

PROJECT TEAM

OWNER/DEVELOPER
AMERICAN HERITAGE HOLDINGS LLC
7104 CAMPHOR LN
COLORADO SPRINGS, CO 80927

CIVIL ENGINEER
JOHN P. SCHWAB, P.E.
JPS ENGINEERING, INC.
19 E. WILLAMETTE AVE
COLORADO SPRINGS, CO 80903
(719) 477-9429

ARCHITECT
BUCHER DESIGN STUDIO, INC.
BRIAN K. BUCHER AIA, NCARB, ICC
PRESIDENT, ARCHITECT
6360 SANDRAY COURT
COLORADO SPRINGS, CO 80919
(719) 484-0480

LANDSCAPE ARCHITECT
JOHN MACKAY, PLA, PRESIDENT
HIGHER GROUND DESIGNS, INC.
5360 NORTH ACADEMY BLVD, SUITE 207
COLORADO SPRINGS, CO 80918
(719) 477-1646

PHOTOMETRICS ENGINEER
CHIARTANO ENGINEERING GROUP, LLC
MICHAEL CHIARTANO, PE
10186 MT. LINCOLN DR.
PEYTON, CO 80831
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BUCHER DESIGN STUDIO
architecture+planning

6360 Sandray Court
Colorado Springs, CO 80919
(719) 484-0480

Brian K. Bucher, AIA
Architect
CO license no. C-4889
CA license no. C 23506

DRAWING INDEX

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PROPERTY/PROJECT DATA

PROJECT NAME: MIDAS – EAST WOODMEN DEVELOPMENT

PROJECT ADDRESS: 8920 STRAIGHT WAY
COLORADO SPRINGS, CO

TAX SCHEDULE NO.: 5310209004

LEGAL DESCRIPTION: LOT 4 WOODMEN EAST COMMERCIAL

CITY ZONING: MX–M

PLAT NO: SUBD–25–0008

LOT SIZE: 37,037 Sq.Ft. (0.85 acres)

BUILDING SETBACKS
NORTH: 15 Ft.
EAST: 20 Ft.
WEST: 20 Ft.
SOUTH: 20 Ft.

LANDSCAPE SETBACKS
WOODMEN ROAD: 25 Ft.
STRAIGHT WAY: 10 Ft.
SIDE SETBACKS: 0 Ft.

FRONT PARKING SETBACK: 20 Ft.

BUILDING AREA: 6,365 Sq. Ft.

BUILDING LOT COVERAGE: 17%

BUILDING HEIGHT: 19 FT. (MAX. 50 FT.)

BUILDING USE: AUTO SERVICE

DEVELOPMENT SCHEDULE:
CONSTRUCTION SCHEDULED TO START IN THE FALL OF 2025.

OFF-STREET PARKING

USE TYPE: AUTOMOBILE AND LIGHT VEHICLE REPAIR

MINIMUM SPACES = 1 PER 350 Sq.Ft. OF INDOOR SALES/LEASING/OFFICE AREA; PLUS 1 PER SERVICE BAY

900 Sq. Ft. OFFICE = 2.5 REQ'D SPACES

8 BAYS = 8 REQ'D SPACES

TOTAL PARKING SPACES REQ'D = 11

TOTAL PARKING SPACES PROVIDED = 25

ACCESSIBLE SPACES REQ'D (26–50) = 1

ACCESSIBLE SPACES PROVIDED = 2

CITY FILE NUMBER AR-DP-25-00

Revisions:

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Date: 05/13/2025

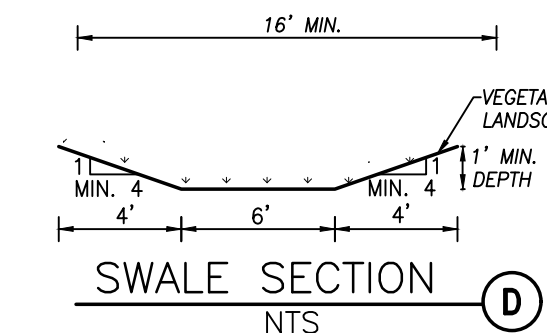
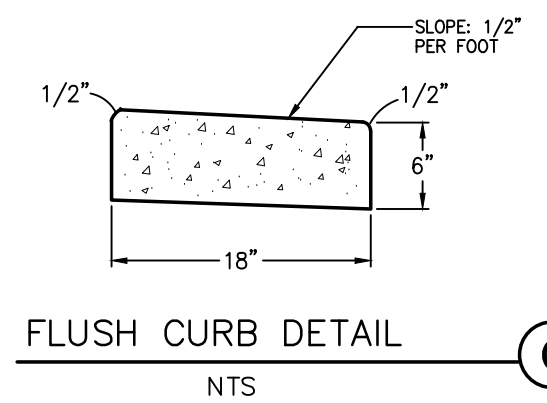
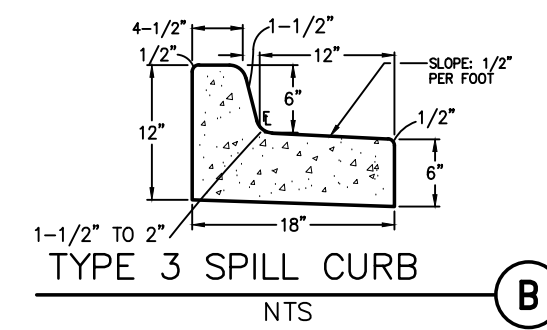
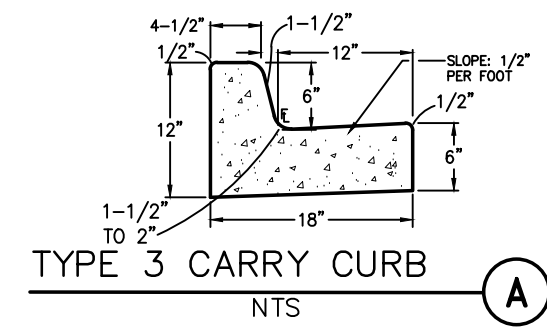
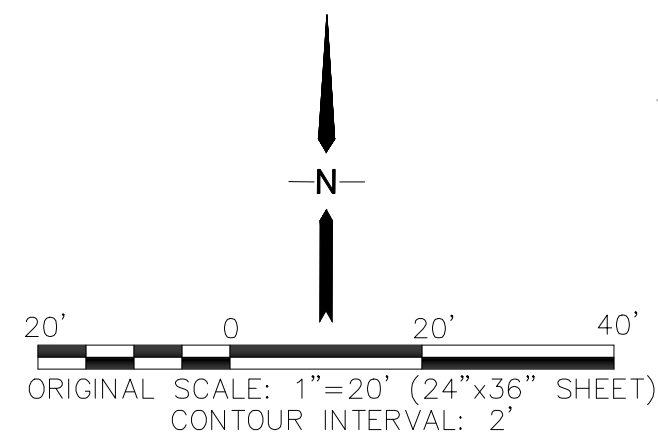
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Scale: AS NOTED

Job No.:

Sheet No.: 1 Of 11



⊙ BENCHMARK:
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NOTE:
ALL EROSION CONTROL MEASURES
SHALL CONFORM TO CITY OF COLORADO
SPRINGS DRAINAGE CRITERIA MANUAL,
VOLUME 2 REQUIREMENTS

LANDSCAPE NOTE:
REFER TO LANDSCAPE PLANS
FOR EXISTING AND PROPOSED
VEGETATION INFORMATION.

(P) PED. RAMP
PER CITY ENG. STD D-8B

WOODMEN ROAD

PROPOSED
BUILDING
FF=6903.0

LOT 4
COMMERCIAL
0.85 AC
(8920)

LOT 3
84,351 S.F.
1.94 AC
VACANT

LOT 5
52,081 S.F.
1.19 AC
VACANT

STRAIGHT WAY
(60' PUBLIC ROW)
REC. NO. 224715432

(P) 6" W CROSSSPAN
PER CITY ENG. STD. D-7

30' SLOPE EASEMENT
REC. NO. 203186871
REC. NO. 204062426

KEYED NOTES:

- 1 PREPARE AND COMPACT BUILDING FOUNDATION & SLABS PER PROJECT GEOTECHNICAL REPORT
- 2 TOPSOIL & STRIPPINGS STOCKPILE AREA
- 3 PARKING LOT PAVING PER GEOTECHNICAL REPORT (4" FULL-DEPTH ASPHALT UNLESS NOTED OTHERWISE)
- 4 STORAGE AREA FOR BUILDING MATERIALS, EQUIPMENT & CONSTRUCTION WASTE (CONTRACTOR MAY ADJUST AS NEEDED)
- 5 MIN 4'x4' CONCRETE LANDING AT DOOR W/1.5% SLOPE AWAY FROM BUILDING
- 6 CONCRETE PAVEMENT (MIN. 6" THICK)

ESTIMATED EARTHWORK QUANTITY:

UNCLASSIFIED EXCAVATION (TOTAL CUT) = 804 CY
* TOTAL FILL = 687 CY
NET (FILL) = 14 CY

*(ASSUMES 15% COMPACTION FACTOR)

NOTE: THIS ESTIMATE IS PROVIDED FOR INFORMATION ONLY, REPRESENTING THE CALCULATED BULK EARTHWORK VOLUME TO FINISHED GRADE, EXCLUDING ANY ADJUSTMENT FOR PAVEMENT DEPTHS, ETC. CONTRACTOR SHALL MAKE HIS OWN DETERMINATION OF EARTHWORK QUANTITIES AS BASIS FOR BID PRICING AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

LEGEND

- FEMA 100-YEAR FLOODWAY
- FEMA 100-YR FLOODPLAIN
- PROPERTY LINE
- EASEMENT LINE
- 6720 PROPOSED CONTOUR
- 6720 EXISTING CONTOUR
- 99.0 PROPOSED SPOT ELEVATION (FLOWLINE)
- 99.0 EXIST. SPOT ELEVATION
- TW TOP OF RETAINING WALL
- BW BOTTOM OF RETAINING WALL
- (E) EXISTING
- (P) PROPOSED
- LOD LIMIT OF CONSTRUCTION/DISTURBANCE
- EXISTING FLOW DIRECTION ARROWS
- PROPOSED FLOW DIRECTION ARROWS
- DS DOWNSPOUT CONNECTION TO SITE STORM SEWER (PROVIDE TRANSITION COUPLINGS & CONNECT TO 6" & 8" PVC SD @ 1.0% MIN. SLOPE)
- PIA (PLANNED INFILTRATION AREA)
- GI GRATED INLET (18" NYOPLAST OR EQUAL)

CONTROL MEASURE LEGEND:

- (SF) SILT FENCE
- (VTC) VEHICLE TRACKING PAD
- (IP) INLET PROTECTION
- (SM) SEED & MULCH
- (CWA) CONCRETE WASHOUT AREA
- (SSA) STABILIZED STAGING AREA

CITY APPROVAL

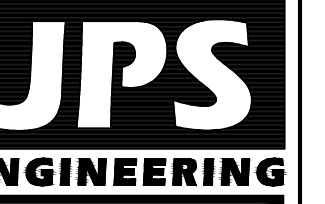
LOT 4, WOODMEN EAST COMMERCIAL

SITE GRADING AND EROSION CONTROL PLAN

HORZ. SCALE:	1"=20'	DRAWN:	PV
VERT. SCALE:	N/A	DESIGNED:	JPS
SURVEYED:	CENTENNIAL	CHECKED:	JPS
CREATED:	05/09/25	LAST MODIFIED:	06/03/25
PROJECT NO:	042502	MODIFIED BY:	PV
SHEET:			

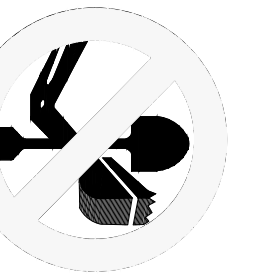
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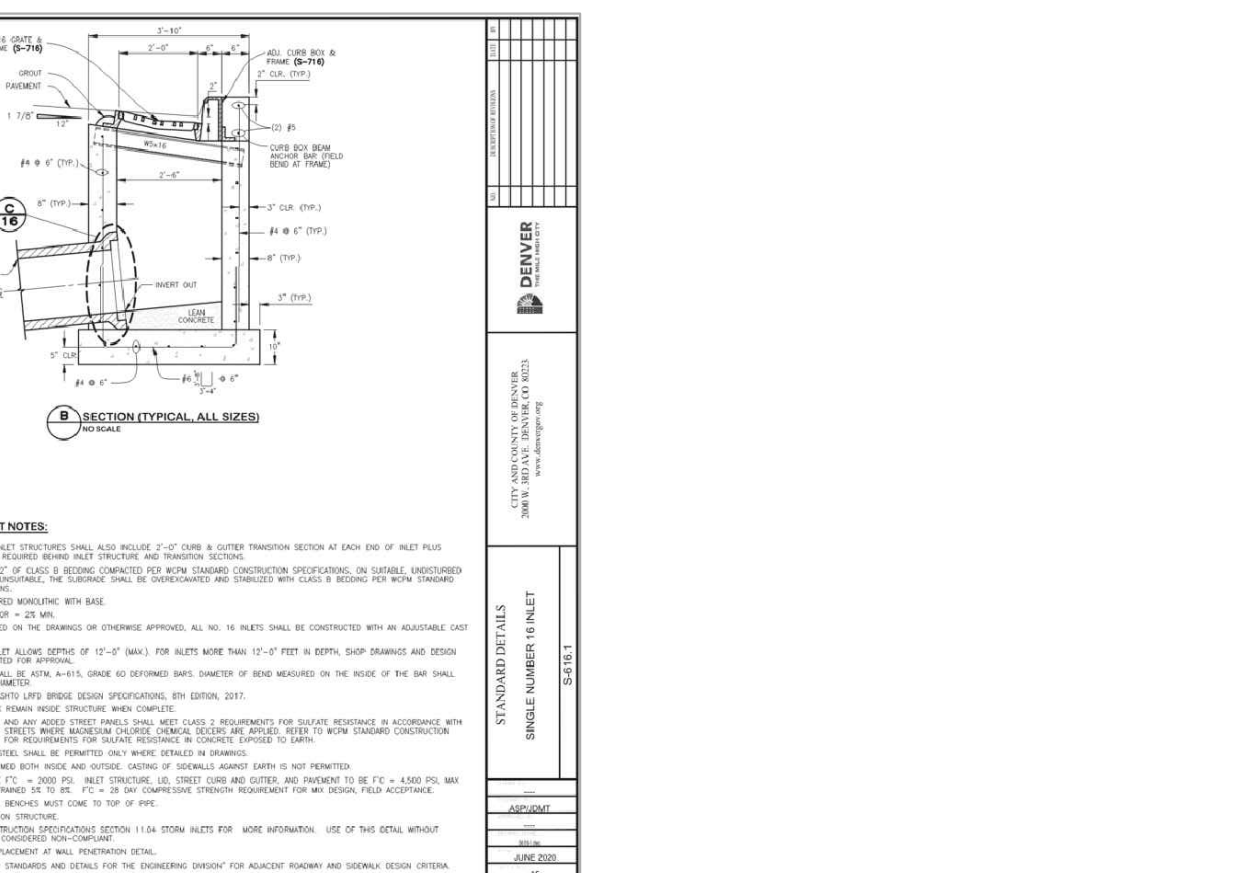
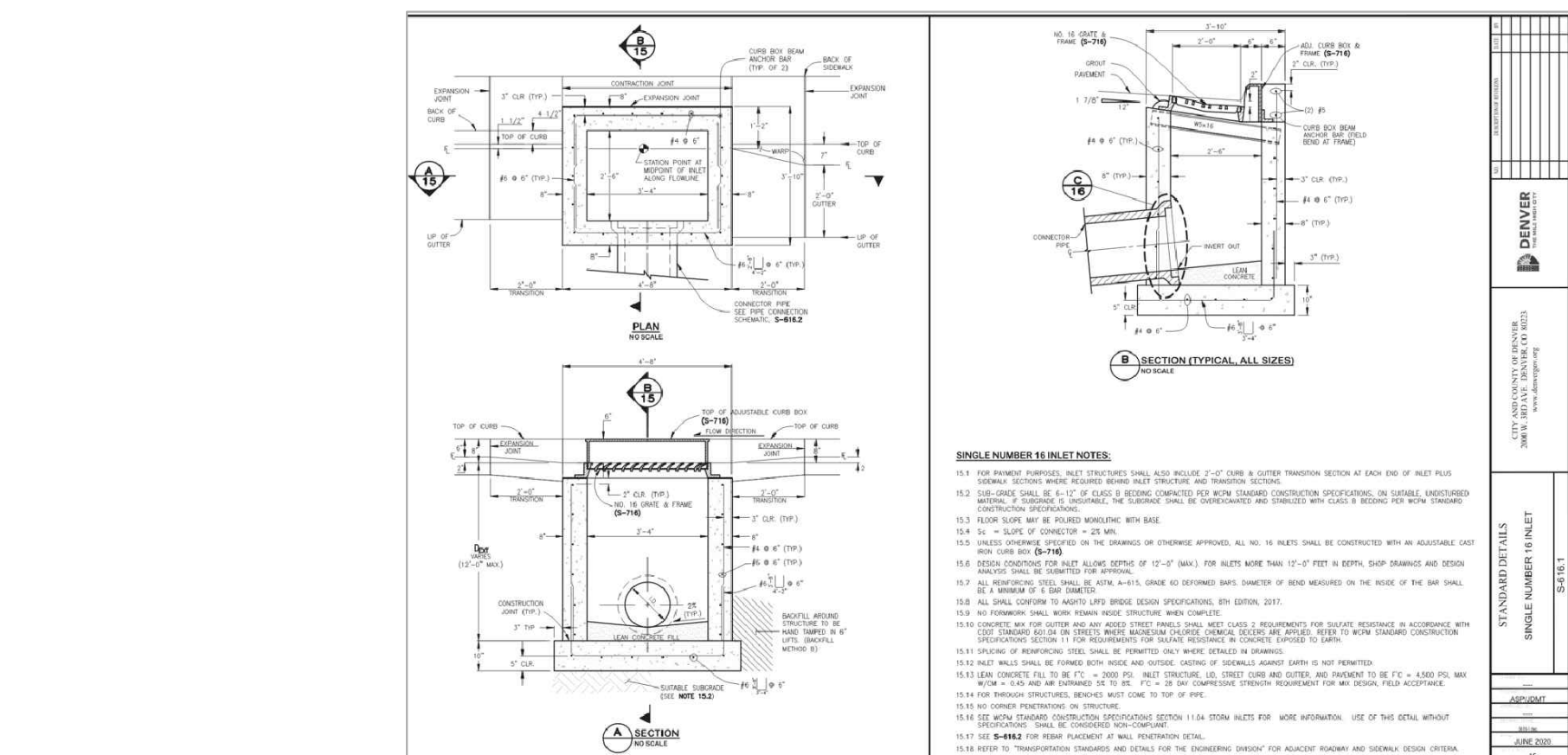
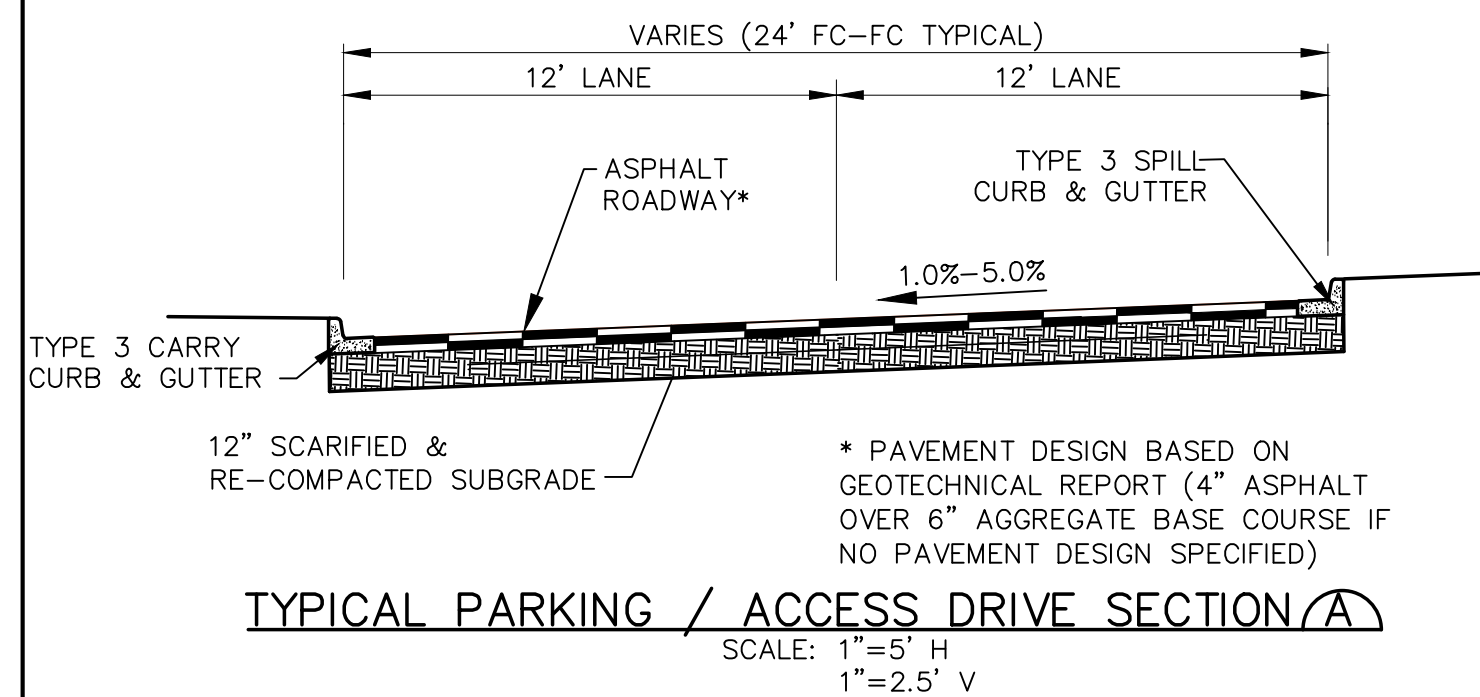
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80903

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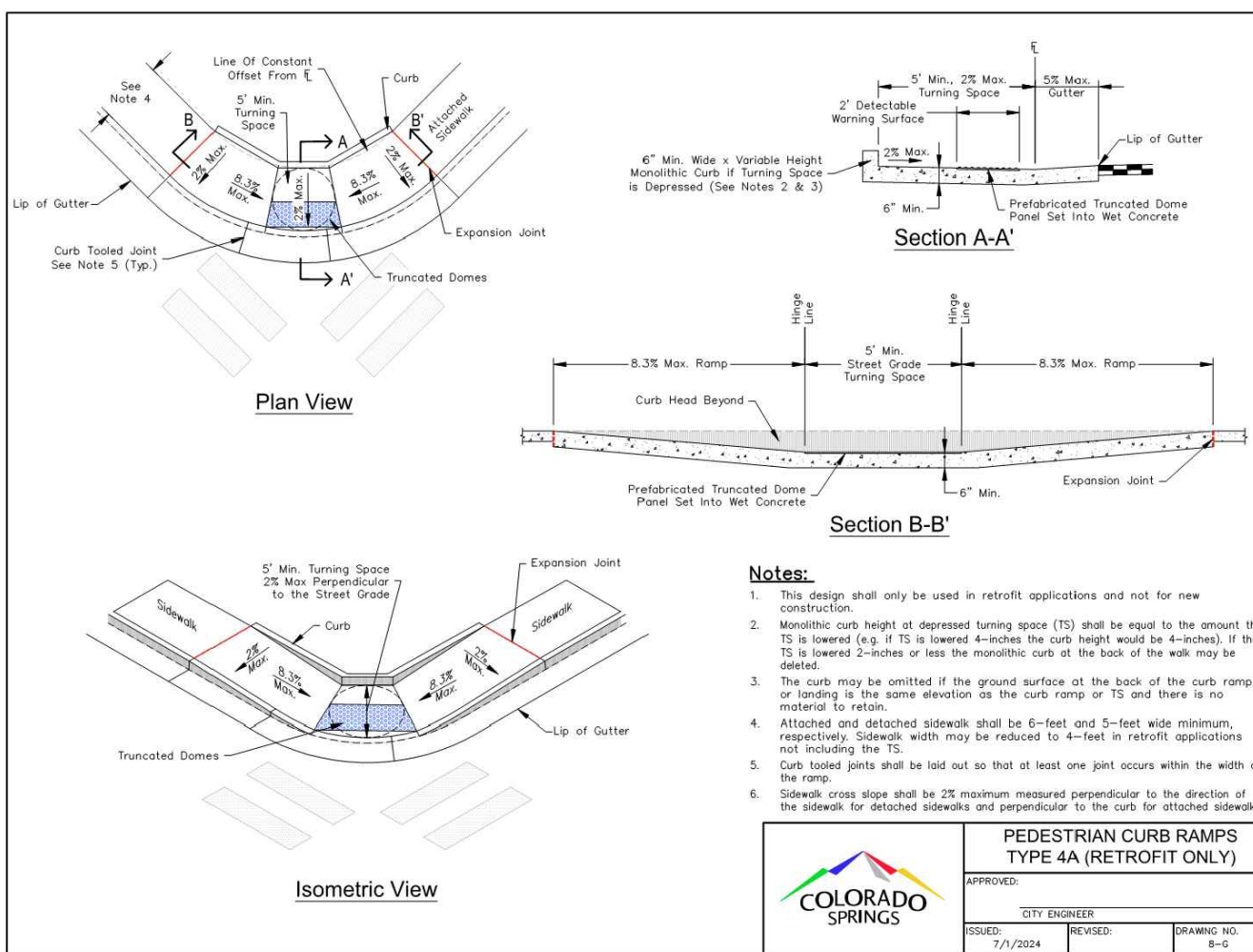
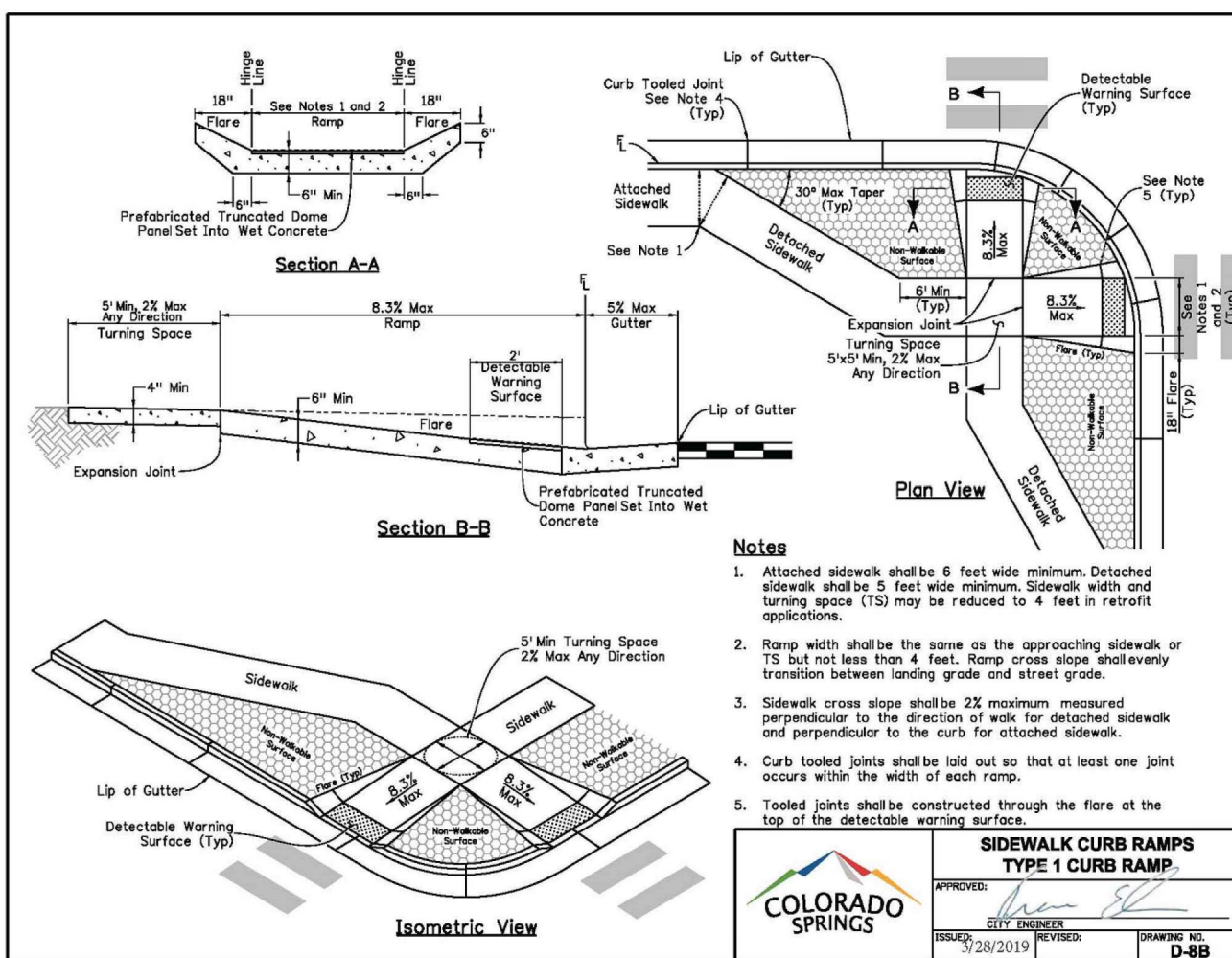
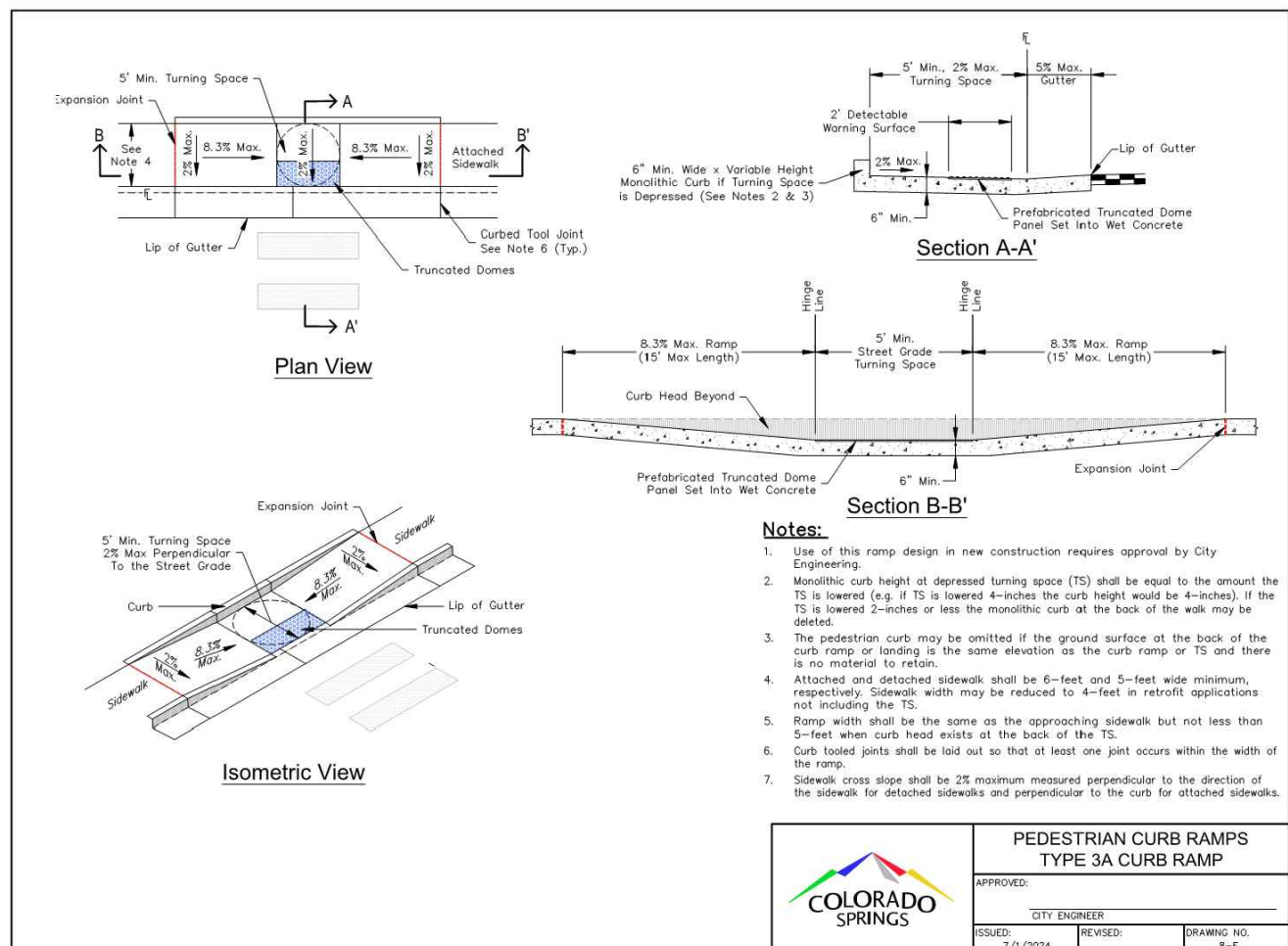
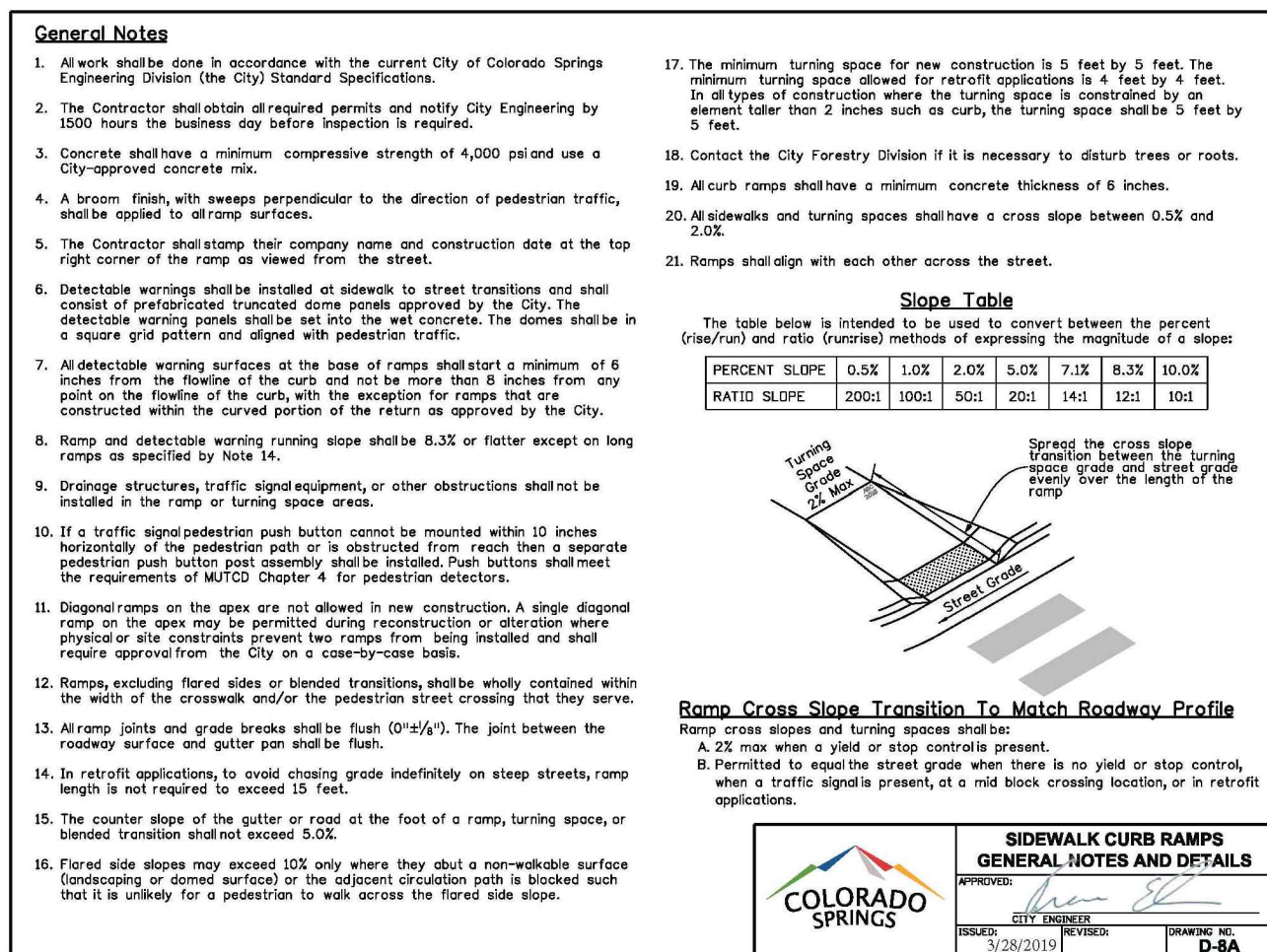
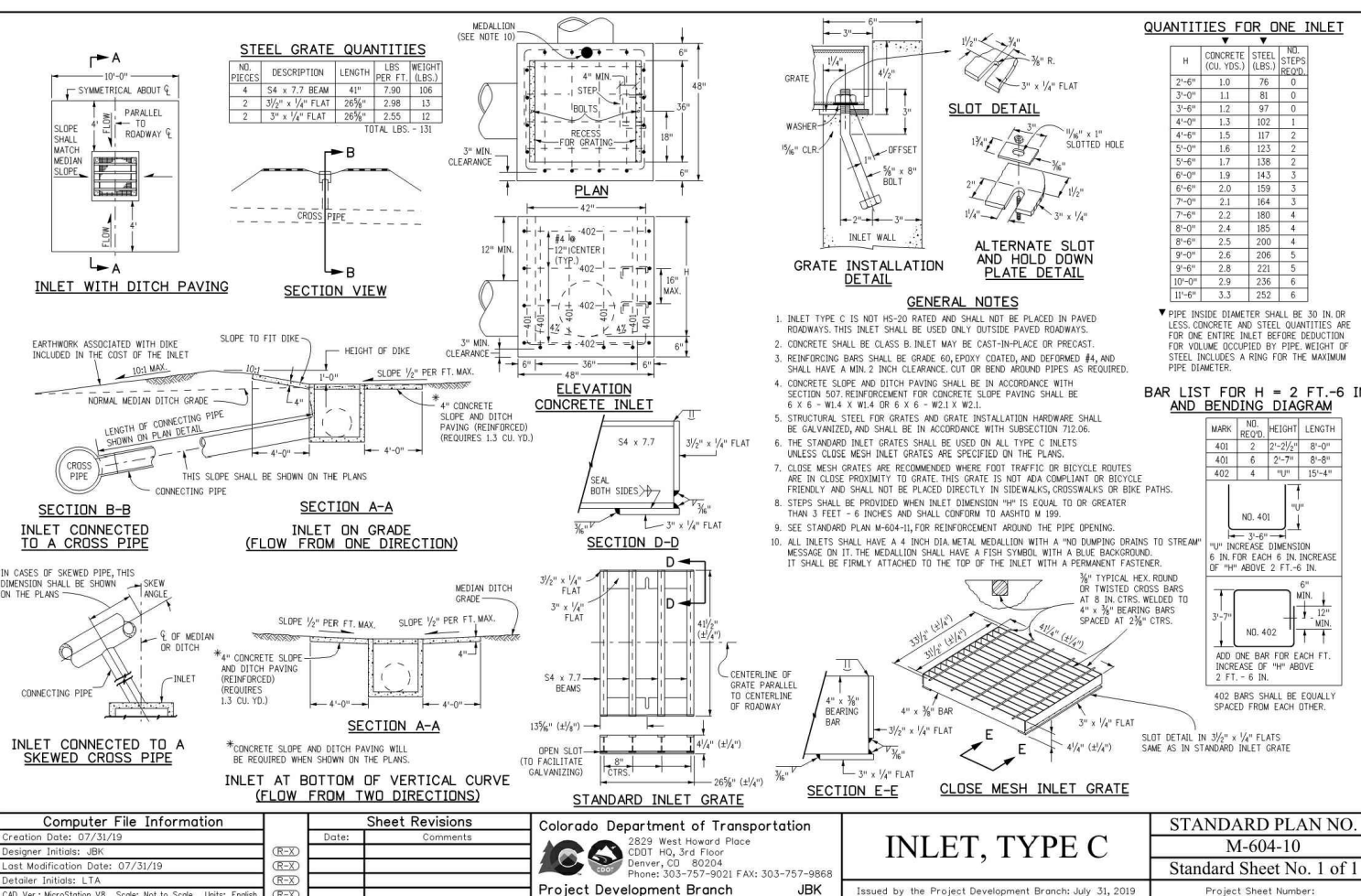
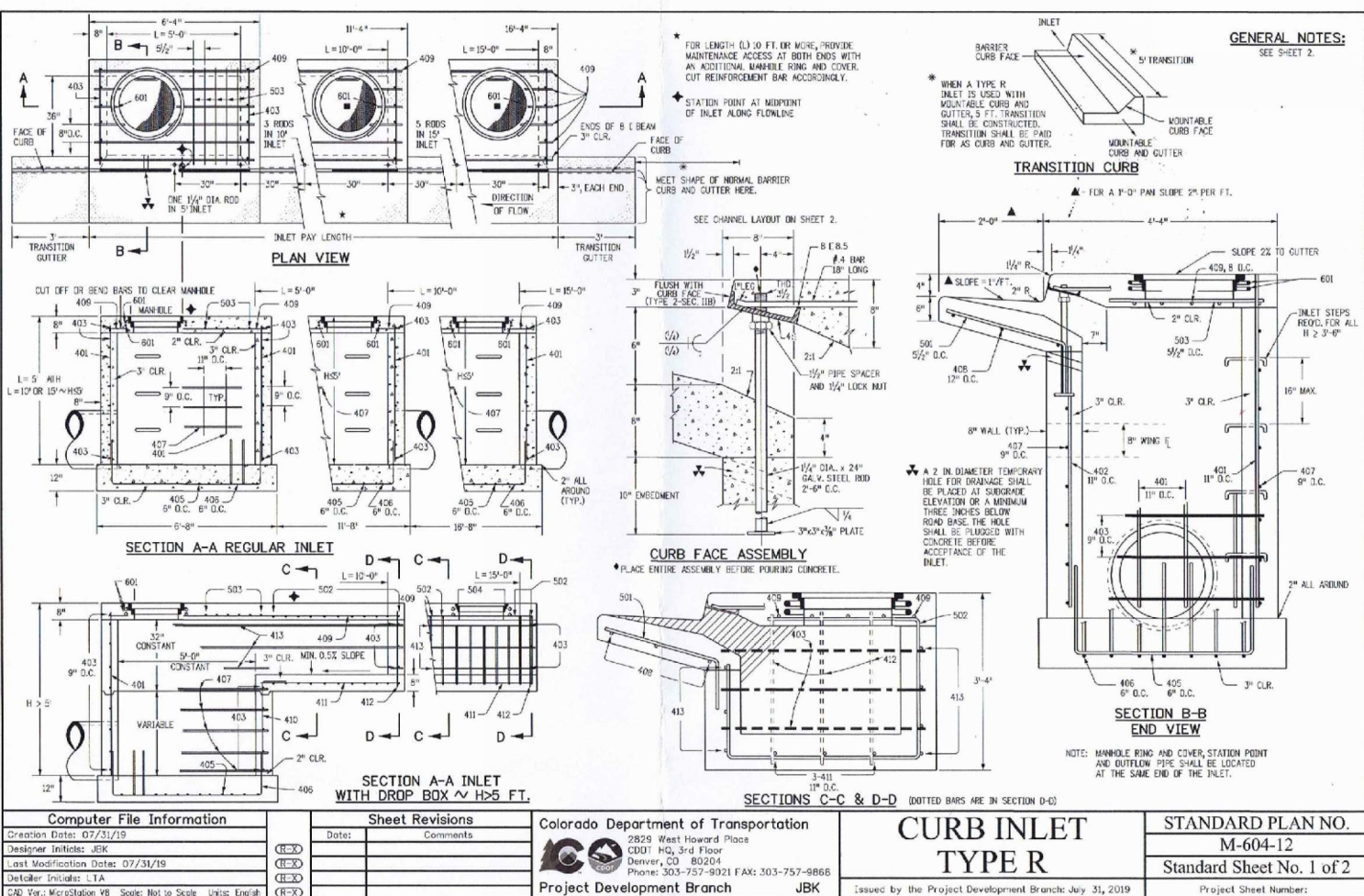


CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987
CALL 2-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE, OR EXCAVATE
FOR THE MARKING OF UNDERGROUND
MEMBER UTILITIES.

NO.	REVISION	BY	DATE
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- # GENERAL CIVIL NOTES:
1. ALL CONSTRUCTION SHALL MEET THE FOLLOWING STANDARDS & SPECIFICATIONS:
 - * INTERNATIONAL BUILDING CODE, LATEST EDITION ADOPTED BY LOCAL JURISDICTION
 - * PIKES PEAK REGIONAL BUILDING CODE, LATEST EDITION.
 - * COLORADO SPRINGS ENGINEERING CRITERIA MANUAL (ECM), LATEST EDITION.
 - * PROJECT GEOTECHNICAL REPORT.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION.
 3. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THESE APPROVED PLANS AND ACCESS TO THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES:
 - A. COLORADO SPRINGS ENGINEERING CRITERIA MANUAL
 - B. COLORADO SPRINGS UTILITIES STANDARD SPECIFICATIONS
 4. STORM DRAIN PIPE SHALL BE RCP CLASS III WITH CLASS C BEDDING UNLESS OTHERWISE NOTED.
 5. STATIONING IS AT CENTERLINE UNLESS OTHERWISE NOTED. ALL ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE FROM FACE OF CURB UNLESS OTHERWISE NOTED. LENGTHS SHOWN FOR STORM SEWER PIPES ARE TO CENTER OF MANHOLE.
 6. CONTRACTOR SHALL COORDINATE WITH GAS, ELECTRIC, TELEPHONE AND CABLE T.V. UTILITY SUPPLIERS FOR INSTALLATION OF ALL UTILITIES. MINIMUM COVER FOR ALL DRY UTILITIES SHALL BE 36".
 7. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, DEBRIS, WASTE AND OTHER UNSUITABLE FILL MATERIAL FOUND WITHIN THE LIMITS OF EXCAVATION.
 8. MATCH INTO EXISTING GRADES AT 3:1 MAX CUT AND FILL SLOPES.
 9. REVEGETATION OF ALL DISTURBED AREAS SHALL BE DONE WITH 4" TOPSOIL AND DRY LAND GRASS SEED
AFTER
FINE GRADING IS COMPLETE ("FOOTHILLS SEED MIX").
 10. EROSION CONTROL SHALL CONSIST OF SILT FENCE AND HAY BALES AS SHOWN ON THE DRAWING, AND TOPSOIL WITH GRASS SEED, WHICH WILL BE WATERED UNTIL VEGETATION HAS BEEN RE-ESTABLISHED.
 11. THE EROSION CONTROL MEASURES OUTLINED ON THIS PLAN ARE THE RESPONSIBILITY OF THE CONTRACTOR TO MONITOR AND REPLACE, REGRADE, AND REBUILD AS NECESSARY UNTIL VEGETATION IS RE-ESTABLISHED.
 12. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES IN A MANNER THAT WILL PROTECT ADJACENT PROPERTIES AND PUBLIC FACILITIES FROM THE ADVERSE EFFECTS OF EROSION AND SEDIMENTATION AS A RESULT OF CONSTRUCTION AND EARTHWORK ACTIVITIES WITHIN THE PROJECT SITE.
 13. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS DETERMINED BY SITE CONDITIONS.
 14. THE CONTRACTOR WILL TAKE THE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES FROM DAMAGE DUE TO THIS OPERATION. ANY DAMAGE TO THE UTILITIES WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE, AND ANY SERVICE DISRUPTION WILL BE SETTLED BY THE CONTRACTOR.
 15. ALL BACKFILL, SUB-BASE, AND/OR BASE COURSE MATERIAL SHALL BE COMPACTED PER THE PROJECT GEOTECHNICAL REPORT AND CITY SPECIFICATIONS.
 16. CONCRETE USED IN CURB AND GUTTER, SIDEWALK, AND CROSSLAN CONSTRUCTION SHALL MEET CITY CRITERIA.
 17. ALL FINISHED GRADES SHALL HAVE A MINIMUM 1.0% SLOPE TO PROVIDE POSITIVE DRAINAGE.
 18. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO BEGINNING WORK.



- ## HANDICAP ACCESS NOTES:
1. RAMPS ARE NOT TO BE PLACED IN HANDICAP ACCESS AISLES.
 2. ACCESS AISLES MAY NOT EXCEED A 2% (1:48) SLOPE IN ANY DIRECTION.
 3. HANDICAP RAMPS MAY NOT EXCEED A SLOPE OF 8% (1:12).
 4. THE MINIMUM WIDTH FOR HANDICAPPED RAMPS IS 36 INCHES. THE SIDES OF RAMPS MAY NOT EXCEED A SLOPE OF 10% UNLESS PROTECTED WITH SANDRAIL.
 5. HANDICAPPED PARKING SHALL MEET ALL OTHER APPLICABLE CITY AND ADA CODE REQUIREMENTS.

DEPN-25-XX



JPS
ENGINEERING

PH: 719-477-9429
FAX: 719-471-0766



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MEMBER UTILITIES

No.	REVISION	BY	DATE

CIVIL NOTES AND DETAILS

WN:	PV
GNED:	JPS
CKED:	JPS
MODIFIED:	06/02/25
IFIED BY:	PV

HORIZ. SCALE:	
VERT. SCALE:	
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CREATED:	05/
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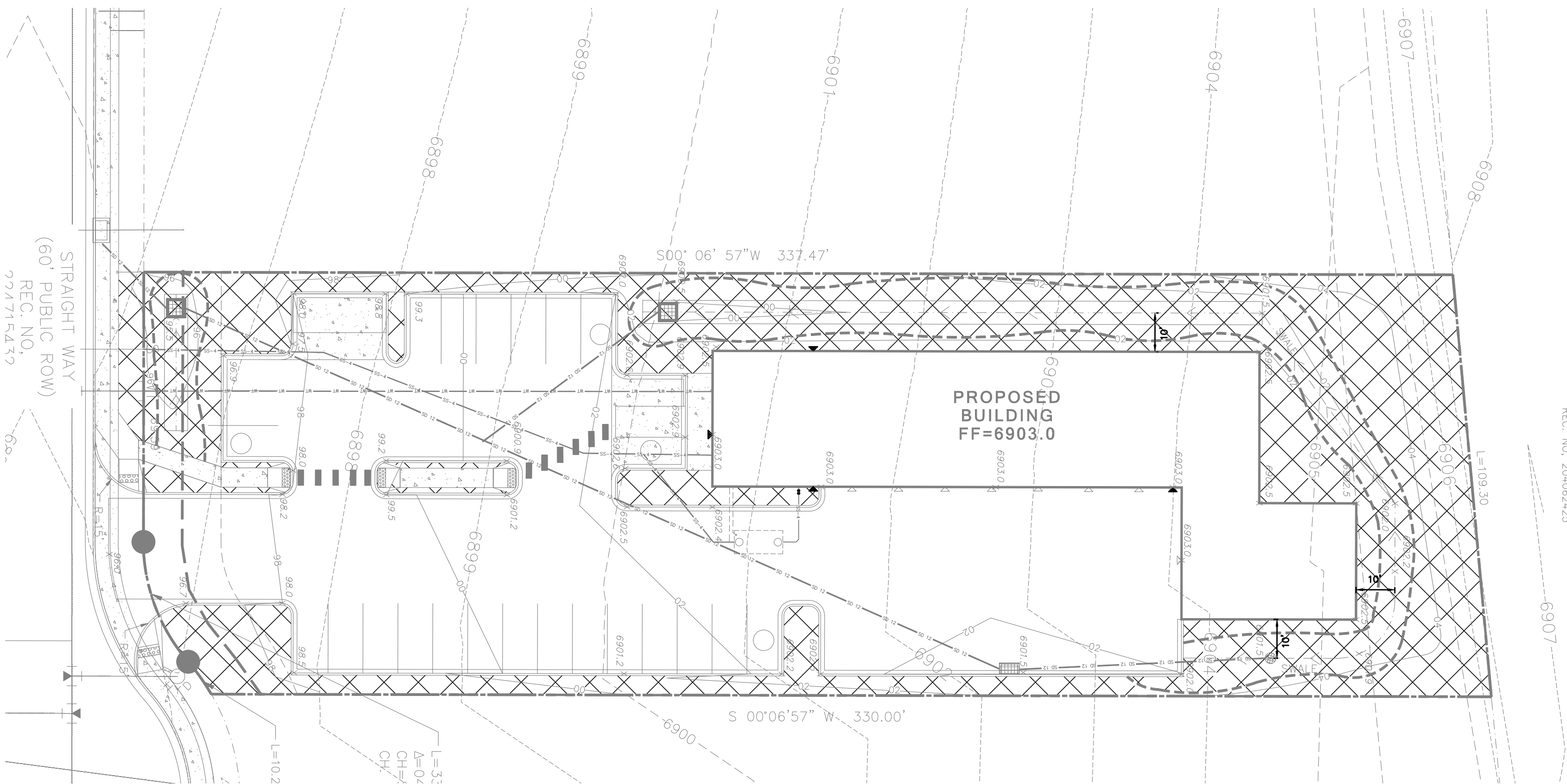
GENERAL UTILITY NOTES:

1. ALL WORK SHALL CONFORM TO THE LATEST COLORADO SPRINGS UTILITIES WATER & WASTEWATER STANDARD SPECIFICATIONS.
2. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO BEGINNING WORK.
3. WATER METER & BACKFLOW ASSEMBLY TO BE LOCATED INSIDE BUILDING.
4. FIRE LINES SHOULD ENTER THE BUILDING PERPENDICULAR TO THE OUTSIDE WALL WHENEVER POSSIBLE, AND SHOULD NEVER BE UNDERGROUND FOR MORE THAN 3 FEET INSIDE BUILDING
5. IF SERVICE LINE > 4" IS TEMPORARILY PLUGGED, INSTALL SJ CAP W/2" TEMPORARY BLOW-OFF ASSY TIED BACK TO GRA.
6. CONTRACTOR SHALL POthOLE TO FIELD VERIFY UTILITY LOCATIONS PRIOR TO CONSTRUCTION & ADJUST UTILITY CONNECTIONS ACCORDINGLY.
7. CONTRACTOR SHALL OBTAIN CITY STREET CUT PERMITS & PATCH STREET PER CITY STANDARDS.
8. GAS METERS SHALL NOT BE BANKED NOR SHARE RISERS. EACH UNIT SHALL HAVE AN INDIVIDUAL METER ATTACHED TO THAT UNIT.

NOTE: ALL PRIVATE TO PUBLIC STORM SEWER
CONNECTIONS MUST BE INSPECTED BY AN
ENGINEERING DEVELOPMENT REVIEW INSPECTOR

DEPN-25-XX

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HYDRO DIAGRAM

WATER USE LEGEND

LOW WATER USE: 313,637 SF



NOT TO SCALE

GENERAL SITE NOTES

1. CONTRACTOR RESPONSIBLE FOR COORDINATING AND INSTALLING ALL SLEEVING REQUIRED FOR SITE CONSTRUCTION INCLUDING BUT NOT LIMITED TO DRAINAGE, IRRIGATION, LIGHTING, AND ELECTRICAL. COORDINATE WITH GENERAL CONTRACTOR.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT CONNECTION POINTS AND AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR ALL APPLICABLE AGENCIES.
4. ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF PUBLIC IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH IN CITY OF COLORADO SPRINGS STANDARDS AND SPECIFICATIONS AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE HIGHER QUALITY STANDARD SHALL APPLY. ALL WORK SHALL BE INSPECTED AND APPROVED BY THE APPROPRIATE GOVERNING AGENCIES.
5. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED CONSTRUCTION DOCUMENTS, ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS, AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB, ON-SITE AT ALL TIMES.
6. ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS TRACKED FROM THE SITE.

STANDARD CITY OF COLORADO SPRINGS LANDSCAPE NOTES

A Final Landscape and Irrigation Plan, with applicable supporting material, shall be submitted at time of Building Permit application and shall be approved before any Building Permit approval, any landscape or irrigation construction, and issuance of a Certificate of Occupancy.

All proposed landscaping shall be watered by an automatic irrigation system which will provide drip irrigation to all shrub beds and trees within native seed areas and spray irrigation to all high-water use turf and native seed areas.

The Owner or Developer is required to provide inspection affidavits executed by the Colorado Licensed Landscape Architect or Certified Irrigation Designer of record for the project, which certifies that the project was installed and in compliance with the approved Final Landscape and Irrigation Plan on file in City Planning. This should require limited construction observation visits to accurately complete the affidavits. When ready to call for inspection and submit affidavits, first contact the city planner of record for the project (719-385-5905) and as necessary our DRE office (719-385-5982).

Copies of receipts/delivery tickets for soil amendments installed on the project are required to be provided with the inspection affidavits.

If soil in the parking lot has been compacted by grading operations, the soil within the planter shall be tilled, or removed to a depth of thirty (30) inches and replaced with an acceptable growing medium for the species being installed.

Tilling of the existing soil to incorporate amendments and counter any compaction or soil consolidation shall be required for all landscape planting areas.

PLANTING AREA SOIL TREATMENT NOTES

SITE SOIL TYPE:							
GROUND PLANE	CLASS 1 OM SOIL	NITROGEN PER 1,000 SF	PHOSPHORUS PER 1,000 SF	POTASSIUM PER 1,000 SF	ZINC PER 1,000 SF	EC SALT, PH	ROTOTILL DEPTH
SOD TURFGRASS	0 CU YARD	0.0 CU YARD	0.0 CU YARD	0.0 CU YARD	0.0 CU YARD	N/A	6"-8" MIN.
NATIVE SEED	0 CU YARD	0.0 CU YARD	0.0 CU YARD	0.0 CU YARD	0.0 CU YARD	N/A	6"-8" MIN.
SHRUB BED	3 CU YARD	0.0 CU YARD	0.0 CU YARD	0.0 CU YARD	0.0 CU YARD	N/A	6"-8" MIN.

SOIL PREPARATION FOR ALL PLANTING AREAS AND FOR UNDISTURBED OR COMPACTED AREAS:

A. FOR LARGE AREAS RIP EXISTING SOIL IN ONE DIRECTION USING AN AGRICULTURAL RIPPER WITH TINES SPACED NO FURTHER THAN EIGHTEEN (18) INCHES APART. AREAS ADJACENT TO WALKS, STRUCTURES, CURBS, ETC., WHERE THE USE OF LARGE MECHANICAL EQUIPMENT IS DIFFICULT SHALL BE WORKED WITH SMALLER EQUIPMENT OR BY HAND. REMOVE ALL RUBBLE, STONES, AND EXTRANEOUS MATERIAL OVER TWO (2) INCHES IN DIAMETER FROM THE SITE.

B. FOR TREE LOCATIONS REMOVE AND REPLACE EXISTING SOIL TO 36" DEPTH. IF CLAY OR SAND REPLACE WITH GRADE B TOPSOIL.

C. SOIL AMENDMENT SHALL BE FROM LOCAL SUPPLIER AND CHOSEN FROM THE CURRENT COLORADO SPRINGS UTILITIES APPROVED SOIL AMENDMENT SUPPLIERS.

D. SLOW RELEASE FERTILIZERS ARE REQUIRED FOR SANDY SOILS.

E. REFER TO SOIL TEST LAB REPORT FOR ADDITIONAL INFORMATION.

UDC LANDSCAPE REQUIREMENTS

GENERAL REQUIREMENTS					
25% MAXIMUM TURF ALLOWED OF TOTAL LANDSCAPE AREA		REQUIRED / PROVIDED			
MAXIMUM 35% OF ALL THE TREES SHALL BE FROM ONE SPECIES.		0/0			
MINIMUM 40% OF ALL THE TREES SHALL BE 30" MINIMUM HT.		0/0			

LANDSCAPE SETBACKS (LS)					
STREET NAME OR ZONE BOUNDARY (ELEV.)	STREET CLASSIFICATION	WIDTH (FT.) REQ./PROV.	LINEAR FOOTAGE	TREE FEET REQUIRED	NO. OF TREES REQ./PROVIDED
STRAIGHT WAY WOODMEN RD	NON-ARTERIAL	10/10 FT	60 LF	1/30 FT	2/1
	MAJOR ARTERIAL	25/25 FT	110 LF	1/20 FT	6/6
SHRUB SUBSTITUTES REQ./PROV. (75% MAX)	ORNAMENTAL GRASS SUB. 2/1 REQ./PROV.	0/0 0/0	SETBACK PLANT ABBR. DENOTED ON PLAN LS LS	PERCENT GROUND PLANE VEG. REQ./PROV. 15%/15% 15%/15%	

MOTOR VEHICLE LOTS (MV): NOT REQUIRED				
NO. OF VEHICLE SPACES PROVIDED	SHADE TREES (1/15 SPACES) REQ./PROV.	VEHICLE LOT FRONTAGE(S)	LENGTH OF FRONTAGE (FT.) (EXCLUDING DRIVEWAYS)	2/3 LENGTH OF FRONTAGE (FT.)
24	2/2	STRAIGHT WAY EAST WEST	24 LF 125 LF 53 LF	16 LF 84 LF 10 LF
(1/5) MIN. 3' SCREENING PLANTS REQ./PROV.	EVERGREEN PLANTS REQ. 50%/PROV.	LENGTH OF SCREENING WALL OR BERRY PROV.	VEHICLE LOT PLANT ABBR. ON PLAN	PERCENT GROUND PLANE EG. REQ./PROV.
3/3	11/3	0 LF	MV	15%/15%
11/1	3/3	0 LF	MV	15%/15%
4/4	2/2	0 LF	MV	15%/15%

INTERNAL LANDSCAPING (IL)			
INTERNAL LANDSCAPE AREA INCLUDES ALL LANDSCAPE AREAS NOT INCLUDING SETBACKS, BUFFERS OR MOTOR VEHICLE ISLANDS. 100% SHRUB SUBSTITUTION FOR NON-RESIDENTIAL / 50% SHRUB SUBSTITUTION FOR MULTI-FAMILY.			
NET SITE AREA (SF) (LESS PUBLIC ROW)	PERCENT MINIMUM INTERNAL AREA (%)	INTERNAL AREA (SF) REQ./PROV.	INTERNAL TREES (1/500 SF) (EXCLUDING DRIVEWAYS)
31,026 SF	RESIDENTIAL 5%	1,052 SF/0 SF	4/1
SHRUB SUBSTITUTES REQ./PROV.	ORNAMENTAL GRASS SUB. REQ./PROV.	INTERNAL PLANT ABBR. DENOTED ON PLAN	PERCENT GROUND PLANE VEG. REQ./PROV.
30/30	0/0	IL	15%/15%
ACTIVE GREEN SPACE: NOT REQUIRED			

LANDSCAPE BUFFERS AND SCREENS (LB)				
STREET NAME OR PROPERTY LINE (ELEV.)	WIDTH (FT.) REQ./PROV.	LINEAR FOOTAGE	BUFFER TREES (1/20') REQ./PROV.	EVERGREEN TREES REQ. (50%) / PROVIDED
NA	15/15 FT	0 LF	0/0	0/0
BUFFER FENCE: 6 FT. OPAQUE CEDAR WOOD FENCE		REQ./PROV.		
TRASH ENCLOSURE(S)		REFER TO PLAN FOR LOCATION	4/4 UPRIGHT EVERGREEN	

UTILITIES NOTE

VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. CALL 811 FOR UTILITY LOCATES. TREE TRUNK PLACEMENT SHALL BE 6" MINIMUM DISTANCE FROM ANY GAS OR ELECTRIC AND 10' FROM GAS MAINS RATED AT 150PSI. FOR SANITARY SEWER AND WATER MAINLINES TREES SHALL NOT BE LOCATED WITHIN EASEMENTS AND WITHIN 15' OF ANY MAINLINE. ANY CONFLICT BETWEEN TREE LOCATIONS AND UTILITIES SHOWN ON PLANS SHALL BE RESOLVED WITH GENERAL CONTRACTOR PRIOR TO PLANTING. ALL ELECTRICAL VAULTS AND TRANSFORMERS SHALL BE KEPT CLEAR FROM PLANT MATERIAL PER COLORADO SPRINGS UTILITIES GUIDELINES "LANDSCAPING AROUND ELECTRICAL EQUIPMENT". SEE COLORADO SPRINGS UTILITIES CONSTRUCTION STANDARD DRAWINGS 18-302 FOR SPECIFIC CLEARANCE REQUIREMENTS. ALL SHRUBS TO BE LOCATED 3' CLEAR OF ALL FIRE HYDRANTS AT MATURE SIZE.

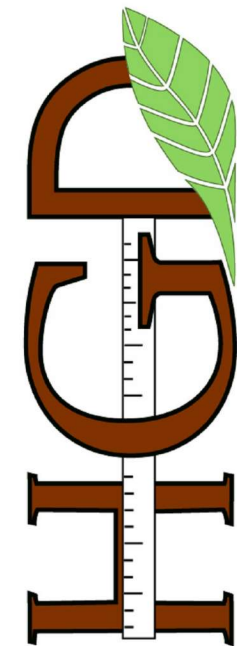
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HIGHER GROUND DESIGNS, INC.

LANDSCAPE ARCHITECTURE, PLANNING & IRRIGATION DESIGN

5350 NORTH ACADEMY BLVD., STE. 207
COLORADO SPRINGS, CO 80916
Phone 719-477-1646
Fax 719-468-1122



HIGHER GROUND
DESIGNS

LOT 4 - MIDAS SHOP
POWERS BLVD
COLORADO SPRINGS, CO

THESE DRAWINGS ARE THE PROPERTY OF HIGHER GROUND DESIGNS, INC. AND SHALL NOT BE USED FOR ANY OTHER PURPOSES WITHOUT THE AUTHORIZATION BY HIGHER GROUND DESIGNS, INC.

PREPARED FOR:

CITY STAMP

NOT FOR CONSTRUCTION

JOB NUMBER

1246-25

REVISIONS

ORIGINAL DATE

6-02-25

DRAWN BY

JM

DESCRIPTION

FINAL LANDSCAPE
PLAN

SHEET NO.

5 OF 11

INSTALLATION NOTES

REMOVE EXISTING TREES, DEBRIS AND WEEDS FROM SITE PRIOR TO CONSTRUCTION (AS SHOWN PER PLAN).
LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SITE DURING CONSTRUCTION. WEEDS AND TRASH SHALL BE REMOVED DAILY AS REQUIRED.
EXISTING TOPSOIL TO BE STOCKPILED ON-SITE AND USED DURING CONSTRUCTION TO ESTABLISH GRADES WITHIN LANDSCAPE AREAS AS SHOWN PER PLAN.

CONTRACTOR SHALL REFER TO ASSOCIATED LANDSCAPE CONTRACTORS OF COLORADO HANDBOOK (ALCC) , 2007 REVISED EDITION FOR ALL CONSTRUCTION FOR THIS SITE. CONTACT OWNER/LANDSCAPE ARCHITECT FOR QUESTIONS.

QUANTITIES SHOWN IN PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PLANT MATERIAL PER PLAN.

LANDSCAPE ARCHITECT SHALL HAVE OPPORTUNITY TO INSPECT AND APPROVE ALL TREES AND ALL 1-15 GALLON MATERIAL AT JOB SITE PRIOR TO PLANTING, INCLUDING PLACEMENT INSPECTION.

STEEL EDGING TO BE GREEN PRO-STEEL (1/8" x 4" x 10') WITH STAKES OR APPROVED EQUAL. EDGING TO BE EXPOSED 1/2" MAXIMUM ABOVE FINISHED GRADES. INSTALL PER MANUFACTURE RECOMMENDATIONS. SEE PLAN FOR EDGING LOCATIONS.

ALL ROCK COVER AREAS ONLY TO BE PREPARED WITH 3 OZ PROFESSIONAL GRADE POLYSPUN WEED BARRIER WITH STAPLES AT 5 O.C. FABRIC SEAMS TO BE OVERLAPPED 6" MIN. AND SECURED WITH STAPLES.

GROUND COVER SHALL BE CONTINUOUS UNDER ALL SHRUBS THROUGHOUT PROJECT SITE. REFER TO PLANTING DETAILS.

TREES AND SHRUBS TO RECEIVE ORGANIC MULCH PER DETAILS. INCLUDING ROCK AREAS-SEE DETAILS, UNLESS OTHERWISE SPECIFIED. ORGANIC MULCH TO BE 'CASCADE CEDAR' WITH NO LANDSCAPE FABRIC 4" DEPTH.

DO NOT PLANT SHRUBS OR TREES OF INCOMPATIBLE WATER REQUIREMENTS IMMEDIATELY ADJACENT (MINIMUM 5') TO ONE ANOTHER.

PLANT BACKFILL SHALL BE 70% NATIVE ON-SITE SOIL, AND 30% BREW-GRO BIOCAMP CLASS 1 (OR CITY APPROVED EQUAL).

A REPRESENTATIVE SAMPLE OF THE BOTANICAL NAME TAGS, FURNISHED BY THE NURSERY STOCK PROVIDER SHALL REMAIN ATTACHED TO THE PLANTS UNTIL FINAL INSPECTION.

LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF STORM DRAINAGE FROM ADJACENT LANDSCAPE AREAS OR BUILDING DOWNSPOUTS WILL ADVERSELY AFFECT LANDSCAPED AREAS PER THE PLAN.

PRIOR TO INSTALLING PLANTS OR GROUND COVER BROADCAST (PLANT SAFE) PREEN WEED PRE-EMERGENT, OR APPROVED EQUAL, IN ALL PLANTING AREAS PER MANUFACTURE RECOMMENDATIONS. WWW.PREEN.COM

ACCEPTANCE NOTE

CONTRACTOR IS RESPONSIBLE FOR CONTACTING LANDSCAPE ARCHITECT FOR ALL REQUIRED CITY AFFIDAVIT INSPECTIONS. PROVIDE AT LEAST 48 HOURS NOTICE TO SCHEDULE INSPECTIONS. INSPECTIONS INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

- LAYOUT AND BOULDER PLACEMENT
- PLANT TYPE, MATERIAL SIZE AND QUALITY VERIFICATION, AND PLACEMENT VERIFICATION.
- IRRIGATION MAIN LINE INSPECTION (AS APPLICABLE).
- DRIP SYSTEM COMPONENTS AND EMITTER PLACEMENT PRIOR TO MULCH INSTALLATION.
- LANDSCAPE AND IRRIGATION 85% COMPLETION PUNCH LIST INSPECTION.
- LANDSCAPE AND IRRIGATION FINAL INSPECTION AND ACCEPTANCE.

REFER TO CITY AFFIDAVIT FOR ADDITIONAL INFORMATION. SUBMIT RECEIPT FOR SOIL AMENDMENTS TO LANDSCAPE ARCHITECT AND AS-BUILT FOR IRRIGATION SYSTEM TO OWNER.

WHEN ALL THE WORK IS COMPLETED, THE OWNERS AUTHORIZED REPRESENTATIVE SHALL UPON INSPECTION OF THE WORK TO DETERMINE ACCEPTABILITY. HE WILL PREPARE A "PUNCH LIST" OF ITEMS IMPROPERLY INSTALLED, INADEQUATELY SIZED OR OTHERWISE DEFICIENT. THE "PUNCH LIST" DEFICIENCIES SHALL BE CORRECTED NOT MORE THAN 5 WORKING DAYS AFTER THE INSPECTION. WHEN THE CORRECTIVE WORK IS COMPLETED, THE OWNER WILL ISSUE A CERTIFICATE OF SUBSTANTIAL COMPLETION OF LANDSCAPE AND IRRIGATION WORK.

THE FORMAL MAINTENANCE PERIOD (IF APPLICABLE) AND WARRANTY PERIOD SHALL COMMENCE FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNERS AUTHORIZED REPRESENTATIVE OF THE CONTRACT WORK IN ACCORDANCE WITH THESE DRAWINGS.

LONG-TERM MAINTENANCE NOTE

ON-GOING MAINTENANCE DURING CONSTRUCTION:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ON-GOING MAINTENANCE OF ALL COMPLETED LANDSCAPE AND IRRIGATION WORK AS DEFINED UNDER CONTRACT WITH OWNER.

BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND CONTINUE UNTIL LANDSCAPE WORK IS COMPLETED, ACCEPTED BY OWNER, AND IF REQUESTED A FORMAL MAINTENANCE PERIOD IS INITIATED. MAINTAIN LAWNS BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING, REPLANTING AS REQUIRED THROUGH CONSTRUCTION PERIOD. REMULCH WITH NEW MULCH IN AREAS WHERE MULCH HAS BEEN DISTURBED BY CONSTRUCTION OPERATIONS SUFFICIENTLY TO NULLIFY ITS PURPOSE. CONTRACTOR SHALL REPAIR SEEDED AREAS DAMAGED BY TRAFFIC AND/OR VANDALISM DURING THE CONSTRUCTION PERIOD.

IF THE IRRIGATION SYSTEM IS NOT AVAILABLE FOR PROPER WATERING AT THE TIME OF INSTALLATION, PROVIDE AND MAINTAIN TEMPORARY PIPING, HOSES, AND LAWN WATERING EQUIPMENT AS REQUIRED TO CONVEY WATER FROM SOURCES AND TO KEEP THE LAWN AREAS UNIFORMLY MOIST AS REQUIRED FOR PROPER GROWTH. FAILURE OF THE IRRIGATION SYSTEM SHALL NOT RELIEVE THE INSTALLER OF THE RESPONSIBILITY TO PROVIDE THE REQUIRED WATER. COORDINATE WITH OWNER.

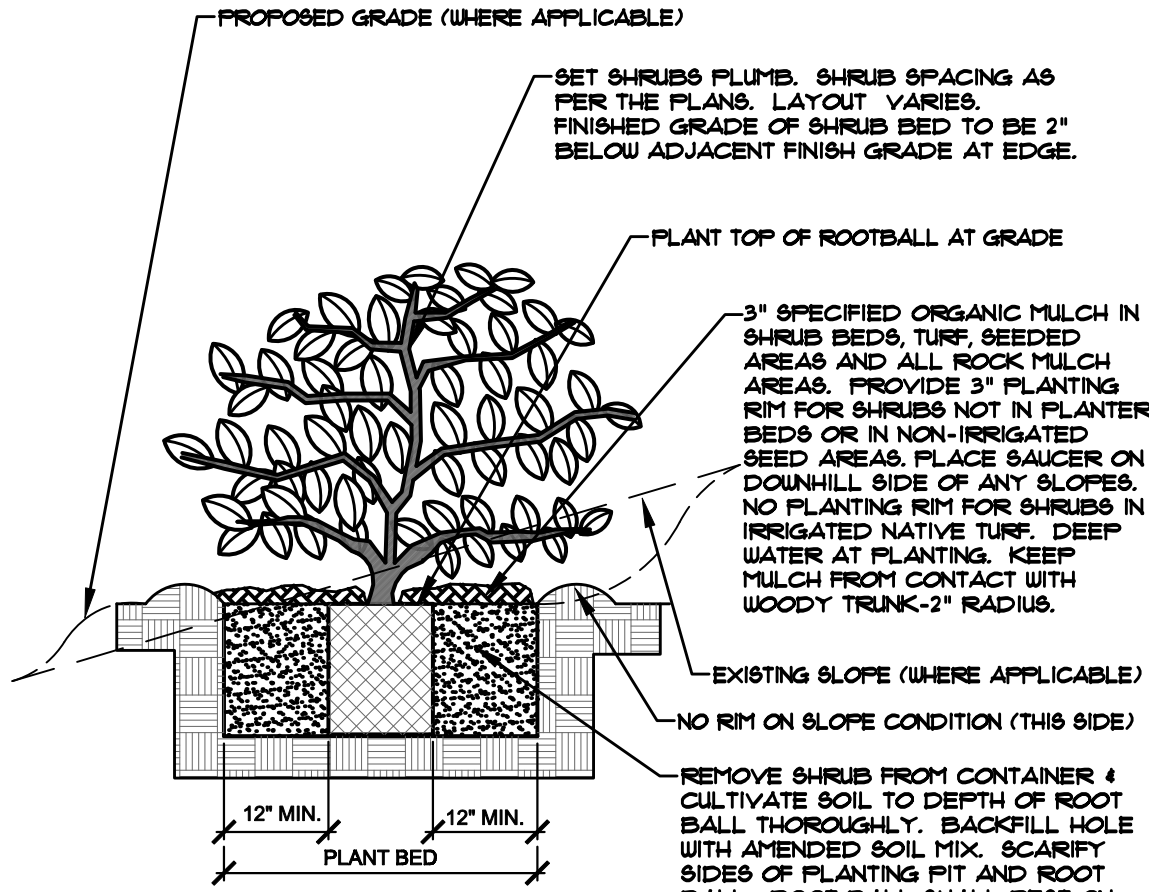
ONE-YEAR WARRANTY

AS AGREED WITH OWNER CONTRACTOR SHALL PROVIDE ONE-YEAR WARRANTY ON ALL PLANT MATERIAL, GRASSES AND IRRIGATION SYSTEM. REPLACEMENT OF DEAD, DISEASED OR SUBSTANTIALLY DAMAGED PLANT MATERIALS SHALL BE OF THE SAME OR SIMILAR TYPE AS SET FORTH IN THE LANDSCAPE PLAN. REPLACEMENT SHALL BE MADE IN A TIME PERIOD NOT EXCEEDING 15 DAYS. PLANT MATERIAL NEEDING REPLACEMENT DURING WINTER MONTHS SHALL BE REPLACED AT THE START OF THE NEXT GROWING SEASON.

THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION SYSTEM MAINTENANCE OF THIS SITE AND ANY RIGHT-OF-WAY AREAS BETWEEN THE CURB AND PROPERTY BOUNDARIES OF THIS SITE. MAINTENANCE OF THIS INCLUDES, BUT IS NOT LIMITED TO, RIGHT OF WAY STREET TREES, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, MOWING, SEEDING, FERTILIZING, WOOD MULCH AND ROCK ADDITIONS, PRUNING AND PLANT MATERIAL REPLACEMENTS. ALL MAINTENANCE SHALL BE DONE IN ACCORDANCE WITH THE ALCC SPECIFICATIONS HANDBOOK REV EDITION 2007. OWNER SHOULD CONTACT LANDSCAPE CONTRACTOR OR LANDSCAPE ARCHITECT REGARDING ANY QUESTIONS RELATING TO THE LANDSCAPE OR IRRIGATION SYSTEM.

NOTES:

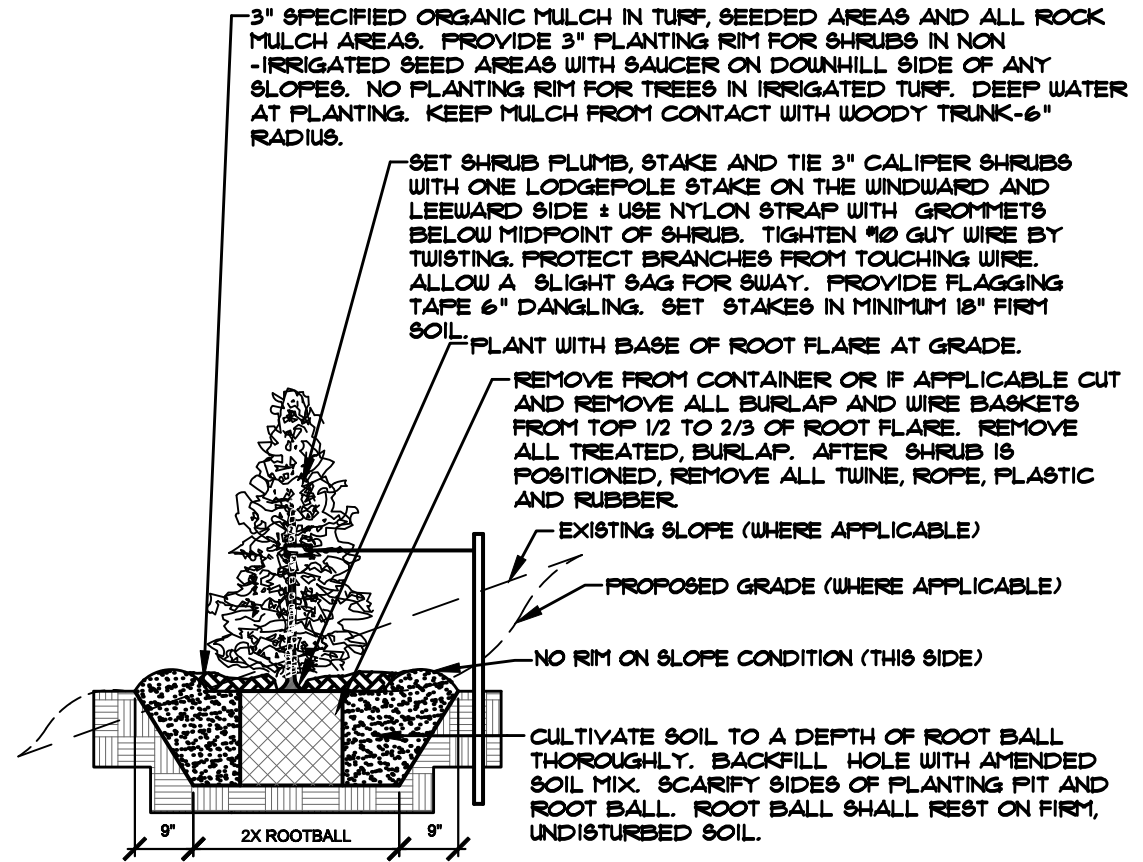
- PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
- KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
- DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
- AMENDED BACK FILL SHALL BE 10% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
- FOR ROOT BIND AT BOTTOM OF BALL: SPLIT ROOT BALL VERTICALLY FROM BOTTOM HALFWAY TO TOP. SPREAD THE TWO HALVES OVER A MOUND OF SOIL IN PLANTING PIT.
- FOR POT BOUND PLANTS ONLY: MAKE 4-5 VERTICAL CUTS IN ROOT BALL 1" DEEP. PLANT IMMEDIATELY.



A SHRUB PLANTING DETAIL
NOT TO SCALE

NOTES:

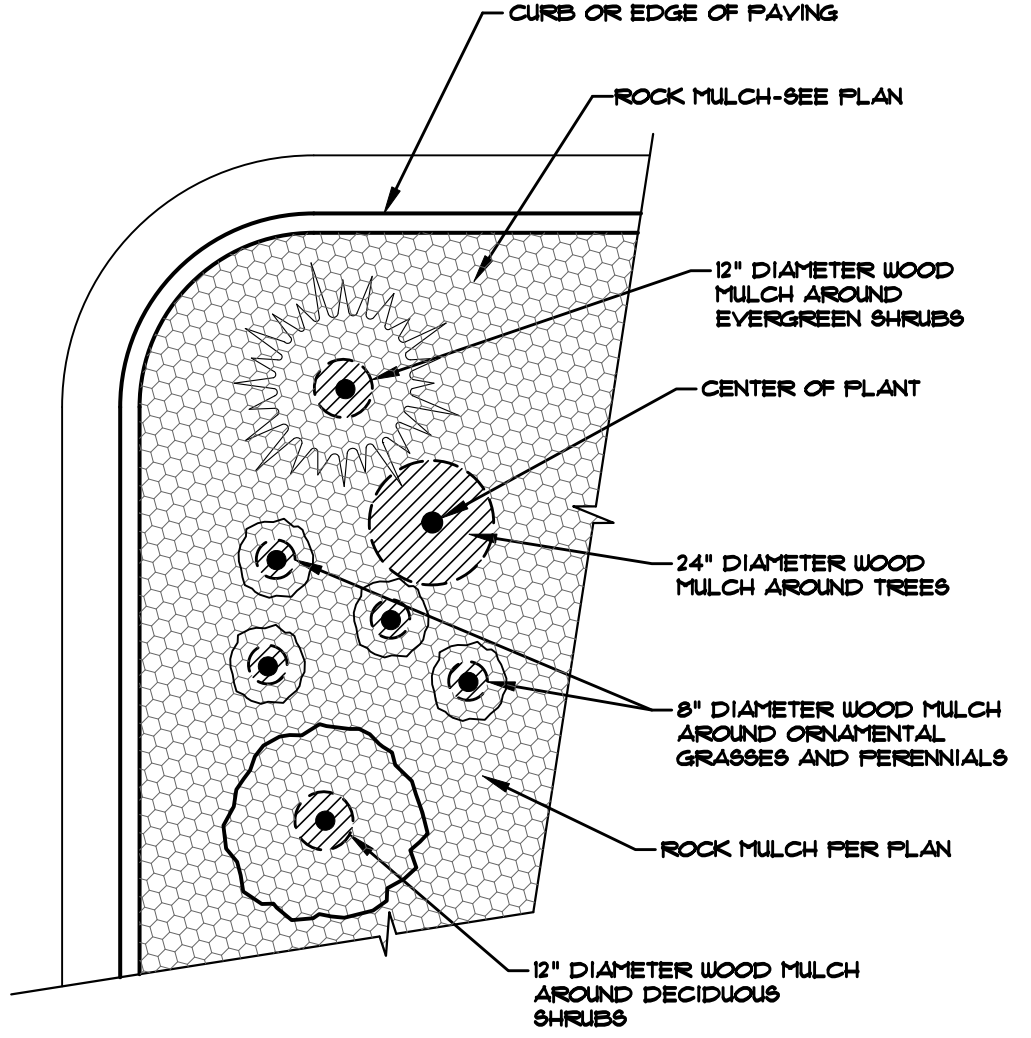
- DO NOT REMOVE OR CUT LEADER.
- PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
- REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE.
- KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
- AVOID FALL PLANTING IF POSSIBLE.
- AMENDED BACKFILL SHALL BE 10% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
- FOR ROOT BIND (CONTAINER PLANTS ONLY): AT BOTTOM OF BALL: SPLIT ROOT BALL VERTICALLY FROM BOTTOM HALFWAY TO TOP. SPREAD THE TWO HALVES OVER A MOUND OF SOIL IN PLANTING PIT.
- FOR POT BOUND PLANTS ONLY: MAKE 4-5 VERTICAL CUTS IN ROOT BALL 1" DEEP. PLANT IMMEDIATELY. (CONTAINER PLANTS ONLY)



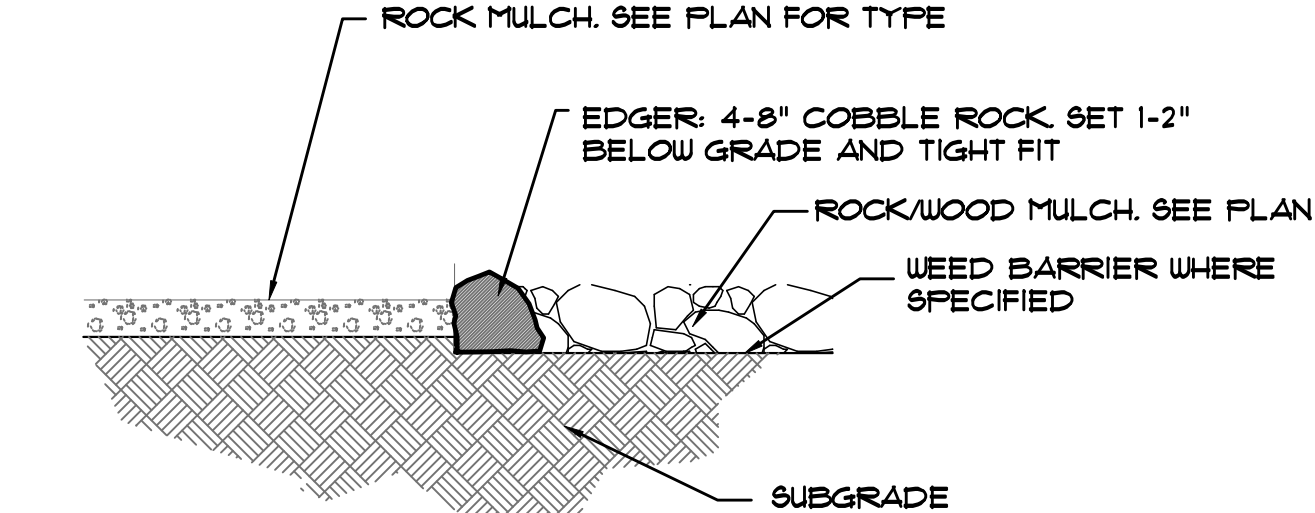
B UPRIGHT EVERGREEN SHRUB PLANTING DETAIL
NOT TO SCALE

NOTES:

- CONTRACTOR TO INSTALL WOOD MULCH RINGS AROUND LANDSCAPING AS SHOWN BELOW FOR ALL TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES INSTALLED IN ROCK MULCHED AREAS. ROCK SHALL BE CLEAR FROM SHRUB IN UNIFORM CIRCLE AND WOOD MULCH APPLIED AT 2" DEPTH. SEE CONSTRUCTION DETAILS FOR INSTALLATION PROCESS.
- REFER TO LANDSCAPE PLANS FOR ALL TREE, SHRUB AND ORNAMENTAL GRASS LOCATIONS



C TYPICAL PLANT MATERIAL TREATMENT
NOT TO SCALE



D COBBLE ROCK EDGING
NOT TO SCALE

UTILITIES NOTE

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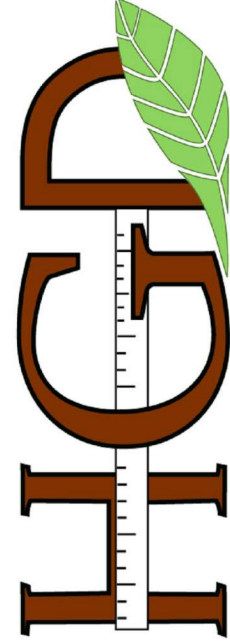
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LANDSCAPE ARCHITECTURE, PLANNING & IRRIGATION DESIGN

5330 NORTH ACADEMY BLVD., STE. 207
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JOB NUMBER

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REVISIONS

ORIGINAL DATE 6-02-25

DRAWN BY JM

DESCRIPTION

FINAL LANDSCAPE
PLAN NOTES

SHEET NO.

7 OF 11

STANDARD CITY OF COLORADO SPRINGS IRRIGATION NOTES

The City has adopted permanent water-wise regulations as of January 1, 2020, which will affect the overall operation of the irrigation system.

From May 1 to October 15, sprinklers can be operated before 10 a.m. and after 6 p.m. Watering is limited to three days a week (Drip irrigation is allowed at any time). Establishment permits are required from Colorado Springs Utilities for customers who need to temporarily water more than three days a week to establish new landscapes. Allocation plans are available for customers who need more watering schedule flexibility from Colorado Springs Utilities.

• For all design irrigation systems, if more than three days a week are required to provide required coverage with spray/rotor stations/valves, a Water Allocation Plan is required from Colorado Springs Utilities.

• City Affidavit Note - The design professional of record is to complete the irrigation inspection affidavit based on approved Irrigation Plan. This should require limited construction observation visits and a functional test of the irrigation system shall be performed to accurately complete the affidavit. Final CO or financial assurances release shall not be processed until an executed and approved affidavit is submitted to City Staff. When ready to call for inspection and submit affidavits, first contact the city planner of record for the project (719-385-5905) and as necessary our DRE office (719-385-5982)

IRRIGATION SCHEDULE NOTES

THE SCHEDULING TIMES ARE BASED ON AN ET RATE .19 AND AN IRRIGATION EFFICIENCY OF 85%. TIMES SHALL BE ADJUSTED ACCORDINGLY FOR SEASONAL CHANGES. RAIN SENSOR SHALL BE SET FOR AUTOMATIC SHUT OFF AT 1/2" RAINFALL.

THE RUN TIMES ARE MINUTES PER DAY. EACH VEGETATION TYPE HAS A DIFFERENT WEEKLY WATER REQUIREMENT THAT SHOULD BE FULFILLED BY A DIFFERENT NUMBER OF SCHEDULED RUN TIMES.

NEW LANDSCAPE PLANTS SHALL BE IRRIGATED EVERY OTHER DAY FOR THE FIRST GROWING SEASON. DURING ALL SUBSEQUENT SEASONS LANDSCAPE PLANTS SHALL BE IRRIGATED EVERY THIRD DAY.

THE RUN TIMES ARE INTENDED FOR SUMMER WATERING APPLICATIONS. RUN TIMES SHALL BE ADJUSTED FOR SEASONAL REQUIREMENTS. SPRING RUN TIMES SHALL BE SET AT 85% OF SUMMER RUN TIMES. FALL RUN TIMES SHALL BE SET AT 80% OF SUMMER RUN TIMES.

AN ESTABLISHMENT PERMIT AND POSSIBLY AN ALLOCATION PLAN SHALL BE REQUIRED FROM COLORADO SPRINGS UTILITIES.

IRRIGATION SCHEDULE

ZONE	TYPE	FLOW		RUN TIME	TOTAL	TREATMENT
		GPM	INCHES/HOUR			
1	DRIP	3-7	--	60	300	PLANTING
1	DRIP	3-7	--	60	300	PLANTING

TOTAL APPROXIMATE RUN TIME: 2 HOUR

IRRIGATION SYSTEM DESCRIPTION

SITE IRRIGATION SYSTEM PROVIDED BY A FULLY AUTOMATED SPRINKLER SYSTEM CONSISTING OF DRIP IN PLANTING BEDS. ALL ZONES TO BE OPERATED FROM A SINGLE CONTROLLER LOCATED PER PLAN. COORDINATE INSTALLATION OF ALL IRRIGATION COMPONENTS WITH OWNERS REPRESENTATIVE AND OTHER TRADES. BALL VALVES SHALL BE PROVIDED BEFORE EACH ZONE VALVE FOR SYSTEM MAINTENANCE. POTABLE WATER SHALL BE USED FOR ALL SITE IRRIGATION. RAINBIRD EQUIPMENT SHALL BE INSTALLED UNLESS OTHERWISE NOTED PER PLAN. ANY DEVIATION FROM THIS PLAN SHALL BE APPROVED BY LANDSCAPE ARCHITECT OR OWNER.

GENERAL SITE NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT CONNECTION POINTS AND AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR ALL APPLICABLE AGENCIES.
- ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF PUBLIC IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH IN CITY OF COLORADO SPRINGS STANDARDS AND SPECIFICATIONS AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE HIGHER QUALITY STANDARD SHALL APPLY. ALL WORK SHALL BE INSPECTED AND APPROVED BY THE APPROPRIATE GOVERNING AGENCIES.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED CONSTRUCTION DOCUMENTS, ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS, AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB, ON-SITE AT ALL TIMES.
- ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS TRACKED FROM THE SITE.
- CONTRACTOR RESPONSIBLE FOR COORDINATING AND INSTALLING ALL SLEEVING REQUIRED FOR IRRIGATION CONSTRUCTION. COORDINATE WITH GENERAL CONTRACTOR.

DRIP SYSTEM NOTE

ALL PLANT MATERIAL SHALL RECEIVE DRIP LINE TUBING WITH EMITTERS PER DETAILS AND NOTES. FOR SYSTEM FLUSHING INSTALL FLUSH CAP AND THE END OF EACH ZONED DRIP LINE RUN AT LOWEST POINT OF LANDSCAPE AREA. INSTALL SLEEVES UNDER ALL PAVING AS REQUIRED FOR DRIP LINE. REFER TO LEGEND.

IRRIGATION LEGEND

P.O.C.



3/4" POINT OF CONNECTION: CONTRACTOR TO VERIFY IN FIELD PRIOR TO INSTALLATION. COORDINATE WITH CITY UTILITIES AND GENERAL CONTRACTOR FOR LOCATION.



BACKFLOW PREVENTION DEVICE FEBCO 3/4" 825YA W/BALL VALVE AND DRAIN PER CITY CODE INSTALL PER MANUFACTURE RECOMMENDATIONS



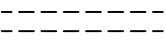
IRRIGATION CONTROLLER - RAINBIRD ESP-TM2-INDOOR MOUNT
INSTALL PER MANUFACTURE RECOMMENDATIONS



RAIN SENSOR: WIRELESS WR2
(INSTALL PER MANUFACTURE RECOMMENDATIONS)



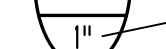
RAINBIRD REMOTE CONTROL DRIP VALVE ASSEMBLY KIT RAINBIRD XCZ-LF-075. SEE PLAN



MAINLINE PIPE- CLASS 200 PVC PIPE (1" DIAMETER - UNLESS OTHERWISE NOTED)



CLASS 200 PVC PIPE FOR SLEEVING



LAST VALVE



ZONE #



GPM DISCHARGE



REMOTE CONTROL VALVE SIZE



DRIP IRRIGATION LATERAL PIPE
100 OR 80 PSI POLYETHYLENE PIPE: 3/4" DIAMETER
BURY LATERAL 10" MINIMUM DEPTH



DRIP LINE TUBING: CENTENNIAL 3/4" or 1/2" DIAMETER (FOR REFERENCE ONLY NOT LENGTH)
USED IN PLANTING BEDS FOR SHRUBS AND TREES - ROUTE ACCORDINGLY TO PLANT MATERIAL



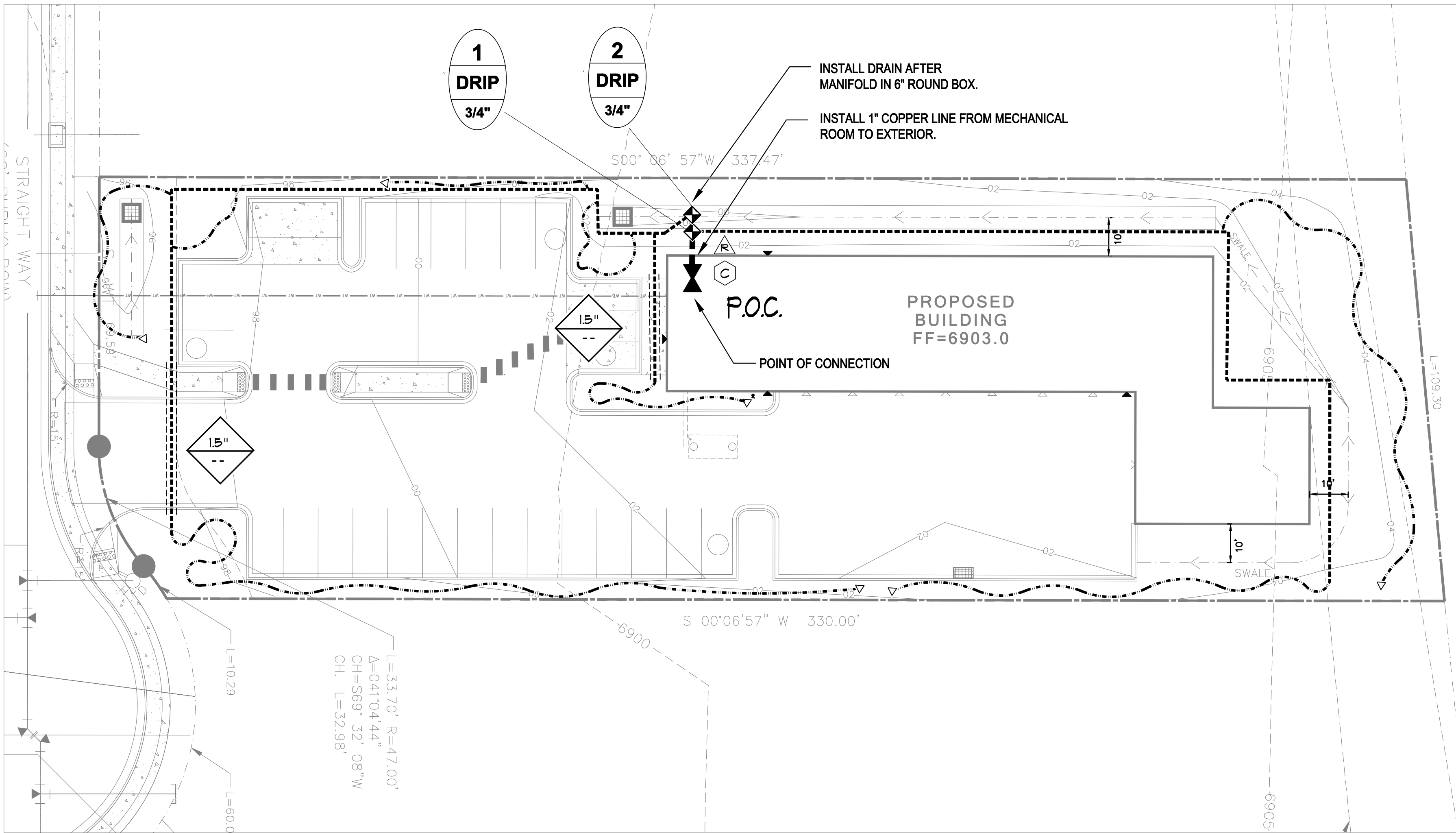
AGRIFIM 3/4" CAP MODEL CETC-34 OR 1" AS REQUIRED
(INSTALL IN 6" MIN. VALVE BOX)

DOCUMENT NOTE

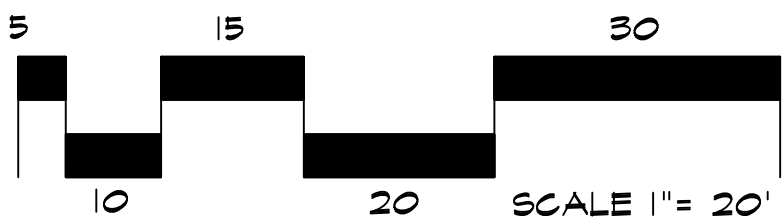
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IRRIGATION PLAN



SCALE 1" = 20'

IRRIGATION NOTES

COORDINATE ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO ANY DIGGING ON SITE. ALL MATERIALS AND INSTALLATION PRACTICES SHALL BE IN COMPLIANCE WITH LOCAL CODES. CALL 811 FOR UTILITY LOCATES.

CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL IRRIGATION COMPONENTS SHOWN ON THE PLAN. ANY DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT. DEVIATIONS FROM THE APPROVED PLAN SHALL REQUIRE LANDSCAPE ARCHITECT APPROVAL.

THE IRRIGATION SYSTEM IS TO RUN OFF 3/4" METERED TAP AT THE LOCATION INDICATED FROM THE BUILDING DOMESTIC SUPPLY AS SHOWN. COORDINATE WITH OWNER'S REPRESENTATIVE AND OTHER TRADES TO GET WATER AT LOCATION SHOWN. COORDINATE WITH CITY WATER TO INSURE PROPER METER INSTALLATION.

THE SYSTEM CONTROLLERS SHALL BE LOCATED AS SHOWN. COORDINATE LOCATION OF CONTROLLER AND RAIN SENSOR WITH OWNER. CONNECT CONTROLLER TO POWER SUPPLY AND COORDINATED WITH OWNER. CONNECT CONTROLLER TO ZONE VALVES, RAIN SENSOR, AND GROUNDING PER MANUFACTURE'S INSTRUCTIONS.

CONTRACTOR IS RESPONSIBLE FOR ALL IRRIGATION SLEEVING. SLEEVING FOR LATERAL LINES TO BE 12" BELOW TOP OF GRADE AND/OR BELOW THE BOTTOM OF PAVING. MAINLINE SLEEVING TO BE 18" BELOW TOP OF GRADE AND/OR BELOW THE BOTTOM OF PAVING. ALL SLEEVING TO EXTEND 3" BEYOND EDGE OF CONCRETE OR ASPHALT. ENDS OF SLEEVING TO BE SECURELY COVERED AFTER INSTALLATION. SLEEVE LOCATIONS TO BE CLEARLY MARKED WITH PAINTED STAKES OR PVC. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SLEEVING LOCATIONS PRIOR TO CONSTRUCTION AND INSTALL ANY MISSING SLEEVE IF NECESSARY.

ALL SPRINKLER HEADS SHALL INSTALLED WITH TOP OF HEADS FLUSH WITH SURROUNDING FINAL GRADE. CONTRACTOR SHALL ADJUST EACH SPRINKLER HEAD TO PROVIDE OPTIMAL COVERAGE. OVERSPRAY ONTO PAVEMENT OR WALLS IS TO BE PREVENTED. CONTRACTOR TO ADJUST AND SELECT NOZZLES TO PROVIDE UNIFORM COVERAGE. PROVIDE PRESSURE COMPENSATING NOZZLES OR SCREENS IF UNIFORM PRESSURE CANNOT BE ACHIEVED BY ADJUSTING PRESSURE AT VALVES.

IRRIGATION PLAN IS DIAGRAMMATIC. ANY COMPONENTS SHOWN ON PLAN OUTSIDE OF LANDSCAPE ARE SHOWN FOR CLARITY ONLY. USE ONLY STANDARD FITTINGS. MAINLINE PIPING DEPTH TO BE 18". LATERAL LINE DEPTH TO BE 12". DRIP LINE TO BE SECURED AT FINAL SOIL GRADE.

CONTRACTOR IS TO INSTALL IRRIGATION WIRE BETWEEN CONTROLLER AND ELECTRIC VALVES. INSTALL TWO EXTRA WIRES RUNNING FROM CONTROLLER ALONG MAINLINE IN EACH DIRECTION FROM THE CONTROLLER FOR TROUBLE SHOOTING OR FUTURE ADDITIONS. WIRE SHALL BE SOLID COPPER #14 PE IRRIGATION CONTROL WIRE. CONNECTIONS SHALL BE MADE WITHIN ENCLOSURES ONLY USING 3M BRAND D8Y AND DBR CONNECTORS. NO BURIED SPLICES PERMITTED.

NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN PLAN DRAWINGS AND FIELD CONDITIONS PRIOR TO INSTALLATION OF ANY IRRIGATION COMPONENTS.

HIGHER GROUND DESIGNS, INC. (HGD) PREPARED THIS PLAN BASED ON EXISTING CONDITIONS AND SITE PLAN BY OTHERS. HDG DOES NOT RECOMMEND SPRAY/ROTOR OPERATION OR ROTOR/SPRAY OVER SPRAY WITHIN 5' OF ANY BUILDING. HDG ASSUMES NO LIABILITY FOR ANY WATER DAMAGE ON THIS SITE.

ALL DRIP POLYETHYLENE LATERALS AND DRIP TUBING FITTINGS SHALL BE RIBBED PLASTIC WITH OETIKER BRAND CLAMPS. THE END OF EACH DRIP LINE TO RECEIVE A DRIP FLUSH CAP PER DETAIL.

INSTALL VALVE BOXES IN PLANTER AND ROCK AREAS WHEN POSSIBLE. DO NOT SET VALVE BOXES IN TURF OR SEEDED AREAS UNLESS UNAVOIDABLE.

IRRIGATION SYSTEM MATERIALS

- PRESSURE SUPPLY LINE (FROM POINT OF CONNECTION THROUGH BACKFLOW PREVENTION UNIT) - TYPE "K" RIGID COPPER. PRESSURE SUPPLY LINES (DOWNSTREAM OF BACKFLOW PREVENTION UNITS) - CLASS 200 PVC SOLVENT WELD (1" - 2 1/2") SOLVENT WELD PIPE - MANUFACTURED FROM VIRGIN POLYVINYL CHLORIDE (PVC) COMPOUND IN ACCORDANCE WITH ASTM D2241 AND ASTM D1784; CELL CLASSIFICATION 12454-B, TYPE 1, GRADE 1. FITTINGS - STANDARD WRIGHT, SCHEDULE 40, INJECTION MOLDED PVC, COMPLYING WITH ASTM D1784 AND D2466, CELL CLASSIFICATION 12454-B
- THREADS - INJECTION MOLDED TYPE (WHERE REQUIRED)
- TEES AND ELLS - SIDE GATED, THREADED NIPPLES - ASTM D2464, SCHEDULE 80 WITH MOLDED THREADS
- ALL PVC MALE THREADED FITTINGS AND NIPPLES, EXCLUDING MARLEX FITTINGS, SHALL RECEIVE WRAPPING OF TEFLON TAPE
- JOINT CEMENT AND PRIMER - TYPE AS RECOMMENDED BY MANUFACTURER OF PIPE AND FITTINGS.
- FLEXIBLE PLASTIC PIPE - MANUFACTURED FROM VIRGIN POLYETHYLENE IN ACCORDANCE WITH ASTM D2239, WITH A HYDROSTATIC DESIGN STRESS OF 630 PSI AND DESIGNATED AS PE 2306. FITTINGS - INSERT TYPE MANUFACTURED IN ACCORDANCE WITH ASTM D2689; PVC TYPE 1 CELL CLASSIFICATION 12454-B.

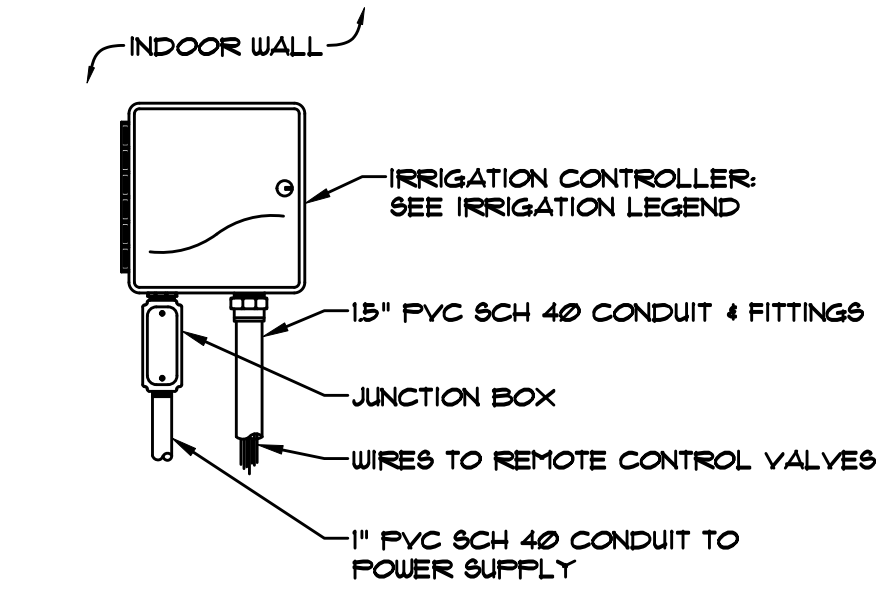
IRRIGATION SYSTEM INSTALLATION

- BACKFILLING - DO NOT BEGIN BACKFILLING OPERATIONS UNTIL REQUIRED SYSTEM TESTS HAVE BEEN COMPLETED. BACKFILL SHALL NOT BE DONE IN FREEZING WEATHER EXCEPT WITH REVIEW BY CONSULTANT. TRENCHES SHALL BE FINISH GRADED PRIOR TO WALK-THROUGH OF SYSTEM BY OWNER/CONSULTANT.
- EXCAVATED MATERIAL IS GENERALLY CONSIDERED SATISFACTORY FOR BACKFILL PURPOSES. BACKFILL MATERIAL SHALL BE FREE OF RUBBISH, VEGETABLE MATTER, FROZEN MATERIALS, AND STONES LARGER THAN 1 INCH IN MAXIMUM DIMENSION. DO NOT MIX SUBSOIL WITH TOPSOIL. MATERIAL NOT SUITABLE FOR BACKFILL SHALL BE HAULED AWAY. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SUITABLE BACKFILL IF EXCAVATED MATERIAL IS UNACCEPTABLE OR NOT SUFFICIENT TO MEET BACKFILL, COMPACTION, AND FINAL GRADE REQUIREMENTS.
- DO NOT LEAVE TRENCHES OPEN FOR A PERIOD OF MORE THAN 48 HOURS. OPEN EXCAVATIONS SHALL BE PROTECTED IN ACCORDANCE WITH OSHA REGULATIONS. COMPACT BACKFILL TO 90% MAXIMUM DENSITY, DETERMINED IN ACCORDANCE WITH ASTM D155-7. MECHANICAL TAMPING IS PROHIBITED WITHIN 20'-0" OF BUILDING OR FOUNDATION WALLS.

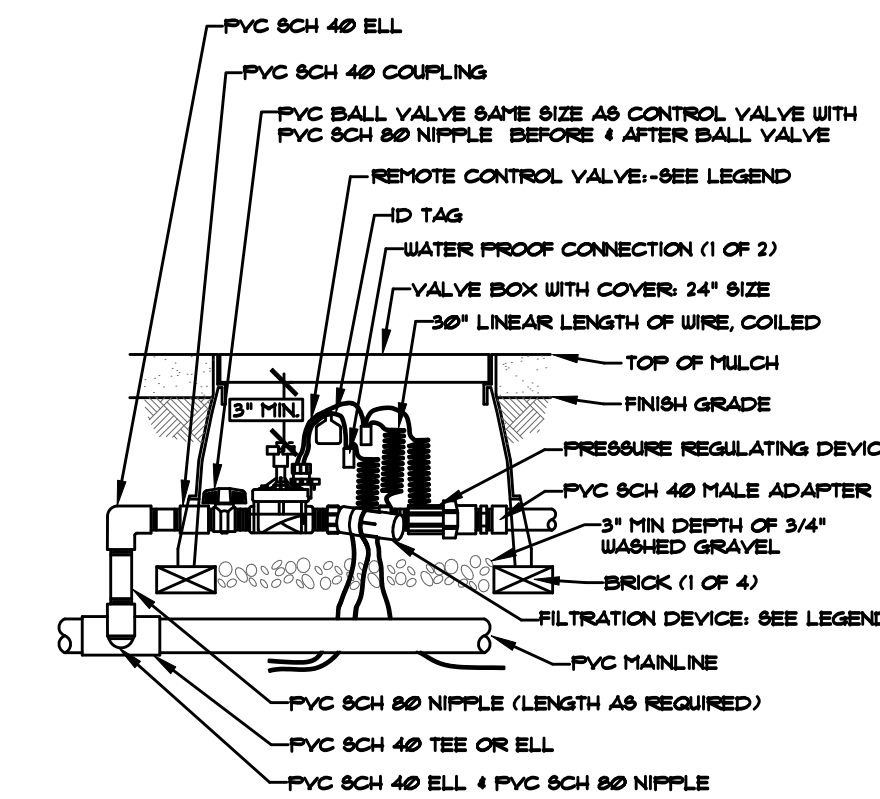
EXECUTION

- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ANY SOIL RETENTION COVERING THAT WOULD INTERFERE WITH THE PROPER INSTALLATION OF THE IRRIGATION SYSTEM.
- CONTRACTOR WILL BE HELD RESPONSIBLE FOR COORDINATION BETWEEN LANDSCAPE AND IRRIGATION SYSTEM INSTALLATION. LANDSCAPE MATERIAL LOCATIONS SHOWN ON THE LANDSCAPE PLAN SHALL TAKE PRECEDENCE OVER THE IRRIGATION SYSTEM EQUIPMENT LOCATIONS. IF IRRIGATION EQUIPMENT IS INSTALLED IN CONFLICT WITH THE LANDSCAPE MATERIAL LOCATIONS SHOWN ON THE LANDSCAPE PLAN, THE CONTRACTOR WILL BE REQUIRED TO RELOCATE THE IRRIGATION EQUIPMENT, AS NECESSARY, AT CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE TO NOTIFY CONSULTANT OF ANY FIELD CONDITIONS THAT VARY FROM THE CONDITIONS SHOWN ON THE IRRIGATION CONSTRUCTION DOCUMENTS. IF CONTRACTOR FAILS TO NOTIFY CONSULTANT OF THESE CONDITIONS, CONTRACTOR WILL BE HELD RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH SYSTEM ADJUSTMENTS REQUIRED DUE TO THE CHANGE IN FIELD CONDITIONS.
- STATIC PRESSURE VERIFICATION - CONTRACTOR SHALL FIELD VERIFY THE STATIC PRESSURE AT THE PROJECT SITE, PRIOR TO COMMENCING WORK OR ORDERING IRRIGATION MATERIALS. IF CONTRACTOR FAILS TO VERIFY STATIC WATER PRESSURE PRIOR TO COMMENCING WORK OR ORDERING IRRIGATION MATERIALS, CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ALL COSTS REQUIRED TO MAKE SYSTEM OPERATIONAL AND THE COSTS REQUIRED TO REPLACE ANY DAMAGED LANDSCAPE MATERIAL. DAMAGE SHALL INCLUDE ALL REQUIRED MATERIAL COSTS, DESIGN COSTS AND PLANT REPLACEMENT COSTS.
- INSPECTION: - EXAMINE AREAS AND CONDITIONS UNDER WHICH WORK OF THIS SECTION IS TO BE PERFORMED. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.

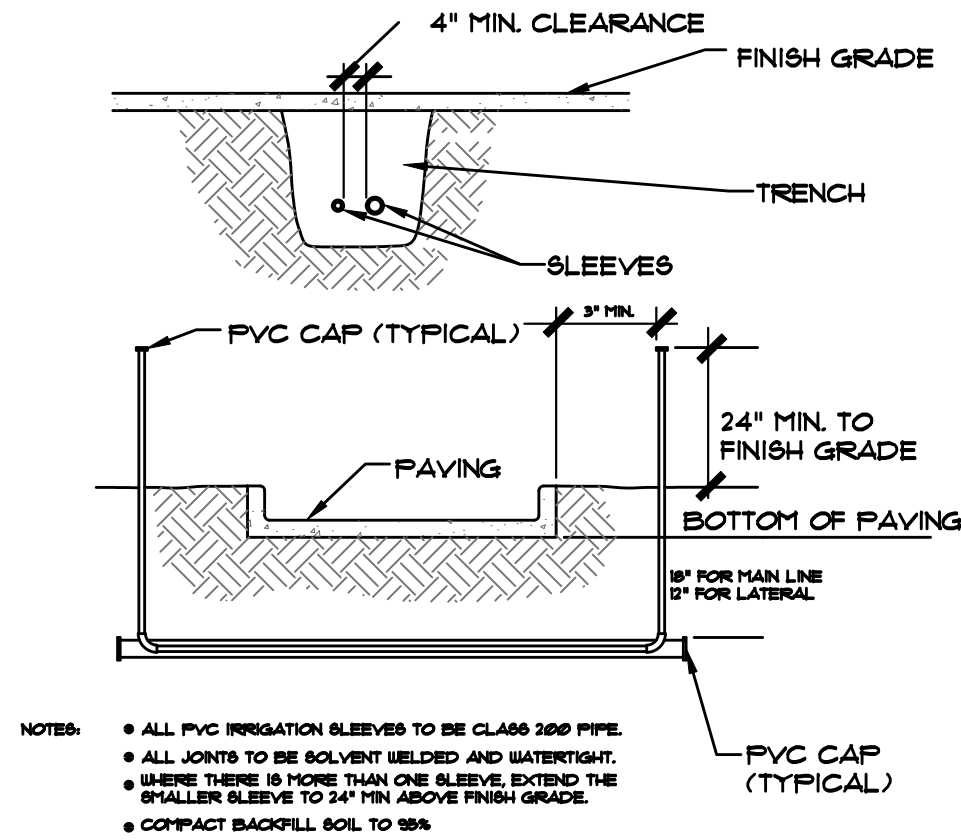
NOTES: ALL ELECTRICAL POWER TO THE IRRIGATION CONTROL SYSTEM SHOULD BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE & ALL APPLICABLE LOCAL ELECTRIC UTILITY CODES.



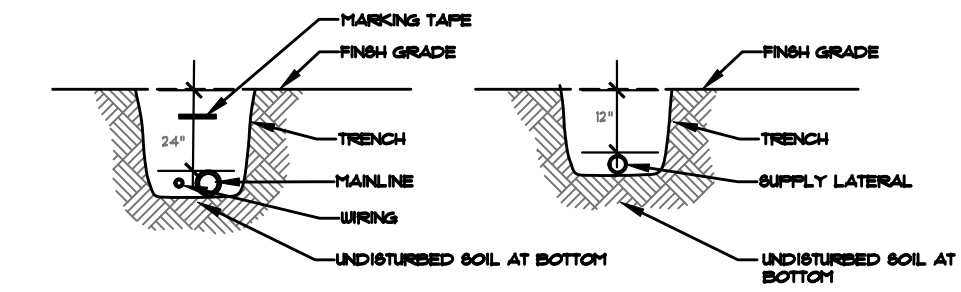
CONTROLLER (INDOOR) NOT TO SCALE



DRIP IRRIGATION ZONE CONTROL VALVE NOT TO SCALE



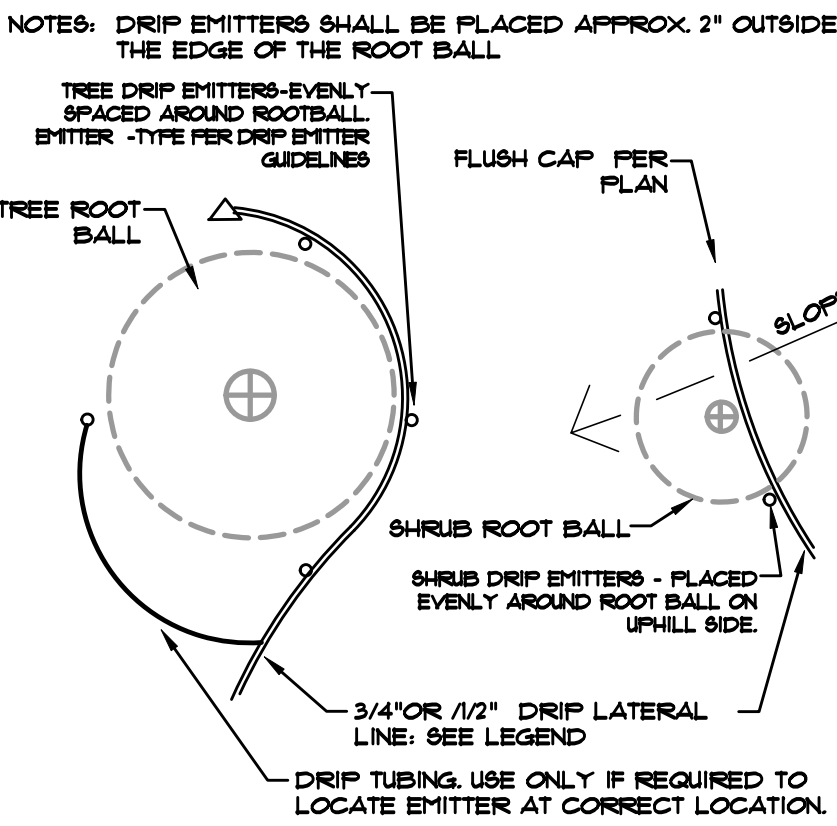
SLEEVING DETAIL NOT TO SCALE



NOTE: INSTALL PIPING NO LESS THAN 12" LATERAL HORIZONTAL CLEARANCE AND 6" VERTICAL CLEARANCE. USE CROSSKEY WATER LINE MARKING TAPE WITH LABEL, BURIED WATER PIPE. INSTALL ALONG TRENCH AT CENTER OF PIPING, 8" DEPTH, AND EXPOSE END AT ALL EQUIPMENT. IN ROCKY SOIL ENVIRONMENTS INSTALL 3'-6" SAND BED. EVALUATE EXISTING SOIL FOR BACKFILL. IF SOIL IS UNSUITABLE REMOVE AND REPLACE WITH SUITABLE SOIL FOR PROPER CONTRACTION.

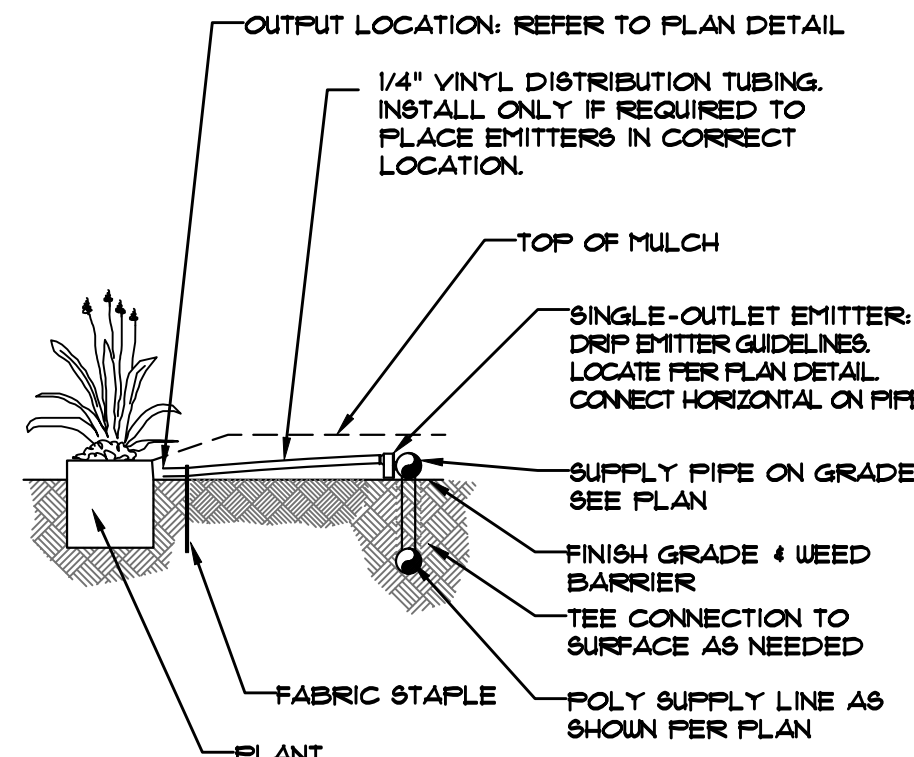
PIPE SIZING CHART: CLASS 200 PIPE				
Pipe Size	Short distance 150' (GPH)	Medium distance 210' (GPH)	Long distance 350' (GPH)	
3/4"	19	4	4	
1"	17	15	12	
1-1/4"	27	22	22	
1-1/2"	36	36	30	
2"	56	56	56	
2-1/2"	83	83	83	
3"	123	123	123	

LATERAL PIPE TRENCHING DETAIL NOT TO SCALE

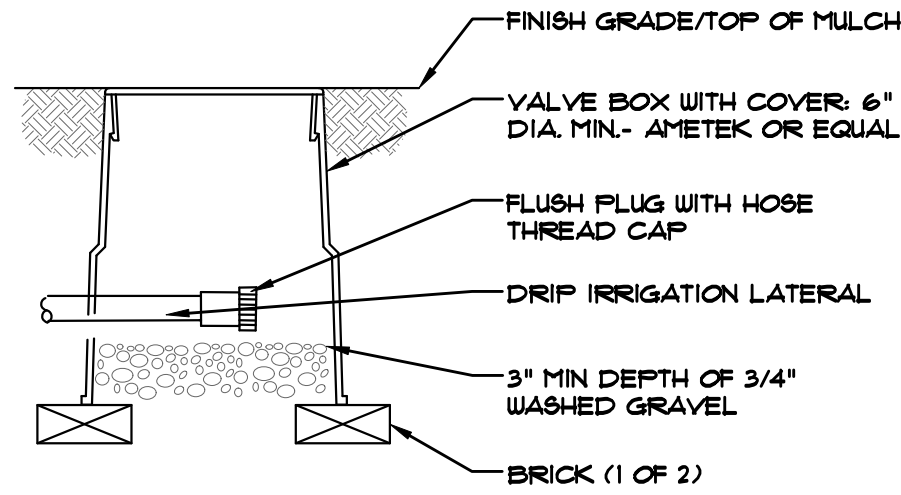


DRIP EMITTER PLACEMENT NOT TO SCALE SEE GUIDELINES FOR EMITTER QUANTITY

NOTES: DRIP PIPING IS TO BE STAKED TO GROUND SURFACE EVERY 4'-6'. MULCH IS TO BE INSTALLED TO COVER ALL PIPING AND TUBING. RECOMMEND PIPE INSTALLED OVER WEED BARRIER.

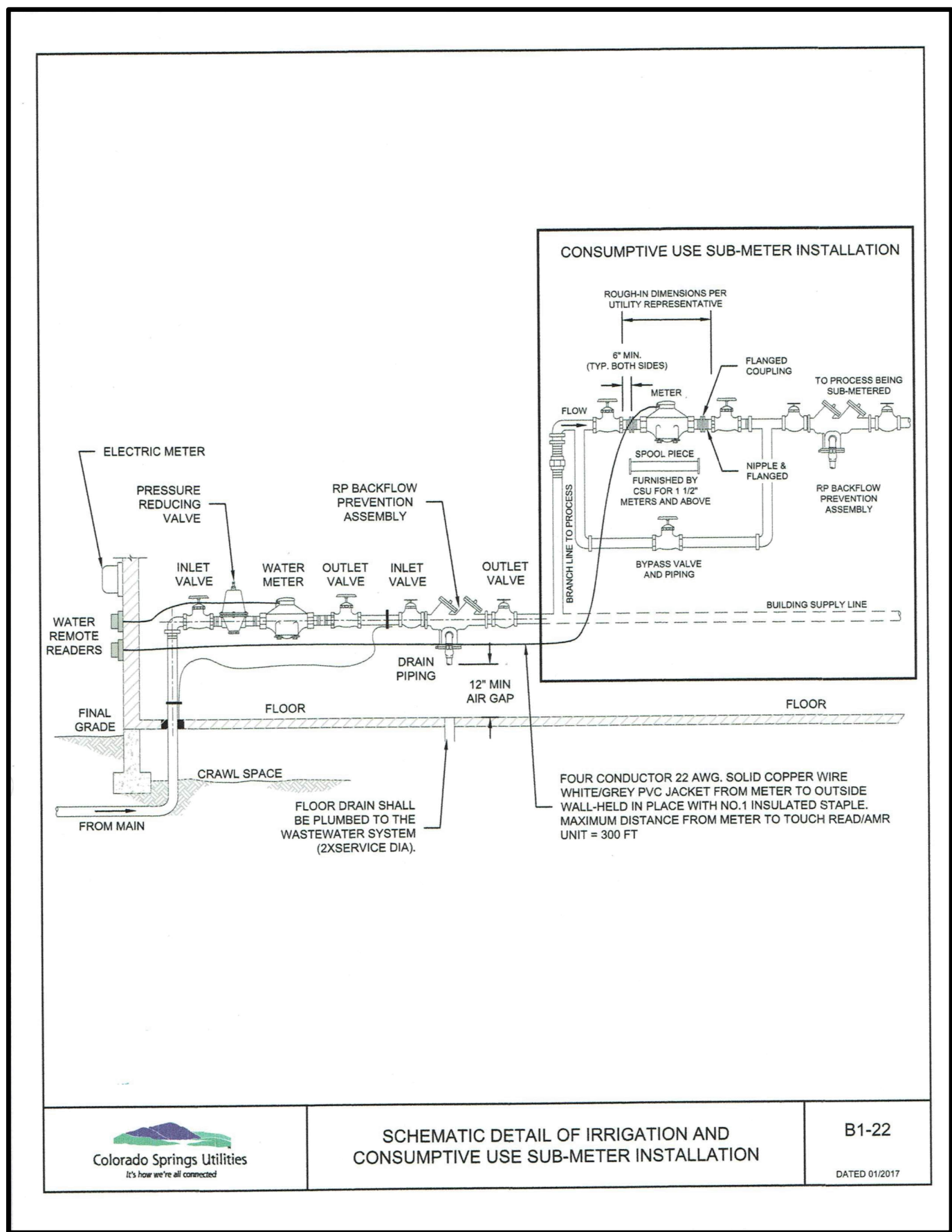


TYPICAL EMITTER ASSEMBLY NOT TO SCALE



NOTES: DRIP FLUSH CAP AND BOX SHALL BE INSTALLED AT THE END OF EACH DRIP SUPPLY LINE AT ENDS.

DRIP FLUSH CAP NOT TO SCALE



DRIP EMITTERS

DRIP EMITTERS FOR TREES, SHRUBS, ORNAMENTAL GRASSES AND PERENNIALS SHALL BE INSTALLED PER DETAILS ON THIS SHEET. CONTRACTOR IS RESPONSIBLE FOR ADJUSTING EMITTER QUANTITY SO THAT EACH PLANT TYPE RECEIVES THE CORRECT WATER REQUIREMENT BASED ON ZONE RUN TIME AND PLANT WATER REQUIREMENTS. SEE DRIP EMITTER GUIDELINES. EXCEPT FOR PERENNIALS ALL SHRUBS SHALL RECEIVE TWO EMITTERS, AND TREES SHALL RECEIVE MINIMUM FOUR EMITTERS.

DRIP EMITTER GUIDELINES		
PLANT MATERIAL	EMITTER QUANTITY	OUTPUT (GPH)
1 GAL. PERENNIAL (COLOR)	1 EACH - 5 GPH	.5
1 GAL. ORNAMENTAL GRASS	2 EACH - 5 GPH	1
5 GAL. ORNAMENTAL GRASS	2 EACH - 1 GPH	2
5 GAL. EVERGREEN SHRUB	2 EACH - 1 GPH	2
5 GAL. DECIDUOUS SHRUB	2 EACH - 1 GPH	2
HIGH WATER DECIDUOUS SHRUB	2 EACH - 2 GPH	4
6" B&B EVERGREEN TREE	4 EACH - 1 GPH	4
HIGH WATER EVERGREEN TREE	4 EACH - 2 GPH	8
1 1/2" CAL. DECIDUOUS TREE	4 EACH - 1 GPH	4
HIGH WATER DECIDUOUS TREE	4 EACH - 2 GPH	8

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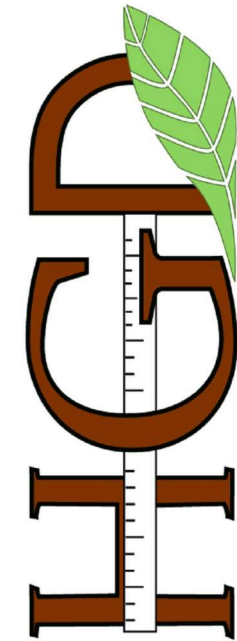
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HIGHER GROUND DESIGNS, INC.

LANDSCAPE ARCHITECTURE, PLANNING & IRRIGATION DESIGN

5350 NORTH ACADEMY BLVD., STE. 207
COLORADO SPRINGS, CO 80916
Phone 719-477-1646
Fax 719-568-1122



HIGHER GROUND
DESIGNS

LOT 4 - MIDAS SHOP
POWERS BLVD
COLORADO SPRINGS, CO

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PREPARED FOR:

NOT FOR CONSTRUCTION

CITY STAMP

JOB NUMBER

1246-25

REVISIONS

ORIGINAL DATE 6-02-25

DRAWN BY JM

DESCRIPTION IRRIGATION DETAILS

SHEET NO.

9 OF 11

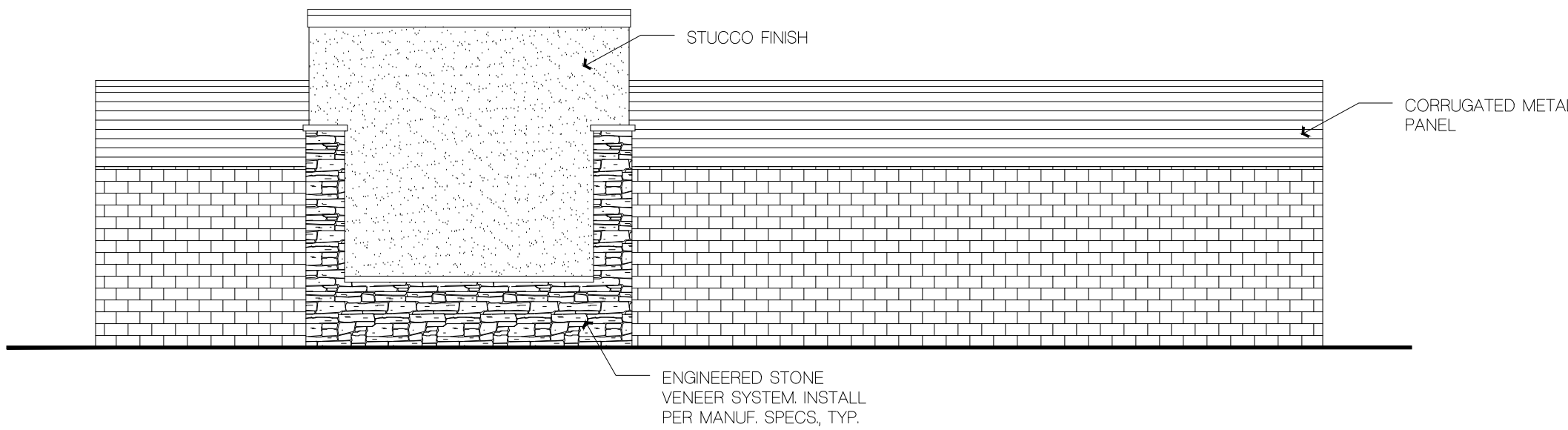
DEVELOPMENT PLAN
8920 STRAIGHT WAY

LOT 4 WOODMEN EAST COMMERCIAL
CITY OF COLORADO SPRINGS, COLORADO



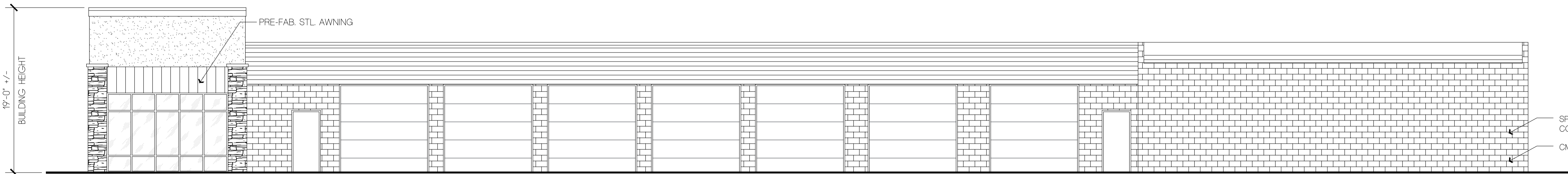
SOUTH ELEVATION

SCALE: 1/8"=1'-0"



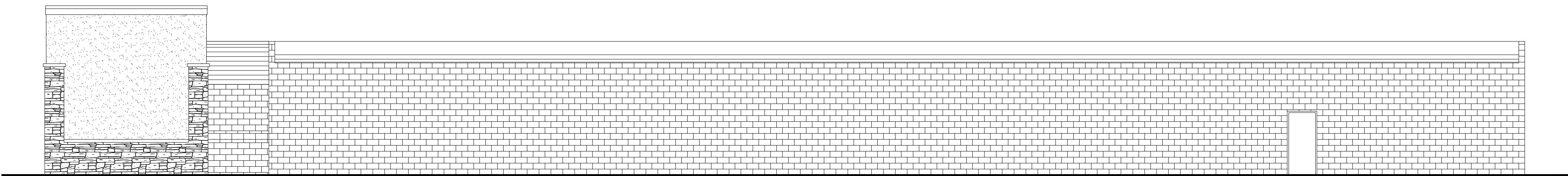
NORTH ELEVATION

SCALE: 1/8"=1'-0"



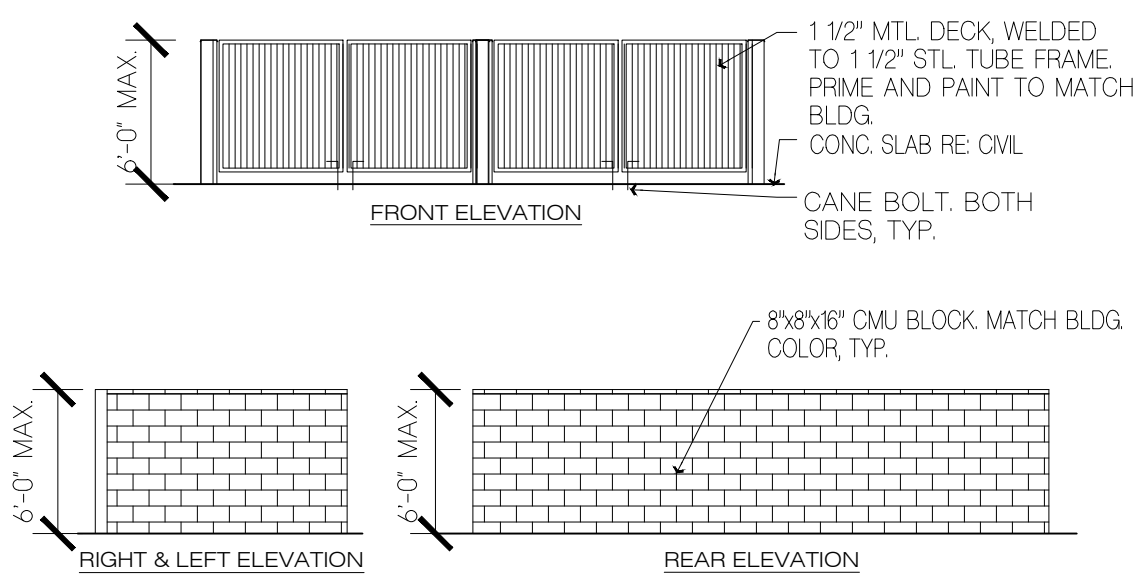
EAST ELEVATION

SCALE: 1/8"=1'-0"



WEST ELEVATION

SCALE: 1/8"=1'-0"

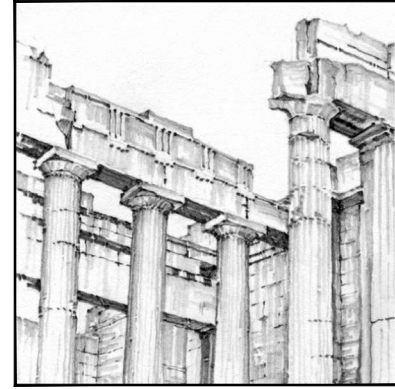


TRASH ENCLOSURE ELEVATIONS

SCALE: 1/8"=1'-0"

NOTE: GAS METERS MUST BE A MINIMUM OF 3-FEET FROM DOORS, OPERABLE WINDOWS, OR ANY VENTS OR OPENINGS IN WALLS.

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CA license no. C 23506

A PROPOSED
DEVELOPMENT
PLAN FOR

MIDAS

8920 STRAIGHT WAY
COLORADO SPRINGS, CO

Sheet Title:

EXTERIOR
ELEVATIONS

Drawing Status:

DEVELOPMENT
PLAN

Revisions:

No. Description By Date

1			

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Job No.:

Sheet No.:

10

Of 11

CITY FILE NUMBER AR-DP-25-00_____

