SITE DETAILS
L612	SITE DETAILS
L613	SITE DETAILS
L614	SITE DETAILS

VICINITY MAP



SCALE: NTS
(NOT TO SCALE)

PROJECT TEAM

OWNER/DEVELOPER
THE GARRETT COMPANIES
1051 GREENWOOD SPRINGS BLVD
GREENWOOD, INDIANA 46143
317.886.7923

LANDSCAPE ARCHITECT
THE GARRETT COMPANIES
1051 GREENWOOD SPRINGS BLVD
GREENWOOD, INDIANA 46143
765.748.9506
CONTACT NAME: NICK SMITH

IRRIGATION DESIGN
IRRIGATION DESIGN SOURCE
116 SHADOWLAWN DRIVE
FISHERS, INDIANA 46038
317.585.0167
CONTACT NAME: CHRIS NEUMAN

DIRECTOR OF CIVIL ENGINEERING
KARL STOUT
1051 GREENWOOD SPRINGS BLVD
GREENWOOD, INDIANA 46143
317.886.7926

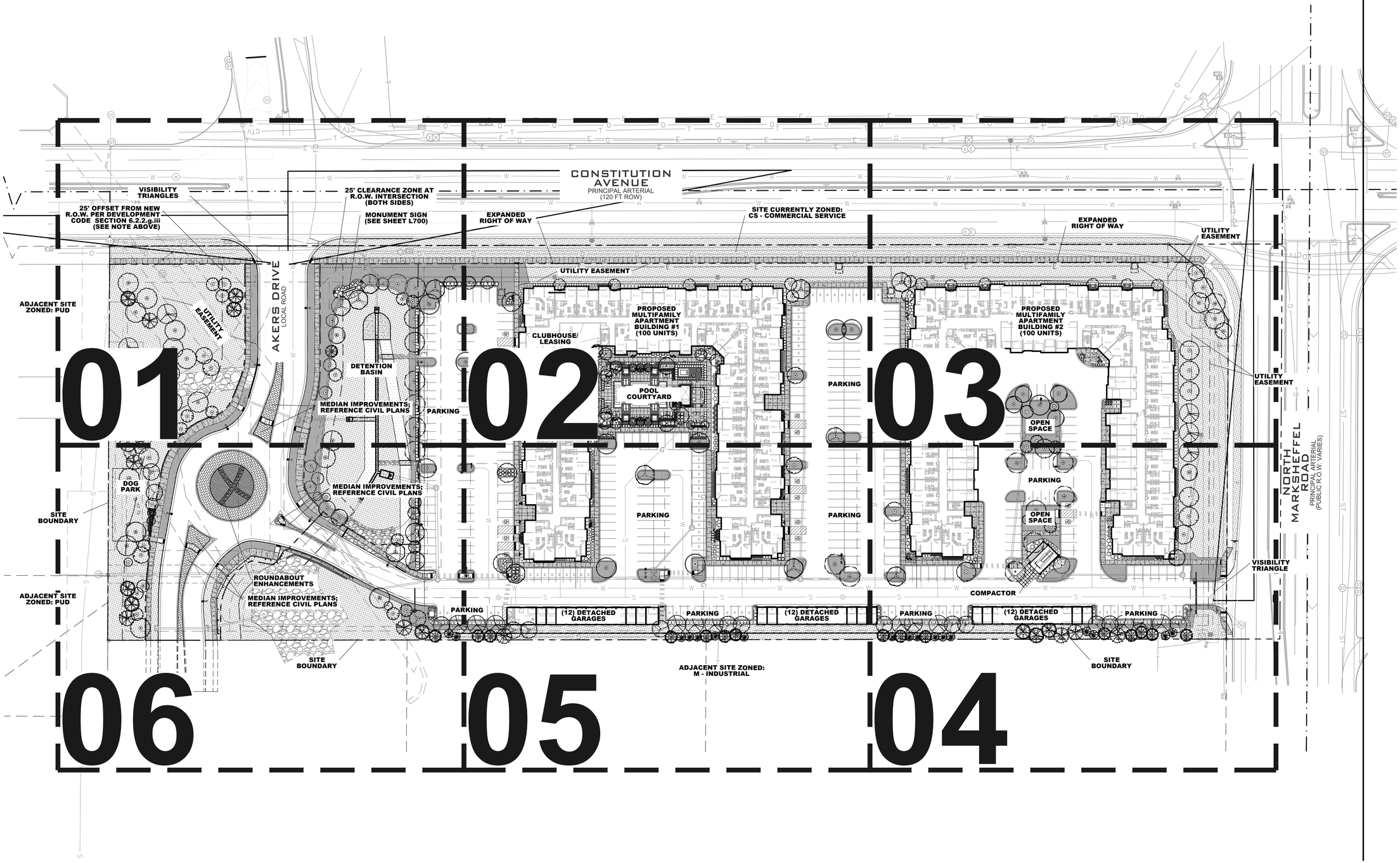
CIVIL ENGINEERING MANAGER
ANDREW WHITE
1051 GREENWOOD SPRINGS BLVD
GREENWOOD, INDIANA 46143
317.497.8275

NICHOLAS ALLEN SMITH
1436
02/24/2020
Original Date of Licensure
STATE OF COLORADO
LICENSED LANDSCAPE ARCHITECT
12/07/2022

THE GARRETT COMPANIES

PCD PROJECT NUMBER: PPR-2229 & SF-226

25' SETBACK ALONG THE R.O.W.
PER SECTION 6.2.2.g.iii OF THE EL PASO COUNTY DEVELOPMENT ORDINANCE:
"USE OF BOX ALDER, SALIX, AND POPULUS LIMITED. BOX ELDER (ACER NEGUNDO) AND ALL TREES OF THE SALIX AND POPULUS GENUS, EXCEPT ASPEN (POPULUS TREMULOIDES), SHALL NOT BE PLANTED WITHIN 25 FEET OF A RIGHT-OF-WAY.



01 *OVERALL LANDSCAPE PLAN*

Scale In Feet: 1" = 50'-0"
0' 25' 50' 75' 125'
NORTH

811 Know what's below. Call before you dig.

THE GARRETT COMPANIES
LANDSCAPE ARCHITECTURE
317-886-7923
1051 GREENWOOD SPRINGS BLVD #101
GREENWOOD, IN 46143
www.thegarrettco.com

NICHOLAS ALLEN SMITH
1436
10/24/2022
Original Date of Licensure
STATE OF COLORADO
LICENSED LANDSCAPE ARCHITECT
10/24/2022

NOT FOR CONSTRUCTION

PROJECT #:	*21-06*
DRAWN BY:	*TB / PR*

PERMIT SUBMITTAL	03.25.2022
SITE DEVELOPMENT PLAN	05.23.2022
COUNTY COMMENTS	08.19.2022
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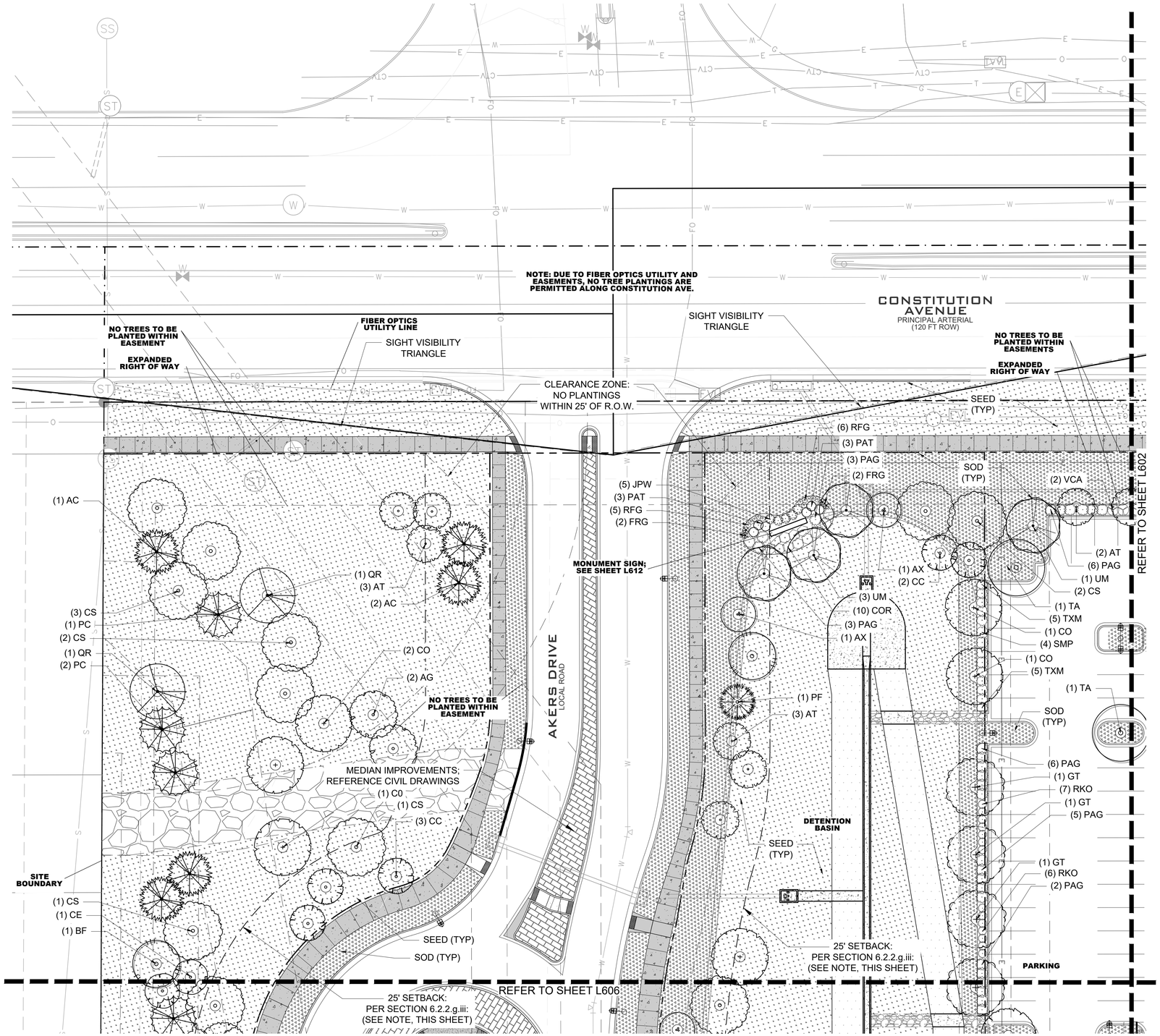
#	DATE	DESCRIPTION
2	09.26.2022	ADDENDUM
3	12.07.2022	CITY COMMENTS

THE CITIZEN ON CONSTITUTION

OVERALL SITE
A PORTION OF THE NORTHEAST QUARTER OF SECTION 5,
TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M.
EL PASO COUNTY, COLORADO
PCD PROJECT NUMBER: PPR-22-29
LANDSCAPE PLANS

OVERALL LANDSCAPE PLAN

L600



01 LANDSCAPE PLAN

Scale In Feet: 1" = 20'-0"
0' 10' 20' 30' 50'
NORTH

PLANT SCHEDULE

SYMBOL	TAG	QTY.	COMMON NAME	BOTANIC NAME
DECIDUOUS CANOPY TREES				
	AF	15	AUTUMN BLAZE MAPLE	ACER X FREEMANII 'AUTUMN BLAZE'
	AG	8	OHIO BUCKEYE	AESCULUS GLABRA
	BF	12	NATIVE RIVERBIRCH	BETULA FONTINALIS
	CS	16	WESTERN CATALPA	CATALPA SPECIOSA
	CO	7	WESTERN HACKBERRY	CELTIS OCCIDENTALIS
	GT	12	IMPERIAL HONEYLOCUST	GLEDITSIA TRICANTHOS INERMIS 'IMPERIAL'
	PT	18	QUAKING ASPEN	POPULUS TREMULOIDES
	QR	17	RED OAK	QUERCUS RUBRA
	TA	12	REDMOND LINDEN	TILIA AMERICANA 'REDMOND'
	UM	14	ACCOLADE ELM	ULMUS MORTON 'ACCOLADE'
	SUBTOTAL	131		
ORNAMENTAL TREES				
	AT	11	HOT WINGS TATARIAN MAPLE	ACER TATARICUM 'GARANN'
	AX	15	AUTUMN BRILLANCE SERVICEBERRY	AMELACHIER X GRANDIFLORA X 'AUTUMN BRILLANCE'
	CE	15	EASTERN REDBUD	CERCIS CANADENSIS
	CK	9	KOUSA DOGWOOD	CORNUS KOUSA
	CC	13	THORNLESS COCKSPUR HAWTHORN	CRATAEGUS CRUS GALLII 'INERMIS'
	PS	16	PINK FLAIR CHERRY	PRUNUS SARGENTII 'PINK FLAIR'
	SUBTOTAL	79		
EVERGREEN TREES				
	AC	11	CONCOLOR FIR	ABIES CONCOLOR
	PC	10	LODGEPOLE PINE	PINUS CONTORTA
	PF	16	VANDERWOLF'S PINE	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'
	JS	17	MOONGLOW JUNIPER	JUNIPERUS SCOPULORUM ' MOONGLOW'
	SUBTOTAL	54		
DECIDUOUS & EVERGREEN SHRUBS (TO INCLUDE PARKING LOT SCREENING & FOUNDATION SHRUBS)				
	CCB	57	BLUE MIST CARYOPTERIS	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'
	CSK	178	ARCTIC FIRE DOGWOOD	CORNUS STOLONIFERA 'FARROW'
	COR	58	BAILEYS REDOSIER DOGWOOD	CORNUS STOLONIFERA 'BAILEYI'
	WSW	50	SPILLED WINE WEIGELA	WEIGELA FLORIDA 'SPILLED WINE'
	FOR	21	KUMSON FORSYTHIA	FORSYTHIA VIRIDISSIMA 'KUMSON'
	HQR	74	RUBY SLIPPERS HYDRANGEA	HYDRANGEA QUERCIFOLIA 'RUBY SLIPPERS'
	PAT	34	BLUE SPIRES RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA 'BLUE SPIRES'
	GVB	135	GREEN VELVET BOXWOOD	BUXUS X 'GREEN VELVET'
	PAG	64	GNOME FIRETHORN	PYRACANTHA ANGUSTIFOLIA 'GNOME'
	RKO	50	KNOCK OUT PINK ROSE	ROSA 'KNOCK OUT PINK ROSE'
	SJG	55	'GOLDFLAME' SPIREA	SPIREA JAPONICA 'GOLDFLAME'
	SMP	35	BLOOMERANG LILAC	SYRINGA X 'BLOOMERANG'
	TXM	205	DENSE YEW	TAXUS X MEDIA 'DENSIFORMIS'
	VCA	72	DWARF KOREANSPICE VIBURNUM	VIBURNUM CARLESII 'COMPACTUM'
	SUBTOTAL	1,086		
LOW/SPREADING SHRUBS				
	JPW	40	PRINCE OF WALES JUNIPER	JUNIPERUS HORIZONTALIS 'PRINCE OF WALES'
	JST	60	NEW BLUE JUNIPER	JUNIPERUS SABINA 'TAMARISCIFOLIA NEW BLUE'
	MDP	114	SIBERIAN CYPRESS	MICROBIOTA DECUSSATA 'PRIDES'
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S	SAJ	51	AUTUMN JOY SEDUM	SEDUM 'AUTUMN JOY'
M	SNM	45	MAY NIGHT SALVIA	SALVIA NEMEROSA 'MAY NIGHT'
	SUBTOTAL	292		
TURF GRASSES				
	SOD	31,667 SQ. FT.	ECOLOTURF ™ SOD	VERSATILE BLUEGRASS/FESCUE SOD MIX (SEE NOTE BELOW)
	SEED	133,755 SQ. FT.	TURF SEED MIX	"50/50 KENTUCKY BLUEGRASS/PERENNIAL RYEGRASS" TURF MIX; SEE NOTE BELOW)
	SUBTOTAL: 165,422 SQ. FT.			

GROSS SITE AREA: 9.82 ACRES (427,759 SQ FT)

REQUIRED OPEN SPACE: 64,164 SQ FT — **PROVIDED OPEN SPACE: 124,126 SQ FT**

REQUIRED TREES: 128.3 TREES — **PROVIDED TREES: 128 OPEN SPACE TREES**

REFERENCE SHEET L608 FOR COMPLETE LANDSCAPE PLANT SCHEDULE, NOTES, & TABULATIONS. REFERENCE SHEETS L609 - L611 FOR LANDSCAPE DETAILS.

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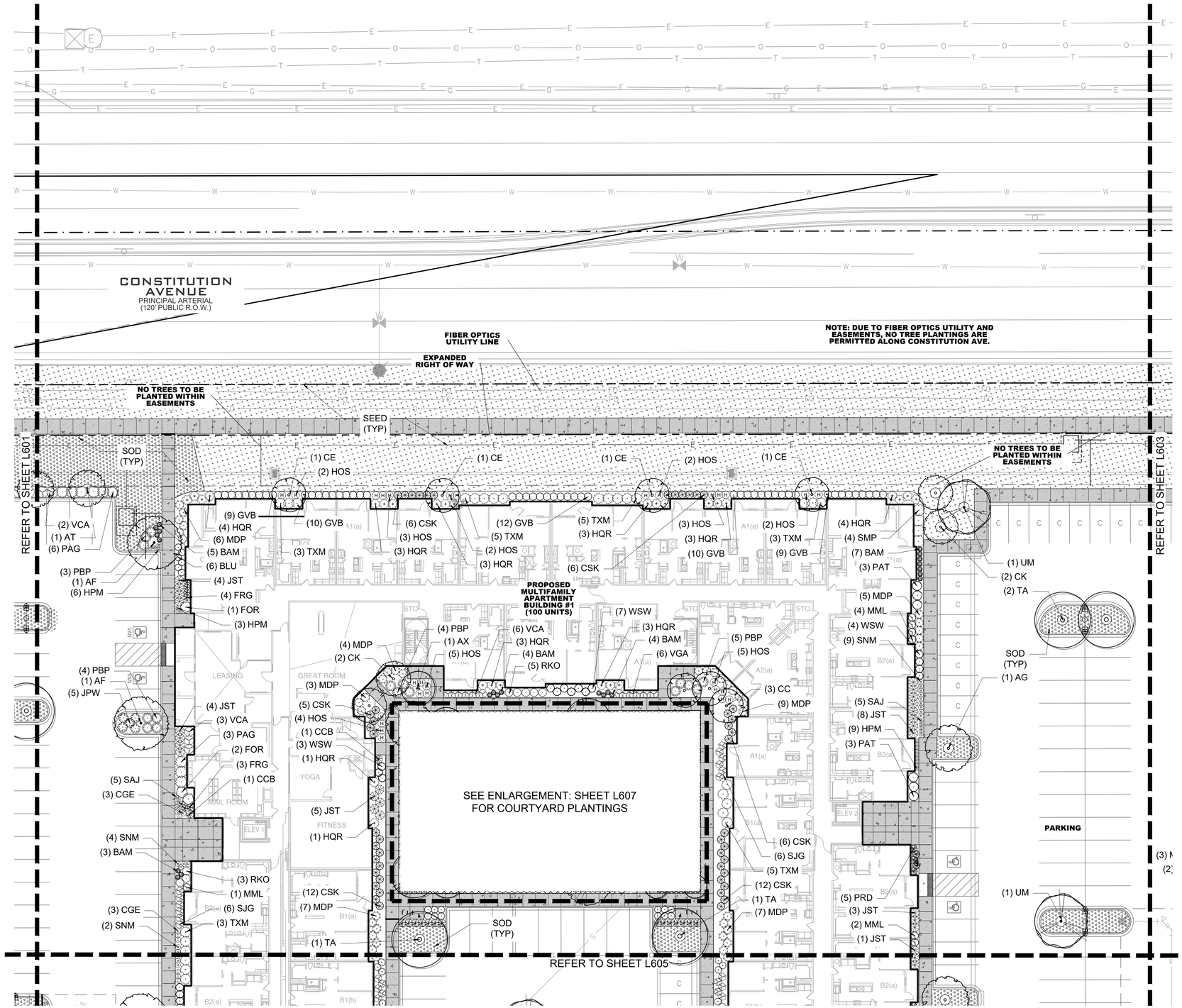
LANDSCAPE PLANS

LANDSCAPE PLAN

L601



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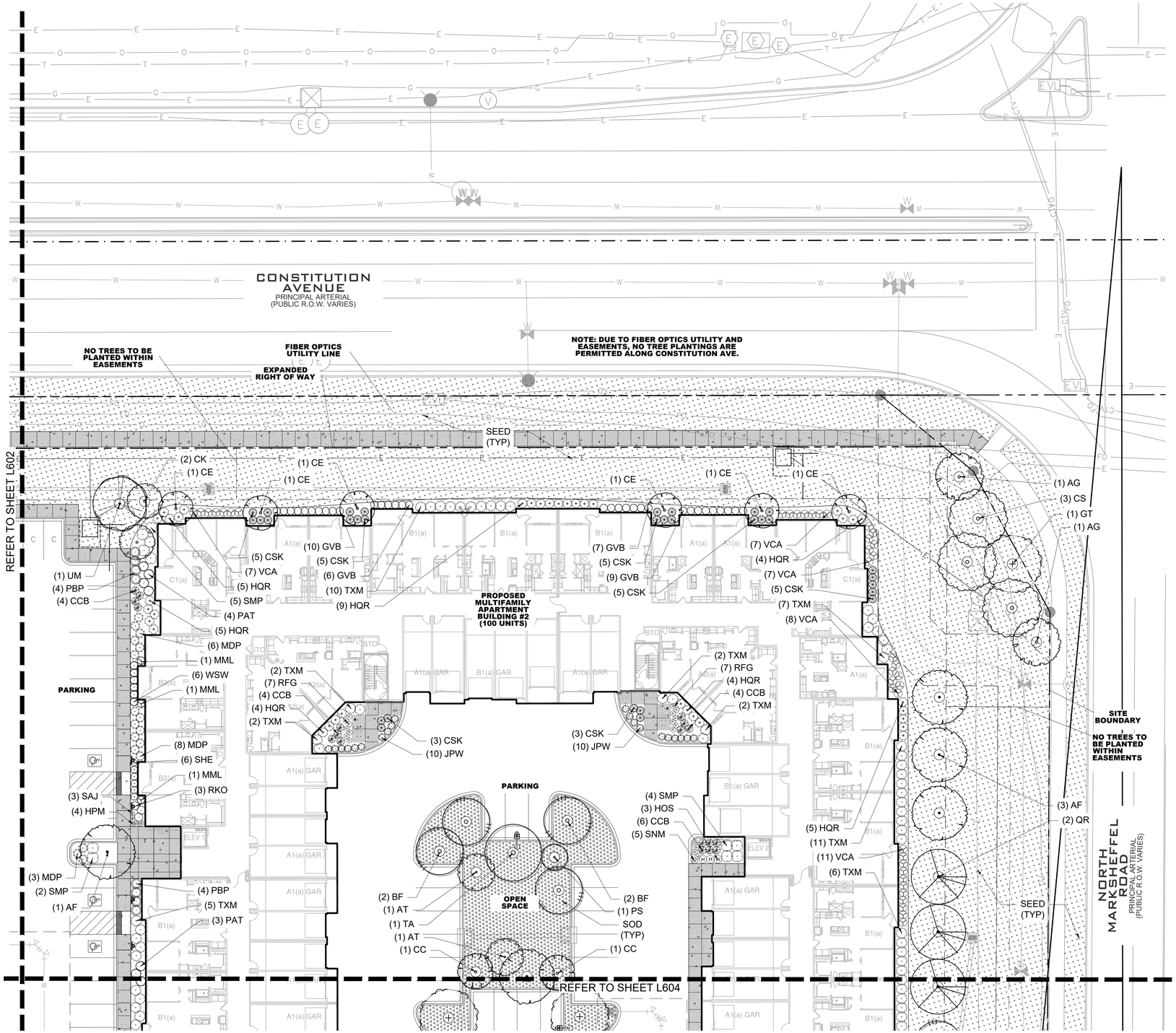
L602



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GREENWOOD, IN 46143
www.thegarrettco.com

NICHOLAS ALLEN SMITH 1436
10/24/2022
Original Date of Licensure
STATE OF COLORADO LICENSED LANDSCAPE ARCHITECT

10/24/2022

NOT FOR CONSTRUCTION

PROJECT #:	21-06
DRAWN BY:	TB / PR

PERMIT SUBMITTAL	03.25.2022
SITE DEVELOPMENT PLAN	05.23.2022
COUNTY COMMENTS	08.19.2022
BID SET	09.12.2022

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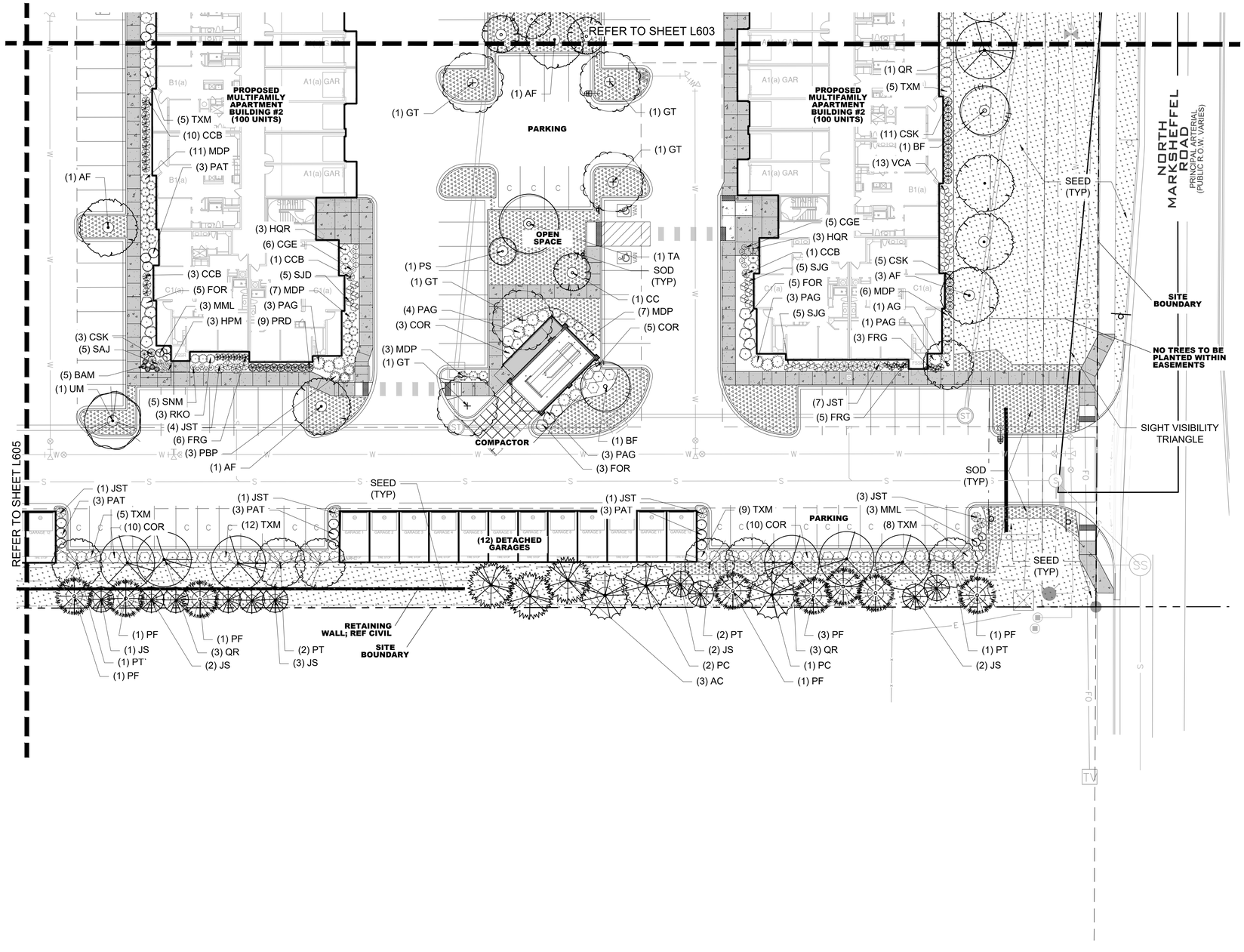
3	12.07.2022	CITY COMMENTS

THE CITIZEN ON CONSTITUTION

OVERALL SITE
A PORTION OF THE NORTHEAST QUARTER OF SECTION 5,
TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M.
EL PASO COUNTY, COLORADO
PCD PROJECT NUMBER: PPR-22-29
LANDSCAPE PLANS

LANDSCAPE PLAN

L603



PLANT SCHEDULE

SYMBOL	TAG	QTY.	COMMON NAME	BOTANIC NAME
DECIDUOUS CANOPY TREES				
	AF	15	AUTUMN BLAZE MAPLE	ACER X FREEMANII 'AUTUMN BLAZE'
	AG	8	OHIO BUCKEYE	AESCULUS GLABRA
	BF	12	NATIVE RIVERBIRCH	BETULA FONTINALIS
	CS	16	WESTERN CATALPA	CATALPA SPECIOSA
	CO	7	WESTERN HACKBERRY	CELTIS OCCIDENTALIS
	GT	12	IMPERIAL HONEYLOCUST	GLEDITSIA TRICANTHOS INERMIS 'IMPERIAL'
	PT	18	QUAKING ASPEN	POPULUS TREMULOIDES
	QR	17	RED OAK	QUERCUS RUBRA
	TA	12	REDMOND LINDEN	TILIA AMERICANA 'REDMOND'
	UM	14	ACCOLADE ELM	ULMUS MORTON 'ACCOLADE'
	SUBTOTAL	131		
ORNAMENTAL TREES				
	AT	11	HOT WINGS TATARIAN MAPLE	ACER TATARICUM 'GARANN'
	AX	15	AUTUMN BRILLANCE SERVICEBERRY	AMELACHIER X GRANDIFLORA X 'AUTUMN BRILLANCE'
	CE	15	EASTERN REDBUD	CERCIS CANADENSIS
	CK	9	KOUSA DOGWOOD	CORNUS KOUSA
	CC	13	THORNLESS COCKSPUR HAWTHORN	CRATAEGUS CRUS GALLII 'INERMIS'
	PS	16	PINK FLAIR CHERRY	PRUNUS SARGENTII 'PINK FLAIR'
	SUBTOTAL	79		
EVERGREEN TREES				
	AC	11	CONCOLOR FIR	ABIES CONCOLOR
	PC	10	LODGEPOLE PINE	PINUS CONTORTA
	PF	16	VANDERWOLF'S PINE	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'
	JS	17	MOONGLOW JUNIPER	JUNIPERUS SCOPULORUM ' MOONGLOW'
	SUBTOTAL	54		
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	CSK	178	ARCTIC FIRE DOGWOOD	CORNUS STOLONIFERA 'FARROW'
	COR	58	BAILEYS REDOSIER DOGWOOD	CORNUS STOLONIFERA 'BAILEYI'
	WSW	50	SPILLED WINE WEIGELA	WEIGELA FLORIDA 'SPILLED WINE'
	FOR	21	KUMSON FORSYTHIA	FORSYTHIA VIRIDISSIMA 'KUMSON'
	HQR	74	RUBY SLIPPERS HYDRANGEA	HYDRANGEA QUERCIFOLIA 'RUBY SLIPPERS'
	PAT	34	BLUE SPIRES RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA 'BLUE SPIRES'
	GVB	135	GREEN VELVET BOXWOOD	BUXUS X 'GREEN VELVET'
	PAG	64	GNOME FIRETHORN	PYRACANTHA ANGUSTIFOLIA 'GNOME'
	RKO	50	KNOCK OUT PINK ROSE	ROSA 'KNOCK OUT PINK ROSE'
	SJG	55	'GOLDFLAME' SPIREA	SPIREA JAPONICA 'GOLDFLAME'
	SMP	35	BLOOMERANG LILAC	SYRINGA X 'BLOOMERANG'
	TXM	205	DENSE YEW	TAXUS X MEDIA 'DENSIFORMIS'
	VCA	72	DWARF KOREANSPICE VIBURNUM	VIBURNUM CARLESII 'COMPACTUM'
	SUBTOTAL	1,086		
LOW/SPREADING SHRUBS				
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	SOD	31,667 SQ. FT.	ECOLOTURF ™ SOD	VERSATILE BLUEGRASS/FESCUE SOD MIX (SEE NOTE BELOW)
	SEED	133,755 SQ. FT.	TURF SEED MIX	"50/50 KENTUCKY BLUEGRASS/PERENNIAL RYEGRASS" TURF MIX; SEE NOTE BELOW)
	SUBTOTAL:	165,422 SQ. FT.		

GROSS SITE AREA: 9.82 ACRES (427,759 SQ FT)

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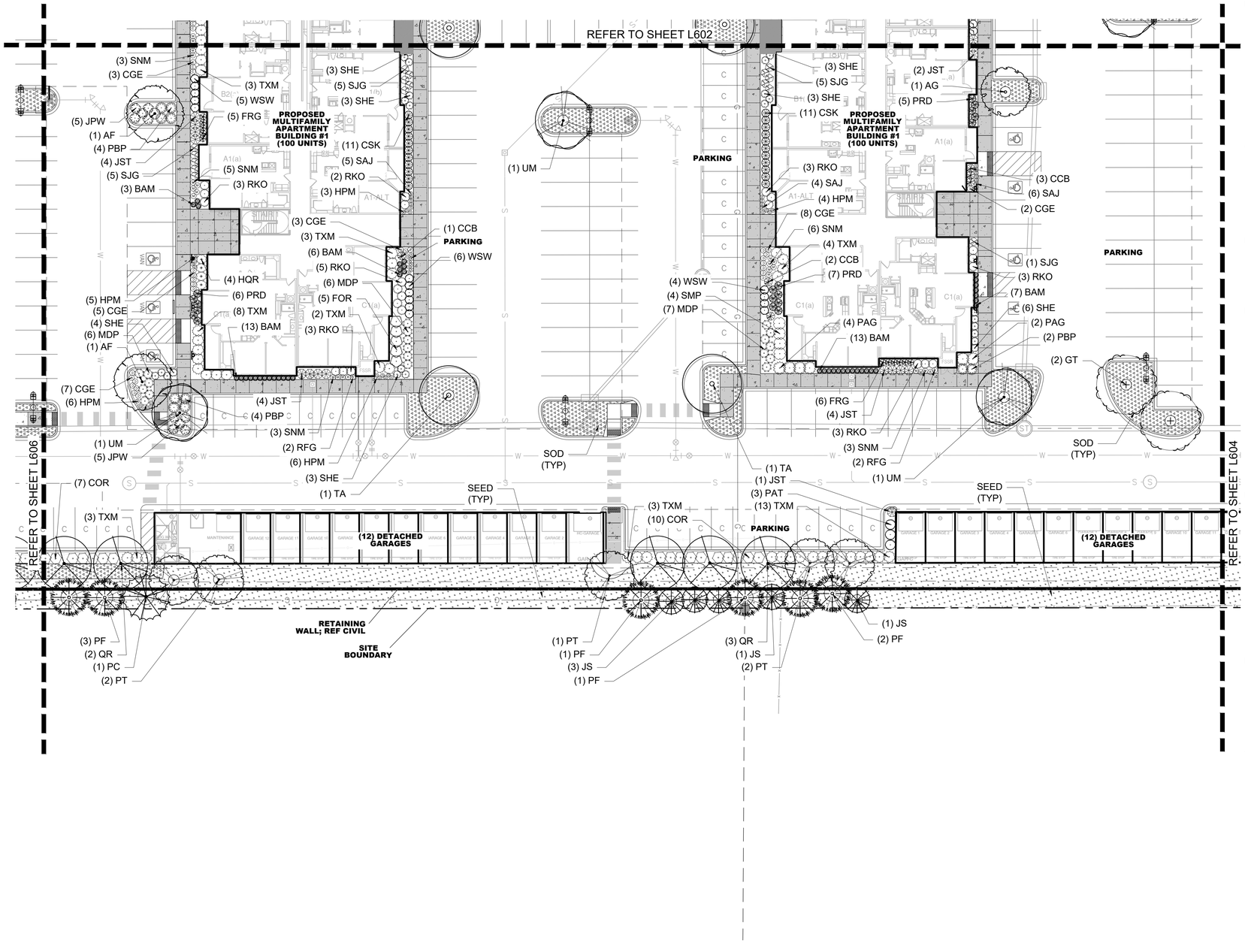
LANDSCAPE PLAN

L604



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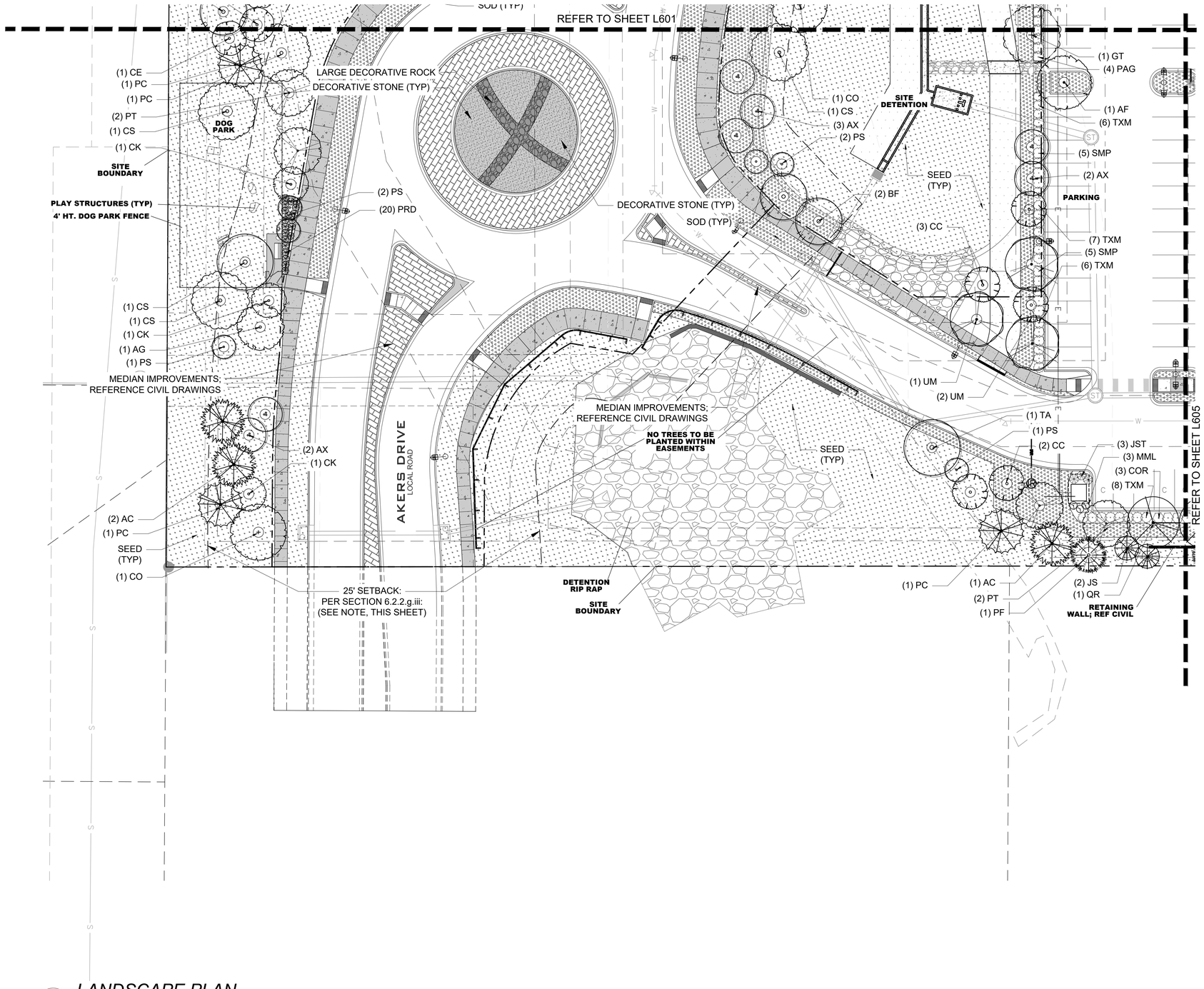
L605



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01 *LANDSCAPE PLAN*

Scale In Feet: 1" = 20'-0"
0' 10' 20' 30' 50'
NORTH

811 Know what's below. Call before you dig.

THE GARRETT COMPANIES
LANDSCAPE ARCHITECTURE
317-886-7923
1051 GREENWOOD SPRINGS BLVD #101
GREENWOOD, IN 46143
www.thegarrettco.com

NICHOLAS ALLEN SMITH 1436
10/24/2022
Original Date of Licensure
STATE OF COLORADO LICENSED LANDSCAPE ARCHITECT
10/24/2022

NOT FOR CONSTRUCTION

PROJECT #:	*21-06*
DRAWN BY:	*TB / PR*

PERMIT SUBMITTAL	03.25.2022
SITE DEVELOPMENT PLAN	05.23.2022
COUNTY COMMENTS	08.19.2022
BID SET	09.12.2022

REVISION SCHEDULE

#	DATE	DESCRIPTION
2	09.26.2022	ADDENDUM
3	12.07.2022	CITY COMMENTS

THE CITIZEN ON CONSTITUTION

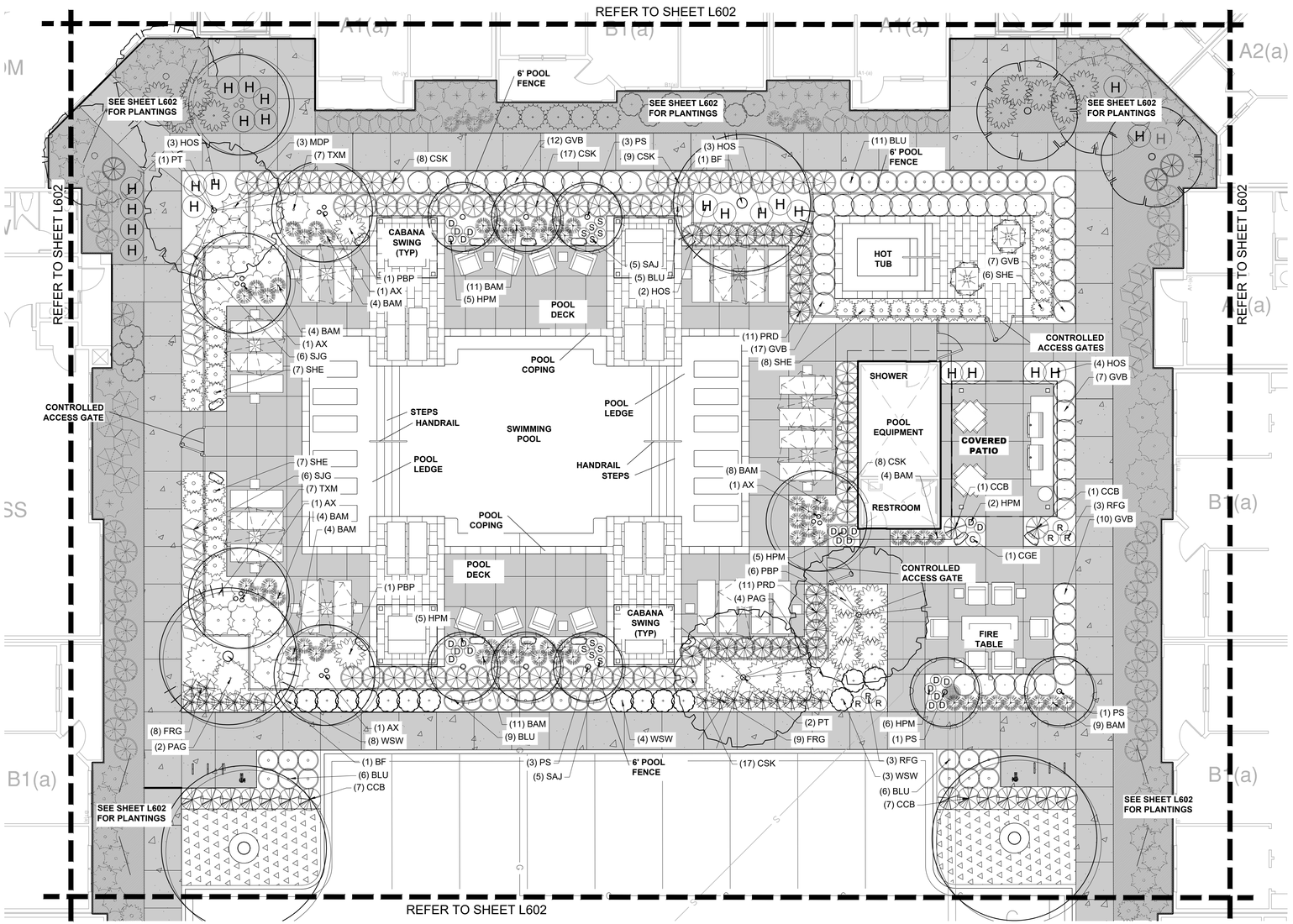
OVERALL SITE
A PORTION OF THE NORTHEAST QUARTER OF SECTION 5,
TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M.
EL PASO COUNTY, COLORADO
PCD PROJECT NUMBER: PPR-22-29
LANDSCAPE PLANS

LANDSCAPE PLAN

L606

BULK STONE

13	BOULDERS: TO BE STOCKPILED DURING CONSTRUCTION AND RE-USED ON-SITE WITHIN LANDSCAPE	8"-12" TALL BOULDERS SIZED AT 12"-16" WIDTH x 18"-24" LENGTH	IF NO BOULDERS ARE AVAILABLE ON-SITE, USE MANITOU PINK BOULDERS FROM C&C SAND AND STONE CO. (OR SIMILAR)



01 *COURTYARD ENLARGEMENT*

Scale In Feet: 1" = 8'-0"
0' 4' 8' 12' 20'
NORTH

PLANT SCHEDULE

SYMBOL	TAG	QTY.	COMMON NAME	BOTANIC NAME
DECIDUOUS CANOPY TREES				
	AF	15	AUTUMN BLAZE MAPLE	ACER X FREEMANII 'AUTUMN BLAZE'
	AG	8	OHIO BUCKEYE	AESCULUS GLABRA
	BF	12	NATIVE RIVERBIRCH	BETULA FONTINALIS
	CS	16	WESTERN CATALPA	CATALPA SPECIOSA
	CO	7	WESTERN HACKBERRY	CELTIS OCCIDENTALIS
	GT	12	IMPERIAL HONEYLOCUST	GLEDITSIA TRICANTHOS INERMIS 'IMPERIAL'
	PT	18	QUAKING ASPEN	POPULUS TREMULOIDES
	QR	17	RED OAK	QUERCUS RUBRA
	TA	12	REDMOND LINDEN	TILIA AMERICANA 'REDMOND'
	UM	14	ACCOLADE ELM	ULMUS MORTON 'ACCOLADE'
	SUBTOTAL	131		
ORNAMENTAL TREES				
	AT	11	HOT WINGS TATARIAN MAPLE	ACER TATARICUM 'GARANN'
	AX	15	AUTUMN BRILLANCE SERVICEBERRY	AMELACHIER X GRANDIFLORA X 'AUTUMN BRILLANCE'
	CE	15	EASTERN REDBUD	CERCIS CANADENSIS
	CK	9	KOUSA DOGWOOD	CORNUS KOUSA
	CC	13	THORNLESS COCKSPUR HAWTHORN	CRATAEGUS CRUS GALLII 'INERMIS'
	PS	16	PINK FLAIR CHERRY	PRUNUS SARGENTII 'PINK FLAIR'
	SUBTOTAL	79		
EVERGREEN TREES				
	AC	11	CONCOLOR FIR	ABIES CONCOLOR
	PC	10	LODGEPOLE PINE	PINUS CONTORTA
	PF	16	VANDERWOLF'S PINE	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'
	JS	17	MOONGLOW JUNIPER	JUNIPERUS SCOPULORUM ' MOONGLOW'
	SUBTOTAL	54		
DECIDUOUS & EVERGREEN SHRUBS (TO INCLUDE PARKING LOT SCREENING & FOUNDATION SHRUBS)				
	CCB	57	BLUE MIST CARYOPTERIS	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'
	CSK	178	ARCTIC FIRE DOGWOOD	CORNUS STOLONIFERA 'FARROW'
	COR	58	BAILEYS REDOSIER DOGWOOD	CORNUS STOLONIFERA 'BAILEYI'
	WSW	50	SPILLED WINE WEIGELA	WEIGELA FLORIDA 'SPILLED WINE'
	FOR	21	KUMSON FORSYTHIA	FORSYTHIA VIRIDISSIMA 'KUMSON'
	HQR	74	RUBY SLIPPERS HYDRANGEA	HYDRANGEA QUERCIFOLIA 'RUBY SLIPPERS'
	PAT	34	BLUE SPIRES RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA 'BLUE SPIRES'
	GVB	135	GREEN VELVET BOXWOOD	BUXUS X 'GREEN VELVET'
	PAG	64	GNOME FIRETHORN	PYRACANTHA ANGUSTIFOLIA 'GNOME'
	RKO	50	KNOCK OUT PINK ROSE	ROSA 'KNOCK OUT PINK ROSE'
	SJG	55	'GOLDFLAME' SPIREA	SPIREA JAPONICA 'GOLDFLAME'
	SMP	35	BLOOMERANG LILAC	SYRINGA X 'BLOOMERANG'
	TXM	205	DENSE YEW	TAXUS X MEDIA 'DENSIFORMIS'
	VCA	72	DWARF KOREANSPICE VIBURNUM	VIBURNUM CARLESII 'COMPACTUM'
	SUBTOTAL	1,086		
LOW/SPREADING SHRUBS				
	JPW	40	PRINCE OF WALES JUNIPER	JUNIPERUS HORIZONTALIS 'PRINCE OF WALES'
	JST	60	NEW BLUE JUNIPER	JUNIPERUS SABINA 'TAMARISCIFOLIA NEW BLUE'
	MDP	114	SIBERIAN CYPRESS	MICROBIOTA DECUSSATA 'PRIDES'
	PBP	45	CREEPING WESTERN SAND CHERRY	PRUNUS BESSEYI 'PAWNEE BUTTES'
	SUBTOTAL	259		
ORNAMENTAL GRASSES				
	BLU	38	BLUE AVENA GRASS	HELICTOTRICHON SEMPERVIRENS
	MML	19	MORNING LIGHT MAIDEN GRASS	MISCANTHUS SINENSIS 'MORNING LIGHT'
	SHE	59	SHENANDOAH SWITCHGRASS	PANICUM VIRGATUM 'SHENANDOAH'
	FRG	53	FEATHER REED GRASS	CALAMAGROSTIS ACUTIFOLIA 'KARL FOERSTER'
	BAM	129	BLONDE AMBITION GRASS	BOUTELOUA GRACILIS
	PRD	74	PRAIRIE DROPSEED GRASS	SPOROBOLUS HETEROLEPSIS
	SUBTOTAL	372		
PERENNIALS				
C	CGE	46	EARLY SUNRISE COREOPSIS	COREOPSIS GRANDIFLORA 'EARLY SUNRISE'
H	HOS	43	PATRIOT HOSTA	HOSTA X 'PATRIOT'
D	HPM	72	PARDON ME DAYLILY	HEMEROCALLIS 'PARDON ME'
R	RFG	35	BLACK EYED SUSAN	RUDBECKIA FULGIDA 'GOLDSTRUM'
S	SAJ	51	AUTUMN JOY SEDUM	SEDUM 'AUTUMN JOY'
M	SNM	45	MAY NIGHT SALVIA	SALVIA NEMEROSA 'MAY NIGHT'
	SUBTOTAL	292		
TURF GRASSES				
	SOD	31,667 SQ. FT.	ECOLOTURF ™ SOD	VERSATILE BLUEGRASS/FESCUE SOD MIX (SEE NOTE BELOW)
	SEED	133,755 SQ. FT.	TURF SEED MIX	"50/50 KENTUCKY BLUEGRASS/PERENNIAL RYEGRASS" TURF MIX; SEE NOTE BELOW)
	SUBTOTAL:	165,422 SQ. FT.		

GROSS SITE AREA: 9.82 ACRES (427,759 SQ FT)
REQUIRED OPEN SPACE: 64,164 SQ FT — **PROVIDED OPEN SPACE: 124,126 SQ FT**
REQUIRED TREES: 128.3 TREES — **PROVIDED TREES: 128 OPEN SPACE TREES**

REFERENCE SHEET L608 FOR COMPLETE LANDSCAPE PLANT SCHEDULE, NOTES, & TABULATIONS. REFERENCE SHEETS L609 - L611 FOR LANDSCAPE DETAILS.

NOTE: A FINAL LANDSCAPE AND IRRIGATION PLAN SHALL BE SUBMITTED AND REVIEWED CONCURRENT WITH BUILDING PERMIT SUBMITTAL AND APPROVED PRIOR TO ISSUANCE OF A BUILDING PERMIT.

25' SETBACK ALONG THE R.O.W.
PER SECTION 6.2.2.g.iii OF THE EL PASO COUNTY DEVELOPMENT ORDINANCE: "USE OF BOX ALDER, SALIX, AND POPULUS LIMITED. BOX ELDER (ACER NEGUNDO) AND ALL TREES OF THE SALIX AND POPULUS GENUS, EXCEPT ASPEN (POPULUS TREMULOIDES), SHALL NOT BE PLANTED WITHIN 25 FEET OF A RIGHT-OF-WAY.

Know what's **below.** **Call** before you dig.

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NICHOLAS ALLEN SMITH 1436
10/24/2022
Original Date of Licensure
STATE OF COLORADO LICENSED LANDSCAPE ARCHITECT
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PROJECT #:	*21-06*
DRAWN BY:	*TB / PR*

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A PORTION OF THE NORTHEAST QUARTER OF SECTION 5,
TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M.
EL PASO COUNTY, COLORADO
PCD PROJECT NUMBER: PPR-22-29
LANDSCAPE PLANS

COURTYARD ENLARGEMENT

L607

PLANT SCHEDULE

SYMBOL	TAG	QTY.	COMMON NAME	BOTANIC NAME	SIZE	HEIGHT	WIDTH	HYDRO-ZONE	NOTES	%
DECIDUOUS CANOPY TREES										
	AF	15	AUTUMN BLAZE MAPLE	ACER X FREEMANII 'AUTUMN BLAZE'	2.5" CAL.	40	30	M-H	BALLED & BURLAPPED	
	AG	8	OHIO BUCKEYE	AESCULUS GLABRA	2.5" CAL.	50	45	M-H	BALLED & BURLAPPED	
	BF	12	NATIVE RIVERBIRCH	BETULA FONTINALIS	2.5" CAL.	35	30	M-H	BALLED & BURLAPPED	
	CS	16	WESTERN CATALPA	CATALPA SPECIOSA	2.5" CAL.	45	30	M-H	BALLED & BURLAPPED	
	CO	7	WESTERN HACKBERRY	CELTIS OCCIDENTALIS	2.5" CAL.	50	45	M-H	BALLED & BURLAPPED	
	GT	12	IMPERIAL HONEYLOCUST	GLEDITSIA TRICANTHOS INERMIS 'IMPERIAL'	2.5" CAL.	35	30	M-H	BALLED & BURLAPPED	
	PT	18	QUAKING ASPEN	POPULUS TREMULOIDES	2.5" CAL.	40	30	M-H	BALLED & BURLAPPED	
	QR	17	RED OAK	QUERCUS RUBRA	2.5" CAL.	45	30	M-H	BALLED & BURLAPPED	
	TA	12	REDMOND LINDEN	TILIA AMERICANA 'REDMOND'	2.5" CAL.	40	30	M-H	BALLED & BURLAPPED	
	UM	14	ACCOLADE ELM	ULMUS MORTON 'ACCOLADE'	2.5" CAL.	50	30	M-H	BALLED & BURLAPPED	
	SUBTOTAL	131								
ORNAMENTAL TREES										
	AT	11	HOT WINGS TATARIAN MAPLE	ACER TATARICUM 'GARANN'	1.5" CAL.	20	15	M	BALLED & BURLAPPED	
	AX	15	AUTUMN BRILLANCE SERVICEBERRY	AMELACHIER X GRANDIFLORA X 'AUTUMN BRILLANCE'	1.5" CAL.	20	20	M	B & B, SINGLE TRUNK	
	CE	15	EASTERN REDBUD	CERCIS CANADENSIS	1.5" CAL.	15	15	M	BALLED & BURLAPPED	
	CK	9	KOUSA DOGWOOD	CORNUS KOUSA	1.5" CAL.	20	15	M	BALLED & BURLAPPED	
	CC	13	THORNLESS COCKSPUR HAWTHORN	CRATAEGUS CRUS GALLII 'INERMIS'	1.5" CAL.	15	15	M	BALLED & BURLAPPED	
	PS	16	PINK FLAIR CHERRY	PRUNUS SARGENTII 'PINK FLAIR'	1.5" CAL.	20	15	M	BALLED & BURLAPPED	
	SUBTOTAL	79								
EVERGREEN TREES										
	AC	11	CONCOLOR FIR	ABIES CONCOLOR	8' HT.	50	20	L-M	BALLED & BURLAPPED	
	PC	10	LODGEPOLE PINE	PINUS CONTORTA	8' HT.	50	25	L-M	BALLED & BURLAPPED	
	PF	16	VANDERWOLF'S PINE	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	8' HT.	25	15	L-M	BALLED & BURLAPPED	
	JS	17	MOONGLOW JUNIPER	JUNIPERUS SCOPULORUM ' MOONGLOW'	8' HT.	18	8	L-M	BALLED & BURLAPPED	
	SUBTOTAL	54								
DECIDUOUS & EVERGREEN SHRUBS (TO INCLUDE PARKING LOT SCREENING & FOUNDATION SHRUBS)										
	CCB	57	BLUE MIST CARYOPTERIS	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'	3 GAL.	3	3	L-M	MATCHING, CONTAINER FULL	
	CSK	178	ARCTIC FIRE DOGWOOD	CORNUS STOLONIFERA 'FARROW'	5 GAL.	3	3	M	MATCHING, CONTAINER FULL	
	COR	58	BAILEYS REDOSIER DOGWOOD	CORNUS STOLONIFERA 'BAILEYI'	5 GAL.	6	6	M	MATCHING, CONTAINER FULL	
	WSW	50	SPILLED WINE WEIGELA	WEIGELA FLORIDA 'SPILLED WINE'	3 GAL.	3	3	L-M	MATCHING, CONTAINER FULL	
	FOR	21	KUMSON FORSYTHIA	FORSYTHIA VIRIDISSIMA 'KUMSON'	5 GAL.	6	6	L-M	MATCHING, CONTAINER FULL	
	HQR	74	RUBY SLIPPERS HYDRANGEA	HYDRANGEA QUERCIFOLIA 'RUBY SLIPPERS'	3 GAL.	3	4	L-M	MATCHING, CONTAINER FULL	
	PAT	34	BLUE SPIRES RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA 'BLUE SPIRES'	3 GAL.	4	4	L-M	MATCHING, CONTAINER FULL	
	GVB	135	GREEN VELVET BOXWOOD	BUXUS X 'GREEN VELVET'	5 GAL.	3	3	L-M	MATCHING, CONTAINER FULL	
	PAG	64	GNOME FIRETHORN	PYRACANTHA ANGUSTIFOLIA 'GNOME'	5 GAL.	5	5	M	MATCHING, CONTAINER FULL	
	RKO	50	KNOCK OUT PINK ROSE	ROSA 'KNOCK OUT PINK ROSE'	5 GAL.	3	3	M	MATCHING, CONTAINER FULL	
	SJG	55	'GOLDFLAME' SPIREA	SPIREA JAPONICA 'GOLDFLAME'	3 GAL.	3	3	M	MATCHING, CONTAINER FULL	
	SMP	35	BLOOMERANG LILAC	SYRINGA X 'BLOOMERANG'	5 GAL.	5	5	M	MATCHING, CONTAINER FULL	
	TXM	205	DENSE YEW	TAXUS X MEDIA 'DENSIFORMIS'	5 GAL.	4	4	M	MATCHING, CONTAINER FULL	
	VCA	72	DWARF KOREANSPICE VIBURNUM	VIBURNUM CARLESII 'COMPACTUM'	5 GAL.	4	4	M	MATCHING, CONTAINER FULL	
	SUBTOTAL	1,086								
LOW/SPREADING SHRUBS										
	JPW	40	PRINCE OF WALES JUNIPER	JUNIPERUS HORIZONTALIS 'PRINCE OF WALES'	3 GAL.	1	8	L-M	MATCHING, CONTAINER FULL	
	JST	60	NEW BLUE JUNIPER	JUNIPERUS SABINA 'TAMARISCIFOLIA NEW BLUE'	3 GAL.	3	7	L-M	MATCHING, CONTAINER FULL	
	MDP	114	SIBERIAN CYPRESS	MICROBIOTA DECUSSATA 'PRIDES'	3 GAL.	2	5	L-M	MATCHING, CONTAINER FULL	
	PBP	45	CREEPING WESTERN SAND CHERRY	PRUNUS BESSEYI 'PAWNEE BUTTES'	3 GAL.	2	5	L-M	MATCHING, CONTAINER FULL	
	SUBTOTAL	259								
ORNAMENTAL GRASSES										
	BLU	38	BLUE AVENA GRASS	HELICTOTRICHON SEMPERVIRENS	1 GAL.	4	3	L-M	MATCHING	
	MML	19	MORNING LIGHT MAIDEN GRASS	MISCANTHUS SINENSIS 'MORNING LIGHT'	1 GAL.	4	3	L-M	MATCHING	
	SHE	59	SHENANDOAH SWITCHGRASS	PANICUM VIRGATUM 'SHENANDOAH'	1 GAL.	3	3	L-M	MATCHING	
	FRG	53	FEATHER REED GRASS	CALAMAGROSTIS ACUTIFOLIA 'KARL FOERSTER'	1 GAL.	4	3	L-M	MATCHING	
	BAM	129	BLONDE AMBITION GRASS	BOUTELOUA GRACILIS	1 GAL.	2	2	L-M	MATCHING	
	PRD	74	PRAIRIE DROPSEED GRASS	SPOROBOLUS HETEROLEPSIS	1 GAL.	3	3	L-M	MATCHING	
	SUBTOTAL	372								
PERENNIALS										
	CGE	46	EARLY SUNRISE COREOPSIS	COREOPSIS GRANDIFLORA 'EARLY SUNRISE'	4 IN. POTS.	1.5	2	L-M	18" O.C., CONTAINER FULL	
	HOS	43	PATRIOT HOSTA	HOSTA X 'PATRIOT'	4 IN. POTS.	2	2.5	L-M	24" O.C., CONTAINER FULL	
	HPM	72	PARDON ME DAYLILY	HEMEROCALLIS 'PARDON ME'	4 IN. POTS.	1.5	1.5	M	18" O.C., CONTAINER FULL	
	RFG	35	BLACK EYED SUSAN	RUDBECKIA FULGIDA 'GOLDSTRUM'	4 IN. POTS.	2	2	L	18" O.C., CONTAINER FULL	
	SAJ	51	AUTUMN JOY SEDUM	SEDUM 'AUTUMN JOY'	4 IN. POTS.	2	1.5	L	18" O.C., CONTAINER FULL	
	SNM	45	MAY NIGHT SALVIA	SALVIA NEMEROSA 'MAY NIGHT'	4 IN. POTS.	2	2	L	18" O.C., CONTAINER FULL	
	SUBTOTAL	292								
TURF GRASSES										
	SOD	31,667 SQ. FT.	ECOLOTURF ™ SOD	VERSATILE BLUEGRASS/FESCUE SOD MIX (SEE NOTE BELOW)	SOD	N/A	N/A	M	SOLID SOD	
	SEED	133,755 SQ. FT.	TURF SEED MIX	"50/50 KENTUCKY BLUEGRASS/PERENNIAL RYEGRASS" TURF MIX; SEE NOTE BELOW)	SEED	N/A	N/A	M	SEED @ 200 PLS/ACRE	
	SUBTOTAL: 165,422 SQ. FT.									

MULCHING NOTE: ALL SHRUB, PERENNIAL AND ORNAMENTAL GRASS PLANTING BEDS SHALL INCLUDE 2" DEPTH HARDWOOD MULCH
TOTAL BED AREA: 28,137 SQ. FT. X 2" MIN. DEPTH = 175 CUBIC YARDS

SOD NOTE: ECOLOTURF ™ IS A MIX OF FINE FESCUE AND KENTUCKY BLUEGRASS.
SUPPLIER INFO: GREENLAWN SOD COMPANY / 970.482.6574 / WWW.GREENLAWNSOD.COM

SEEDING NOTE: "50/50" MIX SEED COMPOSITION:
- **50% KENTUCKY BLUEGRASS HYBRID (POA PRATENSIS)**
- **50% PERENNIAL RYEGRASS HYBRID (LOLIUM PERENNE)**
  SUPPLIER INFO: DEER CREEK SEED / 877.247.3736 / WWW.DEERCREEKSEED.COM

BULK STONE

	13	BOULDERS: TO BE STOCKPILED DURING CONSTRUCTION AND RE-USED ON-SITE WITHIN LANDSCAPE	8"-12" TALL BOULDERS SIZED AT 12"-16" WIDTH x 18"-24" LENGTH	IF NO BOULDERS ARE AVAILABLE ON-SITE, USE MANITOU PINK BOULDERS FROM C&C SAND AND STONE CO. (OR SIMILAR)
	456 SQ FT (16 TONS)	LARGE DECORATIVE ROCK (ROUNDABOUT) (SEE SHEETS L101-L106)	9"-30" ROYAL GRANITE 'H' RIP RAP - COLOR: RED	(OR APPROVED EQUAL; CONTRACTOR TO VERIFY QUANTITIES) AS SUPPLIED BY C&C SAND & STONE | DENVER, CO
	1,353 SQ FT (18 TONS)	DECORATIVE STONE (ROUNDABOUT) (SEE SHEETS L101-L106)	1-1/2" GOLDEN SUNSET GRAVEL COLOR: BEIGE	(OR APPROVED EQUAL; CONTRACTOR TO VERIFY QUANTITIES) AS SUPPLIED BY C&C SAND & STONE | DENVER, CO

LANDSCAPE TABULATIONS:

ROADWAY LANDSCAPE REQUIREMENTS:

ROADWAY SHALL BE LANDSCAPED BY CLASSIFICATION PER TABLE 6-1:

1.	EXPRESSWAY/PRINCIPAL ARTERIAL:	25' DEPTH + 1 TREE / 20 LF
2.	URBAN INTERCHANGE:	25' DEPTH (TREE N/A)
3.	MINOR ARTERIAL:	20' DEPTH + 1 TREE / 25 LF
4.	NON-ARTERIAL:	10' DEPTH + 1 TREE / 30 LF

- TREES MAY BE CLUSTERED ALONG A ROAD FRONTAGE
- WALLS/FENCES MORE THAN 25% OPAQUE SHALL NOT EXCEED 3' IN HEIGHT

CONSTITUTION AVENUE: PRIMARY ARTERIAL (1,133 LN FT)
REQUIRED: 25' DEPTH + 57 TREES (15 PROVIDED)**

NORTH MARKSHEFFEL ROAD: PRIMARY ARTERIAL (413 LN FT)
REQUIRED: 25' DEPTH + 21 TREES (17 PROVIDED)**

AKERS ROAD: NON-ARTERIAL (426 LN FT)
REQUIRED: 10' DEPTH + 28 TREES (28 PROVIDED)**

NOTE: DUE TO CLOSE PROXIMITY TO EASEMENTS AND UNDERGROUND UTILITIES, PLANTINGS HAVE BEEN LOCATED IN CLOSE PROXIMITY TO REQUIRED AREAS.

PARKING LOT LANDSCAPE REQUIREMENTS:

1 TREE SHALL BE PROVIDED PER EVERY 15 PARKING SPACES IN LOTS WITH MORE THAN 15 SPACES PROVIDED

TREES MAY BE CLUSTERED IN A MANNER WHICH WILL DIVIDE AND BREAK UP EXPANSES OF PAVING AND LONG ROWS OF PARKING.

PARKING LOT ISLANDS:
- SHALL BE PROVIDED IN LOTS EXCEEDING 25 SPACES
- 1 ISLAND SHALL BE PROVIDED PER 15 SPACES

TOTAL PARKING SPACES: 376
REQUIRED: 25 ISLANDS + 25 TREES (36 TREES PROVIDED)
** THE 11 EXTRA TREES ARE COUNTED AS "OPEN SPACE TREES" (NOTED BELOW)

PARKING LOT SCREENING:
- SHALL BE SCREENED FROM ROADS AND PROPERTIES WITH DIFFERING LAND USES
- A MINIMUM OF 2/3 OF PARKING FRONTAGE SHALL BE PROVIDED WITH REQUIRED SCREENING (MIN. 36" HEIGHT)

BUFFER BETWEEN MULTI-FAMILY RESIDENTIAL USES

REQUIRED BETWEEN MULTIFAMILY USE AND A SINGLE-FAMILY DISTRICT.
- REQUIRED BUFFER SHALL BE 15' DEEP AND INCLUDE 1 TREE PER 25' OF SHARED BOUNDARY
- A MIN. OF 1/3 OF THE TREES SHALL BE EVERGREEN
- AN OPAQUE FENCE OR WALL WITH A MIN. HEIGHT OF 6' FT IS REQUIRED EXCEPT WHERE THE ADJACENT DISTRICT ABUTS A REQUIRED ROADWAY LANDSCAPING AREA.

PUD: SINGLE FAMILY DEVELOPMENT (71 LN FT - SOUTHWEST)
- 15' BUFFER + 3 TREES

INTERNAL LANDSCAPE AREA

- A MINIMUM OF 15% OF THE LOT OR PARCEL SHALL BE LANDSCAPED.
- A MIN. OF 1 TREE SHALL BE PROVIDED FOR EVERY 500 SQ FT OF INTERNAL LANDSCAPE AREA.

PLANTINGS SHALL BE LOCATED ADJACENT TO BUILDING ELEVATIONS ALONG MAJOR PUBLIC VIEWING AREAS, AT ALL PEDESTRIAN ENTRIES, AND WITHIN PLAZAS OR COURTYARDS.

AREA CALCULATION: THE ENTIRE LOT SHALL BE USED TO CALCULATE REQUIRED INTERNAL LANDSCAPE AREAS. PAVED AREAS SUCH AS SIDEWALKS SHALL NOT COUNT TOWARD MEETING THE INTERNAL LANDSCAPE AREA REQUIREMENT.

TOTAL PARCEL SIZE: 427,759 SQ FT (9.82 ACRES)
INTERNAL LANDSCAPE AREA REQUIRED: 64,163 SQ FT (1.47 ACRES)
PROVIDED: 128 ADDITIONAL TREES PROVIDED
(48 SHADE TREES + 47 ORNAMENTALS + 33 EVERGREENS = 128)
11 EXTRA PARKING ISLAND TREES ARE INCLUDED IN THIS TOTAL QUANTITY

MINIMUM PLANT SIZING:

- DECIDUOUS SHADE TREES SHALL BE 1-1/2" CALIPER MIN.
- DECIDUOUS ORNAMENTAL TREES SHALL BE 1" CALIPER MIN.
- EVERGREEN TREES SHALL BE 6' IN HEIGHT B&B (PINION PINE AND JUNIPERS TO BE A MINIMUM OF 4' HT)
- EVERGREEN AND DECIDUOUS SHRUBS TO BE 5 GALLON MIN.

ZONING DISTRICT BOUNDARY TREES

A MINIMUM OF 1 TREE SHALL BE PROVIDED FOR EVERY 30 FT OF LOT LINE COINCIDENT WITH A CHANGE IN ZONING DISTRICT WHERE NO OTHER REQUIRED BUFFERS ARE PRESENT.

WEST (364 LN FT - PUD: UNDEVELOPED): 12 TREES REQUIRED

SOUTH (965 LN FT - M: INDUSTRIAL): 32 TREES REQUIRED
** TREES & CALCULATIONS HAVE BEEN EXCLUDED ALONG THE EXISTING DETENTION BASIN AS NO NEW DEVELOPMENT IS OCCURING WITHIN THIS AREA.*

REFUSE AREAS TO BE SCREENED

REFUSE COLLECTION AREAS, INCLUDING TRASH BINS, SHALL BE SCREENED FROM VIEW FROM ADJACENT PROPERTIES AND ROADS BY AN OPAQUE WALL OR FENCE, ARCHITECTURAL ELEMENTS, DENSE EVERGREEN PLANTINGS, OR BERMS WITH DENSE PLANTINGS CREATING AN OPAQUE APPEARANCE WITH A MIN. HEIGHT OF 6 FT.

SITE DATA TABLE

ZONING: CS - PLANNED UNIT DEVELOPMENT
LAND USE (PER 2015 IBC OCCUPANCY CLASSIFICATIONS): MU-R, MULTIFAMILY DWELLING

SITE DATA	TOTAL/ ACTUAL SF	% OF SITE
GROSS SITE AREA: 9.82 ACRES	427,759 SF	100%
TOTAL LANDSCAPED AREA: (EXCLUDES R.O.W. AND AKERS DRIVE IMPROVEMENTS)	124,146 SF (2.85 ACRES)	29.0%

PLANTING NOTES:

1. ALL QUANTITIES LISTED IN THE DRAWINGS ARE FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL QUANTITIES AND TO PROVIDE ALL MATERIALS NECESSARY FOR FULL COVERAGE IN ALL PLANTING AREAS AS SPECIFIED ON THE DRAWINGS. ANY DISCREPANCY SHOULD BE REPORTED TO THE OWNER'S AUTHORIZED REPRESENTATIVE (O.A.R.) OR LANDSCAPE ARCHITECT PRIOR BIDDING.
2. THIS PLAN IS FOR PLANTING LOCATIONS ONLY AND ALL PLANT MATERIAL SHALL BE SPACED AND LOCATED PER PLAN. HOWEVER, CONTRACTOR SHALL SLIGHTLY ADJUST PLANT LOCATIONS IN THE FIELD AS NECESSARY TO BE CLEAR OF DRAINAGE SWALES AND UTILITIES. IF FOUND CONDITIONS VARY FROM THIS PLAN, CONTRACTOR TO CONTACT O.A.R. OR LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO DO SO WILL RESULT IN CONTRACTOR'S LIABILITY TO RELOCATE AND/OR REPLACE PLANT MATERIALS.
3. ALL PLANTS SHOULD BE IN ACCORDANCE WITH ANSI Z60.1 -2014, AMERICAN STANDARD FOR NURSERY STOCK PUBLICATION, APPROVED APRIL 14, 2014.
4. CALIPER SIZE OF CANOPY TREES ARE TO BE MEASURED PER EL PASO COUNTY CODE.
5. ALL PLANT MATERIAL SHALL CONFORM TO THE SIZE SPECIFICATIONS (CALIPER, HEIGHT AND SPREAD) GIVEN IN THE PLANT SCHEDULE AND SHALL BE NURSERY GROWN UNLESS SPECIFIED OTHERWISE. FAILURE TO MEET MINIMUM SIZE ON ANY PLANT WILL RESULT IN REJECTION OF THAT PLANT.
6. ANY PLANT SUBSTITUTION SHALL BE APPROVED BY O.A.R. AND/OR LANDSCAPE ARCHITECT PRIOR TO PURCHASE. SUBSTITUTIONS OF PLANT MATERIAL ARE TO BE REQUESTED IN WRITING TO THE LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER'S AUTHORIZED AGENT PRIOR TO PURCHASE AND INSTALLATION. FAILURE TO OBTAIN SUBSTITUTION APPROVAL IN WRITING MAY RESULT IN LIABILITY TO THE CONTRACTOR
7. SIZES LISTED ARE MIN. AND REFER TO HEIGHT, UNLESS OTHERWISE SPECIFIED.
8. LANDSCAPE CONTRACTOR SHALL STAKE OUT LOCATIONS OF ALL TREES TO BE PLANTED FOR REVIEW BY OWNER'S AUTHORIZED REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT PRIOR TO INSTALLING. O.A.R. AND/OR LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST TREE LOCATIONS IN THE FIELD AS NECESSARY.
9. SHRUB/GROUNDCOVER BEDS SHALL BE STAKED FOR REVIEW BY O.A.R. AND/OR LANDSCAPE ARCHITECT PRIOR TO EXCAVATION AND OR BED PREPARATION.
10. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES. PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
11. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE O.A.R. AND/OR LANDSCAPE ARCHITECT OF ANY CONDITION FOUND ON THE SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THE DRAWINGS.
12. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.
13. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION AND MUST BE REPLACED WITH PLANT OF SAME VARIETY AND SIZE IF DAMAGED, DESTROYED, DEAD AND /OR REMOVED.
14. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING AND REMOVAL OF DEBRIS PRIOR TO PLANTING IN ALL AREAS.
15. FINAL FINISHED GRADING SHALL BE REVIEWED BY O.A.R. AND/OR LANDSCAPE ARCHITECT. CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL TOPSOIL REQUIRED TO CREATE A SMOOTH CONDITION SUITABLE FOR PLANTING.
16. TREES OVERHANGING INTO THE PUBLIC R.O.W. SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF FOURTEEN(14) FEET OVER STREETS, DRIVE AISLES, ALLEYS AND FIRE LANES. TREES OVERHANGING PRIVATE STREETS, WALKS, AND /OR PARKING LOTS SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF SEVEN (7) FEET.
17. LANDSCAPE CONTRACTOR IS REQUIRED TO PERFORM A TREE PIT PERCOLATION TEST FOR EACH TREE PIT PRIOR TO INSTALLATION. IF TREE PIT DOES NOT DRAIN WITHIN A 24-HOUR PERIOD, THE CONTRACTOR WILL BE REQUIRED TO PROVIDE A GRAVEL SUMP, FILTER FABRIC AND STAND PIPE. ALL TREE PIT SUMPS SHALL BE INCLUDED IN IN THE CONTRACTOR'S BASE BID AS A UNIT PRICE AND PROVIDE AS A DEDUCT ALTERNATE PER TREE PIT SUMPS NOT REQUIRED TO BE INSTALLED.
18. LANDSCAPE CONTRACTOR IS RESPONSIBLE TO REVIEW SITE ENVIRONMENTAL CONDITIONS PRIOR TO AND DURING INSTALLATION OF PLANT MATERIAL. ANY DISCREPANCIES OR CONCERNS BETWEEN THE ENVIRONMENTAL SITE CONDITIONS (I.E., SOIL TYPE, WATER, CLIMATE, WIND, SUN EXPOSURE ETC.) AND THE PLANT MATERIAL SPECIFIED WITHIN THE DRAWING SHALL BE BROUGHT TO THE ATTENTION OF O.A.R. AND/OR LANDSCAPE ARCHITECT, AND SHALL BE DONE SO IN WRITING. CONTRACTOR SHALL PROVIDE SUGGESTED SOLUTIONS FOR ALTERNATIVE PLANT MATERIAL PROPOSED FOR SUBSTITUTION. THE GARRETT COMPANIES TO REVIEW CONDITIONS AND INFORMATION SUBMITTED BY CONTRACTOR AND WILL ISSUE DIRECTIVE. SHOULD PLANT MATERIAL DIE BECAUSE OF ENVIRONMENTAL CONDITIONS DESCRIBED ABOVE, THE LANDSCAPE CONTRACTOR ASSUMES ALL WARRANTY AND GUARANTEE OF THE PLANT MATERIAL INSTALLED.
19. ALL NEW PLANTING AREAS SHALL HAVE A SOIL COMPOSITION CONSISTENT WITH SANDY LOAM TO LOAM SOIL PROPERTIES AND ACIDITY RANGE OF PH 5.5 TO 7.0. CONTRACTOR TO PROVIDE A SOIL TEST OF THE EXISTING SOIL AND EITHER FULLY REPLACE OR AMEND THE EXISTING SOIL TO ACHIEVE THE SANDY LOAM TO LOAM SOIL PROPERTIES. CONTRACTOR TO SUBMIT SOIL TEST RESULTS TO O.A.R. AND/OR LANDSCAPE ARCHITECT FOR REVIEW. CONTRACTOR SHALL PROVIDE A SOIL AMENDMENT PLAN TO ACHIEVE THE SOIL COMPOSITION DESCRIBED ABOVE.
20. SOIL AMENDMENTS SHALL BE SELECTED FROM THE SOIL AMENDMENTS PROVIDED IN THE PLANTING DETAILS.
21. AMENDED SOIL SHALL HAVE UNIFORM COMPOSITION THROUGHOUT, WITH A MIXTURE OF EXISTING SUBSOIL. IT SHALL BE FREE OF STONES, LUMPS, LIVE PLANTS AND THEIR ROOTS, STICKS, AND OTHER EXTRANEOUS MATTER. IT SHALL CONTAIN NO MAN-MADE MATERIALS UNLESS OTHERWISE SPECIFIED. AMENDED SOIL SHALL NOT BE USED WHILE IN A FROZEN OR MUDDY CONDITION.
22. ALL NEW PLANTING AREAS, AMENDED SOILS SHALL BE TO A DEPTH OF 12"-18" FOR SHRUB AND GROUNDCOVER ZONES AND 24"-36" FOR TREE PITS.
23. AFTER PLANTING SOIL MIXES ARE INSTALLED IN PLANTING BED AREAS AND JUST PRIOR TO THE INSTALLATION OF SHRUB OR GROUNDCOVER PLANTINGS, SPREAD 3-4 INCHES OF COMPOST OVER THE BEDS AND ROTO TILL INTO THE TOP 8 INCHES OF THE PLANTING SOIL. THIS WILL RAISE GRADES SLIGHTLY ABOVE THE FINISHED GRADES, IN ANTICIPATION GRADES WILL SETTLE WITHIN A FEW MONTHS AFTER INSTALLATION AS COMPOST BREAKS DOWN.
24. IN ALL EXISTING PLANTING AREAS DESIGNATED TO RECEIVE NEW PLANTINGS, SPREAD 3-4 INCHES OF COMPOST OVER THE BEDS AND ROTO TILL INTO THE TOP 8 INCHES OF THE PLANTING SOIL. THIS WILL RAISE THE GRADES SLIGHTLY ABOVE THE FINISHED GRADES, IN ANTICIPATION GRADES WILL SETTLE WITHIN A FEW MONTHS AFTER INSTALLATION AS COMPOST BREAKS DOWN. IN NO CASE WILL THIS BE PERFORMED WHERE IT MAY NEGATIVELY IMPACT THE HEALTH OF ADJACENT, EXISTING PLANT MATERIALS WHICH ARE DESIGNATED TO REMAIN.
25. LANDSCAPE CONTRACTOR TO WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR. THE CONTRACTOR AGREES TO REPLACE DEFECTIVE WORK AND DEFECTIVE PLANTS, AND THAT THE OWNER'S REPRESENTATIVE SHALL MAKE THE FINAL DETERMINATION IF PLANTS MEET THE REQUIRED SPECIFICATIONS OR THAT PLANTS ARE DEFECTIVE. PLANTS DETERMINED TO BE DEFECTIVE SHALL BE REMOVED IMMEDIATELY UPON NOTIFICATION BY THE OWNER'S REPRESENTATIVE AND REPLACED WITHOUT COST TO THE OWNER, AS SOON AS WEATHER CONDITIONS PERMIT AND WITHIN THE SPECIFIED PLANTING PERIOD. THE REPLACED MATERIALS SHALL ALSO RECEIVE A WARRANTY PERIOD OF ONE YEAR WHICH STARTS AT THE DATE OF INSTALLATION. BULBS, ANNUAL FLOWERS, AND SEASONAL COLOR PLANTS SHALL ONLY BE WARRANTED FOR THE PERIOD OF THE EXPECTED BLOOM OR PRIMARY DISPLAY.

IRRIGATION NOTES:

1. A FULLY AUTOMATED IRRIGATION SYSTEM PROVIDING 100% COVERAGE SHALL BE PROVIDED FOR ALL PLANTING AREAS, UNLESS NOTED OTHERWISE. SYSTEM SHALL BE IN OPERATION PRIOR TO INSTALLATION OF ANY PLANT MATERIAL OTHER THAN CANOPY TREES.
2. ALL PLANTING BEDS/ SHRUB AND GROUNDCOVER AREAS TO BE IRRIGATED WITH EITHER 12" SPRAY POP-UPS AND/OR A LANDSCAPE DRIP-LINE SYSTEM,
   UNLESS NOTED OTHERWISE.
3. ALL PLANTER POTS AND RAISED PLANTERS TO BE IRRIGATED WITH MICRO SPRAY SPRINKLER HEADS.
4. CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS OF IRRIGATION SYSTEM AFTER INSTALLATION.

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LANDSCAPE ARCHITECTURE
317-886-7923
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GREENWOOD, IN 46143
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NICHOLAS ALLEN SMITH 1436
10/24/2022
Original Date of Licensure
STATE OF COLORADO LICENSED LANDSCAPE ARCHITECT
10/24/2022

NOT FOR CONSTRUCTION

PROJECT #:	*21-06*
DRAWN BY:	*TB / PR*

PERMIT SUBMITTAL	03.25.2022
SITE DEVELOPMENT PLAN	05.23.2022
COUNTY COMMENTS	08.19.2022
BID SET	09.12.2022

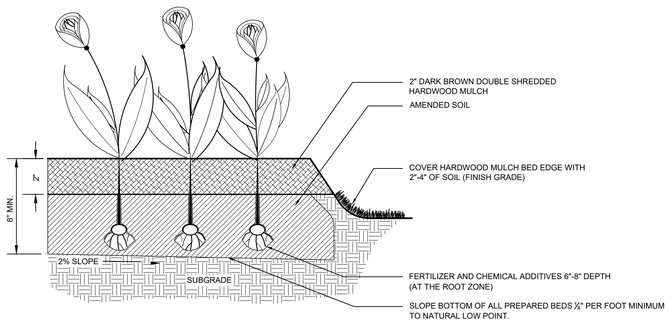
REVISION SCHEDULE

#	DATE	DESCRIPTION
2	09.26.2022	ADDENDUM
3	12.07.2022	CITY COMMENTS

THE CITIZEN ON CONSTITUTION
OVERALL SITE
A PORTION OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M.
EL PASO COUNTY, COLORADO
PCD PROJECT NUMBER: PPR-22-29
LANDSCAPE PLANS

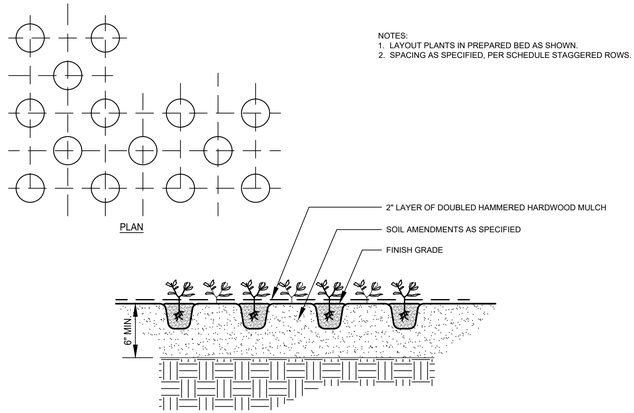
NOTES AND TABULATIONS

L608



1 L609 PLANTING BED FOR PERENNIALS

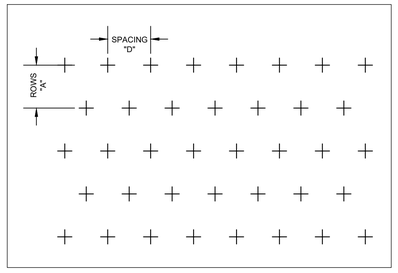
SECTION — NTS



NOTES:
1. LAYOUT PLANTS IN PREPARED BED AS SHOWN.
2. SPACING AS SPECIFIED, PER SCHEDULE STAGGERED ROWS.

2 L609 GROUND COVER PLANTING

PLAN AND SECTION — NTS



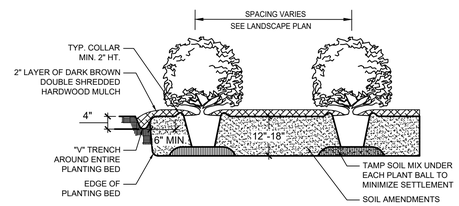
PLANT SPACING CHART

SPACING "D"	ROW "A"	PLANTS / S.F.
6" O.C.	5 3/16" O.C.	4.61
8" O.C.	6 15/16" O.C.	2.60
10" O.C.	8 2/3" O.C.	1.66
12" O.C.	10 3/8" O.C.	1.15
15" O.C.	13" O.C.	0.73
18" O.C.	15 9/16" O.C.	0.51
24" O.C.	20 13/16" O.C.	0.29

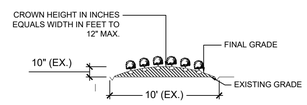
3 L609 TRIANGULAR SPACING FOR SHRUBS & GROUND COVERS

PLAN — NTS

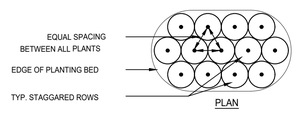
NOTES:
1. SCARIFY ROOT MASS OF CONTAINERIZED PLANT MATERIAL.
2. INSTALL CONTAINERIZED PLANTS AT FINISHED GRADE.
3. TAMP PLANTING MIX FIRMLY AS PIT IS FILLED AROUND EACH PLANT BALL.
4. OMIT COLLAR AROUND EACH SHRUB WHEN IRRIGATION SYSTEM IS PRESENT.
5. SOAK EACH PLANT BALL AND PIT IMMEDIATELY AFTER INSTALLATION.



TYPICAL PLANTING BED DETAIL



TYPICAL BED CROWNING



4 L609 SHRUB PLANTING BED

PLAN AND SECTION — NTS

MATERIALS

A. TOPSOIL
1. TOPSOIL SHALL HAVE A PH VALUE FROM 5.6 - 7.6 AND SHALL BE NATURAL FERTILE, (AGRICULTURAL SOIL, BROWN IN COLOR) UNIFORM FRIABLE LOAM WITHOUT ADMIXTURE OF SUBSOIL CONTAINING ORGANIC MATTER OF 5 PERCENT OR GREATER AND SHALL BE CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH.
2. ALL TOPSOIL SHALL PASS A 1 INCH SCREEN AND 40 PERCENT SHALL PASS THE 100 MESH SCREEN. IT SHALL BE FREE OF ANY ADD-MIXTURE OF SUBSOIL, AND CONTAIN NO STONES, LUMPS, CLODS OF HARD EARTH, SLAG, CIDERS, STICKS, PLANTS OR THEIR ROOTS, TRASH OR OTHER EXTRANEOUS MATERIALS.
3. TOPSPSOIL MUST ALSO BE FREE OF PLANT PARTS OF BERMUDA GRASS, QUACKGRASS, JOHNSONGRASS, NUTSEDGE, POISON IVY, CANADA THISTLE, OR ANY NOXIOUS WEEDS AND SHALL NOT BE CONTAMINATED WITH ANY SUBSTANCE KNOWN HARMFUL TO THE GROWTH OF PLANTS OR HUMANS.
4. TOPSOIL SHALL NOT BE USED FOR PLANTING OPERATIONS WHILE IN A FROZEN OR MUDDY CONDITION.
5. TOPSOIL SOURCES SHALL BE TESTED BY A RECOGNIZED LABORATORY AT THE EXPENSE OF THE CONTRACTOR FOR PH, SOIL TEXTURE AND SOLUBLE SALTS. SALINITY SHALL NOT EXCEED 3 MILS PER CENTIMETER AT 25 DEGREES C AS DETERMINED BY SATURATED SOIL PASTE METHOD AS DESCRIBED IN USDA CIRCULAR #982. TEST RESULTS MUST BE PRESENTED IN WRITING TO THE LANDSCAPE ARCHITECT OR OWNER PRIOR TO PLACEMENT OF TOPSOIL ON SITE.
6. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR CONTROL OF NOXIOUS OR INVASIVE SPECIES INTRODUCED BY CONTAMINATED TOPSOIL.
7. TOPSOIL THAT HAS BEEN STOCKPILED FOR A LONG PERIODS SHALL BE INOCULATED TO REESTABLISH ITS MICROBIAL ACTIVITY.

B. MULCH
SHALL BE FREE OF DEBRIS AND WOOD CHIPS. IT SHALL CONSIST OF AGED DOUBLE-SHREDDED HARDWOOD, FREE OF EXCESS TANNIC ACID OR OTHER MULCH AS SPECIFIED ON THE PLANS. A SAMPLE OF MULCH SHALL BE PROVIDED FOR THE GROUNDS SUPERINTENDENT'S APPROVAL PRIOR TO DELIVERING THE MULCH. THE OWNER'S AUTHORIZED AGENT AND/OR LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY MULCH WHICH IS CONSIDERED TO BE UNSUITABLE. ALL MULCHES SHALL BE FREE OF ANY FOREIGN MATERIALS, PIECES LARGER THAN 3 INCHES, AND/OR GREEN WOOD.

C. DOLOMITE LIME
SHALL BE FINELY GROUND OR PULVERIZED RAW, COMMERCIAL GRADE LIMESTONE MEETING ASTM C51 AND CONTAINING NOT LESS THAN 85 PERCENT TOTAL OF CALCIUM MAGNESIUM CARBONATE, FREE OF IMPURITIES, ALL OF WHICH SHALL PASS THROUGH A NUMBER 10 SIEVE AND ATLEAST 50 PERCENT SHALL PASS THROUGH A NUMBER 100 SIEVE.

D. SAND
SHALL BE CLEAN, WASHED, COARSE, MASONRY SAND, RIVER SAND, OR NUMBER 2 BUILDERS SAND MEETING ASTM C 33. A QUART SAMPLE OF THE PROPOSED SAND SHALL BE SUBMITTED FOR THE OWNER'S APPROVAL

E. SULFUR
SULFUR SHALL BE A COMMERCIALLY PRODUCED, GRANULAR PRODUCT OF PURE SULFUR

F. GYPSUM
GYPSUM SHALL BE GROUND TO THE SIZE SPECIFIED ON THE PLANS

G. TRACE ELEMENTS
SHALL BE ADDED AS REQUIRED BY SOILS TEST .

H. LEAF MOLD SHALL BE COMPOSTED LEAF MATERIAL, FREE OF NOXIOUS WEEDS AND DETRIMENTAL INSECTS.

I. COMMERCIAL FERTILIZER
TO MEET FED. SPECIFICATION O-F-241 TYPE 1 GRADE NOTED, LEVEL B. THE FERTILIZER SHALL BE GRANULAR UNLESS PACKETS, TABLETS, OR STAKES TO BE USED WITH MINIMUM OF 50 PERCENT OF TOTAL NITROGEN IN ORGANIC FORM WITH NO CYANAMID COMPOUNDS OR HYDRATED LIME MIXES TO BE ADDED OR FOUND IN THE FERTILIZER.

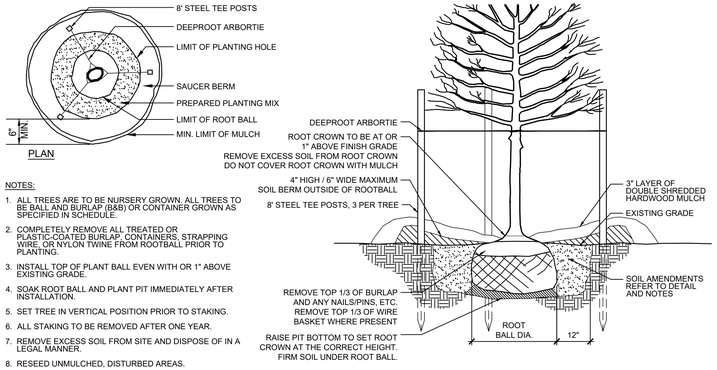
J. OTHER ACCEPTABLE FERTILIZER FORMS:
1. FOR TREES
   ANUTRI-PAK
   JRP INTN=L. INC.
   17 FOREST AVENUE
   FOND DU LAC, WISCONSIN 54935
2. AJOBES, PLANT SPIKES - FOR TREES AND SHRUBS.
3. ALAWN PRO OR SIMILAR APPROVED SLOW RELEASE FERTILIZER FOR LAWNS WITH THE FOLLOWING RATIO:
   3 NITROGEN
   1 PHOSPHORIC ACID
   2 POTASH
4. AHOLLY-TONE OR SIMILAR APPROVED WITH CHELATED IRON FOR EVERGREEN PLANTS.

K. PEAT
1. SHALL CONFORM TO FEDERAL SPECIFICATION Q-P-166C, PEAT MOSS; PEAT HUMUS; AND PEAT, REED-SEDGE.
2. SHALL BE LOW IN WOODY MATERIAL AND FREE OF MINERAL OR OTHER MATERIAL HARMFUL TO PLANT LIFE.
3. THE MIN. ORGANIC CONTENT TO BE APPROX. 90% WITH ACID REACTION FROM 4-5 PH, AND MOISTURE ABSORPTIVE CAPACITY NOT LESS THAN 450 PERCENT.
4. HUMUS TO BE SHREDDED, DRIED AND STERILIZED TO PASS 1/4 INCH SCREEN.
5. MOSS SHALL BE PULVERIZED AND HORTICULTURAL GRADE SPHAGNUM MOSS FREE OF EXTRANEOUS OR HARMFUL MATERIAL.
6. TO BE FINELY MILLED BLACK MICHIGAN PEAT OR OTHER SIMILAR APPROVED.

L. MANURE
1. SHALL BE WELL-ROTTED HORSE OR COW (OR COMBINATION THEREOF) MANURE. NOT TO CONTAIN OVER 25% STRAW OR LITTER. IT SHALL BE FREE OF FRESH MANURE, SAWDUST, WOOD CHIPS, LEATHER CHIPS, TAN BARK, LONG STRAW, SOFT HAY, STONES, FOREIGN INJURIOUS SUBSTANCES OR CHEMICALS USED TO HASTEN DECOMPOSITION.
2. TO BE TWO YEARS OLD MAXIMUM, NINE MONTHS MINIMUM WITH MINIMUM OF THREE TURNINGS WITHIN THIS TIME PERIOD.
3. NO BURNED OR FIRE-FANGED MANURE WILL BE ACCEPTABLE.

M. SOIL AMENDMENTS
DIATOMACEOUS EARTH SOIL AMENDMENT CONSISTING OF SILICA, ALUMINA, IRON OXIDE AND SHALL HAVE 0.1 TO 1 MICRON PORE SIZE, WITH A MINIMUM OF 113 PERCENT WATER ABSORPTION, MAXIMUM 19 PERCENT LOSS SULPHATE SOUNDNESS, 80 PERCENT TOTAL POROSITY. A TOTAL OF 54 PERCENT TO PASS 10 MESH SCREEN, 98 PERCENT TO PASS 80 MESH SCREEN.

5 L609 SOIL AMENDMENTS



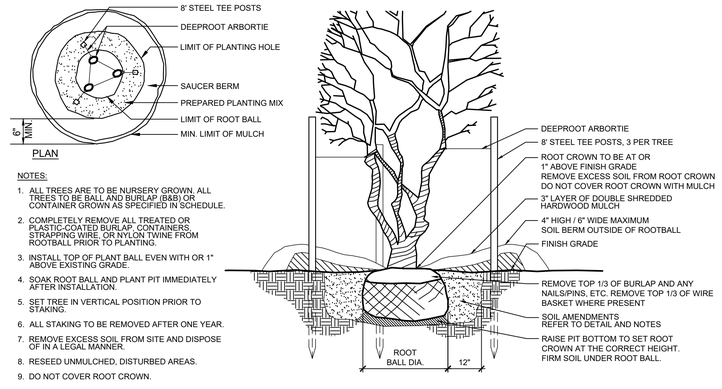
NOTES:
1. ALL TREES ARE TO BE NURSERY GROWN. ALL TREES TO BE BALL AND BURLAP (B&B) OR CONTAINER GROWN AS SPECIFIED IN SCHEDULE.
2. COMPLETELY REMOVE ALL TREATED OR PLASTIC-COATED BURLAP, CONTAINERS, STRAPPING WIRE, OR NYLON TWINE FROM ROOTBALL PRIOR TO PLANTING.
3. INSTALL TOP OF PLANT BALL EVEN WITH OR 1" ABOVE EXISTING GRADE.
4. SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
5. SET TREE IN VERTICAL POSITION PRIOR TO STAKING.
6. ALL STAKING TO BE REMOVED AFTER ONE YEAR.
7. REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF IN A LEGAL MANNER.
8. RESEED UNMULCHED, DISTURBED AREAS.
9. DO NOT COVER ROOT CROWN.

ALL TREES SHALL MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004)

FOR EXAMPLE:	CALIPER	HEIGHT (RANGE)	MAX. HEIGHT	MIN. ROOT BALL DIA.	MIN. ROOT BALL DEPTH
	2"	12'-14'	16'	24"	16"
	3"	14-16'	18'	32"	21"

6 L609 TREE PLANTING

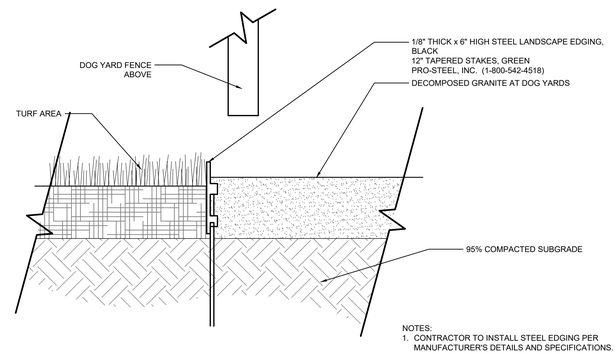
SECTION — NTS



NOTES:
1. ALL TREES ARE TO BE NURSERY GROWN. ALL TREES TO BE BALL AND BURLAP (B&B) OR CONTAINER GROWN AS SPECIFIED IN SCHEDULE.
2. COMPLETELY REMOVE ALL TREATED OR PLASTIC-COATED BURLAP, CONTAINERS, STRAPPING WIRE, OR NYLON TWINE FROM ROOTBALL PRIOR TO PLANTING.
3. INSTALL TOP OF PLANT BALL EVEN WITH OR 1" ABOVE EXISTING GRADE.
4. SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
5. SET TREE IN VERTICAL POSITION PRIOR TO STAKING.
6. ALL STAKING TO BE REMOVED AFTER ONE YEAR.
7. REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF IN A LEGAL MANNER.
8. RESEED UNMULCHED, DISTURBED AREAS.
9. DO NOT COVER ROOT CROWN.

7 L609 MULTI-TRUNK TREE

SECTION AND PLAN — NTS



NOTES:
1. CONTRACTOR TO INSTALL STEEL EDGING PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.

8 L609 METAL LANDSCAPE EDGING

SECTION — NTS

THE GARRETT COMPANIES
LANDSCAPE ARCHITECTURE
317-886-7923
1051 GREENWOOD SPRINGS BLVD #101
GREENWOOD, IN 46143
www.thegarrettco.com

NICHOLAS ALLEN SMITH 1436 — 02/28/2020 — Original Date of Licensure — STATE OF COLORADO LICENSED LANDSCAPE ARCHITECT

12/07/2022

NOT FOR CONSTRUCTION

PROJECT #:	21-06
DRAWN BY:	TB / PR

PERMIT SUBMITTAL	03.25.2022
SITE DEVELOPMENT PLAN	05.23.2022
COUNTY COMMENTS	08.19.2022
BID SET	09.12.2022

REVISION SCHEDULE

#	DATE	DESCRIPTION
2	09.26.2022	ADDENDUM
3	12.07.2022	CITY COMMENTS

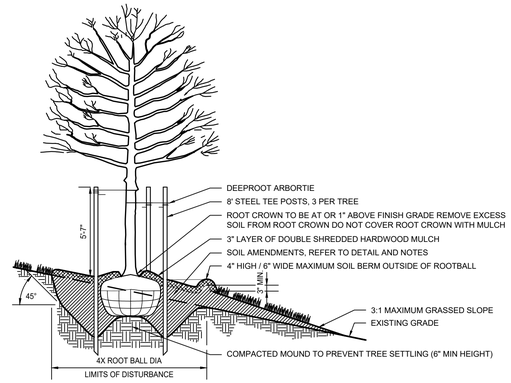
THE CITIZEN ON CONSTITUTION
OVERALL SITE
A PORTION OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M.
EL PASO COUNTY, COLORADO
PCD PROJECT NUMBER: PPR-22-29
LANDSCAPE PLANS

LANDSCAPE DETAILS

L609

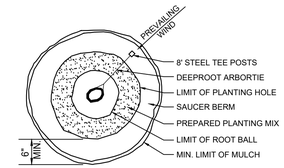
NOTES:

1. ALL TREES ARE TO BE NURSERY GROWN. ALL TREES TO BE BALL AND BURLAP (B&B) OR CONTAINER GROWN AS SPECIFIED IN SCHEDULE.
2. COMPLETELY REMOVE ALL TREATED OR PLASTIC-COATED BURLAP, CONTAINERS, STRAPPING WIRE, OR NYLON TWINE FROM ROOTBALL PRIOR TO PLANTING.
3. INSTALL TOP OF PLANT BALL EVEN WITH OR 1" ABOVE EXISTING GRADE.
4. SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
5. SET TREE IN VERTICAL POSITION PRIOR TO STAKING.
6. ALL STAKING TO BE REMOVED AFTER ONE YEAR.
7. REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF IN A LEGAL MANNER.
8. RESEED UNMULCHED, DISTURBED AREAS.
9. DO NOT COVER ROOT CROWN.



1 / L610 TREE PLANTING ON SLOPE

SECTION — NTS



PLAN

NOTES:

1. ALL TREES ARE TO BE NURSERY GROWN. ALL TREES TO BE BALL AND BURLAP (B&B) OR CONTAINER GROWN AS SPECIFIED IN SCHEDULE.
2. COMPLETELY REMOVE ALL TREATED OR PLASTIC-COATED BURLAP, CONTAINERS, STRAPPING WIRE, OR NYLON TWINE FROM ROOTBALL PRIOR TO PLANTING.
3. INSTALL TOP OF PLANT BALL EVEN WITH OR 1" ABOVE EXISTING GRADE.
4. SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
5. SET TREE IN VERTICAL POSITION PRIOR TO STAKING.
6. ALL STAKING TO BE REMOVED AFTER ONE YEAR.
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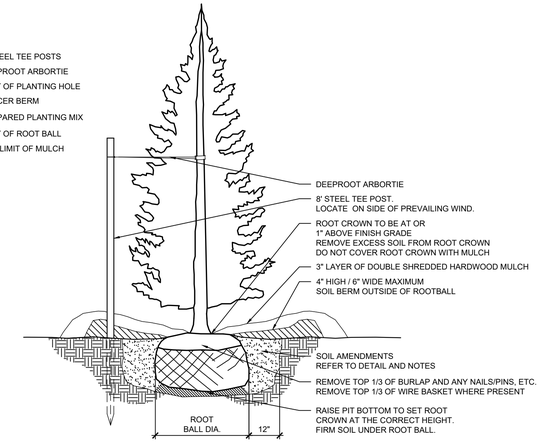
8. RESEED UNMULCHED, DISTURBED AREAS.
9. DO NOT COVER ROOT CROWN.

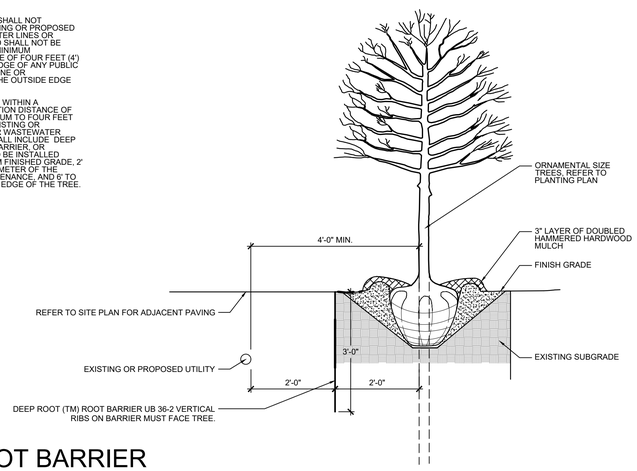


2 / L610 EVERGREEN TREE PLANTING

SECTION — NTS

NOTES:

1. TREES / TREE WELLS SHALL NOT CONFLICT WITH EXISTING OR PROPOSED WATER OR WASTEWATER LINES OR APPURTENANCES AND SHALL NOT BE INSTALLED WITHIN A MINIMUM HORIZONTAL DISTANCE OF FOUR FEET (4') FROM THE OUTSIDE EDGE OF ANY PUBLIC OR PRIVATE UTILITY LINE OR APPURTENANCE TO THE OUTSIDE EDGE OF THE TREE.
2. ALL TREES INSTALLED WITHIN A HORIZONTAL SEPARATION DISTANCE OF EIGHT FEET (8') MAXIMUM TO FOUR FEET (4') MINIMUM FROM EXISTING OR PROPOSED WATER OR WASTEWATER APPURTENANCES, SHALL INCLUDE DEEP ROOT UB 36-2 ROOT BARRIER, OR APPROVED EQUAL, TO BE INSTALLED VERTICALLY, 36" FROM FINISHED GRADE, 2' FROM THE OUTER DIAMETER OF THE UTILITY PIPE / APPURTENANCE, AND 6' TO 2' FROM THE OUTSIDE EDGE OF THE TREE.

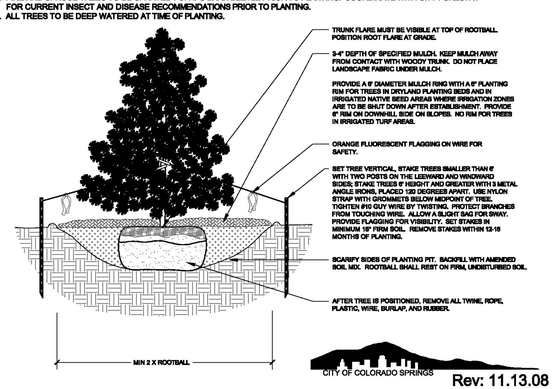


4 / L610 ROOT BARRIER

SECTION — NTS

NOTES:

1. **DO NOT REMOVE OR CUT LEADER.**
2. **PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.**
3. **DO NOT REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE.**
4. **KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.**
5. **AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.**
6. **MARK THE NORTH SIDE OF TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.**
7. **PINE AND SPRUCE TREES TO BE SPRAYED FOR IPS BARK BEETLE PRIOR TO PLANTING. COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.**
8. **ALL TREES TO BE DEEP WATERED AT TIME OF PLANTING.**

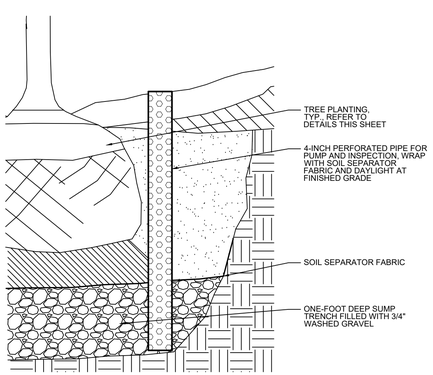


CITY OF COLORADO SPRINGS — Rev: 11.13.08

Disclaimer: These planting details are for City review and approval process only and shall not be used for construction or bidding purposes.

3 / L610 EVERGREEN TREE PLANTING DETAIL

NOT TO SCALE — SECTION



5 / L610 TREE PIT SUMP

SECTION — NTS

PLANTERS/POTS/SEASONAL PLANTING NOTES:

1. SOIL SHOULD BE NUTRIENT-RICH, MOISTURE CONTAINING PLANTING MEDIUM AND BE A MINIMUM 18" DEPTH FOR SEASONALS, PERENNIALS AND SMALL SHRUBS; MINIMUM 36" DEPTH FOR ALL TREES.
2. A LAYER OF RIVER ROCK SHALL BE PLACED IN THE BASE OF EACH PLANTER POT TO A MINIMUM 6" DEPTH OR AS ALLOWABLE BY REQUIRED SOIL DEPTH. PLACE FILTER FABRIC BETWEEN SOIL MEDIUM AND RIVER ROCK AND SOIL MEDIUM AND PLANTER EDGES. OVERLAP FABRIC 6" MINIMUM TO MINIMIZE SOIL WASH.
3. PLANTERS POTS WHICH DO NOT RECEIVE IRRIGATION SHALL BE HAND-WATERED. HAND WATERING SHOULD OCCUR MINIMUM 2 TIMES PER WEEK DURING COOLER AND RAINY SEASONS AND INCREASED TO EVERY 2-3 DAYS DURING HOT/DRY WEATHER. ALWAYS CHECK SOIL 6" BELOW SURFACE FOR SATURATION PRIOR TO WATERING TO PREVENT OVERWATERING/DROWNING OF PLANT MATERIAL.
4. WHEN APPLICABLE, PLANTS TO REMAIN IN CONTAINERS FOR DURATION OF SEASON ARE SHOWN IN THE "PERMANENT" LAYOUT. EACH SEASON WILL HAVE ITS OWN PLANT MATERIAL, SOME OF WHICH MAY LAST ALL YEAR. ROTATE IN THE PLANTS NOTED FOR EACH SEASON.
5. IF PLANT MATERIAL DIES DURING A SEASON AND IS EXPECTED TO REMAIN FOR AN ADDITIONAL SEASON, CONTRACTOR IS TO REPLACE AT TIME OF NEXT SEASONAL ROTATION.
6. CONTACT THE GARRETT COMPANIES FOR ANY REQUIRED SUBSTITUTIONS.
7. ALL PLANTS SHOULD BE FULL AT TIME OF INSTALLATION AND COVER 75% OF POT SURFACE AREA.
8. AVOID PLANTING IN THE ROOT ZONE OF ANY PERMANENT TREES, SHRUBS, OR PERENNIALS.
9. SEASONAL PLANTS SHOULD BE REMOVED FOLLOWING THE FIRST MAJOR FROST DIEBACK AND REPLACED WITH EVERGREEN BOUGHS OR OTHER OWNER APPROVED WINTER DECOR. TREES, SHRUBS AND PERENNIALS SHOULD REMAIN IN THE CONTAINERS YEAR ROUND AND REPLACED ONLY AS NECESSARY.

IRRIGATION NOTES:

1. A FULLY AUTOMATED IRRIGATION SYSTEM PROVIDING 100% COVERAGE SHALL BE PROVIDED FOR ALL PLANTING AREAS, UNLESS NOTED OTHERWISE. SYSTEM SHALL BE IN OPERATION PRIOR TO INSTALLATION OF ANY PLANT MATERIAL OTHER THAN CANOPY TREES.
2. ALL PLANTING BEDS/ SHRUB AND GROUNDCOVER AREAS TO BE IRRIGATED WITH EITHER 12" SPRAY POP-UPS AND/OR A LANDSCAPE DRIP-LINE SYSTEM, UNLESS NOTED OTHERWISE.
3. ALL PLANTER POTS AND RAISED PLANTERS TO BE IRRIGATED WITH MICRO SPRAY SPRINKLER HEADS.
4. IRRIGATION SYSTEM IS DESIGN/BUILD. CONTRACTOR TO PROVIDE DRAWINGS AND CUT SHEETS OF ALL COMPONENTS.
5. PROVIDE AS-BUILT DRAWINGS OF IRRIGATION AFTER INSTALLATION.

PLANTING NOTES:

1. ALL QUANTITIES LISTED IN THE DRAWINGS ARE FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL QUANTITIES AND TO PROVIDE ALL MATERIALS NECESSARY FOR FULL COVERAGE IN ALL PLANTING AREAS AS SPECIFIED ON THE DRAWINGS. ANY DISCREPANCY SHOULD BE REPORTED TO THE OWNER.
2. THIS PLAN IS FOR PLANTING LOCATIONS ONLY AND ALL PLANT MATERIAL SHALL BE SPACED AND LOCATED PER PLAN. HOWEVER, CONTRACTOR TO SLIGHTLY ADJUST PLANT LOCATIONS IN THE FIELD AS NECESSARY TO BE CLEAR OF DRAINAGE SWALES AND UTILITIES. IF FOUND CONDITIONS VARY FROM THIS PLAN, CONTRACTOR TO CONTACT OWNER OR LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO DO SO WILL RESULT IN CONTRACTOR'S LIABILITY TO REPLACE PLANT MATERIALS.
3. ALL PLANTS SHOULD BE IN ACCORDANCE WITH ANSI Z60.1 -2014, AMERICAN STANDARD FOR NURSERY STOCK PUBLICATION, APPROVED APRIL 14, 2014.
4. CALIPER SIZE OF CANOPY TREES ARE TO BE MEASURED PER CITY OF DENVER LANDSCAPE ORDINANCE.
5. ALL PLANT MATERIAL SHALL CONFORM TO THE SIZE SPECIFICATIONS (CALIPER, HEIGHT AND SPREAD) GIVEN IN THE PLANT SCHEDULE AND SHALL BE NURSERY GROWN UNLESS SPECIFIED OTHERWISE. FAILURE TO MEET MINIMUM SIZE ON ANY PLANT WILL RESULT IN REJECTION OF THAT PLANT.
6. ANY PLANT SUBSTITUTION SHALL BE APPROVED BY THE GARRETT COMPANIES PRIOR TO PURCHASE. SUBSTITUTIONS OF PLANT MATERIAL ARE TO BE REQUESTED IN WRITING TO THE LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER PRIOR TO PURCHASE AND INSTALLATION. FAILURE TO OBTAIN SUBSTITUTION APPROVAL IN WRITING MAY RESULT IN LIABILITY TO THE CONTRACTOR
7. SIZES LISTED ARE MIN. AND REFER TO HEIGHT, UNLESS OTHERWISE SPECIFIED.
8. LANDSCAPE CONTRACTOR SHALL STAKE OUT LOCATIONS OF ALL TREES TO BE PLANTED FOR REVIEW BY THE GARRETT COMPANIES PRIOR TO INSTALLING. THE GARRETT COMPANIES RESERVES THE RIGHT TO ADJUST TREE LOCATIONS IN THE FIELD AS NECESSARY.
9. SHRUB/GROUNDCOVER BEDS SHALL BE STAKED FOR REVIEW BY THE GARRETT COMPANIES/OWNER'S REPRESENTATIVE PRIOR TO EXCAVATION AND OR BED PREPARATION.
10. LANDSCAPE CONTRACTOR SHALL INSTALL STEEL EDGING BETWEEN PLANTING BEDS AND LAWNS, OR AS SHOWN IN DETAILS.
11. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES. PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
12. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE GARRETT COMPANIES OF ANY CONDITION FOUND ON THE SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THE DRAWINGS.
13. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.
14. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION AND MUST BE REPLACED WITH PLANT OF SAME VARIETY AND SIZE IF DAMAGED, DESTROYED, DEAD AND /OR REMOVED.
15. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING AND REMOVAL OF DEBRIS PRIOR TO PLANTING IN ALL AREAS.
16. FINAL FINISHED GRADING SHALL BE REVIEWED BY THE GARRETT COMPANIES. CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL TOPSOIL REQUIRED TO CREATE A SMOOTH CONDITION SUITABLE FOR PLANTING.
17. TREES OVERHANGING INTO THE PUBLIC R.O.W. SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF FOURTEEN(14) FEET OVER STREETS, DRIVE AISLES, ALLEYS AND FIRE LANES. TREES OVERHANGING PRIVATE STREETS, WALKS, AND /OR PARKING LOTS SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF SEVEN (7) FEET.
18. LANDSCAPE CONTRACTOR IS REQUIRED TO PERFORM A TREE PIT PERCOLATION TEST FOR EACH TREE PIT PRIOR TO INSTALLATION. IF TREE PIT DOES NOT DRAIN WITHIN A 24-HOUR PERIOD, THE CONTRACTOR WILL BE REQUIRED TO PROVIDE A GRAVEL SUMP, FILTER FABRIC AND STAND PIPE. ALL TREE PIT SUMPS SHALL BE INCLUDED IN IN THE CONTRACTOR'S BASE BID AS A UNIT PRICE AND PROVIDE AS A DEDUCT ALTERNATE PER TREE PIT SUMPS NOT REQUIRED TO BE INSTALLED.
19. LANDSCAPE CONTRACTOR IS RESPONSIBLE TO REVIEW SITE ENVIRONMENTAL CONDITIONS PRIOR TO AND DURING INSTALLATION OF PLANT MATERIAL. ANY DISCREPANCIES OR CONCERNS BETWEEN THE ENVIRONMENTAL SITE CONDITIONS (I.E., SOIL TYPE, WATER, CLIMATE, WIND, SUN EXPOSURE ETC.) AND THE PLANT MATERIAL SPECIFIED WITHIN THE DRAWING SHALL BE BROUGHT TO THE ATTENTION OF THE GARRETT COMPANIES AND/OR OWNER, AND SHALL BE DONE SO IN WRITING. CONTRACTOR SHALL PROVIDE SUGGESTED SOLUTIONS FOR ALTERNATIVE PLANT MATERIAL PROPOSED FOR SUBSTITUTION. THE GARRETT COMPANIES TO REVIEW CONDITIONS AND INFORMATION SUBMITTED BY CONTRACTOR AND WILL ISSUE DIRECTIVE. SHOULD PLANT MATERIAL DIE BECAUSE OF ENVIRONMENTAL CONDITIONS DESCRIBED ABOVE, THE LANDSCAPE CONTRACTOR ASSUMES ALL WARRANTY AND GUARANTEE OF THE PLANT MATERIAL INSTALLED.
20. ALL NEW PLANTING AREAS SHALL HAVE A SOIL COMPOSITION CONSISTENT WITH SANDY LOAM TO LOAM SOIL PROPERTIES AND ACIDITY RANGE OF PH 5.5 TO 7.0. CONTRACTOR TO PROVIDE A SOIL TEST OF THE EXISTING SOIL AND EITHER FULLY REPLACE OR AMEND THE EXISTING SOIL TO ACHIEVE THE SANDY LOAM TO LOAM SOIL PROPERTIES. CONTRACTOR TO SUBMIT SOIL TEST RESULTS TO LANDSCAPE ARCHITECT FOR REVIEW. CONTRACTOR SHALL PROVIDE A SOIL AMENDMENT PLAN TO ACHIEVE THE SOIL COMPOSITION DESCRIBED ABOVE.
21. SOIL AMENDMENTS SHALL BE SELECTED FROM THE SOIL AMENDMENTS PROVIDED IN THE PLANTING DETAILS.
22. AMENDED SOIL SHALL HAVE UNIFORM COMPOSITION THROUGHOUT, WITH A MIXTURE OF EXISTING SUBSOIL. IT SHALL BE FREE OF STONES, LUMPS, LIVE PLANTS AND THEIR ROOTS, STICKS, AND OTHER EXTRANEOUS MATTER. IT SHALL CONTAIN NO MAN-MADE MATERIALS UNLESS OTHERWISE SPECIFIED. AMENDED SOIL SHALL NOT BE USED WHILE IN A FROZEN OR MUDDY CONDITION.
23. ALL NEW PLANTING AREAS, AMENDED SOILS SHALL BE TO A DEPTH OF 12"-18" FOR SHRUB AND GROUNDCOVER ZONES AND 24"-36" FOR TREE PITS.
24. AFTER PLANTING SOIL MIXES ARE INSTALLED IN PLANTING BED AREAS AND JUST PRIOR TO THE INSTALLATION OF SHRUB OR GROUNDCOVER PLANTINGS, SPREAD 3-4 INCHES OF COMPOST OVER THE BEDS AND ROTO TILL INTO THE TOP 8 INCHES OF THE PLANTING SOIL. THIS WILL RAISE GRADES SLIGHTLY ABOVE THE FINISHED GRADES, IN ANTICIPATION GRADES WILL SETTLE WITHIN A FEW MONTHS AFTER INSTALLATION AS COMPOST BREAKS DOWN.
25. IN ALL EXISTING PLANTING AREAS DESIGNATED TO RECEIVE NEW PLANTINGS, SPREAD 3-4 INCHES OF COMPOST OVER THE BEDS AND ROTO TILL INTO THE TOP 8 INCHES OF THE PLANTING SOIL. THIS WILL RAISE THE GRADES SLIGHTLY ABOVE THE FINISHED GRADES, IN ANTICIPATION GRADES WILL SETTLE WITHIN A FEW MONTHS AFTER INSTALLATION AS COMPOST BREAKS DOWN. IN NO CASE WILL THIS BE PERFORMED WHERE IT MAY NEGATIVELY IMPACT THE HEALTH OF ADJACENT, EXISTING PLANT MATERIALS WHICH ARE DESIGNATED TO REMAIN.
26. LANDSCAPE CONTRACTOR TO WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR. THE CONTRACTOR AGREES TO REPLACE DEFECTIVE WORK AND DEFECTIVE PLANTS, AND THAT THE OWNER'S REPRESENTATIVE SHALL MAKE THE FINAL DETERMINATION IF PLANTS MEET THE REQUIRED SPECIFICATIONS OR THAT PLANTS ARE DEFECTIVE. PLANTS DETERMINED TO BE DEFECTIVE SHALL BE REMOVED IMMEDIATELY UPON NOTIFICATION BY THE OWNER'S REPRESENTATIVE AND REPLACED WITHOUT COST TO THE OWNER, AS SOON AS WEATHER CONDITIONS PERMIT AND WITHIN THE SPECIFIED PLANTING PERIOD. THE REPLACED MATERIALS SHALL ALSO RECEIVE A WARRANTY PERIOD OF ONE YEAR WHICH STARTS AT THE DATE OF INSTALLATION. BULBS, ANNUAL FLOWERS, AND SEASONAL COLOR PLANTS SHALL ONLY BE WARRANTED FOR THE PERIOD OF THE EXPECTED BLOOM OR PRIMARY DISPLAY.

THE GARRETT COMPANIES
LANDSCAPE ARCHITECTURE
317-886-7923
1051 GREENWOOD SPRINGS BLVD #101
GREENWOOD, IN 46143
www.thegarrettco.com

NICHOLAS ALLEN SMITH
1436
02/28/2020
Original Date of Licensure
STATE OF COLORADO
LICENSED LANDSCAPE ARCHITECT

12/07/2022

NOT FOR CONSTRUCTION

PROJECT #:	*21-06*
DRAWN BY:	*TB / PR*

PERMIT SUBMITTAL	03.25.2022
SITE DEVELOPMENT PLAN	05.23.2022
COUNTY COMMENTS	08.19.2022
BID SET	09.12.2022

REVISION SCHEDULE

#	DATE	DESCRIPTION
2	09.26.2022	ADDENDUM
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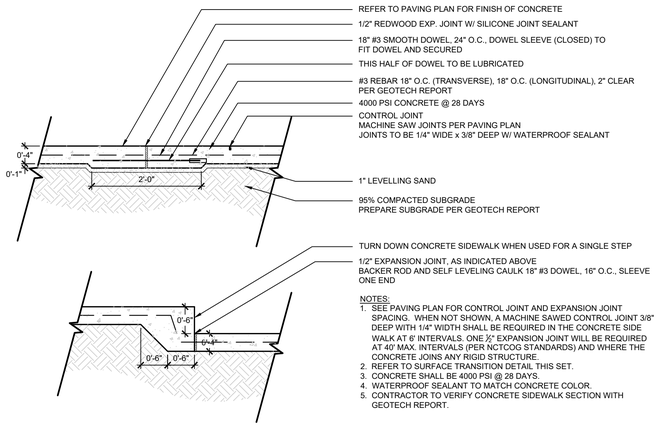
LANDSCAPE PLANS

LANDSCAPE DETAILS & NOTES

L610

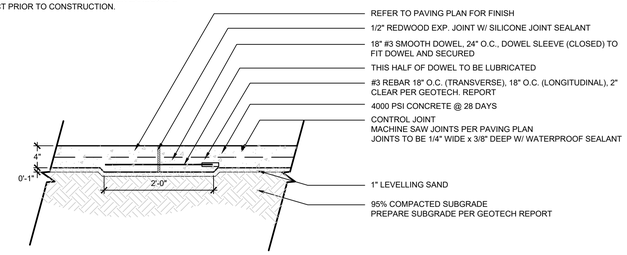


NOTES:
1. SEE PAVING PLAN FOR CONTROL JOINT AND EXPANSION JOINT SPACING. WHEN NOT SHOWN, A MACHINE SAWED CONTROL JOINT 3/8" DEEP WITH 1/4" WIDTH SHALL BE REQUIRED IN THE CONCRETE SIDE WALK AT 6' INTERVALS. ONE ½" EXPANSION JOINT WILL BE REQUIRED AT 40' MAX. INTERVALS (PER NCTCOG STANDARDS) AND WHERE THE CONCRETE JOINS ANY RIGID STRUCTURE.
2. REFER TO SURFACE TRANSITION DETAIL THIS SET.
3. CONCRETE SHALL BE 4000 PSI @ 28 DAYS.
4. WATERPROOF SEALANT TO MATCH CONCRETE COLOR.
5. CONTRACTOR TO VERIFY CONCRETE SIDEWALK SECTION WITH GEOTECH REPORT.

1 L401 CONCRETE PAVING - SIDEWALK (H-01)

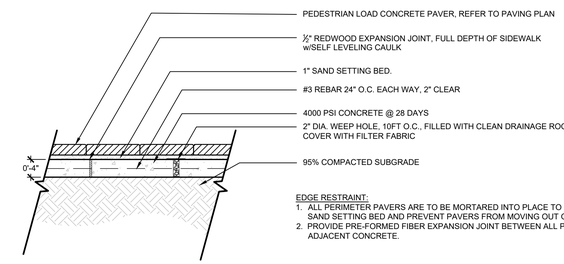
SECTION — NOT TO SCALE

NOTES:
1. SEE PAVING AND MATERIALS PLAN FOR CONTROL JOINT AND EXPANSION JOINT SPACING. WHEN NOT SHOWN, A MACHINE SAWED CONTROL JOINT 1" DEEP WITH 1/4" WIDTH SHALL BE REQUIRED IN THE CONCRETE POOL DECK AT 6' INTERVALS. ONE ½" EXPANSION JOINT WILL BE REQUIRED AT 40' MIN. INTERVALS AND WHERE THE CONCRETE JOINS ANY RIGID STRUCTURE. ALL JOINTS NOT TO EXCEED 15FT.
2. CONCRETE SHALL BE 4000psi @ 28 DAYS.
3. WATERPROOF SEALANT TO MATCH CONCRETE COLOR.
4. CONTRACTOR TO VERIFY CONCRETE PAVING SECTION WITH GEOTECH REPORT.
5. INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.
6. CONTRACTOR TO PROVIDE 6'x6' MOCKUPS OF CONCRETE POOL DECK CONCRETE REPRESENTING FINAL CONCRETE COLOR/FINISH FOR APPROVAL BY OWNER/LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.



2 L401 CONCRETE PAVING - POOL DECK (H-02)

SECTION — NOT TO SCALE



EDGE RESTRAINT:
1. ALL PERIMETER PAVERS ARE TO BE MORTARED INTO PLACE TO SECURE SAND SETTING BED AND PREVENT PAVERS FROM MOVING OUT OF PLACE.
2. PROVIDE PRE-FORMED FIBER EXPANSION JOINT BETWEEN ALL PAVERS AND ADJACENT CONCRETE.

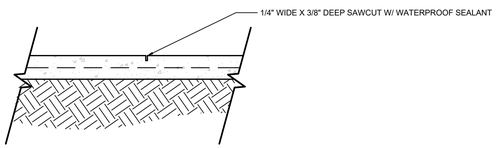
DECORATIVE PAVERS:
DIMENSIONS SLAB BY BELGARD
SIZE: 12" x 24" x 2-3/8"
COLOR: ROCKLAND BLACK
SAND COLOR: BLACK
PATTERN: RUNNING BOND

MANUFACTURER INFORMATION:
BELGARD PAVERS
W: WWW.BELGARD.COM
P: 844.495.8210

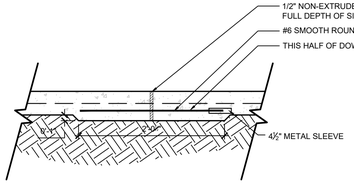
NOTES:
1. CONCRETE SHALL BE 4000psi @ 28 DAYS.
2. REFER TO PAVING PLAN FOR PAVER PATTERN AND COLOR.
3. CONTRACTOR SHALL SUBMIT PAVER SAMPLES TO LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
4. CONTRACTOR TO VERIFY PAVER SECTION WITH GEOTECH REPORT.
5. INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.
6. FOR SUBSURFACE CONTROL JOINT AND EXPANSION JOINT SPACING, A MACHINE SAWED CONTROL JOINT 3/8" DEEP WITH 1/4" WIDTH SHALL BE REQUIRED IN THE CONCRETE SIDEWALK AT 4' INTERVALS. ONE ½" EXPANSION JOINT WILL BE REQUIRED AT 12' MAX. INTERVALS (PER THE GEOTECHNICAL REPORT) AND WHERE THE CONCRETE JOINS ANY RIGID STRUCTURE.

3 L401 CONCRETE PAVING - DECORATIVE PAVERS (H-03)

SECTION — NOT TO SCALE



CONTROL JOINT

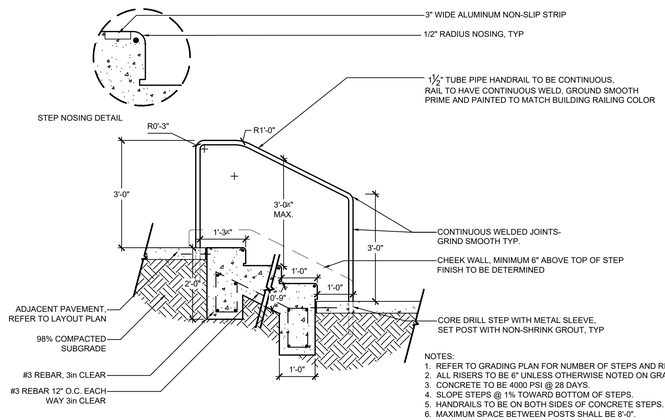


EXPANSION JOINT

NOTES:
1. SEE PAVING PLAN FOR CONTROL JOINT AND EXPANSION JOINT SPACING. WHEN NOT SHOWN, A MACHINE SAWED CONTROL JOINT 3/8" DEEP WITH 1/4" WIDTH SHALL BE REQUIRED IN THE CONCRETE SIDEWALK AT 4' TYPICAL INTERVALS. ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT 40' MAX. INTERVALS AND WHERE THE CONCRETE JOINS ANY RIGID STRUCTURE.
2. SAWCUT JOINTS FOR SIDEWALKS AGAINST CURB MUST MATCH STREET PAVING JOINTS.
3. EXPANSION JOINTS FOR SIDEWALKS AGAINST CURB MUST ALIGN WITH THE EXPANSION JOINTS IN STREET PAVEMENT.
4. CONCRETE SHALL BE 3000 PSI @ 28 DAYS.
5. WATERPROOF SEALANT TO MATCH CONCRETE COLOR.

4 L401 CONCRETE JOINTS (H-01 & H-02)

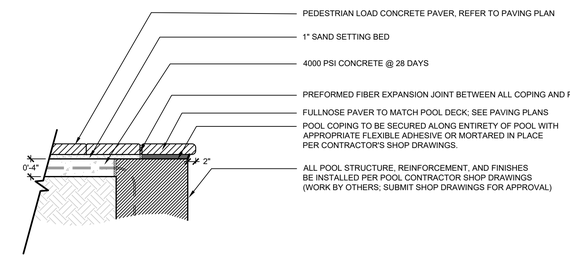
SECTION — NOT TO SCALE



NOTES:
1. REFER TO GRADING PLAN FOR NUMBER OF STEPS AND RISER HEIGHTS.
2. ALL RISERS TO BE 6" UNLESS OTHERWISE NOTED ON GRADING PLAN.
3. CONCRETE TO BE 4000 PSI @ 28 DAYS.
4. SLOPE STEPS @ 1% TOWARD BOTTOM OF STEPS.
5. HANDRAILS TO BE ON BOTH SIDES OF CONCRETE STEPS.
6. MAXIMUM SPACE BETWEEN POSTS SHALL BE 8'-0".
7. HANDRAIL TO BE INSTALLED PER LOCAL, STATE AND FEDERAL ADA STANDARDS AND GUIDELINES.

5 L401 CONCRETE STEP (H-04) & METAL HANDRAIL (H-05)

SECTION — NOT TO SCALE



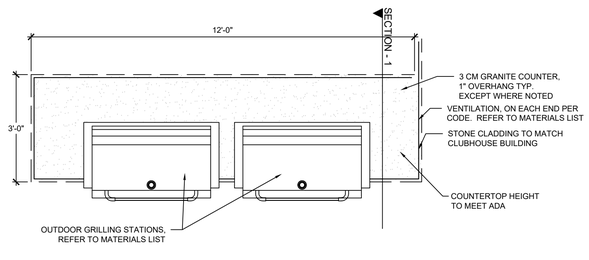
PAVER COPING (BULLNOSE):
MARINA 6" COPING BY BELGARD
SIZE: 5-5/16" x 11-13/16" x 2-3/8"
COLOR: MIDNIGHT
JOINT COLOR: BLACK

MANUFACTURER INFORMATION:
BELGARD PAVERS
W: WWW.BELGARD.COM
P: 844.495.8210

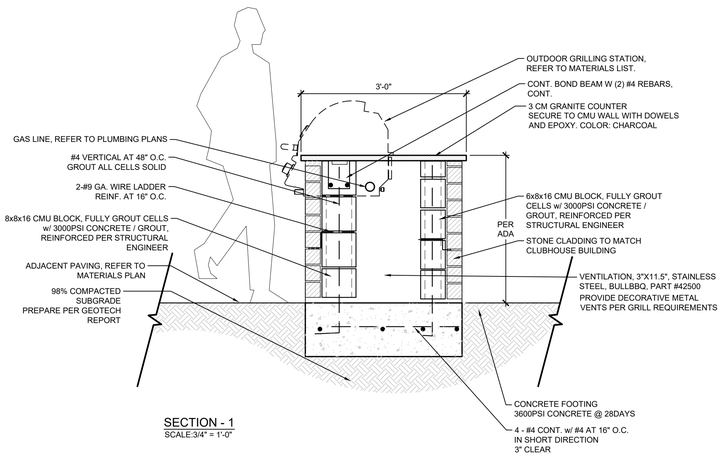
NOTES:
1. CONCRETE SHALL BE 4000psi @ 28 DAYS.
2. REFER TO PAVING PLAN FOR PAVER PATTERN AND COLOR.
3. CONTRACTOR SHALL SUBMIT PAVER SAMPLES TO LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
4. CONTRACTOR TO VERIFY PAVER SECTION WITH GEOTECH REPORT.
5. INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.
6. FOR SUBSURFACE CONTROL JOINT AND EXPANSION JOINT SPACING, A MACHINE SAWED CONTROL JOINT 3/8" DEEP WITH 1/4" WIDTH SHALL BE REQUIRED IN THE CONCRETE SIDEWALK AT 4' INTERVALS. ONE ½" EXPANSION JOINT WILL BE REQUIRED AT 12' MAX. INTERVALS (PER THE GEOTECHNICAL REPORT) AND WHERE THE CONCRETE JOINS ANY RIGID STRUCTURE.

6 L401 CONCRETE PAVING - PAVER COPING (H-09)

SECTION — NOT TO SCALE



OUTDOOR KITCHEN - PLAN
SCALE: 1/2" = 1'-0"



SECTION - 1
SCALE:3/4" = 1'-0"

MATERIALS LIST

OUTDOOR GRILL STATION
38" BRAHMA STAINLESS STEEL NATURAL GAS GRILL
W/FINISHING FRAME
BY BULLBBQ

GRILL JACKET
38" GRILL INSULATION JACKET
BY BULLBBQ

DOUBLE ACCESS DOORS
18X24 STAINLESS STEEL DOUBLE ACCESS DOORS
BY OCI

MANUFACTURERS:

GRILL APPLIANCES AND FURNISHINGS
BULL OUTDOOR PRODUCTS
2483 WEST WALNUT AVE.
RIALTO CA. 92376
PHONE: (800) 521-2855

*GAS SHUT-OFF VALVE ASSEMBLY, GAS CONNECTIONS, ELECTRICAL WIRING TO BE LOCATED UNDER GRILL AND BEHIND ACCESS DOORS, PER LOCAL BUILDING CODE (REFER TO NOTE 6.1). PROVIDE GAS REGULATOR PER LOCAL BUILDING CODE.

NOTES:
1. CONTRACTOR TO INSTALL COUNTERTOP PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.
2. GRILL ASSEMBLY TO INCLUDE BUT NOT LIMITED TO GRILL, GAS SHUT-OFF VALVE ASSEMBLY, GAS CONNECTIONS, ELECTRICAL WIRING, AUTOMATIC SHUT-OFF GAS TIMER SWITCH, AND VENTILATION.
   2.1. AUTOMATIC SHUT-OFF GAS TIMER SWITCH AND GAS SHUT-OFF VALVE ASSEMBLY TO BE OPERABLE WITH ONE HAND WITHOUT TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST, SHALL BE MOUNTED WITHIN ACCESSIBLE REACH RANGE OF 15" TO 48" AFF, AND SHALL BE OPERABLE WITH LESS THAN 5 LBS OF FORCE.
3. REFER TO MANUFACTURER'S DETAILS AND INSTRUCTIONS FOR ALL CUT OUT DIMENSIONS FOR GAS GRILL AND ACCESS DOORS.
4. CONTRACTOR TO INSTALL GRILL AND ACCESS DOORS PER MANUFACTURER'S DETAILS AND SPECIFICATIONS, AND LOCAL AND STATE BUILDING CODES.
5. REFER TO ARCHITECTURAL, STRUCTURAL, ELECTRICAL, MATERIAL, AND GRADING PLANS FOR ADDITIONAL INFORMATION.

GENERAL GRILL INSTALLATION INSTRUCTIONS:
1. CONTRACTOR TO INSTALL GRILL, GRILL AREA COMPONENTS, AND ACCESS DOORS PER MANUFACTURER'S DETAILS AND SPECIFICATIONS, AND LOCAL AND STATE BUILDING CODES.
2. THE GRILL SHOULD NOT BE PLACED UNDER OR ON TOP OF ANY SURFACE THAT WILL BURN.
3. DO NOT OBSTRUCT THE FLOW OF COMBUSTION AND VENTILATION AIR AROUND THE GRILL HOUSING.
4. GAS VALVES ARE PRESET AT THE FACTORY TO OPERATE ON LP OR NATURAL GAS.
5. UPPER AND LOWER LEVEL VENTS MUST BE PROVIDED FOR COMBUSTION AIR ON BOTH SIDES OF BUILT-IN CABINET. VENTS ON BBQ INSERT MUST REMAIN UNOBSTRUCTED TO ALLOW FOR COMBUSTION AIR AND VENTILATION. UPPER VENTS MUST BE LOCATED WITHIN 5 INCHES/12.7 CM/127 MM FROM THE TOP OF THE ISLAND ENCLOSURE TO THE BOTTOM OF THE VENT. LOWER VENTS MUST BE LOCATED WITHIN 1 INCH/2.54CM/25.4 MM FROM THE BOTTOM OF THE ISLAND ENCLOSURE TO THE BOTTOM OF THE FIRST VENT OPENINGS AND NO MORE THAN 5 INCHES/12.7 CM/127 MM FROM THE BOTTOM OF THE ISLAND ENCLOSURE TO THE TOP OF THE VENT.
6. VENTS MUST BE PROVIDED FOR COMBUSTION AIR AND VENTILATION ON BOTH SIDES OF BUILT-IN CABINET.
7. THE SIDES AND BACK OF THE GRILL SHOULD NOT BE ANY CLOSER THAN 21 INCHES/54 CM/533 MM TO COMBUSTIBLE CONSTRUCTION

7 L401 OUTDOOR KITCHEN (H-09)

PLAN, SECTION, ELEVATION — SCALE: VARIES

THE GARRETT COMPANIES
LANDSCAPE ARCHITECTURE
317-886-7923
1051 GREENWOOD SPRINGS BLVD #101
GREENWOOD, IN 46143
www.thegarrettco.com

NICHOLAS ALLEN SMITH
1436
02/28/2020
Original Date of Licensure
STATE OF COLORADO
LICENSED LANDSCAPE ARCHITECT

12/07/2022

NOT FOR CONSTRUCTION

PROJECT #:	*21-06*
DRAWN BY:	*TB / PR*

PERMIT SUBMITTAL	03.25.2022
SITE DEVELOPMENT PLAN	05.23.2022
COUNTY COMMENTS	08.19.2022
BID SET	09.12.2022

REVISION SCHEDULE

#	DATE	DESCRIPTION
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3	12.07.2022	CITY COMMENTS

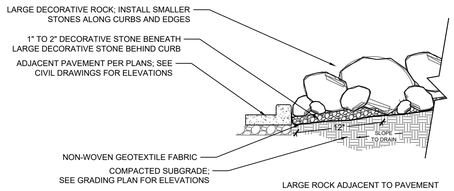
THE CITIZEN ON CONSTITUTION

OVERALL SITE
A PORTION OF THE NORTHEAST QUARTER OF SECTION 5,
TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M.
EL PASO COUNTY, COLORADO
PCD PROJECT NUMBER: PPR-22-29

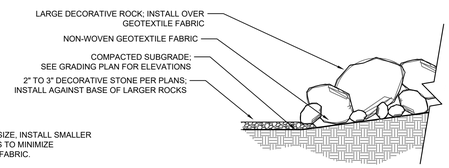
LANDSCAPE PLANS

SITE DETAILS

L611



LARGE ROCK ADJACENT TO PAVEMENT



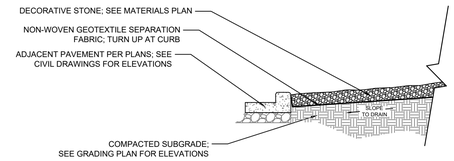
LARGE ROCK ADJACENT TO GRAVEL

NOTES:

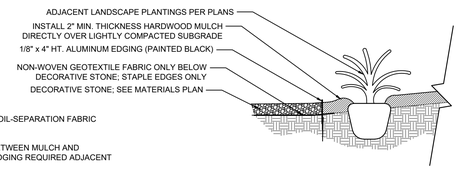
1. DUE TO THE WIDE VARIATION OF ROCK SIZE, INSTALL SMALLER ROCKS AND STONES WITHIN OPEN GAPS TO MINIMIZE EXPOSED SUBGRADE AND GEOTEXTILE FABRIC.
2. INSTALL IN SIMPLE, SMOOTH CURVES, AS SHOWN ON PLANS. AVOID STRAIGHT EDGES.

1 / L402 LARGE DECORATIVE ROCK (H-20)

SECTION — NOT TO SCALE



DECORATIVE STONE ADJACENT TO PAVEMENT



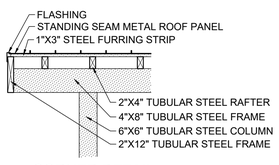
DECORATIVE STONE ADJACENT TO GRAVEL

NOTES:

1. INSTALL DECORATIVE STONE OVER SOIL-SEPARATION FABRIC (NON-WOVEN GEOTEXTILE)
2. ONLY PROVIDE ALUMINUM EDGING BETWEEN MULCH AND SMALLER, DECORATIVE STONE; NO EDGING REQUIRED ADJACENT TO LARGER DECORATIVE ROCK.
3. INSTALL EDGING IN SIMPLE, SMOOTH CURVES, AS SHOWN ON PLANS. AVOID STRAIGHT EDGES. INSTALL SPIKES AT 24" O.C.

2 / L402 DECORATIVE STONE (H-21)

SECTION — NOT TO SCALE

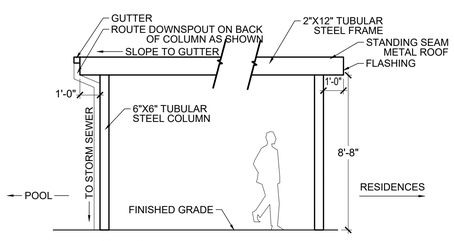


CORNER DETAIL
SCALE: 1/2" = 1'-0"

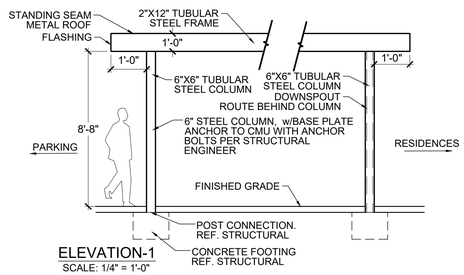
METAL FINISH/COLOR
EXTERIOR-GRADE PRIMER, UNDERCOAT, AND FINISH COAT SHALL BE CORROSION RESISTANT AND APPROVED BY LANDSCAPE ARCHITECT, PRIOR TO APPLICATION. FINISH TO BE BLACK STANDING SEAM METAL ROOF. COLOR: GRAY

NOTES:

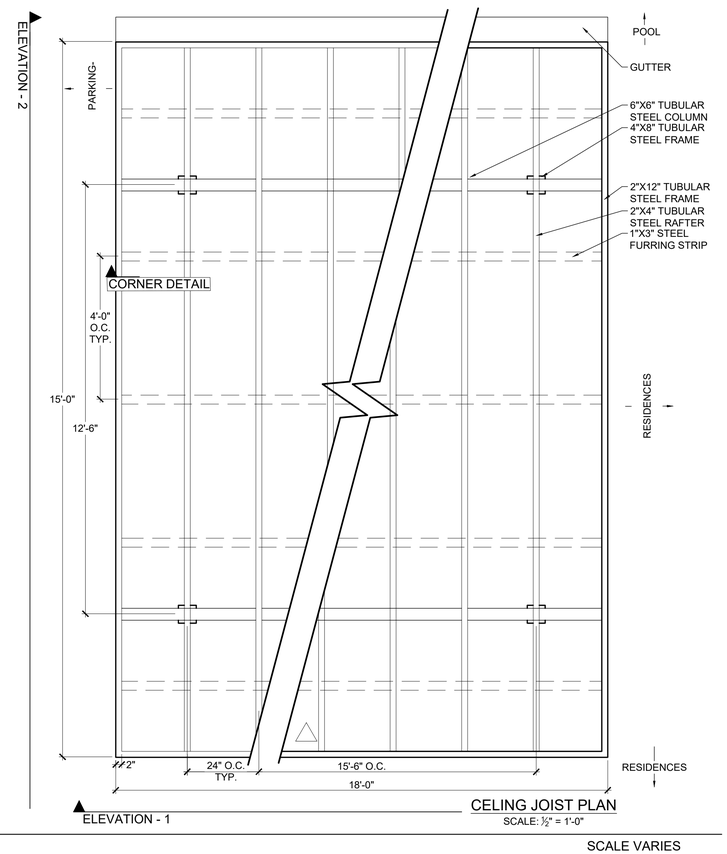
1. DETAIL IS FOR DESIGN INTENT PURPOSES ONLY.
2. CONCRETE FOOTINGS AND REINFORCING TO BE DESIGNED AND SEALED BY STRUCTURAL ENGINEER.
3. ALL REINFORCING SHOWN FOR GRAPHICAL PURPOSES ONLY.REFER TO STRUCTURAL, ELECTRICAL, MATERIAL, & GRADING PLANS FOR ADDITIONAL INFORMATION.



ELEVATION - 2
SCALE: 1/4" = 1'-0"



ELEVATION-1
SCALE: 1/4" = 1'-0"



CELING JOIST PLAN
SCALE: 1/2" = 1'-0"

3 / L402 TUBE STEEL SHADE STRUCTURE (H-12)

PLAN, ELEVATION, SECTION — SCALE VARIES

THE GARRETT COMPANIES
LANDSCAPE ARCHITECTURE
317-886-7923
1051 GREENWOOD SPRINGS BLVD #101
GREENWOOD, IN 46143
www.thegarrettco.com

NICHOLAS ALLEN SMITH 1436
02/28/2020
Original Date of Licensure
STATE OF COLORADO LICENSED LANDSCAPE ARCHITECT
12/07/2022

NOT FOR CONSTRUCTION

PROJECT #:	21-06
DRAWN BY:	TB / PR

PERMIT SUBMITTAL	03.25.2022
SITE DEVELOPMENT PLAN	05.23.2022
COUNTY COMMENTS	08.19.2022
BID SET	09.12.2022

REVISION SCHEDULE

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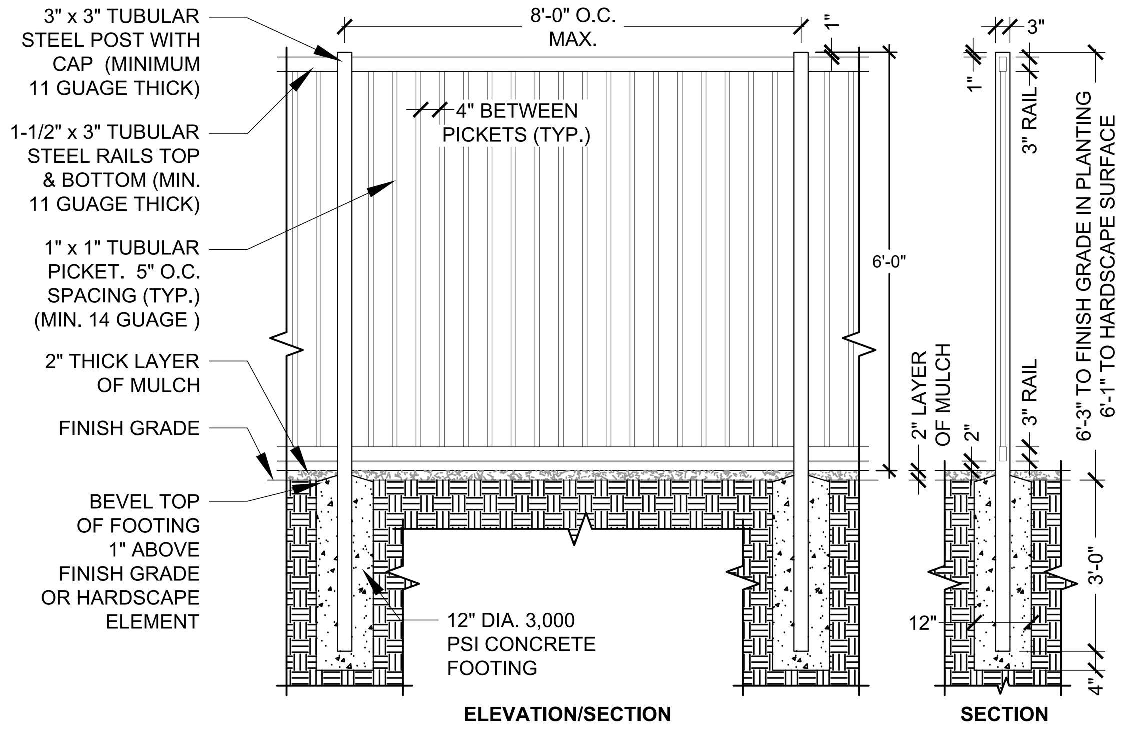
3	12.07.2022	CITY COMMENTS

THE CITIZEN ON CONSTITUTION

OVERALL SITE
A PORTION OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M.
EL PASO COUNTY, COLORADO
PCD PROJECT NUMBER: PPR-22-29
LANDSCAPE PLANS

SITE DETAILS

L612

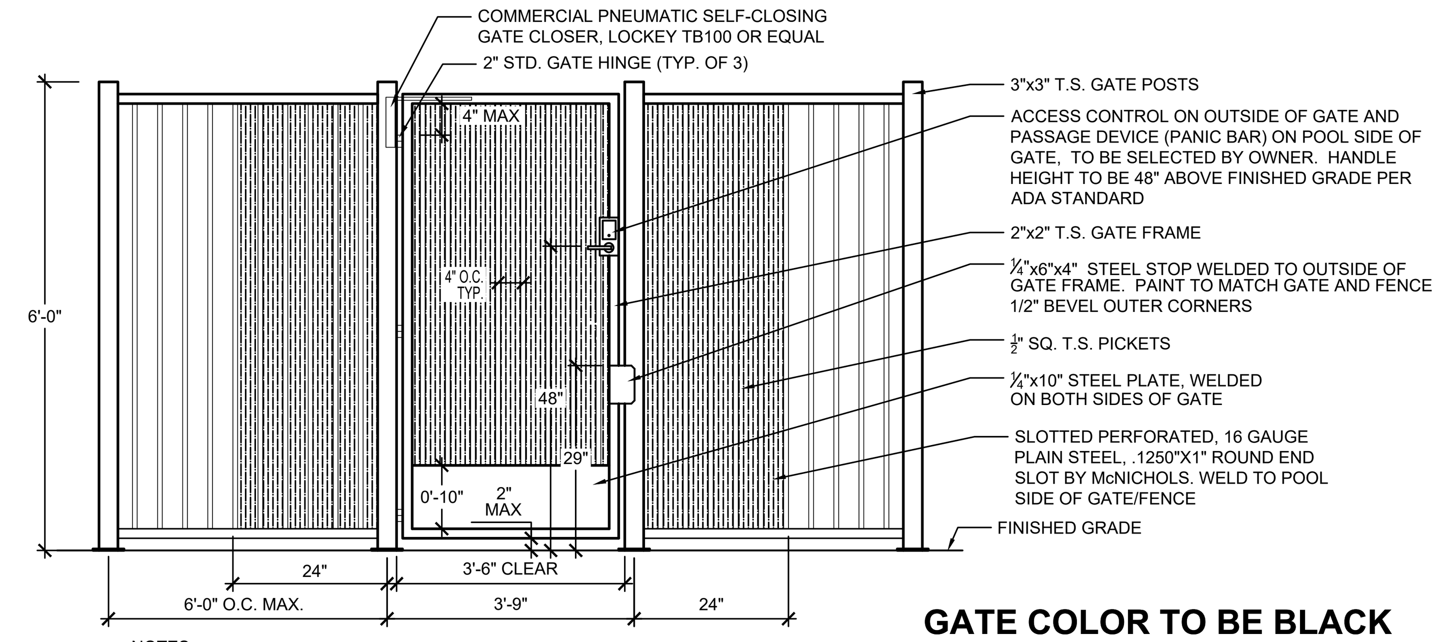


FENCE COLOR TO BE BLACK

NOTES:
1. POOL FENCE SHALL COMPLY WITH ALL CURRENT LOCAL, STATE AND FEDERAL GUIDELINES AND STANDARDS AND CURRENT STATE OF COLORADO POOL CODE.
2. MAXIMUM SPACE BETWEEN POSTS SHALL BE 6'-0".
3. FENCE POSTS TO BE LOCATED A MAXIMUM OF 4" FROM BUILDING.
4. ALL STEEL RAILINGS TO BE FABRICATED WITH CONTINUOUS WELDS, GROUND SMOOTH. PRIME AND POWDERCOAT FINISH.
5. ALL STEEL RAILING COLOR TO MATCH BUILDING RAILING.
6. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL BY OWNER AND LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
7. CONTRACTOR TO VERIFY CONCRETE FOOTING SIZE AND REINFORCEMENT WITH GEOTECH REPORT PRIOR TO INSTALLATION.
8. REFER TO MATERIALS PLAN FOR FENCE LOCATION.

1 / L403 6' HT. POOL FENCE

SECTION ELEVATION — NOT TO SCALE

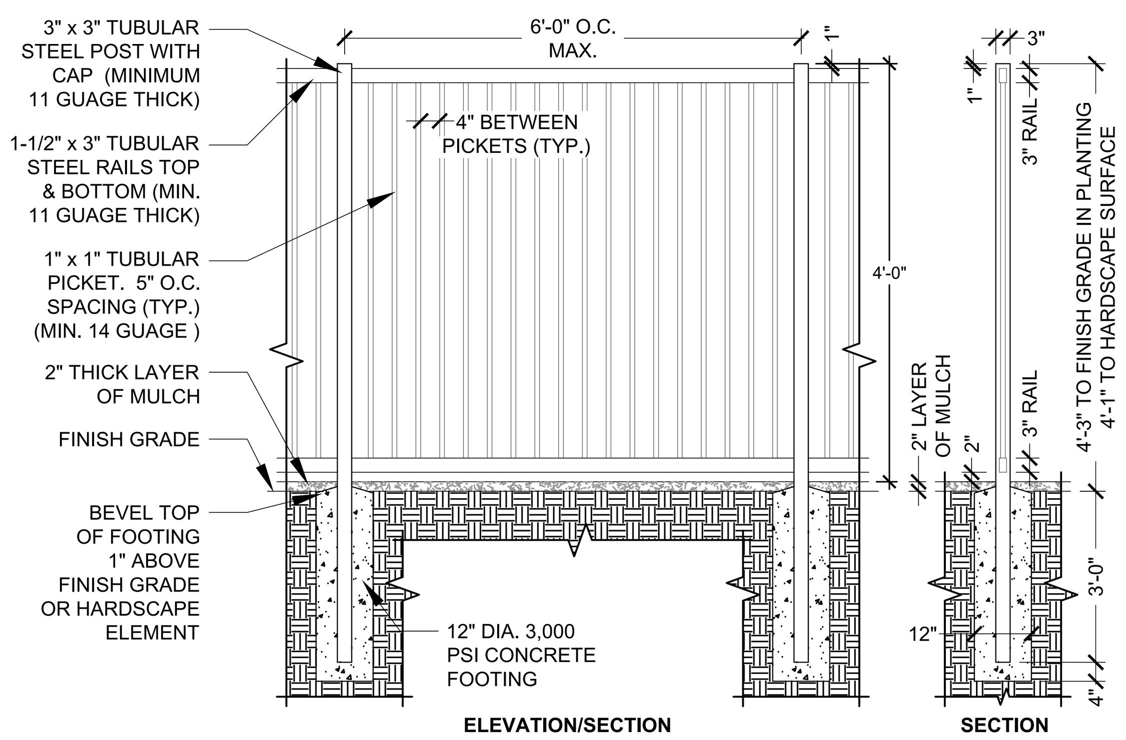


GATE COLOR TO BE BLACK

NOTES:
1. ALL GATES TO BE INSTALLED WITH EMERGENCY LOCKBOX.
2. GATE OPENING TO BE 3-6" CLEAR.
2. THE GATE AND FENCE SHALL HAVE NO OPENINGS GREATER THAN 0.5 INCH WITHIN 18 INCHES OF THE RELEASE MECHANISM.
4. AT ALL POOL GATES, THE MANEUVERING CLEARANCES AT THE PUSH AND PULL SIDES OF THE GATES ARE PROVIDED INCLUDING AN ADDITIONAL 18" ADJACENT TO THE LATCH FOR A FORWARD PULL SIDE APPROACH AND AN ADDITIONAL 12" ADJACENT TO THE LATCH FOR A FORWARD PUSH SIDE APPROACH TO A GATE WITH BOTH A CLOSER AND A LATCH.
5. ALL STEEL GATE AND RAILINGS TO BE FABRICATED WITH CONTINUOUS WELDS, GROUND SMOOTH.
6. PRIME AND POWDERCOAT FINISH ALL STEEL PARTS. ALL STEEL COLOR TO MATCH FENCE COLOR.

2 / L403 6' HT. X 42" WIDTH POOL GATE

ELEVATION — 1/2" = 1'-0"

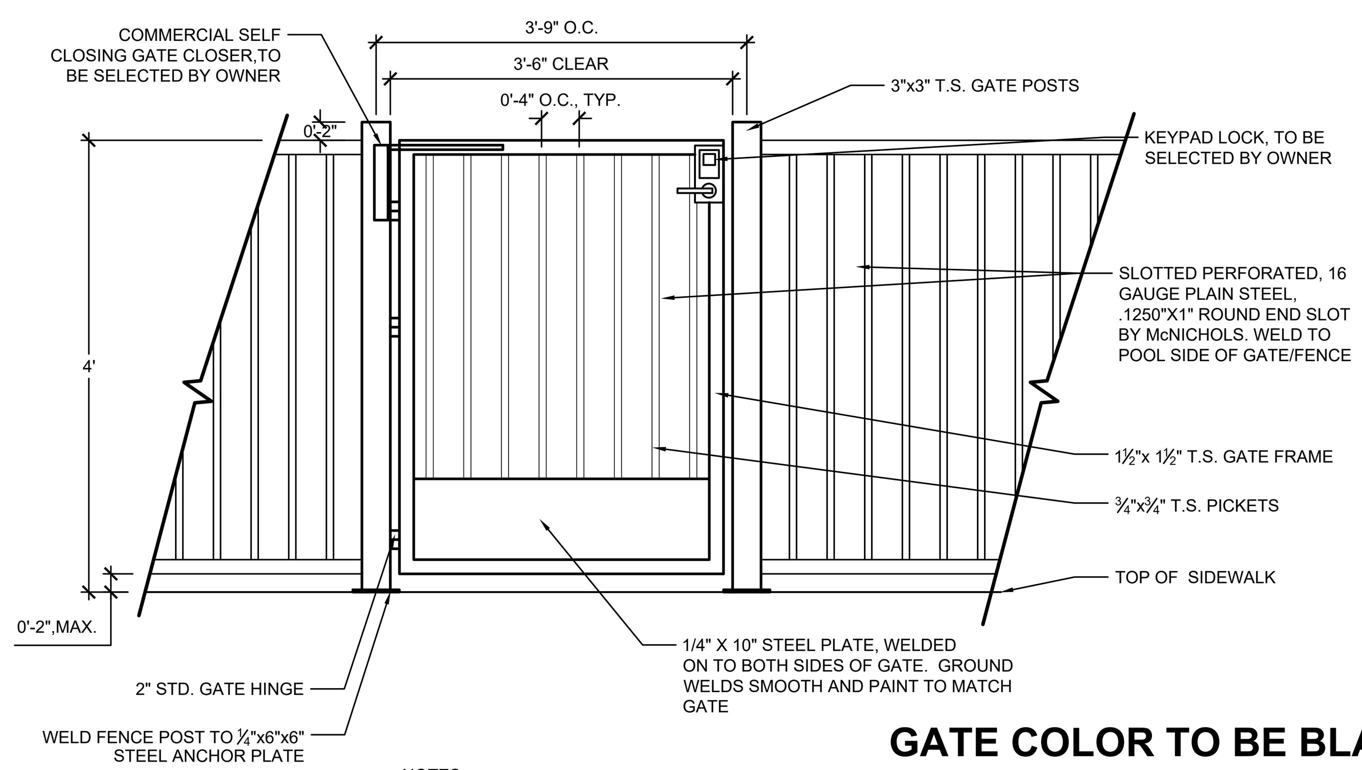


FENCE COLOR TO BE BLACK

NOTES:
1. POOL FENCE SHALL COMPLY WITH ALL CURRENT LOCAL, STATE AND FEDERAL GUIDELINES AND STANDARDS AND CURRENT STATE OF COLORADO POOL CODE.
2. MAXIMUM SPACE BETWEEN POSTS SHALL BE 6'-0".
3. FENCE POSTS TO BE LOCATED A MAXIMUM OF 4" FROM BUILDING.
4. ALL STEEL RAILINGS TO BE FABRICATED WITH CONTINUOUS WELDS, GROUND SMOOTH. PRIME AND POWDERCOAT FINISH.
5. ALL STEEL RAILING COLOR TO MATCH BUILDING RAILING.
6. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL BY OWNER AND LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
7. CONTRACTOR TO VERIFY CONCRETE FOOTING SIZE AND REINFORCEMENT WITH GEOTECH REPORT PRIOR TO INSTALLATION.
8. REFER TO MATERIALS PLAN FOR FENCE LOCATION.

3 / L403 4' HT. DOG PARK FENCE

SECTION ELEVATION — NOT TO SCALE

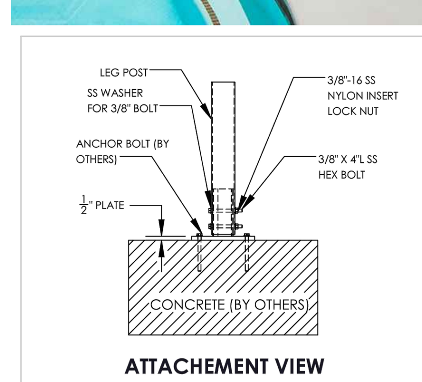


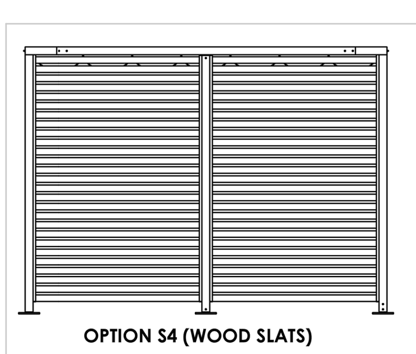
GATE COLOR TO BE BLACK

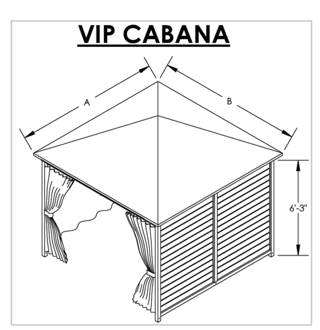
NOTES:
1. CONTRACTOR TO FABRICATE GATE FROM DEMOLISHED GATE MATERIALS WHERE POSSIBLE.
2. THE GATE AND FENCE SHALL HAVE NO OPENINGS GREATER THAN 0.5 INCH WITHIN 18 INCHES OF THE PANIC BAR BUTTON.
4. ALL STEEL GATE AND RAILINGS TO BE FABRICATED WITH CONTINUOUS WELDS, GROUND SMOOTH. PRIME AND PAINT FINISH.
5. ALL STEEL COLOR TO MATCH BUILDING RAILING.
6. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL BY OWNER AND LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
7. **ALL GATES TO COMPLY WITH CURRENT LOCAL, STATE AND FEDERAL ADA STANDARDS AND GUIDELINES.**
8. REFER TO MATERIALS PLAN FOR POOL GATE LOCATIONS.
9. FINAL GATE DESIGN MAY VARY

4 / L403 4' HT. X 42" WIDTH DOG PARK GATE

SECTION — NOT TO SCALE







academy
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1501 Beach Street
Montebello, CA 90640
323.721.2929 Fax 323.721.2924
www.academyinc.com
Info@academyinc.com
Lic. #750538

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MANUFACTURER:
CABANAS BY ACADEMY

STYLE:
THE VIP CABANA

FRAME SIZE:
8' x 8' x 6'-3"

OPTION S4: WOOD SLATS ON BOTH SIDES AND BACK OF CABANA

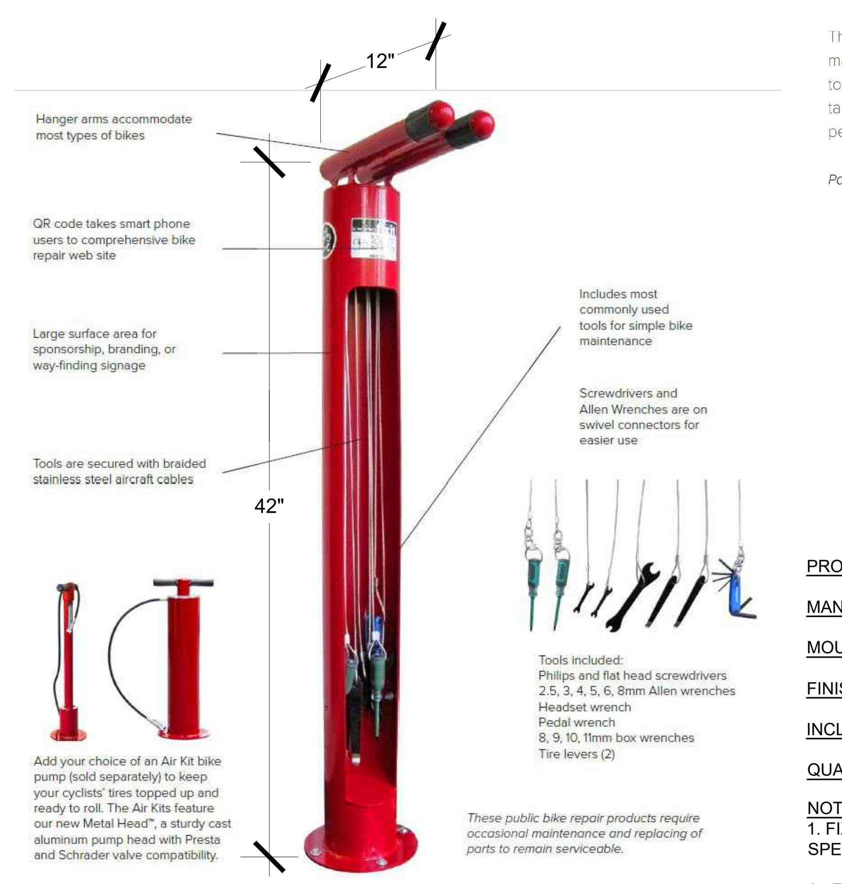
CANOPY FABRIC:
SUNBRELLA SHADE
COLOR: SLATE #4684

Slate 4684-0000

NOTES:
1. THIS DETAIL IS FOR DESIGN INTENT PURPOSES ONLY.
2. CONTRACTOR TO PROVIDE PRODUCT SUBMITTAL FOR APPROVAL PRIOR TO PROCUREMENT AND INSTALLATION..
3. METAL COLOR: BLACK
4. CANVAS COLOR: SUNBRELLA SHADE (SLATE #4684)

5 / L403 PREFABRICATED CABANA (H-10)

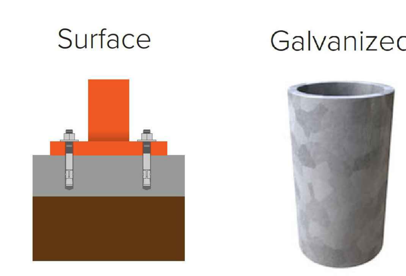
SECTION — NTS



The Fixit includes all the tools necessary to perform basic bike repairs and maintenance, from changing a flat to adjusting brakes and derailleurs. The tools are securely attached to the stand with stainless steel cables and tamper proof fasteners. Hanging the bike from the hanger arms allows the pedals and wheels to spin freely while making adjustments.

Patents D680,914 S1 and US 9,498,880 B2

DERO A PLAYCORE Company



PRODUCT: DERO FIXIT, BIKE REPAIR STATION

MANUFACTURER: DERO 1-888-337-6729 WWW.DERO.COM

MOUNTING TYPE: SURFACE

FINISH: GALVANIZED

INCLUDED OPTIONS: AIR KIT BIKE PUMP

QUANTITY: 1

NOTES:
1. FIXIT STATION TO BE SURFACE MOUNTED PER MANUFACTURER'S SPECIFICATIONS.
2. FIXIT STATION FINISH TO BE GALVANIZED.
3. FIXIT STATION SPACING PER MANUFACTURER'S RECOMMENDATIONS.

6 / L403 BIKE FIX-IT STATION (S-12)

SECTION — NOT TO SCALE

DERO A PLAYCORE Company

Beefed Up Security

For added security and peace of mind, the Heavy Duty Hoop Rack uses a larger, thicker pipe than our standard Hoop Rack. The Heavy Duty Hoop meets APBP guidelines for u-lock compatibility and two points of support for the bike.

PRODUCT: DERO HOOP RACK HEAVY DUTY BIKE RACK

MANUFACTURER: DERO 1-888-337-6729 WWW.DERO.COM

MOUNTING TYPE: IN-GROUND

FINISH: GALVANIZED

QUANTITY: 3

NOTES:
1. BIKE RACK TO BE IN-GROUND MOUNTED PER MANUFACTURER'S SPECIFICATIONS.
2. BIKE RACK FINISH TO BE GALVANIZED.
3. BIKE RACK SPACING PER MANUFACTURER'S RECOMMENDATIONS.

7 / L403 BIKE RACK (S-13)

SECTION — NOT TO SCALE

THE GARRETT COMPANIES
LANDSCAPE ARCHITECTURE
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NOT FOR CONSTRUCTION

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DRAWN BY:	TB / PR

PERMIT SUBMITTAL	03.25.2022
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#	DATE	DESCRIPTION
2	09.26.2022	ADDENDUM
3	12.07.2022	CITY COMMENTS

THE CITIZEN ON CONSTITUTION

OVERALL SITE
A PORTION OF THE NORTHEAST QUARTER OF SECTION 5,
TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M.
EL PASO COUNTY, COLORADO
PCD PROJECT NUMBER: PPR-22-29
LANDSCAPE PLANS

SITE DETAILS

L613

SPECIFICATIONS:

MANUFACTURER
VICTOR STANLEY

PRODUCT
PRSNA-10
6' LENGTH

COLOR/FINISH
FRAME: BLACK
SLATS: RECYCLED PLASTIC- MAPLE

CONTACT
SARAH KWON
(P): 410.257.7579
SARAHK@VICTORSTANLEY.COM
WWW.VICTORSTANLEY.COM

NOTE:
1. IMAGE IS FOR DESIGN INTENT PURPOSES ONLY.
2. REFER TO MATERIALS PLAN FOR BENCH LOCATIONS.
3. INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.

1 L404 DECORATIVE BENCH (S-01)

IMAGE — NOT TO SCALE

SPECIFICATIONS:

MANUFACTURER
VICTOR STANLEY

PRODUCT
RTH-24
DOME LID

COLOR/FINISH
FRAME: BLACK
SLATS: RECYCLED PLASTIC- MAPLE

CONTACT
SARAH KWON
(P): 410.257.7579
SARAHK@VICTORSTANLEY.COM
WWW.VICTORSTANLEY.COM

NOTE:
1. IMAGE IS FOR DESIGN INTENT PURPOSES ONLY.
2. REFER TO MATERIALS PLAN FOR TRASH RECEPTACLE LOCATIONS.
3. INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.

2 L404 TRASH RECEPTACLE (S-16)

IMAGE — NOT TO SCALE

Throw Us A Bone, Green

SPECIFICATIONS:

MANUFACTURER
GREAT AMERICAN PROPERTY MANAGEMENT

MODEL
METAL DELUXE PET WASTE STATION - DOG ART
SKU: RKPAW3B

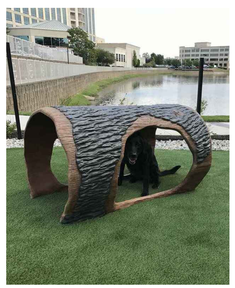
SIGNAGE MESSAGE
THROW US A BONE, GREEN

CONTACT:
GREAT AMERICAN PROPERTY MANAGEMENT
6701 CONCORD PARK DRIVE
HOUSTON, TX 77040
P:1.800.676.3979

NOTES:
1. REFER TO MATERIAL PLAN FOR PET WASTE STATION LOCATION.
2. INSTALL PET WASTE STATION PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.
3. DISPENSER AND POST LOCATION SHALL BE WITHIN ACCESSIBLE REACH (10") FROM ADJACENT ACCESSIBLE ROUTE.
4. **PET WASTE STATION DISPENSER AND RECEPTACLE OPENINGS SHALL BE MOUNTED BETWEEN 15" TO 48" ABOVE THE GROUND.**

3 L404 PET WASTE STATION (S-10)

IMAGE — NOT TO SCALE



SPECIFICATIONS:

MANUFACTURER
LIVIN THE DOG LIFE

MODEL
HAMMIE'S TUNNEL HOUSE

CONTACT:
LIVIN THE DOG LIFE
3815 RIVER CROSSING PKWY #100
INDIANAPOLIS, IN 46240
800-931-1562
www.livinthedoglife.com

SPECIFICATIONS:

MANUFACTURER
BARKPARK

MODEL
STEPPING STONES

CONTACT:
BARKPARK
1675 LOCUST STREET
RED BUD, ILLINOIS 62278
800-458-5872
www.dogparkproduct.com

SPECIFICATIONS:

MANUFACTURER
LIVIN THE DOG LIFE

MODEL
MINI HILL CLIMB

CONTACT:
LIVIN THE DOG LIFE
3815 RIVER CROSSING PKWY #100
INDIANAPOLIS, IN 46240
800-931-1562
www.livinthedoglife.com

NOTES:
1. INSTALL DOG PLAY EQUIPMENT PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.
2. REFER TO MATERIALS PLAN FOR DOG PLAY EQUIPMENT LOCATIONS.

4 L404 DOG PARK PLAY STRUCTURES (S-11)

IMAGE — NOT TO SCALE

SPECIFICATIONS:

MANUFACTURER
QCP

PRODUCT
CORNHOLE

COLOR
FRENCH GREY

CONTACT INFORMATION:
ANTHONY VARGAS
P: 951.256.3228
anthony.vargas@qcp-corp.com

NOTE:
1. OR APPROVED EQUAL.
2. REFER TO MATERIALS PLAN FOR LOCATION.
3. (2) TWO TOTAL TARGETS

5 L404 CORNHOLE (S-17)

IMAGE — NOT TO SCALE

SPECIFICATIONS:

MANUFACTURER
PRISM HARDSCAPES
WWW.PRISMHARDSCAPES.COM

VENDOR
WOODLAND DIRECT, INC.
WWW.WOODLANDDIRECT.COM
844-265-1252

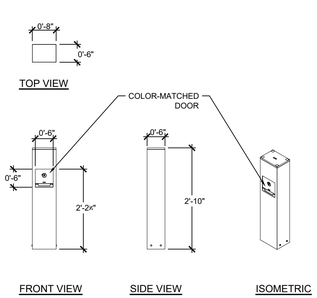
PRODUCT
TAVOLA 1 FIRE TABLE
56"L x 38"W x 16"H

MATERIAL/COLOR
MATERIAL: GLASS FIBER REINFORCED CEMENT
BURNER: STAINLESS STEEL INSERT, KEY VALVE IGNITION
COLOR: NATURAL
FUEL: NATURAL GAS (MAX. 90,000 BTUs)

NOTE:
1. REFER TO MATERIAL PLAN FOR FIRE TABLE LOCATION.
2. INSTALL FIRE TABLE PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.
3. INSTALLATION TO INCLUDE OUTDOOR COMMERCIAL 12-HOUR AUTOMATIC SHUTOFF TIMER AND COMMERCIAL EMERGENCY STOP BUTTON TO MEET ALL LOCAL CODES.

6 L404 FIRE TABLE (H-11)

IMAGE — NOT TO SCALE



SPECIFICATIONS:

MANUFACTURER
LANDSCAPE FORMS - LEGRAND

PRODUCT
BM (OUTDOOR POWER)
PP (POWER PEDESTAL)
1G1U (2-GANG,1 DUPLEX GFCI RECEPTACLE & 1 4-PORT USB OUTLET)

COLOR
LSIL (L-SILVER)

CONTACT INFORMATION:
LANDSCAPE FORMS
LARA MOFFAT
P: 972.740.3373

NOTE:
1. REFER TO LIGHTING PLAN FOR LOCATION.
2. INSTALL POWER PEDESTAL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.

7 L404 POWER/USB PEDESTAL (H-18)

PLAN, ELEVATION, ISOMETRIC — NOT TO SCALE

THE GARRETT COMPANIES
LANDSCAPE ARCHITECTURE
317-886-7923
1051 GREENWOOD SPRINGS BLVD #101
GREENWOOD, IN 46143
www.thegarrettco.com

NICHOLAS ALLEN SMITH
1436
02/28/2020
Original Date of Licensure
STATE OF COLORADO
LICENSED LANDSCAPE ARCHITECT

12/07/2022

NOT FOR CONSTRUCTION

PROJECT #:	*21-06*
DRAWN BY:	*TB / PR*

PERMIT SUBMITTAL	03.25.2022
SITE DEVELOPMENT PLAN	05.23.2022
COUNTY COMMENTS	08.19.2022
BID SET	09.12.2022

REVISION SCHEDULE

#	DATE	DESCRIPTION
2	09.26.2022	ADDENDUM
3	12.07.2022	CITY COMMENTS

THE CITIZEN ON CONSTITUTION

OVERALL SITE
A PORTION OF THE NORTHEAST QUARTER OF SECTION 5,
TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M.
EL PASO COUNTY, COLORADO
PCD PROJECT NUMBER: PPR-22-29

LANDSCAPE PLANS

SITE DETAILS

L614

THE CITIZEN ON CONSTITUTION

SITE DEVELOPMENT PLAN

A PORTION OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M., CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

LEGAL DESCRIPTION

PARCEL A:

A PARCEL OF LAND LOCATED IN SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 5; THENCE SOUTH 89°53'50" WEST, 30.00 FEET ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 5 TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF MARKSHEFFEL ROAD; THENCE SOUTH 00°20'42" WEST, 60.00 FEET ALONG SAID WESTERLY RIGHT-OF-WAY LINE TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF PROPOSED 120.00 FOOT WIDE RIGHT-OF-WAY OF CONSTITUTION AVENUE TO THE POINT OF BEGINNING OF THE TRACT OF LAND HEREIN DESCRIBED; THENCE SOUTH 00°20'42" WEST, 435.00 FEET ALONG SAID WESTERLY RIGHT-OF-WAY LINE OF MARKSHEFFEL ROAD TO THE SOUTHEAST CORNER OF THE TRACT OF LAND DESCRIBED IN BOOK 2083 AT PAGE 587 OF THE RECORDS OF SAID COUNTY; THENCE SOUTH 89°53'50" WEST, 1292.28 FEET ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE TO THE POINT OF BEGINNING, EL PASO COUNTY, COLORADO.

EXCEPT THAT PORTION DESCRIBED AS FOLLOWS: THAT PORTION OF THE NORTHEAST ONE-QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M., SITUATE IN EL PASO COUNTY, COLORADO, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 5 THENCE SOUTH 89°53'50" WEST ON THE NORTH LINE THEREOF, 1322.28 FEET TO THE NORTHWEST CORNER OF SAID NORTHEAST ONE-QUARTER OF THE NORTHEAST ONE-QUARTER OF SECTION 5, THENCE SOUTH 00°20'41" WEST ON THE WEST LINE OF SAID NORTHEAST ONE-QUARTER OF SECTION 5, 60.00 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF PROPOSED 120.00 FOOT RIGHT-OF-WAY OF CONSTITUTION AVENUE AND THE POINT OF BEGINNING OF THE TRACT OF LAND HEREIN DESCRIBED, THENCE (1) CONTINUE ON THE LAST MENTIONED COURSE 435.00 FEET; (2) NORTH 89°53'50" EAST, 172.42 FEET; (3) NORTH 00°20'41" EAST 435.00 FEET TO A POINT ON SAID SOUTHERLY RIGHT-OF-WAY LINE OF PROPOSED CONSTITUTION AVENUE; (4) SOUTH 89°53'50" WEST ON SAID SOUTHERLY RIGHT-OF-WAY LINE OF PROPOSED CONSTITUION AVENUE, 172.42 FEET TO THE POINT OF BEGINNING.

EXCEPT THAT PORTION CONVEYED TO THE BOARD OF COUNTY COMMISSIONER, EL PASO COUNTY, COLORADO IN WARRANTY DEED RECORDED JUNE 9, 2010 UNDER RECEPTION NO. 210054574.

COUNTY OF EL PASO,
STATE OF COLORADO.

PARCEL B:

THAT PORTION OF THE NORTHEAST ONE-QUARTER OF THE NORTHEAST ONE-QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, SITUATE IN COUNTY EL PASO, STATE OF COLORADO AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 5, THENCE SOUTH 89°53'50" WEST ON THE NORTH LINE THEREOF, 1,322.28 FEET TO THE NORTHWEST CORNER OF SAID NORTHEAST ONE-QUARTER OF THE NORTHEAST ONE-QUARTER OF SECTION 5, THENCE SOUTH 00°20'41" WEST ON THE WEST LINE OF SAID NORTHEAST ONE-QUARTER OF SECTION 5, 60.00 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF PROPOSED 120.00 FOOT RIGHT OF WAY OF CONSTITUTION AVENUE AND THE POINT OF BEGINNING OF THE TRACT OF LAND HEREIN DESCRIBED, THENCE (1) CONTINUE ON LAST MENTIONED COURSE, 435.00 FEET; (2) NORTH 89°53'50" EAST, 172.42 FEET; (3) NORTH 00°20'41" EAST, 435.00 FEET TO A POINT ON SAID SOUTHERLY RIGHT OF WAY LINE OF PROPOSED CONSTITUTION AVENUE; (4) SOUTH 89°53'50" WEST ON SAID SOUTHERLY RIGHT OF WAY LINE OF PROPOSED CONSTITUTION AVENUE, 172.42 FEET TO A POINT OF BEGINNING,

COUNTY OF EL PASO,
STATE OF COLORADO.

(PER TITLE COMMITMENT FILE NO. NCS-1074278-INDY AS PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY.)

GENERAL NOTES

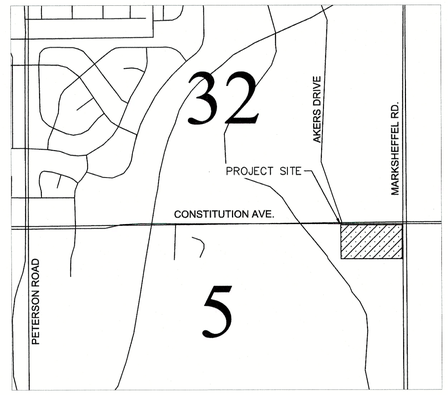
1. BASED ON ELEVATION DATA, THE APPLICANT WILL NEED TO FILE FEDERAL AVIATION ADMINISTRATION (FAA) FORM 7460-1 "NOTICE OF PROPOSED CONSTRUCTION OR ALTERATION" FOR ANY NEW VERTICAL DEVELOPMENT AT THIS SITE, INCLUDING TEMPORARY CONSTRUCTION EQUIPMENT, AND PROVIDE FAA DOCUMENTATION TO THE AIRPORT BEFORE THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES; FAA'S WEBSITE (HTTPS://OEAAA.FAA.GOV/OEAAA/EXTERNAL/PORTAL.ISP).
2. THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

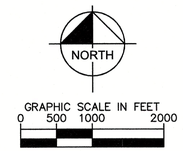
SITE DATA

ZONING CLASSIFICATION:	RESIDENTIAL, MULTI-DWELLING (RM-30)
LAND USE:	RESIDENTIAL, MULTI-FAMILY
JURISDICTION:	EL PASO COUNTY
SITE ADDRESS:	7640 & 7750 CONSTITUTION AVE.
TAX SCHEDULE NO.:	5405104075 AND 5405104074
BUILDING SETBACKS:	25' FRONT SETBACK (AKERS DRIVE) 15' SIDE SETBACK 15' REAR SETBACK
MAXIMUM LOT COVERAGE:	60%
PROPOSED EASEMENTS:	REFER TO FINAL PLAT
LANDSCAPE:	5% OF INTERIOR LOT (NOT INCLUDING LANDSCAPE BUFFER)
SITE COVERAGE:	BUILDING – 2.55 AC | 26%± PAVEMENT/HARDSCAPE – 4.42 AC | 45%± LANDSCAPING (INCLUDES OPEN SPACE) – 2.85 AC | 29%±

BUILDING DATA

BUILDING HEIGHT:	
PROPOSED:	40.0'
MAXIMUM BY CODE:	40.0
PROPOSED LOT COVERAGE:	26%±
PROPOSED BUILDING GROSS SF:	±310,730 SF
NO BUILD AREAS:	N/A





SITE DEVELOPMENT PLAN	
Sheet Number	Sheet Title
C1.0	COVER SHEET
C2.0	OVERALL SITE INDEX PLAN
C2.1	SITE PLAN (W)
C2.2	SITE PLAN (C)
C2.3	SITE PLAN (E)
C2.4	GRADING PLAN (W)
C2.5	GRADING PLAN (C)
C2.6	GRADING PLAN (E)
C3.0	UTILITY PLAN COVER SHEET
C3.1	UTILITY PLAN NOTES
C3.2	UTILITY PLAN NOTES
C3.3	UTILITY SERVICE PLAN
C3.4	UTILITY SERVICE PLAN
C3.5	WATER PLAN
C3.6	WATER PLAN
C3.7	SAN. SEWER PLAN & PROFILE LINE A
C3.8	SAN. SEWER PLAN & PROFILE LINE A
C4.0	STORM PLAN & PROFILE COVER SHEET
C4.1	STORM PLAN AND PROFILE LINE A
C4.2	STORM PLAN AND PROFILE LINE B & C
C4.3	STORM PLAN AND PROFILE LINE D
C4.4	STORM PLAN AND PROFILE LINE D
C4.5	STORM PLAN AND PROFILE LINE E
C4.6	STORM PLAN AND PROFILE LINE F
C4.7	STORM PLAN AND PROFILE LINE F
C4.8	STORM PLAN AND PROFILE LINE G
C4.9	STORM PLAN AND PROFILE LINE H
C4.10	STORM PLAN AND PROFILE LINE I & J
C4.11	DETENTION POND PLAN AND DETAILS
C5.0	CONSTRUCTION DETAILS
C5.1	CONSTRUCTION DETAILS

* SHEETS PROVIDED AS SEPARATE DOCUMENTS

* BUILDING ELEVATION PLANS	
SHEET NUMBER	SHEET TITLE
A4-00	BUILDING A ELEVATIONS
A4-01	BUILDING A ELEVATIONS
A4-02	BUILDING A ELEVATIONS
A4-03	BUILDING A ELEVATIONS
A4-10	BUILDING B ELEVATIONS
A4-11	BUILDING B ELEVATIONS
A4-12	BUILDING B ELEVATIONS
A4-13	BUILDING B ELEVATIONS
* FLOOR PLANS	
SHEET NUMBER	SHEET TITLE
A3-01	BUILDING A 1ST FLOOR PLANS
A3-02	BUILDING A 2ND FLOOR PLANS
A3-03	BUILDING A 3RD FLOOR PLANS
A3-04	BUILDING A ROOF PLANS
A3-11	BUILDING B 1ST FLOOR PLANS
A3-12	BUILDING B 2ND FLOOR PLANS
A3-13	BUILDING B 3RD FLOOR PLANS
A3-14	BUILDING B ROOF PLANS
* LANDSCAPE PLANS	
SHEET NUMBER	SHEET TITLE
--	COVER SHEET
L600	OVERALL LANDSCAPE PLAN
L601	LANDSCAPE PLAN
L602	LANDSCAPE PLAN
L603	LANDSCAPE PLAN
L604	LANDSCAPE PLAN
L605	LANDSCAPE PLAN
L606	LANDSCAPE PLAN
L607	COURTYARD ENLARGEMENT
L608	NOTES AND TABULATIONS
L609	LANDSCAPE DETAILS
L610	LANDSCAPE DETAILS & NOTES
L611	SITE DETAILS
L612	SITE DETAILS
L613	SITE DETAILS
L614	SITE DETAILS
* LIGHTING PLANS	
SHEET NUMBER	SHEET TITLE
E0-01	SITE PLAN – ELECTRICAL
E0-02	SITE PLAN – PHOTOMETRICS
E0-03	SITE PLAN – CUT SHEETS
E0-04	SITE PLAN – CUT SHEETS
E0-05	SITE PLAN – CUT SHEETS
* SIGN PLANS	
SHEET NUMBER	SHEET TITLE
L700	OVERALL SIGN PLAN
L701	SIGN DETAILS

LAND AREA:

TOTAL PROPERTY AREA: +/- 9.812 ACRES

BENCHMARK:

ELEVATIONS ARE BASED UPON CITY OF COLORADO SPRINGS FIMS BENCHMARK "BLT104" (ELEVATION=6452.43 NGVD29)

SOIL TYPE:

THE SOIL ON SITE IS USGS HYDROLOGIC SOIL GROUP A/B.

FEMA CLASSIFICATION

FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP, MAP NUMBER 08041C0756G, EFFECTIVE DATE DECEMBER 7, 2018, INDICATES THIS PARCEL OF LAND TO BE LOCATED IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).

PARKING COUNTS

	PARKING REQUIRED		PARKING PROVIDED
OFF-STREET PARKING	1 BEDROOM: 1.5/DU = 144	452	293 (REGULAR) 93 (COMPACT) 66 (GARAGE) TOTAL = 452
	2 BEDROOM: 1.7/DU = 160		
	3 BEDROOM: 2.0/DU = 72		
	GUEST: 1/3 DU = 76		
ADA	1/25 SPACES = 19		19 (INCLUDES 2 ADA GARAGE)
BICYCLE PARKING	5% OF REQUIRED STALLS = 23		23

CONTACTS:

OWNER:
THE GARRETT COMPANIES
1051 GREENWOOD SPRINGS BLVD, SUITE 101
GREENWOOD, IN 46143
TEL: (317) 886-7926
CONTACT: KARL STOUT

EL PASO COUNTY:
EL PASO COUNTY
PCD DEPARTMENT
2880 INTERNATIONAL CIRCLE, SUITE 110
COLORADO SPRINGS, CO 80910
PHONE: (719) 520-6300

ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
2 NORTH NEVADA AVENUE, SUITE 300
COLORADO SPRINGS, CO 80903
TEL: (719) 453-0180
CONTACT: MITCHELL HESS, P.E.

SURVEYOR:
BARRON LAND, LLC
2790 N. ACADEMY BLVD. SUITE 311
COLORADO SPRINGS, CO 80917
TEL: (719) 360-6827
CONTACT: SPENCER BARRON, PLS

PROPERTY OWNER ACKNOWLEDGEMENT

CITIZEN ON CONSTITUTION, LLC, BEING THE OWNER(S) OF THE LAND DESCRIBED HEREIN HAVE CAUSED SAID LAND TO BE SITE PLANNED UNDER THE NAME OF CITIZEN ON CONSTITUTION. ALL CONDITIONS, TERMS, AND SPECIFICATIONS DESIGNATED OR DESCRIBED ON THIS DOCUMENT SHALL BE BINDING ON THE OWNERS, THEIR HEIRS, SUCCESSORS AND ASSIGNS.

NO CHANGES MAY BE MADE TO THIS SITE DEVELOPMENT PLAN WITHOUT COUNTY APPROVAL. MINOR CHANGES TO THE SITE DEVELOPMENT PLAN MAY BE APPROVED ADMINISTRATIVELY BY THE COUNTY PLANNING DEPARTMENT. MAJOR CHANGES TO THIS SITE DEVELOPMENT PLAN, ESPECIALLY DELETIONS OF APPROVED ITEMS OR SUBSTANTIAL CHANGES IN BUILDING LOCATION SHALL BE SUBJECT TO THE SAME APPLICATION, REVIEW AND APPEAL PROCESSES APPLICABLE TO THE ORIGINAL SITE DEVELOPMENT PLAN. ENGINEERING, GRADING, AND CONSTRUCTION PLANS ARE NOT PART OF THIS APPROVAL.

IN WITNESS WHEREOF, WE HAVE HEREUNTO SET OUR HANDS AND SEALS THIS 9 DAY OF December, 2022

[PROPERTY OWNER]

NOTARY CERTIFICATE
(STATE OF Indiana)
(COUNTY OF Johnson)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 9th DAY OF December, 2022, BY Eric Garrett, Manager of (NAME AND TITLE) Citizen on Constitution, LLC

MY COMMISSION EXPIRES: May 10, 2028

ADDRESS OF NOTARY: 4010 W 100 N Bargersville, IN 46106

NOTARY PUBLIC

RACHEL MCNICHOLAS
Notary Public - Seal
Johnson County - State of Indiana
Commission Number NP0726701
My Commission Expires May 10, 2028

OWNER/DEVELOPER STATEMENT

I, THE OWNER/DEVELOPER ACCEPT THE CONDITIONS AND RESTRICTIONS AS SET FORTH ON THE FINAL DEVELOPMENT PLAN.

CITIZEN ON CONSTITUTION, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS SUCCESSORS AND/OR ASSIGNS

BY: Eric Garrett

TITLE: Manager

ADDRESS: 1051 Greenwood Springs Blvd
Greenwood, IN 46143

NO.	REVISION	BY	DATE	APPR.

Kimley»Horn
2022 KIMLEY-HORN AND ASSOCIATES, INC.
2 North Nevada Avenue, Suite 300
Colorado Springs, CO 80903 (303) 228-2300

DESIGNED BY: MOH
DRAWN BY: JWM
CHECKED BY: MOH
DATE: 12/07/2022

THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
SITE DEVELOPMENT PLAN
COVER SHEET

COLORADO LICENSED
MITCHELL O. HESS
53916
12/12/2022
PROFESSIONAL ENGINEER

PROJECT NO.
096481004

SHEET
C1.0

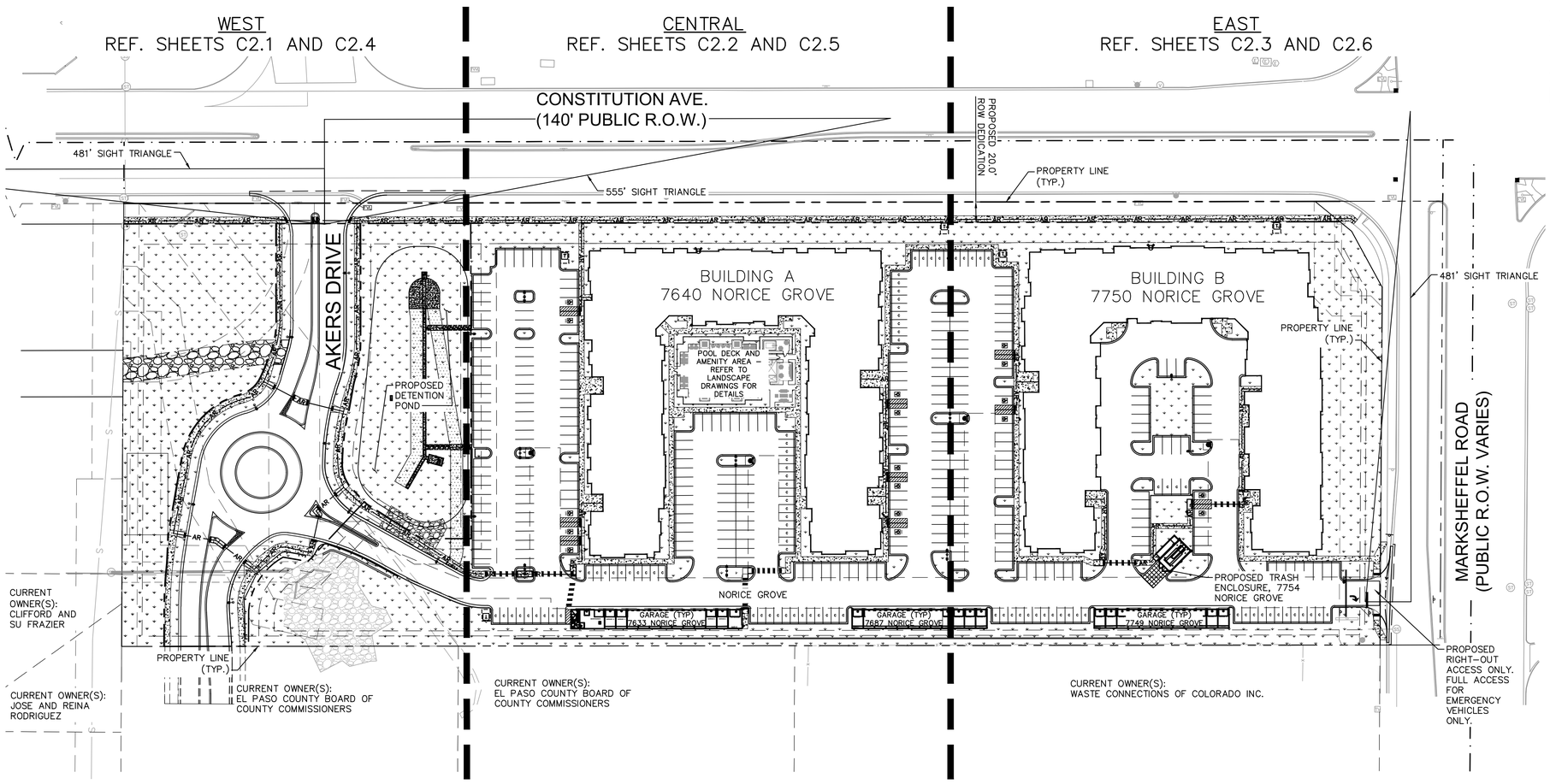
PCD PROJECT NUMBER: PPR-22-029

K:\DEN_Civil\096481004 - El Paso Constitution\CADD\PlanSheets\SDP\096481004_SDP-CV.dwg Hess, Mitchell 12/7/2022 10:04 PM

THE CITIZEN ON CONSTITUTION

SITE DEVELOPMENT PLAN

A PORTION OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M.,
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



LEGEND

- PROPERTY LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- AR — ACCESSIBLE ROUTE
- PROPOSED LANDSCAPE
- (#) PARKING COUNT
- (#C) COMPACT PARKING COUNT
- EXISTING RIPRAP

RETAINING WALL NOTE

1. FALL PROTECTION RAILING SHALL BE PROVIDED AT ALL RETAINING WALLS THAT ARE 30" IN HEIGHT OR TALLER.
2. REFER TO SHEET 14 OF THE AKERS DRIVE & ACCESS ROAD ROUNDABOUT ROADWAY CONSTRUCTION DOCUMENTS FOR THE FALL PROTECTION DETAILS.

811 Know what's **below.** **Call** before you dig.

CALL UTILITY NOTIFICATION CENTER OF COLORADO
1-800-922-1987
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES

NORTH

GRAPHIC SCALE IN FEET
0 30 60 120

NO.	REVISION	BY	DATE	APPR.

Kimley»Horn
2022 KIMLEY-HORN AND ASSOCIATES, INC.
2 North Nevada Avenue, Suite 300
Colorado Springs, CO 80903 (303) 228-2300

DESIGNED BY: MOH
DRAWN BY: JWM
CHECKED BY: MOH
DATE: 12/07/2022

THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
SITE DEVELOPMENT PLAN
OVERALL SITE INDEX PLAN

COLORADO LICENSED
MICHELL G. HESS
53916
12/12/2022
PROFESSIONAL ENGINEER

PROJECT NO.
096481004

SHEET
C2.0

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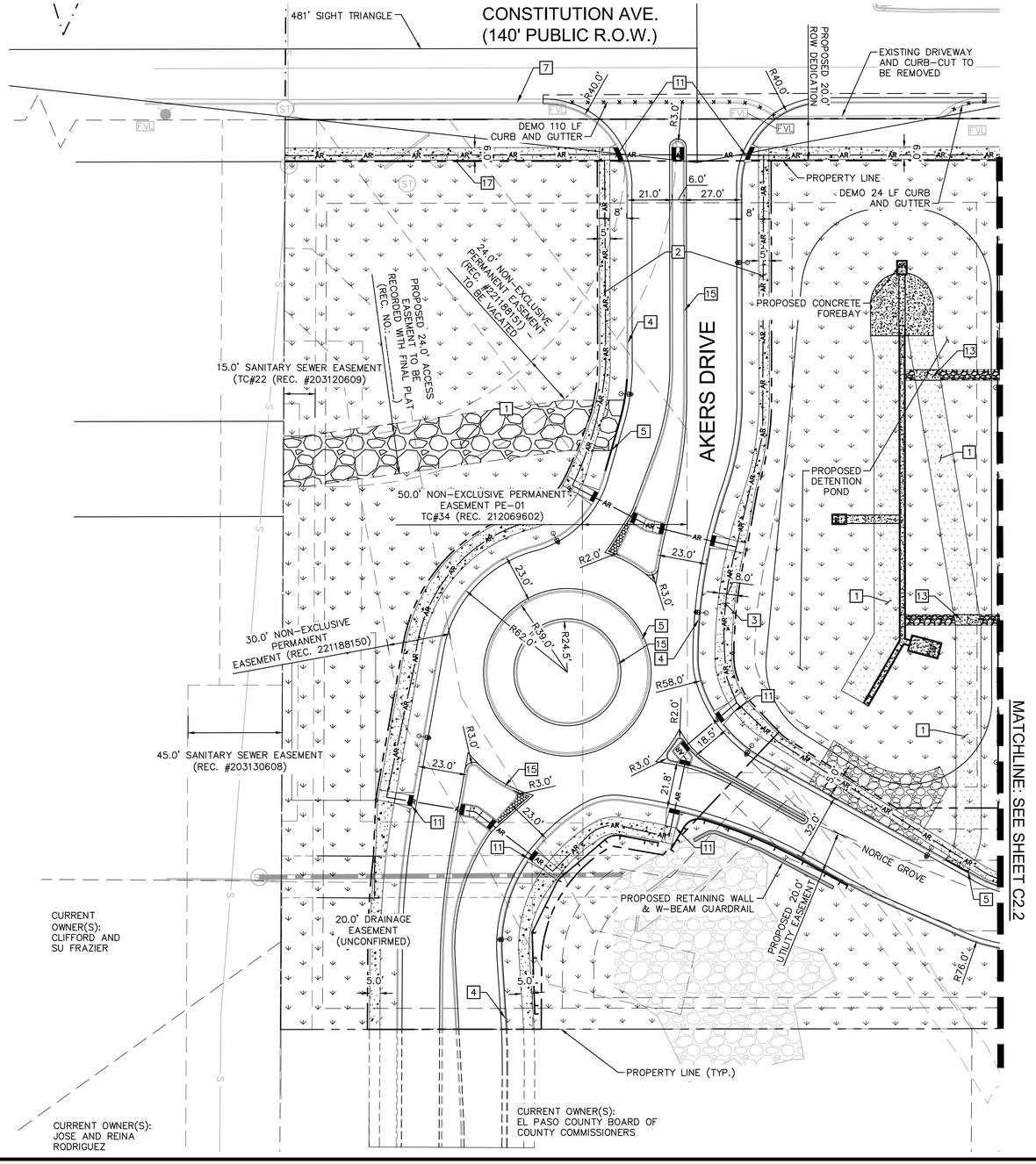
PCD PROJECT NUMBER: PPR-22-029

THE CITIZEN ON CONSTITUTION

SITE DEVELOPMENT PLAN

A PORTION OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M., CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



LEGEND

- PROPERTY LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- ACCESSIBLE ROUTE
- PROPOSED LANDSCAPE
- PARKING COUNT
- COMPACT PARKING COUNT
- EXISTING RIPRAP

KEYNOTE LEGEND

1. PROPOSED MAINTENANCE ACCESS ROAD, REFERENCE SHEET C4.11 FOR DETAILS
2. PROPOSED 5' WIDE CONCRETE SIDEWALK PER COLORADO SPRING STANDARD DRAWING D-2, REFERENCE SHEET C5.0 FOR DETAILS
3. PROPOSED 8' WIDE CONCRETE SIDEWALK PER COLORADO SPRING STANDARD DRAWING D-2, REFERENCE SHEET C5.0 FOR DETAILS
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15. PROPOSED 6" VERTICAL CURB (TYPE B) PER EL PASO COUNTY STANDARD DRAWING SD_2-20, REFERENCE SHEET C5.0 FOR DETAILS
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18. PROPOSED BIKE RACK WITH 6 SPACES

811 Know what's below. Call before you dig.

CALL UTILITY NOTIFICATION CENTER OF COLORADO
1-800-922-1987
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES

NORTH

GRAPHIC SCALE IN FEET
0 15 30 60

NO.	REVISION	BY	DATE	APPR.

Kimley»Horn
2022 KIMLEY-HORN AND ASSOCIATES, INC.
2 North Nevada Avenue, Suite 300
Colorado Springs, CO 80903 (303) 228-2300

DESIGNED BY: MOH
DRAWN BY: JWM
CHECKED BY: MOH
DATE: 12/07/2022

THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
SITE DEVELOPMENT PLAN
SITE PLAN (W)

COLORADO LICENSED
MICHELL G. HESS
53916
12/12/2022
PROFESSIONAL ENGINEER

PROJECT NO. 096481004

SHEET C2.1

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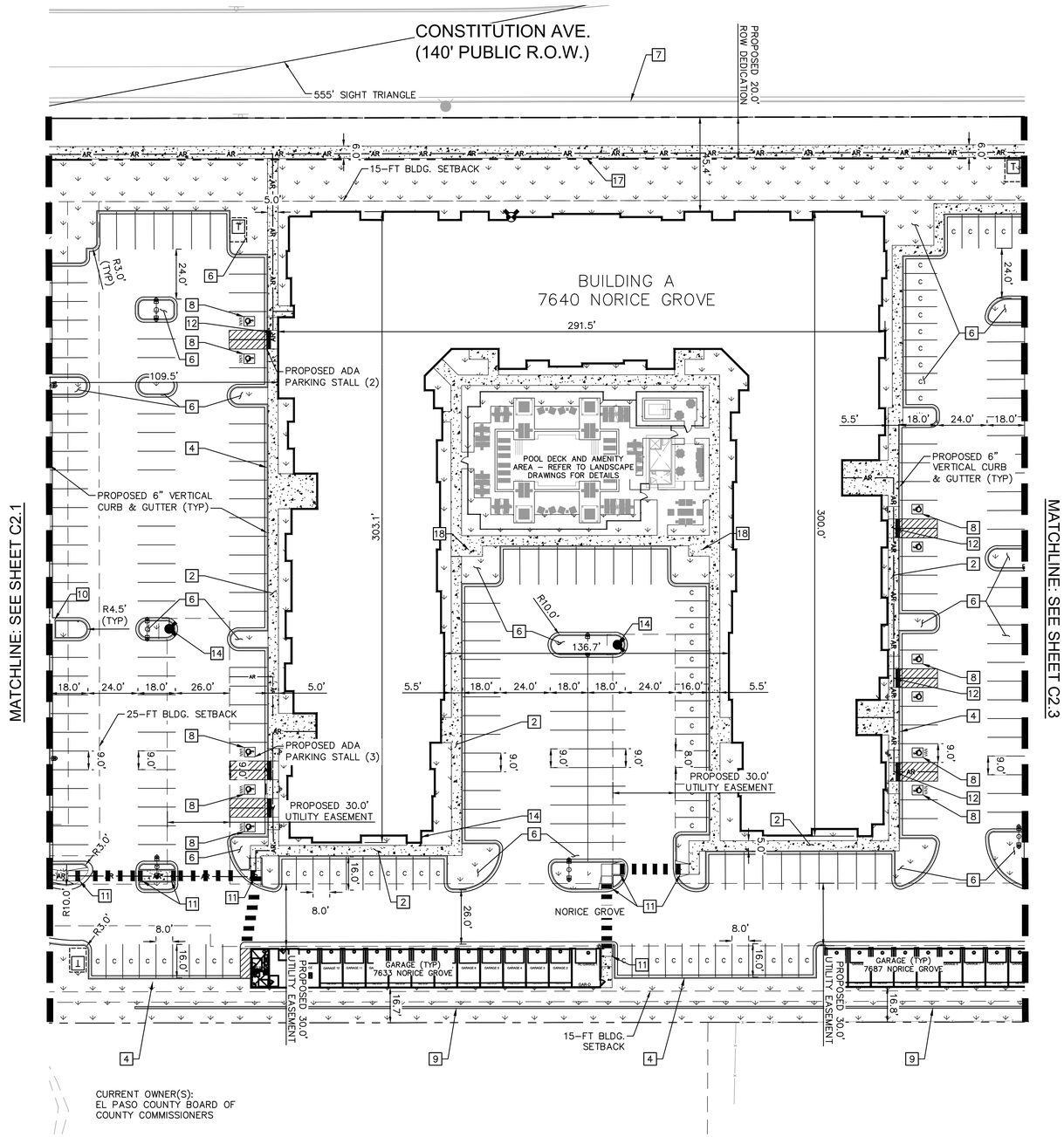
PCD PROJECT NUMBER: PPR-22-029

THE CITIZEN ON CONSTITUTION

SITE DEVELOPMENT PLAN

A PORTION OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M.,
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



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NORTH

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2 North Nevada Avenue, Suite 300
Colorado Springs, CO 80903 (303) 228-2300

DESIGNED BY: MOH
DRAWN BY: JWM
CHECKED BY: MOH
DATE: 12/07/2022

THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
SITE DEVELOPMENT PLAN
SITE PLAN (C)

COLORADO LICENSED
MICHELL O. HESS
53916
12/12/2022
PROFESSIONAL ENGINEER

PROJECT NO.
096481004

SHEET
C2.2

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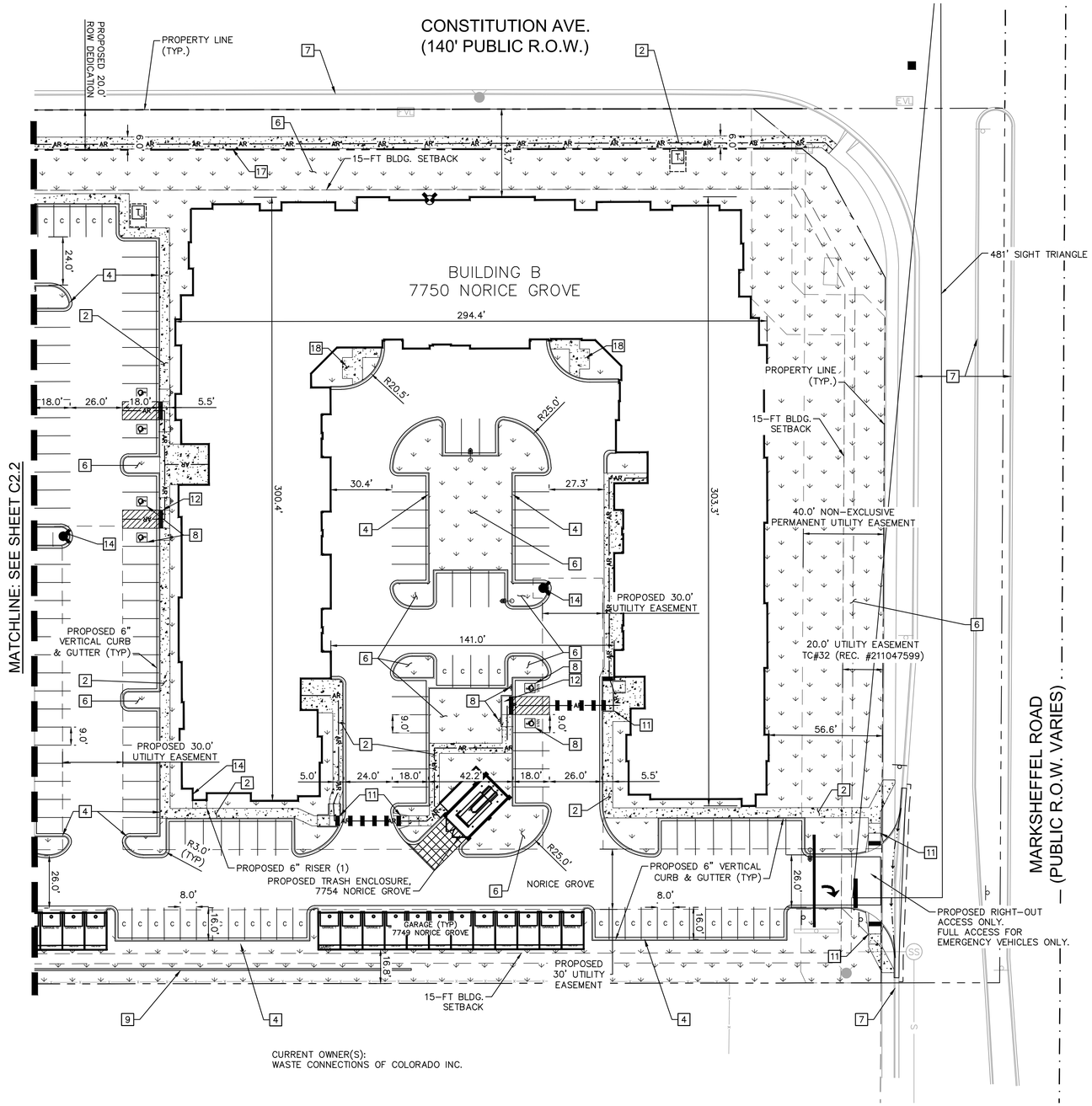
THE CITIZEN ON CONSTITUTION

SITE DEVELOPMENT PLAN

A PORTION OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M.,
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



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NORTH

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0 15 30 60

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Kimley»Horn
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2 North Nevada Avenue, Suite 300
Colorado Springs, CO 80903 (303) 228-2300

DESIGNED BY: MOH
DRAWN BY: JWM
CHECKED BY: MOH
DATE: 12/07/2022

THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
SITE DEVELOPMENT PLAN
SITE PLAN (E)

COLORADO LICENSED
MICHELL O. HESS
53916
12/12/2022
PROFESSIONAL ENGINEER

PROJECT NO.
096481004

SHEET
C2.3

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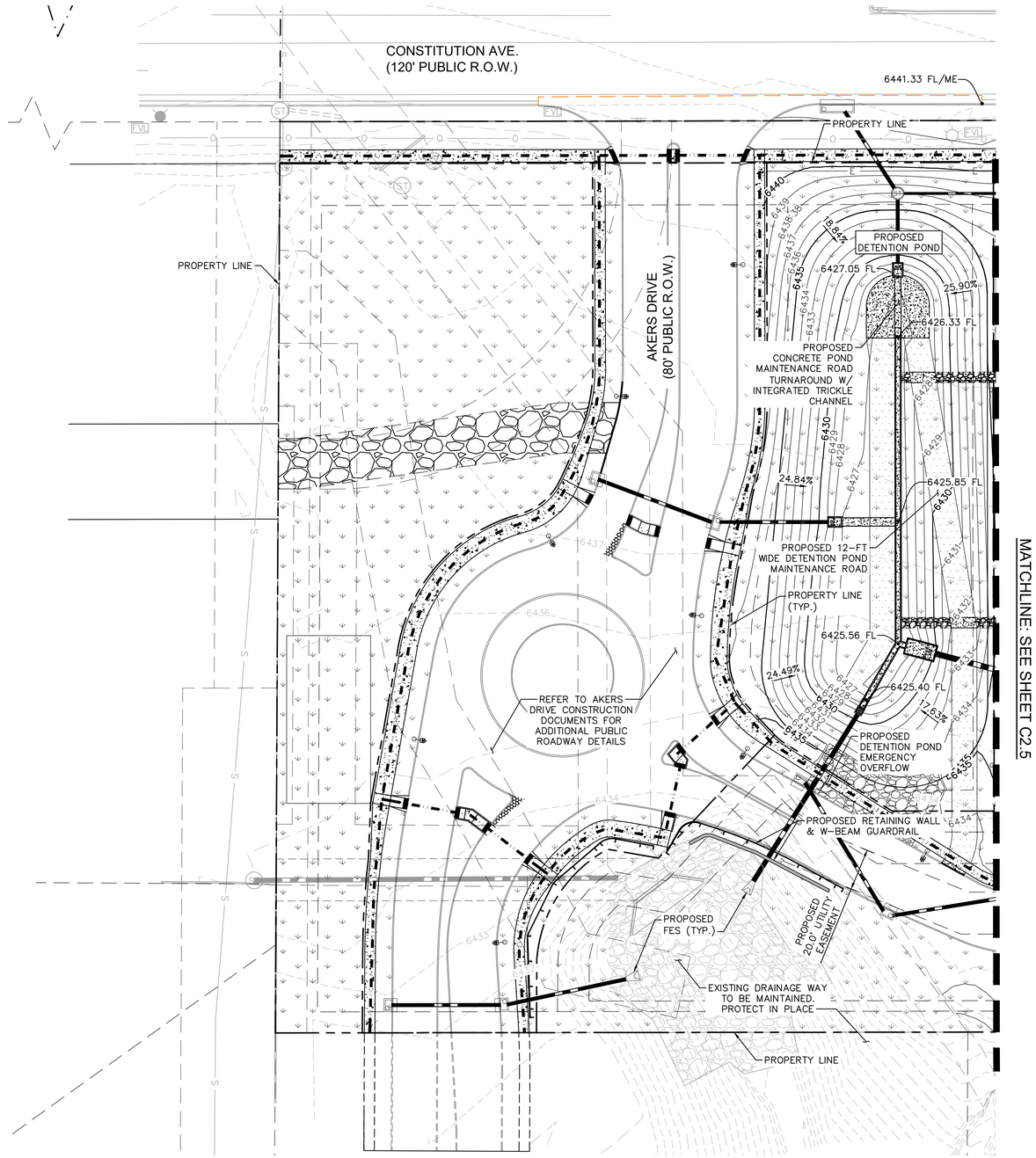
PCD PROJECT NUMBER: PPR-22-029

THE CITIZEN ON CONSTITUTION

SITE DEVELOPMENT PLAN

A PORTION OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M., CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



LEGEND

- PROPERTY LINE
- 50 — PROPOSED MAJOR CONTOURS
- 49 — PROPOSED MINOR CONTOURS
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- PROPOSED STORM PIPES
- ADA ROUTE
- ADA PARKING AND ACCESS. SLOPES NOT TO EXCEED 2% IN THIS AREA
- PROPOSED STORM DRAIN
- X.XX% — DRAINAGE SLOPE DIRECTION

NOTES:

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THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
SITE DEVELOPMENT PLAN
GRADING PLAN (W)

COLORADO LICENSED
MITCHELL O. HESS
53916
12/12/2022
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PROJECT NO.
096481004

SHEET
C2.4

NORTH

GRAPHIC SCALE IN FEET
0 15 30 60

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PCD PROJECT NUMBER: PPR-22-029

THE CITIZEN ON CONSTITUTION

SITE DEVELOPMENT PLAN

A PORTION OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M.,
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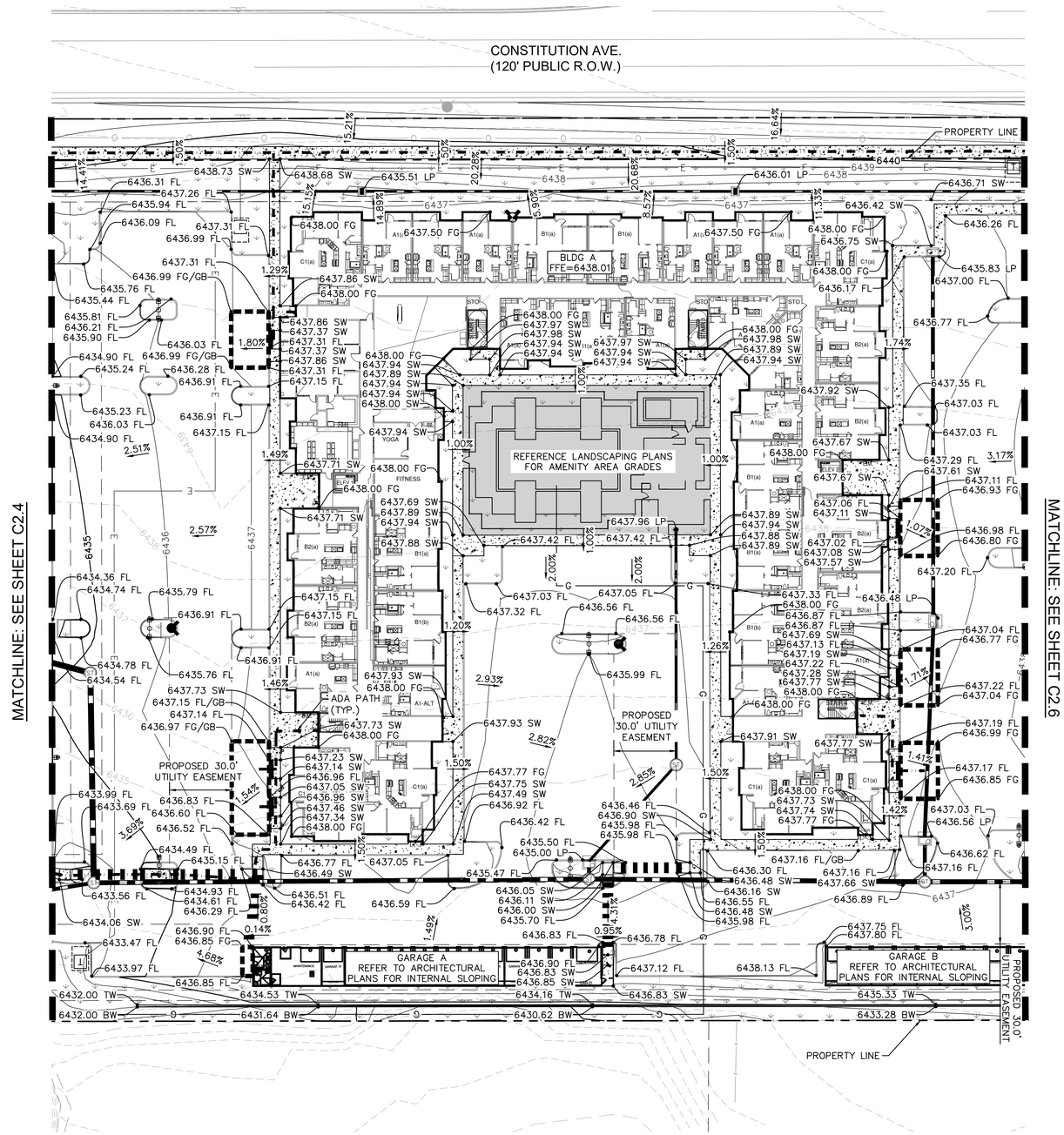

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THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
SITE DEVELOPMENT PLAN
GRADING PLAN (C)

COLORADO LICENSED
RECEIVED
53916
12/12/2022
PROFESSIONAL ENGINEER

PROJECT NO.
096481004

SHEET
C2.5

NORTH

GRAPHIC SCALE IN FEET
0 15 30 60

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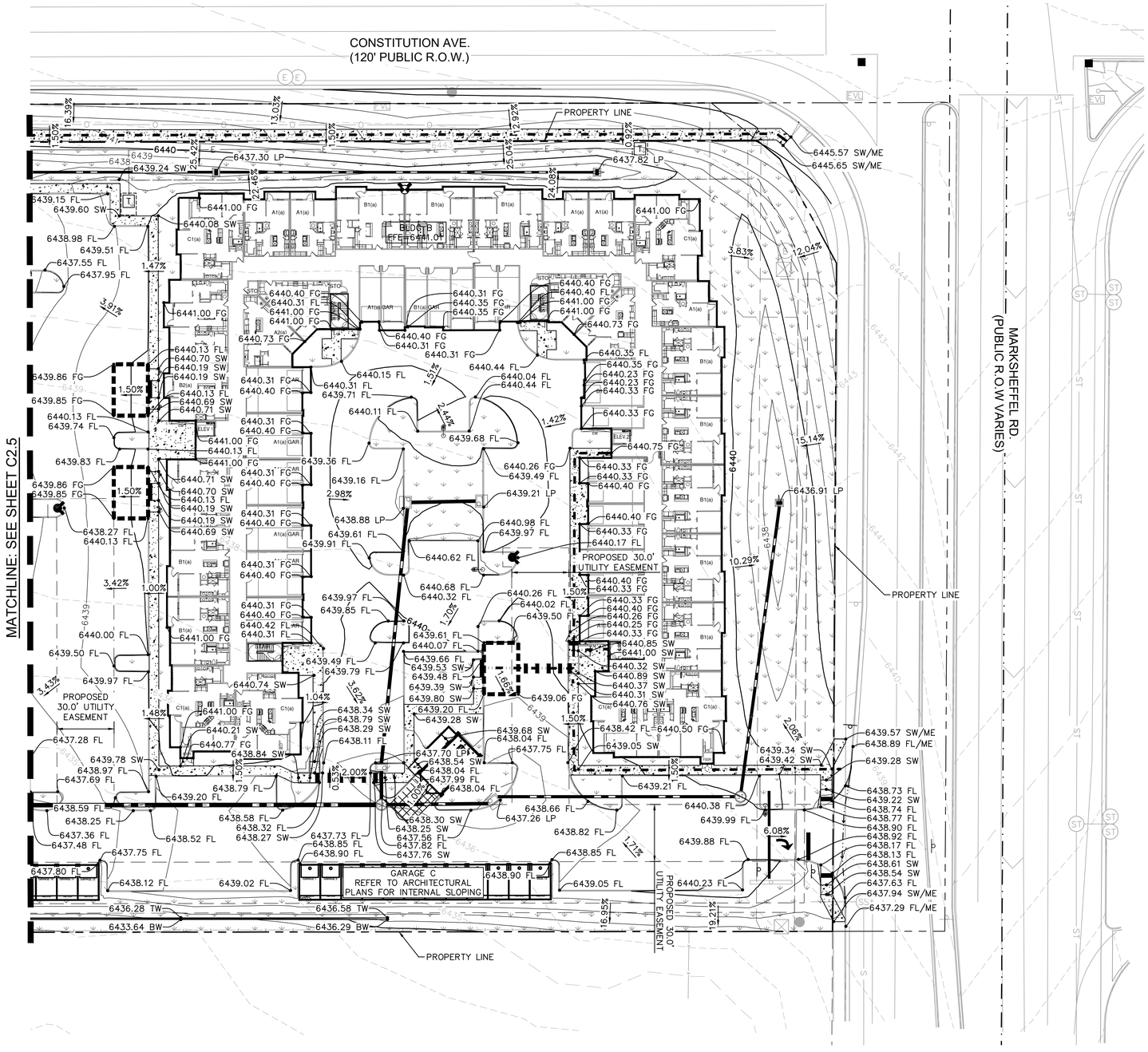
THE CITIZEN ON CONSTITUTION

SITE DEVELOPMENT PLAN

A PORTION OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M., CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



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THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
SITE DEVELOPMENT PLAN
GRADING PLAN (E)

COLORADO LICENSED
MICHELL O. HESS
53916
12/12/2022
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PROJECT NO.
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SHEET
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PCD PROJECT NUMBER: PPR-22-029

THE CITIZEN ON CONSTITUTION

UTILITY AND WATER SERVICE PLANS

A PORTION OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M., CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

LAND AREA:

543,215 SQ. FT. OR 12.264 ACRES MORE OR LESS

BASIS OF BEARING:

BEARINGS ARE BASED UPON THE SOUTH RIGHT-OF-WAY LINE OF CONSTITUTION AVENUE, MONUMENTED ON THE WEST WITH A #4 REBAR WITH YELLOW PLASTIC CAP STAMPED "PLS 4842" AND ON THE EAST WITH A #5 REBAR WITH YELLOW PLASTIC CAP STAMPED "AZTEC PLS 36567" AND IS ASSUMED TO BEAR N 89°53'50" E, A DISTANCE OF 1691.84 FEET.

BENCHMARK/ PROJECT CONTROL:

ELEVATIONS ARE BASED UPON CITY OF COLORADO SPRINGS FIMS BENCHMARK "BLT104" (ELEVATION=6452.43 NGVD29)

LEGAL DESCRIPTION

PARCEL A:

A PARCEL OF LAND LOCATED IN SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 5; THENCE SOUTH 89°53'50" WEST, 30.00 FEET ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 5 TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF MARKSHEFFEL ROAD; THENCE SOUTH 00°20'42" WEST, 60.00 FEET ALONG SAID WESTERLY RIGHT-OF-WAY LINE TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF PROPOSED 120.00 FOOT WIDE RIGHT-OF-WAY OF CONSTITUTION AVENUE TO THE POINT OF BEGINNING OF THE TRACT OF LAND HEREIN DESCRIBED; THENCE SOUTH 00°20'42" WEST, 435.00 FEET ALONG SAID WESTERLY RIGHT-OF-WAY LINE OF MARKSHEFFEL ROAD TO THE SOUTHEAST CORNER OF THE TRACT OF LAND DESCRIBED IN BOOK 2083 AT PAGE 587 OF THE RECORDS OF SAID COUNTY; THENCE SOUTH 89°53'50" WEST, 1292.28 FEET ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE TO THE POINT OF BEGINNING, EL PASO COUNTY, COLORADO.

EXCEPT THAT PORTION DESCRIBED AS FOLLOWS: THAT PORTION OF THE NORTHEAST ONE-QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M., SITUATE IN EL PASO COUNTY, COLORADO, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 5 THENCE SOUTH 89°53'50" WEST ON THE NORTH LINE THEREOF, 1322.28 FEET TO THE NORTHWEST CORNER OF SAID NORTHEAST ONE-QUARTER OF THE NORTHEAST ONE-QUARTER OF SECTION 5, THENCE SOUTH 00°20'41" WEST ON THE WEST LINE OF SAID NORTHEAST ONE-QUARTER OF SECTION 5, 60.00 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF PROPOSED 120.00 FOOT RIGHT-OF-WAY OF CONSTITUTION AVENUE AND THE POINT OF BEGINNING OF THE TRACT OF LAND HEREIN DESCRIBED, THENCE (1) CONTINUE ON THE LAST MENTIONED COURSE 435.00 FEET; (2) NORTH 89°53'50" EAST, 172.42 FEET; (3) NORTH 00°20'41" EAST 435.00 FEET TO A POINT ON SAID SOUTHERLY RIGHT-OF-WAY LINE OF PROPOSED CONSTITUTION AVENUE; (4) SOUTH 89°53'50" WEST ON SAID SOUTHERLY RIGHT-OF-WAY LINE OF PROPOSED CONSTITUION AVENUE, 172.42 FEET TO THE POINT OF BEGINNING.

EXCEPT THAT PORTION CONVEYED TO THE BOARD OF COUNTY COMMISSIONER, EL PASO COUNTY, COLORADO IN WARRANTY DEED RECORDED JUNE 9, 2010 UNDER RECEPTION NO. 210054574.

COUNTY OF EL PASO,
STATE OF COLORADO.

PARCEL B:

THAT PORTION OF THE NORTHEAST ONE-QUARTER OF THE NORTHEAST ONE-QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, SITUATE IN COUNTY EL PASO, STATE OF COLORADO AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 5, THENCE SOUTH 89°53'50" WEST ON THE NORTH LINE THEREOF, 1,322.28 FEET TO THE NORTHWEST CORNER OF SAID NORTHEAST ONE-QUARTER OF THE NORTHEAST ONE-QUARTER OF SECTION 5, THENCE SOUTH 00°20'41" WEST ON THE WEST LINE OF SAID NORTHEAST ONE-QUARTER OF SECTION 5, 60.00 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF PROPOSED 120.00 FOOT RIGHT OF WAY OF CONSTITUTION AVENUE AND THE POINT OF BEGINNING OF THE TRACT OF LAND HEREIN DESCRIBED, THENCE (1) CONTINUE ON LAST MENTIONED COURSE, 435.00 FEET; (2) NORTH 89°53'50" EAST, 172.42 FEET; (3) NORTH 00°20'41" EAST, 435.00 FEET TO A POINT ON SAID SOUTHERLY RIGHT OF WAY LINE OF PROPOSED CONSTITUTION AVENUE; (4) SOUTH 89°53'50" WEST ON SAID SOUTHERLY RIGHT OF WAY LINE OF PROPOSED CONSTITUTION AVENUE, 172.42 FEET TO A POINT OF BEGINNING,

COUNTY OF EL PASO,
STATE OF COLORADO.

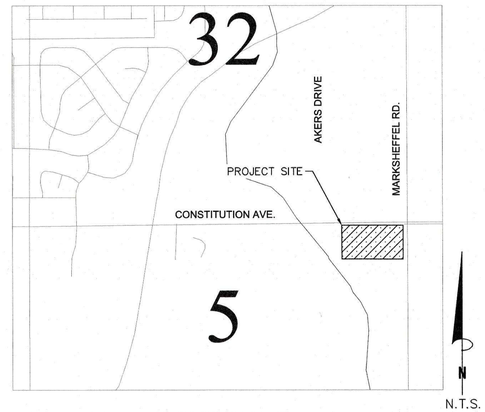
(PER TITLE COMMITMENT FILE NO. NCS-1074278-INDY AS PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY.)

FLOOD ZONE DESIGNATION

FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP, MAP NUMBER 08041C0756G, EFFECTIVE DATE DECEMBER 7, 2018, INDICATES THIS PARCEL OF LAND TO BE LOCATED IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).

GENERAL NOTES

1. BASED ON ELEVATION DATA, THE APPLICANT WILL NEED TO FILE FEDERAL AVIATION ADMINISTRATION (FAA) FORM 7460-1 "NOTICE OF PROPOSED CONSTRUCTION OR ALTERATION" FOR ANY NEW VERTICAL DEVELOPMENT AT THIS SITE, INCLUDING TEMPORARY CONSTRUCTION EQUIPMENT, AND PROVIDE FAA DOCUMENTATION TO THE AIRPORT BEFORE THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES; FAA'S WEBSITE (HTTPS://OEAAA.FAA.GOV/OEAAA/EXTERNAL/PORTAL.ISP).
2. ALL EASEMENTS THAT ARE DEDICATED HEREON FOR PUBLIC UTILITY PURPOSES RELATED TO GAS AND ELECTRIC SHALL BE SUBJECT TO THOSE TERMS AND CONDITIONS AS SPECIFIED IN THE INSTRUMENT RECORDED AT RECEPTION NUMBER 212112548 OF THE RECORDS OF EL PASO COUNTY, COLORADO. ALL OTHER EASEMENTS OR INTERESTS OF RECORD AFFECTING ANY OF THE PLATTED PROPERTY DEPICTED HEREON SHALL NOT BE AFFECTED AND SHALL REMAIN IN FULL FORCE AND EFFECT.



VICINITY MAP
N.T.S

SHEET INDEX	
SHEET NO.	SHEET TITLE
C3.0	UTILITY PLAN COVER SHEET
C3.1	UTILITY PLAN NOTES
C3.2	UTILITY PLAN NOTES
C3.3	UTILITY SERVICE PLAN
C3.4	UTILITY SERVICE PLAN
C3.5	WATER PLAN
C3.6	WATER PLAN
C3.7	SAN. SEWER PLAN & PROFILE LINE A
C3.8	SAN. SEWER PLAN & PROFILE LINE A

CONTACTS:

OWNER:
THE GARRETT COMPANIES
1051 GREENWOOD SPRINGS BLVD, SUITE 101
GREENWOOD, IN 46143
TEL: (317) 886-7926
CONTACT: KARL STOUT

ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
2 NORTH NEVADA AVENUE, SUITE 300
COLORADO SPRINGS, CO 80903
TEL: (719) 453-0180
CONTACT: MITCHELL HESS, P.E.

EL PASO COUNTY:
EL PASO COUNTY
PCD DEPARTMENT
2880 INTERNATIONAL CIRCLE, SUITE 110
COLORADO SPRINGS, CO 80910
PHONE: (719) 520-6300

SURVEYOR:
BARRON LAND, LLC
2790 N. ACADEMY BLVD. SUITE 311
COLORADO SPRINGS, CO 80917
TEL: (719) 360-6827
CONTACT: SPENCER BARRON, PLS

DEVELOPER'S SIGNATURE BLOCK

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

12-9-2022

NAME DATE

ENGINEER'S SIGNATURE BLOCK

THESE DETAILED PLANS AND SPEFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH THE APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THE DETAILED PLANS AND SPECIFICATIONS

COLORADO LICENSED
MITCHELL O. HESS
53916
12/12/2022
PROFESSIONAL ENGINEER

MITCHELL HESS, PE – KIMLEY-HORN AND ASSOCIATES, INC. DATE

EL PASO COUNTY REVIEW STATEMENT

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN DIMENSIONS AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL, AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

JOSHUA PALMER, P.E. DATE
COUNTY ENGINEER / ECM ADMINISTRATOR

CHEROKEE METROPOLITAN DISTRICT

WASTEWATER PLAN APPROVAL

THE CHEROKEE METROPOLITAN DISTRICT RECOGNIZES THE DESIGN PROFESSIONAL OF RECORD AS THE LICENSED ENGINEER HAVING RESPONSIBILITY FOR THE SUBMITTED DESIGN AND THE DISTRICT HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY. AS SUCH, THE APPROVAL GRANTED HEREIN IS FOR THE CONSTRUCTION OF THE FACILITIES AS REPRESENTED ON THESE DOCUMENTS. APPROVAL EXPIRES ONE (1) YEAR FROM THE DATE BELOW AND RESUBMITTAL OF THESE PLANS FOR REVIEW AND APPROVAL IS REQUIRED IF CONSTRUCTION DOES NOT BEGIN DURING THIS PERIOD.

APPROVED BY: DATE: 12-16-2022

CHEROKEE METROPOLITAN DISTRICT

WATER PLAN APPROVAL

THE CHEROKEE METROPOLITAN DISTRICT RECOGNIZES THE DESIGN PROFESSIONAL OF RECORD AS THE LICENSED ENGINEER HAVING RESPONSIBILITY FOR THE SUBMITTED DESIGN AND THE DISTRICT HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY. AS SUCH, THE APPROVAL GRANTED HEREIN IS FOR THE CONSTRUCTION OF THE FACILITIES AS REPRESENTED ON THESE DOCUMENTS. APPROVAL EXPIRES ONE (1) YEAR FROM THE DATE BELOW AND RESUBMITTAL OF THESE PLANS FOR REVIEW AND APPROVAL IS REQUIRED IF CONSTRUCTION DOES NOT BEGIN DURING THIS PERIOD.

APPROVED BY: DATE: 12-16-2022

NO.	REVISION	BY	DATE	APPR.

Kimley»Horn
2022 KIMLEY-HORN AND ASSOCIATES, INC.
2 North Nevada Avenue, Suite 300
Colorado Springs, CO 80903 (303) 228-2300

DESIGNED BY: MOH
DRAWN BY: JWM
CHECKED BY: DLS
DATE: 12/07/2022

THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
UTILITY AND WATER SERVICE PLANS
UTILITY PLAN COVER SHEET

COLORADO LICENSED
MITCHELL O. HESS
53916
12/12/2022
PROFESSIONAL ENGINEER

PROJECT NO.
096481004

SHEET
C3.0

K:\DEN_Civil\096481004 - El Paso Constitution\CADD\PlanSheets\CD\096481004UT_CV.dwg Hess, Mitchell 12/7/2022 10:07 PM

PCD PROJECT NUMBER: PPR-2229 & SF-226

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS:

THE FOLLOWING NOTES ARE PROVIDED TO GIVE DIRECTIONS TO THE CONTRACTOR BY THE ENGINEER OF THE PLANS.

1. THE CHEROKEE METRO DISTRICT ENGINEER'S SIGNATURE ON THESE PLANS DOES NOT CONSTITUTE APPROVAL OF ANY OF THESE NOTES AND THE CITY WILL NOT BE HELD RESPONSIBLE FOR THEIR ENFORCEMENT.
2. APPROVAL OF THESE PLANS BY CHEROKEE METRO DISTRICT DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A PERMIT HAS BEEN ISSUED.
3. THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY CHEROKEE METRO DISTRICT DOES NOT AUTHORIZE THE SUBDIVIDER AND OWNER TO VIOLATE ANY FEDERAL, STATE OR COUNTY LAWS, ORDINANCES, REGULATIONS, OR POLICIES.
4. NEITHER THE OWNER, NOR THE ENGINEER OF WORK WILL ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SHORING, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS.
5. CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING: SAFETY OF ALL PERSONS AND PROPERTY, AND THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE TO INSURE THAT ALL SLOPES, STREETS, UTILITIES, AND STORM SEWERS ARE BUILT IN ACCORDANCE WITH THESE PLANS. IF THERE IS ANY QUESTION REGARDING THESE PLANS OR FIELD STAKES, THE CONTRACTOR SHALL REQUEST AN INTERPRETATION BEFORE DOING ANY WORK BY CALLING THE ENGINEER OF RECORD AT 719-453-0180. IN THE EVENT THAT PROPOSED EROSION CONTROL IS INSUFFICIENT, CONTRACTOR WILL INSTALL ADDITIONAL EROSION CONTROLS AT OWNER'S EXPENSE.
7. EXCEPT AS NOTED HEREON ALL UTILITY SERVICES WITHIN THIS DEVELOPMENT ARE UNDERGROUND INSTALLATIONS. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO STARTING WORK NEAR THEIR FACILITIES, AND SHALL COORDINATE HIS WORK WITH COMPANY REPRESENTATIVES. FOR UTILITY MARK-OUT SERVICE, CALL 811.
8. THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO OTHER EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID UTILITY INFORMATION. THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN HEREON AND ANY OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS. UTILITIES NOT OF RECORD OR NOT SHOWN ON PLANS SHALL BE CONSIDERED UNFORESEEN CONDITIONS AND DAMAGES THERETO SHALL BE REPAIRED AT THE OWNER'S EXPENSE.
9. LOCATION AND ELEVATION OF EXISTING IMPROVEMENTS SHALL BE CONFIRMED BY FIELD MEASUREMENTS PRIOR TO CONSTRUCTION OF NEW WORK.
10. CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY BECAUSE OF ACTUAL LOCATION OF EXISTING FACILITIES, AT THE OWNER'S DISCRETION AND EXPENSE.
11. FOR ALL UTILITY TRENCHES, SOILS REPORTS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD BY A QUALIFIED SOILS ENGINEER WHICH CERTIFY THAT TRENCH BACKFILL WAS COMPACTED AS DIRECTED BY THE SOILS ENGINEER IN ACCORDANCE WITH THE ON-SITE EARTHWORK SPECIFICATIONS.
12. ANY WORK DONE WITHOUT INSPECTION OR MATERIALS TESTING IS SUBJECT TO REMOVAL OR CORRECTION.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ANY DAMAGE TO THE EXISTING IMPROVEMENTS AND REPLACEMENT TO THE SATISFACTION OF THE FIELD ENGINEER.
14. PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL JOIN CONDITIONS FOR GRADING, DRAINAGE AND UNDERGROUND FACILITIES, INCLUDING LOCATION AND ELEVATION OF EXISTING UNDERGROUND FACILITIES AT CROSSINGS WITH PROPOSED UNDERGROUND FACILITIES, AT THE OWNER'S DISCRETION AND EXPENSE. IF CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND SHALL NOT BEGIN CONSTRUCTION UNTIL THE CHANGED CONDITIONS HAVE BEEN EVALUATED.
15. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSELF WITH THE PLANS, THE SOILS AND/OR GEOLOGY REPORTS, AND THE SITE CONDITIONS PRIOR TO COMMENCING WORK.
16. SHOULD CONFLICTING INFORMATION BE FOUND ON THE PLANS OR IN THE FIELD, THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AT KIMLEY-HORN BEFORE PROCEEDING WITH THE WORK IN QUESTION.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DESTROYED BY CONSTRUCTION. CONTRACTOR'S LAND SURVEYOR MUST FIELD LOCATE, REFERENCE, AND/OR PRESERVE ALL HISTORICAL OR CONTROLLING MONUMENTS PRIOR TO ANY EARTHWORK. IF DESTROYED, CONTRACTOR'S LAND SURVEYOR SHALL REPLACE SUCH MONUMENTS WITH APPROPRIATE MONUMENTS. A CORNER RECORD OR RECORD OF SURVEY, AS APPROPRIATE, SHALL BE FILED AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT. IF ANY VERTICAL CONTROL IS TO BE DISTURBED OR DESTROYED, THE COLORADO SPRINGS (EL PASO COUNTY) FIELD SURVEY SECTION MUST BE NOTIFIED, IN WRITING, AT LEAST 3 DAYS PRIOR TO THE CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPLACING ANY VERTICAL CONTROL BENCHMARKS DESTROYED BY THE CONSTRUCTION.
18. DEVIATIONS FROM THESE PLANS SIGNED PLANS WILL NOT BE ALLOWED UNLESS THE COUNTY ENGINEER APPROVES A CONSTRUCTION CHANGE OR THE COUNTY/AGENCY INSPECTOR REQUIRES THE CHANGE.
19. AS-BUILT DRAWINGS MUST BE SUBMITTED BY THE CONTRACTOR TO THE ENGINEER PRIOR TO ACCEPTANCE OF THIS PROJECT.
20. THE AREA WHICH IS DEFINED AS A NON GRADING AREA AND WHICH IS NOT TO BE DISTURBED SHALL BE STAKED PRIOR TO START OF THE WORK. THE PERMIT APPLICANT AND ALL OF THEIR REPRESENTATIVES OR CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS FOR PROTECTION OF THIS AREA AS REQUIRED BY ANY APPLICABLE AGENCY. ISSUANCE OF THE CITY'S GRADING PERMIT SHALL NOT RELIEVE THE APPLICANT OR ANY OF THEIR REPRESENTATIVES OR CONTRACTORS FROM COMPLYING WITH ANY STATE OR FEDERAL REQUIREMENTS BY AGENCIES INCLUDING BUT NOT LIMITED TO COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT OR COLORADO DIVISION OF WILDLIFE. COMPLIANCE MAY INCLUDE OBTAINING PERMITS, OTHER AUTHORIZATIONS, OR COMPLIANCE WITH MANDATES BY ANY APPLICABLE STATE OR FEDERAL AGENCY.
21. NOTES AND DETAILS DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE GIVEN, CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR WORK.
22. IF AT ANY TIME DURING THE GRADING OPERATION, ANY UNFAVORABLE GEOLOGICAL CONDITIONS ARE ENCOUNTERED, GRADING IN THAT AREA SHALL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE OBTAINED.
23. STRAIGHT GRADE SHALL BE MAINTAINED BETWEEN CONTOUR LINES AND SPOT ELEVATIONS UNLESS OTHERWISE SHOWN ON THE PLANS. THE CONTRACTOR SHALL TAKE ADDITIONAL CARE TO ENSURE POSITIVE DRAINAGE AWAY FROM THE STRUCTURE WHILE MEETING MINIMUM AND MAXIMUM PAVEMENT SLOPES AS DEFINED IN THE CRITERIA.
24. ALL DEBRIS AND FOREIGN MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT APPROVED DISPOSAL SITES. THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FOR THE TRANSPORTATION OF MATERIAL TO AND FROM THE SITE.
25. DIMENSIONS TO PIPELINES ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
26. CONSTRUCTION STAKING FOR IMPROVEMENTS SHOWN IN THESE PLANS SHALL BE PERFORMED BY CONTRACTOR'S LICENSED LAND SURVEYOR.
27. ALL DIMENSIONS ARE IN FEET OR DECIMALS THEREOF.
28. SPOT GRADES ARE TO FLOWLINE OR FINISH PAVEMENT GRADE UNLESS OTHERWISE NOTED.
29. CONTRACTOR TO BE AWARE OF ALL OVERHEAD LINES AT ALL TIMES, SO AS NOT TO DISTURB THEM.
30. STORM DRAINAGE SYSTEMS SHOWN ON THESE PLANS HAVE BEEN DESIGNED FOR THE FINAL SITE CONDITION AT COMPLETION OF THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE DRAINAGE OF THE SITE, DURING INTERIM CONDITIONS OF CONSTRUCTION.
31. RETAINING WALLS LOCATED CLOSER TO THE PROPERTY LINE THAN THE HEIGHT OF THE WALL SHALL BE BACKFILLED NOT LATER THAN 10 DAYS AFTER CONSTRUCTION OF THE WALL AND NECESSARY STRUCTURAL SUPPORTING MEMBERS UNLESS RECOMMENDED OTHERWISE BY RESPONSIBLE ENGINEER.
32. THE CONTRACTOR IS RESPONSIBLE FOR APPLYING FOR AND OBTAINING A STATE STORMWATER DISCHARGE PERMIT FROM COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE) AT MINIMUM 10 BUSINESS DAYS PRIOR TO THE START OF GRADING ACTIVITIES ONSITE. 10 BUSINESS DAYS IS THE MINIMUM TIME REQUIRED BY THE STATE TO PROCESS THE APPLICATION. IT IS HIGHLY RECOMMENDED THAT THE CONTRACTOR APPLY FOR THE PERMIT AT LEAST 20 BUSINESS DAYS PRIOR TO THE START OF GRADING ACTIVITIES.

STANDARD NOTES FOR EL PASO COUNTY CONSTRUCTION PLANS

1. ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
3. CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
   a. EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
   b. CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
   c. COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
   d. CDOT M & S STANDARDS
4. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
5. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
6. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (PCD) - INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
8. CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
9. ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
10. CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
11. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
12. SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
13. SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DPW AND MUTCD CRITERIA. [IF APPLICABLE, ADDITIONAL SIGNING AND STRIPING NOTES WILL BE PROVIDED.]
14. CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DPW, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
15. THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

WATER PROJECT SPECIFIC NOTES

	APPLICABLE	NOT-APPLICABLE	
1.	☐	☒	ANY EXISTING STUBS AND APPURTENANCES THAT WILL NOT BE USED SHALL BE REMOVED AND REPLACED WITH AN ACCEPTABLE SECTION OF MAIN AT THE EXPENSE OF THE CONTRACTOR.
2.	☒	☐	A CONNECTION TO AN EXISTING STUB IS PROPOSED. CHEROKEE METRO DISTRICT DOES NOT GUARANTEE THE ACCURACY OF THE DEPTHS OR LOCATIONS OF EXISTING STUBS SHOWN ON ANY "AS-BUILT" DRAWINGS.
3.	☐	☒	A WATER STUB-OUT(S) IS/ARE PROPOSED. CHEROKEE METRO DISTRICT DOES NOT GUARANTEE THAT THE DESIGN OR INSTALLATION OF THE PROPOSED WATER STUB-OUT WILL MEET FUTURE DEVELOPMENT NEEDS.
4.	☐	☒	A WATER QUALITY PLAN HAS BEEN APPROVED FOR THIS PROJECT

WATER PLAN NOTES

THE CONTRACTOR SHALL NOTIFY COLORADO SPRINGS UTILITIES' INSPECTIONS OFFICE (NORTH: 668-4396 OR SOUTH: 668-4658) AND/OR CHEROKEE METRO DISTRICT (719-597-5080) A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

GENERAL:

1. ALL CONSTRUCTION METHODS AND MATERIALS SHALL MEET CHEROKEE METRO DISTRICT STANDARDS AND CSU *WATER LINE EXTENSION AND SERVICE STANDARDS* (*WATER LESS*).
2. THE CONTRACTOR SHALL OBTAIN LOCATES PRIOR TO ANY EXCAVATION.
3. CHEROKEE METRO DISTRICT DOES NOT GUARANTEE THE ACCURACY OF LOCATIONS OF EXISTING PIPELINES, HYDRANTS, VALVES AND SERVICE LINES. IF FIELD CONDITIONS ARE FOUND TO BE DIFFERENT THAN SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE INSPECTOR AND THE ENGINEER OF RECORD IMMEDIATELY.
4. NO TREES OR STRUCTURES ARE PERMITTED WITHIN FIFTEEN FEET (15') OF A WATER MAIN.
5. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITY FACILITIES AS A RESULT OF HIS ACTIONS. THE CONTRACTOR SHALL MAKE ALL THE REQUIRED REPAIRS IMMEDIATELY TO THE SATISFACTION OF COLORADO SPRINGS UTILITIES AND CHEROKEE METRO DISTRICT.
6. ALL FIELD STAKING SHALL COMPLY WITH THE *WATER LESS AND CHEROKEE STANDARDS*.
7. THE CONTRACTOR SHALL MAKE THEIR BEST EFFORT TO ENSURE THAT WATER SERVICE TO ADJACENT PROPERTIES IS MAINTAINED DURING CONSTRUCTION.
8. CORROSION PROTECTION MEASURES SHALL COMPLY WITH THE *WATER LESS AND CHEROKEE STANDARDS*.
9. NO SERVICE TAPS SHALL BE MADE UNTIL AUTHORIZATION HAS BEEN GRANTED BY THE CHEROKEE METRO DISTRICT' INSPECTOR.
10. ALL BENDS SHALL BE FIELD STAKED PRIOR TO CONSTRUCTION AND THE STATIONING ON THE FIELD STAKES SHALL MATCH THE STATIONING ON THE PLANS.
11. FIELD MODIFICATIONS TO A FIRE SERVICE LINE OR FIRE HYDRANT DESIGN OR LOCATION MAY NEED TO BE APPROVED BY THE DESIGN ENGINEER, FALCON FIRE DEPARTMENT AND CHEROKEE METRO DISTRICT, AS REQUIRED BY THE INSPECTOR.
12. REUSE OR SALVAGE OF ANY MATERIAL IS LEFT TO THE DISCRETION OF THE CHEROKEE METRO DISTRICT INSPECTOR.
13. ALL TRENCH BACKFILL AND COMPACTION SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE CHEROKEE METRO DISTRICT *STANDARD SPECIFICATIONS MANUAL AND CHEROKEE STANDARDS*.
14. ALL ISOLATION VALVES TO OPEN COUNTERCLOCKWISE.

NO.	REVISION	BY	DATE	APPR.

Kimley»Horn
2022 KIMLEY-HORN AND ASSOCIATES, INC.
2 North Nevada Avenue, Suite 300
Colorado Springs, CO 80903 (303) 228-2300

DESIGNED BY: MOH
DRAWN BY: JWM
CHECKED BY: DLS
DATE: 12/07/2022

THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
UTILITY AND WATER SERVICE PLANS
UTILITY PLAN NOTES

COLORADO LICENSED
MICHELL O. THIEL
53916
12/12/2022
PROFESSIONAL ENGINEER

PROJECT NO.
096481004

SHEET
C3.1

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PCD PROJECT NUMBER: PPR-2229 & SF-226

WASTEWATER PROJECT SPECIFIC NOTES

	APPLICABLE	NON-APPLICABLE	
1.	☐	☒	CORROSION PROTECTION IS REQUIRED FOR ALL DUCTILE IRON PIPE. ALL PROTECTION SHALL COMPLY WITH THE WASTEWATER STANDARDS.
2.	☒	☐	THIS PROJECT IS CONNECTING TO AN EXISTING MANHOLE. A MANHOLE ASSESSMENT HAS BEEN COMPLETED FOR THIS PROJECT. THE FOLLOWING CHECKED ITEMS ARE REQUIRED: THE CONTRACTOR SHALL PROVIDE A BYPASS PUMPING PLAN FOR APPROVAL BY CHEROKEE METRO DISTRICTS AND COMPLY WITH ALL THE REQUIREMENTS THEREIN. REPAIR THE EXISTING MANHOLE (REFER TO PLAN AND PROFILE FOR REQUIREMENTS). REPLACE THE EXISTING MANHOLE (REFER TO PLAN AND PROFILE FOR REQUIREMENTS.
3.	☐	☒	MANHOLES ARE BEING ABANDONED, THE CONTRACTOR SHALL: • PLUG THE "IN" AND "OUT" INVERTS WITH A WATERTIGHT MECHANICAL PLUG AND GROUT WITH APPROVED MATERIAL. • REMOVE AND DISPOSE OF THE CONE SECTION. • REMOVE THE RING AND COVER AND RETURN THEM TO CHEROKEE METRO DISTRICT. • FILL THE MANHOLE WITH APPROVED MATERIAL.
4.	☐	☒	WASTEWATER MAINS EXISTS UNDERNEATH A PROPOSED STRUCTURE, CONTRACTOR SHALL: REMOVE IT GROUT IT FULL
5.	☐	☒	WASTEWATER MAIN TO BE ABANDONED EXISTS WITHIN RIGHT-OF-WAY, THE CONTRACTOR SHALL: REMOVE IT GROUT IT FULL
6.	☒	☐	PIPELINES LESS THAN 1.04% GRADE ARE PROPOSED. THE CONTRACTOR SHALL COMPLY WITH THE ADDITIONAL REQUIREMENTS AS SPECIFIED WITHIN THE WASTEWATER STANDARDS.
7.	☐	☒	THIS PROJECT IS UTILIZING EXISTING STUBS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE STUB, CONNECTION, TRANSITION AND SUBSEQUENT EXTENSION MEETS ALL CURRENT WASTEWATER STANDARDS.
8.	☒	☐	CHEROKEE METRO DISTRICT DOES NOT GUARANTEE THE ACCURACY OF THE DEPTHS OR LOCATIONS OF EXISTING STUBS SHOWN ON ANY "AS CONSTRUCTED" DRAWINGS. FURTHER, THE EXISTING STUB WILL BE INCLUDED IN THE TWO-YEAR WARRANTY PERIOD FOR THIS PROJECT.
9.	☐	☒	A WASTEWATER STUB OR STUBS ARE PROPOSED. CHEROKEE METRO DISTRICT DOES NOT GUARANTEE DEVELOPMENT NEEDS. FURTHER, THE STUB WILL NOT BE INCLUDED IN THE TWO-YEAR WARRANTY PERIOD FOR THIS PROJECT.

WASTEWATER PLAN NOTES

THE CONTRACTOR SHALL NOTIFY COLORADO SPRINGS UTILITIES' INSPECTIONS OFFICE (NORTH: 668-4396 OR SOUTH: 668-4658) AND/OR CHEROKEE METRO DISTRICT (719-597-5080) A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

GENERAL:

1. ALL CONSTRUCTION METHODS AND MATERIALS SHALL MEET CSU *WASTEWATER LINE EXTENSION AND SERVICE STANDARDS* (WASTEWATER STANDARDS) AND CHEROKEE METRO DISTRICT STANDARDS.
2. THE CONTRACTOR SHALL OBTAIN LOCATES PRIOR TO ANY EXCAVATION.
3. CHEROKEE METRO DISTRICT DOES NOT GUARANTEE THE ACCURACY OF LOCATIONS OF EXISTING PIPELINES, MANHOLES AND SERVICE LINES. IF FIELD CONDITIONS ARE FOUND TO BE DIFFERENT THAN SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE INSPECTOR AND THE ENGINEER OF RECORD IMMEDIATELY.
4. NO TREES OR STRUCTURES ARE PERMITTED WITHIN FIFTEEN FEET (15') OF A WASTEWATER MAIN.
5. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITY FACILITIES AS A RESULT OF HIS ACTIONS. THE CONTRACTOR SHALL MAKE ALL THE REQUIRED REPAIRS IMMEDIATELY TO THE SATISFACTION OF CHEROKEE METRO DISTRICT.
6. ALL FIELD STAKING SHALL COMPLY WITH THE WASTEWATER STANDARDS.
7. THE CONTRACTOR SHALL ENSURE THAT WASTEWATER SERVICE TO ADJACENT PROPERTIES IS MAINTAINED DURING CONSTRUCTION.
8. ALL MANHOLES LOCATED WITHIN THE PROJECT LIMITS SHALL BE ADJUSTED TO FINISH GRADE. IF MANHOLES ARE IN POOR CONDITION OR IF THE DISTANCE BETWEEN THE RING/COVER AND CONE OF THE MANHOLE EXCEEDS THE WASTEWATER STANDARDS, THE CONTRACTOR MAY BE REQUIRED TO REPLACE PART OR ALL OF THE EXISTING MANHOLES.
9. REUSE OR SALVAGE OF ANY MATERIAL IS LEFT TO THE DISCRETION OF THE CHEROKEE METRO DISTRICT INSPECTOR.
10. ALL TRENCH BACKFILL AND COMPACTION SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE CHEROKEE METRO DISTRICT *STANDARD SPECIFICATIONS MANUAL.*
11. *ALL MANHOLES TO BE 5' MIN. DIAMETER & EXTERIOR COATED WITH MIN. 45 MIL. COAL TAR EPOXY & WRAP JOINTS WITH 12" WIDE ELASTOMERIC JOINT WRAP.*
12. *INTERIOR LINING TO CONFORM WITH CSU STANDARD 4.5A*
13. *MAINS AND LATERALS TO BE CSU STANDARD AS LISTED IN TABLE 2.6.B.3*

UTILITY SERVICE PLAN NOTES

THE CONTRACTOR SHALL NOTIFY COLORADO SPRINGS UTILITIES' INSPECTIONS OFFICE (NORTH: 668-4396 OR SOUTH: 668-4658) AND/OR CHEROKEE METRO DISTRICT (719-597-5080) A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

GENERAL:

1. ALL CONSTRUCTION METHODS AND MATERIALS SHALL MEET CSU *WASTEWATER AND WATER LINE EXTENSION AND SERVICE STANDARDS (WATER/WASTEWATER LESS)*, WITH CHEROKEE METRO DISTRICT EXCEPTION.
2. CHEROKEE METRO DISTRICT DOES NOT GUARANTEE THE ACCURACY OF LOCATIONS OF EXISTING PIPELINES, MANHOLES, HYDRANTS, VALVES AND SERVICE LINES. IF FIELD CONDITIONS ARE FOUND TO BE DIFFERENT THAN SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE INSPECTOR AND THE DESIGN ENGINEER IMMEDIATELY.
3. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITY FACILITIES AS A RESULT OF HIS ACTIONS. THE CONTRACTOR SHALL MAKE ALL THE REQUIRED REPAIRS IMMEDIATELY TO THE SATISFACTION OF CHEROKEE METRO DISTRICT.
4. ALL FIELD STAKING SHALL COMPLY WITH THE *WATER/WASTEWATER LESS.*
5. CORROSION PROTECTION MEASURES SHALL COMPLY WITH THE *WATER/WASTEWATER LESS AND CHEROKEE METRO STANDARDS.*
6. FINAL LOCATION OF ALL WASTEWATER AND WATER SERVICES SHALL BE APPROVED IN THE FIELD BY THE CHEROKEE METRO DISTRICT INSPECTOR.
7. ALL TRENCH BACKFILL AND COMPACTION SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE COLORADO SPRINGS UTILITIES *STANDARD SPECIFICATIONS MANUAL AND SECTION 5.18 OF THE WATER LESS AND CHEROKEE METRO STANDARDS.*

WASTEWATER:

1. SERVICE STUBS SHALL BE INSTALLED A MINIMUM OF SEVEN FEET (7') INTO THE PROPERTY, UNLESS OTHERWISE SHOWN, AND THE END OF THE STUB SHALL BE MARKED WITH A 2"X4"X12' STEEL OR WOODEN POST.
2. SERVICES SHALL BE CONNECTED A MINIMUM OF FIVE FEET (5') FROM THE OUTSIDE EDGE OF ANY MANHOLE ON THE MAIN LINE AND SHALL MAINTAIN TWO FEET (2') OF SEPARATION BETWEEN TAPS CENTER TO CENTER.
3. ALL CLEANOUTS SHALL BE THE SAME SIZE AS THE SERVICE LINE.
4. THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY DEPARTMENT OF HEALTH AND ENVIRONMENT WHEN ANY SEPTIC TANK IS TO BE ABANDONED AND PAY ALL FEES NECESSARY TO OBTAIN A PERMIT.
5. ALL MAINS TO BE ASTM D3034 SDR35.

WATER:

1. SERVICE STUBS SHALL BE INSTALLED WITH THE CURB STOP AT OR NEAR PROPERTY LINE AND SHALL NOT BE INSTALLED WITHIN DRIVEWAYS OR SIDEWALKS (SEE CHEROKEE METRO DISTRICT DETAIL DRAWING W-38).
2. SERVICE TAPS SHALL BE MADE A MINIMUM OF THREE FEET (3') FROM THE BELL OR APPURTENANCE ON THE WATER MAIN. TAPS SHALL BE A MINIMUM OF THREE FEET (3') APART ON THE SAME SIDE OF THE WATER MAIN AND A MINIMUM OF ONE-AND-A-HALF FEET (1.5') WHEN TAPS ARE MADE ON OPPOSITE SIDES OF THE WATER MAIN.
3. ALL SERVICES FOR COMMERCIAL USE AND SOME RESIDENTIAL USES REQUIRE INSTALLATION OF A BACKFLOW PREVENTION ASSEMBLY IMMEDIATELY AFTER THE METER. THE BACKFLOW PREVENTION ASSEMBLY SHALL BE APPROVED BY THE FOUNDATION FOR CROSS-CONNECTION CONTROL AND HYDRAULIC RESEARCH OF THE UNIVERSITY OF SOUTHERN CALIFORNIA (USC-FCCCHR) AND INSTALLED IN ACCORDANCE WITH THIS LISTING. PLEASE REFERENCE THE WATER LINE EXTENSION STANDARDS FOR ADDITIONAL REQUIREMENTS.
4. ALL TAPS ON CHEROKEE METRO DISTRICT WATER MAINS SHALL BE PERFORMED BY CONTRACTOR AND INSPECTED BY CHEROKEE METRO DISTRICT. ALL OTHER TAPS SHALL BE PERFORMED BY THE CONTRACTOR.
5. ANY ABANDONED SERVICES MUST BE PHYSICALLY DISCONNECTED AT THE MAIN. ANY NECESSARY REPAIRS TO THE MAIN AND/OR SHUT DOWN OF THE TAPPING VALVE SHALL BE AS DIRECTED BY CHEROKEE METRO DISTRICT.
6. ALL WATER SERVICE LINES SHOULD ENTER THE BUILDING WITHIN 3 FEET OF AN EXTERIOR WALL. EXPOSED WATER PLUMBING SHALL BE MINIMIZED INSIDE THE BUILDING PRIOR TO THE WATER METER AND/OR APPROVED BACKFLOW PREVENTION ASSEMBLY OR METHOD.
7. ALL HDPE WATER SERVICE LINES MUST EXTEND A MINIMUM OF 6 INCHES ABOVE THE FLOOR AND BE 90 DEGREES FROM THE FLOOR PLAN TO ALLOW FOR BRACING AND TRANSITION TO THE METER LOOP ASSEMBLY.
8. NO COPPER PIPING ALLOWED IN CHEROKEE METRO DISTRICT EXCEPT ABOVE GRADE PIPING IMMEDIATELY BEFORE AND AFTER WATER METER.
9. ALL WATER MAINS TO BE AWWA C900 DR14.

NO.	REVISION	BY	DATE	APPR.

Kimley»Horn
2022 KIMLEY-HORN AND ASSOCIATES, INC.
2 North Nevada Avenue, Suite 300
Colorado Springs, CO 80903 (303) 228-2300

DESIGNED BY: MOH
DRAWN BY: JWM
CHECKED BY: DLS
DATE: 12/07/2022

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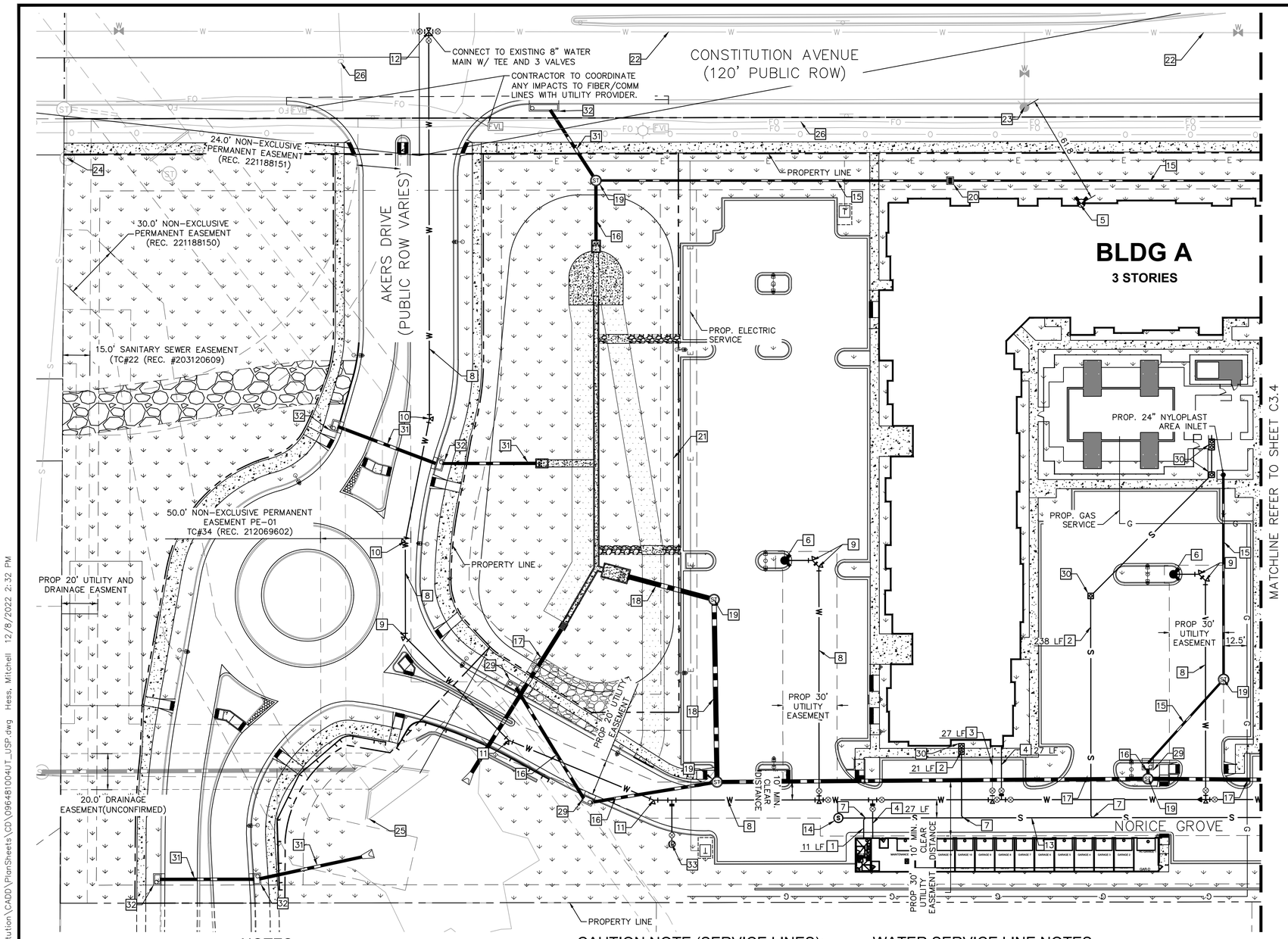

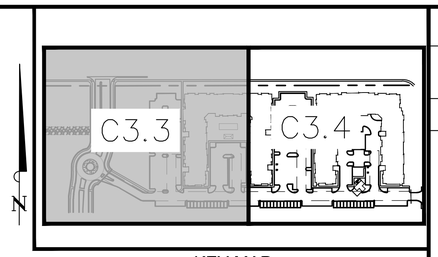

KEY MAP
NOT TO SCALE

LEGEND

- PROPERTY LINE
- EXISTING WATER LINE & VALVE
- PROPOSED WATER LINE & VALVE
- PROPOSED FIRE HYDRANT
- EXISTING SANITARY SEWER LINE & MANHOLE
- PROPOSED SANITARY SEWER LINE, MANHOLE, AND DOUBLE CLEANOUT
- PROPOSED STORM SEWER LINE & MANHOLE
- PROPOSED STORM SEWER STRUCTURES

KEY NOTE LEGEND

1. PROPOSED 4" SDR35 PVC SANITARY SERVICE
2. PROPOSED 6" SDR35 PVC SANITARY SERVICE
3. PROPOSED 6" C900 PVC FIRE SERVICE
4. PROPOSED 4" C900 PVC DOMESTIC SERVICE LINE W/ 3" METER AND BFP INTERNAL TO BUILDING (REF. MEP PLANS)
5. PROPOSED FIRE DEPARTMENT CONNECTION
6. PROPOSED FH ASSEMBLY PER CSU STANDARD DETL. A5-6, PAINTED WITH CMD STANDARD COLORS
7. PROPOSED WASTEWATER TAP PER CSU WASTEWATER STANDARD DETAIL D1-6
8. PROPOSED 8" C900 PVC PUBLIC WATER MAIN
9. 45° BEND
10. 11.25° BEND
11. 22.5° BEND
12. PROPOSED WATER MAIN POINT OF CONNECTION
13. PROPOSED 8" SANITARY MAIN
14. PROPOSED SANITARY MANHOLE
15. PROPOSED PRIVATE 12" HDPE STORM LINE
16. PROPOSED PRIVATE 18" HDPE STORM LINE
17. PROPOSED PRIVATE 24" HDPE STORM LINE
18. PROPOSED PRIVATE 30" HDPE STORM LINE
19. PROPOSED PRIVATE STORM MANHOLE
20. PROPOSED PRIVATE CDOT TYPE 13 INLET
21. PROPOSED DETENTION POND
22. EXISTING WATER MAIN
23. EXISTING FIRE HYDRANT
24. EXISTING SANITARY MANHOLE
25. EXISTING STORM OUTFALL
26. EXISTING FIBER OPTIC LINE
27. EXISTING ELECTRICAL LINE
28. EXISTING CABLE TV LINE
29. PROPOSED PRIVATE CDOT TYPE-R INLET
30. PROPOSED CLEANOUT
31. PROPOSED PUBLIC 18" RCP STORM LINE
32. PROPOSED PUBLIC CDOT TYPE-R INLET
33. PROPOSED 1.5" IRRIGATION METER AND SERVICE LINE
34. PROPOSED 10" C900 PVC PUBLIC WATER MAIN

NOTES:

1. ALL WATER LINES TO BE BEDDED PER COLORADO SPRINGS UTILITIES SPECIFICATIONS.
2. ALL CONDITIONS SHOWN TO BE "EXISTING" OR "ASSUMED" SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO POTHOLING OF EXISTING UTILITY ELEVATIONS AT CROSSINGS AND TIE-IN LOCATIONS. ANY DISCREPANCIES SHALL BE NOTED AND SUBMITTED TO THE OWNER AND THE ENGINEER FOR REVIEW. CHANGES TO THE ORIGINAL DESIGN OF THIS PROJECT DUE TO EXISTING SITE CONDITIONS MUST BE APPROVED BY BOTH THE ENGINEER AND OWNER PRIOR TO MAKING ANY CHANGES.
3. THE HORIZONTAL DIMENSIONS BETWEEN PROPOSED UTILITY LINES MAY VARY SLIGHTLY BASED ON INSTALLED VALVES, ADAPTER, AND PUMPS.
4. ALL APPURTENANCES ON HYDRANT LATERALS SHALL BE INSTALLED WITH MJ RESTRAINTS PER CSU STANDARDS.

CAUTION NOTE (SERVICE LINES):

CONTRACTOR SHALL MAINTAIN 1' OF VERTICAL SEPARATION AT ALL DRY UTILITY CROSSINGS. CONTRACTOR SHALL POTHOLE ALL EXISTING UTILITY CROSSINGS TO VERIFY DEPTH AND COORDINATE WITH ENGINEER OF RECORD.

WATER SERVICE LINE NOTES:

1. CURB STOPS SHALL BE INSTALLED A MINIMUM OF 7 FEET FROM THE BUILDING FOUNDATION.
2. ALL WATER SERVICE LINES SHALL BE STUBBED AND TERMINATE AT THE CURB STOP.
3. METER LOCATIONS ARE NOT SHOWN ON THIS PLAN. METERS TO BE INSTALLED INSIDE THE MULTI FAMILY STRUCTURE IN ACCORDANCE WITH CMD STD. DTL. B1-11A.
4. ALL QUANTITIES PER THIS PLAN ARE FOR REFERENCE ONLY.
5. CHEROKEE METRO DISTRICT'S RESPONSIBILITY ENDS AT VALVED CONNECTION AT MAIN OR SEWER LATERAL CONNECTION.
6. PAVEMENT REPAIRS OR LANDSCAPE REPAIRS FOR WATER AND SANITARY SEWER REPAIRS ARE RESPONSIBILITY OF OWNER.

NORTH

GRAPHIC SCALE IN FEET
0 15 30 60

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1-800-922-1987
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NO.	REVISION	BY	DATE	APPR.

Kimley»Horn

2022 KIMLEY-HORN AND ASSOCIATES, INC.
2 North Nevada Avenue, Suite 300
Colorado Springs, CO 80903 (303) 228-2300

DESIGNED BY: MOH
DRAWN BY: JWM
CHECKED BY: DLS
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EL PASO COUNTY, COLORADO
UTILITY AND WATER SERVICE PLANS
UTILITY SERVICE PLAN

COLORADO LICENSED
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PROJECT NO.
096481004

SHEET
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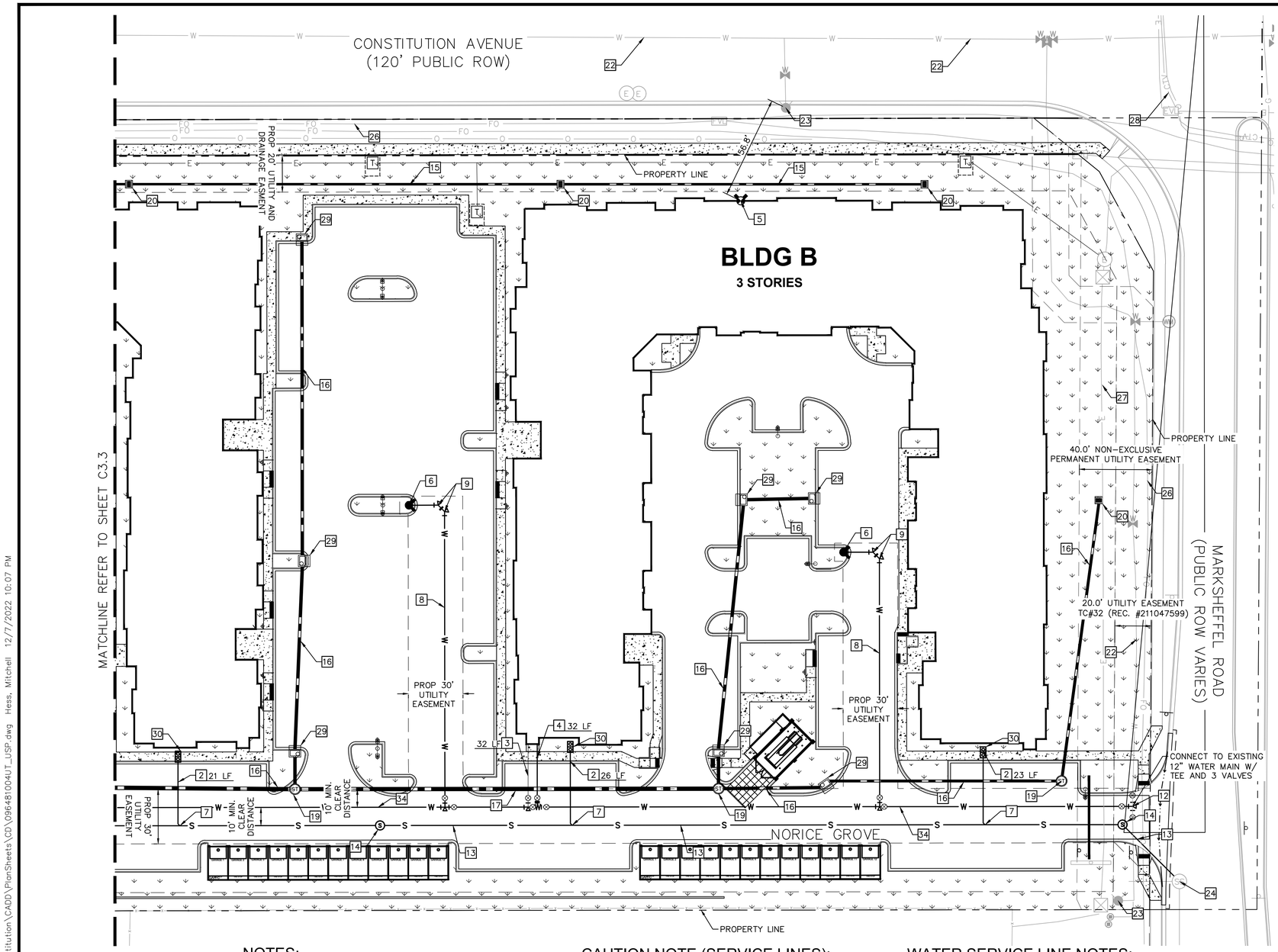
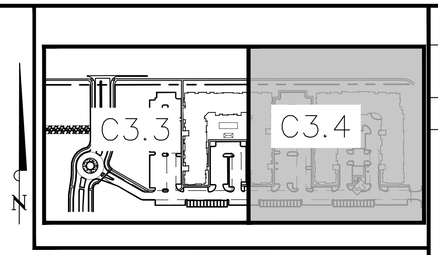
PCD PROJECT NUMBER: PPR-2229 & SF-226





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KEY NOTE LEGEND

1. PROPOSED 4" SDR35 PVC SANITARY SERVICE
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3. THE HORIZONTAL DIMENSIONS BETWEEN PROPOSED UTILITY LINES MAY VARY SLIGHTLY BASED ON INSTALLED VALVES, ADAPTER, AND PUMPS.
4. ALL APPURTENANCES ON HYDRANT LATERALS SHALL BE INSTALLED WITH MJ RESTRAINTS PER CSU STANDARDS.

CAUTION NOTE (SERVICE LINES):

CONTRACTOR SHALL MAINTAIN 1' OF VERTICAL SEPARATION AT ALL DRY UTILITY CROSSINGS. CONTRACTOR SHALL POTHOLE ALL EXISTING UTILITY CROSSINGS TO VERIFY DEPTH AND COORDINATE WITH ENGINEER OF RECORD.

WATER SERVICE LINE NOTES:

1. CURB STOPS SHALL BE INSTALLED 7 FEET FROM THE PROPERTY LINE IN ACCORDANCE WITH CSU STD. DETAIL B2-3.
2. ALL WATER SERVICE LINES SHALL BE STUBBED AND TERMINATE AT THE CURB STOP
3. METER LOCATIONS ARE NOT SHOWN ON THIS PLAN. METERS TO BE INSTALLED INSIDE THE MULTI FAMILY STRUCTURE IN ACCORDANCE WITH CMD STD. DTL. B1-11A.
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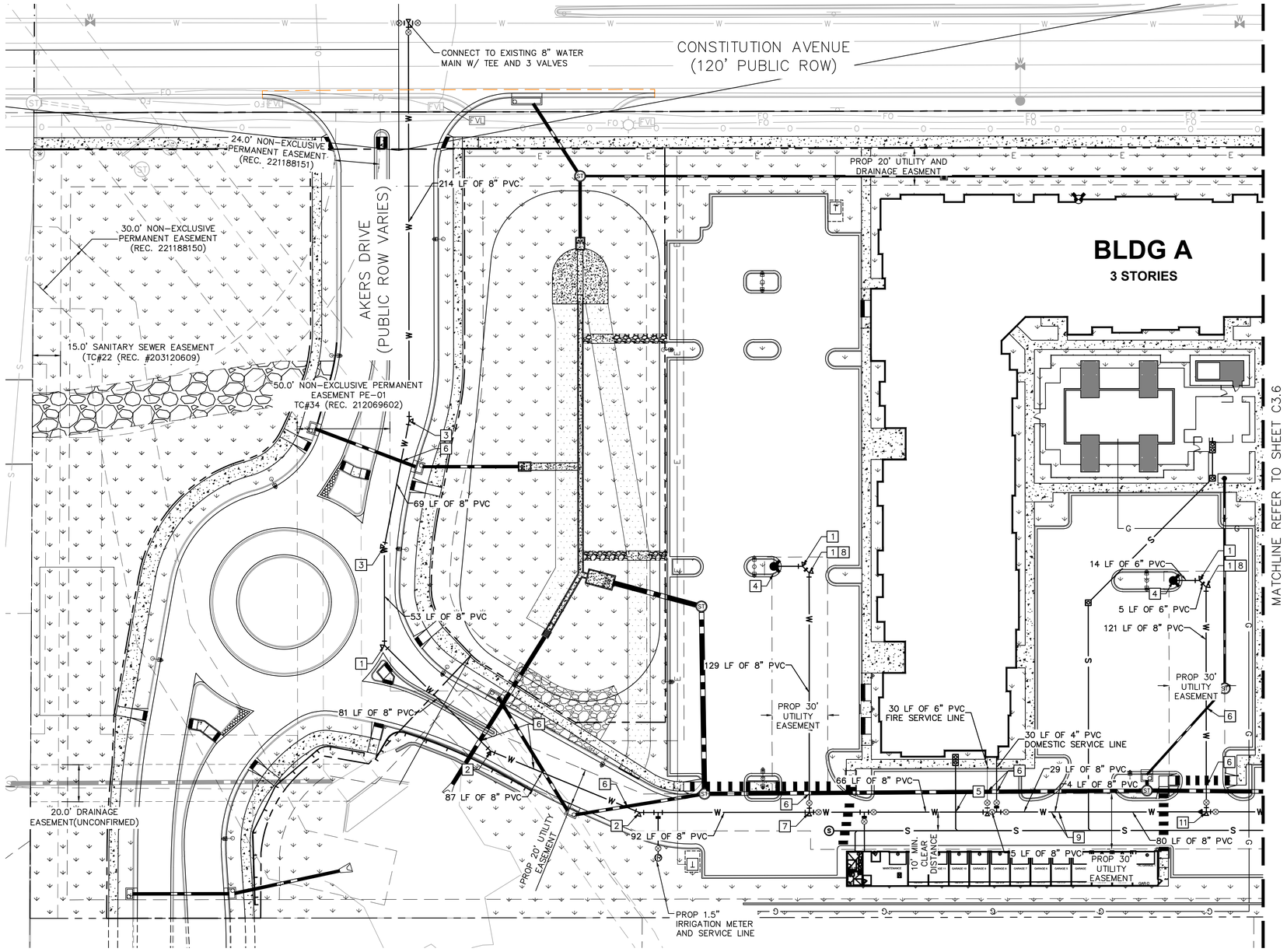

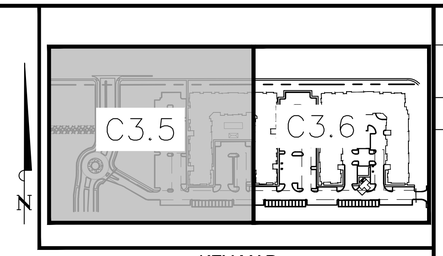

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- EXISTING SANITARY SEWER LINE & MANHOLE
- PROPOSED SANITARY SEWER LINE, MANHOLE, AND DOUBLE CLEANOUT
- PROPOSED STORM SEWER LINE & MANHOLE
- PROPOSED STORM SEWER STRUCTURES

KEY NOTE LEGEND

1. 45° HORIZONTAL BEND WITH THRUST BLOCK
2. 22.5° HORIZONTAL BEND WITH THRUST BLOCK
3. 11.25° HORIZONTAL BEND WITH THRUST BLOCK
4. FH ASSEMBLY PER CSU STANDARD DETL. A5-6
5. SANITARY SEWER CROSSING
6. STORM SEWER CROSSING
7. 8"X8" FIRE SERVICE TEE W/ 8" GATE VALVE (3-VALVE CLUSTER)
8. 8"X6" REDUCER W/ THRUST BLOCK
9. 22.5° VERTICAL BEND
10. 10"X8"X10" FIRE SERVICE TEE W/ 10" & 8" GATE VALVES (2-VALVE CLUSTER)
11. 10"X8"X8" FIRE SERVICE TEE W/ 10" & 8" GATE VALVES (3-VALVE CLUSTER)

NOTES:

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3. THE HORIZONTAL DIMENSIONS BETWEEN PROPOSED UTILITY LINES MAY VARY SLIGHTLY BASED ON INSTALLED VALVES, ADAPTER, AND PUMPS.
4. ALL APPURTENANCES ON HYDRANT LATERALS SHALL BE INSTALLED WITH MJ RESTRAINTS PER CSU STANDARDS.
5. ALL WATER LINES DESIGNATED PVC TO BE CONSTRUCTED WITH C900 PVC PIPE.

CAUTION NOTE (SERVICE LINES):

CONTRACTOR SHALL MAINTAIN 1' OF VERTICAL SEPARATION AT ALL DRY UTILITY CROSSINGS. CONTRACTOR SHALL POTHOLE ALL EXISTING UTILITY CROSSINGS TO VERIFY DEPTH AND COORDINATE WITH ENGINEER OF RECORD.

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1-800-922-1987
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES

NORTH

GRAPHIC SCALE IN FEET
0 15 30 60

NO.	REVISION	BY	DATE	APPR.

Kimley»Horn
2022 KIMLEY-HORN AND ASSOCIATES, INC.
2 North Nevada Avenue, Suite 300
Colorado Springs, CO 80903 (303) 228-2300

DESIGNED BY: MOH
DRAWN BY: JWM
CHECKED BY: DLS
DATE: 12/07/2022

THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
UTILITY AND WATER SERVICE PLANS
WATER PLAN

COLORADO LICENSED
DARRELL G. LASHELL
53916
12/12/2022
PROFESSIONAL ENGINEER

PROJECT NO.
096481004

SHEET
C3.5

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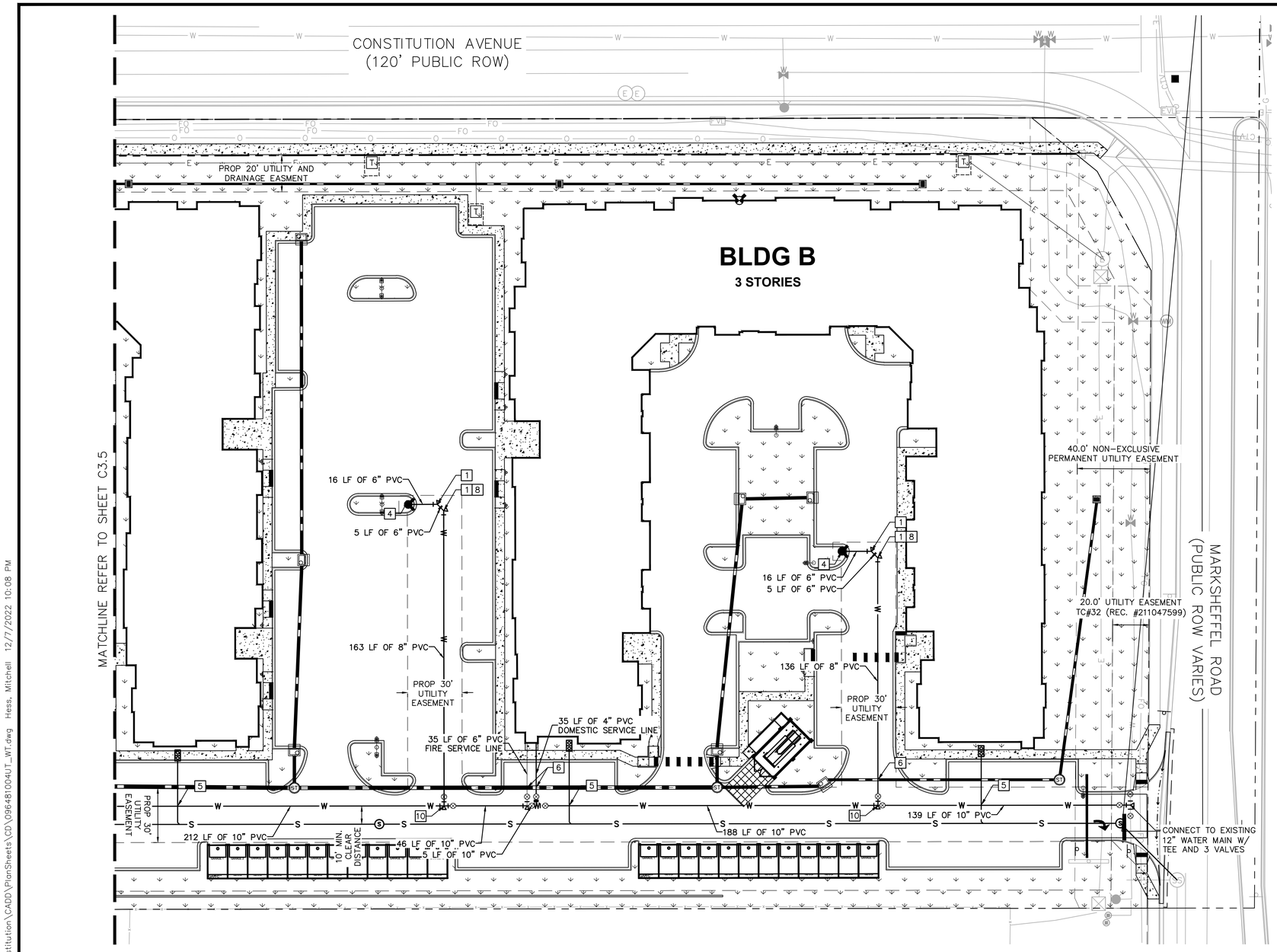
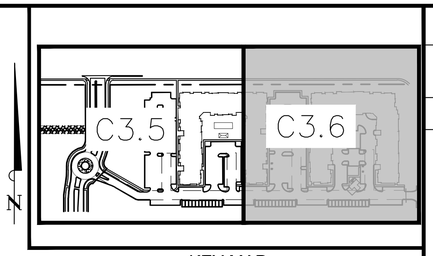
PCD PROJECT NUMBER: PPR-2229 & SF-226





KEY MAP
NOT TO SCALE

LEGEND

- PROPERTY LINE
- EXISTING WATER LINE & VALVE
- PROPOSED WATER LINE & VALVE
- PROPOSED FIRE HYDRANT
- EXISTING SANITARY SEWER LINE & MANHOLE
- PROPOSED SANITARY SEWER LINE, MANHOLE, AND DOUBLE CLEANOUT
- PROPOSED STORM SEWER LINE & MANHOLE
- PROPOSED STORM SEWER STRUCTURES

KEY NOTE LEGEND

1. 45° HORIZONTAL BEND WITH THRUST BLOCK
2. 22.5° HORIZONTAL BEND WITH THRUST BLOCK
3. 11.25° HORIZONTAL BEND WITH THRUST BLOCK
4. FH ASSEMBLY PER CSU STANDARD DETL. A5-6
5. SANITARY SEWER CROSSING
6. STORM SEWER CROSSING
7. 8"X8" FIRE SERVICE TEE W/ 8" GATE VALVE (3-VALVE CLUSTER)
8. 8"X6" REDUCER W/ THRUST BLOCK
9. 22.5° VERTICAL BEND
10. 10"X8"X10" FIRE SERVICE TEE W/ 10" & 8" GATE VALVES (2-VALVE CLUSTER)
11. 10"X8"X8" FIRE SERVICE TEE W/ 10" & 8" GATE VALVES (3-VALVE CLUSTER)

NOTES:

1. ALL WATER LINES TO BE BEDDED PER COLORADO SPRINGS UTILITIES SPECIFICATIONS.
2. ALL CONDITIONS SHOWN TO BE "EXISTING" OR "ASSUMED" SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO POTHOLING OF EXISTING UTILITY ELEVATIONS AT CROSSINGS AND TIE-IN LOCATIONS. ANY DISCREPANCIES SHALL BE NOTED AND SUBMITTED TO THE OWNER AND THE ENGINEER FOR REVIEW. CHANGES TO THE ORIGINAL DESIGN OF THIS PROJECT DUE TO EXISTING SITE CONDITIONS MUST BE APPROVED BY BOTH THE ENGINEER AND OWNER PRIOR TO MAKING ANY CHANGES.
3. THE HORIZONTAL DIMENSIONS BETWEEN PROPOSED UTILITY LINES MAY VARY SLIGHTLY BASED ON INSTALLED VALVES, ADAPTER, AND PUMPS.
4. ALL APPURTENANCES ON HYDRANT LATERALS SHALL BE INSTALLED WITH MJ RESTRAINTS PER CSU STANDARDS.
5. ALL WATER LINES DESIGNATED PVC TO BE CONSTRUCTED WITH C900 PVC PIPE.

CAUTION NOTE (SERVICE LINES):

CONTRACTOR SHALL MAINTAIN 1' OF VERTICAL SEPARATION AT ALL DRY UTILITY CROSSINGS. CONTRACTOR SHALL POTHOLE ALL EXISTING UTILITY CROSSINGS TO VERIFY DEPTH AND COORDINATE WITH ENGINEER OF RECORD.

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NORTH

GRAPHIC SCALE IN FEET
0 15 30 60

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Kimley»Horn
2022 KIMLEY-HORN AND ASSOCIATES, INC.
2 North Nevada Avenue, Suite 300
Colorado Springs, CO 80903 (303) 228-2300

DESIGNED BY: MOH
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THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
UTILITY AND WATER SERVICE PLANS
WATER PLAN

COLORADO LICENSED
MITCHELL O. HESS
53916
12/12/2022
PROFESSIONAL ENGINEER

PROJECT NO.
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SHEET
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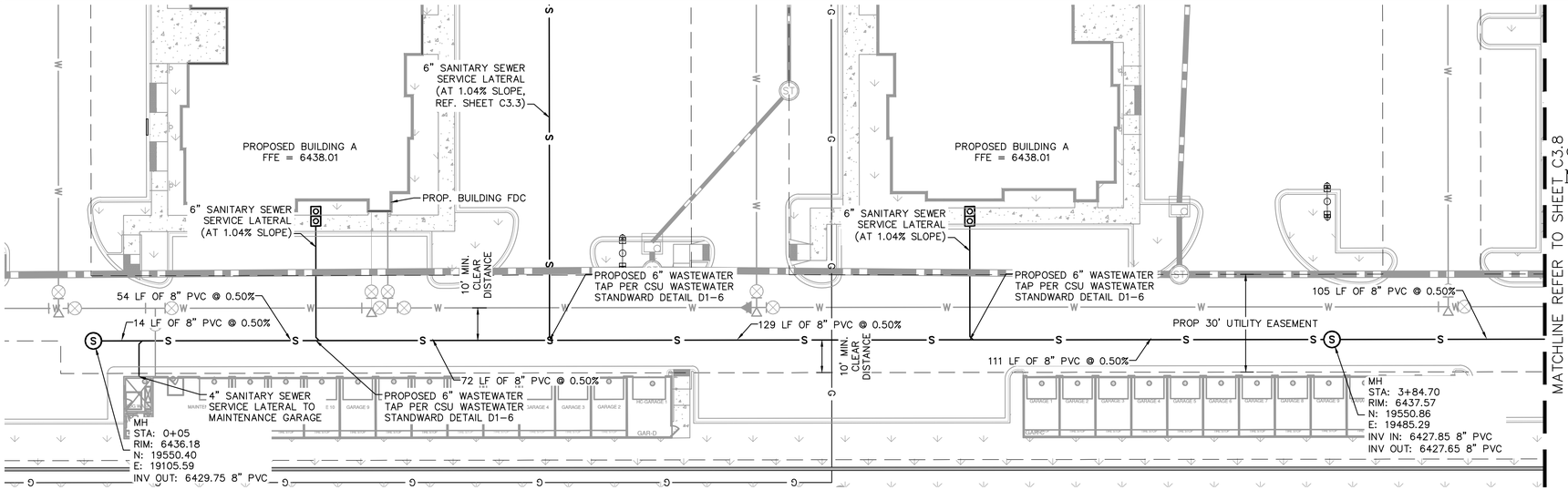
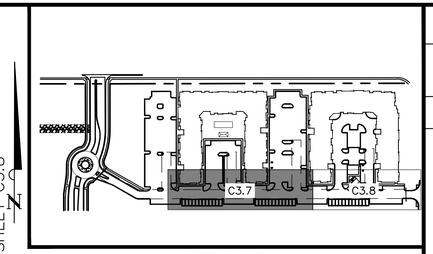
PCD PROJECT NUMBER: PPR-2229 & SF-226

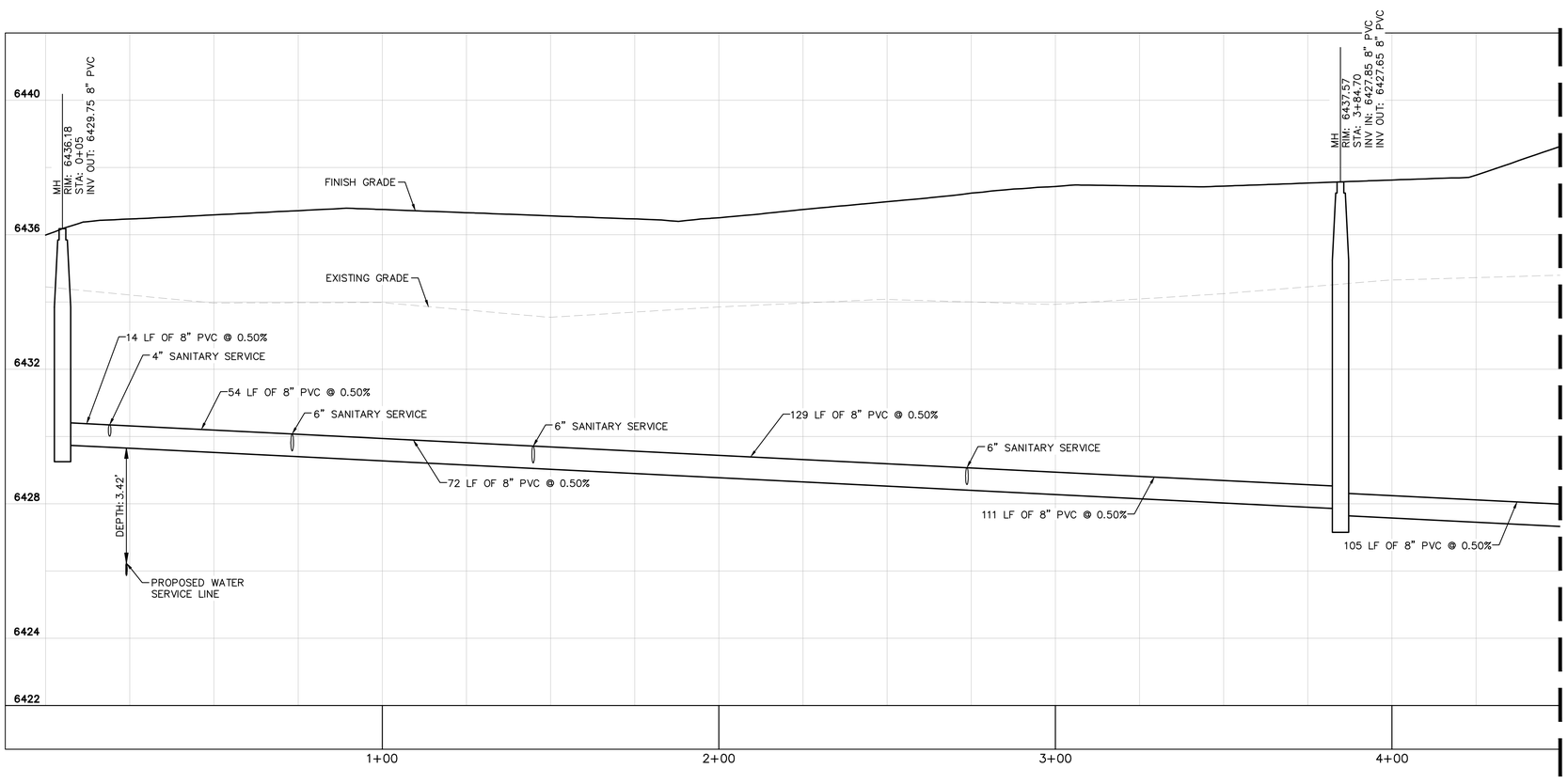




KEY MAP
NOT TO SCALE

GRAPHIC SCALE IN FEET
0 10 20 40
HORIZONTAL
VERTICAL
4
2
1
0

NORTH



LEGEND:

- PROPERTY LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER W/ DOUBLE C.O.
- SANITARY SEWER MANHOLE
- EXISTING SANITARY MANHOLE
- PROPOSED STORM MANHOLE
- PROPOSED STORM SEWER
- PROPOSED WATER LINE
- PROPOSED FIRE HYDRANT
- PROPOSED STORM INLET

SANITARY SEWER NOTES

1. MANHOLE RIM ELEVATIONS PROVIDED FOR REFERENCE ONLY. CONTRACTOR SHALL INSTALL MANHOLES IN ACCORDANCE WITH APPLICABLE DETAILS BASED UPON FINAL FINISH GRADING AT MANHOLE LOCATION. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTMENTS TO ACCOMMODATE DEVIATIONS IN SITE GRADING AT NO COST TO THE OWNER.
2. ALL SANITARY SEWER MANHOLES AND MAINS ARE PUBLIC UNLESS OTHERWISE NOTED.
3. ALL SERVICE LATERALS SHALL BE 6" PVC AND PRIVATE UNLESS OTHERWISE NOTED ON PLANS.
4. CONTRACTOR SHALL VERIFY LOCATIONS AND ELEVATIONS OF EXISTING SANITARY SEWER AT ALL CONNECTION POINTS AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
5. CONTRACTOR TO MODIFY EXISTING MANHOLE RIM ELEVATIONS TO MATCH PROPOSED FINISH GRADE AS NECESSARY.
6. SANITARY MAINS UNDER 1.04% SLOPE SHALL REQUIRE SELECT BEDDING PER CSU WASTEWATER LESS 5.11.D.3

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EL PASO COUNTY, COLORADO
UTILITY AND WATER SERVICE PLANS
SAN. SEWER PLAN & PROFILE LINE A

COLORADO LICENSED
MITCHELL O. HESS
53916
12/12/2022
PROFESSIONAL ENGINEER

PROJECT NO.
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SHEET
C3.7

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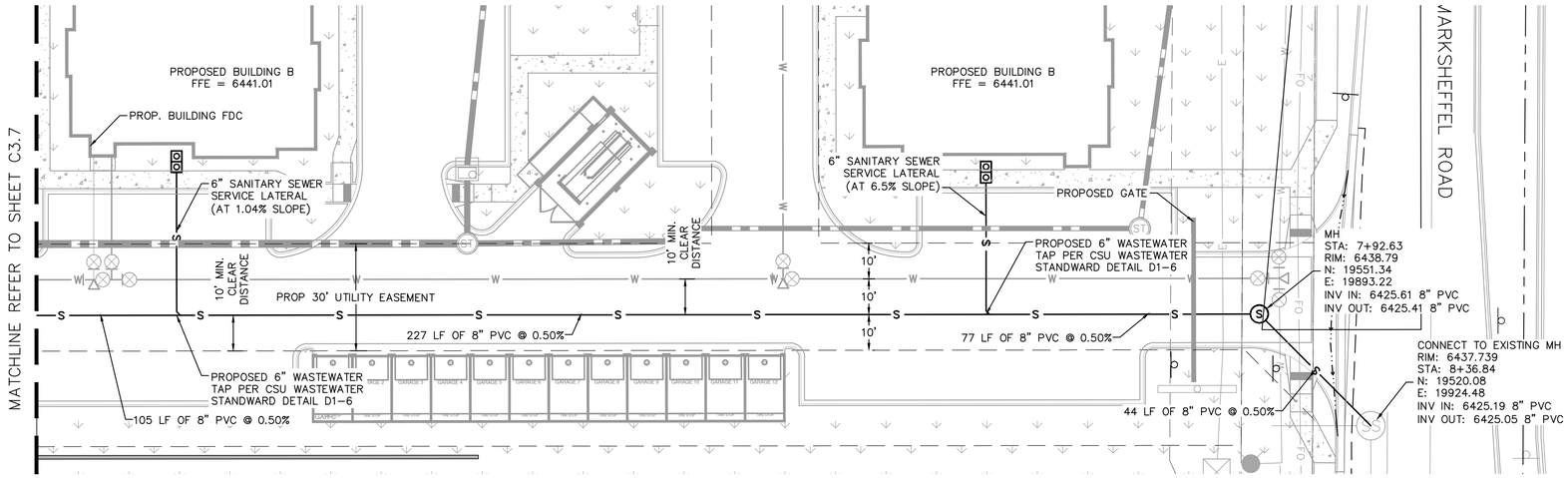

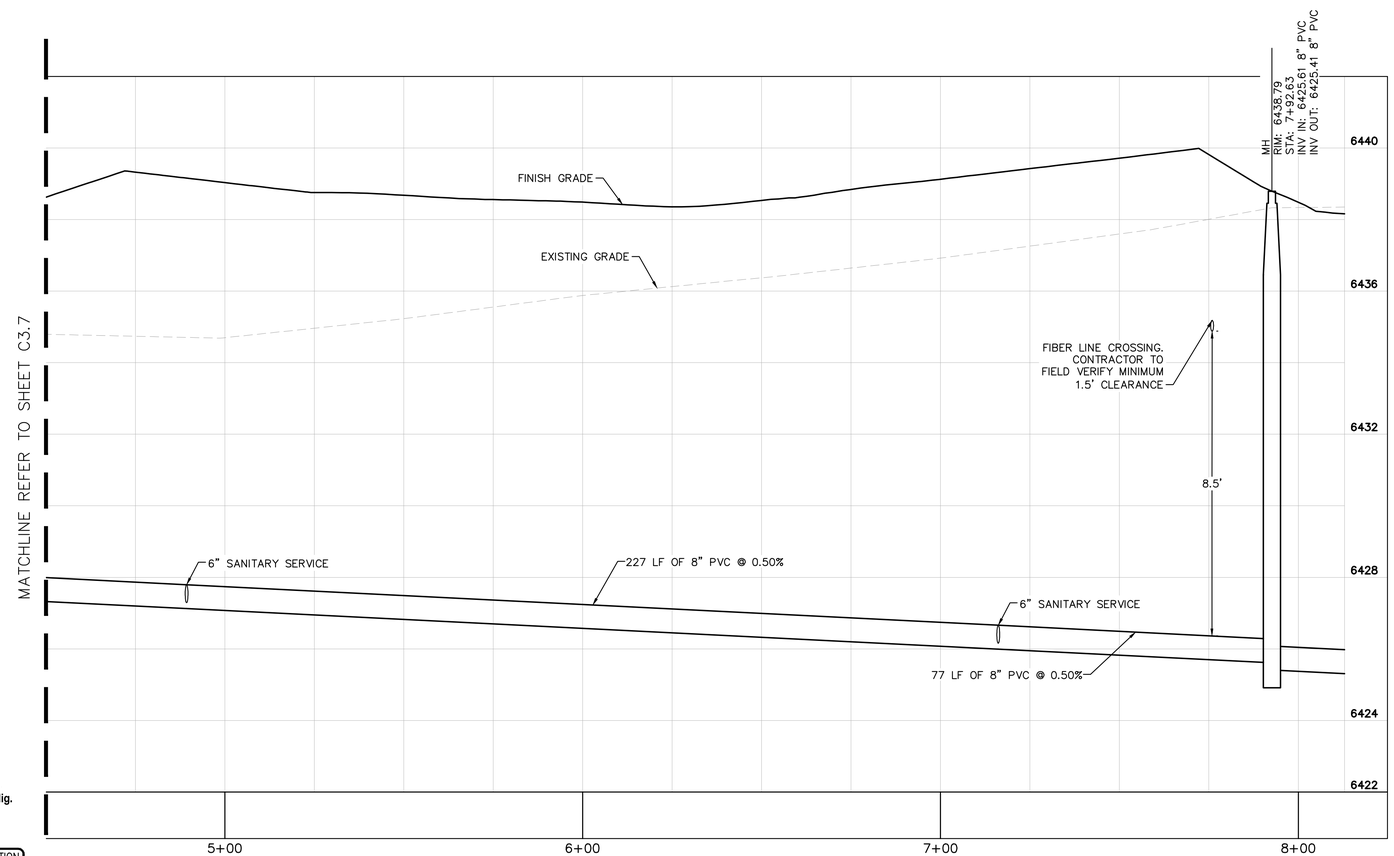

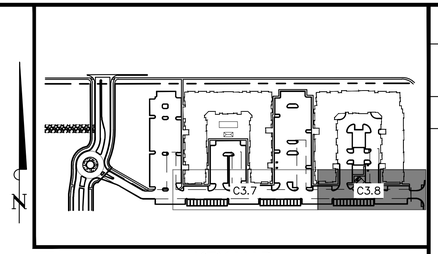

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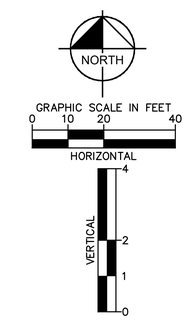

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THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
UTILITY AND WATER SERVICE PLANS
SAN. SEWER PLAN & PROFILE LINE A

COLORADO LICENSED
DARYL L. SIMS
53916
12/12/2022
PROFESSIONAL ENGINEER

PROJECT NO.
096481004

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PCD PROJECT NUMBER: PPR-2229 & SF-226

THE CITIZEN ON CONSTITUTION

STORM SEWER PLANS

A PORTION OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M., CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

LAND AREA:

543,215 SQ. FT. OR 12.264 ACRES MORE OR LESS

BASIS OF BEARING:

BEARINGS ARE BASED UPON THE SOUTH RIGHT-OF-WAY LINE OF CONSTITUTION AVENUE, MONUMENTED ON THE WEST WITH A #4 REBAR WITH YELLOW PLASTIC CAP STAMPED "PLS 4842" AND ON THE EAST WITH A #5 REBAR WITH YELLOW PLASTIC CAP STAMPED "AZTEC PLS 36567" AND IS ASSUMED TO BEAR N 89°53'50" E, A DISTANCE OF 1691.84 FEET.

BENCHMARK/ PROJECT CONTROL:

ELEVATIONS ARE BASED UPON CITY OF COLORADO SPRINGS FIMS BENCHMARK "BLT104" (ELEVATION=6452.43 NGVD29)

LEGAL DESCRIPTION

PARCEL A:

A PARCEL OF LAND LOCATED IN SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 5; THENCE SOUTH 89°53'50" WEST, 30.00 FEET ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 5 TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF MARKSHEFFEL ROAD; THENCE SOUTH 00°20'42" WEST, 60.00 FEET ALONG SAID WESTERLY RIGHT-OF-WAY LINE TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF PROPOSED 120.00 FOOT WIDE RIGHT-OF-WAY OF CONSTITUTION AVENUE TO THE POINT OF BEGINNING OF THE TRACT OF LAND HEREIN DESCRIBED; THENCE SOUTH 00°20'42" WEST, 435.00 FEET ALONG SAID WESTERLY RIGHT-OF-WAY LINE OF MARKSHEFFEL ROAD TO THE SOUTHEAST CORNER OF THE TRACT OF LAND DESCRIBED IN BOOK 2083 AT PAGE 587 OF THE RECORDS OF SAID COUNTY; THENCE SOUTH 89°53'50" WEST, 1292.28 FEET ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE TO THE POINT OF BEGINNING, EL PASO COUNTY, COLORADO.

EXCEPT THAT PORTION DESCRIBED AS FOLLOWS: THAT PORTION OF THE NORTHEAST ONE-QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M., SITUATE IN EL PASO COUNTY, COLORADO, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 5 THENCE SOUTH 89°53'50" WEST ON THE NORTH LINE THEREOF, 1322.28 FEET TO THE NORTHWEST CORNER OF SAID NORTHEAST ONE-QUARTER OF THE NORTHEAST ONE-QUARTER OF SECTION 5, THENCE SOUTH 00°20'41" WEST ON THE WEST LINE OF SAID NORTHEAST ONE-QUARTER OF SECTION 5, 60.00 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF PROPOSED 120.00 FOOT RIGHT-OF-WAY OF CONSTITUTION AVENUE AND THE POINT OF BEGINNING OF THE TRACT OF LAND HEREIN DESCRIBED, THENCE (1) CONTINUE ON THE LAST MENTIONED COURSE 435.00 FEET; (2) NORTH 89°53'50" EAST, 172.42 FEET; (3) NORTH 00°20'41" EAST 435.00 FEET TO A POINT ON SAID SOUTHERLY RIGHT-OF-WAY LINE OF PROPOSED CONSTITUTION AVENUE; (4) SOUTH 89°53'50" WEST ON SAID SOUTHERLY RIGHT-OF-WAY LINE OF PROPOSED CONSTITUION AVENUE, 172.42 FEET TO THE POINT OF BEGINNING.

EXCEPT THAT PORTION CONVEYED TO THE BOARD OF COUNTY COMMISSIONER, EL PASO COUNTY, COLORADO IN WARRANTY DEED RECORDED JUNE 9, 2010 UNDER RECEPTION NO. 210054574.

COUNTY OF EL PASO,
STATE OF COLORADO.

PARCEL B:

THAT PORTION OF THE NORTHEAST ONE-QUARTER OF THE NORTHEAST ONE-QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, SITUATE IN COUNTY EL PASO, STATE OF COLORADO AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 5, THENCE SOUTH 89°53'50" WEST ON THE NORTH LINE THEREOF, 1,322.28 FEET TO THE NORTHWEST CORNER OF SAID NORTHEAST ONE-QUARTER OF THE NORTHEAST ONE-QUARTER OF SECTION 5, THENCE SOUTH 00°20'41" WEST ON THE WEST LINE OF SAID NORTHEAST ONE-QUARTER OF SECTION 5, 60.00 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF PROPOSED 120.00 FOOT RIGHT OF WAY OF CONSTITUTION AVENUE AND THE POINT OF BEGINNING OF THE TRACT OF LAND HEREIN DESCRIBED, THENCE (1) CONTINUE ON LAST MENTIONED COURSE, 435.00 FEET; (2) NORTH 89°53'50" EAST, 172.42 FEET; (3) NORTH 00°20'41" EAST, 435.00 FEET TO A POINT ON SAID SOUTHERLY RIGHT OF WAY LINE OF PROPOSED CONSTITUTION AVENUE; (4) SOUTH 89°53'50" WEST ON SAID SOUTHERLY RIGHT OF WAY LINE OF PROPOSED CONSTITUTION AVENUE, 172.42 FEET TO A POINT OF BEGINNING,

COUNTY OF EL PASO,
STATE OF COLORADO.

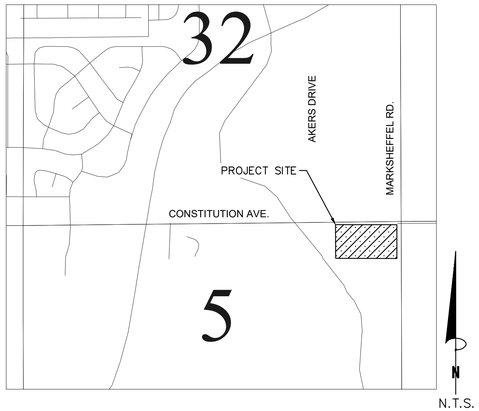
(PER TITLE COMMITMENT FILE NO. NCS-1074278-INDY AS PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY.)

FLOOD ZONE DESIGNATION

FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP, MAP NUMBER 08041C0756G, EFFECTIVE DATE DECEMBER 7, 2018, INDICATES THIS PARCEL OF LAND TO BE LOCATED IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).

GENERAL NOTES

1. BASED ON ELEVATION DATA, THE APPLICANT WILL NEED TO FILE FEDERAL AVIATION ADMINISTRATION (FAA) FORM 7460-1 "NOTICE OF PROPOSED CONSTRUCTION OR ALTERATION" FOR ANY NEW VERTICAL DEVELOPMENT AT THIS SITE, INCLUDING TEMPORARY CONSTRUCTION EQUIPMENT, AND PROVIDE FAA DOCUMENTATION TO THE AIRPORT BEFORE THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES; FAA'S WEBSITE (HTTPS://OEAAA.FAA.GOV/OEAAA/EXTERNAL/PORTAL.ISP).
2. ALL EASEMENTS THAT ARE DEDICATED HEREON FOR PUBLIC UTILITY PURPOSES RELATED TO GAS AND ELECTRIC SHALL BE SUBJECT TO THOSE TERMS AND CONDITIONS AS SPECIFIED IN THE INSTRUMENT RECORDED AT RECEPTION NUMBER 212112548 OF THE RECORDS OF EL PASO COUNTY, COLORADO. ALL OTHER EASEMENTS OR INTERESTS OF RECORD AFFECTING ANY OF THE PLATTED PROPERTY DEPICTED HEREON SHALL NOT BE AFFECTED AND SHALL REMAIN IN FULL FORCE AND EFFECT.



VICINITY MAP
N.T.S

SHEET INDEX	
Sheet Number	Sheet Title
C4.0	STORM PLAN & PROFILE COVER SHEET
C4.1	STORM PLAN AND PROFILE LINE A
C4.2	STORM PLAN AND PROFILE LINE B & C
C4.3	STORM PLAN AND PROFILE LINE D
C4.4	STORM PLAN AND PROFILE LINE D
C4.5	STORM PLAN AND PROFILE LINE E
C4.6	STORM PLAN AND PROFILE LINE F
C4.7	STORM PLAN AND PROFILE LINE F
C4.8	STORM PLAN AND PROFILE LINE G
C4.9	STORM PLAN AND PROFILE LINE H
C4.10	STORM PLAN AND PROFILE LINE I & J
C4.11	DETENTION POND PLAN AND DETAILS
C5.0	CONSTRUCTION DETAILS
C5.1	CONSTRUCTION DETAILS

CONTACTS:

OWNER:
THE GARRETT COMPANIES
1051 GREENWOOD SPRINGS BLVD, SUITE 101
GREENWOOD, IN 46143
TEL: (317) 886-7926
CONTACT: KARL STOUT

ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
2 NORTH NEVADA AVENUE, SUITE 300
COLORADO SPRINGS, CO 80903
TEL: (719) 453-0180
CONTACT: MITCHELL HESS, P.E.

EL PASO COUNTY:
EL PASO COUNTY
PCD DEPARTMENT
2880 INTERNATIONAL CIRCLE, SUITE 110
COLORADO SPRINGS, CO 80910
PHONE: (719) 520-6300

SURVEYOR:
BARRON LAND, LLC
2790 N. ACADEMY BLVD. SUITE 311
COLORADO SPRINGS, CO 80917
TEL: (719) 360-6827
CONTACT: SPENCER BARRON, PLS

DEVELOPER'S SIGNATURE BLOCK

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

NAME Director of Civil Engineering DATE 12/19/2022

ENGINEER'S SIGNATURE BLOCK

THESE DETAILED PLANS AND SPEFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH THE APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THE DETAILED PLANS AND SPECIFICATIONS

COLORADO LICENSED MITCHELL O. HESS 53916 12/12/2022 PROFESSIONAL ENGINEER

MITCHELL HESS, PE – KIMLEY-HORN AND ASSOCIATES, INC. DATE

EL PASO COUNTY REVIEW STATEMENT

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN DIMENSIONS AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL, AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

JOSHUA PALMER, P.E. DATE
COUNTY ENGINEER / ECM ADMINISTRATOR

NO.	REVISION	BY	DATE	APPR.

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2 North Nevada Avenue, Suite 300
Colorado Springs, CO 80903 (303) 228-2300

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CHECKED BY: DLS
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THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
UTILITY AND WATER SERVICE PLANS
STORM PLAN & PROFILE COVER SHEET

COLORADO LICENSED MITCHELL O. HESS 53916 12/12/2022 PROFESSIONAL ENGINEER

PROJECT NO. 096481004

SHEET
C4.0

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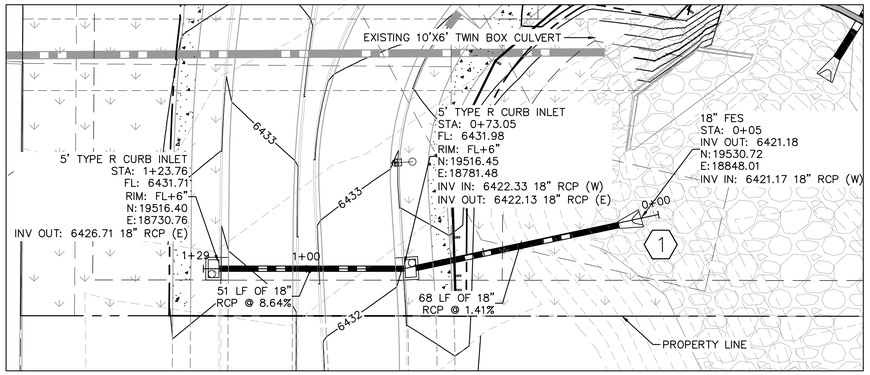
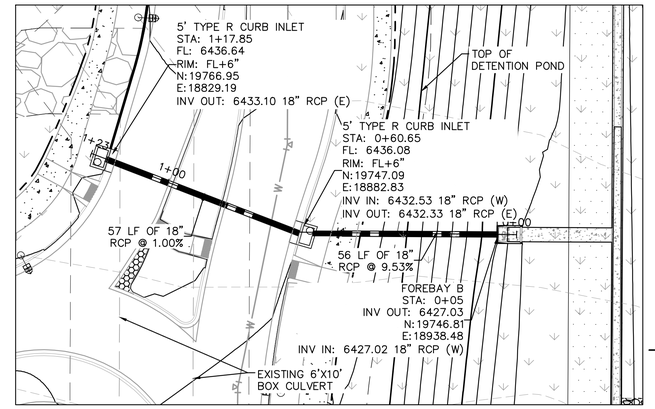
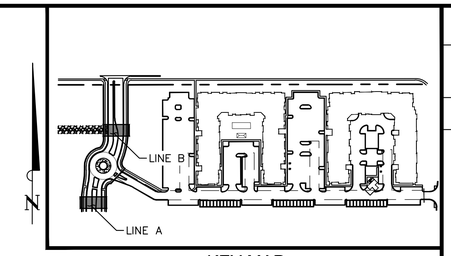
PCD PROJECT NUMBER: PPR-2229 & SF-226



STORM SEWER LINE A – PLAN VIEW



STORM SEWER LINE B – PLAN VIEW

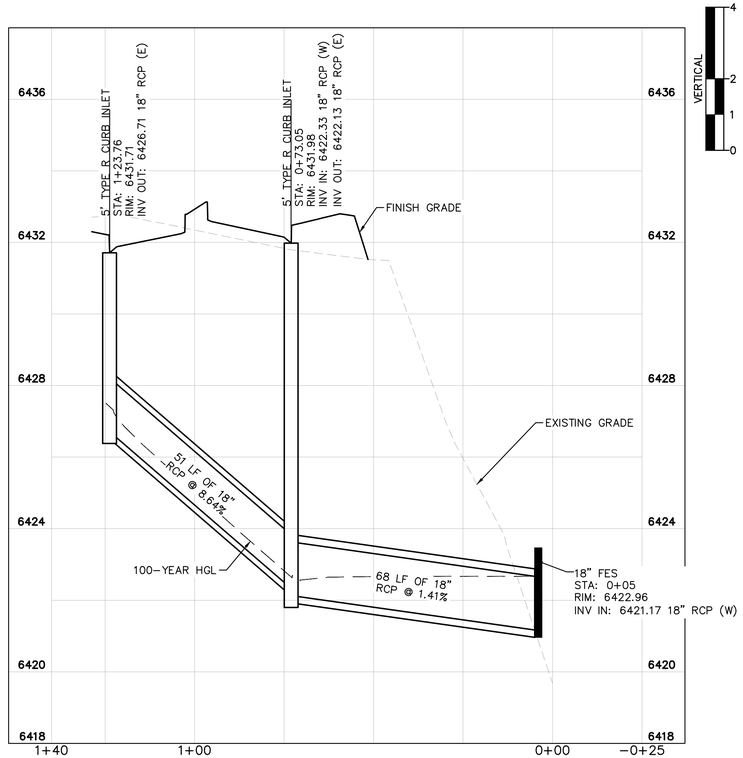


KEY MAP
NOT TO SCALE

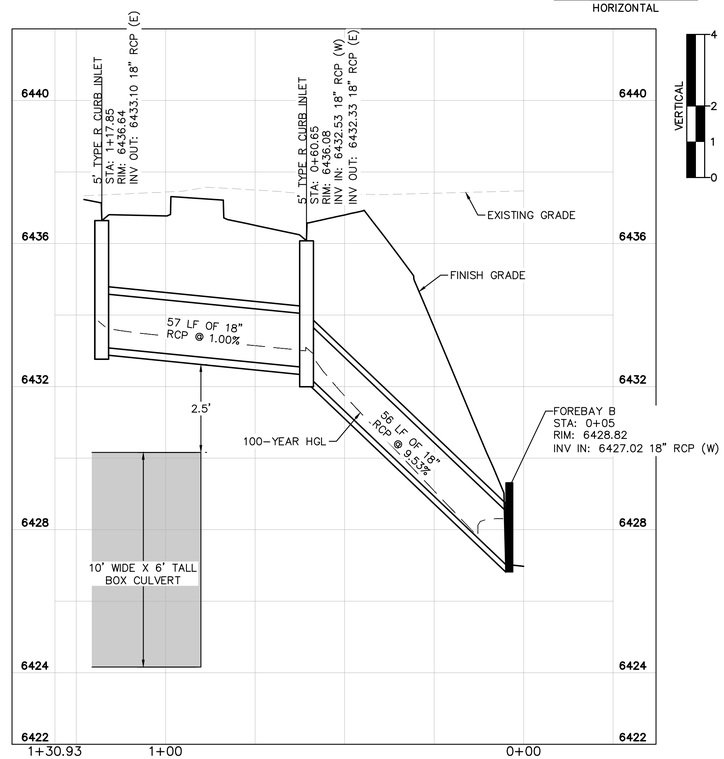
NORTH

GRAPHIC SCALE IN FEET
0 10 20 40
HORIZONTAL

1 CONTRACTOR TO REPAIR ANY DAMAGE DONE TO EXISTING GROUTED RIPRAP AND ENSURE ALL VEGETATION IS RETURNED TO PRE-DISTURBED CONDITION



STORM SEWER LINE A – PROFILE VIEW



STORM SEWER LINE B – PROFILE VIEW

LEGEND:

- PROPERTY LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- PROPOSED FIRE DEPARTMENT CONNECTION W/ APPROVED KNOX HARDWARE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- SANITARY SEWER MANHOLE
- PROPOSED STORM MANHOLE
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- PROPOSED CURB INLET
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1-800-922-1987
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES

NO.	REVISION	BY	DATE	APPR.

Kimley»Horn
2022 KIMLEY-HORN AND ASSOCIATES, INC.
2 North Nevada Avenue, Suite 300
Colorado Springs, CO 80903 (303) 228-2300

DESIGNED BY: MOH
DRAWN BY: JWM
CHECKED BY: DLS
DATE: 12/07/2022

THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
UTILITY AND WATER SERVICE PLANS
STORM PLAN AND PROFILE LINE A

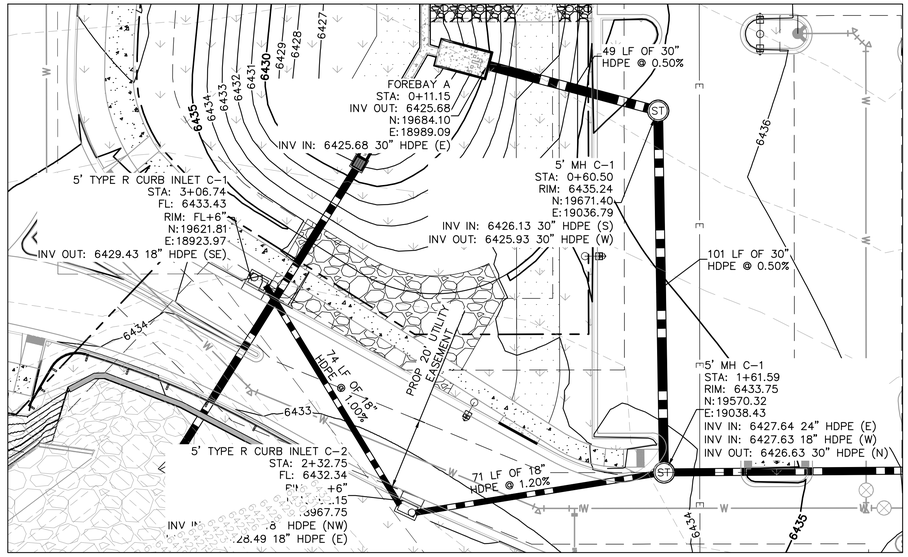
COLORADO LICENSED
DANIELLE L. SHELL
53916
12/12/2022
PROFESSIONAL ENGINEER

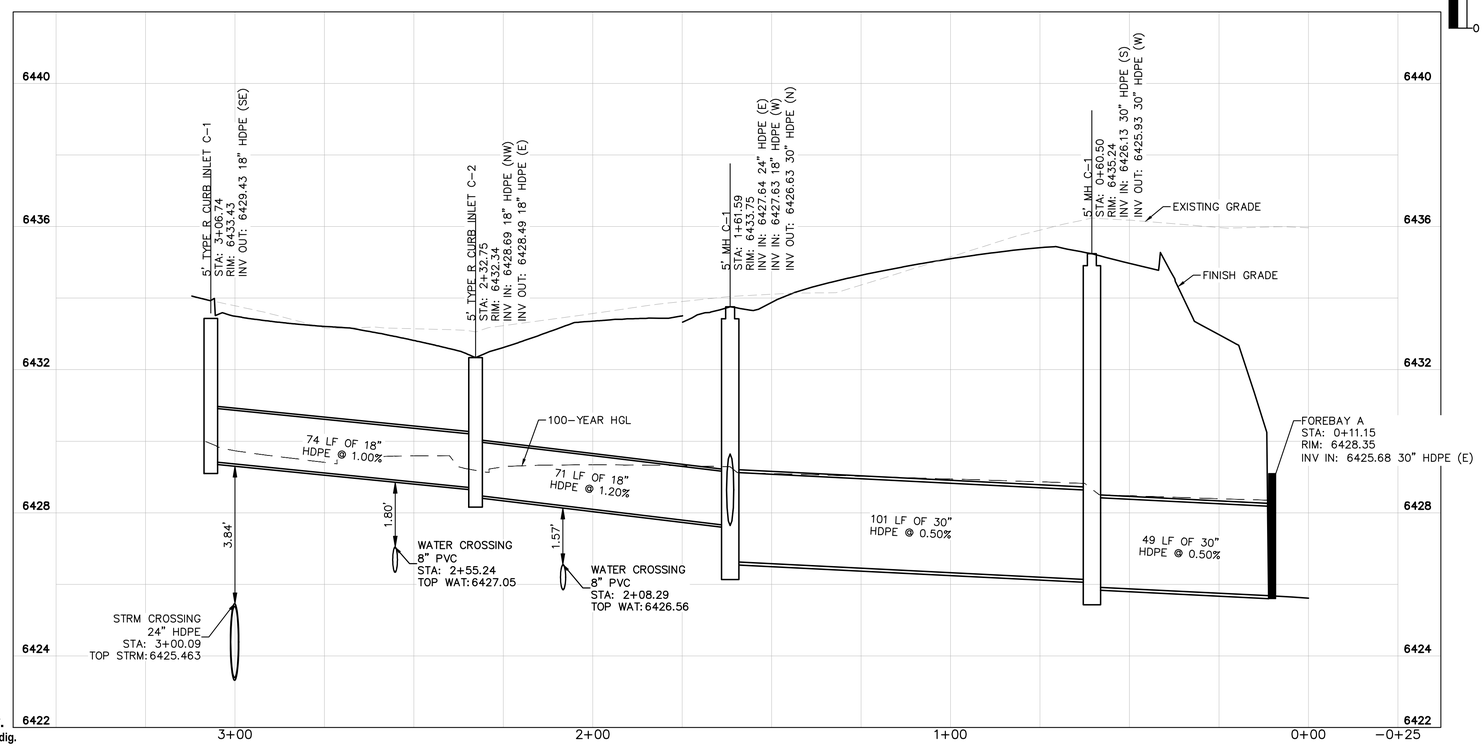
PROJECT NO.
096481004

SHEET
C4.1

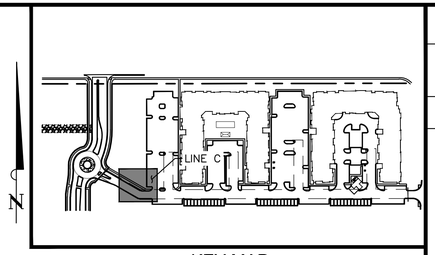
K:\DEN_Civil\096481004 – El Paso Constitution\CADD\PlanSheets\CD\096481004UT_STPP.dwg Hess, Mitchell 12/7/2022 10:09 PM

PCD PROJECT NUMBER: PPR-2229 & SF-226





STORM SEWER LINE C – PROFILE VIEW



KEY MAP
NOT TO SCALE

NORTH

GRAPHIC SCALE IN FEET
0 10 20 40
HORIZONTAL
VERTICAL
4
2
1
0

LEGEND:

- PROPERTY LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- PROPOSED FIRE DEPARTMENT CONNECTION W/ APPROVED KNOX HARDWARE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
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- PROPOSED CURB INLET
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2 North Nevada Avenue, Suite 300
Colorado Springs, CO 80903 (303) 228-2300

DESIGNED BY: MOH
DRAWN BY: JWM
CHECKED BY: DLS
DATE: 12/07/2022

THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
UTILITY AND WATER SERVICE PLANS
STORM PLAN AND PROFILE LINE B & C

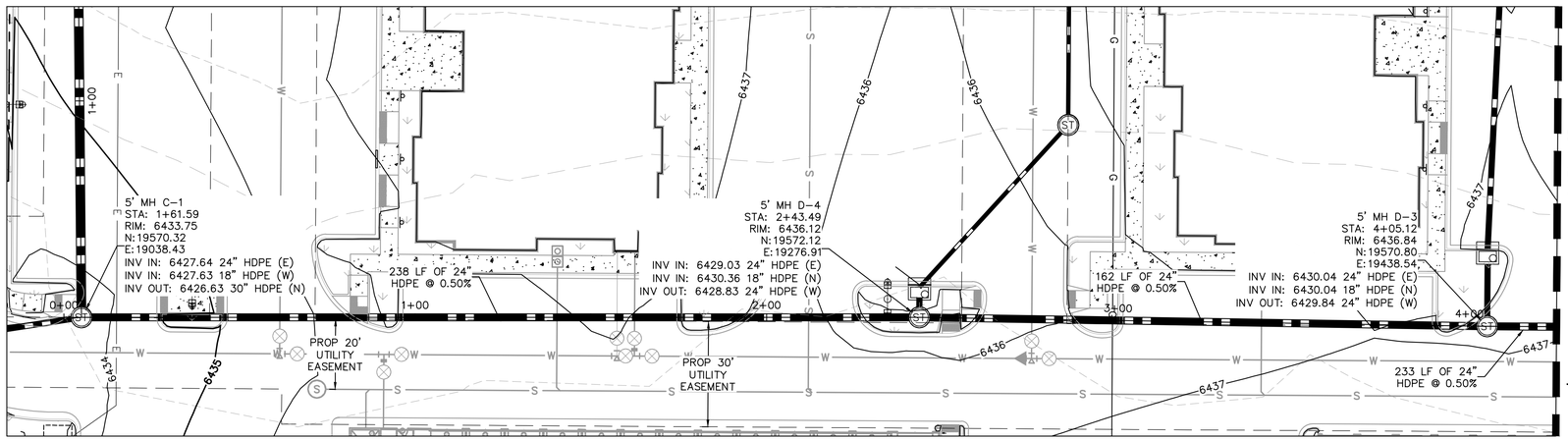
COLORADO LICENSED
MICHELL G. HESS
53916
12/12/2022
PROFESSIONAL ENGINEER

PROJECT NO.
096481004

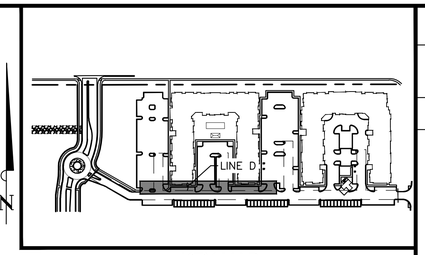
SHEET
C4.2

K:\DEN_Civil\096481004 – El Paso Constitution\CADD\PlanSheets\CD\096481004UT_STPP.dwg Hess, Mitchell 12/7/2022 10:09 PM

PCD PROJECT NUMBER: PPR-2229 & SF-226



STORM SEWER LINE D STA 0+00–4+25 PLAN VIEW



KEY MAP
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0 10 20 40
HORIZONTAL

VERTICAL
4
2
1
0

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- PROPOSED STORM SEWER
- EXISTING WATER LINE
- PROPOSED WATER LINE
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- PROPOSED FIRE HYDRANT
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- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- SANITARY SEWER MANHOLE
- PROPOSED STORM MANHOLE
- EXISTING STORM MANHOLE
- PROPOSED CURB INLET
- EXISTING CURB INLET
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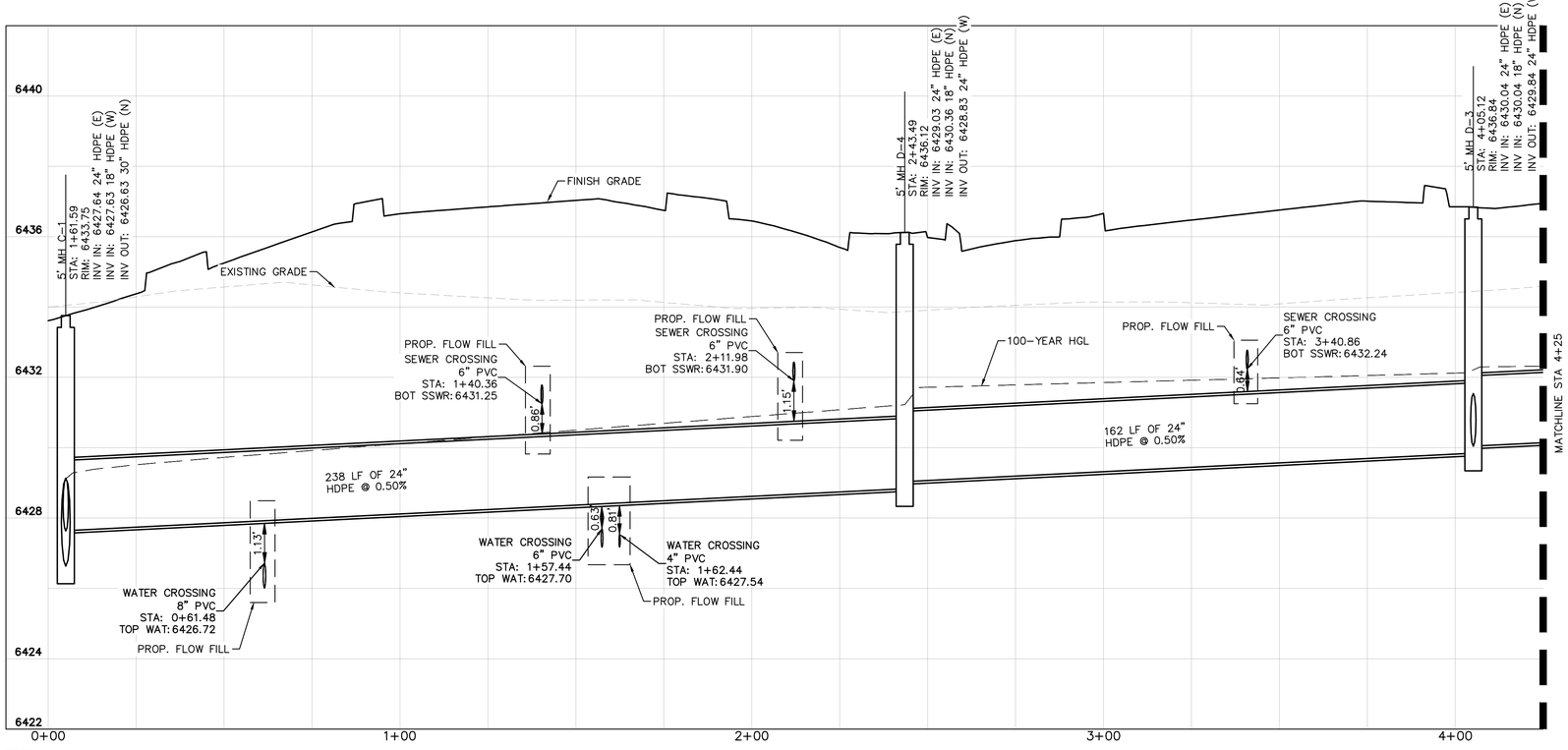

STORM SEWER LINE D STA 0+00–4+25 – PROFILE VIEW

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Kimley»Horn
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2 North Nevada Avenue, Suite 300
Colorado Springs, CO 80903 (303) 228-2300

DESIGNED BY: MOH
DRAWN BY: JWM
CHECKED BY: DLS
DATE: 12/07/2022

THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
UTILITY AND WATER SERVICE PLANS
STORM PLAN AND PROFILE LINE D

COLORADO LICENSED
MICHELL G. HESS
53916
12/12/2022
PROFESSIONAL ENGINEER

PROJECT NO.
096481004

SHEET
C4.3

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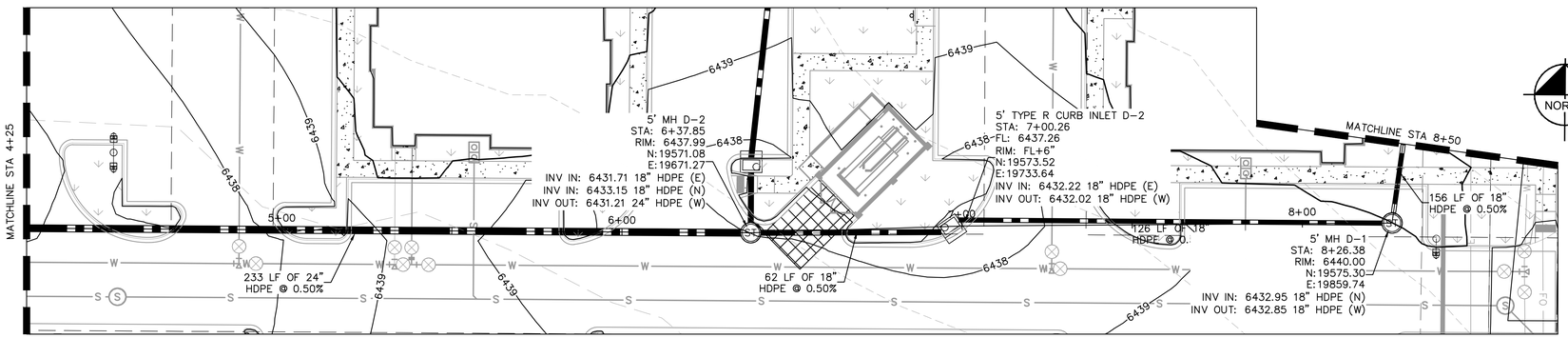
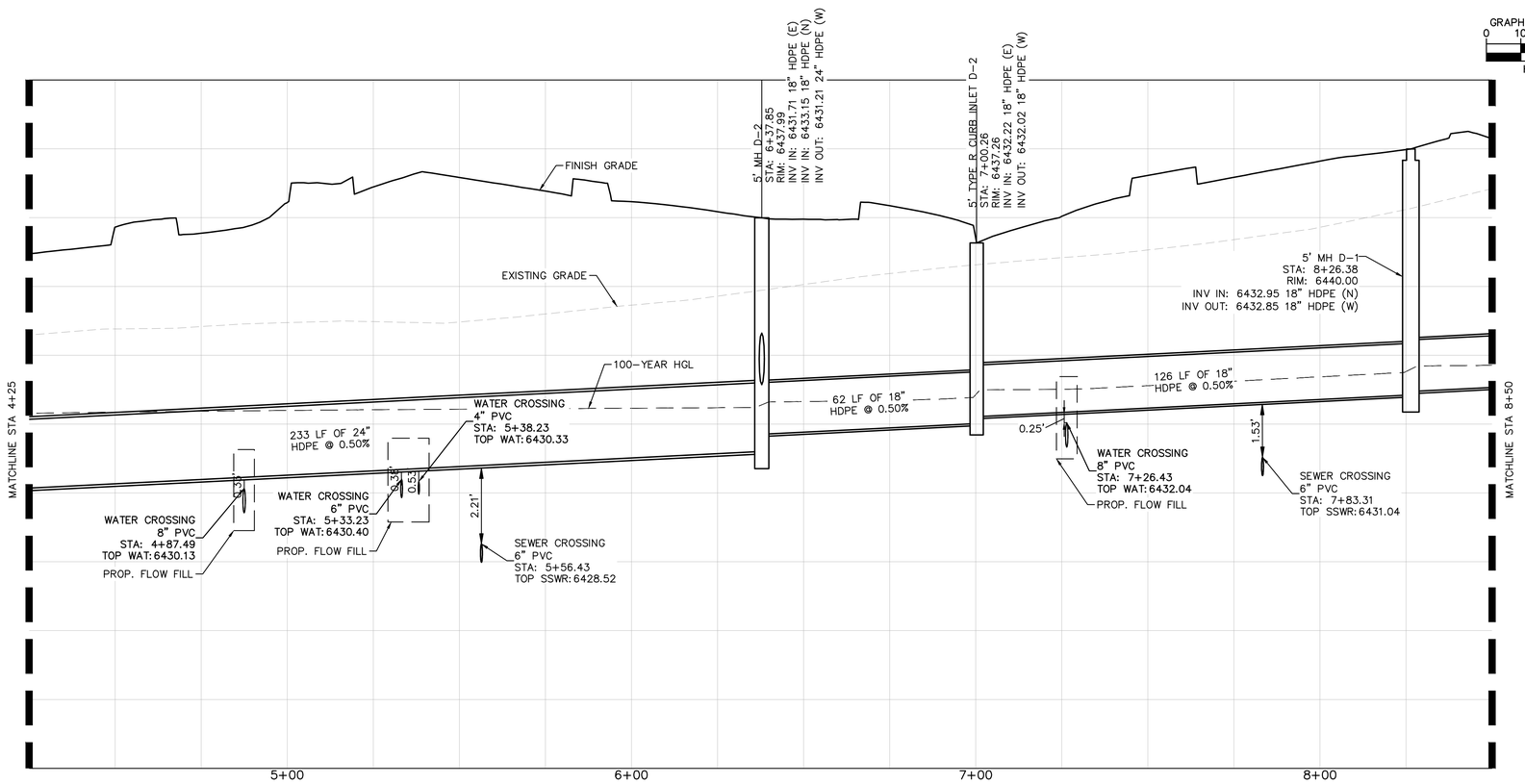
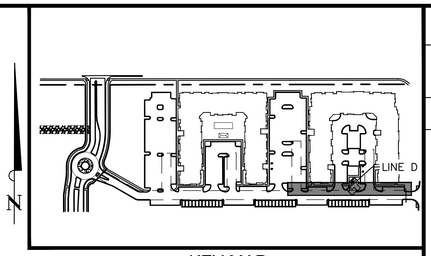
PCD PROJECT NUMBER: PPR-2229 & SF-226



STORM SEWER LINE D STA 4+25–8+50 – PLAN VIEW



STORM SEWER LINE D STA 4+25–8+50 – PROFILE VIEW



KEY MAP
NOT TO SCALE

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- PROPOSED STORM SEWER
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- PROPOSED WATER LINE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- PROPOSED FIRE DEPARTMENT CONNECTION W/ APPROVED KNOX HARDWARE
- EXISTING SANITARY SEWER
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2 North Nevada Avenue, Suite 300
Colorado Springs, CO 80903 (303) 228-2300

DESIGNED BY: MOH
DRAWN BY: JWM
CHECKED BY: DLS
DATE: 12/07/2022

THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
UTILITY AND WATER SERVICE PLANS
STORM PLAN AND PROFILE LINE D

COLORADO LICENSED
MITCHELL G. HESS
53916
12/12/2022
PROFESSIONAL ENGINEER

PROJECT NO.
096481004

SHEET
C4.4

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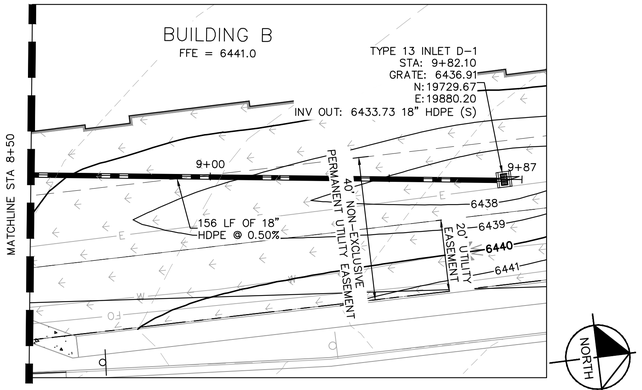
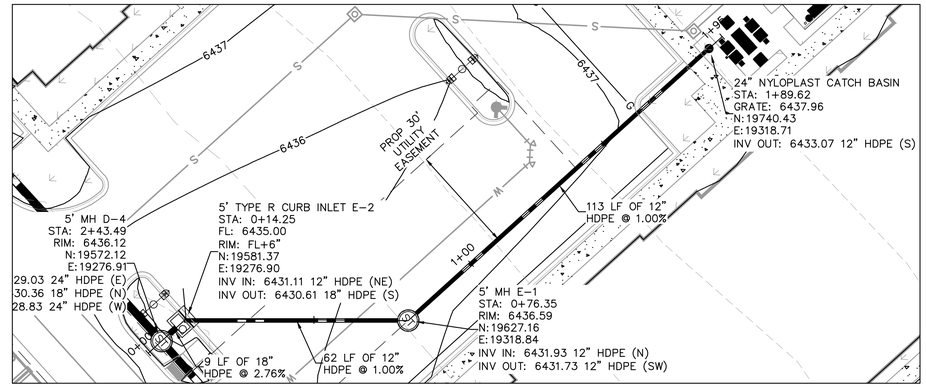
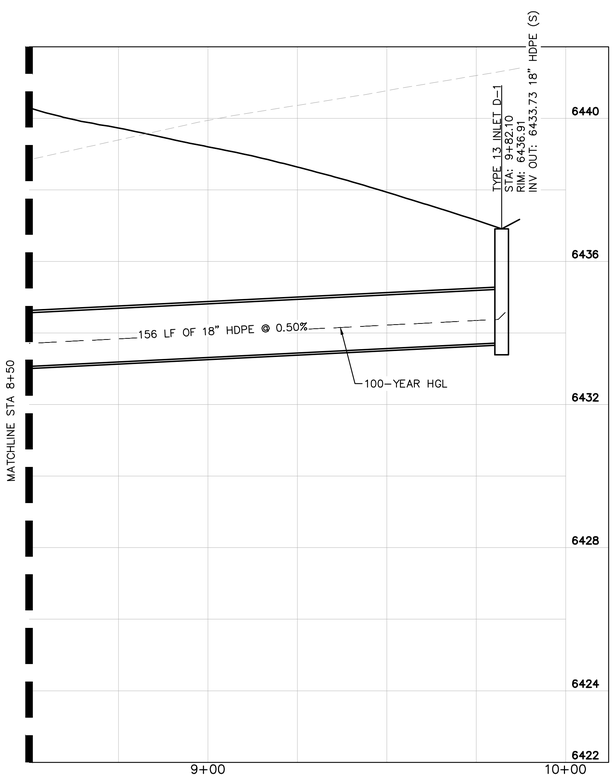
PCD PROJECT NUMBER: PPR-2229 & SF-226



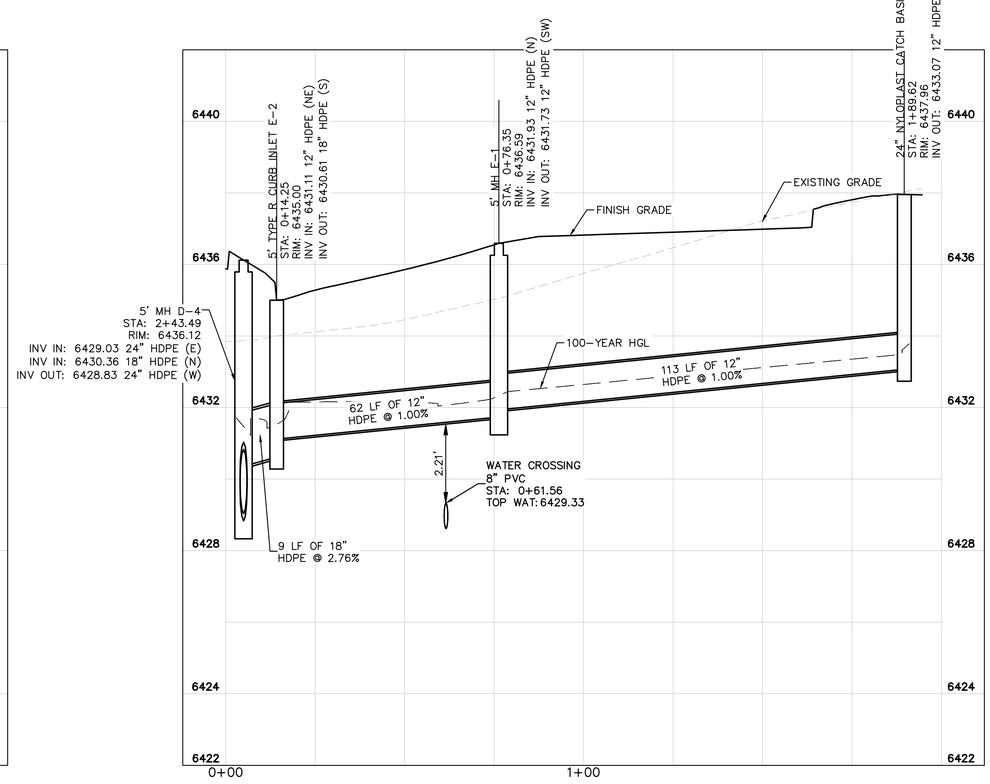
STORM SEWER LINE D STA 8+50–END – PLAN VIEW



STORM SEWER LINE E – PLAN VIEW



STORM SEWER LINE D STA 8+50–END – PROFILE VIEW



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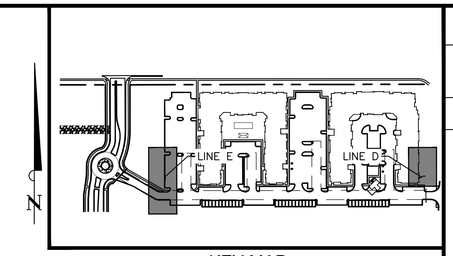

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DESIGNED BY: MOH
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UTILITY AND WATER SERVICE PLANS
STORM PLAN AND PROFILE LINE E

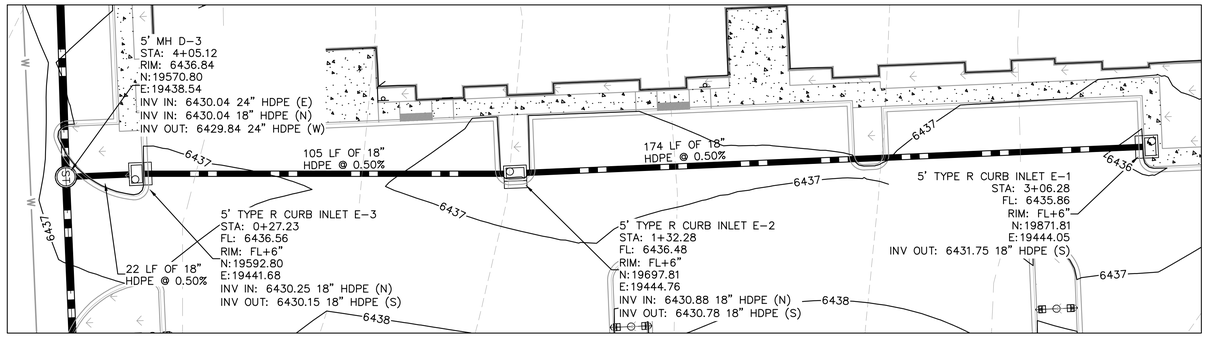
COLORADO LICENSED
DARRELL G. LEWIS
53916
12/12/2022
PROFESSIONAL ENGINEER

PROJECT NO.
096481004

SHEET
C4.5

K:\DEN_Civil\096481004 – El Paso Constitution\CADD\PlanSheets\CD\096481004UT_STPP.dwg Hess, Mitchell 12/7/2022 10:10 PM

PCD PROJECT NUMBER: PPR-2229 & SF-226

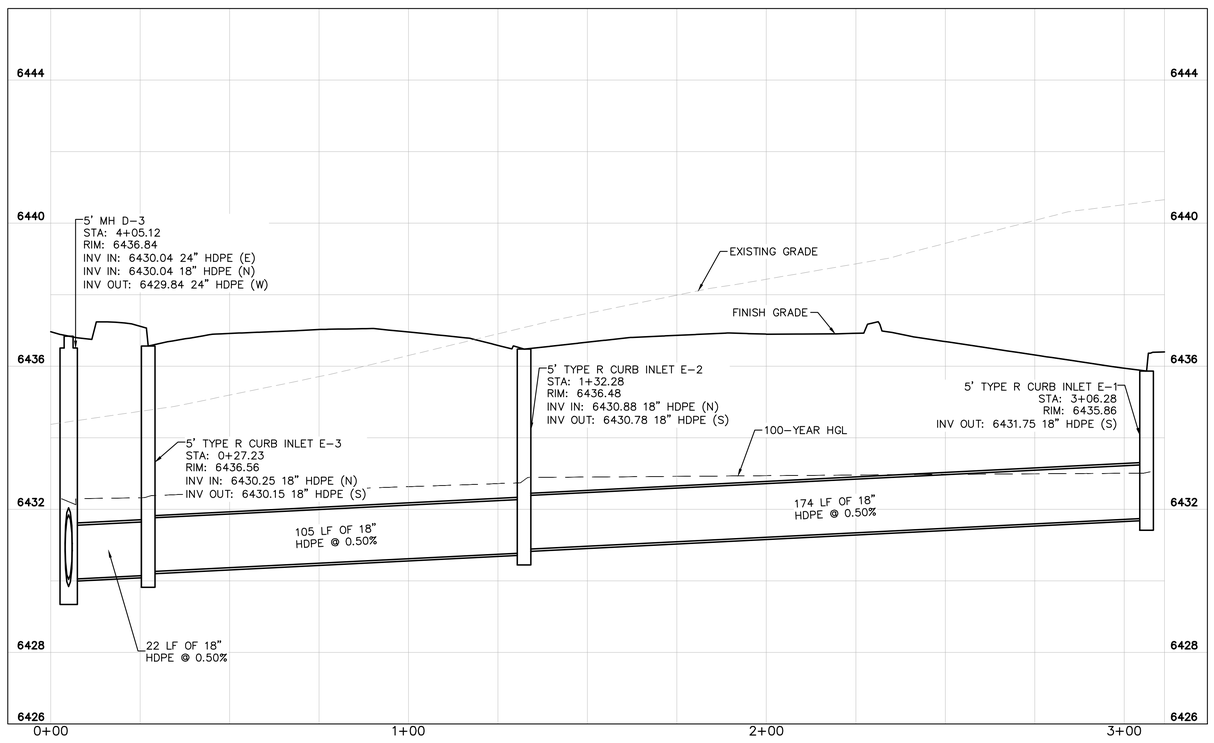


STORM SEWER LINE F – PLAN VIEW

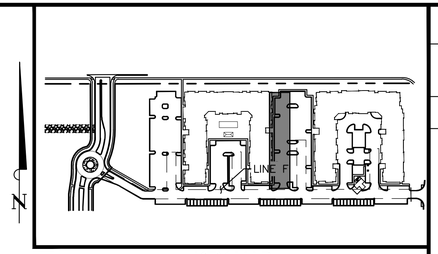
GRAPHIC SCALE IN FEET
0 10 20 40
HORIZONTAL

NORTH

VERTICAL
4
2
1
0



STORM SEWER LINE F – PROFILE VIEW



KEY MAP
NOT TO SCALE

LEGEND:

- PROPERTY LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- PROPOSED FIRE DEPARTMENT CONNECTION W/ APPROVED KNOX HARDWARE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- SANITARY SEWER MANHOLE
- PROPOSED STORM MANHOLE
- EXISTING STORM MANHOLE
- PROPOSED CURB INLET
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STORM SEWER NOTES

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CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES

NO.	REVISION	BY	DATE	APPR.

Kimley»Horn
2022 KIMLEY-HORN AND ASSOCIATES, INC.
2 North Nevada Avenue, Suite 300
Colorado Springs, CO 80903 (303) 228-2300

DESIGNED BY: MOH
DRAWN BY: JWM
CHECKED BY: DLS
DATE: 12/07/2022

THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
UTILITY AND WATER SERVICE PLANS
STORM PLAN AND PROFILE LINE F

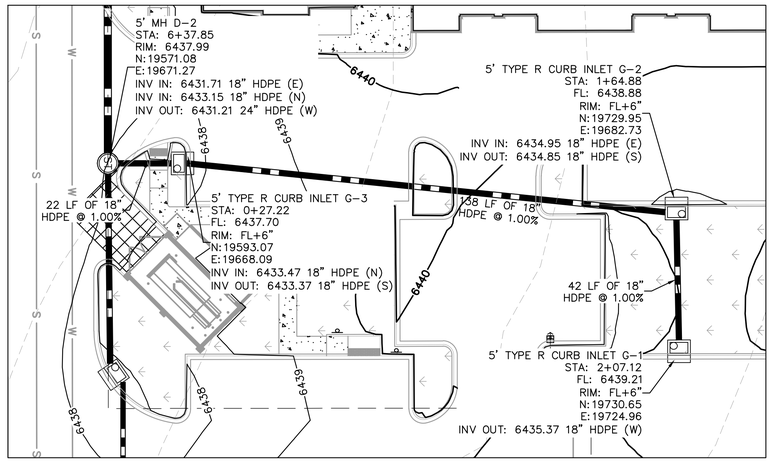
COLORADO LICENSED
DOUGLAS L. SHELL
53916
12/12/2022
PROFESSIONAL ENGINEER

PROJECT NO.
096481004

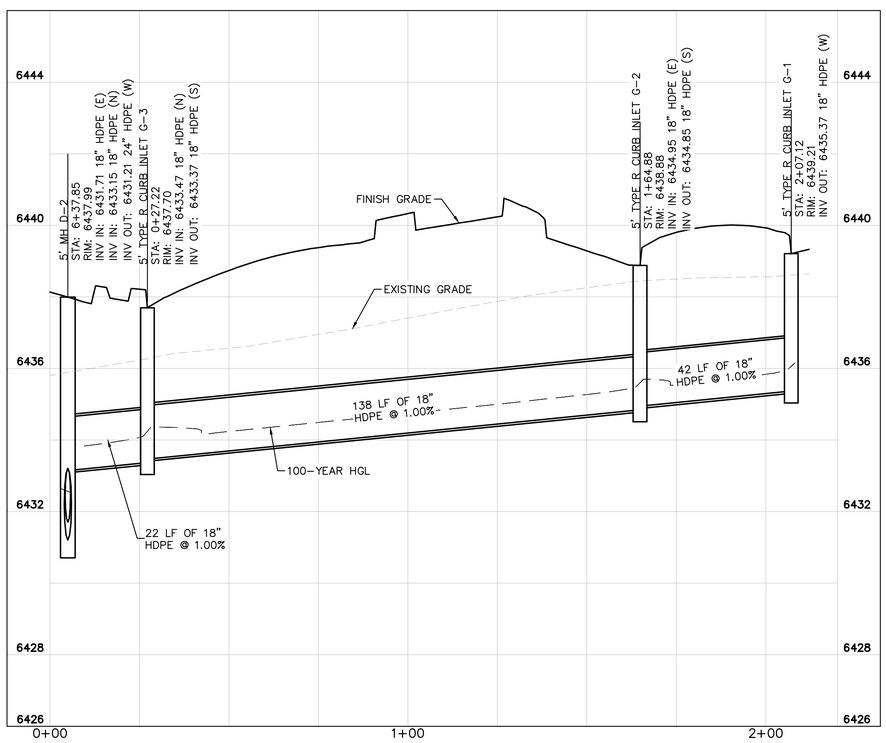
SHEET
C4.6

K:\DEN_Civil\096481004 – El Paso Constitution\CADD\PlanSheets\CD\096481004UT_STPP.dwg Hess, Mitchell 12/7/2022 10:10 PM

PCD PROJECT NUMBER: PPR-2229 & SF-226



STORM SEWER LINE G – PLAN VIEW

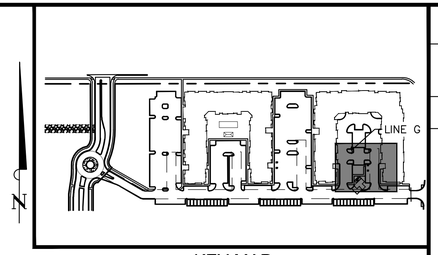


STORM SEWER LINE G – PROFILE VIEW

GRAPHIC SCALE IN FEET
0 10 20 40
HORIZONTAL

VERTICAL
0 1 2 4

NORTH



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EL PASO COUNTY, COLORADO
UTILITY AND WATER SERVICE PLANS
STORM PLAN AND PROFILE LINE F

COLORADO LICENSED
MITCHELL G. HESS
53916
12/12/2022
PROFESSIONAL ENGINEER

PROJECT NO.
096481004

SHEET
C4.7

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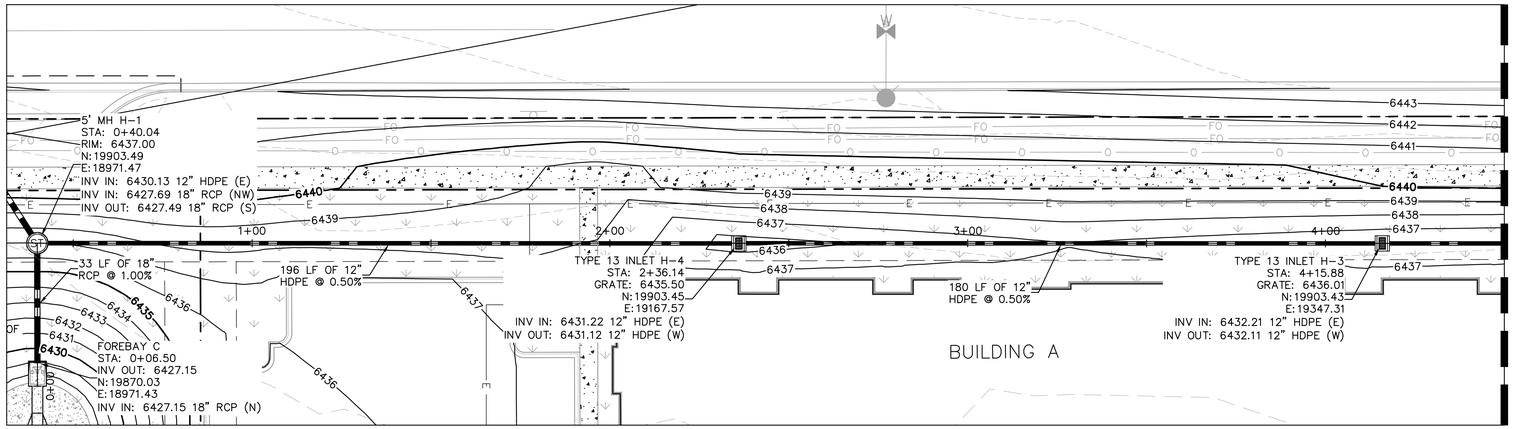
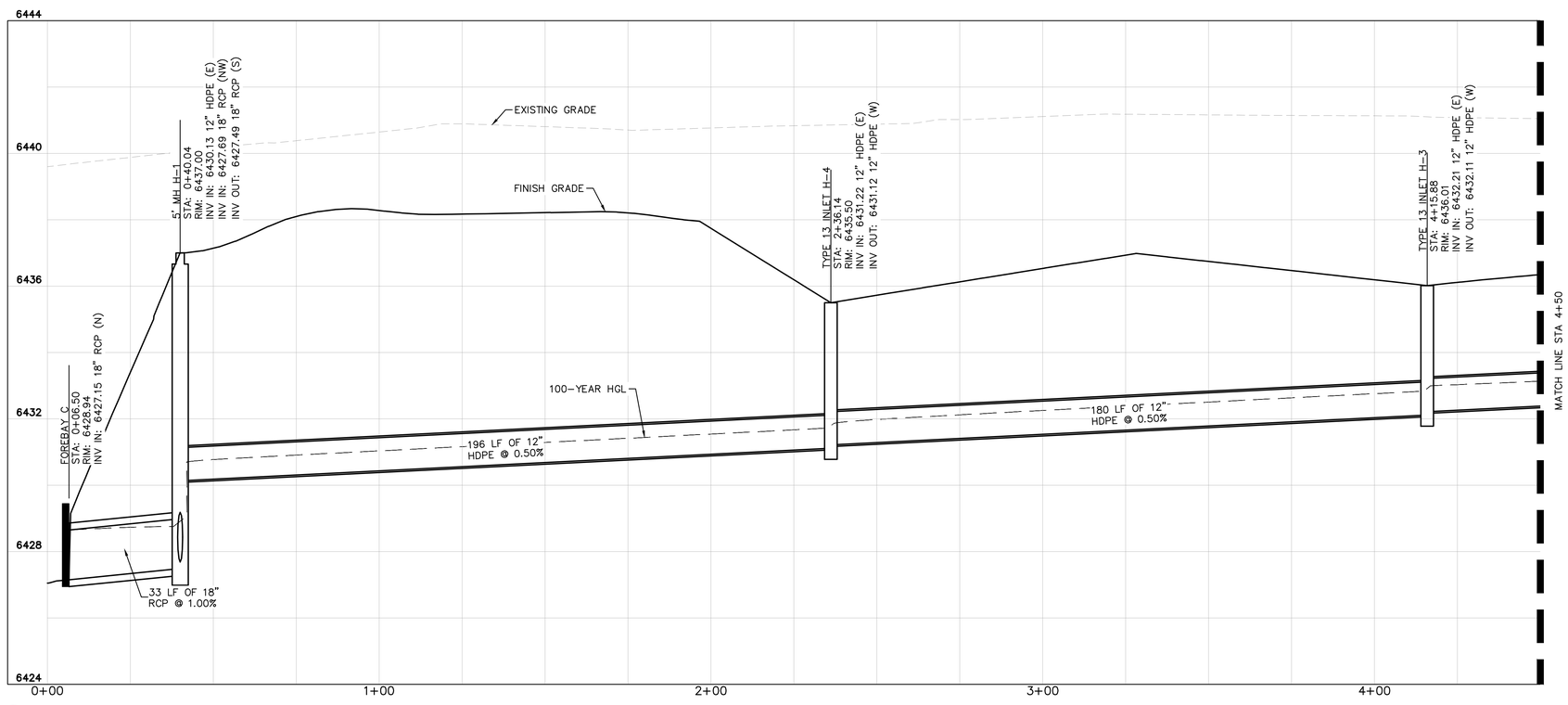
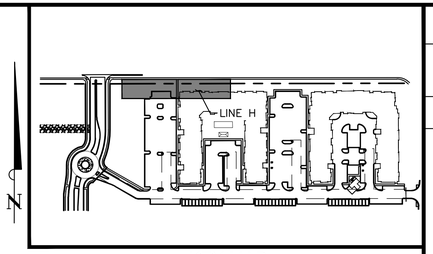


STORM SEWER LINE H STA 0+00–4+50 – PLAN VIEW



STORM SEWER LINE H STA 0+00–4+50 – PROFILE VIEW



KEY MAP
NOT TO SCALE

NORTH

GRAPHIC SCALE IN FEET
0 10 20 40
HORIZONTAL

VERTICAL
4
2
1
0

LEGEND:

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- PROPOSED EASEMENT LINE
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING WATER LINE
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UTILITY AND WATER SERVICE PLANS
STORM PLAN AND PROFILE LINE G

COLORADO LICENSED
DOUGLAS L. SCHULL
53916
12/12/2022
PROFESSIONAL ENGINEER

PROJECT NO.
096481004

SHEET
C4.8

PCD PROJECT NUMBER: PPR-2229 & SF-226

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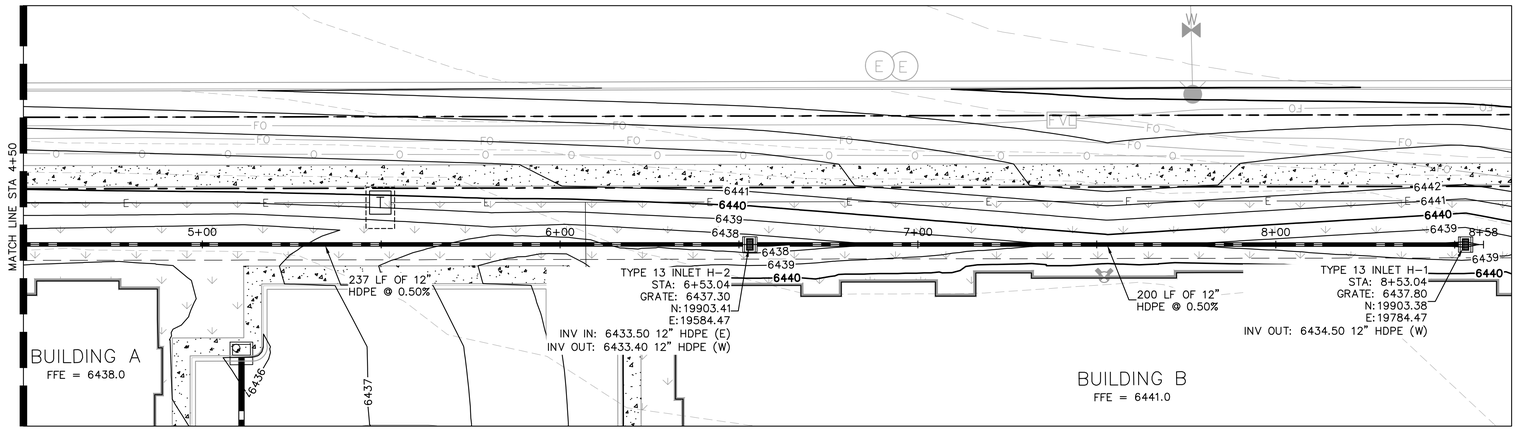
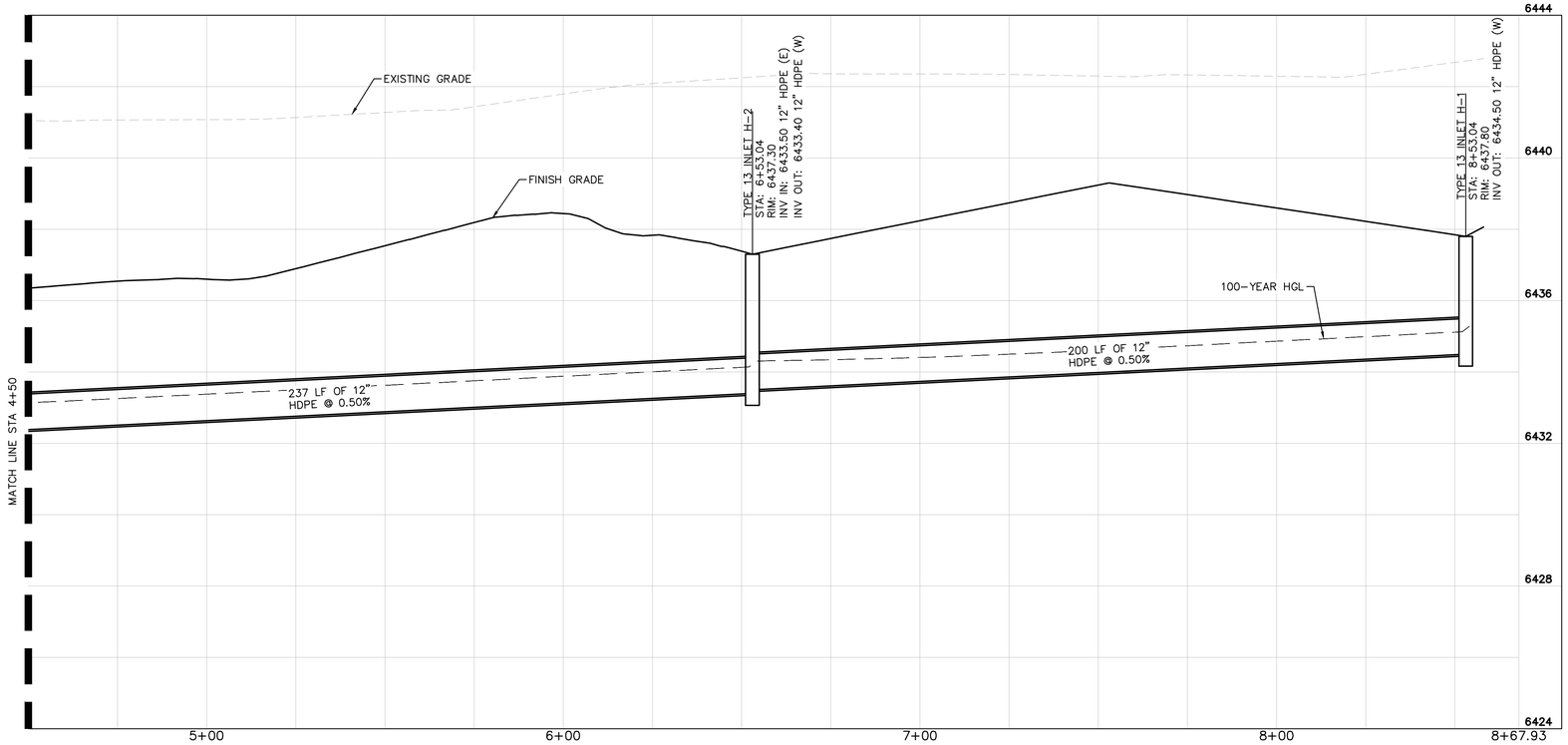
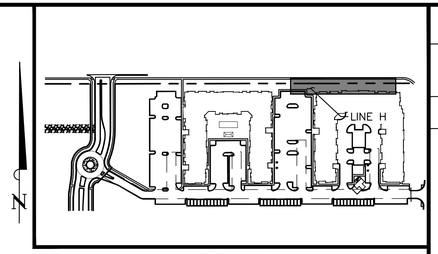


STORM SEWER LINE H STA 4+50–END – PLAN VIEW



STORM SEWER LINE H STA 4+50–END – PROFILE VIEW



KEY MAP
NOT TO SCALE

NORTH

GRAPHIC SCALE IN FEET
0 10 20 40
HORIZONTAL

VERTICAL
4
2
1
0

LEGEND:

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EL PASO COUNTY, COLORADO
UTILITY AND WATER SERVICE PLANS
STORM PLAN AND PROFILE LINE H

COLORADO LICENSED
MITCHELL O. HESS
53916
12/12/2022
PROFESSIONAL ENGINEER

PROJECT NO.
096481004

SHEET
C4.9

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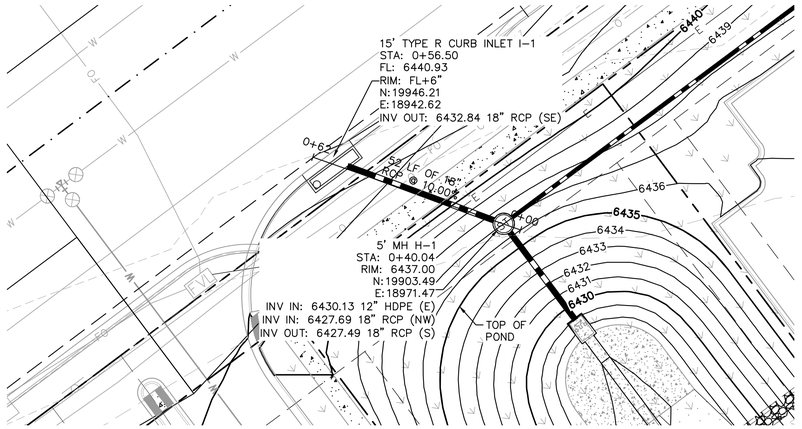
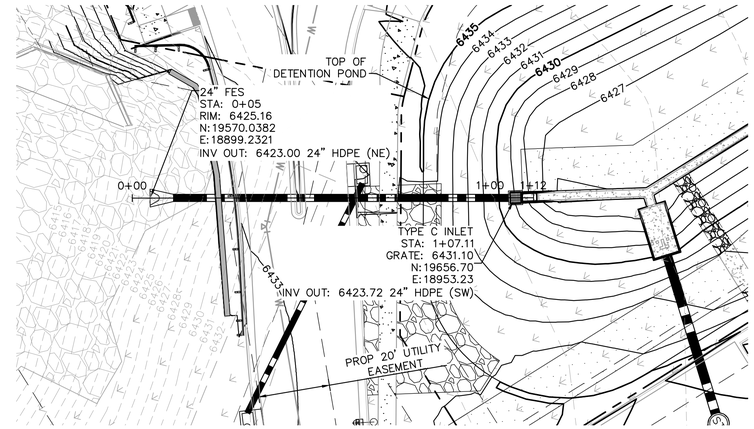
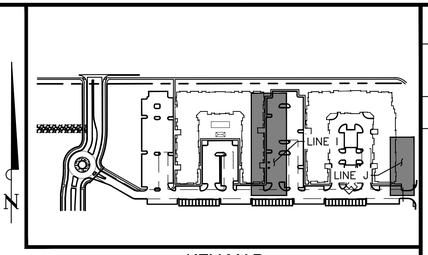
PCD PROJECT NUMBER: PPR-2229 & SF-226



STORM SEWER LINE I – PLAN VIEW



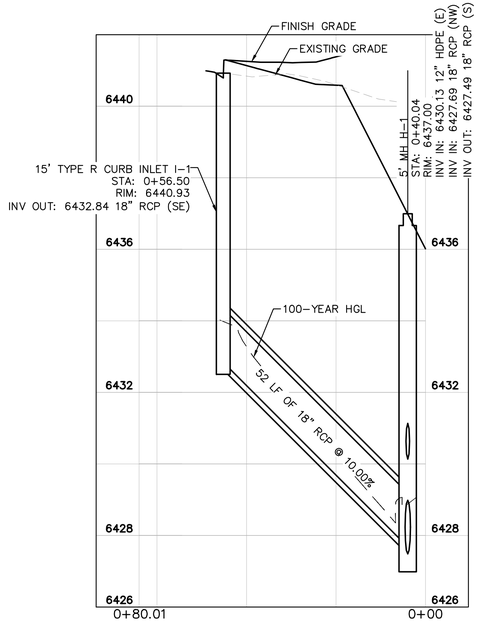
STORM SEWER LINE J STA 0+00–1+66 PLAN VIEW



KEY MAP
NOT TO SCALE

GRAPHIC SCALE IN FEET
0 10 20 40
HORIZONTAL
VERTICAL
4
2
1
0

NORTH



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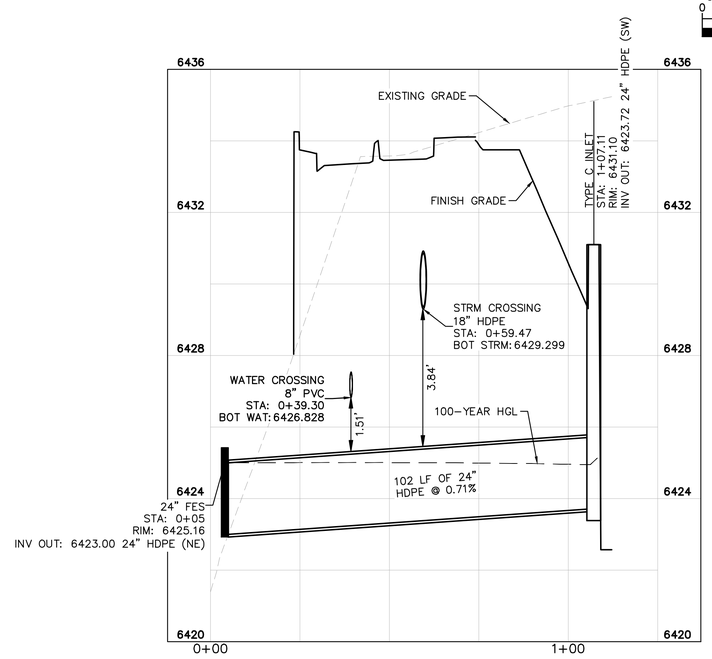

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UTILITY AND WATER SERVICE PLANS
STORM PLAN AND PROFILE LINE I & J

COLORADO LICENSED
DARRELL G. LEWIS
53916
12/12/2022
PROFESSIONAL ENGINEER

PROJECT NO.
096481004

SHEET
C4.10

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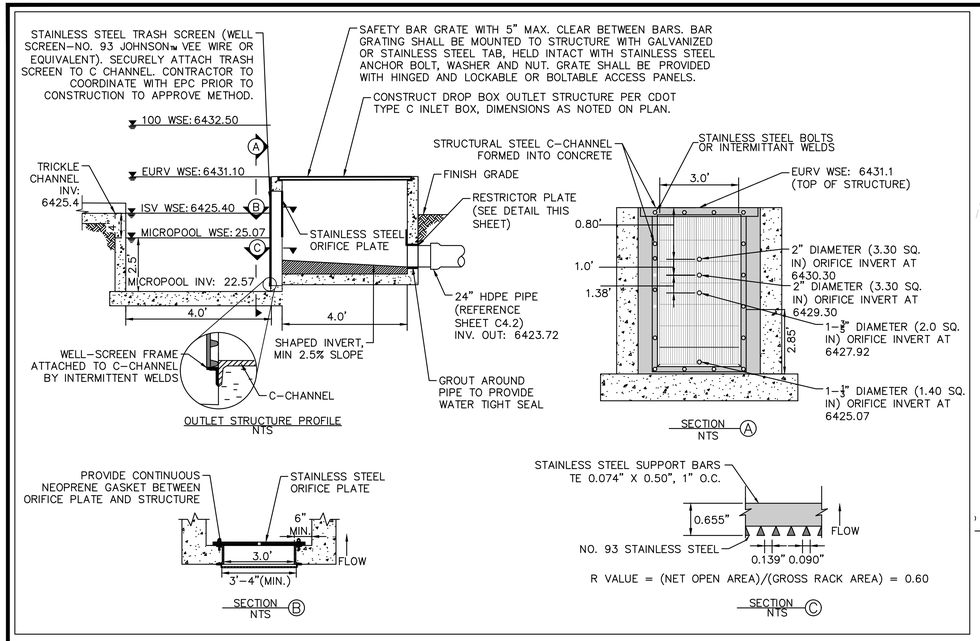
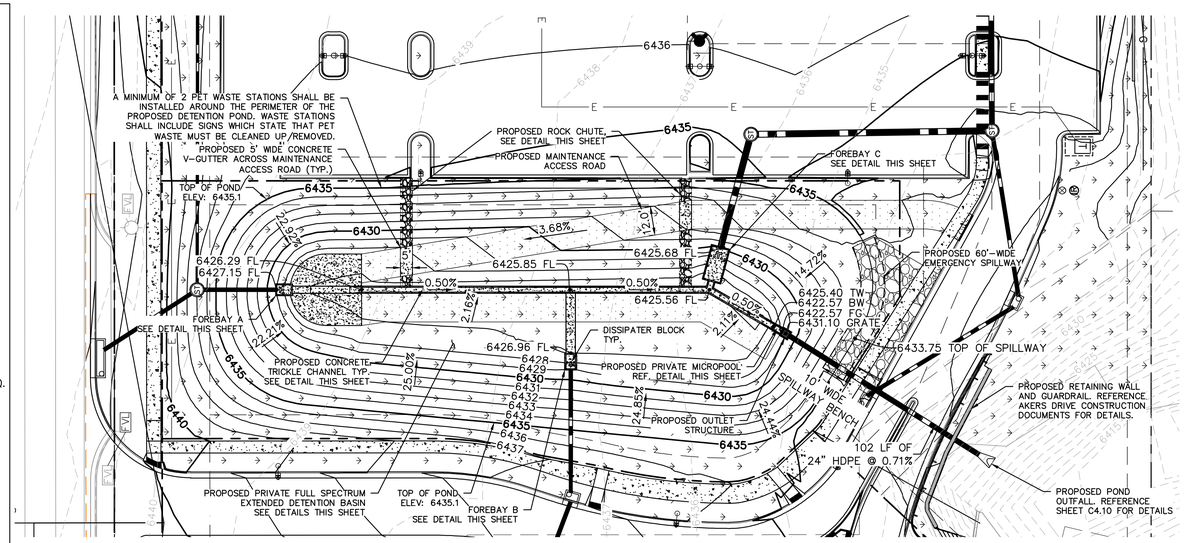
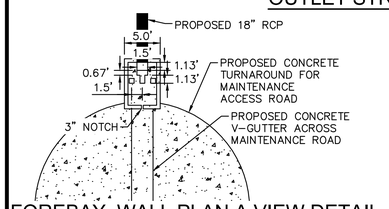


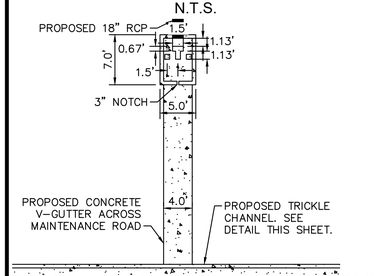
OUTLET STRUCTURE PROFILE DETAIL
N.T.S.



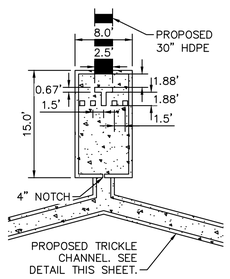
DETENTION POND PLAN VIEW
SCALE: 1" = 30'



FOREBAY WALL PLAN A VIEW DETAIL
N.T.S.

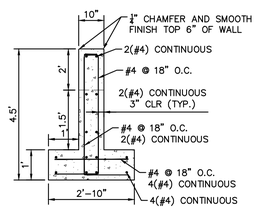


FOREBAY WALL PLAN B VIEW DETAIL
N.T.S.

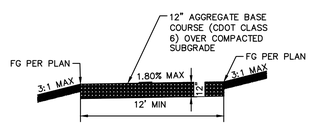


FOREBAY WALL PLAN C VIEW DETAIL
N.T.S.

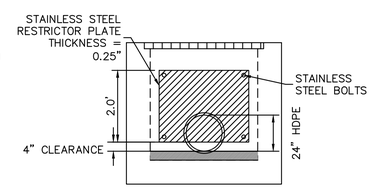
FOREBAY NOTES:
1. FOREBAY BAFFLE BLOCKS SHALL BE 8" WIDE BY 8" DEEP AND SHALL BE ½ THE HEIGHT OF THE PIPE THAT DISCHARGES INTO THE FOREBAY.
2. FOREBAY BAFFLE BLOCKS SHALL HAVE ¾" CHAMFERS ON ALL CORNERS.



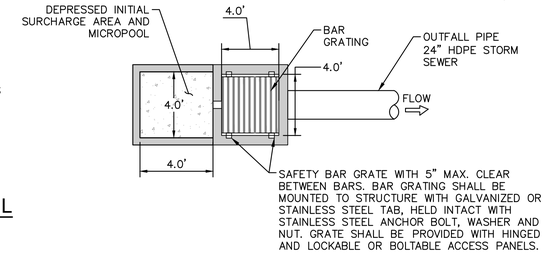
EMERGENCY OVERFLOW CUT-OFF WALL SECTION D
N.T.S.



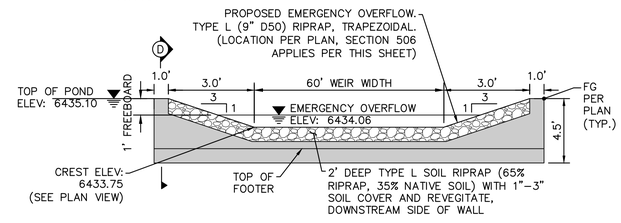
MAINTENANCE ROAD CROSS SECTION
N.T.S.



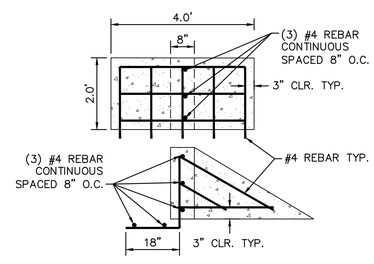
100-YEAR FLOW RESTRICTOR DETAIL
N.T.S.



OUTLET STRUCTURE PLAN VIEW DETAIL
N.T.S.



EMERGENCY OVERFLOW CUT-OFF WALL PROFILE
N.T.S.



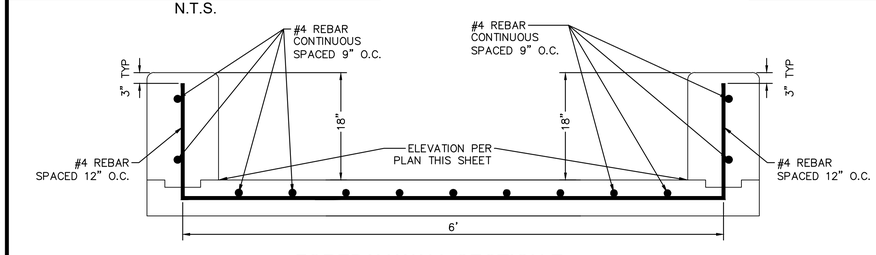
FOREBAY DISSIPATER DETAIL
N.T.S.

Table 506-2

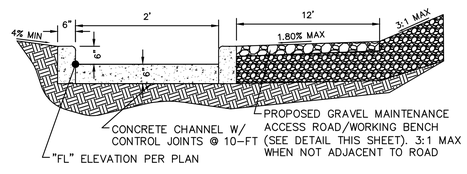
Pay Item		Percent of Material Smaller Than Typical Stone[2]	Typical Stone Dimensions[3] (Inches)	Typical Stone Weight[4] (Pounds)
	Stone Size d50[1] (Inches)			
Riprap	6	70-100	12	85
		50-70	9	35
		35-50	6	10
		2-10	2	0.4
Riprap	9	70-100	15	160
		50-70	12	85
		35-50	9	35
		2-10	3	1.3
Riprap	12	70-100	21	440
		50-70	18	275
		35-50	12	85
		2-10	4	3
Riprap	18	100	30	1280
		50-70	24	650
		35-50	18	275
		2-10	6	10
Riprap	24	100	42	3500
		50-70	33	1700
		35-50	24	650
		2-10	9	35

[1]d50 = nominal stone size
[2]based on typical rock mass
[3]equivalent spherical diameter
[4]based on a specific gravity = 2.5

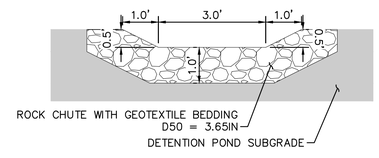
Nominal stone size and total thickness of the riprap shall be as shown on the plans.



FOREBAY WALL SECTION E
N.T.S.



TRICKLE CHANNEL- CROSS SECTION DETAIL
N.T.S.



ROCK CHUTE- CROSS SECTION DETAIL
N.T.S.

NO.	REVISION	BY	DATE	APPR.

Kimley»Horn
2022 KIMLEY-HORN AND ASSOCIATES, INC.
2 North Nevada Avenue, Suite 300
Colorado Springs, CO 80903 (303) 228-2300

DESIGNED BY: MOH
DRAWN BY: JWM
CHECKED BY: DLS
DATE: 12/07/2022

THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
UTILITY AND WATER SERVICE PLANS
DETENTION POND PLAN AND DETAILS

COLORADO LICENSED
MICHELL G. HESS
53916
12/12/2022
PROFESSIONAL ENGINEER

PROJECT NO. 096481004
SHEET C4.11

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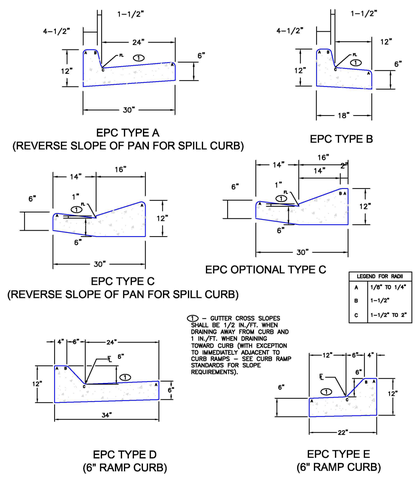
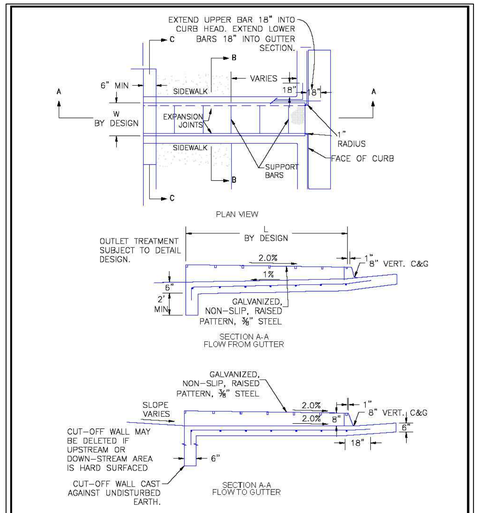
PCD PROJECT NUMBER: PPR-2229 & SF-226



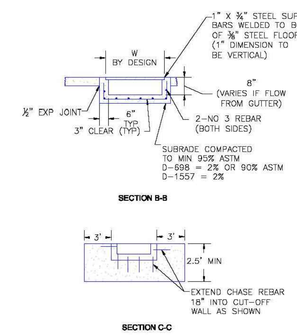
SCALE: NOT TO SCALE

6/23/20 DATE APPROVED: Jennifer E. Irvine DEPARTMENT OF PUBLIC WORKS	Typical Curb and Gutter Details Standard Drawing REVISION DATE: 6/23/20 FILE NAME: SD_2-20	DEPARTMENT OF PUBLIC WORKS



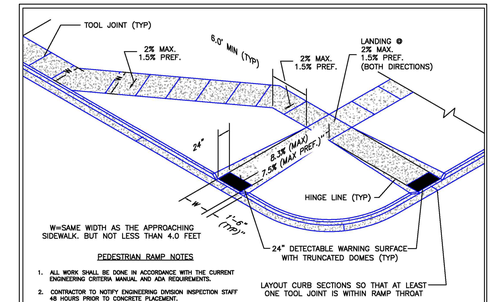
SCALE: NOT TO SCALE

8/11/11 DATE APPROVED: André P. Brackin DEPARTMENT OF TRANSPORTATION	Curb Opening with Drainage Chase Detail 1 of 2 Standard Drawing REVISION DATE: 12/8/15 FILE NAME: SD_3-25	EL PASO COUNTY DEPARTMENT OF TRANSPORTATION



SCALE: NOT TO SCALE

8/11/11 DATE APPROVED: André P. Brackin DEPARTMENT OF TRANSPORTATION	Curb Opening with Drainage Chase Detail 2 of 2 Standard Drawing REVISION DATE: 11/10/04 FILE NAME: SD_3-25A	EL PASO COUNTY DEPARTMENT OF TRANSPORTATION



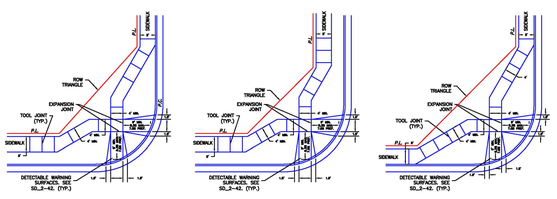
PEDESTRIAN RAMP NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT ENGINEERING CRITERIA MANUAL AND ADA REQUIREMENTS.
2. CONTRACTOR TO NOTIFY ENGINEERING DIVISION INSPECTION STAFF 48 HOURS PRIOR TO CONCRETE PLACEMENT.
3. PEDESTRIAN CURB RAMP CONSTRUCTION SHALL BE A MINIMUM 4,500 PSI CONCRETE, MINIMUM 4" THICK, NON-COLORED, NON-SCORED, COARSE BROOM FINISH.
4. PEDESTRIAN CURB RAMP LOCATION AND LENGTH MAY REQUIRE MODIFICATION TO MAINTAIN THE 8.3% MAXIMUM RUNNING RAMP SLOPE DUE TO STREET INTERSECTION GRADES AND/OR ALIGNMENTS. SEE ECM SECTION 6.3.6 FOR PEDESTRIAN PUSHBUTTON LOCATION REQUIREMENTS.
5. DETECTABLE WARNING SURFACE SHALL START A MINIMUM OF 6" BUT NOT MORE THAN 8" FROM THE FLOWLINE OF THE CURB AT ANY POINT.
6. DETECTABLE WARNING SURFACE SHALL BE PREFABRICATED, CAST IRON (PATINA NATURAL FINISH) AND IN ACCORDANCE WITH ECM CHAPTER 6 AND SD_2-42. THERMOPLASTIC TRUNCATED DOMES AND PAVERS WILL NOT BE ACCEPTED.
7. THE DETECTABLE WARNING SURFACE SHALL BE 24" IN LENGTH AND THE FULL WIDTH OF THE RAMP.
8. PEDESTRIAN CURB RAMP WIDTH REQUIRED IS SAME AS APPROACHING SIDEWALK; 4' MINIMUM.
9. ALL PEDESTRIAN CURB RAMPS WILL BE PERPENDICULAR TO TRAFFIC WITH THE EXCEPTION OF MID-BLOCK OR TERMINAL RAMPS WHICH MAY BE PARALLEL. SUBJECT TO APPROVAL.
10. DRAINAGE STRUCTURES, TRAFFIC SIGNAL/SIGNAGE, UTILITIES/JUNCTION BOXES, OR OTHER OBSTRUCTIONS WITHIN PROPOSED PEDESTRIAN CURB RAMP AREAS AND LANDINGS ARE PROHIBITED.
11. THE COUNTER SLOPE OF THE GUTTER OR ROAD AT THE FOOT OF A RAMP SHALL NOT EXCEED 5%.

GENERAL NOTES

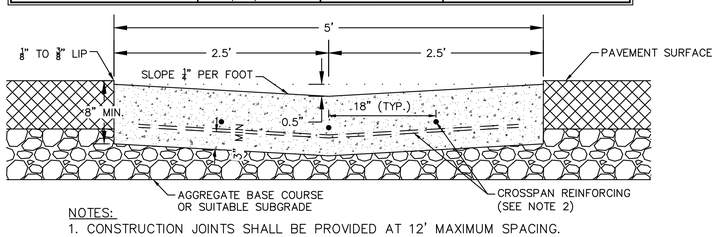
1. WHERE THE 1'-6" FLARED SIDE(S) OF A PERPENDICULAR CURB RAMP IS (ARE) CONTIGUOUS WITH A PEDESTRIAN OR HARD SURFACE AREA (PEDESTRIAN CIRCULATION PATH), THE MAXIMUM FLARE SLOPE SHALL NOT EXCEED 10:1.
2. PEDESTRIAN WALKWAY (PEDESTRIAN ACCESS ROUTE) AND/OR LOCATION OF EXISTING OR FUTURE PEDESTRIAN RAMPS ON OPPOSITE CORNERS SHALL BE REVIEWED BEFORE CONSTRUCTING NEW RAMPS.
3. AT MARKED PEDESTRIAN CROSSINGS, THE BOTTOM OF THE RAMPS, EXCLUSIVE OF THE FLARE SIDES, SHALL BE TOTALLY CONTAINED WITHIN THE MARKINGS.

6/23/20 DATE APPROVED: Jennifer E. Irvine DEPARTMENT OF PUBLIC WORKS	Pedestrian Curb Ramp Detail Standard Drawing REVISION DATE: 6/23/20 FILE NAME: SD_2-41	DEPARTMENT OF PUBLIC WORKS



SCALE: NOT TO SCALE

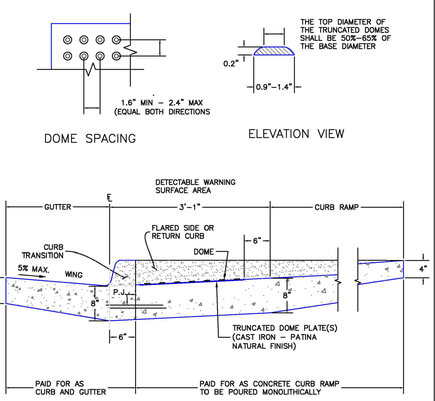
6/23/20 DATE APPROVED: Jennifer E. Irvine DEPARTMENT OF PUBLIC WORKS	Pedestrian Curb Ramp Detail Standard Drawing REVISION DATE: 6/23/20 FILE NAME: SD_2-40	DEPARTMENT OF PUBLIC WORKS



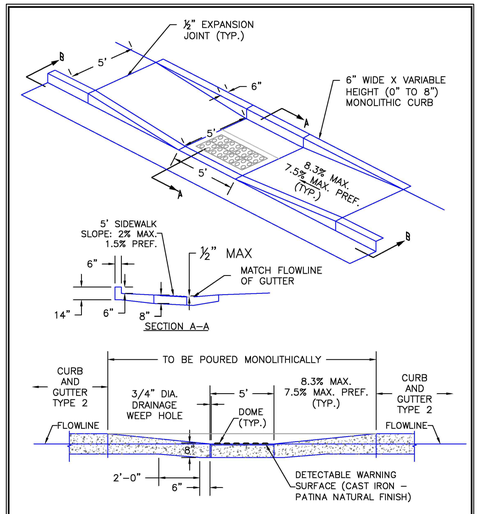
NOTES:
1. CONSTRUCTION JOINTS SHALL BE PROVIDED AT 12' MAXIMUM SPACING.
2. REINFORCING WITH NO. 4 BARS AT 18" EACH WAY

VALLEY GUTTER DETAIL
N.T.S.

TRUNCATED DOME DETAILS



6/23/20 DATE APPROVED: Jennifer E. Irvine DEPARTMENT OF PUBLIC WORKS	Detectable Warning Surface Details Standard Drawing REVISION DATE: 6/23/20 FILE NAME: SD_2-42	DEPARTMENT OF PUBLIC WORKS



SCALE: NOT TO SCALE

6/23/20 DATE APPROVED: Jennifer E. Irvine DEPARTMENT OF PUBLIC WORKS	Parallel Pedestrian Curb Ramp Detail Standard Drawing REVISION DATE: 6/23/20 FILE NAME: SD_2-50	DEPARTMENT OF PUBLIC WORKS

NO.	REVISION	BY	DATE	APPR.

Kimley»Horn
2022 KIMLEY-HORN AND ASSOCIATES, INC.
2 North Nevada Avenue, Suite 300
Colorado Springs, CO 80903 (303) 228-2300

DESIGNED BY: MOH
DRAWN BY: JWM
CHECKED BY: MOH
DATE: 12/07/2022

THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
SITE DEVELOPMENT PLAN
CONSTRUCTION DETAILS

COLORADO LICENSED
MICHELLE O. HESS
53916
12/12/2022
PROFESSIONAL ENGINEER

PROJECT NO.
096481004

SHEET
C5.0

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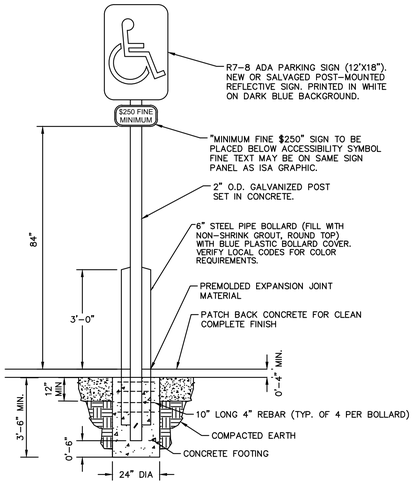
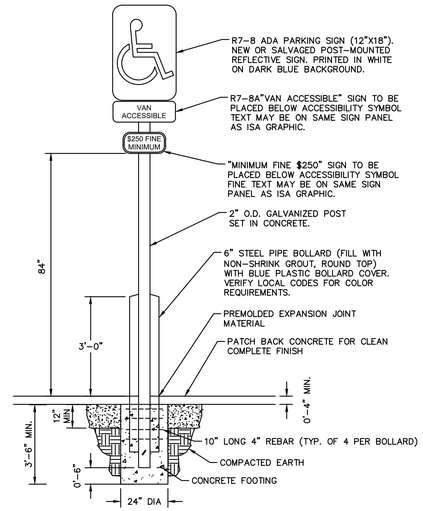
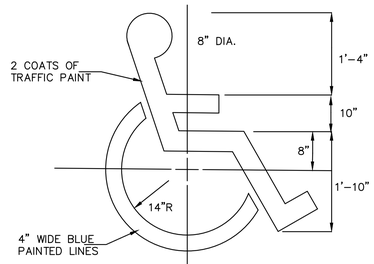




ADA PARKING SIGN DETAILS

SCALE: 1"=20'

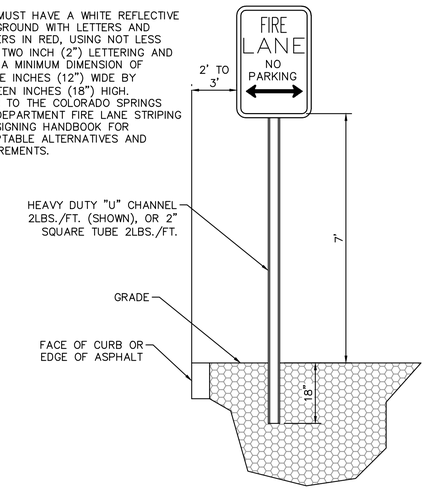


NOTE:
1. ALL TRAFFIC MARKINGS TO BE LATEX AS PER DIMENSIONS SHOWN.

HANDICAP SYMBOL

NOT TO SCALE

NOTE:
1. SIGN MUST HAVE A WHITE REFLECTIVE BACKGROUND WITH LETTERS AND BORDERS IN RED, USING NOT LESS THAN TWO INCH (2") LETTERING AND HAVE A MINIMUM DIMENSION OF TWELVE INCHES (12") WIDE BY EIGHTEEN INCHES (18") HIGH.
2. REFER TO THE COLORADO SPRINGS FIRE DEPARTMENT FIRE LANE STRIPING AND SIGNING HANDBOOK FOR ACCEPTABLE ALTERNATIVES AND REQUIREMENTS.



FIRE LANE SIGNAGE DETAIL

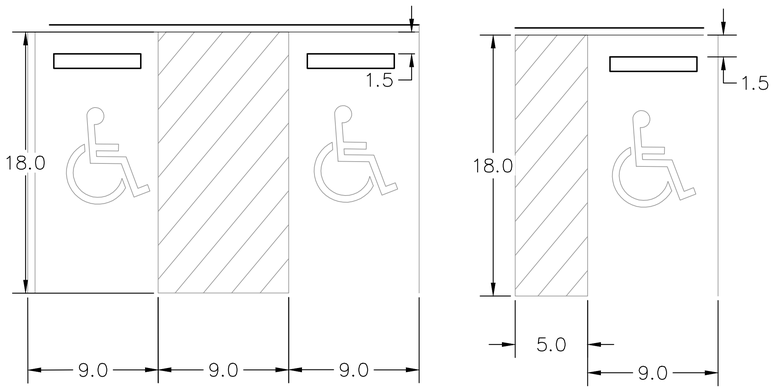
NOT TO SCALE

30"x30"
MINIMUM SIZE

BACKGROUND
4090 (3M-WHITE DIAMOND GRADE) OR EQUIVALENT
FOREGROUND
1172 C (3M-RED EC FILM) OR EQUIVALENT

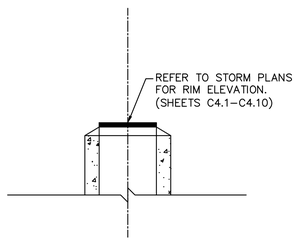
MUTCD R1-1 STOP SIGN DETAIL

NOT TO SCALE



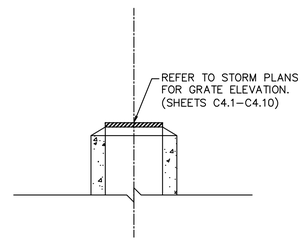
ADA PARKING STALL DETAILS

NOT TO SCALE



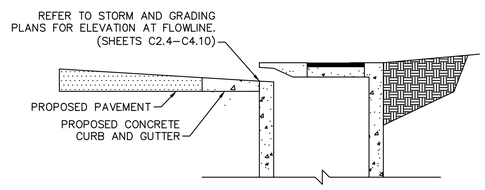
ELEVATION VIEW - MANHOLES INLETS

NOT TO SCALE



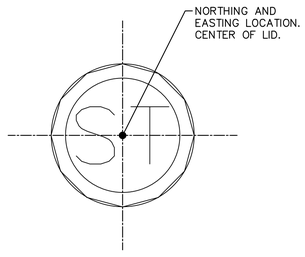
ELEVATION VIEW - AREA INLETS

NOT TO SCALE



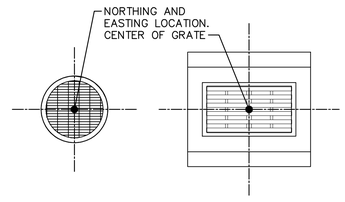
ELEVATION VIEW - CURB INLETS

NOT TO SCALE



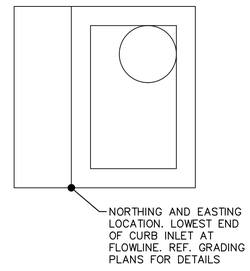
PLAN VIEW - MANHOLES

NOT TO SCALE



PLAN VIEW - AREA INLETS

NOT TO SCALE



PLAN VIEW - CURB INLETS

NOT TO SCALE

AUTHORIZED ACCESS ONLY SIGN DETAIL

NOT TO SCALE

NO.	REVISION	BY	DATE	APPR.

Kimley»Horn
2022 KIMLEY-HORN AND ASSOCIATES, INC.
2 North Nevada Avenue, Suite 300
Colorado Springs, CO 80903 (303) 228-2300

DESIGNED BY: MOH
DRAWN BY: JWM
CHECKED BY: MOH
DATE: 12/07/2022

THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
SITE DEVELOPMENT PLAN
CONSTRUCTION DETAILS

COLORADO LICENSED
MITCHELL O. HESS
53916
12/12/2022
PROFESSIONAL ENGINEER

PROJECT NO.
096481004

SHEET
C5.1

K:\DEN_Civil\096481004 - El Paso Constitution\CADD\References\x096481004DT-SDP.dwg Hess, Mitchell 12/7/2022 10:38 PM