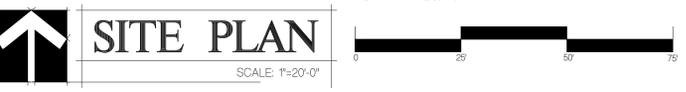
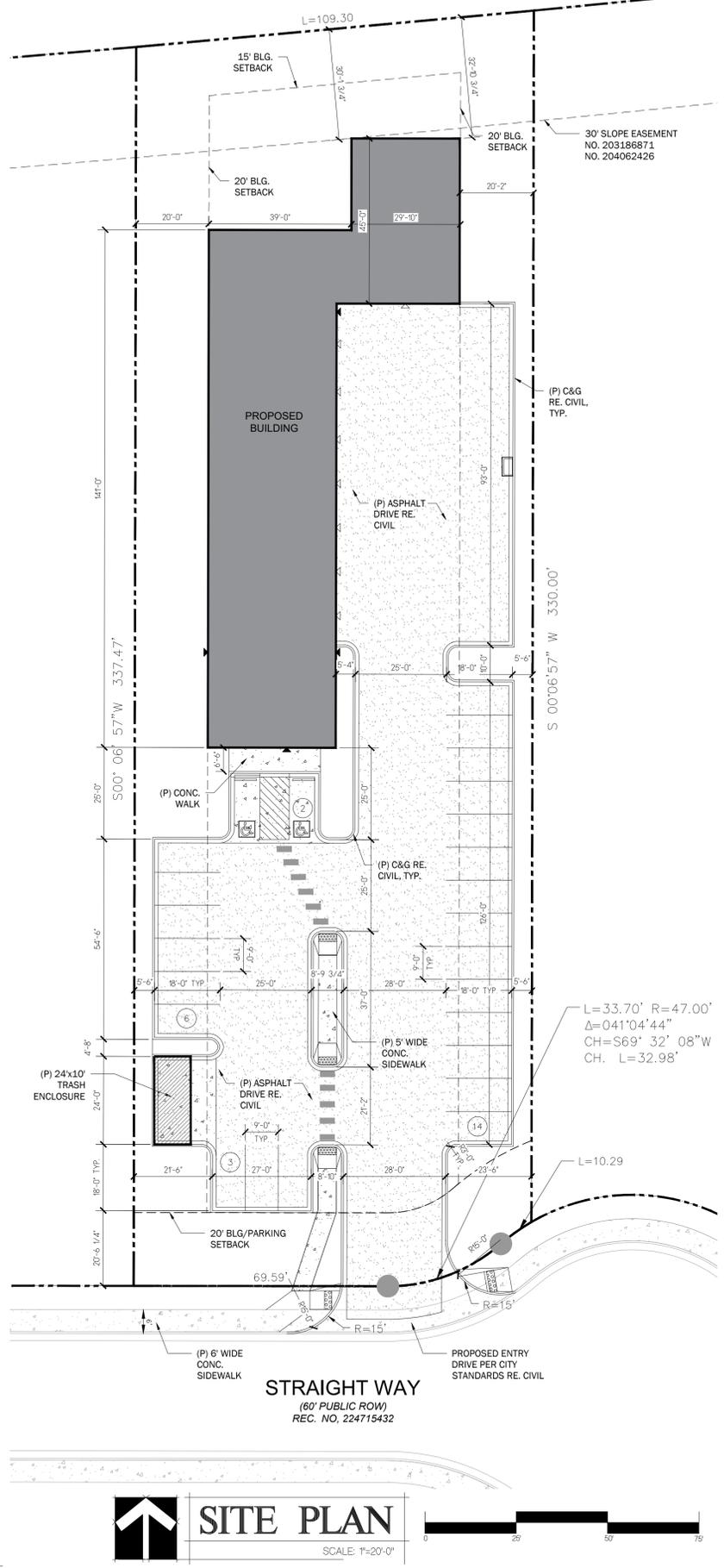


WOODMEN ROAD  
(ROW VARIES)  
REC. NO. 204062425

# DEVELOPMENT PLAN

## 8920 STRAIGHT WAY

LOT 4 WOODMEN EAST COMMERCIAL  
CITY OF COLORADO SPRINGS, COLORADO



**SITE PLAN**  
SCALE: 1"=20'-0"

- ### GENERAL NOTES
- CDI FEES WILL BE CALCULATED AT TIME OF DEVELOPMENT PLAN AND ARE DUE AT TIME OF BUILDING PERMIT.
  - SIGNAGE IS NOT APPROVED PER THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT DEVELOPMENT REVIEW ENTERPRISE AT (719) 385-5982 TO BEGIN A SIGN PERMIT APPLICATION.
  - PER CITY CODE SECTION 7.4.12, AS AMENDED, ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF OR HAVE SHIELDING TO REDUCE OFF-SITE LIGHTING IMPACTS ONTO ADJACENT PROPERTIES AND ROADWAYS. ALL EXTERIOR LIGHTING SHALL BE ARRANGED TO MITIGATE LIGHT DIRECTED AWAY FROM ADJACENT PROPERTIES AND ANY PUBLIC RIGHT-OF-WAY. AN AMENDMENT TO THIS PLAN MAY BE REQUIRED IF THE LIGHTING TYPE IS CHANGED.
  - THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN CONCEPTUALLY REFLECTS SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.
  - ACCESSIBLE PARKING SPACES, ACCESS AISLES AND SIGNAGE SHALL MEET ALL APPLICABLE CITY CODE REQUIREMENTS, INCLUDING:
    - PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING ONE TO FIFTY (1:50) (2-PERCENT) IN ALL DIRECTIONS.
    - ACCESSIBLE PARKING SPACES SHALL BE MARKED WITH FOUR-INCH (4") LINES.
    - ACCESSIBLE AISLES SHALL BE OUTLINED AND DIAGONALLY STRIPED AT FORTY-FIVE-DEGREE (45°) ANGLES IN A CONTRASTING COLOR SUCH AS YELLOW, WHITE, OR BLUE.
    - EACH ACCESSIBLE PARKING SPACE SHALL BE DESIGNATED AS RESERVED BY A SIGN SHOWING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. VAN ACCESSIBLE SPACES SHALL HAVE AN ADDITIONAL SIGN CONTAINING THE DESIGNATION "VAN ACCESSIBLE", MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY. EACH ACCESSIBLE PARKING SPACE SIGN SHALL BE NO SMALLER THAN EIGHTEEN INCHES (18") TALL BY TWELVE INCHES (12") WIDE. EACH VAN ACCESSIBLE SIGN SHALL BE NO SMALLER THAN SIX INCHES (6") TALL BY TWELVE INCHES (12") WIDE. SIGNS SHALL BE LOCATED AT THE HEAD OF THE SPACE WITH THE BOTTOM OF THE SIGN(S) BETWEEN FIVE FEET (5') AND SEVEN FEET (7') ABOVE THE FINISHED FLOOR OR GROUND SURFACE.
  - ALL STOP SIGNS WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS. CONTACT TRAFFIC ENGINEERING, SIGNS, AND MARKINGS AT (719) 385-6720 FOR ASSISTANCE.
  - PROPERTY OWNERS ARE RESPONSIBLE FOR THE MAINTENANCE OF SHARED COMMON TRACTS, ACCESS DRIVES, PRESERVATION AREAS, AND LANDSCAPE AREAS ADJACENT TO THEIR PROPERTY.
  - ALL IMPROVEMENTS DEPICTED WITHIN THIS PLAN ARE REQUIRED BY CITY CODE AND/OR ARE A CONDITION OF APPROVAL TO ENSURE COMPLIANCE WITH THE CITY'S REVIEW CRITERIA. ANY PRIVATE IMPROVEMENTS PROVIDED AS EXTRA, WILL BE LABELED AS 'EX' AND WILL NOT BE INCLUDED IN THE CALCULATED AMOUNT REQUIRED FOR FINANCIAL ASSURANCE.
  - ACCESSIBLE ROUTES, INCLUDING RAMPS AND SIDEWALKS, WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY'S STANDARD DRAWINGS AND SPECIFICATIONS. CITY'S INSPECTOR WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENTS.
  - LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER AND/OR THEIR ASSIGNS.
  - ALL STREET TREES AND STREETScape IMPROVEMENTS LOCATED IN THE R.O.W. WILL BE MAINTAINED BY THE ABUTTING PROPERTY OWNER.
  - CONSTRUCTION PLANS AND FINANCIAL ASSURANCES ARE REQUIRED FOR THE PUBLIC R.O.W. IMPROVEMENTS. CONSTRUCTION PLANS SHALL BE SUBMITTED TO ENGINEERING DEVELOPMENT REVIEW DIVISION AND TRAFFIC ENGINEERING FOR REVIEW AND APPROVAL. THE FINANCIAL ASSURANCES SHALL BE POSTED WITH THE CITY PRIOR TO THE APPROVAL OF THE CONSTRUCTION PLANS.
  - ALL CURB, GUTTER, DRIVEWAYS, PEDESTRIAN RAMPS AND SIDEWALK POSING A SAFETY HAZARD, DAMAGED EXHIBING EXCESSIVE DETERIORATION OR DOES NOT MEET CURRENT CITY ENGINEERING STANDARDS ALONG THE PUBLIC R.O.W. ADJACENT TO THE SITE PLAN WILL NEED TO BE REMOVED AND REPLACED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY (CO). AN ONSITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW DIVISION (EDRD) INSPECTOR TO DETERMINE WHAT, IF ANY IMPROVEMENTS ARE REQUIRED. THE EDRD INSPECTOR CAN BE REACHED AT 719-385-5977.
  - INSTALL BUILDING ADDRESS AND UNIT NO. VISIBLE ON STREET SIDE OF BUILDING PER 2021 IBC & LOCAL FIRE DEPT. REGULATIONS.



### PROJECT TEAM

**OWNER/DEVELOPER**  
AMERICAN HERITAGE HOLDINGS LLC  
7104 CAMPBOR LN  
COLORADO SPRINGS, CO 80927

**CIVIL ENGINEER**  
JOHN P. SCHWAB, P.E.  
JPS ENGINEERING, INC.  
19 E. WILLAMETTE AVE.  
COLORADO SPRINGS, CO 80903  
(719) 477-9429

**ARCHITECT**  
BUCHER DESIGN STUDIO, INC.  
BRIAN K. BUCHER AIA, NCARB, ICC  
PRESIDENT, ARCHITECT  
6360 SANDRAY COURT  
COLORADO SPRINGS, CO 80919  
(719) 484-0480

**LANDSCAPE ARCHITECT**  
JOHN MACKAY, PLA, PRESIDENT  
HIGHER GROUND DESIGNS, INC.  
5350 NORTH ACADEMY BLVD, SUITE 207  
COLORADO SPRINGS, CO 80918  
(719) 477-6646

**PHOTOMETRICS ENGINEER**  
CHIARTANO ENGINEERING GROUP, LLC  
MICHAEL CHIARTANO, PE  
10185 MIT. LINCOLN DR.  
PEYTON, CO 80831  
(719) 330-6823

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**BUCHER DESIGN STUDIO**  
architecture • planning

6360 Sandray Court  
Colorado Springs, CO 80919  
(719) 484-0480

Brian K. Bucher, AIA  
Architect  
CO license no. C-4889  
CA license no. C 23506

### DRAWING INDEX

SHT. #	DESCRIPTION
1 OF 11	COVER SHEET / SITE PLAN
2 OF 11	SITE GRADING & EROSION CONTROL PLAN
3 OF 11	CIVIL NOTES & DETAILS
4 OF 11	PRELIMINARY UTILITY PLAN
5 OF 11 (L1)	FINAL LANDSCAPE PLAN COVER SHEET
6 OF 11 (L12)	FINAL LANDSCAPE PLAN AND LEGENDS
7 OF 11 (L13)	LANDSCAPE DETAILS AND NOTES
8 OF 11 (L14)	IRRIGATION PLAN
9 OF 11 (L15)	IRRIGATION PLAN DETAILS AND NOTES
10 OF 11	EXTERIOR ELEVATIONS
11 OF 11	PHOTOMETRICS PLAN

### PROPERTY/PROJECT DATA

PROJECT NAME: MIDAS – EAST WOODMEN DEVELOPMENT

PROJECT ADDRESS: 8920 STRAIGHT WAY  
COLORADO SPRINGS, CO

TAX SCHEDULE NO.: 5310209004

LEGAL DESCRIPTION: LOT 4 WOODMEN EAST COMMERCIAL

CITY ZONING: MX-M

PLAT NO: SUBD-25-0008

LOT SIZE: 37,037 Sq.Ft. (0.85 acres)

**BUILDING SETBACKS**  
NORTH: 15 Ft.  
EAST: 20 Ft.  
WEST: 20 Ft.  
SOUTH: 20 Ft.

**LANDSCAPE SETBACKS**  
WOODMEN ROAD: 25 Ft.  
STRAIGHT WAY: 10 Ft.  
SIDE SETBACKS: 0 Ft.

FRONT PARKING SETBACK: 20 Ft.

BUILDING AREA: 6,365 Sq. Ft.

BUILDING LOT COVERAGE: 17%

BUILDING HEIGHT: 19 FT. (MAX. 50 FT.)

BUILDING USE: AUTO SERVICE

DEVELOPMENT SCHEDULE:  
CONSTRUCTION SCHEDULED TO START IN THE FALL OF 2025.

### OFF-STREET PARKING

USE TYPE: AUTOMOBILE AND LIGHT VEHICLE REPAIR

MINIMUM SPACES = 1 PER 350 Sq.Ft. OF INDOOR SALES/LEASING/OFFICE AREA; PLUS 1 PER SERVICE BAY

900 Sq. Ft. OFFICE = 2.5 REQ'D SPACES  
8 BAYS = 8 REQ'D SPACES

TOTAL PARKING SPACES REQ'D = 11  
TOTAL PARKING SPACES PROVIDED = 25

ACCESSIBLE SPACES REQ'D (26-50) = 1  
ACCESSIBLE SPACES PROVIDED = 2

CITY FILE NUMBER AR-DP-25-00

### A PROPOSED DEVELOPMENT PLAN FOR

### MIDAS

8920 STRAIGHT WAY  
COLORADO SPRINGS, CO

Sheet Title:  
**SITE PLAN/  
COVER SHEET**

Drawing Status:  
**DEVELOPMENT PLAN**  
NOT FOR CONSTRUCTION

Revisions:

No.	Description	By	Date
1			

Date: 05/13/2025

Drawn by:

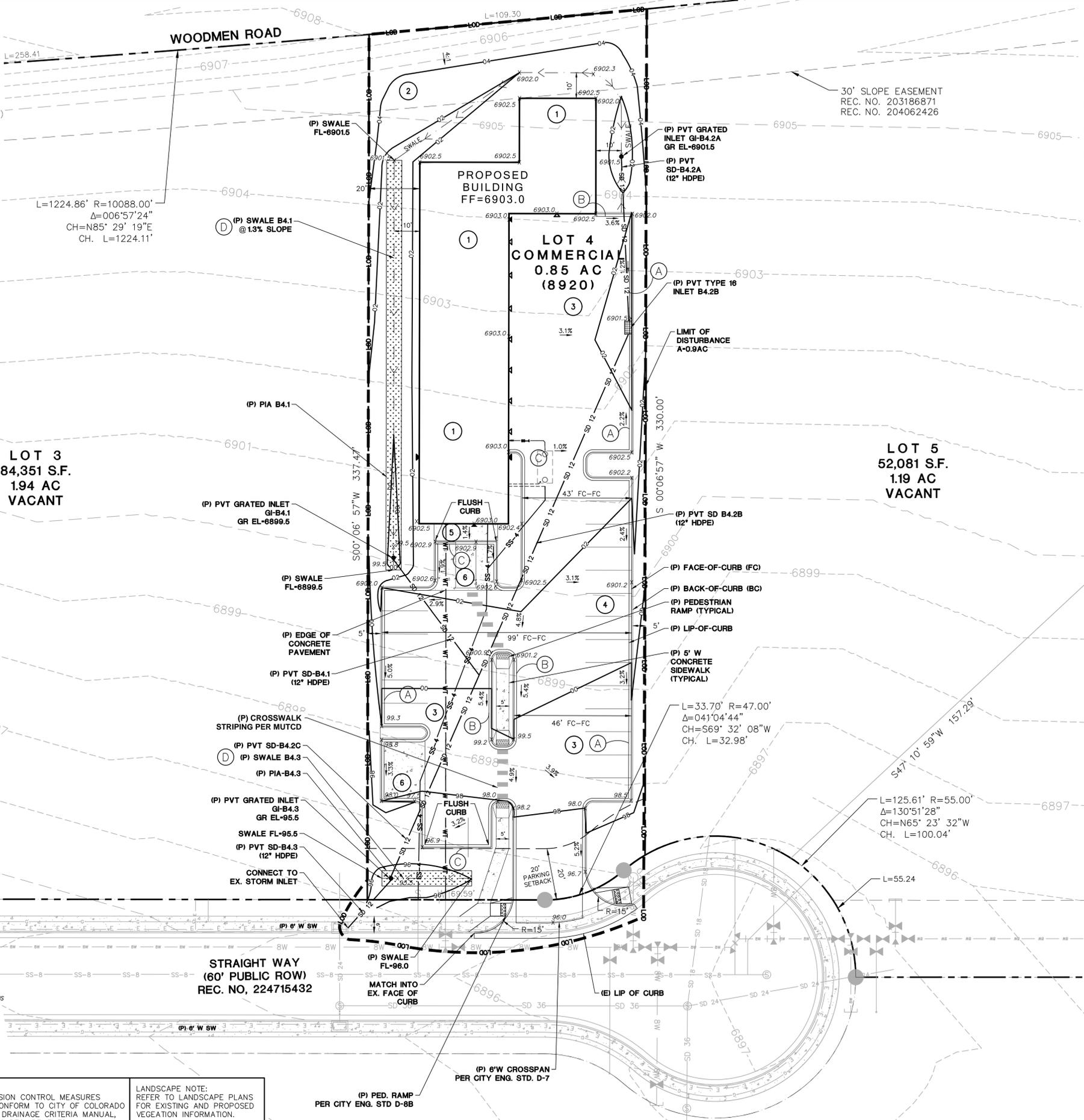
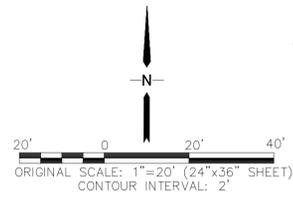
Checked by:

Scale: AS NOTED

Job No.:

Sheet No. 1 Of 11

File Name: E:\City\Construction\Midway\Lot 4\Woodmen\DP\Site Plan.dwg  
 Date: 05/13/2025 8:20am



**KEYED NOTES:**

- 1 PREPARE AND COMPACT BUILDING FOUNDATION & SLABS PER PROJECT GEOTECHNICAL REPORT
- 2 TOPSOIL & STRIPPINGS STOCKPILE AREA
- 3 PARKING LOT PAVING PER GEOTECHNICAL REPORT (4" FULL-DEPTH ASPHALT UNLESS NOTED OTHERWISE)
- 4 STORAGE AREA FOR BUILDING MATERIALS, EQUIPMENT & CONSTRUCTION WASTE (CONTRACTOR MAY ADJUST AS NEEDED)
- 5 MIN 4'x4' CONCRETE LANDING AT DOOR W/1.5% SLOPE AWAY FROM BUILDING
- 6 CONCRETE PAVEMENT (MIN. 6" THICK)

**ESTIMATED EARTHWORK QUANTITY:**

UNCLASSIFIED EXCAVATION (TOTAL CUT) = 804 CY  
 \* TOTAL FILL = 687 CY  
 NET (FILL) = 14 CY  
 \* (ASSUMES 15% COMPACTION FACTOR)

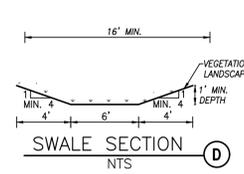
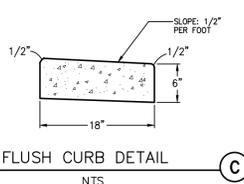
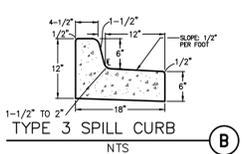
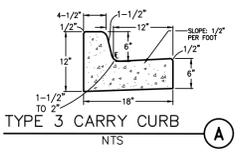
NOTE: THIS ESTIMATE IS PROVIDED FOR INFORMATION ONLY, REPRESENTING THE CALCULATED BULK EARTHWORK VOLUME TO FINISHED GRADE, EXCLUDING ANY ADJUSTMENT FOR PAVEMENT DEPTHS, ETC. CONTRACTOR SHALL MAKE HIS OWN DETERMINATION OF EARTHWORK QUANTITIES AS BASIS FOR BID PRICING AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

**LEGEND**

- FEMA 100-YEAR FLOODWAY
- FEMA 100-YR FLOODPLAIN
- PROPERTY LINE
- EASEMENT LINE
- 6720 PROPOSED CONTOUR
- 6720 EXISTING CONTOUR
- X 99.0 PROPOSED SPOT ELEVATION (FLOWLINE)
- X 99.0 EXIST. SPOT ELEVATION
- TW TOP OF RETAINING WALL
- BW BOTTOM OF RETAINING WALL
- (E) EXISTING
- (P) PROPOSED
- LOD --- LIMIT OF CONSTRUCTION/DISTURBANCE
- EXISTING FLOW DIRECTION ARROWS
- PROPOSED FLOW DIRECTION ARROWS
- DS ↓ DOWNSPOUT CONNECTION TO SITE STORM SEWER (PROVIDE TRANSITION COUPLINGS & CONNECT TO 6" & 8" PVC SD @ 1.0% MIN. SLOPE)
- [ ] PIA (PLANNED INFILTRATION AREA)
- GI GRATED INLET (18" NYOPLAST OR EQUAL)

**CONTROL MEASURE LEGEND:**

- (SF) SILT FENCE
- (VTC) VEHICLE TRACKING PAD
- (IP) INLET PROTECTION
- (SM) SEED & MULCH
- (CWA) CONCRETE WASHOUT AREA
- (SSA) STABILIZED STAGING AREA

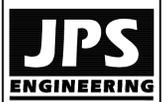


**NOTE:** ALL EROSION CONTROL MEASURES SHALL CONFORM TO CITY OF COLORADO SPRINGS DRAINAGE CRITERIA MANUAL, VOLUME 2 REQUIREMENTS

**LANDSCAPE NOTE:** REFER TO LANDSCAPE PLANS FOR EXISTING AND PROPOSED VEGETATION INFORMATION.

**BENCHMARK:**  
XXXXXXX

**LOT 4, WOODMEN EAST COMMERCIAL**



19 E. Wilomette Ave.  
 Colorado Springs, CO 80903  
 PH: 719-477-9429  
 FAX: 719-471-0766  
 www.jpsengr.com



CALL UTILITY NOTIFICATION CENTER OF COLORADO  
**1-800-922-1987**  
 CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

NO.	REVISION	BY	DATE

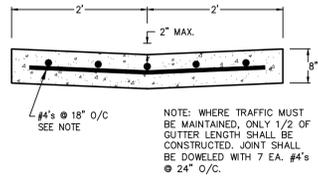
**SITE GRADING AND EROSION CONTROL PLAN**

CITY APPROVAL

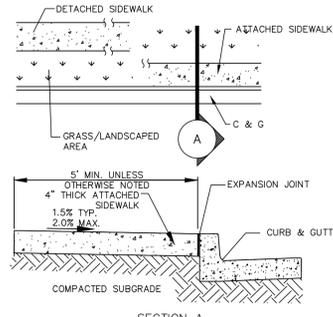
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VERT. SCALE: N/A	DESIGNED: JPS
SURVEYED: CENTENNIAL	CHECKED: JPS
CREATED: 05/09/25	LAST MODIFIED: 06/03/25
PROJECT NO: 042502	MODIFIED BY: PV
SHEET:	

**PRELIMINARY DEPN-XX-XXXX**

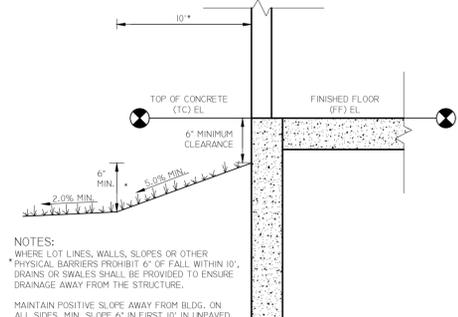
**C1.1**



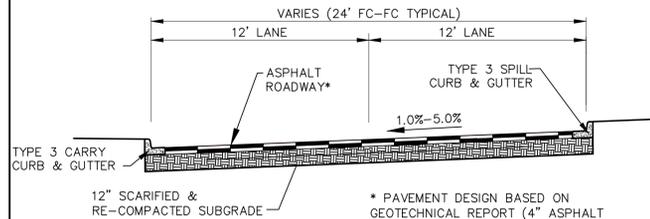
**TYPICAL CONCRETE CROSSSPAN (1)**  
SCALE: 1" = 1'-0"



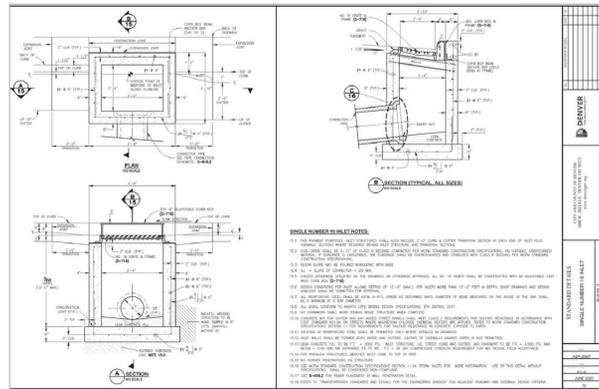
**CONCRETE SIDEWALK DETAIL (2)**  
N.T.S.



**TYPICAL BUILDING DRAINAGE DETAIL (3)**  
N.T.S.



**TYPICAL PARKING / ACCESS DRIVE SECTION (A)**  
SCALE: 1" = 5' H  
1" = 2.5' V



**GENERAL NOTES**

- All work shall be done in accordance with the current City of Colorado Springs Engineering Division (CE) Standard Specifications.
- The Contractor shall obtain all required permits and notify City Engineering by 1500 hours the business day before inspection is required.
- Concrete shall have a minimum compressive strength of 4,000 psi and use a City-approved concrete mix.
- A brown finish with sweep perpendicular to the direction of pedestrian traffic, shall be applied to all ramp surfaces.
- The Contractor shall stamp their company name and construction date at the top right corner of the ramp as viewed from the street.
- Detectable warnings shall be installed at sidewalk to street transitions and shall consist of prefabricated truncated dome grates approved by the City. The detectable warning panels shall be set into the wet concrete. The grates shall be a square grid pattern and aligned with pedestrian traffic.
- As detectable warning surfaces at the base of ramps shall not be a minimum of 6 inches from the flange of the curb and not be more than 8 inches from any point on the flange of the curb with the exception for ramps that are constructed within the curved portion of the return as approved by the City.
- Ramp and detectable warning ramp slope shall be 0.33 or flatter except on long ramps as specified by Note 14.
- Drainage structures, traffic signal equipment, or other obstructions shall not be installed in the ramp or turning space areas.
- If a traffic signal/detection push button cannot be mounted within 10 inches horizontally of the sidewalk, it shall be mounted from the curb. The detectable pedestrian push button assembly shall be installed flush between the sidewalk and the curb. The detectable warning panels shall meet the requirements of MUTCD Chapter 4 for pedestrian stations.
- Diagonal ramps on the slope are not allowed in new construction. A single diagonal ramp on the slope may be permitted during reconstruction or alteration where pedestrian use is restricted to prevent foot traffic from being installed and shall require approval from the City and a 4:1 maximum slope.
- Ramps, existing flange sides or limited transitions, shall only be used with the width of the crosswalk and/or the pedestrian street crossing that they serve, and shall not exceed 15 feet.
- Ramp, joint and grade breaks shall be flush (2"±/4"). The joint between the roadway surface and gutter shall be flush.
- In retrofit applications, to avoid chipping grade in sidewalk on steep streets, ramp length is not required to exceed 15 feet.
- The counter slope of the gutter or road at the foot of a ramp, turning space, or limited transition shall not exceed 5:1.
- Front side slopes may exceed 10:1 only where they abut a non-vehicular surface (underpass or culvert surface) or the adjacent circulation path is blocked such that it is a safety hazard for a pedestrian to walk across the front side slope.
- The minimum turning space for new construction is 5 feet by 5 feet. The minimum turning space allowed for retrofit applications is 4 feet by 4 feet. In all types of construction where the turning space is controlled by an adjacent taller structure, the turning space shall be 5 feet by 5 feet.
- Contact the City Forestry Division if it is necessary to disturb trees or roots.
- All curb ramps shall have a minimum concrete thickness of 6 inches.
- At sidewalk and turning spaces shall have a cross slope between 0.33 and 2.0%.
- Ramps shall align with each other across the street.

**Slope Table**

PERCENT SLOPE	1:1	2:1	3:1	4:1	5:1	6:1	8:1	10:1
VERTICAL	3000	3000	3000	3000	3000	3000	3000	3000

**Ramp Cross Slope Transition To Match Roadway Profile**

Ramp cross slopes and turning spaces shall be:  
 A. 2% max when a yield or stop concrete is present.  
 B. Permitted to equal the street grade when there is no yield or stop concrete, when a traffic signal is present, or a road crossing location, or in retrofit applications.

**SIDEWALK CURB RAMPS GENERAL NOTES AND DETAILS**

APPROVED: [Signature] DATE: 5/26/2019 PROJECT: [Project Name] SHEET: D-8A

**PEDESTRIAN CURB RAMPS TYPE 3A CURB RAMP**

APPROVED: [Signature] DATE: 5/26/2019 PROJECT: [Project Name] SHEET: D-8B

**SIDEWALK CURB RAMPS TYPE 1 CURB RAMP**

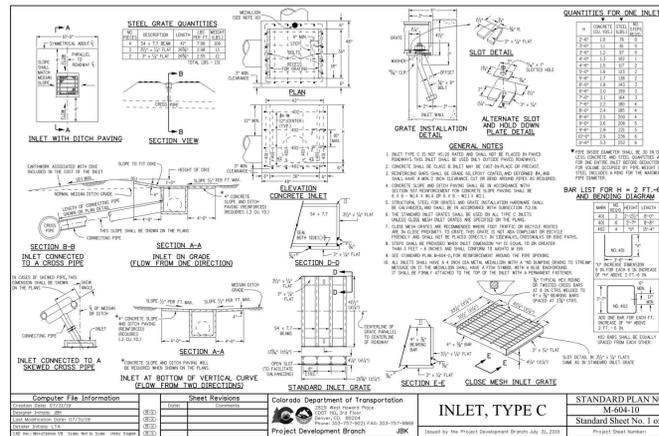
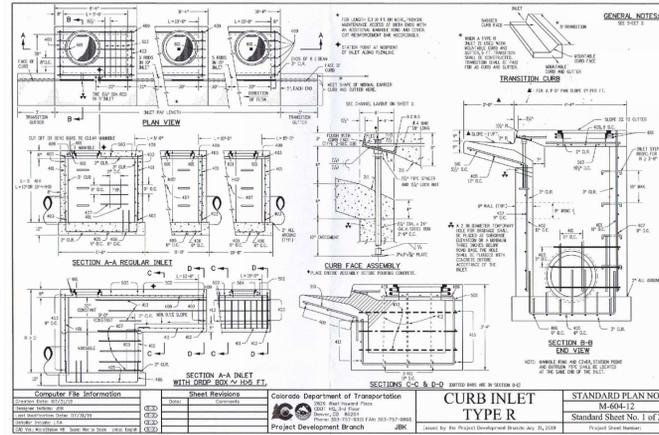
APPROVED: [Signature] DATE: 5/26/2019 PROJECT: [Project Name] SHEET: D-8B

**PEDESTRIAN CURB RAMPS TYPE 4A (RETROFIT ONLY)**

APPROVED: [Signature] DATE: 5/26/2019 PROJECT: [Project Name] SHEET: D-8C

**GENERAL CIVIL NOTES:**

- ALL CONSTRUCTION SHALL MEET THE FOLLOWING STANDARDS & SPECIFICATIONS:
  - INTERNATIONAL BUILDING CODE, LATEST EDITION ADOPTED BY LOCAL JURISDICTION
  - PIKES PEAK REGIONAL BUILDING CODE, LATEST EDITION
  - COLORADO SPRINGS ENGINEERING CRITERIA MANUAL (ECM), LATEST EDITION
  - PROJECT GEOTECHNICAL REPORT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD LOCATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THESE APPROVED PLANS AND ACCESS TO THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT ALL TIMES:
  - COLORADO SPRINGS ENGINEERING CRITERIA MANUAL
  - COLORADO SPRINGS UTILITIES STANDARD SPECIFICATIONS
- STORM DRAIN PIPE SHALL BE RCP CLASS III WITH CLASS C BEDDING UNLESS OTHERWISE NOTED.
- STATIONING IS AT CENTERLINE UNLESS OTHERWISE NOTED. ALL ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE FROM FACE OF CURB UNLESS OTHERWISE NOTED. LENGTHS SHOWN FOR STORM SEWER PIPES ARE TO CENTER OF MANHOLE.
- CONTRACTOR SHALL COORDINATE WITH GAS, ELECTRIC, TELEPHONE AND CABLE T.V. UTILITY SUPPLIERS FOR INSTALLATION OF ALL UTILITIES. MINIMUM COVER FOR ALL UTILITIES SHALL BE 36".
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, DEBRIS, WASTE AND OTHER UNSUITABLE FILL MATERIAL FOUND WITHIN THE LIMITS OF EXCAVATION.
- MATCH INTO EXISTING GRADES AT 3:1 MAX OUT AND FILL SLOPES.
- REVEGETATION OF ALL DISTURBED AREAS SHALL BE DONE WITH 4" TOPSOIL AND DRY LAND GRASS SEED AFTER FINE GRADING IS COMPLETE ("FOOTHILLS SEED MIX").
- EROSION CONTROL SHALL CONSIST OF SILT FENCE AND HAY BALES AS SHOWN ON THE DRAWING, AND TOPSOIL WITH GRASS SEED, WHICH WILL BE WATERED UNTIL VEGETATION HAS BEEN RE-ESTABLISHED.
- THE EROSION CONTROL MEASURES OUTLINED ON THIS PLAN ARE THE RESPONSIBILITY OF THE CONTRACTOR TO MONITOR AND REPLACE, REGRADE, AND REBUILD AS NECESSARY UNTIL VEGETATION IS RE-ESTABLISHED.
- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES IN A MANNER THAT WILL PROTECT ADJACENT PROPERTIES AND PUBLIC FACILITIES FROM THE ADVERSE EFFECTS OF EROSION AND SEDIMENTATION AS A RESULT OF CONSTRUCTION AND EARTHWORK ACTIVITIES WITHIN THE PROJECT SITE.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS DETERMINED BY SITE CONDITIONS.
- THE CONTRACTOR WILL TAKE THE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES FROM DAMAGE DUE TO THIS OPERATION. ANY DAMAGE TO THE UTILITIES WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE, AND ANY SERVICE DISRUPTION WILL BE SETTLED BY THE CONTRACTOR.
- ALL BACKFILL, SUB-BASE, AND/OR BASE COURSE MATERIAL SHALL BE COMPACTED PER THE PROJECT GEOTECHNICAL REPORT AND CITY SPECIFICATIONS.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO BEGINNING WORK.



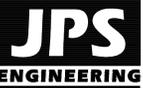
**HANDICAP ACCESS NOTES:**

- RAMPS ARE NOT TO BE PLACED IN HANDICAP ACCESS AISLES.
- ACCESS AISLES MAY NOT EXCEED A 2% (1:48) SLOPE IN ANY DIRECTION.
- HANDICAP RAMPS MAY NOT EXCEED A SLOPE OF 8% (1:12).
- THE MINIMUM WIDTH FOR HANDICAPPED RAMPS IS 36 INCHES. THE SIDES OF RAMPS MAY NOT EXCEED A SLOPE OF 10% UNLESS PROTECTED WITH A HANDRAIL.
- HANDICAPPED PARKING SHALL MEET ALL OTHER APPLICABLE CITY AND ADA CODE REQUIREMENTS.

**CITY APPROVAL**

APPROVED: [Signature] DATE: 5/26/2019 PROJECT: [Project Name] SHEET: D-8D

**LOT 4, WOODMEN EAST COMMERCIAL**



19 E. Wilamette Ave.  
Colorado Springs, CO 80903  
PH: 719-477-9429  
FAX: 719-471-0766



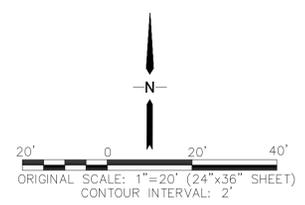
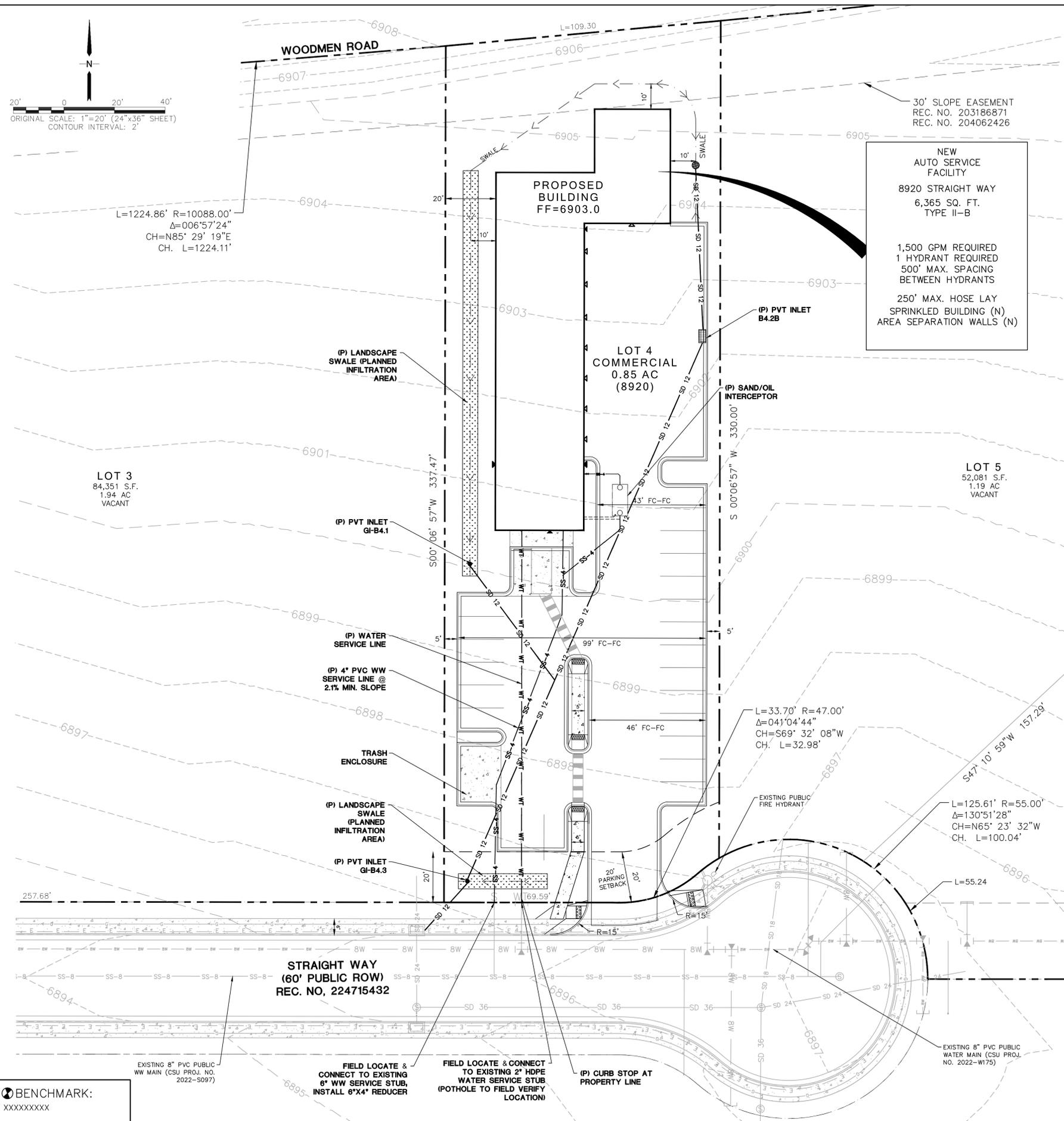
CALL UTILITY NOTIFICATION CENTER OF COLORADO  
1-800-922-1987  
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

NO.	REVISION	BY	DATE

**CIVIL NOTES AND DETAILS**

HORIZ. SCALE:	N/A	DRAWN:	PV
VERT. SCALE:	N/A	DESIGNED:	JPS
SURVEYED:	CENTENNIAL	CHECKED:	JPS
CREATED:	05/09/25	LAST MODIFIED:	06/02/25
PROJECT NO.:	042502	MODIFIED BY:	PV
SHEET:	<b>DEPN-25-XX</b>		

**C1.2**

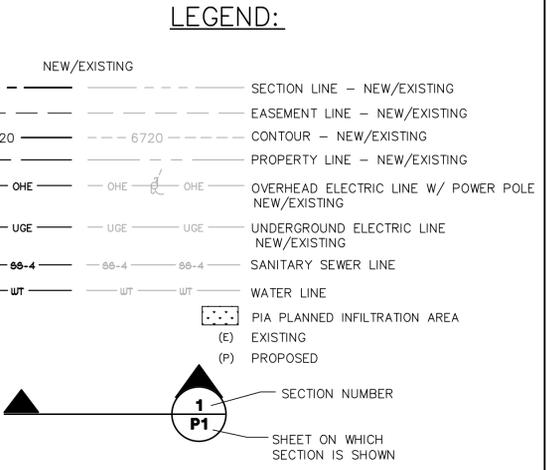


**General Notes for Preliminary Utility Plans**

**Property Owner(s) acknowledge and agree to the following upon approval of Preliminary Utility Plan:**

- Colorado Springs Utilities (Springs Utilities) shall make the final determination of the location of all water, wastewater, electric and gas facilities, which may not be the same location as shown on this Preliminary Utility Plan.
- Property Owner(s) ("Owner") acknowledges that the connection and/or extension of utility services to the property identified in this Preliminary Utility Plan ("Property") shall be in accord with all applicable codes and regulations, Springs Utilities Line Extension & Service Standards ("Standards"), Tariffs, Colorado Springs City Code, resolutions, and policies, and Pikes Peak Regional Building Department codes, in effect at the time of utility service connection and/or extension.
- Owner acknowledges responsibility for the costs of extensions or utility system improvements that Springs Utilities determines necessary to provide utility services to the Property or to ensure timely development of integrated utility systems serving the Property and areas outside the Property (including the costs to design and install water systems, wastewater collection systems, and any gas or electric lines to and within the Property). Owner may be eligible for a cost Recovery Agreement as provided in Utilities' Rules and Regulations.
- Springs Utilities utility services are available on a "first-come, first-served" basis, and therefore no specific allocations or amounts of utility services, facilities, capacities or supplies are reserved for the Owner, and Springs Utilities makes no commitment as to the availability of any utility service until such time as an application for permanent service is approved by Springs Utilities.
- The relocation or alteration of any existing utility facilities within the Property will be at the Owner's sole cost and expense. If Springs Utilities determines that Owner's relocation or alteration requires new or updated easements, Owner shall convey those easements prior to relocating or altering the existing utility facilities.
- Owner shall dedicate by plat and/or convey by recorded document, all property and easements that Springs Utilities determines are required for all utility system facilities necessary to serve the Property or to ensure development of an integrated utility system. All easements granted by separate instrument shall utilize Springs Utilities' then-current Permanent Easement Agreement form.
- The water system facilities must meet Springs Utilities criteria for water quality, reliability and pressure, including looping requirements (see Springs Utilities Line Extension and Service Standards).
- Owner recognizes that the extension of water system facilities may affect the quality of water in the Springs Utilities water system. When water quality is affected, Owner acknowledges responsibility for any costs that Springs Utilities determines necessary in order to maintain water quality in its system as a result of Owner's water system extensions. Owner may be required to submit a Water Quality Plan for the project.
- Owner must contact Springs Utilities Field Engineering to determine the location of all natural gas and electric meters and transformers and to secure approval of gas-service-line pressures in excess of Springs Utilities standard gas system pressure. (Contact Field Engineering North 668-4985 or South 668-5564).
- It shall not be permissible for any person to modify the grade of the earth within any Springs Utilities easement or rights of way without the written approval of Springs Utilities. Improvements, structures and trees shall not be located within utility easement, shall not violate National Electric Safety Code (NESC) provisions and clearances, and shall not impair access or the ability to maintain utility facilities.
- Springs Utilities approval of this Preliminary Utility Plan shall not be construed as a limitation upon the authority of Springs Utilities to apply its Standards, and if there are any conflicts between any approved drawings and any provision of Standards or the City Code, then the Standards or City Code shall apply. Springs Utilities' approval of this Preliminary Utility Plan shall not be construed as a limitation upon the authority of the City of Colorado Springs or Springs Utilities to adopt different ordinances, rules, regulations, resolutions, policies or codes which change any of the provisions of the Standards so long as these apply to the City generally and are in accord with the then-current tariffs, rates and policies of Springs Utilities.

- GENERAL UTILITY NOTES:**
- ALL WORK SHALL CONFORM TO THE LATEST COLORADO SPRINGS UTILITIES WATER & WASTEWATER STANDARD SPECIFICATIONS.
  - CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO BEGINNING WORK.
  - WATER METER & BACKFLOW ASSEMBLY TO BE LOCATED INSIDE BUILDING.
  - FIRE LINES SHOULD ENTER THE BUILDING PERPENDICULAR TO THE OUTSIDE WALL WHENEVER POSSIBLE, AND SHOULD NEVER BE UNDERGROUND FOR MORE THAN 3 FEET INSIDE BUILDING.
  - IF SERVICE LINE > 4" IS TEMPORARILY PLUGGED, INSTALL SJ CAP W/2" TEMPORARY BLOW-OFF ASSY TIED BACK TO CRA.
  - CONTRACTOR SHALL POTHOLE TO FIELD VERIFY UTILITY LOCATIONS PRIOR TO CONSTRUCTION & ADJUST UTILITY CONNECTIONS ACCORDINGLY.
  - CONTRACTOR SHALL OBTAIN CITY STREET CUT PERMITS & PATCH STREET PER CITY STANDARDS.
  - GAS METERS SHALL NOT BE BANKED NOR SHARE RISERS. EACH UNIT SHALL HAVE AN INDIVIDUAL METER ATTACHED TO THAT UNIT.



**KEYED NOTES:**

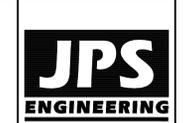
- Ⓢ CONNECT TO EXISTING UNDERGROUND GAS SERVICE LINE (COORDINATE WITH CSU)
- ⓔ COORDINATE WITH CSU FOR ELECTRIC SERVICE CONNECTIONS
- Ⓣ COORDINATE W/ CENTURY LINK FOR TELEPHONE SERVICE

**CITY APPROVAL**

NOTE: ALL PRIVATE TO PUBLIC STORM SEWER CONNECTIONS MUST BE INSPECTED BY AN ENGINEERING DEVELOPMENT REVIEW INSPECTOR

**DEPN-25-XX**

**LOT 4, WOODMEN EAST COMMERCIAL**



19 E. Wilomette Ave.  
Colorado Springs, CO 80903  
PH: 719-477-9429  
FAX: 719-471-0766  
www.jpseng.com



CALL UTILITY NOTIFICATION CENTER OF COLORADO 1-800-922-1987  
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

No.	REVISION	BY	DATE

**PRELIMINARY UTILITY AND PUBLIC FACILITIES PLAN**

HORZ. SCALE: 1"=20'	DRAWN: PV
VERT. SCALE: N/A	DESIGNED: JPS
SURVEYED: CENTENNIAL	CHECKED: JPS
CREATED: 05/09/25	LAST MODIFIED: 06/02/25
PROJECT NO: 042502	MODIFIED BY: PV
SHEET:	

BENCHMARK: XXXXXXXX

### GENERAL SITE NOTES

1. CONTRACTOR RESPONSIBLE FOR COORDINATING AND INSTALLING ALL SLEEVING REQUIRED FOR SITE CONSTRUCTION INCLUDING BUT NOT LIMITED TO DRAINAGE, IRRIGATION, LIGHTING, AND ELECTRICAL. COORDINATE WITH GENERAL CONTRACTOR.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT CONNECTION POINTS AND AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR ALL APPLICABLE AGENCIES.
4. ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF PUBLIC IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH IN CITY OF COLORADO SPRINGS STANDARDS AND SPECIFICATIONS AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE HIGHER QUALITY STANDARD SHALL APPLY. ALL WORK SHALL BE INSPECTED AND APPROVED BY THE APPROPRIATE GOVERNING AGENCIES.
5. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED CONSTRUCTION DOCUMENTS, ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS, AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB, ON-SITE AT ALL TIMES.
6. ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS TRACKED FROM THE SITE.

### STANDARD CITY OF COLORADO SPRINGS LANDSCAPE NOTES

A Final Landscape and Irrigation Plan, with applicable supporting material, shall be submitted at time of Building Permit application and shall be approved before any Building Permit approval, any landscape or irrigation construction, and issuance of a Certificate of Occupancy.

All proposed landscaping shall be watered by an automatic irrigation system which will provide drip irrigation to all shrub beds and trees within native seed areas and spray irrigation to all high-water use turf and native seed areas.

The Owner or Developer is required to provide inspection affidavits executed by the Colorado Licensed Landscape Architect or Certified Irrigation Designer of record for the project, which certifies that the project was installed and in compliance with the approved Final Landscape and Irrigation Plan on file in City Planning. This should require limited construction observation visits to accurately complete the affidavits. When ready to call for inspection and submit affidavits, first contact the city planner of record for the project (719-385-5905) and as necessary our DRE office (719-385-5982). Copies of receipts/delivery tickets for soil amendments installed on the project are required to be provided with the inspection affidavits.

If soil in the parking lot has been compacted by grading operations, the soil within the planter shall be tilled, or removed to a depth of thirty (30) inches and replaced with an acceptable growing medium for the species being installed.

Tilling of the existing soil to incorporate amendments and counter any compaction or soil consolidation shall be required for all landscape planting areas.

### PLANTING AREA SOIL TREATMENT NOTES

SITE SOIL TYPE:							
GROUND PLANE	CLASS 1 OM SOIL	NITROGEN PER 1,000 SF	PHOSPHORUS PER 1,000 SF	POTASSIUM PER 1,000 SF	ZINC PER 1,000 SF	EC SALT, PH	ROTOTILL DEPTH
SOD TURFGRASS	0 CU YARD	0.0 CU YARD	0.0 CU YARD	0.0 CU YARD	0.0 CU YARD	N/A	6"-8" MIN.
NATIVE SEED	0 CU YARD	0.0 CU YARD	0.0 CU YARD	0.0 CU YARD	0.0 CU YARD	N/A	6"-8" MIN.
SHRUB BED	3 CU YARD	0.0 CU YARD	0.0 CU YARD	0.0 CU YARD	0.0 CU YARD	N/A	6"-8" MIN.

SOIL PREPARATION FOR ALL PLANTING AREAS AND FOR UNDISTURBED OR COMPACTED AREAS:

A. FOR LARGE AREAS RIP EXISTING SOIL IN ONE DIRECTION USING AN AGRICULTURAL RIPPER WITH TINES SPACED NO FURTHER THAN EIGHTEEN (18) INCHES APART. AREAS ADJACENT TO WALKS, STRUCTURES, CURBS, ETC., WHERE THE USE OF LARGE MECHANICAL EQUIPMENT IS DIFFICULT SHALL BE WORKED WITH SMALLER EQUIPMENT OR BY HAND. REMOVE ALL RUBBLE, STONES, AND EXTRANEOUS MATERIAL OVER TWO (2) INCHES IN DIAMETER FROM THE SITE.

B. FOR TREE LOCATIONS REMOVE AND REPLACE EXISTING SOIL TO 36" DEPTH. IF CLAY OR SAND REPLACE WITH GRADE B TOPSOIL.

C. SOIL AMENDMENT SHALL BE FROM LOCAL SUPPLIER AND CHOSEN FROM THE CURRENT COLORADO SPRINGS UTILITIES APPROVED SOIL AMENDMENT SUPPLIERS.

D. SLOW RELEASE FERTILIZERS ARE REQUIRED FOR SANDY SOILS.

E. REFER TO SOIL TEST LAB REPORT FOR ADDITIONAL INFORMATION.

### UDC LANDSCAPE REQUIREMENTS

GENERAL REQUIREMENTS		REQUIRED / PROVIDED	
25% MAXIMUM TURF ALLOWED OF TOTAL LANDSCAPE AREA		0/0	
MAXIMUM 35% OF ALL THE TREES SHALL BE FROM ONE SPECIES.		0/0	
MINIMUM 40% OF ALL THE TREES SHALL BE 30' MINIMUM HT.		0/0	

LANDSCAPE SETBACKS (LS)					
STREET NAME OR ZONE BOUNDARY (ELEV.)	STREET CLASSIFICATION	WIDTH (FT.) REQ./PROV.	LINEAR FOOTAGE	TREE FEET REQUIRED	NO. OF TREES REQ./PROVIDED
STRAIGHT WAY	NON-ARTERIAL	10/10 FT	60 LF	1/30 FT	2/1
WOODHEN RD	MAJOR ARTERIAL	25/25 FT	110 LF	1/20 FT	6/6

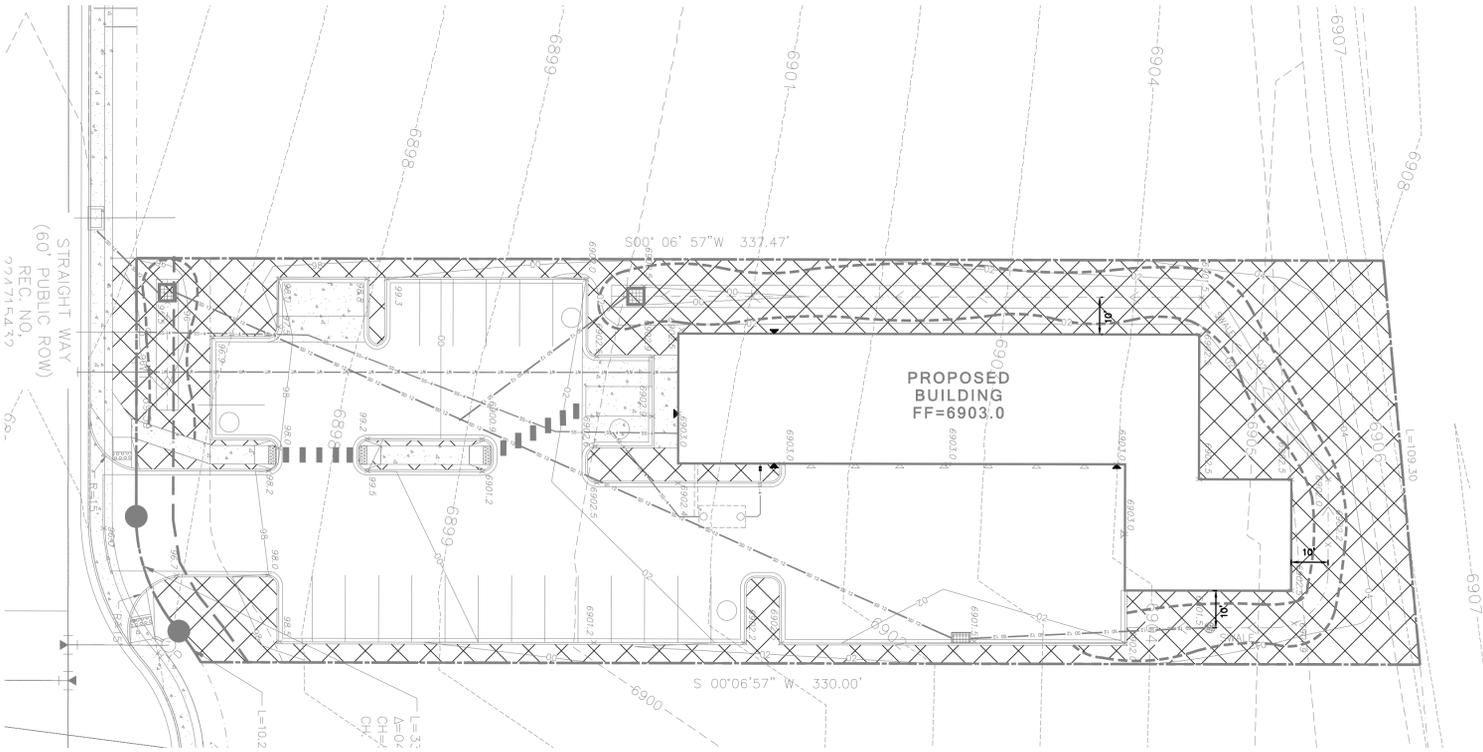
MOTOR VEHICLE LOTS (MV): NOT REQUIRED				
NO. OF VEHICLE SPACES PROVIDED	SHADE TREES (1/15 SPACES) REQ./PROV.	VEHICLE LOT FRONTAGE(S)	LENGTH OF FRONTAGE (FT) (EXCLUDING DRIVEWAYS)	2/3 LENGTH OF FRONTAGE (FT)
24	2/2	STRAIGHT WAY EAST WEST	24 LF 125 LF 53 LF	16 LF 84 LF 18 LF

INTERNAL LANDSCAPING (IL)				
INTERNAL LANDSCAPE AREA INCLUDES ALL LANDSCAPE AREAS NOT INCLUDING SETBACKS, BUFFERS OR MOTOR VEHICLE ISLANDS. 100% SHRUB SUBSTITUTION FOR NON-RESIDENTIAL / 50% SHRUB SUBSTITUTION FOR MULTI-FAMILY.				
NET SITE AREA (SF) (LESS PUBLIC ROW)	PERCENT MINIMUM INTERNAL AREA (%)	INTERNAL AREA (SF) REQ./PROV.	INTERNAL TREES (1/500 SF) (EXCLUDING DRIVEWAYS)	
31,026 SF	RESIDENTIAL 5%	1,551 SF/0 SF	4/1	

LANDSCAPE BUFFERS AND SCREENS (LB)				
STREET NAME OR PROPERTY LINE (ELEV.)	WIDTH (FT.) REQ./PROV.	LINEAR FOOTAGE	BUFFER TREES (1/20') REQ./PROV.	EVERGREEN TREES REQ. (50%) / PROVIDED
NA	15/15 FT	0 LF	0/0	0/0
BUFFER FENCE: 6 FT. OPAQUE CEDAR WOOD FENCE		REQ./PROV.		
TRASH ENCLOSURE(S)	REFER TO PLAN FOR LOCATION			4/4 UPRIGHT EVERGREEN



### LAYOUT NOTE

CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. DEVIATIONS FROM THE APPROVED PLAN MAY REQUIRE APPROVAL BY COLORADO SPRINGS PLANNING AND OWNER REPRESENTATIVE.

### FIRE SIGNAGE NOTE

ANY VEGETATION THAT MAY GROW TO OR IMMEDIATELY OBSTRUCT ANY FIRE LANE SIGNAGE WILL BE PLANTED IN SUCH A WAY TO PREVENT ANY FUTURE OBSTRUCTION OF SUCH SIGNAGE.

### GRADING AND DRAINAGE NOTE

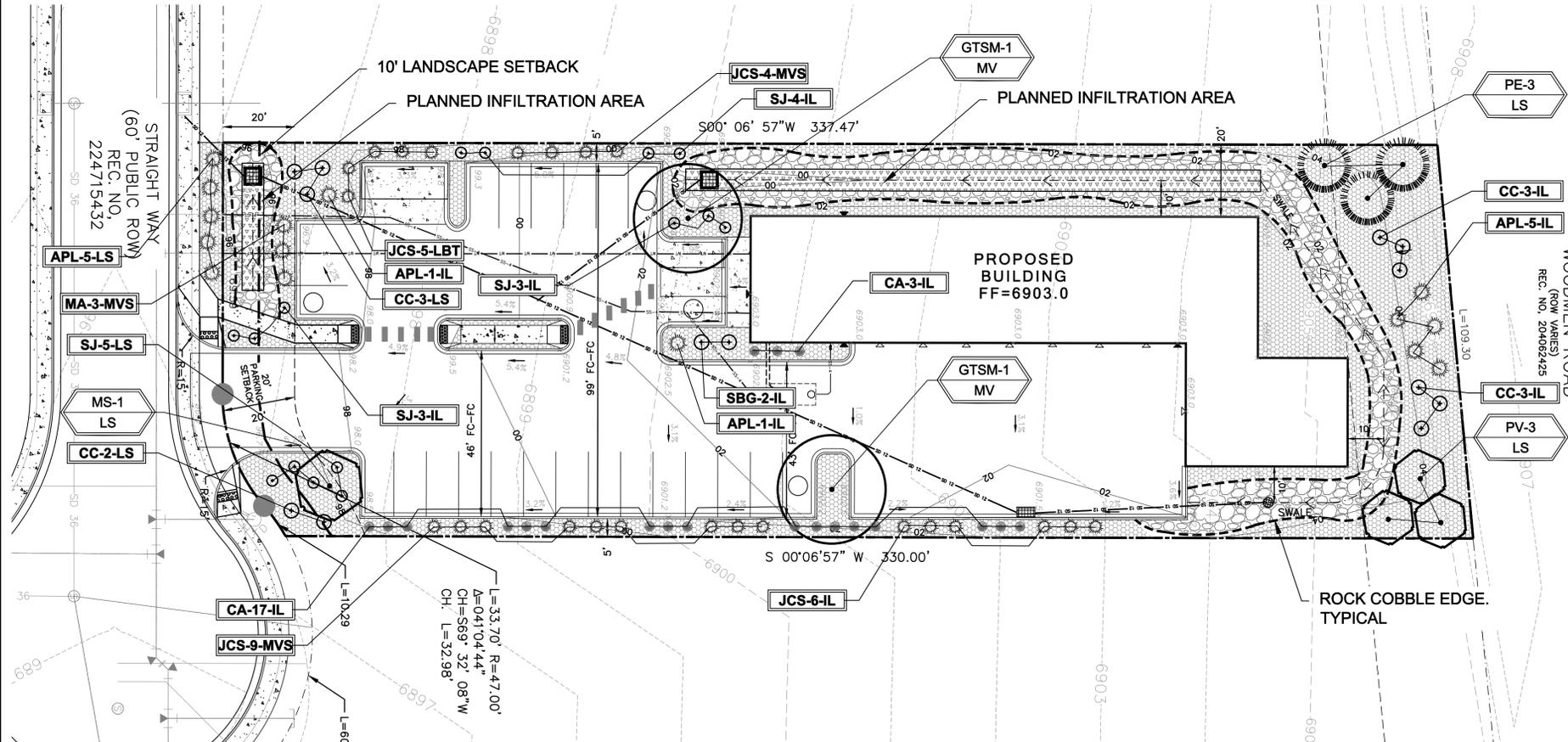
EXISTING GRADING AND DRAINAGE SHOULD BE MAINTAINED AND IS BY OTHERS. ALL GRADES SHOULD SLOPE MINIMUM AWAY FROM ALL BUILDING FOUNDATION. PRIOR TO, OR DURING CONSTRUCTION IF DRAINAGE PROBLEMS ARE IDENTIFIED CONTACT LANDSCAPE ARCHITECT AND CEASE WORK UNTIL A SOLUTION IS AGREED TO BY ALL PARTIES. HGD, INC. PREPARED THIS LANDSCAPE PLAN BASED ON EXISTING FIELD CONDITIONS AND IS NOT RESPONSIBLE FOR ANY DAMAGE TO BUILDING AND/OR SITE DUE TO IMPROPER GRADING AND/OR DRAINAGE.

### MAINTENANCE NOTE

Landscape Improvements and maintenance shall be the responsibility of owner, and/or their assigns. Street trees, streetscape improvements, and vegetation within the City ROW shall be maintained by the abutting property owner.

### PLANT SCHEDULE

Symbol	Abbr.	Quantity	Botanical Name	Common Name	Mature Size	Planting Size	UDC Requirement
<b>EVERGREEN TREES:</b>							
	PE	3	<i>Pinus edulis</i>	Pinyon Pine	15'x15'	6' ht.	B & B SCREEN, WALL, TRASH
<b>DECIDUOUS TREES:</b>							
	GTSM	2	<i>Gleditsia triacanthos</i> 'Shademaster'	Shademaster Honeylocust	30'	1-1/2' cal.	B & B PARK, ROW, MEDIAN
	MS	1	<i>Malus</i> 'Spring Snow'	Spring Snow Crabapple	15'	1-1/2' cal.	ROW, MEDIAN, STREAM
	PV	3	<i>Prunus virginiana</i> 'Sucker Punch'	Sucker Punch Canada Red Cherry	15'	1-1/2' cal.	ROW, MEDIAN, STREAM
<b>EVERGREEN SHRUBS:</b>							
	APL	12	<i>Archostaphylos coloradoensis</i> 'Panchito'	Panchito Manzanita	10'-18"/24"-36"	5 gal.	CITY LIST
	JCS	24	<i>Juniperus x chinensis</i> 'Spartan'	Spartan Juniper	3-4' x 12-15"	5 gal.	SCREEN, WALL, TRASH
	MA	3	<i>Mahonia aquifolium compacta</i>	Compact Oregon Grape Holly	3-4' x 2-3"	5 gal.	N/A
<b>DECIDUOUS SHRUBS:</b>							
	CC	11	<i>Caryopteris x clandonensis</i> 'Drk Knt'	Dark Knight Blue Mist Spirea	2' x 2-4'	5 gal.	CITY LIST
	SBG	2	<i>Spiraea x bumalda</i> 'Goldflame'	Goldflame Spirea	3-4' x 2-3"	5 gal.	N/A
	SJ	15	<i>Spiraea japonica</i> 'Majic Carpet'	Majic Carpet, Spirea	1-2' x 1-2'	5 gal.	CITY LIST
<b>TOTAL SHRUBS: Selected Species-70% Min. / 75% Provided</b>							
<b>ORNAMENTAL GRASSES AND PERENNIALS:</b>							
	CA	20	<i>Calamagrostis acutiflora</i> 'Karl Foerster'	Feather Reed Grass	1-3' x 2-3"	1 gal.	SCREEN
<b>TOTAL ORNAMENTAL GRASSES: Selected Species-70% Min. / 70% Provided</b>							
NOTE: QUANTITIES SHOWN IN SCHEDULE ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL MATERIALS PER PLAN.							



### GROUND COVER LEGEND

SYMBOL	DESCRIPTION	APPROX. SF
	Breckstone Rock: 1.5" Diameter (with weed barrier) Submit sample/spec to owner/landscape architect prior to ordering	9,223 SF
	Blue-Gray River Cobble: 2-4" Diameter (with weed barrier) Submit sample/spec to owner/landscape architect prior to ordering	3,996 SF
	Blue-Gray River Cobble: 2-4" Diameter (with weed barrier) Submit sample/spec to owner/landscape architect prior to ordering	1,206 SF
	5-12" Dia. Cobble Edge between rock types	

NOTE: QUANTITIES SHOWN IN LEGEND ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL MATERIALS PER PLAN.

### GRADE NOTE

GRADE SHALL BE ESTABLISHED BASED ON GRADING PLAN BY OTHERS, AND FOR LANDSCAPE MATERIALS PER PLAN. FINAL SOIL GRADE FOR 5-12" DIAMETER ROCK AREAS SHALL BE 4" BELOW TOP OF SIDEWALK/CURB/PAVING. AT ALL OTHER ROCK AREAS GRADE SHALL BE 3" BELOW SIDEWALK/CURB. AT SOI SEED AREAS GRADE SHALL BE 1" BELOW TOP OF SIDEWALK/CURB.

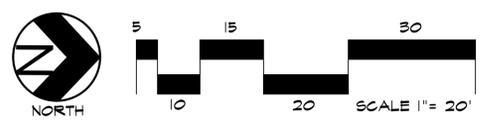
### UTILITIES NOTE

VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. CALL 811 FOR UTILITY LOCATES. TREE TRUNK PLACEMENT SHALL BE 6" MINIMUM DISTANCE FROM ANY GAS OR ELECTRIC AND 10" FROM GAS MAINS RATED AT 150PSI. FOR SANITARY SEWER AND WATER MAINLINES TREES SHALL NOT BE LOCATED WITHIN EASEMENTS AND WITHIN 15' OF ANY MAINLINE. ANY CONFLICT BETWEEN TREE LOCATIONS AND UTILITIES SHOWN ON PLANS SHALL BE RESOLVED WITH GENERAL CONTRACTOR PRIOR TO PLANTING. ALL ELECTRICAL VAULTS AND TRANSFORMERS SHALL BE KEPT CLEAR FROM PLANT MATERIAL PER COLORADO SPRINGS UTILITIES GUIDELINES 'LANDSCAPING AROUND ELECTRICAL EQUIPMENT'. SEE COLORADO SPRINGS UTILITIES CONSTRUCTION STANDARD DRAWINGS 18-302 FOR SPECIFIC CLEARANCE REQUIREMENTS. ALL SHRUBS TO BE LOCATED 3' CLEAR OF ALL FIRE HYDRANTS AT MATURE SIZE.

### DOCUMENT NOTE

RESPECTIVE OF ANY OTHER TERM IN THIS DOCUMENT, LANDSCAPE ARCHITECT SHALL NOT CONTROL OR BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SCHEDULES, SEQUENCES OR PROCEDURES, OR FOR CONSTRUCTION SAFETY OR ANY OTHER RELATED PROGRAMS, OR FOR ANOTHER PARTIES' ERRORS OR OMISSIONS OR FOR ANOTHER PARTIES' FAILURE TO COMPLETE THEIR WORK OR SERVICES IN ACCORDANCE WITH LANDSCAPE ARCHITECT'S DOCUMENTS.

## FINAL LANDSCAPE PLAN



**HIGHER GROUND DESIGNS, INC.**  
LANDSCAPE ARCHITECTURE, PLANNING & IRRIGATION DESIGN  
5350 NORTH ACADEMY BLVD., STE. 207  
COLORADO SPRINGS, CO 80918  
Phone 719-477-1646  
Fax 719-568-1122



LOT 4 - MIDAS SHOP  
POWERS BLVD  
COLORADO SPRINGS, CO  
PREPARED FOR:  
THESE DRAWINGS ARE THE PROPERTY OF HIGHER GROUND DESIGNS, INC. AND SHALL NOT BE USED FOR ANY OTHER PROJECT WITHOUT THE AUTHORIZATION BY HIGHER GROUND DESIGNS, INC.

CITY STAMP	JOB NUMBER	1246-25
	REVISIONS	
	ORIGINAL DATE	6-02-25
	DRAWN BY	JM
	DESCRIPTION	FINAL LANDSCAPE PLAN
SHEET NO.	6 OF 11	

NOT FOR CONSTRUCTION

### INSTALLATION NOTES

REMOVE EXISTING TREES, DEBRIS AND WEEDS FROM SITE PRIOR TO CONSTRUCTION (AS SHOWN PER PLAN).

LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SITE DURING CONSTRUCTION. WEEDS AND TRASH SHALL BE REMOVED DAILY AS REQUIRED.

EXISTING TOPSOIL TO BE STOCKPILED ON-SITE AND USED DURING CONSTRUCTION TO ESTABLISH GRADES WITHIN LANDSCAPE AREAS AS SHOWN PER PLAN.

CONTRACTOR SHALL REFER TO ASSOCIATED LANDSCAPE CONTRACTORS OF COLORADO HANDBOOK (ALCC), 2007 REVISED EDITION FOR ALL CONSTRUCTION FOR THIS SITE. CONTACT OWNER/LANDSCAPE ARCHITECT FOR QUESTIONS.

QUANTITIES SHOWN IN PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PLANT MATERIAL PER PLAN.

LANDSCAPE ARCHITECT SHALL HAVE OPPORTUNITY TO INSPECT AND APPROVE ALL 1-15 GALLON MATERIAL AT JOB SITE PRIOR TO PLANTING, INCLUDING PLACEMENT INSPECTION.

STEEL EDGING TO BE GREEN PRO-STEEL (1/8" x 4" x 10') WITH STAKES OR APPROVED EQUAL. EDGING TO BE EXPOSED 1/2" MAXIMUM ABOVE FINISHED GRADES. INSTALL PER MANUFACTURE RECOMMENDATIONS. SEE PLAN FOR EDGING LOCATIONS.

ALL ROCK COVER AREAS ONLY TO BE PREPARED WITH 3 OZ PROFESSIONAL GRADE POLYSPUN WEED BARRIER WITH STAPLES AT 5' O.C. FABRIC SEAMS TO BE OVERLAPPED 6" MIN. AND SECURED WITH STAPLES.

GROUND COVER SHALL BE CONTINUOUS UNDER ALL SHRUBS THROUGHOUT PROJECT SITE. REFER TO PLANTING DETAILS.

TREES AND SHRUBS TO RECEIVE ORGANIC MULCH PER DETAILS, INCLUDING ROCK AREAS-SEE DETAILS, UNLESS OTHERWISE SPECIFIED. ORGANIC MULCH TO BE 'CASCADE CEDAR' WITH NO LANDSCAPE. FABRIC 4" DEPTH.

DO NOT PLANT SHRUBS OR TREES OF INCOMPATIBLE WATER REQUIREMENTS IMMEDIATELY ADJACENT (MINIMUM 5') TO ONE ANOTHER.

PLANT BACKFILL SHALL BE 70% NATIVE ON-SITE SOIL, AND 30% BREW-GRO BIOCOMP CLASS 1 (OR CITY APPROVED EQUAL).

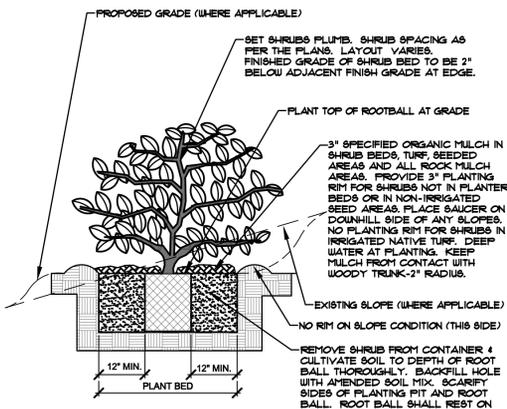
A REPRESENTATIVE SAMPLE OF THE BOTANICAL NAME TAGS, FURNISHED BY THE NURSERY STOCK PROVIDER SHALL REMAIN ATTACHED TO THE PLANTS UNTIL FINAL INSPECTION.

LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF STORM DRAINAGE FROM ADJACENT LANDSCAPE AREAS OR BUILDING DOWNSPOUTS WILL ADVERSELY AFFECT LANDSCAPED AREAS PER THE PLAN.

PRIOR TO INSTALLING PLANTS OR GROUND COVER BROADCAST (PLANT SAFE) PREEN WEED PRE-EMERGENT, OR APPROVED EQUAL, IN ALL PLANTING AREAS PER MANUFACTURE RECOMMENDATIONS. WWW.PREEN.COM

NOTES:

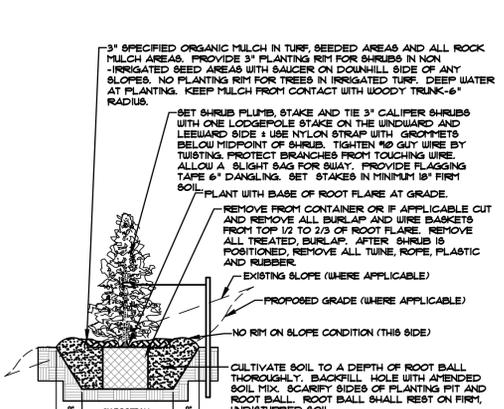
- PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
- KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
- DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
- AMENDED BACKFILL SHALL BE 10% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
- FOR ROOT BIND AT BOTTOM OF BALL SPLIT ROOT BALL VERTICALLY FROM BOTTOM HALFWAY TO TOP. SPREAD THE TWO HALVES OVER A MOUND OF SOIL IN PLANTING PIT.
- FOR POT BOUND PLANTS ONLY: MAKE 4-5 VERTICAL CUTS IN ROOT BALL 1" DEEP. PLANT IMMEDIATELY.



**A** SHRUB PLANTING DETAIL  
NOT TO SCALE

NOTES:

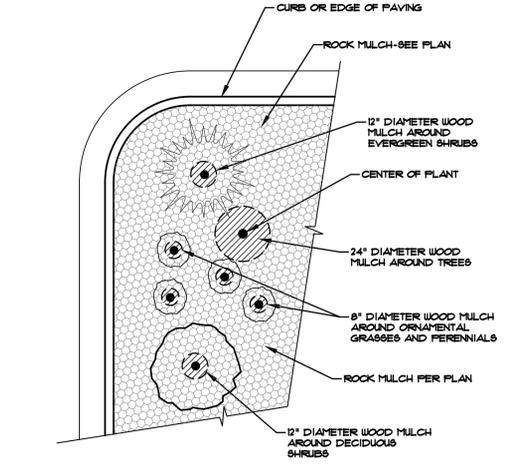
- DO NOT REMOVE OR CUT LEADER.
- PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
- REMOVE ANY DOUBLE LEADER UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE.
- KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
- AVOID FALL PLANTING IF POSSIBLE.
- AMENDED BACKFILL SHALL BE 10% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
- FOR ROOT BIND (CONTAINER PLANTS ONLY) AT BOTTOM OF BALL SPLIT ROOT BALL VERTICALLY FROM BOTTOM HALFWAY TO TOP. SPREAD THE TWO HALVES OVER A MOUND OF SOIL IN PLANTING PIT.
- FOR POT BOUND PLANTS ONLY: MAKE 4-5 VERTICAL CUTS IN ROOT BALL 1" DEEP. PLANT IMMEDIATELY. (CONTAINER PLANTS ONLY)



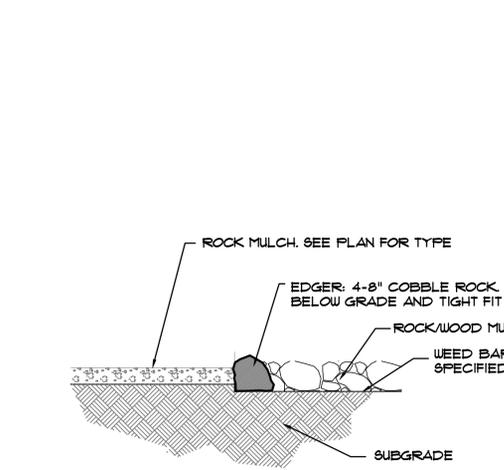
**B** UPRIGHT EVERGREEN SHRUB PLANTING DETAIL  
NOT TO SCALE

NOTES:

- CONTRACTOR TO INSTALL WOOD MULCH RINGS AROUND LANDSCAPING AS SHOWN BELOW FOR ALL TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES.
- INSTALLED IN ROCK MULCHED AREAS. ROCK SHALL BE CLEAR FROM SHRUBS IN UNIFORM CIRCLE AND WOOD MULCH APPLIED AT 2" DEPTH. SEE CONSTRUCTION DETAILS FOR INSTALLATION PROCESSES.
- REFER TO LANDSCAPE PLANS FOR ALL TREE, SHRUB AND ORNAMENTAL GRASS LOCATIONS.



**C** TYPICAL PLANT MATERIAL TREATMENT  
NOT TO SCALE



**D** COBBLE ROCK EDGING  
NOT TO SCALE

### ACCEPTANCE NOTE

CONTRACTOR IS RESPONSIBLE FOR CONTACTING LANDSCAPE ARCHITECT FOR ALL REQUIRED CITY AFFIDAVIT INSPECTIONS. PROVIDE AT LEAST 48 HOURS NOTICE TO SCHEDULE INSPECTIONS. INSPECTIONS INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

- LAYOUT AND BOULDER PLACEMENT
- PLANT TYPE, MATERIAL SIZE AND QUALITY VERIFICATION, AND PLACEMENT VERIFICATION.
- IRRIGATION MAIN LINE INSPECTION (AS APPLICABLE).
- DRIP SYSTEM COMPONENTS AND EMITTER PLACEMENT PRIOR TO MULCH INSTALLATION.
- LANDSCAPE AND IRRIGATION 95% COMPLETION PUNCH LIST INSPECTION.
- LANDSCAPE AND IRRIGATION FINAL INSPECTION AND ACCEPTANCE.

REFER TO CITY AFFIDAVIT FOR ADDITIONAL INFORMATION. SUBMIT RECEIPT FOR SOIL AMENDMENTS TO LANDSCAPE ARCHITECT AND AS-BUILT FOR IRRIGATION SYSTEM TO OWNER.

WHEN ALL THE WORK IS COMPLETED, THE OWNER'S AUTHORIZED REPRESENTATIVE SHALL UPON INSPECTION OF THE WORK TO DETERMINE ACCEPTABILITY. HE WILL PREPARE A "PUNCH LIST" OF ITEMS IMPROPERLY INSTALLED, INADEQUATELY SIZED OR OTHERWISE DEFICIENT. THE "PUNCH LIST" DEFICIENCIES SHALL BE CORRECTED NOT MORE THAN 5 WORKING DAYS AFTER THE INSPECTION. WHEN THE CORRECTIVE WORK IS COMPLETED, THE OWNER WILL ISSUE A CERTIFICATE OF SUBSTANTIAL COMPLETION OF LANDSCAPE AND IRRIGATION WORK.

THE FORMAL MAINTENANCE PERIOD (IF APPLICABLE) AND WARRANTY PERIOD SHALL COMMENCE FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER'S AUTHORIZED REPRESENTATIVE OF THE CONTRACT WORK IN ACCORDANCE WITH THESE DRAWINGS.

### LONG-TERM MAINTENANCE NOTE

ON-GOING MAINTENANCE DURING CONSTRUCTION:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ON-GOING MAINTENANCE OF ALL COMPLETED LANDSCAPE AND IRRIGATION WORK AS DEFINED UNDER CONTRACT WITH OWNER.

BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND CONTINUE UNTIL LANDSCAPE WORK IS COMPLETED, ACCEPTED BY OWNER, AND IF REQUESTED A FORMAL MAINTENANCE PERIOD IS INITIATED. MAINTAIN LAWNS BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING, REPLANTING AS REQUIRED THROUGH CONSTRUCTION PERIOD. REMULCH WITH NEW MULCH IN AREAS WHERE MULCH HAS BEEN DISTURBED BY CONSTRUCTION OPERATIONS SUFFICIENTLY TO NULLIFY ITS PURPOSE. CONTRACTOR SHALL REPAIR SEEDED AREAS DAMAGED BY TRAFFIC AND/OR VANDALISM DURING THE CONSTRUCTION PERIOD.

IF THE IRRIGATION SYSTEM IS NOT AVAILABLE FOR PROPER WATERING AT THE TIME OF INSTALLATION, PROVIDE AND MAINTAIN TEMPORARY PIPING, HOSES, AND LAWN WATERING EQUIPMENT AS REQUIRED TO CONVEY WATER FROM SOURCES AND TO KEEP THE LAWN AREAS UNIFORMLY MOIST AS REQUIRED FOR PROPER GROWTH. FAILURE OF THE IRRIGATION SYSTEM SHALL NOT RELIEVE THE INSTALLER OF THE RESPONSIBILITY TO PROVIDE THE REQUIRED WATER. COORDINATE WITH OWNER.

ONE-YEAR WARRANTY

AS AGREED WITH OWNER CONTRACTOR SHALL PROVIDE ONE-YEAR WARRANTY ON ALL PLANT MATERIAL, GRASSES AND IRRIGATION SYSTEM. REPLACEMENT OF DEAD, DISEASED OR SUBSTANTIALLY DAMAGED PLANT MATERIALS SHALL BE OF THE SAME OR SIMILAR TYPE AS SET FORTH IN THE LANDSCAPE PLAN. REPLACEMENT SHALL BE MADE IN A TIME PERIOD NOT EXCEEDING 15 DAYS. PLANT MATERIAL NEEDING REPLACEMENT DURING WINTER MONTHS SHALL BE REPLACED AT THE START OF THE NEXT GROWING SEASON.

THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION SYSTEM MAINTENANCE OF THIS SITE AND ANY RIGHT-OF-WAY AREAS BETWEEN THE CURB AND PROPERTY BOUNDARIES OF THIS SITE. MAINTENANCE OF THIS INCLUDES, BUT IS NOT LIMITED TO, RIGHT OF WAY STREET TREES, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, MOWING, SEEDING, FERTILIZING, WOOD MULCH AND ROCK ADDITIONS, PRUNING AND PLANT MATERIAL REPLACEMENTS. ALL MAINTENANCE SHALL BE DONE IN ACCORDANCE WITH THE ALCC SPECIFICATIONS HANDBOOK REV EDITION 2007. OWNER SHOULD CONTACT LANDSCAPE CONTRACTOR OR LANDSCAPE ARCHITECT REGARDING ANY QUESTIONS RELATING TO THE LANDSCAPE OR IRRIGATION SYSTEM.

### UTILITIES NOTE

VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. CALL 811 FOR UTILITY LOCATES. TREE TRUNK PLACEMENT SHALL BE 6" MINIMUM DISTANCE FROM ANY GAS OR ELECTRIC AND 10" FROM GAS MAINS RATED AT 150PSI. FOR SANITARY SEWER AND WATER MAINLINES TREES SHALL NOT BE LOCATED WITHIN EASEMENTS AND WITHIN 15' OF ANY MAINLINE. ANY CONFLICT BETWEEN TREE LOCATIONS AND UTILITIES SHOWN ON PLANS SHALL BE RESOLVED WITH GENERAL CONTRACTOR PRIOR TO PLANTING. ALL ELECTRICAL VAULTS AND TRANSFORMERS SHALL BE KEPT CLEAR FROM PLANT MATERIAL PER COLORADO SPRINGS UTILITIES GUIDELINES "LANDSCAPING AROUND ELECTRICAL EQUIPMENT". SEE COLORADO SPRINGS UTILITIES CONSTRUCTION STANDARD DRAWINGS 18-302 FOR SPECIFIC CLEARANCE REQUIREMENTS. ALL SHRUBS TO BE LOCATED 3' CLEAR OF ALL FIRE HYDRANTS AT MATURE SIZE.

### DOCUMENT NOTE

IRRESPECTIVE OF ANY OTHER TERM IN THIS DOCUMENT, LANDSCAPE ARCHITECT SHALL NOT CONTROL OR BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SCHEDULES, SEQUENCES OR PROCEDURES, OR FOR CONSTRUCTION SAFETY OR ANY OTHER RELATED PROGRAMS, OR FOR ANOTHER PARTIES' ERRORS OR OMISSIONS OR FOR ANOTHER PARTIES' FAILURE TO COMPLETE THEIR WORK OR SERVICES IN ACCORDANCE WITH LANDSCAPE ARCHITECT'S DOCUMENTS.

NOT FOR CONSTRUCTION	CITY STAMP	JOB NUMBER <b>1246-25</b>
		REVISIONS
		ORIGINAL DATE <b>6-02-25</b>
		DRAWN BY <b>JM</b>
		DESCRIPTION <b>FINAL LANDSCAPE PLAN NOTES</b>
		SHEET NO. <b>7 OF 11</b>

**HIGHER GROUND DESIGNS, INC.**  
LANDSCAPE ARCHITECTURE, PLANNING & IRRIGATION DESIGN

**HIGHER GROUND DESIGNS**

5350 NORTH ACADEMY BLVD., STE. 207  
COLORADO SPRINGS, CO 80916  
Phone 719-477-1646  
Fax 719-586-1122

LOT 4 - MIDAS SHOP  
POWERS BLVD  
COLORADO SPRINGS, CO

THESE DRAWINGS ARE THE PROPERTY OF HIGHER GROUND DESIGNS, INC. AND SHALL NOT BE USED FOR ANY OTHER PROJECT WITHOUT THE AUTHORIZATION BY HIGHER GROUND DESIGNS, INC.

PREPARED FOR:



## IRRIGATION NOTES

COORDINATE ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO ANY DIGGING ON SITE. ALL MATERIALS AND INSTALLATION PRACTICES SHALL BE IN COMPLIANCE WITH LOCAL CODES. CALL 811 FOR UTILITY LOCATES.

CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL IRRIGATION COMPONENTS SHOWN ON THE PLAN. ANY DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT. DEVIATIONS FROM THE APPROVED PLAN SHALL REQUIRE LANDSCAPE ARCHITECT APPROVAL.

THE IRRIGATION SYSTEM IS TO RUN OFF 3/4" METERED TAP AT THE LOCATION INDICATED FROM THE BUILDING DOMESTIC SUPPLY AS SHOWN. COORDINATE WITH OWNER'S REPRESENTATIVE AND OTHER TRADES TO GET WATER AT LOCATION SHOWN. COORDINATE WITH CITY WATER TO INSURE PROPER METER INSTALLATION.

THE SYSTEM CONTROLLERS SHALL BE LOCATED AS SHOWN. COORDINATE LOCATION OF CONTROLLER AND RAIN SENSOR WITH OWNER. CONNECT CONTROLLER TO POWER SUPPLY AND COORDINATED WITH OWNER. CONNECT CONTROLLER TO ZONE VALVES, RAIN SENSOR, AND GROUNDING PER MANUFACTURER'S INSTRUCTIONS.

CONTRACTOR IS RESPONSIBLE FOR ALL IRRIGATION SLEEVING. SLEEVING FOR LATERAL LINES TO BE 12" BELOW TOP OF GRADE AND/OR BELOW THE BOTTOM OF PAVING. MAINLINE SLEEVING TO BE 18" BELOW TOP OF GRADE AND/OR BELOW THE BOTTOM OF PAVING. ALL SLEEVING TO EXTEND 3" BEYOND EDGE OF CONCRETE OR ASPHALT. ENDS OF SLEEVING TO BE SECURELY COVERED AFTER INSTALLATION. SLEEVE LOCATIONS TO BE CLEARLY MARKED WITH PAINTED STAKES OR PVC. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SLEEVING LOCATIONS PRIOR TO CONSTRUCTION AND INSTALL ANY MISSING SLEEVE IF NECESSARY.

ALL SPRINKLER HEADS SHALL BE INSTALLED WITH TOP OF HEADS FLUSH WITH SURROUNDING FINAL GRADE. CONTRACTOR SHALL ADJUST EACH SPRINKLER HEAD TO PROVIDE OPTIMAL COVERAGE. OVERSPRAY ONTO PAVEMENT OR WALLS IS TO BE PREVENTED. CONTRACTOR TO ADJUST AND SELECT NOZZLES TO PROVIDE UNIFORM COVERAGE. PROVIDE PRESSURE COMPENSATING NOZZLES OR SCREENS IF UNIFORM PRESSURE CANNOT BE ACHIEVED BY ADJUSTING PRESSURE AT VALVES.

IRRIGATION PLAN IS DIAGRAMMATIC. ANY COMPONENTS SHOWN ON PLAN OUTSIDE OF LANDSCAPE ARE SHOWN FOR CLARITY ONLY. USE ONLY STANDARD FITTINGS. MAINLINE PIPING DEPTH TO BE 18". LATERAL LINE DEPTH TO BE 12". DRIP LINE TO BE SECURED AT FINAL SOIL GRADE.

CONTRACTOR IS TO INSTALL IRRIGATION WIRE BETWEEN CONTROLLER AND ELECTRIC VALVES. INSTALL TWO EXTRA WIRES RUNNING FROM CONTROLLER ALONG MAINLINE IN EACH DIRECTION FROM THE CONTROLLER FOR TROUBLE SHOOTING OR FUTURE ADDITIONS. WIRE SHALL BE SOLID COPPER #14 PE IRRIGATION CONTROL WIRE. CONNECTIONS SHALL BE MADE WITHIN ENCLOSURES ONLY USING 3M BRAND D9Y AND DBR CONNECTORS. NO BURIED SPLICES PERMITTED.

NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN PLAN DRAWINGS AND FIELD CONDITIONS PRIOR TO INSTALLATION OF ANY IRRIGATION COMPONENTS.

HIGHER GROUND DESIGNS, INC. (HGD) PREPARED THIS PLAN BASED ON EXISTING CONDITIONS AND SITE PLAN BY OTHERS. HGD DOES NOT RECOMMEND SPRAY/ROTOR OPERATION OR ROTOR/SPRAY OVER SPRAY WITHIN 5' OF ANY BUILDING. HGD ASSUMES NO LIABILITY FOR ANY WATER DAMAGE ON THIS SITE.

ALL DRIP POLYETHYLENE LATERALS AND DRIP TUBING FITTINGS SHALL BE RIBBED PLASTIC WITH OETIKER BRAND CLAMPS. THE END OF EACH DRIP LINE TO RECEIVE A DRIP FLUSH CAP PER DETAIL.

INSTALL VALVE BOXES IN PLANTER AND ROCK AREAS WHEN POSSIBLE. DO NOT SET VALVE BOXES IN TURF OR SEEDED AREAS UNLESS UNAVOIDABLE.

### IRRIGATION SYSTEM MATERIALS

- PRESSURE SUPPLY LINE (FROM POINT OF CONNECTION THROUGH BACKFLOW PREVENTION UNIT) - TYPE "K" RIGID COPPER. PRESSURE SUPPLY LINES (DOWNSTREAM OF BACKFLOW PREVENTION UNITS) - CLASS 200 PVC SOLVENT WELD (1" - 2 1/2") SOLVENT WELD PIPE - MANUFACTURED FROM VIRGIN POLYVINYL CHLORIDE (PVC) COMPOUND IN ACCORDANCE WITH ASTM D2241 AND ASTM D1784; CELL CLASSIFICATION 12454-B, TYPE 1, GRADE 1. FITTINGS - STANDARD WRIGHT, SCHEDULE 40, INJECTION MOLDED PVC, COMPLYING WITH ASTM D1784 AND D2486, CELL CLASSIFICATION 12454-B
- THREADS - INJECTION MOLDED TYPE (WHERE REQUIRED)
- TEES AND ELLS - SIDE GATED, THREADED NIPPLES - ASTM D2484, SCHEDULE 80 WITH MOLDED THREADS
- ALL PVC MALE THREADED FITTINGS AND NIPPLES, EXCLUDING MARLEX FITTINGS, SHALL RECEIVE WRAPPING OF TEFLON TAPE
- JOINT CEMENT AND PRIMER - TYPE AS RECOMMENDED BY MANUFACTURER OF PIPE AND FITTINGS.
- FLEXIBLE PLASTIC PIPE - MANUFACTURED FROM VIRGIN POLYETHYLENE IN ACCORDANCE WITH ASTM D2239, WITH A HYDROSTATIC DESIGN STRESS OF 630 PSI AND DESIGNATED AS PE 2306. FITTINGS - INSERT TYPE MANUFACTURED IN ACCORDANCE WITH ASTM D2689; PVC TYPE 1 CELL CLASSIFICATION 12454-B.

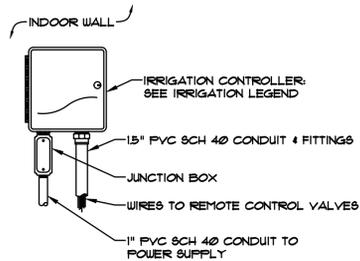
### IRRIGATION SYSTEM INSTALLATION

- BACKFILLING - DO NOT BEGIN BACKFILLING OPERATIONS UNTIL REQUIRED SYSTEM TESTS HAVE BEEN COMPLETED. BACKFILL SHALL NOT BE DONE IN FREEZING WEATHER EXCEPT WITH REVIEW BY CONSULTANT. TRENCHES SHALL BE FINISH GRADED PRIOR TO WALK-THROUGH OF SYSTEM BY OWNER/CONSULTANT.
- EXCAVATED MATERIAL IS GENERALLY CONSIDERED SATISFACTORY FOR BACKFILL PURPOSES. BACKFILL MATERIAL SHALL BE FREE OF RUBBISH, VEGETABLE MATTER, FROZEN MATERIALS, AND STONES LARGER THAN 1 INCH IN MAXIMUM DIMENSION. DO NOT MIX SUBSOIL WITH TOPSOIL. MATERIAL NOT SUITABLE FOR BACKFILL SHALL BE HAULED AWAY. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SUITABLE BACKFILL IF EXCAVATED MATERIAL IS UNACCEPTABLE OR NOT SUFFICIENT TO MEET BACKFILL, COMPACTION, AND FINAL GRADE REQUIREMENTS.
- DO NOT LEAVE TRENCHES OPEN FOR A PERIOD OF MORE THAN 48 HOURS. OPEN EXCAVATIONS SHALL BE PROTECTED IN ACCORDANCE WITH OSHA REGULATIONS. COMPACT BACKFILL TO 90% MAXIMUM DENSITY, DETERMINED IN ACCORDANCE WITH ASTM D155-7. MECHANICAL TAMPING IS PROHIBITED WITHIN 20'-0" OF BUILDING OR FOUNDATION WALLS.

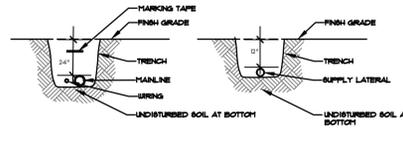
### EXECUTION

- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ANY SOIL RETENTION COVERING THAT WOULD INTERFERE WITH THE PROPER INSTALLATION OF THE IRRIGATION SYSTEM.
- CONTRACTOR WILL BE HELD RESPONSIBLE FOR COORDINATION BETWEEN LANDSCAPE AND IRRIGATION SYSTEM INSTALLATION. LANDSCAPE MATERIAL LOCATIONS SHOWN ON THE LANDSCAPE PLAN SHALL TAKE PRECEDENCE OVER THE IRRIGATION SYSTEM EQUIPMENT LOCATIONS. IF IRRIGATION EQUIPMENT IS INSTALLED IN CONFLICT WITH THE LANDSCAPE MATERIAL LOCATIONS SHOWN ON THE LANDSCAPE PLAN, THE CONTRACTOR WILL BE REQUIRED TO RELOCATE THE IRRIGATION EQUIPMENT, AS NECESSARY, AT CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE TO NOTIFY CONSULTANT OF ANY FIELD CONDITIONS THAT VARY FROM THE CONDITIONS SHOWN ON THE IRRIGATION CONSTRUCTION DOCUMENTS. IF CONTRACTOR FAILS TO NOTIFY CONSULTANT OF THESE CONDITIONS, CONTRACTOR WILL BE HELD RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH SYSTEM ADJUSTMENTS REQUIRED DUE TO THE CHANGE IN FIELD CONDITIONS.
- STATIC PRESSURE VERIFICATION - CONTRACTOR SHALL FIELD VERIFY THE STATIC PRESSURE AT THE PROJECT SITE, PRIOR TO COMMENCING WORK OR ORDERING IRRIGATION MATERIALS. IF CONTRACTOR FAILS TO VERIFY STATIC WATER PRESSURE PRIOR TO COMMENCING WORK OR ORDERING IRRIGATION MATERIALS, CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ALL COSTS REQUIRED TO MAKE SYSTEM OPERATIONAL AND THE COSTS REQUIRED TO REPLACE ANY DAMAGED LANDSCAPE MATERIAL. DAMAGE SHALL INCLUDE ALL REQUIRED MATERIAL COSTS, DESIGN COSTS AND PLANT REPLACEMENT COSTS.
- INSPECTION - EXAMINE AREAS AND CONDITIONS UNDER WHICH WORK OF THIS SECTION IS TO BE PERFORMED. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.

NOTES: ALL ELECTRICAL POWER TO THE IRRIGATION CONTROL SYSTEM SHOULD BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE & ALL APPLICABLE LOCAL ELECTRIC UTILITY CODES.



**B CONTROLLER (INDOOR)**  
NOT TO SCALE

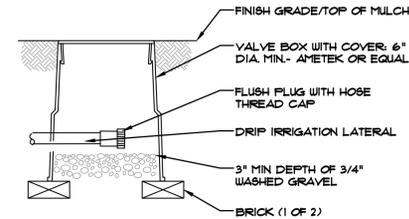


NOTE: INSTALL PIPING NO LESS THAN 12" LATERAL HORIZONTAL CLEARANCE AND 6" VERTICAL CLEARANCE.  
USE CRISSEY WATER LINE MARKING TAPE WITH LABEL, BURIED WATER PIPE. INSTALL ALONG TRENCH AT CENTER OF PIPING, 8" DEPTH, AND EXPOSE END AT ALL EQUIPMENT.  
IN ROCKY SOIL ENVIRONMENTS INSTALL 3"-6" BAND BED  
EVALUATE EXISTING SOIL FOR BACKFILL. IF SOIL IS UNSUITABLE REMOVE AND REPLACE WITH SUITABLE SOIL FOR PROPER CONTRACTION.

PIPE SIZING CHART: CLASS 200 PIPE

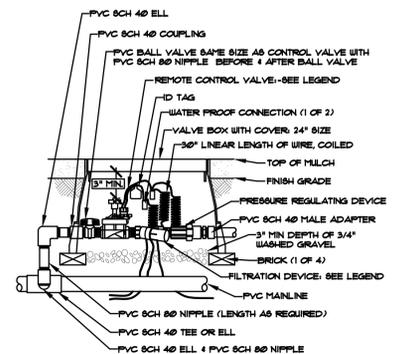
Pipe Size	Short distance 150' (GPM)	Medium distance 210' (GPM)	Long distance 280' (GPM)
3/4"	15	4	4
1"	17	15	12
1-1/4"	27	22	22
1-1/2"	36	36	30
2"	66	66	66
2-1/2"	83	83	83
3"	123	123	123

**C LATERAL PIPE TRENCHING DETAIL**  
NOT TO SCALE

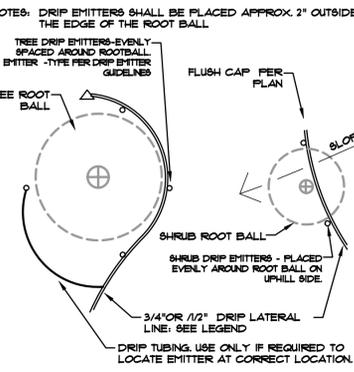


NOTES: DRIP FLUSH CAP AND BOX SHALL BE INSTALLED AT THE END OF EACH DRIP SUPPLY LINE AT ENDS.

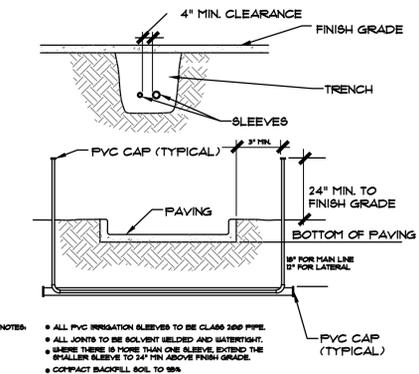
**H DRIP FLUSH CAP**  
NOT TO SCALE



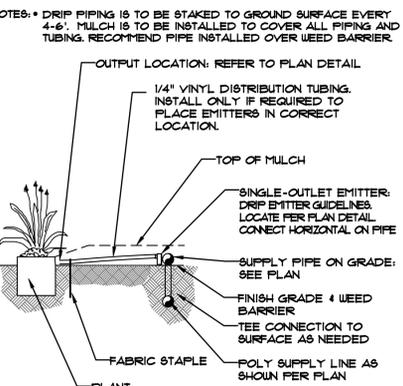
**D DRIP IRRIGATION ZONE CONTROL VALVE**  
NOT TO SCALE



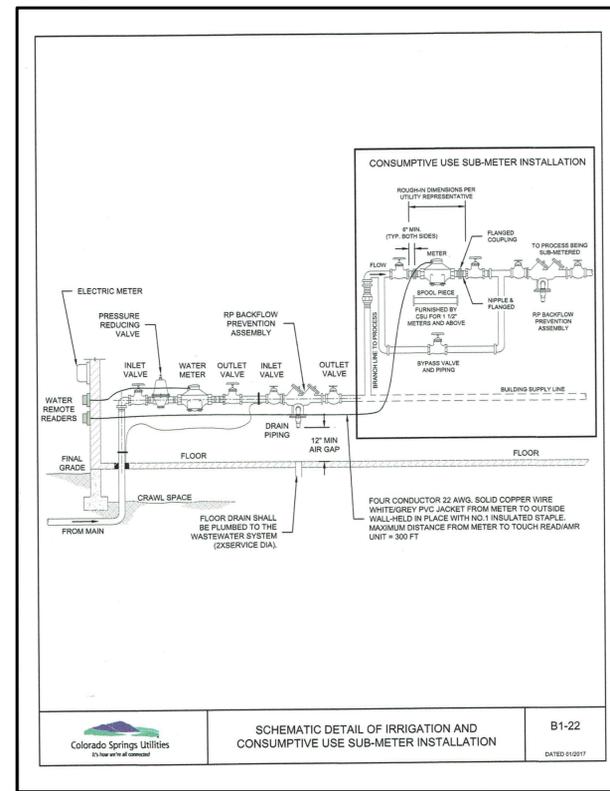
**E DRIP EMITTER PLACEMENT**  
NOT TO SCALE SEE GUIDELINES FOR EMITTER QUANTITY



**F SLEEVING DETAIL**  
NOT TO SCALE



**G TYPICAL EMITTER ASSEMBLY**  
NOT TO SCALE



SCHEMATIC DETAIL OF IRRIGATION AND CONSUMPTIVE USE SUB-METER INSTALLATION  
DATED 03/2017

### DRIP EMITTERS

DRIP EMITTERS FOR TREES, SHRUBS, ORNAMENTAL GRASSES AND PERENNIALS SHALL BE INSTALLED PER DETAILS ON THIS SHEET. CONTRACTOR IS RESPONSIBLE FOR ADJUSTING EMITTER QUANTITY SO THAT EACH PLANT TYPE RECEIVES THE CORRECT WATER REQUIREMENT BASED ON ZONE RUN TIME AND PLANT WATER REQUIREMENTS. SEE DRIP EMITTER GUIDELINES. EXCEPT FOR PERENNIALS ALL SHRUBS SHALL RECEIVE TWO EMITTERS, AND TREES SHALL RECEIVE MINIMUM FOUR EMITTERS.

PLANT MATERIAL	EMITTER QUANTITY	OUTPUT (GPH)
1 GAL. PERENNIAL (COLOR)	1 EACH - 5 GPH	.5
1 GAL. ORNAMENTAL GRASS	2 EACH - 5 GPH	1
5 GAL. ORNAMENTAL GRASS	2 EACH - 1 GPH	2
5 GAL. EVERGREEN SHRUB	2 EACH - 1 GPH	2
5 GAL. DECIDUOUS SHRUB	2 EACH - 1 GPH	2
HIGH WATER DECIDUOUS SHRUB	2 EACH - 2 GPH	4
6" B&B EVERGREEN TREE	4 EACH - 1 GPH	4
HIGH WATER EVERGREEN TREE	4 EACH - 2 GPH	8
1 1/2" CAL. DECIDUOUS TREE	4 EACH - 1 GPH	4
HIGH WATER DECIDUOUS TREE	4 EACH - 2 GPH	8

### UTILITIES NOTE

VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. CALL 811 FOR UTILITY LOCATES. TREE TRUNK PLACEMENT SHALL BE 6" MINIMUM DISTANCE FROM ANY GAS OR ELECTRIC AND 10' FROM GAS MAINS RATED AT 160PSI. FOR SANITARY SEWER AND WATER MAINLINES TREES SHALL NOT BE LOCATED WITHIN EASEMENTS AND WITHIN 15' OF ANY MAINLINE. ANY CONFLICT BETWEEN TREE LOCATIONS AND UTILITIES SHOWN ON PLANS SHALL BE RESOLVED WITH GENERAL CONTRACTOR PRIOR TO PLANTING. ALL ELECTRICAL VAULTS AND TRANSFORMERS SHALL BE KEPT CLEAR FROM PLANT MATERIAL PER COLORADO SPRINGS UTILITIES "LANDSCAPING AROUND ELECTRICAL EQUIPMENT". SEE COLORADO SPRINGS UTILITIES CONSTRUCTION STANDARD DRAWINGS 18-302 FOR SPECIFIC CLEARANCE REQUIREMENTS. ALL SHRUBS TO BE LOCATED 3' CLEAR OF ALL FIRE HYDRANTS AT MATURE SIZE.

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**HIGHER GROUND DESIGNS, INC.**  
LANDSCAPE ARCHITECTURE, PLANNING & IRRIGATION DESIGN

5350 NORTH ACADEMY BLVD., STE. 207  
COLORADO SPRINGS, CO 80916  
Phone 719-477-1606  
Fax 719-568-1122



LOT 4 - MIDAS SHOP  
POWERS BLVD  
COLORADO SPRINGS, CO

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NOT FOR CONSTRUCTION

CITY STAMP	JOB NUMBER <b>1246-25</b>
REVISIONS	
ORIGINAL DATE	6-02-25
DRAWN BY	JM
DESCRIPTION	IRRIGATION DETAILS
SHEET NO.	9 OF 11

# DEVELOPMENT PLAN

## 8920 STRAIGHT WAY

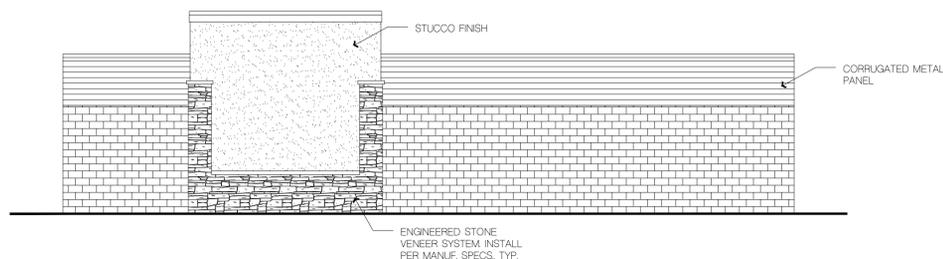
LOT 4 WOODMEN EAST COMMERCIAL  
CITY OF COLORADO SPRINGS, COLORADO

EXT. FINISH: EXT. CEM. PLASTER SYSTEM (CEMENTITIOUS BLEND) PER MANUF. SPECS, TYP.



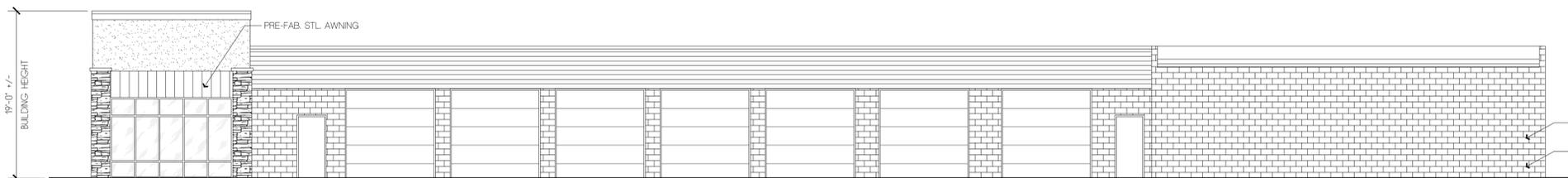
**SOUTH ELEVATION**

SCALE: 1/8"=1'-0"



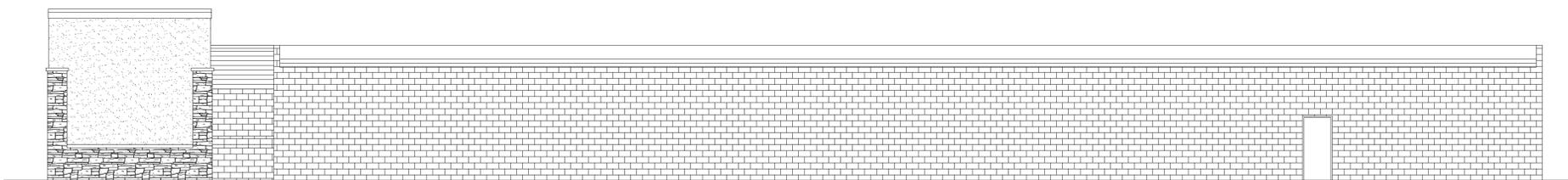
**NORTH ELEVATION**

SCALE: 1/8"=1'-0"



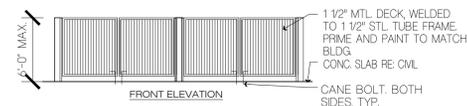
**EAST ELEVATION**

SCALE: 1/8"=1'-0"

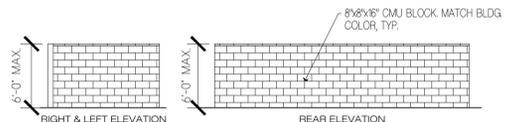


**WEST ELEVATION**

SCALE: 1/8"=1'-0"



FRONT ELEVATION



RIGHT & LEFT ELEVATION

REAR ELEVATION

**TRASH ENCLOSURE ELEVATIONS**

SCALE: 1/8"=1'-0"

**NOTE: GAS METERS MUST BE A MINIMUM OF 3- FEET FROM DOORS, OPERABLE WINDOWS, OR ANY VENTS OR OPENINGS IN WALLS.**

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**BUCHER**  
DESIGN STUDIO  
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A PROPOSED  
DEVELOPMENT  
PLAN FOR

MIDAS

8920 STRAIGHT WAY  
COLORADO SPRINGS, CO

Sheet Title:

EXTERIOR  
ELEVATIONS

Drawing Status:

DEVELOPMENT  
PLAN

Revisions:

No.	Description	By	Date
1			

△

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Date:

06/03/2025

Drawn by:

Checked by:

Scale:

AS NOTED

Job No.:

Sheet No.:

10

Of 11

CITY FILE NUMBER AR-DP-25-00\_\_\_\_\_

Luminaire Schedule	Qty	Description	Luminaire Lumens	Luminaire Watts	Total Watts
□	5	VP-1-160L-100-4K7-4F-HSS-90-B	11344	92	460

Calculation Summary	Units	Avg	Max	Min
Label	Fc	2.01	5.1	0.1

**BEACON**  
VIPER Area/Site  
VIPER LUMINAIRE

**FEATURES**

- Low profile LED area/te luminaire with a variety of IES distributions for lighting applications such as auto dealership, retail, commercial, and campus parking lots
- Featuring two different optical technologies, Strike and Micro Strike Optics, which provide the best distribution patterns for retrofit or new construction
- Rated for high vibration applications including bridges and overpasses. All sizes are rated for L50
- Control options including photo control, occupancy sensing, NK Lighting Controls™, LightGRIP™ and 7-Fix with networked controls
- New customizable lumen output feature allows for the wattage and lumen output to be customized in the factory to meet whatever specification requirements may entail
- Field interchangeable mounting provides additional flexibility after the fixture has shipped

**CONTROL TECHNOLOGY**

IP65 vs IP65 LISTED, DLC LISTED, SERVICED PROGRAMS, LIGHT GRIP, STÖCK, QS10

**SPECIFICATIONS**

**CONSTRUCTION**

- Die-cast housing with hidden vertical heat fins are coated for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die cast aluminum housing with 1000 psi powder coat paint finish
- External hardware is corrosion resistant

**OPTICS**

- Micro Strike Optics (60, 120, 480, or 720 LED counts) provides uniform illumination and glare reduction with no power flicker which evenly provides a low glare appearance. Catalog logo found on page 2
- Strike Optics (60, 72, 108, or 162 LED counts) provides best in class application with high powered LED. Strike optics are used in place with professional drivers to meet the requirements of the Micro Strike Optics in both outdoor and indoor applications. Catalog logo found on page 2

**CONTROLS**

- Beam optics minimize glare and provide uniform illumination
- Light resistant lenses. Additional background control shields and noise shields are not added for further reduction of illumination behind the pole
- Changeover between power sensitive weatherproof lens
- Zero-voltage light off degree of light
- Field replaceable optics

**INSTALLATION**

- Mounting patterns for each arm can be found on page 7
- Optional universal mounting brackets for ease of installation during retrofit applications. Available as an option (MSU) or as standard for square and round poles
- All mounting hardware included
- Knick-knife arm fiber option available for 2-3/8" OD section
- For products with EPA less than 1 mounted to a pole greater than 20L, an additional design is recommended

DATE: LOCATION:  
TYPE: PROJECT:  
CATALOG #:

**MICROSTRIKE | STRIKE**

**ELECTRICAL**

- Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz
- Ambient operating temperature: 40°C to 40°C
- Drivers have greater than 90% power factor and less than 0.5% THD
- LED drivers have output power over-voltage, over-current protection and short circuit protection with built-in recovery
- Field-replaceable surge protection device provides 20kA protection meeting ANSI/IEEE C82.42, Category C High and Surge Location Category C3. Automatic reset fuse offers fire protection when device is compromised
- Over Drive option provides 2 drivers within luminaire to allow for a set of leads within the luminaire, where the driver must be replaced for the set of leads as indicated from the luminaire. Both options are used as combined

**TESTING**

- UL Type 12, Type 1, and Type 2 testing for all product variations based in this document are DLC qualified. Refer to the DLC website for more information on the testing process.
- UL Type 1, Type 2, and Type 3 testing for all product variations based in this document are UL qualified. Refer to the UL website for more information on the testing process.
- 15 G tested for ANSI C82.42 high-voltage surge protection
- UL Type 1, Type 2, and Type 3 testing for all product variations based in this document are UL qualified. Refer to the UL website for more information on the testing process.
- FCC CFR Title 47 Part 15, Class A
- 5 year warranty

**BEACON**  
VIPER Area/Site  
MICROSTRIKE OPTICS - ORDERING GUIDE

Example: VP-2-320L-145-3K7-2-R-UVV-A3-BLT

Section	Qty	Part Number	Site	Light Engine	CT/CR	Distribution	Optic Rotation	Output
VP	1	VP-1-160L-100-4K7-4F-HSS-90-B	1	160-100	AP	2 Type 2	BLANK	100-277V
VP	1	VP-1-160L-100-4K7-4F-HSS-90-B	1	160-100	AP	2 Type 2	BLANK	100-277V
VP	1	VP-1-160L-100-4K7-4F-HSS-90-B	1	160-100	AP	2 Type 2	BLANK	100-277V
VP	1	VP-1-160L-100-4K7-4F-HSS-90-B	1	160-100	AP	2 Type 2	BLANK	100-277V
VP	1	VP-1-160L-100-4K7-4F-HSS-90-B	1	160-100	AP	2 Type 2	BLANK	100-277V

**Mounting**

Mounting	Color	Options	Network Control Options
A	Black Matte	None	None
B	Black Gloss	None	None
C	White Matte	None	None
D	White Gloss	None	None
E	Black Matte	None	None
F	Black Gloss	None	None
G	White Matte	None	None
H	White Gloss	None	None
I	Black Matte	None	None
J	Black Gloss	None	None
K	White Matte	None	None
L	White Gloss	None	None
M	Black Matte	None	None
N	Black Gloss	None	None
O	White Matte	None	None
P	White Gloss	None	None
Q	Black Matte	None	None
R	Black Gloss	None	None
S	White Matte	None	None
T	White Gloss	None	None
U	Black Matte	None	None
V	Black Gloss	None	None
W	White Matte	None	None
X	White Gloss	None	None
Y	Black Matte	None	None
Z	Black Gloss	None	None

DATE: LOCATION:  
TYPE: PROJECT:  
CATALOG #:

**MICROSTRIKE OPTICS - ORDERING GUIDE**

Example: VP-2-320L-145-3K7-2-R-UVV-A3-BLT

**Color Options**

Color: Custom Color

**Mounting Options**

MSU: Universal Mounting System

MSU-A: Universal Mounting System - Square Pole

MSU-B: Universal Mounting System - Round Pole

MSU-C: Universal Mounting System - Square Pole with Fiber

MSU-D: Universal Mounting System - Round Pole with Fiber

MSU-E: Universal Mounting System - Square Pole with Fiber and Weatherproof Lens

MSU-F: Universal Mounting System - Round Pole with Fiber and Weatherproof Lens

MSU-G: Universal Mounting System - Square Pole with Fiber and Weatherproof Lens and Noise Shield

MSU-H: Universal Mounting System - Round Pole with Fiber and Weatherproof Lens and Noise Shield

MSU-I: Universal Mounting System - Square Pole with Fiber and Weatherproof Lens and Noise Shield and Knick-Knife Arm

MSU-J: Universal Mounting System - Round Pole with Fiber and Weatherproof Lens and Noise Shield and Knick-Knife Arm

MSU-K: Universal Mounting System - Square Pole with Fiber and Weatherproof Lens and Noise Shield and Knick-Knife Arm and Weatherproof Lens

MSU-L: Universal Mounting System - Round Pole with Fiber and Weatherproof Lens and Noise Shield and Knick-Knife Arm and Weatherproof Lens

MSU-M: Universal Mounting System - Square Pole with Fiber and Weatherproof Lens and Noise Shield and Knick-Knife Arm and Weatherproof Lens and Noise Shield

MSU-N: Universal Mounting System - Round Pole with Fiber and Weatherproof Lens and Noise Shield and Knick-Knife Arm and Weatherproof Lens and Noise Shield

MSU-O: Universal Mounting System - Square Pole with Fiber and Weatherproof Lens and Noise Shield and Knick-Knife Arm and Weatherproof Lens and Noise Shield and Knick-Knife Arm

MSU-P: Universal Mounting System - Round Pole with Fiber and Weatherproof Lens and Noise Shield and Knick-Knife Arm and Weatherproof Lens and Noise Shield and Knick-Knife Arm

MSU-Q: Universal Mounting System - Square Pole with Fiber and Weatherproof Lens and Noise Shield and Knick-Knife Arm and Weatherproof Lens and Noise Shield and Knick-Knife Arm and Weatherproof Lens

MSU-R: Universal Mounting System - Round Pole with Fiber and Weatherproof Lens and Noise Shield and Knick-Knife Arm and Weatherproof Lens and Noise Shield and Knick-Knife Arm and Weatherproof Lens

MSU-S: Universal Mounting System - Square Pole with Fiber and Weatherproof Lens and Noise Shield and Knick-Knife Arm and Weatherproof Lens and Noise Shield and Knick-Knife Arm and Weatherproof Lens and Noise Shield

MSU-T: Universal Mounting System - Round Pole with Fiber and Weatherproof Lens and Noise Shield and Knick-Knife Arm and Weatherproof Lens and Noise Shield and Knick-Knife Arm and Weatherproof Lens and Noise Shield

MSU-U: Universal Mounting System - Square Pole with Fiber and Weatherproof Lens and Noise Shield and Knick-Knife Arm and Weatherproof Lens and Noise Shield and Knick-Knife Arm and Weatherproof Lens and Noise Shield and Knick-Knife Arm

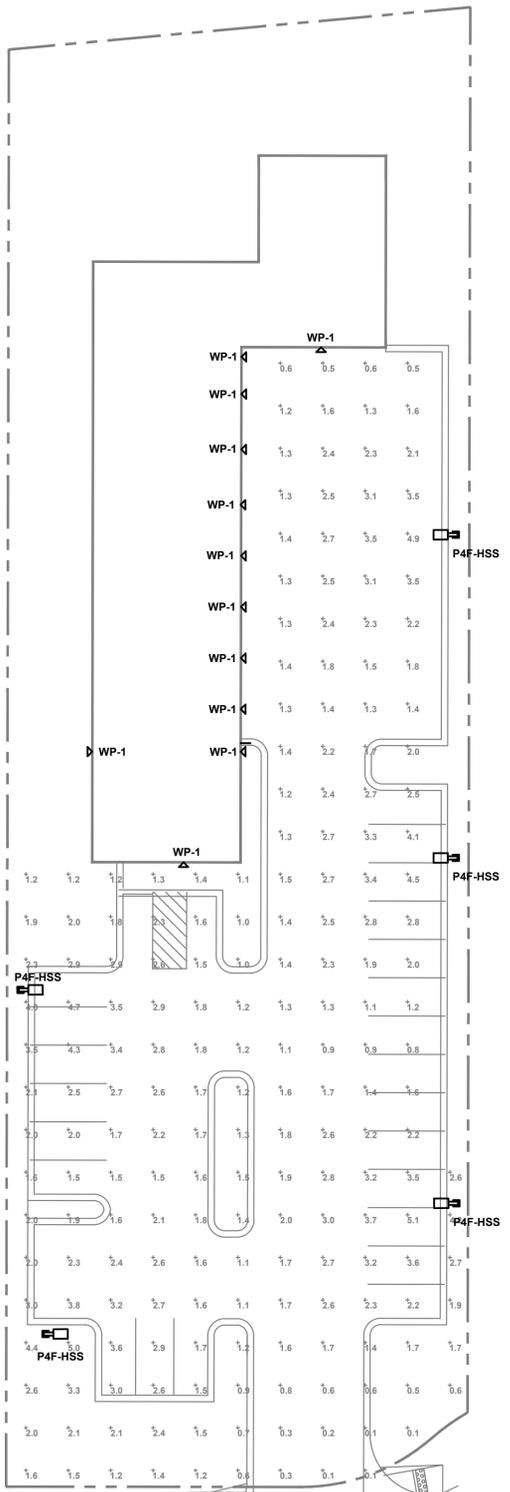
MSU-V: Universal Mounting System - Round Pole with Fiber and Weatherproof Lens and Noise Shield and Knick-Knife Arm and Weatherproof Lens and Noise Shield and Knick-Knife Arm and Weatherproof Lens and Noise Shield

MSU-W: Universal Mounting System - Square Pole with Fiber and Weatherproof Lens and Noise Shield and Knick-Knife Arm and Weatherproof Lens and Noise Shield and Knick-Knife Arm and Weatherproof Lens and Noise Shield and Knick-Knife Arm and Weatherproof Lens

MSU-X: Universal Mounting System - Round Pole with Fiber and Weatherproof Lens and Noise Shield and Knick-Knife Arm and Weatherproof Lens and Noise Shield and Knick-Knife Arm and Weatherproof Lens and Noise Shield and Knick-Knife Arm and Weatherproof Lens

MSU-Y: Universal Mounting System - Square Pole with Fiber and Weatherproof Lens and Noise Shield and Knick-Knife Arm and Weatherproof Lens and Noise Shield and Knick-Knife Arm and Weatherproof Lens and Noise Shield and Knick-Knife Arm and Weatherproof Lens and Noise Shield

MSU-Z: Universal Mounting System - Round Pole with Fiber and Weatherproof Lens and Noise Shield and Knick-Knife Arm and Weatherproof Lens and Noise Shield and Knick-Knife Arm and Weatherproof Lens and Noise Shield and Knick-Knife Arm and Weatherproof Lens and Noise Shield and Knick-Knife Arm and Weatherproof Lens

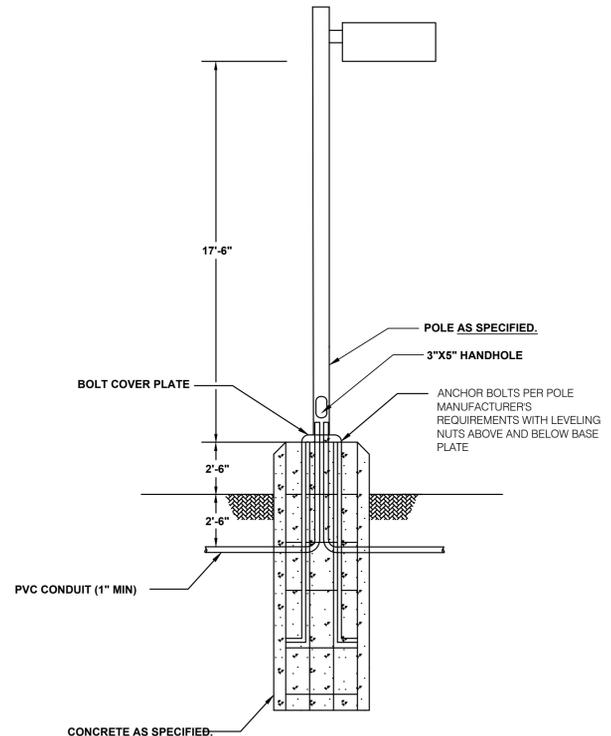


**GENERAL NOTES**

- A. DRAWINGS ARE BASED ON RECORD DRAWINGS (NOT GUARANTEED TO BE CURRENT AT TIME OF CONSTRUCTION) AND FIELD INVESTIGATION WITH DEMOLITION. EXAMINE PLANS AND VISIT THE SITE TO FIELD VERIFY ACTUAL CONDITIONS AND COORDINATE SAME WITH OTHER TRADES PRIOR TO STARTING WORK.
- B. A LICENSED AND BONDED CONTRACTOR SHALL BE USED FOR INSTALLATION. ALL LOCAL CODES SHALL BE FOLLOWED DURING INSTALLATION.
- C. ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF OR HAVE SHIELDING TO REDUCE OFF-SITE LIGHTING IMPACTS ONTO ADJACENT PROPERTIES AND ROADWAYS. ALL EXTERIOR LIGHTING SHALL BE ARRANGED TO MITIGATE LIGHT DIRECTED AWAY FROM ADJACENT PROPERTIES AND ANY PUBLIC RIGHT-OF-WAY. AN AMENDMENT TO THIS PLAN MAY BE REQUIRED IF THE LIGHTING TYPE IS CHANGED.
- D. A FINAL COMMISSIONING REPORT SHALL BE DELIVERED TO THE BUILDING OWNER PER SECTION C408.2.5 OF THE 2021 IECC.

**KEYNOTES**

- 1 LIGHTING FOR THE WALKWAYS WILL BE PROVIDED BY WALL-MOUNTED DOWN CASTING FIXTURES LOCATED ON PROPOSED BUILDING. FINAL LOCATION TO BE DETERMINED DURING BUILDING DESIGN.
- 2 EXTERIOR LIGHTING, EXCEPT SECURITY LIGHTING, WILL BE CONTROLLED BY A TIME CLOCK TO BE TURNED OFF DURING NON-OPERATING HOURS.



**POLE BASE DETAIL**  
SCALE: NTS



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**MIDAS**  
**8920 STRAIGHT WAY**  
**COLORADO SPRINGS, CO**

NO.	REVISION	DATE

PROJECT NO: 25-0968  
DRAWN BY: MPC  
CHECKED BY: MPC  
DATE: 05/28/2025

SHEET CONTENTS:

**SITE PHOTOMETRIC PLAN**

SHEET NUMBER:

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