

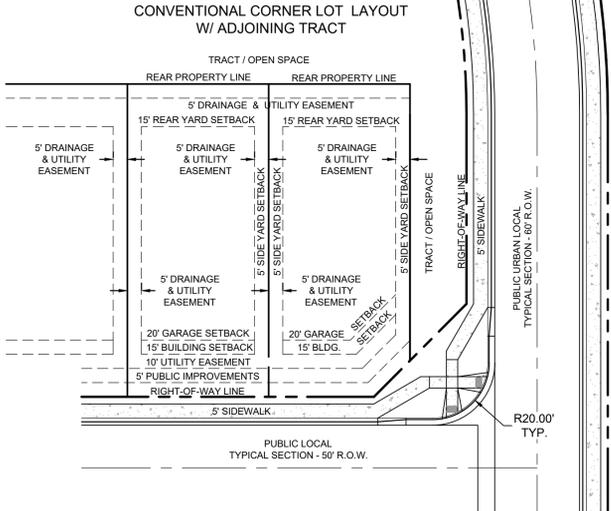
Added lot typical for the larger Rural Residential Lot

Addressed public improvement easement

Comments have been provided on the TIS regarding the upgrade of roadways such as Stagecoach Rd, black forest, Allen Ranch Rd etc. Provide proposed cross section of the improvements proposed due to the upgrade in classification. Coordinate with the traffic engineer.

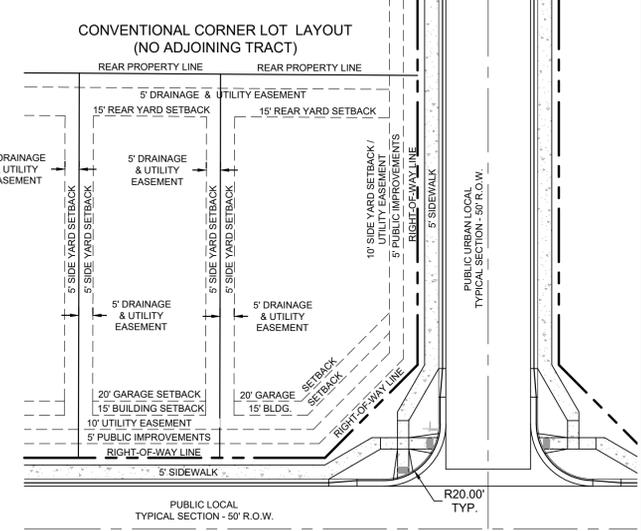
comments have been provided on the TIS to provide roundabout analysis. Please make changes accordingly based on any changes (if any) from the analysis. Additional comments may be generated once analysis and changes are reflected on the plans

It is our understanding that the County is requesting a more detailed design analysis that includes fastest path and truck turn templates for each roundabout. PRI#2 is requesting that this more detailed analysis be provided during the Final Plat and Construction Drawing process. The Traffic Engineering Consultant (SM Roacha, LLC) has provided the preliminary geometry for the roundabouts based on preliminary analysis of fastest path. This initial level of analysis is sufficient to demonstrate that adequate ROW is needed at time of Final Design, additional open space tract area is available adjacent to the roundabouts.

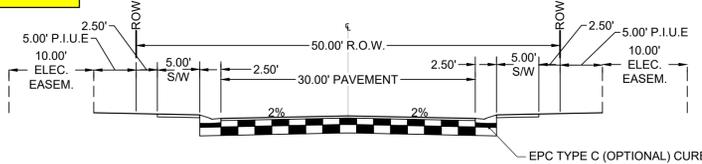


- 15' BUILDING SETBACK: A PORTION OF THE PRINCIPAL STRUCTURE, INCLUDING PORCHES.
- THE SIDE SETBACK WILL BE 5' IF A MINIMUM OPEN SPACE TRACT IS PROVIDED OF 10' OR MORE, MEASURED FROM RIGHT OF WAY TO LOT LINE.
- ON INTERIOR LOTS, SIDE YARD SETBACKS ARE MEASURED FROM THE PROPERTY LINE.
- ON CORNER LOTS, FRONT AND SIDE YARD SETBACKS ARE MEASURED FROM THE RIGHT-OF-WAY. REAR YARD SETBACKS ARE MEASURED FROM THE PROPERTY LINE.
- LOT WIDTH AND DEPTH FOR TYPICAL LOT VARIES, REFER TO PLAN FOR LOT SIZES.

updated to be consistent with typical sections and urban lot requirements

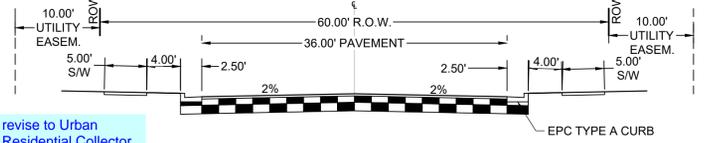


- 15' BUILDING SETBACK: A PORTION OF THE PRINCIPAL STRUCTURE, INCLUDING PORCHES.
- SIDE YARDS ADJACENT TO A STREET R.O.W. SHALL BE 10' WHEN NO OPEN SPACE TRACT IS PRESENT.
- ON INTERIOR LOTS, SIDE YARD SETBACKS ARE MEASURED FROM THE PROPERTY LINE.
- ON CORNER LOTS, FRONT AND SIDE YARD SETBACKS ARE MEASURED FROM THE RIGHT-OF-WAY. REAR YARD SETBACKS ARE MEASURED FROM THE PROPERTY LINE.
- LOT WIDTH AND DEPTH FOR TYPICAL LOT VARIES, REFER TO PLAN FOR LOT SIZES.



URBAN, LOCAL (PUBLIC)

SCALE: 1"=10'
(ROADS USING THIS SECTION: SANDBAGGER DRIVE, BOOGIE LANE, DUFFER LANE, HACKER LOOP, FRINGE STREET, DRIVER WAY, WEDGE TRAIL, FAIRWAY LOOP, LONG IRON PLACE, WHIFF WAY, GRAND SLAM CIRCLE, DOGLEG COURT, APRON LOOP, STICKS TERRACE, RAINMAKER TRAIL, ACE CIRCLE, SCOTCH LANE, FLATSTRIP PLACE, ROUGH TRAIL, FOOT WEDGE TRAIL, FORE LANE, RELOAD DRIVE, PARK COURT, GIMME WAY, PARK COURT, PUTTER PLACE, RANGE FINDER COURT, BUNKER TRAIL, PEACOCK PLACE, BACKSWING DRIVE, YANK CIRCLE, JUNGLE LOOP, DUCK HOOK LANE, CHUCK CIRCLE, BACKSWING DRIVE, SUNBLOCK TERRACE, BALLMARK COURT, TEE CIRCLE)



URBAN COLLECTOR (PUBLIC)

SCALE: 1"=10'
(ROADS USING THIS SECTION: HOLMES ROAD FROM STA. 10+00 - 98+00)

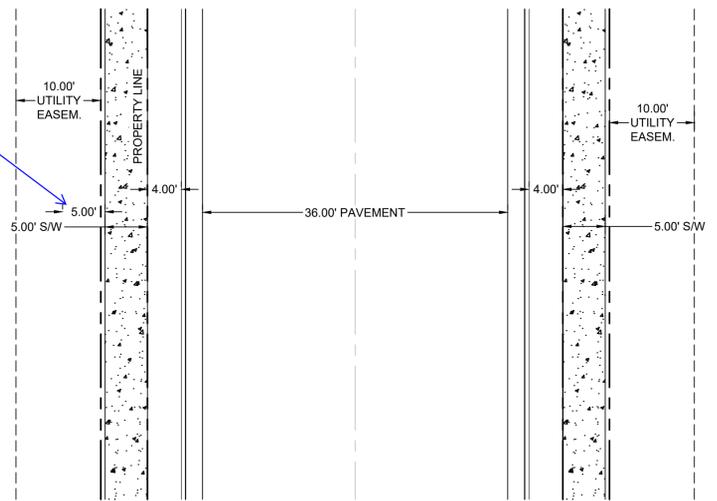
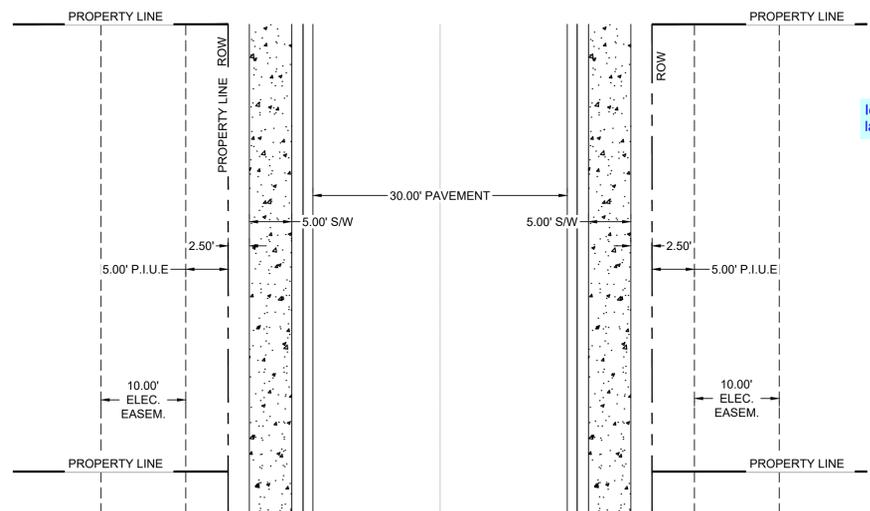
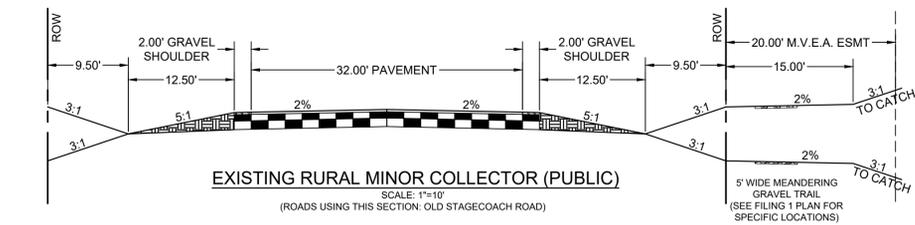
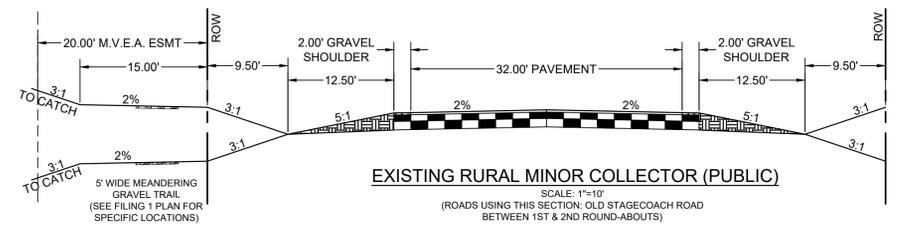
Add design and posted speed for both

Addressed: design speeds have been added

revise to Urban Residential Collector to match County nomenclature

Addressed

Addressed: removed mislabel Identify what this 5' label is for.



DRAWN BY: DLH JOB DATE: 11/8/2023 BAR IS ONE INCH ON OFFICIAL DRAWINGS.
 APPROVED: KMH JOB NUMBER: 211030 0
 CAD DATE: 11/8/2023 IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.
 CAD FILE: J:\2021\211030\CAD\DWG\CIPUD-PP1\typ_sections

NO.	DATE	BY	REVISION DESCRIPTION

HRGreen
 HR GREEN - COLORADO SPRINGS
 1975 RESEARCH PARKWAY SUITE 230
 COLORADO SPRINGS, CO 80920
 PHONE: 719.300.4140
 FAX: 719.965.0044

FLYING HORSE NORTH PHASE 2 PUD
 PRI #2, LLC.
 EL PASO COUNTY, CO

COVER & TYP. SECTIONS
 TYPICAL LOT SECTIONS

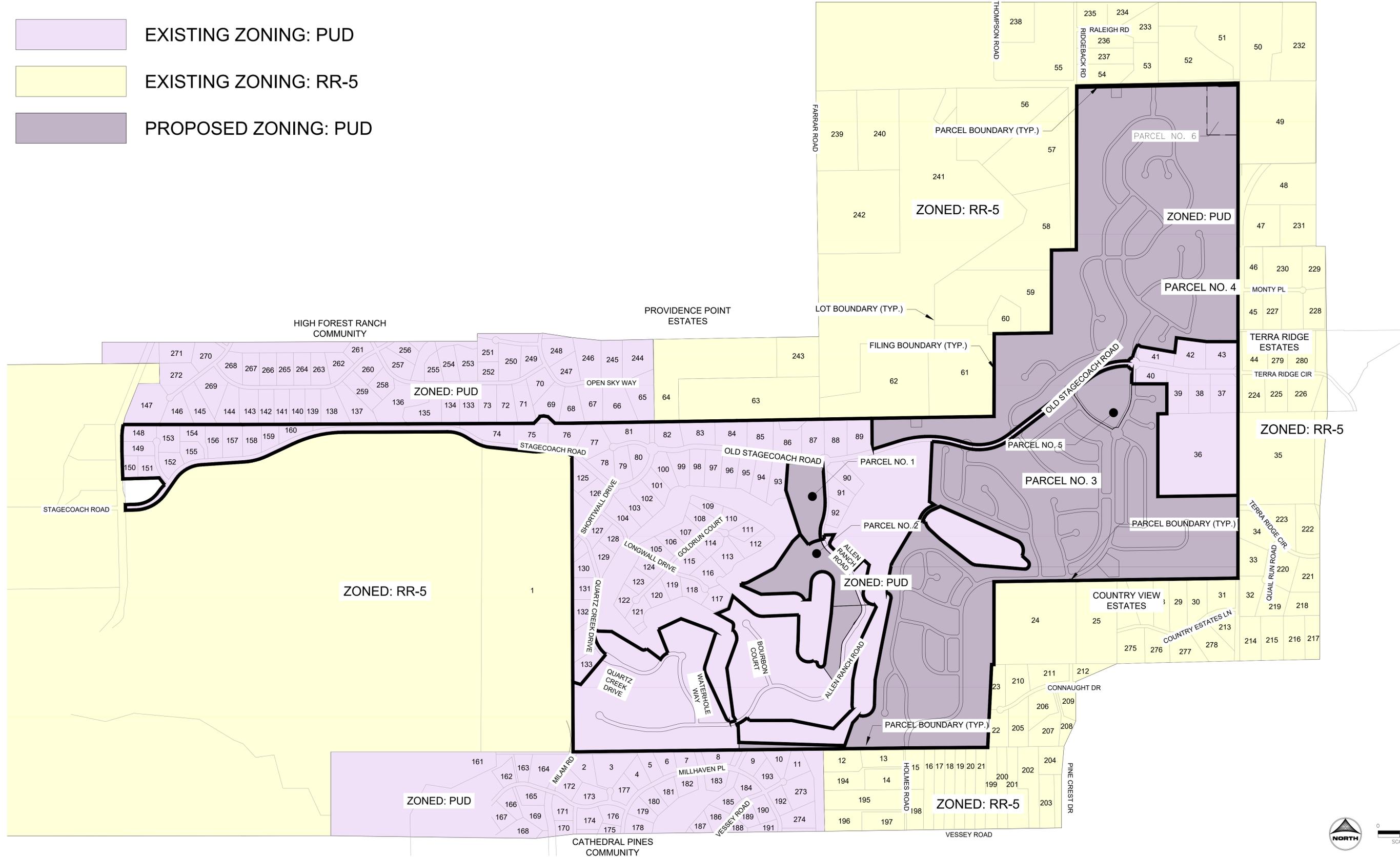
SHEET TYP 3

FLYING HORSE NORTH - PHASE 2 PUD / PRELIMINARY PLAN

A PORTION OF SECTIONS 34, 35 AND 36 TOWNSHIP 11 SOUTH, RANGE 66 WEST, AND A PORTION OF SECTIONS 30 AND 31, TOWNSHIP 11 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

LEGEND

- EXISTING ZONING: PUD
- EXISTING ZONING: RR-5
- PROPOSED ZONING: PUD



HERGER, DANIEL, 11/8/2023 3:37 PM

DRAWN BY: DLH JOB DATE: 11/8/2023
 APPROVED: KMH JOB NUMBER: 211030
 CAD DATE: 11/8/2023
 CAD FILE: J:\2021\211030\CAD\Drawings\CIPUD-PP\Adjacent_Property

NO.	DATE	BY	REVISION DESCRIPTION

HR GREEN - COLORADO SPRINGS
 1975 RESEARCH PARKWAY SUITE 230
 COLORADO SPRINGS, CO 80920
 PHONE: 719.300.4140
 FAX: 719.965.0044

FLYING HORSE NORTH PHASE 2 PUD
 PRI #2, LLC.
 EL PASO COUNTY, CO

PUD PRELIMINARY PLAN
 ADJACENT PROPERTY

SHEET
 ADJ 5

FLYING HORSE NORTH - PHASE 2 PUD / PRELIMINARY PLAN

A PORTION OF SECTIONS 34, 35 AND 36 TOWNSHIP 11 SOUTH, RANGE 66 WEST, AND A PORTION OF SECTIONS 30 AND 31, TOWNSHIP 11 SOUTH,
RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

- | | | | | | | | | |
|---|--|---|---|---|--|---|---|--|
| 1. SHAMROCK SS LLC
ZONING - RR-5
15555 HWY 83
COLORADO SPRINGS, CO | 19. RUPP JERRREY D
ZONED - RR-5
5970 VESSEY ROAD
COLORADO SPRINGS, CO | 37. DERKSEN PROPERTIES LLC
ZONED - PUD
6755 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 55. NAVARETTE JEANINE A
ZONED - RR-5
6280 HODGEN ROAD
COLORADO SPRINGS, CO | 72. JOHNSON LIVING TRUST
ZONED - PUD
4841 HIGH FOREST ROAD
COLORADO SPRINGS, CO | 90. PECK MICHAEL S
ZONED - PUD
5555 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 108. HENDRICKS JAMES
ZONED - PUD
5202 GOLD RUN COURT
COLORADO SPRINGS, CO | 126. HOWARTH WILLIAM
ZONED - PUD
15290 SHORTWALL DRIVE
COLORADO SPRINGS, CO | 144. DESAUTELS BRUCE T
ZONED - PUD
4661 HIDDEN ROCK ROAD
COLORADO SPRINGS, CO |
| 2. BRI J FAMILY TRUST
ZONED - PUD
4820 FOXCHASE WAY
COLORADO SPRINGS, CO | 20. LITTLETON STANLEY
ZONED - RR-5
6010 VESSEY ROAD
COLORADO SPRINGS, CO | 38. NGUYEN LINH T
ZONED - PUD
6715 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 56. ANDREWS SCOTT W
ZONED - RR-5
HODGEN ROAD
COLORADO SPRINGS, CO | 73. RAMIREZ MELODY B
ZONED - PUD
4781 HIGH FOREST ROAD
COLORADO SPRINGS, CO | 91. RENNEN LLC
ZONED - PUD
15331 ALLEN RANCH ROAD
COLORADO SPRINGS, CO | 109. C&C LIVING TRUST
ZONED - PUD
5232 GOLD RUN COURT
COLORADO SPRINGS, CO | 127. GERBER JOSEPH DAVID
ZONED - PUD
15262 SHORTWALL DRIVE
COLORADO SPRINGS, CO | 145. HOUSE JAMIE GLEN
ZONED - PUD
15575 WINDING TRAIL ROAD
COLORADO SPRINGS, CO |
| 3. PIASECKI NANCY L REVOC TRUST
ZONED - PUD
4940 FOXCHASE WAY
COLORADO SPRINGS, CO | 21. SWANSON BRECK C
ZONED - RR-5
6030 VESSEY ROAD
COLORADO SPRINGS, CO | 39. MONACO57 LIVING TRUST
ZONED - PUD
6675 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 57. DEIM CONNIE
ZONED - RR-5
SUNDANCE RANCH LANE
COLORADO SPRINGS, CO | 74. FOWLER NORMAN W
ZONED - PUD
4670 STAGECOACH ROAD
COLORADO SPRINGS, CO | 92. BOOGAARD RYAN
ZONED - PUD
15271 ALLEN RANCH ROAD
COLORADO SPRINGS, CO | 110. ALBRIGHT MARK PHILLIP
ZONED - PUD
5262 GOLD RUN COURT
COLORADO SPRINGS, CO | 128. COFFEY LAVANSON C III
ZONED - PUD
15192 SHORTWALL DRIVE
COLORADO SPRINGS, CO | 146. MATALIUS ANDREW J III
ZONED - PUD
15525 WINDING TRAIL ROAD
COLORADO SPRINGS, CO |
| 4. BRINGARD FAMILY LICING TRUST
ZONED - PUD
14465 MILLHAVEN PLACE
COLORADO SPRINGS, CO | 22. HOOKS GROUP LP
ZONED - RR-5
6005 CONNAUGHT DRIVE
COLORADO SPRINGS, CO | 40. ST HENRYS LLC
ZONED - PUD
6595 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 58. BR&C INC
ZONED - RR-5
30-11-65
COLORADO SPRINGS, CO | 75. OLSON TYRONE L
ZONED - PUD
4760 STAGECOACH ROAD
COLORADO SPRINGS, CO | 93. ALEXANDER SCOTT E
ZONED - PUD
5395 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 111. VILIESIS TRUST
ZONED - PUD
5292 GOLD RUN COURT
COLORADO SPRINGS, CO | 129. ST AUBYN JARED
ZONED - PUD
15233 QUARTZ CREEK DRIVE
COLORADO SPRINGS, CO | 147. WATSON RANDY
ZONED - PUD
15520 WINDING TRAIL ROAD
COLORADO SPRINGS, CO |
| 5. ALLAN NEAL A
ZONED - PUD
14425 MILLHAVEN PLACE
COLORADO SPRINGS, CO | 23. MCILRATH WILLIAM F TRUSTEE
ZONED - RR-5
6010 CONNAUGHT DRIVE
COLORADO SPRINGS, CO | 41. SMITH AARON
ZONED - PUD
6590 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 59. BR&C INC
ZONED - RR-5
30-11-65
COLORADO SPRINGS, CO | 76. JONES CHRISTOPHER P
ZONED - PUD
4850 STAGECOACH ROAD
COLORADO SPRINGS, CO | 94. CLAWSON MATTHEW R
ZONED - PUD
5355 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 112. SHOPTAUGH GLENN MARK
ZONED - PUD
5261 GOLD RUN COURT
COLORADO SPRINGS, CO | 130. MOMBER SIMON R
ZONED - PUD
15232 QUARTZ CREEK DRIVE
COLORADO SPRINGS, CO | 148. MARSHALL KARLYE
ZONED - PUD
15480 BILLINGS COURT
COLORADO SPRINGS, CO |
| 6. ALEX & AUTUMM SIMPSON
ZONED - PUD
14385 MILLHAVEN PLACE
COLORADO SPRINGS, CO | 24. WAY MARGARET E
ZONED - RR-5
14820 BLACK FOREST ROAD
COLORADO SPRINGS, CO | 42. HARRIS GEORGE D
ZONED - PUD
6670 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 60. CHEROKEE METROPOLITAN DISTRICT
ZONED - RR-5
30-11-65
COLORADO SPRINGS, CO | 77. WALTERS MICHAEL A
ZONED - PUD
4910 STAGECOACH ROAD
COLORADO SPRINGS, CO | 95. PLAISTOWE NORMAN H
ZONED - PUD
5315 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 113. VILLAGREE LLC
ZONED - PUD
5231 GOLD RUN COURT
COLORADO SPRINGS, CO | 131. SHABE ERIC M
ZONED - PUD
15182 QUARTZ CREEK DRIVE
COLORADO SPRINGS, CO | 149. VANCE ERZA G
ZONED - PUD
15450 BILLINGS COURT
COLORADO SPRINGS, CO |
| 7. MAITHILI VENKATACHALLAM
ZONED - PUD
14345 MILLHAVEN PLACE
COLORADO SPRINGS, CO | 25. ABELL LIVING TRUST
ZONED - RR-5
6620 COUNTRY ESTATES LANE
COLORADO SPRINGS, CO | 43. MCCGRATH DONALD T
ZONED - PUD
6750 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 61. SUNDANCE RANCH OF BLACK FOREST
ZONED - RR-5
HODGEN ROAD
COLORADO SPRINGS, CO | 78. YOUNG MICHAEL J
ZONED - PUD
4915 STAGECOACH ROAD
COLORADO SPRINGS, CO | 96. RAMPART ENTERPRISES INC
ZONED - PUD
5235 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 114. S&J TRUST
ZONED - PUD
5201 GOLD RUN COURT
COLORADO SPRINGS, CO | 132. ZACHAR MICHAEL R
ZONED - PUD
15132 QUARTZ CREEK DRIVE
COLORADO SPRINGS, CO | 150. PRI #2 LLC
ZONED - PUD
HIGHWAY 83
COLORADO SPRINGS, CO |
| 8. DULANEY KIMBERLY L
ZONED - PUD
14325 MILLHAVEN PLACE
COLORADO SPRINGS, CO | 26. HERRON PATRICK J
ZONED - RR-5
6650 COUNTRY ESTATES LANE
COLORADO SPRINGS, CO | 44. MIKUSKA ERIC
ZONED - RR-5
15645 TERRA RIDGE CIRCLE
COLORADO SPRINGS, CO | 62. SUNDANCE RANCH OF BLACK FOREST
ZONED - RR-5
HODGEN ROAD
COLORADO SPRINGS, CO | 79. DAY GREGORY
ZONED - PUD
4955 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 97. KELLY J PHELAN TRUST
ZONED - PUD
5155 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 115. CHAVEZ XAVIER D
ZONED - PUD
5141 GOLD RUN COURT
COLORADO SPRINGS, CO | 133. HARVEY SETH A
ZONED - PUD
15032 QUARTZ CREEK DRIVE
COLORADO SPRINGS, CO | 151. MCKENZIE J THOMAS
ZONED - PUD
15420 BILLINGS COURT
COLORADO SPRINGS, CO |
| 9. SMITH PAUL R
ZONED - PUD
14265 MILLHAVEN PLACE
COLORADO SPRINGS, CO | 27. ABELL LIVING TRUST
ZONED - RR-5
6620 COUNTRY ESTATES LANE
COLORADO SPRINGS, CO | 45. GARD DIANA M
ZONED - RR-5
6835 MONTY PLACE
COLORADO SPRINGS, CO | 63. SHELL JAMES R II
ZONED - RR-5
15550 FARRAR ROAD
COLORADO SPRINGS, CO | 80. RZONCA THADDEUS
ZONED - PUD
4995 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 98. WINGO JAMES D
ZONED - PUD
5115 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 116. DALY FAMILY TRUST
ZONED - PUD
14911 LONGWALL DRIVE
COLORADO SPRINGS, CO | 134. PITTS JOHN
ZONED - PUD
4661 HIGH FOREST ROAD
COLORADO SPRINGS, CO | 152. JONE LUCAS
ZONED - PUD
15419 BILLINGS COURT
COLORADO SPRINGS, CO |
| 10. ANDERSON MATTHEW P
ZONED - PUD
5025 VESSEY ROAD
COLORADO SPRINGS, CO | 28. COPPOCK AARON O
ZONED - RR-5
6680 COUNTRY ESTATES LANE
COLORADO SPRINGS, CO | 46. FRANKOVIS JESSE J
ZONED - RR-5
6840 MONTY PLACE
COLORADO SPRINGS, CO | 64. SHELL JAMES R II
ZONED - RR-5
15550 FARRAR ROAD
COLORADO SPRINGS, CO | 81. SIDWELL DUSTIN JEFFREY
ZONED - PUD
4990 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 99. KIM MICHAEL SANG-HAK
ZONED - PUD
5075 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 117. STIMPLE FAMILY LLLP
ZONED - PUD
14842 LONGWALL DRIVE
COLORADO SPRINGS, CO | 135. LAVEZZO NICHOLAS J
ZONED - PUD
1601 HIGH FOREST ROAD
COLORADO SPRINGS, CO | 153. ROGER WILLIAM T
ZONED - PUD
15479 BILLINGS COURT
COLORADO SPRINGS, CO |
| 11. ESPENLAUB ECTON
ZONED - PUD
4985 VESSEY ROAD
COLORADO SPRINGS, CO | 29. MACEDO JUAN H LOMEIL
ZONED - RR-5
6710 COUNTRY ESTATES LANE
COLORADO SPRINGS, CO | 47. OLIVAS SOCORRO J
ZONED - RR-5
6905 ALPACA HEIGHTS
COLORADO SPRINGS, CO | 65. BREWER GEORGE F II
ZONED - PUD
15501 OPEN SKY WAY
COLORADO SPRINGS, CO | 82. SPARKS DUSTIN R
ZONED - PUD
5070 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 100. TEUSCHER KURT
ZONED - PUD
5035 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 118. CREPS DARREL E III
ZONED - PUD
14912 LONGWALL DRIVE
COLORADO SPRINGS, CO | 136. HIGH FOREST RANCH HOMEOWNERS
ZONED - PUD
4541 HIGH FOREST ROAD
COLORADO SPRINGS, CO | 154. DOMBROWSKI MICHAEL J
ZONED - PUD
3680 STAGECOACH ROAD
COLORADO SPRINGS, CO |
| 12. DILLINGHAM MICHAEL V
ZONED - RR-5
14498 HOLMES ROAD
COLORADO SPRINGS, CO | 30. SOMBRIC WAYNE S
ZONED - RR-5
6740 COUNTRY ESTATES LANE
COLORADO SPRINGS, CO | 48. HILL DOUGLAS E
ZONED - RR-5
6910 ALPACA HEIGHTS
COLORADO SPRINGS, CO | 66. MONTGOMERY MONTIE C
ZONED - PUD
15547 OPEN SKY WAY
COLORADO SPRINGS, CO | 83. SPILLERS STEVEN HOWARD
ZONED - PUD
5150 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 101. DOWNS BRADLEY JAMES
ZONED - PUD
55305 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 119. CAIN JASON
ZONED - PUD
14982 LONGWALL DRIVE
COLORADO SPRINGS, CO | 137. SALGADO PAUL R
ZONED - PUD
4415 HIDDEN ROCK ROAD
COLORADO SPRINGS, CO | 155. ROBIN SCOTT BROWN LIVING TRUST
ZONED - PUD
3590 STAGECOACH ROAD
COLORADO SPRINGS, CO |
| 13. THOMAS JOHN K
ZONED - RR-5
14490 HOLMES ROAD
COLORADO SPRINGS, CO | 31. HOPSON SEAN
ZONED - RR-5
6770 COUNTRY ESTATES LANE
COLORADO SPRINGS, CO | 49. WHITNEY CHRISTOPHER D
ZONED - RR-5
16485 BLACK FOREST ROAD
COLORADO SPRINGS, CO | 67. RANGER CANDACE S LIVING TRUST
ZONED - PUD
15593 OPEN SKY WAY
COLORADO SPRINGS, CO | 84. PECK JAMES D
ZONED - PUD
5230 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 102. KAVERMAN JOSEPH A
ZONED - PUD
5215 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 120. DICKEY MICHAEL R
ZONED - PUD
5021 GOLD RUN CT
COLORADO SPRINGS, CO | 138. JOHNSON GREGG
ZONED - PUD
4365 HIDDEN ROCK ROAD
COLORADO SPRINGS, CO | 156. JACKOWIAK RYAN
ZONED - PUD
3770 STAGECOACH ROAD
COLORADO SPRINGS, CO |
| 14. ERNST CHARLES H
ZONED - RR-5
14410 HOMES ROAD
COLORADO SPRINGS, CO | 32. MCKINLEY DAVID R
ZONED - RR-5
14920 QUAIL RUN ROAD
COLORADO SPRINGS, CO | 50. BERENS MARK E
ZONED - RR-5
6850 HODGEN ROAD
COLORADO SPRINGS, CO | 68. JANNELLE EVA ALLEN REVOCABLE TRUST
ZONED - PUD
15639 OPEN SKY WAY
COLORADO SPRINGS, CO | 85. WELLER ERICH G
ZONED - PUD
5310 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 103. PIEPER RANDALL L
ZONED - PUD
5125 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 121. LIDDIARD JEREMY
ZONED - PUD
5013 GOLD RUN CT
COLORADO SPRINGS, CO | 139. ROMANS LIVING TRUST
ZONED - PUD
4315 HIDDEN ROCK ROAD
COLORADO SPRINGS, CO | 157. BALSICK LUKE A
ZONED - PUD
3860 STAGECOACH ROAD
COLORADO SPRINGS, CO |
| 15. WAUGH JOSHUA T
ZONED - RR-5
14445 HOLMES ROAD
COLORADO SPRINGS, CO | 33. WINNINGHAM AARON JASON
ZONED - RR-5
14940 QUAIL RUN ROAD
COLORADO SPRINGS, CO | 51. MOLES JUSTIN
ZONED - RR-5
16550 BLACK FOREST ROAD
COLORADO SPRINGS, CO | 69. STUDHOLME FAMILY TRUST
ZONED - PUD
15685 OPEN SKY WAY
COLORADO SPRINGS, CO | 86. LAM TU T
ZONED - PUD
5390 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 104. SHECTER TRUST
ZONED - PUD
15291 LONGWALL DRIVE
COLORADO SPRINGS, CO | 122. MILLER SCOTT G
ZONED - PUD
5012 GOLD RUN CT
COLORADO SPRINGS, CO | 140. RYAN CHRISTOPHER J
ZONED - PUD
4265 HIDDEN ROCK ROAD
COLORADO SPRINGS, CO | 158. HIMES ELMER S
ZONED - PUD
3950 STAGECOACH ROAD
COLORADO SPRINGS, CO |
| 16. HOFFPAUIR DAN W JR
ZONED - RR-5
14495 HOMES ROAD
COLORADO SPRINGS, CO | 34. LYNDE ROBERT A
ZONED - RR-5
15015 TERRA RIDGE CIRCLE
COLORADO SPRINGS, CO | 52. MUNSON BRANDON J
ZONED - RR-5
16710 BLACK FOREST ROAD
COLORADO SPRINGS, CO | 70. MAHER FAMILY REVOC LIVING TRUST
ZONED - PUD
4961 HIGH FOREST ROAD
COLORADO SPRINGS, CO | 87. LUERS BEACH LLC
ZONED - PUD
5470 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 105. CHRISTOPHER MICHAEL MARSHALL
ZONED - PUD
15051 LONGWALL DRIVE
COLORADO SPRINGS, CO | 123. BRENNAN THOMAS LIVING TRUST
ZONED - PUD
5022 GOLD RUN CT
COLORADO SPRINGS, CO | 141. MARY CLAUDE F TRUSTEE
ZONED - PUD
4215 HIDDEN ROCK ROAD
COLORADO SPRINGS, CO | 159. OTERO THEODOAORE M III
ZONED - PUD
4040 STAGECOACH ROAD
COLORADO SPRINGS, CO |
| 17. SELF BOB J
ZONED - RR-5
5910 VESSEY ROAD
COLORADO SPRINGS, CO | 35. SPLIT PINE RANCH LIVING TRUST
ZONED - RR-5
15385 BLACK FOREST ROAD
COLORADO SPRINGS, CO | 53. MILLER ROBERT S
ZONED - RR-5
6520 HODGEN ROAD
COLORADO SPRINGS, CO | 71. STEPHENSON TRAVIS
ZONED - PUD
4901 HIGH FOREST ROAD
COLORADO SPRINGS, CO | 88. GREENWOOD TAYLOR J
ZONED - PUD
5550 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 106. BECKER JACOB J
ZONED - PUD
5142 GOLD RUN COURT
COLORADO SPRINGS, CO | 124. WINTER CHARLES C
ZONED - PUD
5082 GOLD RUN CT
COLORADO SPRINGS, CO | 142. STREVELL MICHAEL W
ZONED - PUD
4165 HIDDEN ROCK ROAD
COLORADO SPRINGS, CO | 160. HARRIS GUY MCALLISTER
ZONED - PUD
4130 STAGECOACH ROAD
COLORADO SPRINGS, CO |
| 18. JONES INGRID L
ZONED - RR-5
5940 VESSEY ROAD
COLORADO SPRINGS, CO | 36. APODAC A LESLIE E
ZONED - RR-5
15380 BLACK FOREST ROAD
COLORADO SPRINGS, CO | 54. JOHN R SHANTZ & BELINDA S
ZONED - RR-5
16547 RIDGEBACK ROAD
COLORADO SPRINGS, CO | 72. JOHNSON LIVING TRUST
ZONED - PUD
4841 HIGH FOREST ROAD
COLORADO SPRINGS, CO | 89. LONG RUSSEL I
ZONED - PUD
5630 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 107. KEV PARTNERS LTD
ZONED - PUD
5172 GOLD RUN COURT
COLORADO SPRINGS, CO | 125. THEOBARD CHARLES N
ZONED - PUD
4945 STAGECOACH ROAD
COLORADO SPRINGS, CO | 143. GOULD TODD E
ZONED - PUD
4115 HIDDEN ROCK ROAD
COLORADO SPRINGS, CO | |

COUNTY FILE NUMBER: SKP223

DRAWN BY: JAG JOB DATE: 11/3/2023
 APPROVED: PLS JOB NUMBER: 211030
 CAD DATE: 11/8/2023
 CAD FILE: J:\2021\211030\CAD\DWG\CIPUD-PP\Adjacent_Property

NO.	DATE	BY	REVISION DESCRIPTION

HR GREEN - COLORADO SPRINGS
 1975 RESEARCH PARKWAY SUITE 230
 COLORADO SPRINGS, CO 80920
 PHONE: 719.300.4140
 FAX: 713.965.0044

FLYING HORSE NORTH PHASE 2 PUD
 PRI #2, LLC.
 EL PASO COUNTY, CO

PUD PRELIMINARY PLAN
 ADJACENT OWNERS

SHEET
 ADJ 6

HERGER, DANIEL, 11/08/2023 3:13 PM
 HR GREEN Xref: EX-Plat: 1030, ac-row-030, 201, ac-row-030, 202, Parcel_Boundary

FLYING HORSE NORTH - PHASE 2 PUD / PRELIMINARY PLAN

A PORTION OF SECTIONS 34, 35 AND 36 TOWNSHIP 11 SOUTH, RANGE 66 WEST, AND A PORTION OF SECTIONS 30 AND 31, TOWNSHIP 11 SOUTH,
RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

- | | | | | | | | |
|--|---|---|---|---|---|---|--|
| <p>161. RED HORSE HILL LLC
ZONED - PUD
AUNDERTON GRV
COLORADO SPRINGS, CO</p> | <p>179. KROEKER KARL
ZONED - PUD
14510 MILLHAVEN PLACE
COLORADO SPRINGS, CO</p> | <p>197. STELZEL DANIEL M
ZONED - RR-5
14290 HOLMES ROAD
COLORADO SPRINGS, CO</p> | <p>215. WESTOVER HOMES LLC
ZONED - RR-5
6902 MARSHBERN COURT
COLORADO SPRINGS, CO</p> | <p>233. SAVAGE JORDAN L
ZONED - RR-5
6498 RALEIGH ROAD
COLORADO SPRINGS, CO</p> | <p>251. PRIBBLE FAMILY LIVING TRUST
ZONED - RR-5
4601 SECLUDED CREEK COURT
COLORADO SPRINGS, CO</p> | <p>269. PAESCHKE TRACY
ZONED - RR-5
4015 HIDDEN ROCK ROAD
COLORADO SPRINGS, CO</p> | <p>DANIEL W LULCHUK
6790 CONNAUGHT DRIVE
COLORADO SPRINGS, CO 80908</p> |
| <p>162. WILKINSON SUZANNE ELIZABETH
ZONED - PUD
4540 FOXCHASE WAY
COLORADO SPRINGS, CO</p> | <p>180. COLOSSEE PARTNERS LLLP
ZONED - PUD
14470 MILLHAVEN PLACE
COLORADO SPRINGS, CO</p> | <p>198. MCGOWAN PATRICK J JR
ZONED - RR-5
14355 HOLMES ROAD
COLORADO SPRINGS, CO</p> | <p>216. WESTOVER HOMES LLC
ZONED - RR-5
6986 MARSHBERN COURT
COLORADO SPRINGS, CO</p> | <p>234. CONNOLLY ANDREW
ZONED - RR-5
6442 RALEIGH ROAD
COLORADO SPRINGS, CO</p> | <p>252. CHAMBERS MARK L
ZONED - RR-5
4782 HIGH FOREST ROAD
COLORADO SPRINGS, CO</p> | <p>270. OLSEN TODD A
ZONED - RR-5
3985 CANOPY COURT
COLORADO SPRINGS, CO</p> | <p>ROBERT MELANSON
14725 BLACK FOREST ROAD
COLORADO SPRINGS, CO 80908</p> |
| <p>163. JOHNSON SAM CHRISTOPHER
ZONED - PUD
4580 FOXCHASE WAY
COLORADO SPRINGS, CO</p> | <p>181. SEDDON JOHN TA
ZONED - PUD
14390 MILLHAVEN PLACE
COLORADO SPRINGS, CO</p> | <p>199. WANTY LISA M
ZONED - RR-5
6060 VESSEY ROAD
COLORADO SPRINGS, CO</p> | <p>217. WESTOVER HOMES LLC
ZONED - RR-5
7070 MARSHBERN COURT
COLORADO SPRINGS, CO</p> | <p>235. VOLK SETH K
ZONED - RR-5
6386 RALEIGH ROAD
COLORADO SPRINGS, CO</p> | <p>253. MURROW RICHARD C TRUST
ZONED - RR-5
4722 HIGH FOREST ROAD
COLORADO SPRINGS, CO</p> | <p>271. DAHILL DEVIN
ZONED - RR-5
3955 CANOPY COURT
COLORADO SPRINGS, CO</p> | <p>ERIC MIKUSKA
15645 TERRA RIDGE CIRCLE
COLORADO SPRINGS, CO 80908</p> |
| <p>164. S&BT LIVING TRUST
ZONED - PUD
4660 FOXCHASE WAY
COLORADO SPRINGS, CO</p> | <p>182. MEDRICK JAMES G
ZONED - PUD
14350 MILLHAVEN PLACE
COLORADO SPRINGS, CO</p> | <p>200. HAYES MARK G
ZONED - RR-5
6090 VESSEY ROAD
COLORADO SPRINGS, CO</p> | <p>218. ELLSWORTH FRANK F
ZONED - RR-5
15105 TERRA RIDGE CIRCLE
COLORADO SPRINGS, CO</p> | <p>236. GIBB RONALD JESSE
ZONED - RR-5
6387 RALEIGH ROAD
COLORADO SPRINGS, CO</p> | <p>254. MOORE DAVID S
ZONED - RR-5
4662 HIGH FOREST ROAD
COLORADO SPRINGS, CO</p> | <p>272. CASE FAMILY REVOC LIVING TRUST
ZONED - RR-5
15570 WINDING TRAIL ROAD
COLORADO SPRINGS, CO</p> | <p>ANTHONY A PALAZZARI
6250 CONNAUGHT DRIVE
COLORADO SPRINGS, CO 80908</p> |
| <p>165. CURRAN LARRY DAVID
ZONED - PUD
4615 FOXCHASE WAY
COLORADO SPRINGS, CO</p> | <p>183. JAIN RUPESH
ZONED - PUD
14320 MILLHAVEN PLACE
COLORADO SPRINGS, CO</p> | <p>201. DOLES THOMAS ALBERT
ZONED - RR-5
6130 VESSEY ROAD
COLORADO SPRINGS, CO</p> | <p>219. DENNIS REBECCA L
ZONED - RR-5
14915 QUAIL RUN ROAD
COLORADO SPRINGS, CO</p> | <p>237. SAVAGE JORDAN L
ZONED - RR-5
16587 RIDGEBACK ROAD
COLORADO SPRINGS, CO</p> | <p>255. CIABARRA JAIMIE K
ZONED - RR-5
4602 HIGH FOREST ROAD
COLORADO SPRINGS, CO</p> | <p>273. PARKER JEFFREY
ZONED - RR-5
5030 VESSEY ROAD
COLORADO SPRINGS, CO</p> | <p>PETER G RODAS
6305 CONNAUGHT DRIVE
COLORADO SPRINGS, CO 80908</p> |
| <p>166. LEE MARVIN
ZONED - PUD
4455 FOXCHASE WAY
COLORADO SPRINGS, CO</p> | <p>184. KLAIBER LIVING TRUST
ZONED - PUD
14230 MILLHAVEN PLACE
COLORADO SPRINGS, CO</p> | <p>202. ELLEN KLEIN LIVING TRUST
ZONED - RR-5
6180 VESSEY ROAD
COLORADO SPRINGS, CO</p> | <p>220. JAMES P REEG REVOCABLE TRUST
ZONED - RR-5
14935 QUAIL RUN ROAD
COLORADO SPRINGS, CO</p> | <p>238. BISHOP BARBARA K
ZONED - RR-5
16755 THOMPSON ROAD
COLORADO SPRINGS, CO</p> | <p>256. VAN AUKEN LIVING TRUST
ZONED - RR-5
4715 HIDDEN ROCK ROAD
COLORADO SPRINGS, CO</p> | <p>274. TERESA L FERGUSON LIVING TRUST
ZONED - RR-5
14145 MILLHAVEN PLACE
COLORADO SPRINGS, CO</p> | <p>ERIC J ROWE
6670 CONNAUGHT DRIVE
COLORADO SPRINGS, CO 80908</p> |
| <p>167. JASMIN TREMBLAY REVOCABLE TRUST
ZONED - PUD
4415 FOXCHASE WAY
COLORADO SPRINGS, CO</p> | <p>185. SEXTON KENNETH R
ZONED - PUD
5225 VESSEY ROAD
COLORADO SPRINGS, CO</p> | <p>203. BRADBURY DAVID J
ZONED - RR-5
6220 VESSEY ROAD
COLORADO SPRINGS, CO</p> | <p>221. FELLAR DENNIS W
ZONED - RR-5
15095 TERRA RIDGE CIRCLE
COLORADO SPRINGS, CO</p> | <p>239. DUNSTON MATTHEW W
ZONED - RR-5
5525 HODGEN ROAD
COLORADO SPRINGS, CO</p> | <p>257. BRAY THEODORE C
ZONED - RR-5
4482 HIGH FOREST ROAD
COLORADO SPRINGS, CO</p> | <p>275. HOLLINGSWORTH KIMBERLEY
ZONED - RR-5
6625 COUNTRY ESTATES LANE
COLORADO SPRINGS, CO</p> | <p>RYE LLC
16755 HAPPY LANDING MONUMENT, CO 80132</p> |
| <p>168. EVANS LIVING TRUST
ZONED - PUD
14190 MARBLE ARCH COURT
COLORADO SPRINGS, CO</p> | <p>186. POPE MARK S
ZONED - PUD
5265 VESSEY ROAD
COLORADO SPRINGS, CO</p> | <p>204. STEWART ANTHONY NEIL
ZONED - RR-5
14450 PINE CREST DRIVE
COLORADO SPRINGS, CO</p> | <p>222. HUTCHINS-VAN TASSEL LESLIE
ZONED - RR-5
15090 TERRA RIDGE CIRCLE
COLORADO SPRINGS, CO</p> | <p>240. LAVALLEY BRANDON DALE
ZONED - RR-5
5735 HODGEN ROAD
COLORADO SPRINGS, CO</p> | <p>258. CICCONE LYNDA M
ZONED - RR-5
4481 HIGH FOREST ROAD
COLORADO SPRINGS, CO</p> | <p>276. BURST DAVID K
ZONED - RR-5
6655 COUNTRY ESTATES LANE
COLORADO SPRINGS, CO</p> | <p>MARK A SLUTZ
14145 MILLHAVEN PLACE
COLORADO SPRINGS, CO 80908</p> |
| <p>169. TAYLOR CHRISTINA MARIE
ZONED - PUD
4535 FOXCHASE WAY
COLORADO SPRINGS, CO</p> | <p>187. ALDER FAMILY TRUST
ZONED - PUD
5345 VESSEY ROAD
COLORADO SPRINGS, CO</p> | <p>205. CHAMBERS REVOCABLE TRUST
ZONED - RR-5
6065 CONNAUGHT DRIVE
COLORADO SPRINGS, CO</p> | <p>223. FERL DIANE F
ZONED - RR-5
15010 TERRA RIDGE CIRCLE
COLORADO SPRINGS, CO</p> | <p>241. STEARNS KRYSTAL
ZONED - RR-5
HODGEN ROAD
COLORADO SPRINGS, CO</p> | <p>259. CICCONE LYNDA M
ZONED - RR-5
4481 HIGH FOREST ROAD
COLORADO SPRINGS, CO</p> | <p>277. PIRTLE CYNTHIA K
ZONED - RR-5
6685 COUNTRY ESTATES LANE
COLORADO SPRINGS, CO</p> | <p>JEFFREY B SMITH
13925 HIGHWAY 83
COLORADO SPRINGS, CO 80921</p> |
| <p>170. LUTHY ROBERT EDWARD
ZONED - PUD
14250 FARNHAM ROYAL COURT
COLORADO SPRINGS, CO</p> | <p>188. LNB FAMILY TRUST
ZONED - PUD
5270 VESSEY ROAD
COLORADO SPRINGS, CO</p> | <p>206. CARTER THOMAS J
ZONED - RR-5
6125 CONNAUGHT DRIVE
COLORADO SPRINGS, CO</p> | <p>224. CHAFFEE GREGORY B
ZONED - RR-5
15650 TERRA RIDGE CIRCLE
COLORADO SPRINGS, CO</p> | <p>242. STEARNS KRYSTAL
ZONED - RR-5
FARRAR DRIVE
COLORADO SPRINGS, CO</p> | <p>260. STONESTREET JOHN B
ZONED - RR-5
4515 HIDDEN ROCK ROAD
COLORADO SPRINGS, CO</p> | <p>278. TWOMBLY MARCI
ZONED - RR-5
6715 COUNTRY ESTATES LANE
COLORADO SPRINGS, CO</p> | <p>BART W TIMM
14695 BLACK FOREST ROAD
COLORADO SPRINGS, CO 80908</p> |
| <p>171. BEHNKEN CHAD L
ZONED - PUD
4735 FOXCHASE WAY
COLORADO SPRINGS, CO</p> | <p>189. RAYMOND CHARLES DENT JR.
ZONED - PUD
5230 VESSEY ROAD
COLORADO SPRINGS, CO</p> | <p>207. MOREAU WILLIAM J
ZONED - RR-5
6185 CONNAUGHT DRIVE
COLORADO SPRINGS, CO</p> | <p>225. PETERSON JEFFREY L
ZONED - RR-5
15610 TERRA RIDGE CIRCLE
COLORADO SPRINGS, CO</p> | <p>243. HARVEY TINA MARIE
ZONED - RR-5
15975 FARRAR DRIVE
COLORADO SPRINGS, CO</p> | <p>261. OLIVIAS RAYMOND B
ZONED - RR-5
4301 HIGH FOREST ROAD
COLORADO SPRINGS, CO</p> | <p>279. SUMPTER JUSTIN MICHAEL
ZONED - RR-5
15605 TERRA RIDGE CIRCLE
COLORADO SPRINGS, CO</p> | <p>KEVIN J VIDER
6365 CONNAUGHT DRIVE
COLORADO SPRINGS, CO 80908</p> |
| <p>172. SWARTHOUT ANDREW T
ZONED - PUD
4740 FOXCHASE WAY
COLORADO SPRINGS, CO</p> | <p>190. KOSZEWNIK JOHN JOSEPH
ZONED - PUD
5190 VESSEY ROAD
COLORADO SPRINGS, CO</p> | <p>208. MOREAU WILLIAM J
ZONED - RR-5
6245 CONNAUGHT DRIVE
COLORADO SPRINGS, CO</p> | <p>226. MCLELLAN CHRISTOPHER S
ZONED - RR-5
15570 TERRA RIDGE CIRCLE
COLORADO SPRINGS, CO</p> | <p>244. HARVEY CAROLYN C
ZONED - RR-5
15502 OPEN SKY WAY
COLORADO SPRINGS, CO</p> | <p>262. SUTHERLAND STEPHEN ARTHUR
ZONED - RR-5
4460 HIDDEN ROCK ROAD
COLORADO SPRINGS, CO</p> | <p>280. DAVIS MARK K
ZONED - RR-5
15565 TERRA RIDGE CIRCLE
COLORADO SPRINGS, CO</p> | <p>SCOTT W ANDREWS
PO BOX 158
USAF ACADEMY, CO 80840</p> |
| <p>173. ERLING BRIAN F
ZONED - PUD
4780 FOXCHASE WAY
COLORADO SPRINGS, CO</p> | <p>191. ENEA STEVEN A
ZONED - PUD
14150 MILLHAVEN PLACE
COLORADO SPRINGS, CO</p> | <p>209. RODAS PETER G
ZONED - RR-5
6305 CONNAUGHT DRIVE
COLORADO SPRINGS, CO</p> | <p>227. BARR RHONDA LYN
ZONED - RR-5
6915 MONTY PLACE
COLORADO SPRINGS, CO</p> | <p>245. ROEHRICH DN FAMILY TRUST
ZONED - RR-5
15548 OPEN SKY WAY
COLORADO SPRINGS, CO</p> | <p>263. WEBER CHARLES L
ZONED - RR-5
4360 HIDDEN ROCK ROAD
COLORADO SPRINGS, CO</p> | <p>CHRISTOPHER A BOWMAN
6425 CONNAUGHT DRIVE
COLORADO SPRINGS, CO 80908</p> | <p>GREGORY B CHAFFEE
15650 TERRA RIDGE CIRCLE
COLORADO SPRINGS, CO 80908</p> |
| <p>174. ARORA PRATHEEP
ZONED - PUD
14285 FARNHAM ROYAL COURT
COLORADO SPRINGS, CO</p> | <p>192. KARL C & DAWN M FINDLEY
ZONED - PUD
5070 VESSEY ROAD
COLORADO SPRINGS, CO</p> | <p>210. DAWSON FAMILY TRUST
ZONED - RR-5
6070 CONNAUGHT DRIVE
COLORADO SPRINGS, CO</p> | <p>228. KHALIQI DAVID H
ZONED - RR-5
6985 MONTY PLACE
COLORADO SPRINGS, CO</p> | <p>246. JAMES F BREGGIO LIVING TRUST
ZONED - RR-5
15594 OPEN SKY WAY
COLORADO SPRINGS, CO</p> | <p>264. NELSON NORMAN D
ZONED - RR-5
4260 HIDDEN ROCK ROAD
COLORADO SPRINGS, CO</p> | <p>AARON O COPPOCK
6680 COUNTRY ESTATES LANE
COLORADO SPRINGS, CO 80908</p> | <p>DERKSEN PROPERTIES LLC
5491 PADDINGTON CREEK
COLORADO SPRINGS, CO 80924</p> |
| <p>175. ROSENBAUM DAVID A REVOC TRUST
ZONED - PUD
14585 MILLHAVEN PLACE
COLORADO SPRINGS, CO</p> | <p>193. MURPHY ROBERT C JR
ZONED - PUD
5065 VESSEY ROAD
COLORADO SPRINGS, CO</p> | <p>211. PALAZZARI ANTHONY A
ZONED - RR-5
6250 CONNAUGHT DRIVE
COLORADO SPRINGS, CO</p> | <p>229. ANDREWS TODD
ZONED - RR-5
6990 MONTY PLACE
COLORADO SPRINGS, CO</p> | <p>247. CARPER CHRISTOPHER
ZONED - RR-5
15686 OPEN SKY WAY
COLORADO SPRINGS, CO</p> | <p>265. JOHNSON TRACIE LIVING TRUST
ZONED - RR-5
4210 HIDDEN ROCK ROAD
COLORADO SPRINGS, CO</p> | <p>JOHN R AND BELINDA SHANTZ
2651 19TH AVE
KINGSBURG, CA 93631</p> | |
| <p>176. KELLY LIVING TRUST
ZONED - PUD
4975 FOXCHASE WAY
COLORADO SPRINGS, CO</p> | <p>194. HAWKINS JOSEPH C JR
ZONED - RR-5
14450 HOLMES ROAD
COLORADO SPRINGS, CO</p> | <p>212. TRUMP CAROLYN D
ZONED - RR-5
6370 CONNAUGHT DRIVE
COLORADO SPRINGS, CO</p> | <p>230. LEVY JOEL D
ZONED - RR-5
6950 MONTY PLACE
COLORADO SPRINGS, CO</p> | <p>248. COYLE JOHN MORGAN LIVING TRUST
ZONED - RR-5
15778 OPEN SKY WAY
COLORADO SPRINGS, CO</p> | <p>266. BREWER STEVEN W
ZONED - RR-5
4160 HIDDEN ROCK ROAD
COLORADO SPRINGS, CO</p> | <p>FRANZ CHRISTOPHER A
ZONED - RR-5
4010 HIDDEN ROCK ROAD
COLORADO SPRINGS, CO</p> | |
| <p>177. FLEMING FAMILY LIVING TRUST
ZONED - PUD
14505 MILLHAVEN PLACE
COLORADO SPRINGS, CO</p> | <p>195. KRISTY MICHAEL H
ZONED - RR-5
14350 HOLMES ROAD
COLORADO SPRINGS, CO</p> | <p>213. CORBETT NORMAN
ZONED - RR-5
6745 COUNTY ESTATES LANE
COLORADO SPRINGS, CO</p> | <p>231. SANCHEZ LAISSA
ZONED - RR-5
6925 ALPACA HEIGHTS
COLORADO SPRINGS, CO</p> | <p>249. JONES CHARLES D
ZONED - RR-5
4781 SECLUDED CREEK COURT
COLORADO SPRINGS, CO</p> | <p>267. WOGEN BRYAN
ZONED - RR-5
4110 HIDDEN ROCK ROAD
COLORADO SPRINGS, CO</p> | <p>268. FRANZ CHRISTOPHER A
ZONED - RR-5
4010 HIDDEN ROCK ROAD
COLORADO SPRINGS, CO</p> | |
| <p>178. LONGHORNS 07 TURST
ZONED - PUD
14550 MILLHAVEN PLACE
COLORADO SPRINGS, CO</p> | <p>196. GARLICK JEFFREY
ZONED - RR-5
14320 HOLMES ROAD
COLORADO SPRINGS, CO</p> | <p>214. BAHR JACOB
ZONED - RR-5
6818 MARSHBERN COURT
COLORADO SPRINGS, CO</p> | <p>232. ENGET AARON
ZONED - RR-5
6950 HODGEN ROAD
COLORADO SPRINGS, CO</p> | <p>250. SELVA MICHAEL D
ZONED - RR-5
4691 SECLUDED CREEK COURT
COLORADO SPRINGS, CO</p> | <p>268. FRANZ CHRISTOPHER A
ZONED - RR-5
4010 HIDDEN ROCK ROAD
COLORADO SPRINGS, CO</p> | <p>268. FRANZ CHRISTOPHER A
ZONED - RR-5
4010 HIDDEN ROCK ROAD
COLORADO SPRINGS, CO</p> | |

COUNTY FILE NUMBER: SKP223

DRAWN BY: JAG JOB DATE: 11/3/2023
 APPROVED: PLS JOB NUMBER: 211030
 CAD DATE: 11/8/2023
 CAD FILE: J:\2021\211030\CAD\DWG\CIPUD-PP\Adjacent_Property

BAR IS ONE INCH ON OFFICIAL DRAWINGS.
 IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.

NO.	DATE	BY	REVISION DESCRIPTION

HR GREEN - COLORADO SPRINGS
 1975 RESEARCH PARKWAY SUITE 230
 COLORADO SPRINGS, CO 80920
 PHONE: 719.300.4140
 FAX: 713.965.0044

**FLYING HORSE NORTH PHASE 2 PUD
PRI #2, LLC.**
EL PASO COUNTY, CO

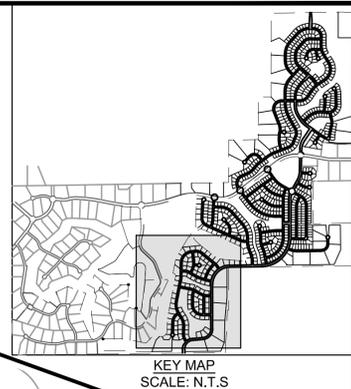
PUD PRELIMINARY PLAN
ADJACENT OWNERS

SHEET
ADJ
7

HERGER, DANIEL, 11/08/2023 3:14 PM

FLYING HORSE NORTH - PHASE 2 PUD / PRELIMINARY PLAN

A PORTION OF SECTIONS 34, 35 AND 36 TOWNSHIP 11 SOUTH,
RANGE 66 WEST, AND A PORTION OF SECTIONS 30 AND 31, TOWNSHIP 11 SOUTH,
RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

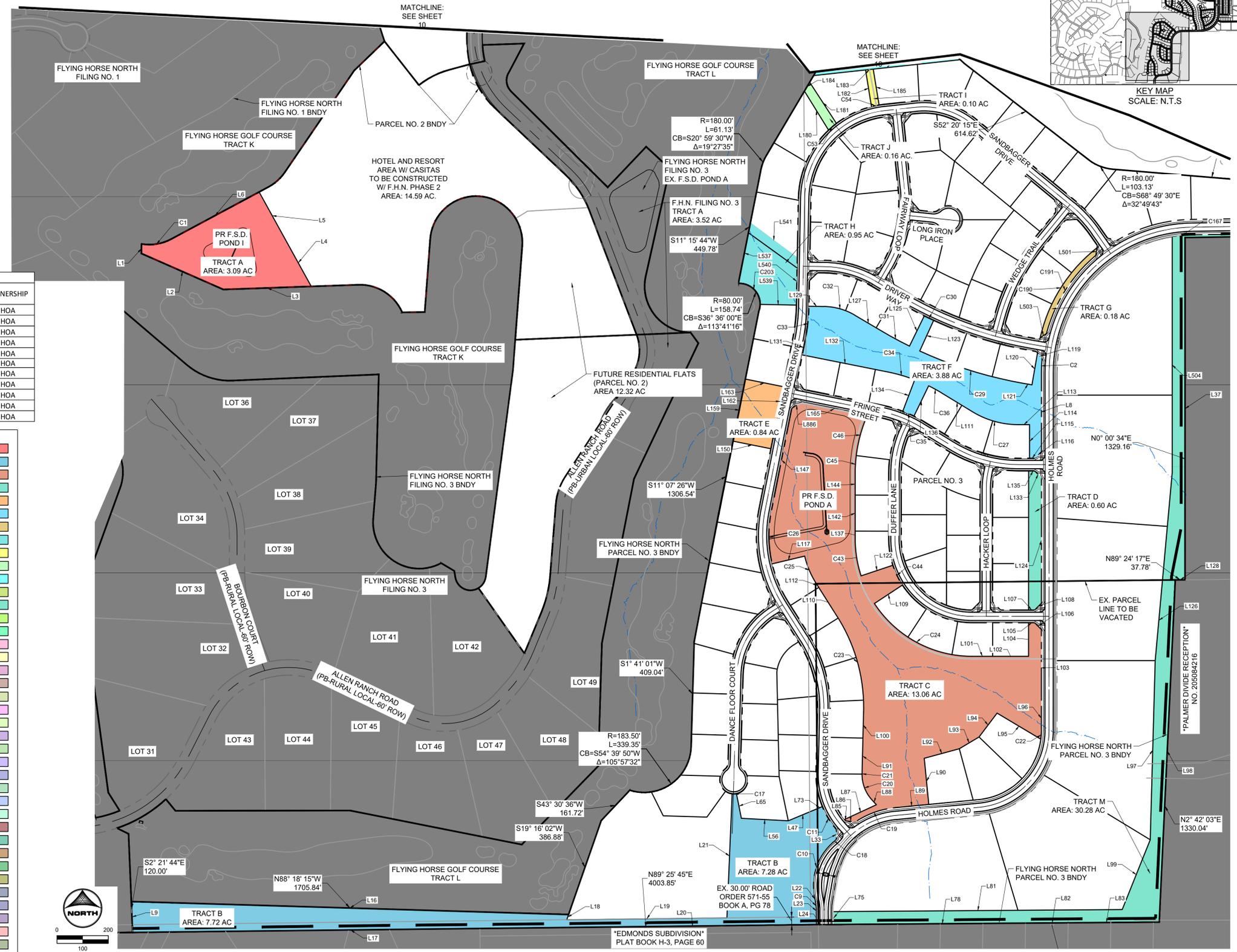


FLYING HORSE NORTH FILING 4 - TRACT TABLE

TRACT NAME	AREA (SF)	AREA (AC)	PUBLIC IMPROVEMENTS	PUBLIC UTILITIES	PRIVATE DRAINAGE	LANDSCAPING	PARK	SIGNAGE	MAINTENANCE	OWNERSHIP
A	134,600	3.09			X	X		X	HOA	HOA
B	317,117	7.28	X	X	X				HOA	HOA
C	568,894	13.06	X		X	X			HOA	HOA
D	26,136	0.60			X	X			HOA	HOA
E	36,590	0.84	X		X	X	X	X	HOA	HOA
F	169,013	3.88			X	X		X	HOA	HOA
G	7,841	0.18				X			HOA	HOA
H	41,382	0.95			X	X	X	X	HOA	HOA
I	4,356	0.10			X	X	X	X	HOA	HOA
J	6,970	0.16		X		X	X	X	HOA	HOA
M	1,318,997	30.28	X	X	X	X	X	X	HOA	HOA

TRACT LEGEND

TRACT A	[Color]
TRACT B	[Color]
TRACT C	[Color]
TRACT D	[Color]
TRACT E	[Color]
TRACT F	[Color]
TRACT G	[Color]
TRACT H	[Color]
TRACT I	[Color]
TRACT J	[Color]
TRACT K	[Color]
TRACT L	[Color]
TRACT M	[Color]
TRACT N	[Color]
TRACT O	[Color]
TRACT P	[Color]
TRACT Q	[Color]
TRACT R	[Color]
TRACT S	[Color]
TRACT T	[Color]
TRACT U	[Color]
TRACT V	[Color]
TRACT W	[Color]
TRACT X	[Color]
TRACT Y	[Color]
TRACT Z	[Color]
TRACT AA	[Color]
TRACT BB	[Color]
TRACT CC	[Color]
TRACT DD	[Color]
TRACT EE	[Color]
TRACT FF	[Color]
TRACT GG	[Color]
TRACT HH	[Color]
TRACT II	[Color]
TRACT JJ	[Color]
TRACT KK	[Color]
TRACT LL	[Color]
TRACT MM	[Color]
TRACT NN	[Color]
NOT WITHIN SCOPE OF PUD	[Color]



DRAWN BY: DLH JOB DATE: 11/8/23 BAR IS ONE INCH ON OFFICIAL DRAWINGS.
 APPROVED: KMH JOB NUMBER: 211030 0"=11"
 CAD DATE: 11/8/2023 IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.
 CAD FILE: J:\2021\211030\CAD\Drawings\CIPUD-PP\Tract_Plan

NO.	DATE	BY	REVISION DESCRIPTION

HRGreen
 HR GREEN - COLORADO SPRINGS
 1975 RESEARCH PARKWAY SUITE 230
 COLORADO SPRINGS, CO 80920
 PHONE: 719.300.4140
 FAX: 713.965.0044

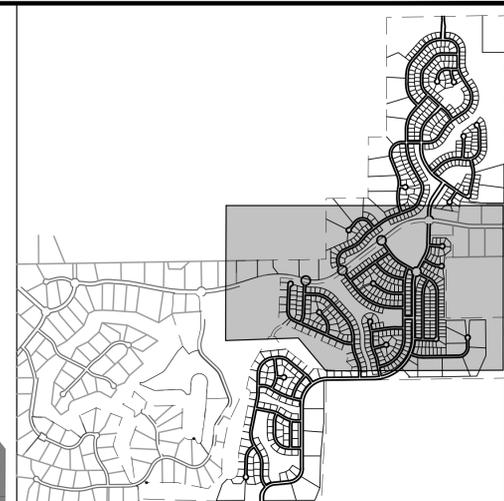
FLYING HORSE NORTH PHASE 2 PUD
 PRI #2, LLC.
 EL PASO COUNTY, CO

PUD PRELIMINARY PLAN
 TRACT PLAN

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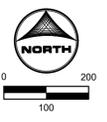
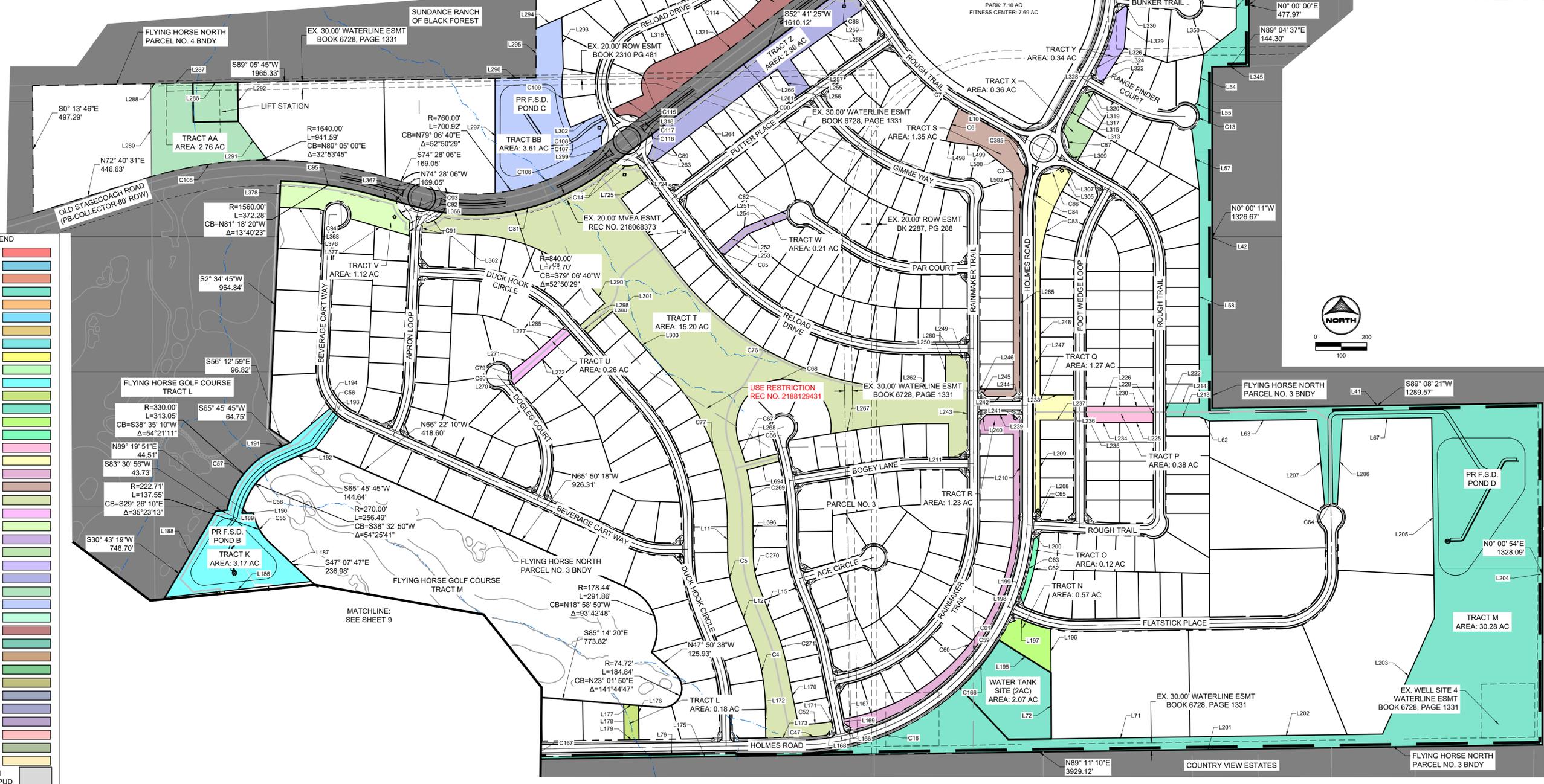
FLYING HORSE NORTH - PHASE 2 PUD / PRELIMINARY PLAN

A PORTION OF SECTIONS 34, 35 AND 36 TOWNSHIP 11 SOUTH,
RANGE 66 WEST, AND A PORTION OF SECTIONS 30 AND 31, TOWNSHIP 11 SOUTH,
RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO



FLYING HORSE NORTH FILING 4 - TRACT TABLE										
TRACT NAME	AREA (SF)	AREA (AC)	PUBLIC IMPROVEMENTS	PUBLIC UTILITIES	PRIVATE DRAINAGE	LANDSCAPING	PARK	SIGNAGE	MAINTENANCE	OWNERSHIP
K	138,085	3.17			X	X		X	HOA	HOA
L	7,841	0.18		X	X	X			HOA	HOA
M	1,318,997	30.28	X	X	X	X		X	HOA	HOA
N	24,829	0.57	X			X			HOA	HOA
O	5,227	0.12				X			HOA	HOA
P	16,553	0.38		X	X	X			HOA	HOA
Q	55,321	1.27		X	X	X		X	HOA	HOA
R	53,579	1.23				X			HOA	HOA
S	58,806	1.35			X	X			HOA	HOA
T	662,112	15.20		X	X	X		X	HOA	HOA
U	11,326	0.26		X	X				HOA	HOA
V	48,787	1.12		X	X	X		X	HOA	HOA
W	458,575	10.51		X	X	X			HOA	HOA
X	15,682	0.36				X			HOA	HOA
Y	14,810	0.34				X			HOA	HOA
Z	102,802	2.36				X			HOA	HOA
AA	120,226	2.76	X	X	X	X		X	HOA	HOA
BB	157,252	3.61			X	X		X	HOA	HOA
CC	139,392	3.20			X	X		X	HOA	HOA
DD	457,816	10.51		X	X	X		X	HOA	HOA

- TRACT LEGEND
- TRACT A
 - TRACT B
 - TRACT C
 - TRACT D
 - TRACT E
 - TRACT F
 - TRACT G
 - TRACT H
 - TRACT I
 - TRACT J
 - TRACT K
 - TRACT L
 - TRACT M
 - TRACT N
 - TRACT O
 - TRACT P
 - TRACT Q
 - TRACT R
 - TRACT S
 - TRACT T
 - TRACT U
 - TRACT V
 - TRACT W
 - TRACT X
 - TRACT Y
 - TRACT Z
 - TRACT AA
 - TRACT BB
 - TRACT CC
 - TRACT DD
 - TRACT EE
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 - TRACT KK
 - TRACT LL
 - TRACT MM
 - TRACT NN
 - NOT WITHIN SCOPE OF PUD



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 CAD DATE: 11/8/2023
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NO.	DATE	BY	REVISION DESCRIPTION

HRGreen
 HR GREEN - COLORADO SPRINGS
 1975 RESEARCH PARKWAY SUITE 230
 COLORADO SPRINGS, CO 80920
 PHONE: 719.300.4140
 FAX: 719.965.0044

FLYING HORSE NORTH PHASE 2 PUD
 PRI #2, LLC.
 EL PASO COUNTY, CO

PUD PRELIMINARY PLAN
 TRACT PLAN

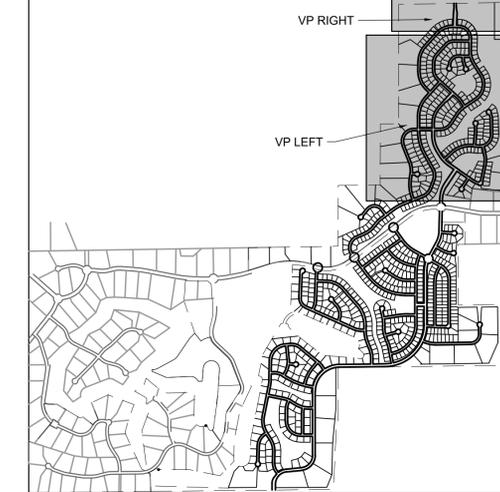
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FLYING HORSE NORTH - PHASE 2 PUD / PRELIMINARY PLAN

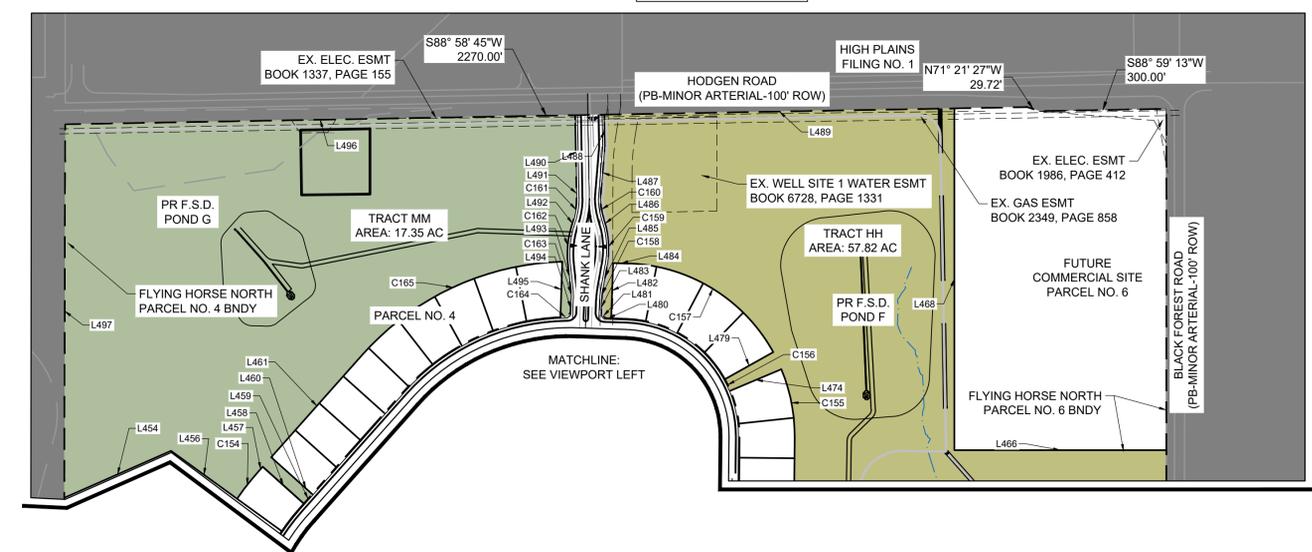
A PORTION OF SECTIONS 34, 35 AND 36 TOWNSHIP 11 SOUTH,
RANGE 66 WEST, AND A PORTION OF SECTIONS 30 AND 31, TOWNSHIP 11 SOUTH,
RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

TRACT LEGEND

TRACT A	[Red]
TRACT B	[Orange]
TRACT C	[Yellow-Orange]
TRACT D	[Yellow]
TRACT E	[Light Green]
TRACT F	[Green]
TRACT G	[Light Blue]
TRACT H	[Blue]
TRACT I	[Light Blue-Gray]
TRACT J	[Light Green-Gray]
TRACT K	[Light Blue-Gray]
TRACT L	[Light Green-Gray]
TRACT M	[Light Blue-Gray]
TRACT N	[Light Green-Gray]
TRACT O	[Light Blue-Gray]
TRACT P	[Light Green-Gray]
TRACT Q	[Light Blue-Gray]
TRACT R	[Light Green-Gray]
TRACT S	[Light Blue-Gray]
TRACT T	[Light Green-Gray]
TRACT U	[Light Blue-Gray]
TRACT V	[Light Green-Gray]
TRACT W	[Light Blue-Gray]
TRACT X	[Light Green-Gray]
TRACT Y	[Light Blue-Gray]
TRACT Z	[Light Green-Gray]
TRACT AA	[Light Blue-Gray]
TRACT BB	[Light Green-Gray]
TRACT CC	[Light Blue-Gray]
TRACT DD	[Light Green-Gray]
TRACT EE	[Light Blue-Gray]
TRACT FF	[Light Green-Gray]
TRACT GG	[Light Blue-Gray]
TRACT HH	[Light Green-Gray]
TRACT II	[Light Blue-Gray]
TRACT JJ	[Light Green-Gray]
TRACT KK	[Light Blue-Gray]
TRACT LL	[Light Green-Gray]
TRACT MM	[Light Blue-Gray]
TRACT NN	[Light Green-Gray]
NOT WITHIN SCOPE OF PUD	[White]

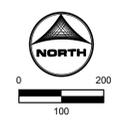


KEY MAP
SCALE: N.T.S



FLYING HORSE NORTH FILING 4 - TRACT TABLE

TRACT NAME	AREA (SF)	AREA (AC)	PUBLIC IMPROVEMENTS	PUBLIC UTILITIES	PRIVATE DRAINAGE	LANDSCAPING	PARK	SIGNAGE	MAINTENANCE	OWNERSHIP
DD	458,575	10.51		X	X	X		X	HOA	HOA
EE	60,113	1.38			X	X		X	HOA	HOA
FF	16,988	0.39			X	X		X	HOA	HOA
GG	220,452	5.04			X	X		X	HOA	HOA
HH	2,517,588	57.82		X	X	X		X	HOA	HOA
II	6,970	0.16			X	X		X	HOA	HOA
JJ	13,077	0.30			X	X		X	HOA	HOA
KK	12,197	0.28	X		X	X		X	HOA	HOA
LL	12,197	0.28			X	X		X	HOA	HOA
MM	755,766	17.35		X	X	X		X	HOA	HOA



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FLYING HORSE NORTH PHASE 2 PUD
 PRI #2, LLC.
 EL PASO COUNTY, CO

PUD PRELIMINARY PLAN
 TRACT PLAN

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 11

TRACT CURVE TABLE					
CURVE TAG #	LENGTH (FT)	RADIUS (FT)	DELTA	CHORD BEARING	CHORD LENGTH
C1	118.78	180.00	37°48'36"	S80° 50' 50"W	116.64
C2	52.22	595.00	5°01'42"	N2° 31' 30"E	52.20
C3	191.56	630.00	17°25'17"	N8° 42' 30"E	190.82
C4	276.27	755.00	20°57'55"	N11° 18' 00"W	274.73
C5	165.16	445.00	21°15'55"	N11° 09' 00"W	164.22
C6	136.32	965.00	8°05'37"	S21° 52' 10"W	136.20
C7	8.22	825.00	0°34'14"	N60° 32' 00"W	8.22
C8	522.64	655.00	45°43'05"	N64° 33' 40"W	508.89
C9	32.91	177.50	10°37'19"	N5° 47' 10"W	32.86
C10	231.23	222.50	59°32'34"	N18° 40' 30"E	220.96
C11	104.88	325.00	18°29'24"	N31° 48' 30"W	104.43
C13	107.21	55.00	111°40'51"	S6° 36' 30"W	91.02
C14	90.66	100.00	51°56'40"	S86° 51' 40"E	87.59
C16	688.18	930.00	42°23'52"	S67° 59' 00"W	672.59
C17	17.30	55.00	18°01'33"	S87° 50' 40"W	17.23
C18	19.47	177.50	6°17'10"	N48° 01' 40"E	19.46
C19	163.78	330.00	28°26'12"	N70° 14' 20"E	162.11
C20	109.44	145.00	43°14'36"	S21° 02' 40"E	106.86
C21	2.14	145.00	0°50'48"	S1° 00' 00"W	2.14
C22	34.72	270.00	7°22'05"	N3° 40' 30"E	34.70
C23	387.00	655.00	33°51'11"	S15° 30' 10"E	381.40
C24	449.78	455.00	56°38'20"	N61° 40' 20"W	431.69
C25	115.22	345.00	19°08'09"	S22° 51' 40"E	114.69
C26	203.66	475.00	24°33'57"	S1° 00' 40"E	202.10
C27	187.58	345.00	31°09'06"	S74° 24' 50"E	185.28
C29	426.80	1655.00	14°46'33"	N72° 45' 30"W	425.62
C30	40.59	1525.00	1°31'29"	N64° 36' 30"W	40.58
C31	122.53	1655.00	4°14'32"	N61° 43' 30"W	122.51
C32	125.38	245.00	29°19'14"	N74° 15' 50"W	124.01
C33	134.17	775.00	9°55'10"	S6° 18' 40"W	134.01
C34	109.80	655.00	9°36'17"	S73° 55' 30"E	109.67
C35	47.47	525.00	5°10'49"	S66° 32' 00"E	47.45
C36	58.35	655.00	5°06'16"	S61° 23' 30"E	58.33
C43	145.12	455.00	18°16'28"	N9° 07' 40"W	144.51
C44	85.58	325.00	15°05'12"	N25° 48' 30"W	85.33
C45	67.69	555.00	6°59'15"	N3° 30' 10"E	67.64
C46	163.33	555.00	16°51'42"	N15° 25' 40"E	162.74
C47	103.93	870.00	6°50'40"	S85° 45' 40"W	103.87
C52	130.93	823.62	9°06'30"	N85° 01' 40"E	130.79
C53	40.02	375.00	6°06'52"	N49° 46' 10"E	40.00
C54	30.03	375.00	4°35'19"	N78° 29' 10"E	30.02
C55	137.55	222.71	35°23'13"	N29° 26' 10"W	135.37
C56	256.49	270.00	54°25'41"	N38° 32' 50"E	246.95
C57	313.05	330.00	54°21'11"	S38° 35' 10"W	301.44
C58	48.11	225.00	12°15'00"	N46° 51' 00"W	48.01
C59	77.46	930.00	4°46'21"	S29° 34' 40"W	77.44
C60	1068.07	794.00	77°04'22"	N38° 32' 00"E	989.34
C61	1140.30	870.00	75°05'49"	S37° 32' 40"W	1060.41
C62	276.09	950.00	16°39'05"	N13° 15' 00"E	275.12
C63	228.56	930.00	14°04'52"	S13° 15' 00"W	227.98

TRACT CURVE TABLE					
CURVE TAG #	LENGTH (FT)	RADIUS (FT)	DELTA	CHORD BEARING	CHORD LENGTH
C64	51.79	55.00	53°57'15"	N89° 14' 50"E	49.90
C65	11.94	950.00	0°43'13"	N0° 21' 30"E	11.94
C66	30.00	1085.00	1°35'04"	S13° 56' 40"E	30.00
C67	85.14	955.00	5°06'28"	S17° 17' 20"E	85.11
C68	666.45	185.00	206°24'12"	S85° 21' 10"W	360.22
C76	1061.15	1155.00	52°38'25"	S63° 37' 50"E	1024.22
C77	614.60	855.00	41°11'10"	N21° 06' 30"W	601.46
C79	20.53	55.00	21°23'14"	S2° 43' 00"E	20.41
C80	26.01	30.00	49°40'47"	S16° 51' 50"E	25.21
C81	669.89	840.00	45°41'34"	N75° 32' 10"E	652.28
C82	31.84	55.00	33°09'51"	N4° 19' 50"W	31.39
C83	333.63	655.00	29°11'03"	N14° 35' 20"E	330.04
C84	168.76	570.00	16°57'49"	S8° 28' 40"W	168.15
C85	30.00	975.00	1°45'48"	S40° 06' 20"E	30.00
C86	88.28	100.00	50°34'57"	S68° 57' 00"W	85.44
C87	102.13	100.00	58°30'52"	S14° 33' 10"E	97.75
C88	86.62	100.00	49°37'47"	N85° 42' 10"W	83.94
C89	90.66	100.00	51°56'40"	S12° 14' 30"W	87.59
C90	45.99	1155.00	2°16'54"	N53° 49' 50"E	45.99
C91	92.88	100.00	53°12'55"	N61° 44' 00"E	89.58
C92	24.90	325.00	4°23'21"	N4° 46' 30"E	24.89
C93	94.99	100.00	54°25'32"	N35° 18' 00"W	91.46
C94	171.09	55.00	178°14'02"	S73° 12' 50"E	109.99
C95	372.28	1560.00	13°40'23"	N81° 18' 20"W	371.39
C96	272.23	625.00	24°57'23"	N43° 08' 20"W	270.08
C97	70.56	575.00	7°01'52"	S52° 06' 10"E	70.52
C99	99.98	525.00	10°54'39"	N7° 16' 20"W	99.82
C100	139.32	475.00	16°48'19"	N4° 19' 30"W	138.82
C102	78.90	405.00	11°09'43"	N89° 52' 30"W	78.77
C105	459.56	1640.00	16°03'19"	N81° 57' 30"E	458.05
C106	413.05	760.00	31°08'22"	N68° 15' 40"E	407.99
C107	91.24	100.00	52°16'44"	N12° 24' 30"E	88.11
C108	46.84	275.00	9°45'36"	N28° 45' 20"W	46.79
C109	234.20	405.00	33°08'00"	N7° 18' 30"W	230.96
C110	381.55	455.00	48°02'48"	S44° 55' 20"W	370.47
C111	82.33	845.00	5°34'56"	S66° 09' 20"W	82.29
C112	183.10	975.00	10°45'36"	S57° 59' 00"W	182.83
C113	31.49	145.00	12°26'33"	S46° 23' 00"W	31.43
C114	298.93	655.00	26°08'56"	S53° 14' 10"W	296.35
C115	149.53	95.00	90°11'06"	S21° 13' 10"W	134.57
C116	35.43	225.00	9°01'23"	S28° 23' 10"E	35.40
C117	89.97	100.00	51°32'58"	S86° 39' 50"E	86.97
C118	231.86	100.00	132°50'37"	N52° 41' 20"E	183.30
C119	703.92	1040.00	38°46'50"	N72° 04' 50"E	690.56
C120	85.01	100.00	48°42'32"	N49° 24' 10"E	82.48
C121	333.70	585.00	32°41'00"	N17° 33' 30"E	329.20
C122	503.40	405.15	71°11'28"	N34° 19' 40"E	471.64
C123	64.76	60.00	61°50'27"	S79° 39' 40"E	61.66
C125	37.13	455.00	4°40'31"	S27° 01' 10"E	37.12
C126	80.28	325.00	14°09'08"	S17° 36' 20"E	80.07

TRACT CURVE TABLE					
CURVE TAG #	LENGTH (FT)	RADIUS (FT)	DELTA	CHORD BEARING	CHORD LENGTH
C127	249.58	455.00	31°25'41"	S5° 11' 10"W	246.46
C128	182.97	1025.00	10°13'39"	N57° 43' 10"E	182.73
C129	307.93	355.00	49°41'55"	S63° 06' 30"E	298.37
C130	82.89	275.00	17°16'09"	N12° 51' 50"W	82.57
C131	23.36	60.00	22°18'11"	S59° 53' 30"E	23.21
C132	47.35	525.00	5°10'05"	S68° 27' 30"E	47.34
C133	29.16	55.00	30°22'21"	S2° 49' 40"W	28.82
C134	65.87	575.00	6°33'48"	N33° 56' 40"W	65.83
C135	304.91	575.00	30°22'58"	N15° 28' 10"W	301.35
C136	158.63	525.00	17°18'43"	S25° 14' 30"W	158.03
C137	377.55	445.00	48°36'42"	S71° 24' 00"W	366.33
C138	331.42	625.00	30°22'58"	N15° 28' 10"W	327.56
C139	428.82	845.00	29°04'36"	S14° 49' 00"E	424.24
C140	439.31	455.00	55°19'10"	N60° 33' 40"E	422.44
C141	517.60	755.00	39°16'47"	S66° 44' 00"W	507.52
C142	26.01	30.00	49°40'47"	S25° 44' 50"E	25.21
C143	127.15	445.00	16°22'16"	N41° 05' 10"E	126.72
C144	121.58	55.00	126°39'18"	S12° 44' 20"W	98.29
C145	72.22	575.00	7°11'46"	N52° 52' 10"E	72.17
C147	172.38	185.00	53°23'17"	N40° 32' 10"W	166.21
C148	67.57	55.00	70°23'33"	S52° 47' 40"W	63.40
C149	49.99	555.00	5°09'40"	N53° 53' 10"E	49.98
C150	81.18	425.00	10°56'39"	N45° 50' 00"E	81.06
C152	9.74	145.83	3°49'36"	N50° 26' 40"E	9.74
C153	704.76	555.00	72°45'23"	N3° 59' 00"E	658.35
C154	81.62	655.00	7°08'22"	S38° 14' 40"W	81.57
C155	164.74	405.00	23°18'20"	N11° 07' 20"W	163.60
C156	30.01	275.00	6°15'13"	N25° 54' 00"W	30.00
C157	416.64	405.00	58°56'34"	N58° 30' 00"W	398.51
C158	28.22	177.50	9°06'30"	N6° 35' 00"E	28.19
C159	90.79	222.50	23°22'50"	N1° 28' 40"W	90.17
C160	51.11	176.93	16°33'01"	N9° 24' 50"W	50.93
C161	52.34	177.53	16°53'36"	S8° 22' 00"W	52.15
C162	89.34	222.50	23°00'19"	S5° 18' 40"W	88.74
C163	25.47	177.50	8°13'17"	S2° 04' 50"E	25.45
C164	23.54	525.00	2°34'07"	S88° 56' 30"W	23.53
C165	534.02	655.00	46°42'47"	S65° 10' 10"W	519.35
C166	240.48	993.67	13°51'59"	S39° 22' 30"W	239.90
C167	77.65	535.00	8°18'57"	S85° 01' 30"W	77.58
C181	143.43	655.00	12°32'46"	S41° 45' 00"E	143.14
C182	379.98	245.00	88°51'42"	N12° 02' 10"E	343.02
C183	67.24	55.00	70°02'54"	S65° 17' 40"W	63.13
C190	421.66	615.00	39°16'59"	S32° 22' 20"W	413.44
C191	365.67	595.00	35°12'43"	N32° 22' 20"E	359.94
C203	131.98	80.00	94°31'34"	S46° 10' 50"E	117.52
C269	207.00	955.00	12°25'09"	S6° 43' 30"E	206.59
C270	128.05	345.00	21°15'55"	S11° 09' 00"E	127.31
C271	156.66	855.00	10°29'54"	S16° 32' 00"E	156.44
C378	288.13	3540.74	4°39'45"	S86° 20' 50"E	288.05
C385	114.20	100.00	65°25'58"	N18° 00' 50"W	108.10

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 CAD DATE: 11/8/2023
 CAD FILE: J:\2021\211030\CAD\DWG\CIPUD-PP\Tract_Plan

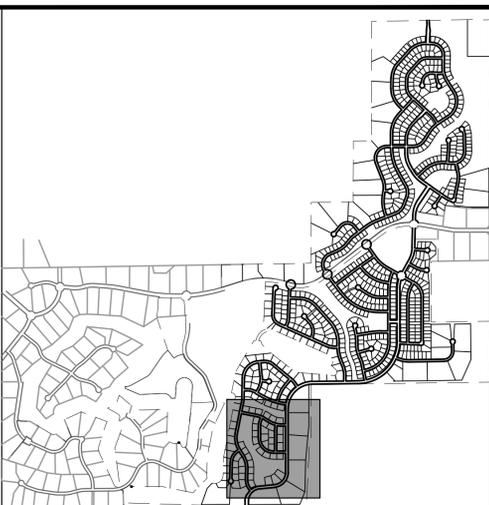
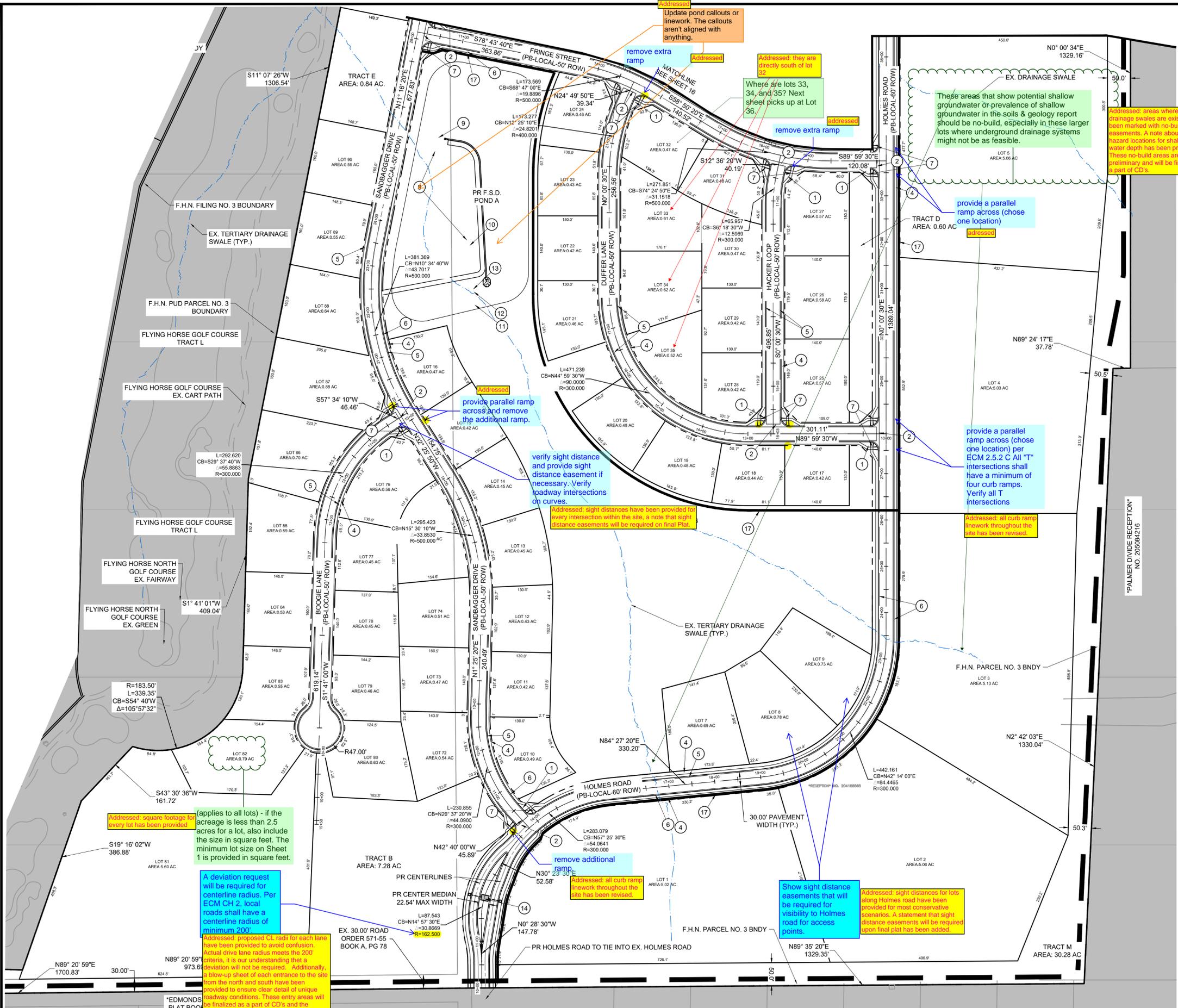
BAR IS ONE INCH ON OFFICIAL DRAWINGS.
 IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.

NO.	DATE	BY	REVISION DESCRIPTION

HRGreen HR GREEN - COLORADO SPRINGS
 1975 RESEARCH PARKWAY SUITE 230
 COLORADO SPRINGS, CO 80920
 PHONE: 719.300.4140
 FAX: 713.965.0044

FLYING HORSE NORTH PHASE 2 PUD
 PRI #2, LLC.
 EL PASO COUNTY, CO

PUD PRELIMINARY PLAN
 TRACT CURVE TABLE



KEY MAP SCALE: N.T.S

LINWORK LEGEND

MATCH LINE	---
PR PROPERTY LINE	---
EX PROPERTY LINE	---
PR EASEMENT LINE	---
EX EASEMENT LINE	---
PR RIGHT OF WAY	---
EX RIGHT OF WAY	---
PR LOT LINE	---
EX LOT LINE	---
EX SWALE	---
PR SWALE	---
PR ACCESS TRAIL	---
PR REGIONAL TRAIL	---
PR CURB & GUTTER	---
EX CURB & GUTTER	---
PR SIDEWALK	---
PR CONCRETE	---
PR RIP-RAP	---
PR POND RIM	---
PR INDEX CONTOUR	---
EX INDEX CONTOUR	---
PR INTER. CONTOUR	---
EX INTER. CONTOUR	---
NOT WITHIN SCOPE OF PUD	---

- NOTES:
- SEE SHEET 3 FOR TYPICAL STREET SECTIONS AND TYPICAL LOT LAYOUTS.
 - SEE TRACT DETAILS ON SHEETS 9 - 11.

SITE SCHEDULE

- PR 30" R1-1 STOP SIGN W. STREET NAME SIGNS
- PR 6" CONCRETE CROSS PAN
- PR 8" CONCRETE CROSS PAN
- PR 5" CONCRETE SIDEWALK
- PR EPC TYPE C MOUNTABLE CURB & GUTTER
- PR EPC TYPE A VERTICAL CURB & GUTTER
- PR CONCRETE CURB RAMP
- PR 15' MAINTENANCE ACCESS ROAD 6" MIN. OF GRAVEL SHALL MEET MATERIAL SPECIFICATIONS PRESENTED ON TABLE D-7 IN THE EPC ECM.
- PR CONCRETE FOREBAY (PRIVATE)
- PR CONCRETE TRICKLE CHANNEL (PRIVATE)
- PR EMERGENCY SPILLWAY WITH EMBANKMENT PROTECTION (RIP-RAP)
- PR CONCRETE OUTLET STRUCTURE (PRIVATE)
- PR MICRO-POOL
- PR ENTRY SIGN (SEE LANDSCAPE PLANS)
- PR MODULAR BLOCK WALL
- PR CONCRETE MID-BLOCK CURB RAMP
- PR 10' WIDE ACCESS TRAIL

DRAWN BY: DLH	JOB DATE: 11/8/23	OFFICIAL DRAWINGS:
APPROVED: KMH	JOB NUMBER: 211030	SCALE: 1" = 40'
CAD DATE: 11/8/2023		IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.
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NO.	DATE	BY	REVISION DESCRIPTION

HRGreen
 HR GREEN - COLORADO SPRINGS
 1975 RESEARCH PARKWAY SUITE 230
 COLORADO SPRINGS, CO 80920
 PHONE: 719.300.4140
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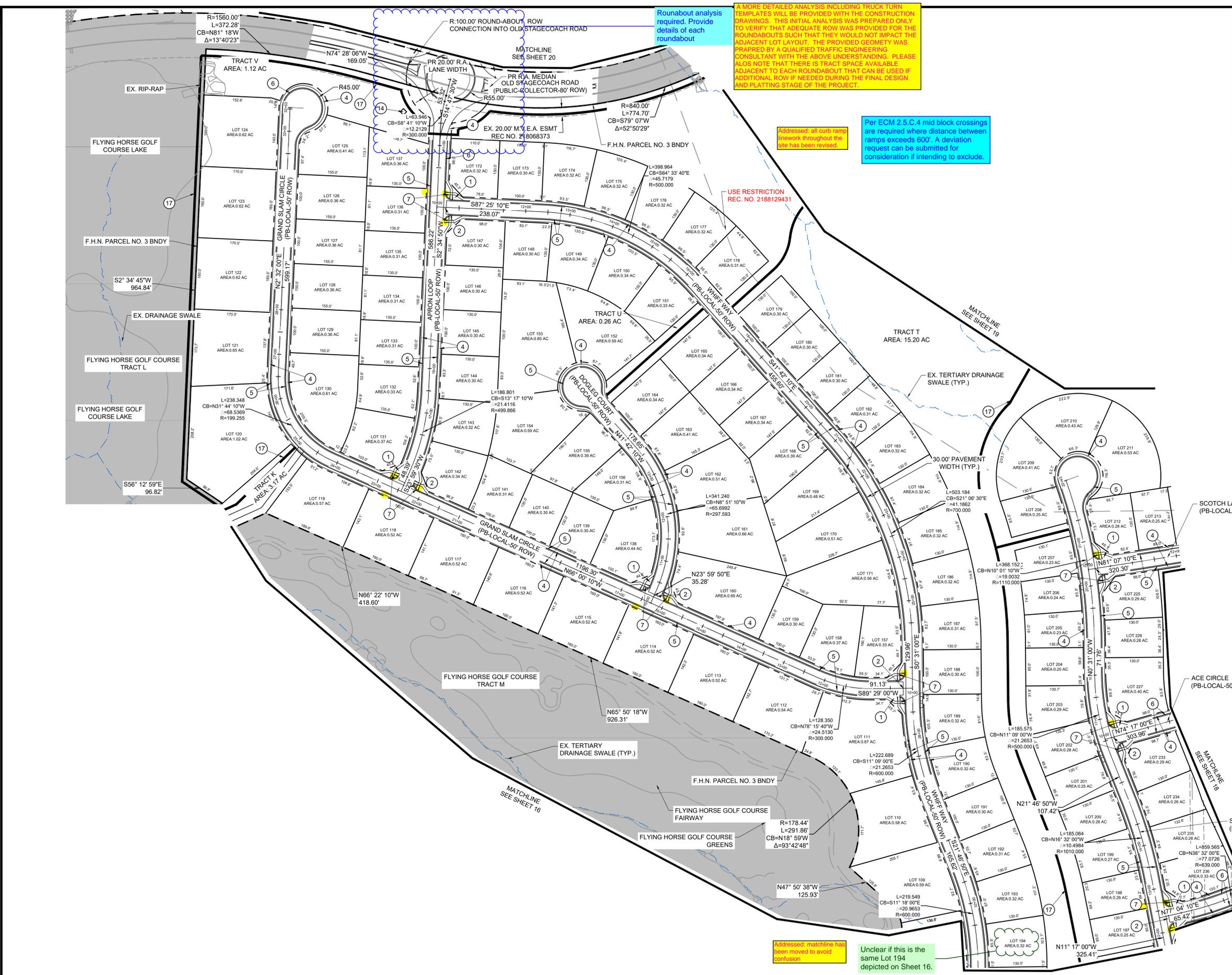
FLYING HORSE NORTH PHASE 2 PUD
 PRI #2, LLC.
 EL PASO COUNTY, CO

PUD PRELIMINARY PLAN
 SITE PLAN 02

SHEET SP 15

HRG - response to comments

HERGER, DANIEL, 11/02/2023 3:18 PM



Roundabout analysis required. Provide details of each roundabout

A MORE DETAILED ANALYSIS INCLUDING TRUCK TURN TEMPLATES WILL BE PROVIDED WITH THE CONSTRUCTION DRAWINGS. THIS INITIAL ANALYSIS WAS PREPARED ONLY TO VERIFY THAT ADEQUATE ROW WAS PROVIDED FOR THE ROUNDABOUTS SUCH THAT THEY WOULD NOT IMPACT THE ADJACENT LOT LAYOUT. THE PROVIDED GEOMETRY WAS PREPARED BY A QUALIFIED TRAFFIC ENGINEERING CONSULTANT WITH THE ABOVE UNDERSTANDING. PLEASE ALSO NOTE THAT THERE IS TRACT SPACE AVAILABLE ADJACENT TO EACH ROUNDABOUT THAT CAN BE USED IF ADDITIONAL ROW IS NEEDED DURING THE FINAL DESIGN AND PLATTING STAGE OF THE PROJECT.

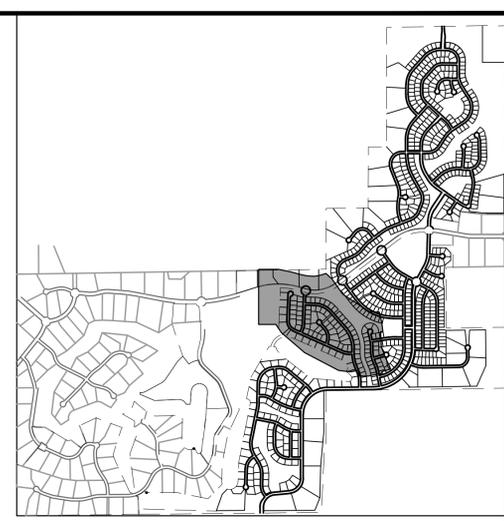
Addressed: all curb ramp line work throughout the site has been revised.

Per ECM 2.5.C.4 mid block crossings are required where distance between ramps exceeds 600'. A deviation request can be submitted for consideration if intending to exclude.

USE RESTRICTION REC. NO. 2186129431

Addressed: matchline has been moved to avoid confusion

Unclear if this is the same Lot 194 depicted on Sheet 16.



KEY MAP SCALE: N.T.S.

LINWORK LEGEND

MATCH LINE	---
PR PROPERTY LINE	---
EX PROPERTY LINE	---
PR EASEMENT LINE	---
EX EASEMENT LINE	---
PR RIGHT OF WAY	---
EX RIGHT OF WAY	---
PR LOT LINE	---
EX LOT LINE	---
EX SWALE	---
PR SWALE	---
PR ACCESS TRAIL	---
PR REGIONAL TRAIL	---
PR CURB & GUTTER	---
EX CURB & GUTTER	---
PR SIDEWALK	---
PR CONCRETE	---
PR RIP-RAP	---
PR POND RIM	---
PR INDEX CONTOUR	---
EX INDEX CONTOUR	---
PR INTER. CONTOUR	---
EX INTER. CONTOUR	---
NOT WITHIN SCOPE OF PUD	---

- NOTES:
- SEE SHEET 3 FOR TYPICAL STREET SECTIONS AND TYPICAL LOT LAYOUTS.
 - SEE TRACT DETAILS ON SHEETS 9 - 11.

SITE SCHEDULE

- PR 30' R1-1 STOP SIGN W. STREET NAME SIGNS
- PR 6" CONCRETE CROSS PAN
- PR 8" CONCRETE CROSS PAN
- PR 5" CONCRETE SIDEWALK
- PR EPC TYPE C MOUNTABLE CURB & GUTTER
- PR EPC TYPE A VERTICAL CURB & GUTTER
- PR CONCRETE CURB RAMP
- PR 15' MAINTENANCE ACCESS ROAD 6" MIN. OF GRAVEL SHALL MEET MATERIAL SPECIFICATIONS PRESENTED ON TABLE D-7 IN THE EPC ECM.
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- PR CONCRETE TRICKLE CHANNEL (PRIVATE)
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- PR CONCRETE OUTLET STRUCTURE (PRIVATE)
- PR MICRO-POOL
- PR ENTRY SIGN (SEE LANDSCAPE PLANS)
- PR MODULAR BLOCK WALLS
- PR CONCRETE MID-BLOCK CURB RAMP
- PR 10' WIDE ACCESS TRAIL

DRAWN BY: DLH	JOB DATE: 11.8.2023	BAR IS ONE INCH ON OFFICIAL DRAWINGS.
APPROVED: KMH	JOB NUMBER: 211030	0" = 1"
CAD DATE: 11/8/2023		IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.
CAD FILE: J:\2021\211030\CAD\DWG\CIPUD-PP\Site_Plan		

NO.	DATE	BY	REVISION DESCRIPTION

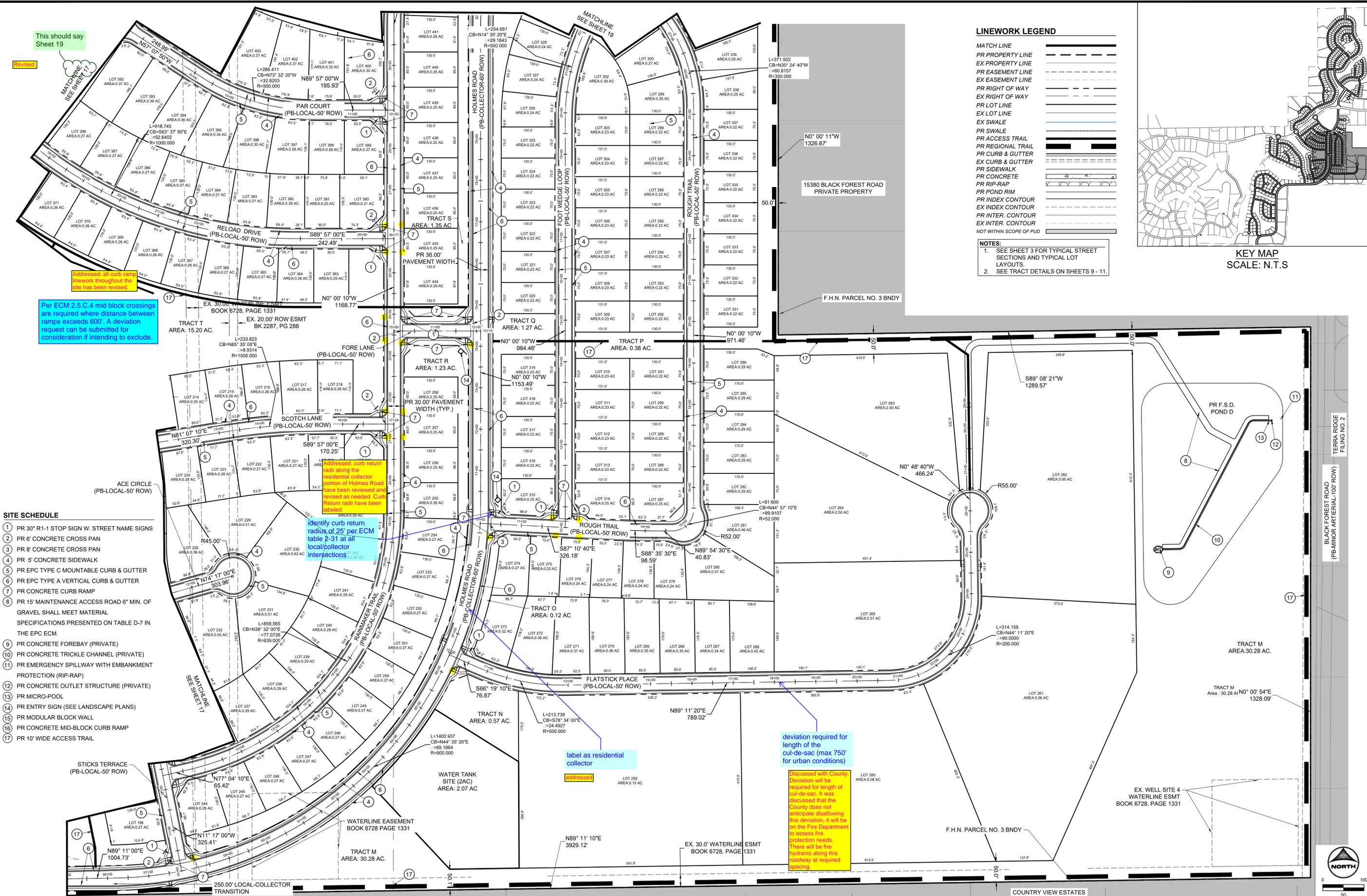
HRGreen
 HR GREEN - COLORADO SPRINGS
 1975 RESEARCH PARKWAY SUITE 230
 COLORADO SPRINGS, CO 80920
 PHONE: 719.300.4140
 FAX: 719.965.0044

FLYING HORSE NORTH PHASE 2 PUD
 PRI #2, LLC.
 EL PASO COUNTY, CO

PUD PRELIMINARY PLAN
 SITE PLAN 04

SHEET
 SP **17**

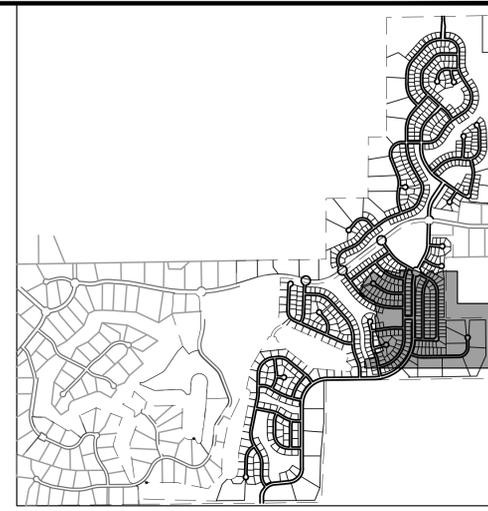
HRG: responses to comments
 HERGER, DANIEL, 11/8/2023 3:19 PM
 This should say Sheet 19
 Revised
 MAY CHANGE SEE SHEET 17
 Addressed all curb ramp line work throughout the site has been revised.
 Per ECM 2.5.C.4 mid block crossings are required where distance between ramps exceeds 600'. A deviation request can be submitted for consideration if intending to exclude.
 Addressed curb return radii along the residential collector portion of Holmes Road have been reviewed and revised as needed. Curb Return radii have been labeled.
 Identify curb return radius of 25' per ECM table 2-31 at all local/collector intersections.
 label as residential collector
 addressed
 deviation required for length of the cul-de-sac (max 750' for urban conditions)
 Discussed with County. Deviation will be required for lengths of cul-de-sac. It was discussed that the County does not anticipate disallowing this deviation, it will be on the Fire Department to assess fire protection needs. There will be fire hydrants along this roadway at required spacing.



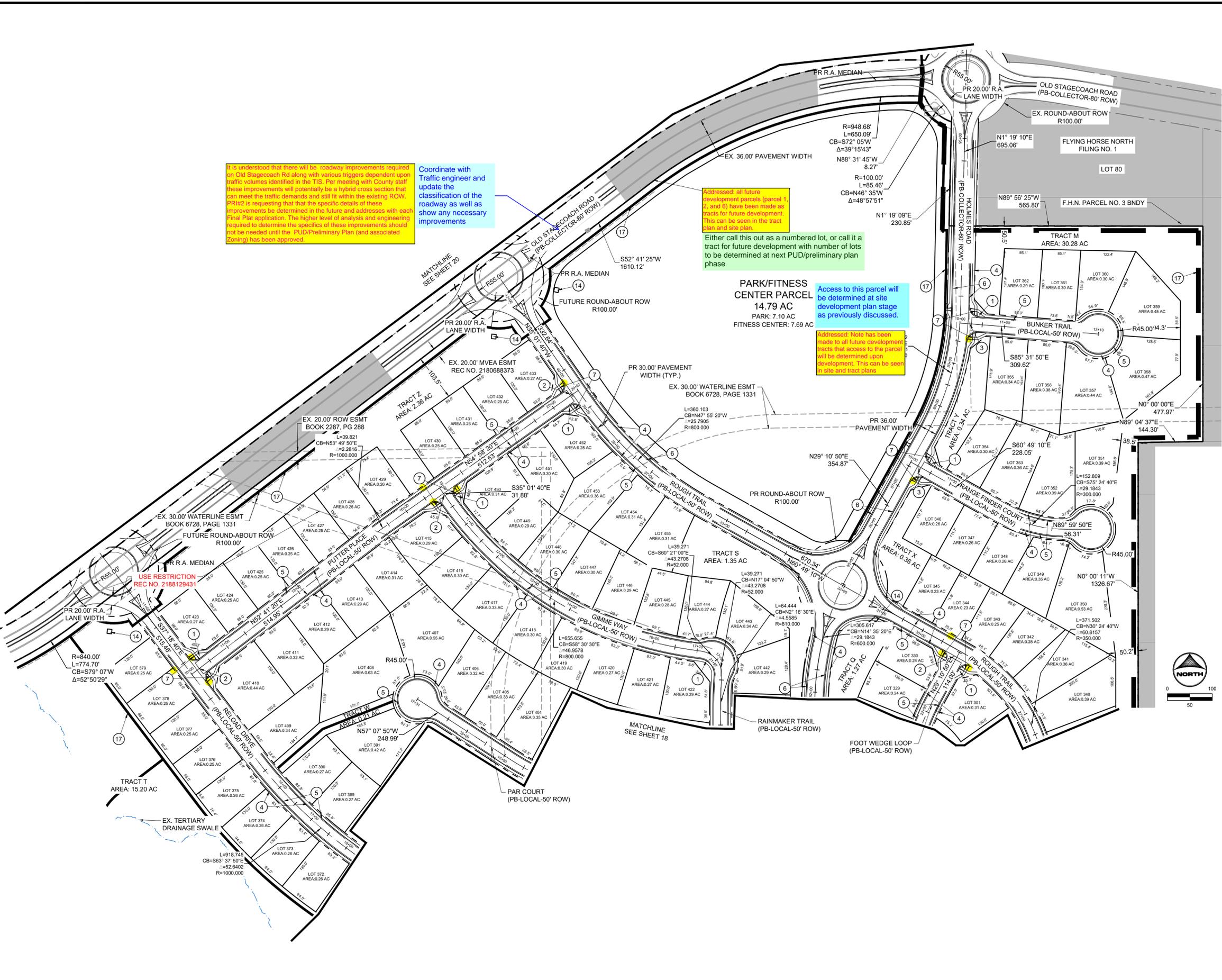
LINEWORK LEGEND

MATCH LINE
 PR PROPERTY LINE
 EX PROPERTY LINE
 PR EASEMENT LINE
 EX EASEMENT LINE
 PR RIGHT OF WAY
 EX RIGHT OF WAY
 PR LOT LINE
 EX LOT LINE
 EX SWALE
 PR SWALE
 PR ACCESS TRAIL
 PR REGIONAL TRAIL
 PR CURB & GUTTER
 EX CURB & GUTTER
 PR SIDEWALK
 PR CONCRETE
 PR RIP-RAP
 PR POND RIM
 PR INDEX CONTOUR
 EX INDEX CONTOUR
 PR INTER. CONTOUR
 EX INTER. CONTOUR
 NOT WITHIN SCOPE OF PUD

NOTES:
 1. SEE SHEET 3 FOR TYPICAL STREET SECTIONS AND TYPICAL LOT LAYOUTS.
 2. SEE TRACT DETAILS ON SHEETS 9 - 11.



- SITE SCHEDULE**
- 1 PR 30" R1-1 STOP SIGN W. STREET NAME SIGNS
 - 2 PR 6" CONCRETE CROSS PAN
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 - 4 PR 5" CONCRETE SIDEWALK
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 - 13 PR MICRO-POOL
 - 14 PR ENTRY SIGN (SEE LANDSCAPE PLANS)
 - 15 PR MODULAR BLOCK WALL
 - 16 PR CONCRETE MID-BLOCK CURB RAMP
 - 17 PR 10" WIDE ACCESS TRAIL



It is understood that there will be roadway improvements required on Old Stagecoach Rd along with various triggers dependent upon traffic volumes identified in the TIS. Per meeting with County staff these improvements will potentially be a hybrid cross section that can meet the traffic demands and still fit within the existing ROW. PRI#2 is requesting that the specific details of these improvements be determined in the future and addresses with each Final Plat application. The higher level of analysis and engineering required to determine the specifics of these improvements should not be needed until the PUD/Preliminary Plan (and associated Zoning) has been approved.

Coordinate with Traffic engineer and update the classification of the roadway as well as show any necessary improvements

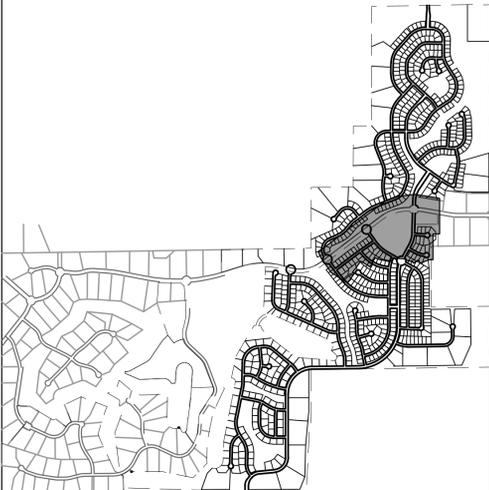
Addressed all future development parcels (parcel 1, 2, and 6) have been made as tracts for future development. This can be seen in the tract plan and site plan.

Either call this out as a numbered lot, or call it a tract for future development with number of lots to be determined at next PUD/preliminary plan phase

PARK/FITNESS CENTER PARCEL
14.79 AC
PARK: 7.10 AC
FITNESS CENTER: 7.69 AC

Access to this parcel will be determined at site development plan stage as previously discussed.

Addressed. Note has been made to all future development tracts that access to the parcel will be determined upon development. This can be seen in site and tract plans



KEY MAP
SCALE: N.T.S

LINWORK LEGEND

- MATCH LINE
- PR PROPERTY LINE
- EX PROPERTY LINE
- PR EASEMENT LINE
- EX EASEMENT LINE
- PR RIGHT OF WAY
- EX RIGHT OF WAY
- PR LOT LINE
- EX LOT LINE
- EX SWALE
- PR SWALE
- PR ACCESS TRAIL
- PR REGIONAL TRAIL
- PR CURB & GUTTER
- EX CURB & GUTTER
- PR SIDEWALK
- PR CONCRETE
- PR RIP-RAP
- PR POND RIM
- PR INDEX CONTOUR
- EX INDEX CONTOUR
- PR INTER. CONTOUR
- EX INTER. CONTOUR
- NOT WITHIN SCOPE OF PUD

- NOTES:**
- SEE SHEET 3 FOR TYPICAL STREET SECTIONS AND TYPICAL LOT LAYOUTS.
 - SEE TRACT DETAILS ON SHEETS 9 - 11.

SITE SCHEDULE

- PR 30" R1-1 STOP SIGN W. STREET NAME SIGNS
- PR 6" CONCRETE CROSS PAN
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- PR ENTRY SIGN (SEE LANDSCAPE PLANS)
- PR MODULAR BLOCK WALL
- PR CONCRETE MID-BLOCK CURB RAMP
- PR 10' WIDE ACCESS TRAIL

DRAWN BY: DLH JOB DATE: 11.8.2023
 APPROVED: KMH JOB NUMBER: 211030
 CAD DATE: 11/8/2023
 CAD FILE: J:\2021\211030\CAD\DWG\CIPUD-PP1_Site_Plan

NO.	DATE	BY	REVISION DESCRIPTION

HRGreen
 HR GREEN - COLORADO SPRINGS
 1975 RESEARCH PARKWAY SUITE 230
 COLORADO SPRINGS, CO 80920
 PHONE: 719.300.4140
 FAX: 713.965.0044

FLYING HORSE NORTH PHASE 2 PUD
 PRI #2, LLC.
 EL PASO COUNTY, CO

PUD PRELIMINARY PLAN
 SITE PLAN 06

SHEET
 SP 19

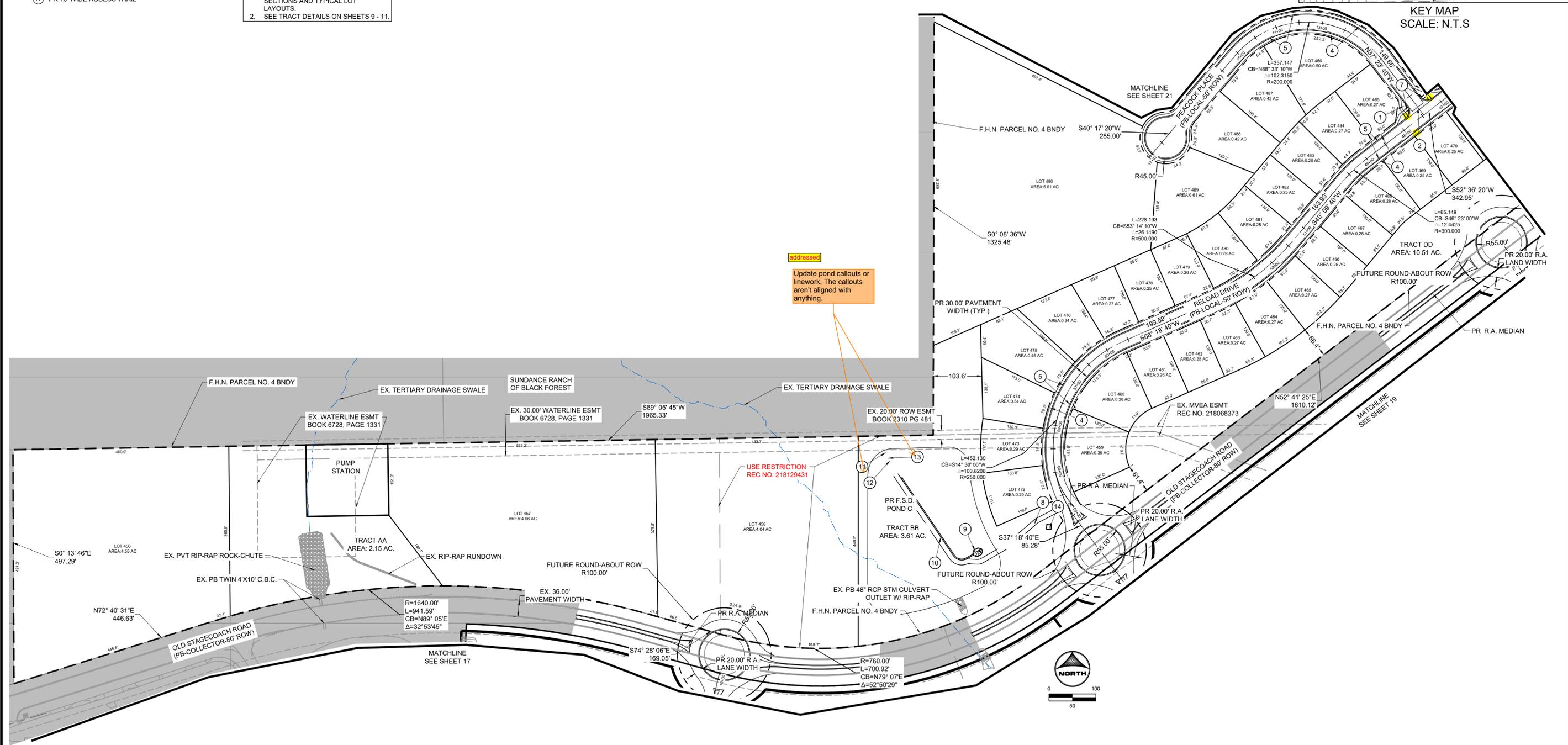
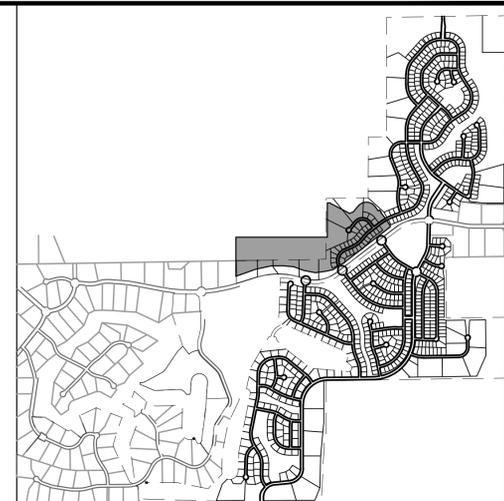
SITE SCHEDULE

- 1 PR 30" R1-1 STOP SIGN W. STREET NAME SIGNS
- 2 PR 6" CONCRETE CROSS PAN
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- 17 PR 10' WIDE ACCESS TRAIL

LINEWORK LEGEND

MATCH LINE	—————
PR PROPERTY LINE	—————
EX PROPERTY LINE	—————
PR EASEMENT LINE	—————
EX EASEMENT LINE	—————
PR RIGHT OF WAY	—————
EX RIGHT OF WAY	—————
PR LOT LINE	—————
EX LOT LINE	—————
EX SWALE	—————
PR SWALE	—————
PR ACCESS TRAIL	—————
PR REGIONAL TRAIL	—————
PR CURB & GUTTER	—————
EX CURB & GUTTER	—————
PR SIDEWALK	—————
PR CONCRETE	—————
PR RIP-RAP	—————
PR POND RIM	—————
PR INDEX CONTOUR	—————
EX INDEX CONTOUR	—————
PR INTER. CONTOUR	—————
EX INTER. CONTOUR	—————
NOT WITHIN SCOPE OF PUD	—————

NOTES:
 1. SEE SHEET 3 FOR TYPICAL STREET SECTIONS AND TYPICAL LOT LAYOUTS.
 2. SEE TRACT DETAILS ON SHEETS 9 - 11.



HR GREEN xref: xc-dgn-201; xc-dgn-030;202; xc-raw-030;201; xc-raw-030;202; sgt-h-dm1-1030; key_map;v-row-1030; xc-dgn-1030; Site_Plan_Linework_Legend; Site_Plan_Linework_Site_Schedule

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APPROVED: KMH	JOB NUMBER: 211030	0" = 11'
CAD DATE: 11/8/2023		IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.
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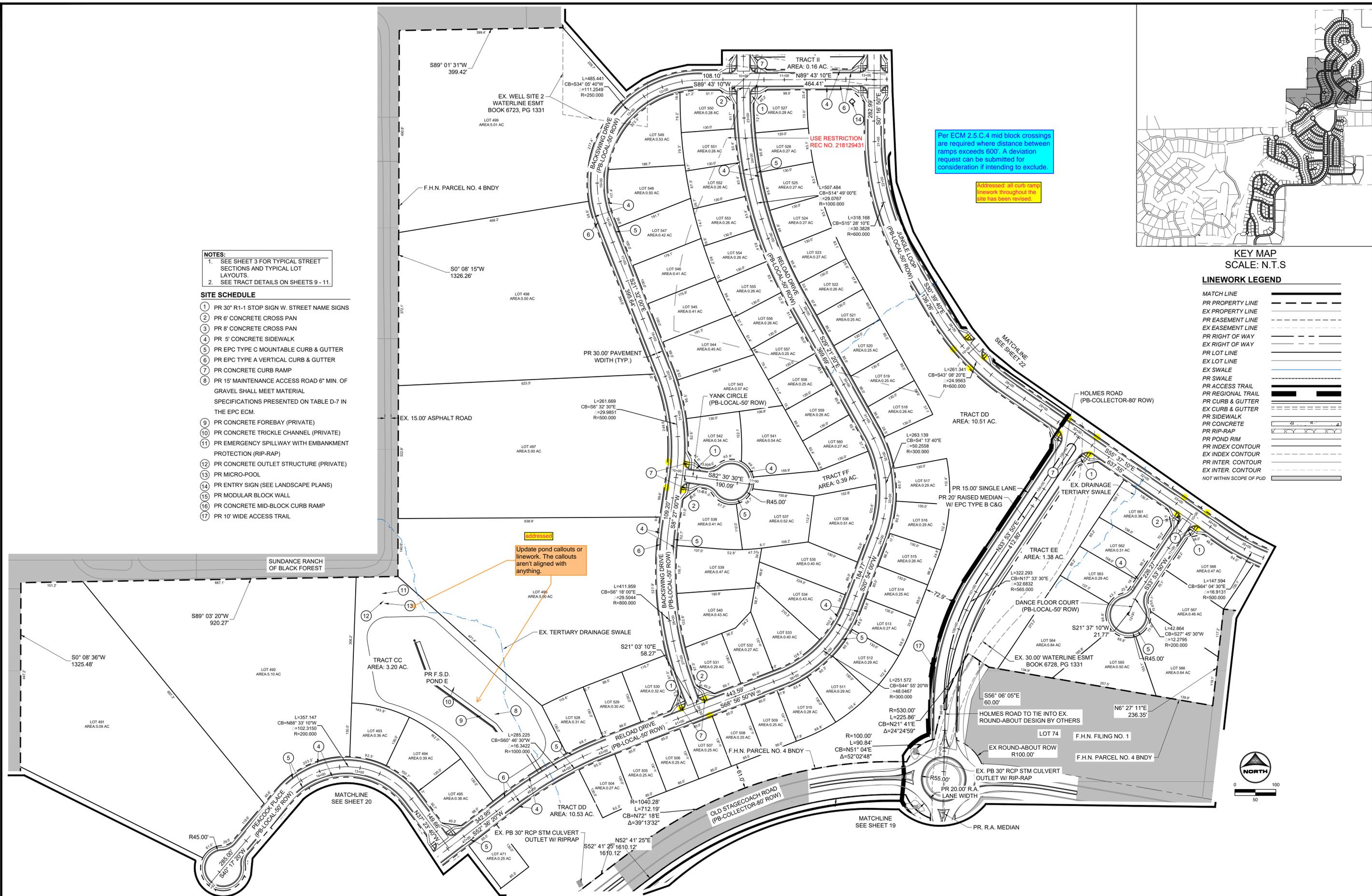
NO.	DATE	BY	REVISION DESCRIPTION

HRGreen
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 1975 RESEARCH PARKWAY SUITE 230
 COLORADO SPRINGS, CO 80920
 PHONE: 719.300.4140
 FAX: 719.965.0044

FLYING HORSE NORTH PHASE 2 PUD
PRI #2, LLC.
 EL PASO COUNTY, CO

PUD PRELIMINARY PLAN
SITE PLAN 07

SHEET
SP
20



NOTES:
 1. SEE SHEET 3 FOR TYPICAL STREET SECTIONS AND TYPICAL LOT LAYOUTS.
 2. SEE TRACT DETAILS ON SHEETS 9 - 11.

- SITE SCHEDULE**
- 1 PR 30" R1-1 STOP SIGN W. STREET NAME SIGNS
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 - 17 PR 10' WIDE ACCESS TRAIL

Per ECM 2.5.C.4 mid block crossings are required where distance between ramps exceeds 600'. A deviation request can be submitted for consideration if intending to exclude.

Addressed: all curb ramp linework throughout the site has been revised.

Update pond callouts or linework. The callouts aren't aligned with anything.

KEY MAP
SCALE: N.T.S.

LINWORK LEGEND

- MATCH LINE
- PR PROPERTY LINE
- EX PROPERTY LINE
- PR EASEMENT LINE
- EX EASEMENT LINE
- PR RIGHT OF WAY
- EX RIGHT OF WAY
- PR LOT LINE
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DRAWN BY: DLH JOB DATE: 11.8.2023
 APPROVED: KMH JOB NUMBER: 211030
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NO.	DATE	BY	REVISION DESCRIPTION

HRGreen
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 1975 RESEARCH PARKWAY SUITE 230
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FLYING HORSE NORTH PHASE 2 PUD
 PRI #2, LLC.
 EL PASO COUNTY, CO

PUD PRELIMINARY PLAN
 SITE PLAN 08

SHEET
 SP
 21

V1_PUDSP_Comments.pdf Markup Summary

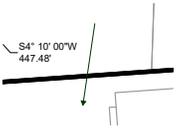
Arrow (5)



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Author: Ryan Howser
Date: 12/5/2023 5:28:38 PM
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Author: Ryan Howser
Date: 12/5/2023 5:28:43 PM
Status:
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Subject: Arrow
Page Label: [25] 25 SITE PLAN 01
Author: Ryan Howser
Date: 12/6/2023 7:37:13 AM
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Subject: Arrow
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Author: Ryan Howser
Date: 12/6/2023 7:37:21 AM
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Subject: Arrow
Page Label: [2] 2 NOTES
Author: Ryan Howser
Date: 12/6/2023 11:23:14 AM
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BoCC Certification (1)



Subject: BoCC Certification
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 12:32:09 PM
Status:
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Layer:
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Board of County Commissioners Certificate

This plat for (name of subdivision or plat) was approved for filing by the El Paso County, Colorado Board of County Commissioners on the _____ day of _____, 200__, subject to any notes specified hereon and any conditions included in the resolution of approval. The dedications of land to the public (streets, tracts, easements: list those applicable) are accepted, but public improvements thereon will not become the maintenance responsibility of El Paso County until preliminary acceptance of the public improvements in accordance with the requirements of the Land Development Code and Engineering Criteria Manual, and the Subdivision Improvements Agreement.

Chair, Board of County Commissioners
Date

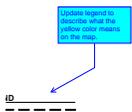
Director, Planning and Community Development
Date

Callout (28)



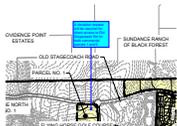
Subject: Callout
Page Label: [2] 2 NOTES
Author: lpackman
Date: 12/7/2023 11:48:04 AM
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Color: ■
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Remove EPC as an owner and maintainer of tracts.



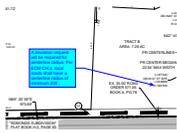
Subject: Callout
Page Label: [4] 4 OVERALL SITE
Author: lpackman
Date: 12/7/2023 1:39:15 PM
Status:
Color: ■
Layer:
Space:

Update legend to describe what the yellow color means on the map.



Subject: Callout
Page Label: [4] 4 OVERALL SITE
Author: lpackman
Date: 12/7/2023 1:58:47 PM
Status:
Color: ■
Layer:
Space:

A deviation request will be required for direct access to Old Stagecoach Rd for both commercial parcels 1 and 5.



Subject: Callout
Page Label: [15] 15 SITE PLAN 02
Author: lpackman
Date: 12/7/2023 2:25:06 PM
Status:
Color: ■
Layer:
Space:

A deviation request will be required for centerline radius. Per ECM CH 2, local roads shall have a centerline radius of minimum 200'.



Subject: Callout
Page Label: [15] 15 SITE PLAN 02
Author: lpackman
Date: 12/7/2023 2:30:53 PM
Status:
Color: ■
Layer:
Space:

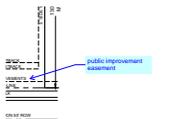
Show sight distance easements that will be required for visibility to Holmes road for access points.



Subject: Callout
Page Label: [8] 8 OVERALL TRACT PLAN
Author: Daniel Torres
Date: 12/8/2023 2:29:21 PM
Status:
Color: ■
Layer:
Space:

provide note that access to commercial parcel with be determined with the final plat and/or site development plan application.

recall that access off Hodgen would not be supported.



Subject: Callout
Page Label: [1] 24x36
Author: Daniel Torres
Date: 12/8/2023 2:24:09 PM
Status:
Color: ■
Layer:
Space:

public improvement easement



Subject: Callout
Page Label: [1] 24x36
Author: Daniel Torres
Date: 12/8/2023 2:19:19 PM
Status:
Color: ■
Layer:
Space:

Identify what this 5' label is for.



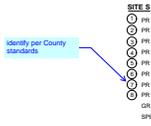
Subject: Callout
Page Label: [1] 24x36
Author: Daniel Torres
Date: 12/8/2023 2:23:08 PM
Status:
Color: ■
Layer:
Space:

revise to Urban Residential Collector to match County nomenclature



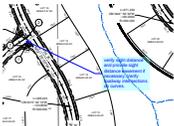
Subject: Callout
Page Label: [8] 8 OVERALL TRACT PLAN
Author: Daniel Torres
Date: 12/8/2023 3:29:17 PM
Status:
Color: ■
Layer:
Space:

Arterial classification per the TIS volumes. Coordinate with the traffic engineer and update accordingly



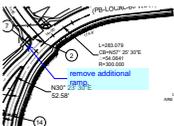
Subject: Callout
Page Label: [15] 15 SITE PLAN 02
Author: Daniel Torres
Date: 12/8/2023 2:52:39 PM
Status:
Color: ■
Layer:
Space:

identify per County standards



Subject: Callout
Page Label: [15] 15 SITE PLAN 02
Author: Daniel Torres
Date: 12/8/2023 2:57:57 PM
Status:
Color: ■
Layer:
Space:

verify sight distance and provide sight distance easement if necessary. Verify roadway intersections on curves.



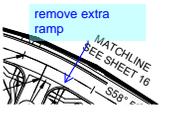
Subject: Callout
Page Label: [15] 15 SITE PLAN 02
Author: Daniel Torres
Date: 12/8/2023 3:01:21 PM
Status:
Color: ■
Layer:
Space:

remove additional ramp.



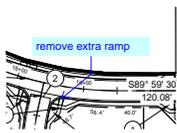
Subject: Callout
Page Label: [15] 15 SITE PLAN 02
Author: Daniel Torres
Date: 12/8/2023 3:02:30 PM
Status:
Color: ■
Layer:
Space:

provide parallel ramp across and remove the additional ramp.



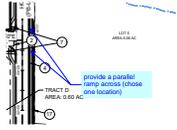
Subject: Callout
Page Label: [15] 15 SITE PLAN 02
Author: Daniel Torres
Date: 12/8/2023 3:03:19 PM
Status:
Color: ■
Layer:
Space:

remove extra ramp



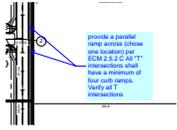
Subject: Callout
Page Label: [15] 15 SITE PLAN 02
Author: Daniel Torres
Date: 12/8/2023 3:03:34 PM
Status:
Color: ■
Layer:
Space:

remove extra ramp



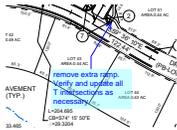
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Page Label: [15] 15 SITE PLAN 02
Author: Daniel Torres
Date: 12/8/2023 3:05:24 PM
Status:
Color: ■
Layer:
Space:

provide a parallel ramp across (chose one location)



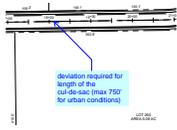
Subject: Callout
Page Label: [15] 15 SITE PLAN 02
Author: Daniel Torres
Date: 12/8/2023 3:08:56 PM
Status:
Color: ■
Layer:
Space:

provide a parallel ramp across (chose one location) per ECM 2.5.2 C All "T" intersections shall have a minimum of four curb ramps. Verify all T intersections



Subject: Callout
Page Label: [16] 16 SITE PLAN 03
Author: Daniel Torres
Date: 12/8/2023 3:11:43 PM
Status:
Color: ■
Layer:
Space:

remove extra ramp. Verify and update all T intersections as necessary



Subject: Callout
Page Label: [18] 18 SITE PLAN 05
Author: Daniel Torres
Date: 12/8/2023 3:20:26 PM
Status:
Color: ■
Layer:
Space:

deviation required for length of the cul-de-sac (max 750' for urban conditions)



Subject: Callout
Page Label: [18] 18 SITE PLAN 05
Author: Daniel Torres
Date: 12/8/2023 3:21:30 PM
Status:
Color: ■
Layer:
Space:

label as residential collector



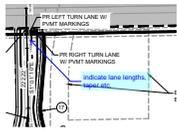
Subject: Callout
Page Label: [18] 18 SITE PLAN 05
Author: Daniel Torres
Date: 12/8/2023 3:23:25 PM
Status:
Color: ■
Layer:
Space:

identify curb return radius of 25' per ECM table 2-31 at all local/collector intersections



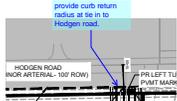
Subject: Callout
Page Label: [19] 19 SITE PLAN 06
Author: Daniel Torres
Date: 12/8/2023 3:31:52 PM
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Color: ■
Layer:
Space:

Coordinate with Traffic engineer and update the classification of the roadway as well as show any necessary improvements



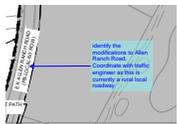
Subject: Callout
Page Label: [24] 24 SITE PLAN 11
Author: Daniel Torres
Date: 12/8/2023 3:37:59 PM
Status:
Color: ■
Layer:
Space:

indicate lane lengths, taper etc.



Subject: Callout
Page Label: [24] 24 SITE PLAN 11
Author: Daniel Torres
Date: 12/8/2023 3:39:14 PM
Status:
Color: ■
Layer:
Space:

provide curb return radius at tie in to Hodgen road.



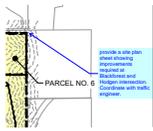
Subject: Callout
Page Label: [25] 25 SITE PLAN 01
Author: Daniel Torres
Date: 12/8/2023 3:40:31 PM
Status:
Color: ■
Layer:
Space:

identify the modifications to Allen Ranch Road. Coordinate with traffic engineer as this is currently a rural local roadway



Subject: Callout
Page Label: [4] 4 OVERALL SITE
Author: Daniel Torres
Date: 12/8/2023 3:46:10 PM
Status:
Color: ■
Layer:
Space:

provide site plan sheet with improvements required at StageCoach Rd & Black Forest Rd. Coordinate with the traffic engineer.



Subject: Callout
Page Label: [4] 4 OVERALL SITE
Author: Daniel Torres
Date: 12/8/2023 3:47:05 PM
Status:
Color: ■
Layer:
Space:

provide a site plan sheet showing improvements required at Blackforest and Hodgen intersection. Coordinate with traffic engineer.

Clerk & Recorder (1)



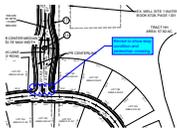
Subject: Clerk & Recorder
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 12:32:24 PM
Status:
Color: ■
Layer:
Space:

Clerk and Recorder

STATE OF COLORADO
 COUNTY OF EL PASO
 I hereby certify that this instrument was filed in my office on this ____ day of _____, 20__, and was recorded at Reception Number _____ of the records of El Paso County

 El Paso County Clerk and Recorder

Cloud+ (3)



Subject: Cloud+
Page Label: [24] 24 SITE PLAN 11
Author: lpackman
Date: 12/7/2023 5:01:55 PM
Status:
Color: ■
Layer:
Space:

Revise to show stop condition and pedestrian crossing.



Subject: Cloud+
Page Label: [17] 17 SITE PLAN 04
Author: Daniel Torres
Date: 12/8/2023 3:16:51 PM
Status:
Color: ■
Layer:
Space:

Rounabout analysis required. Provide details of each roundabout



Subject: Cloud+
Page Label: [23] 23 SITE PLAN 10
Author: Daniel Torres
Date: 12/8/2023 3:36:59 PM
Status:
Color: ■
Layer:
Space:

provide pedestrian crossing

Highlight (105)

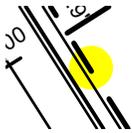
$i=N14^{\circ} 57' 30"E$
 $\Delta=30.8669$
 $R=162.500$

Subject: Highlight
Page Label: [15] 15 SITE PLAN 02
Author: lpackman
Date: 12/7/2023 2:25:18 PM
Status:
Color: ■
Layer:
Space:

R=162.500



Subject: Highlight
Page Label: [15] 15 SITE PLAN 02
Author: Daniel Torres
Date: 12/8/2023 3:01:26 PM
Status:
Color: ■
Layer:
Space:



Subject: Highlight
Page Label: [15] 15 SITE PLAN 02
Author: Daniel Torres
Date: 12/8/2023 3:02:18 PM
Status:
Color: ■
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Space:



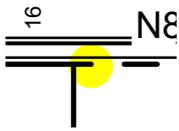
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Author: Daniel Torres
Date: 12/8/2023 3:02:24 PM
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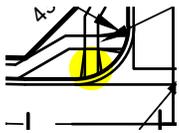
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Author: Daniel Torres
Date: 12/8/2023 3:03:07 PM
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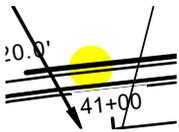
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Page Label: [15] 15 SITE PLAN 02
Author: Daniel Torres
Date: 12/8/2023 3:08:34 PM
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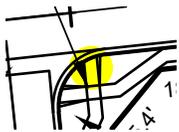
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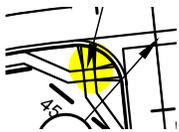
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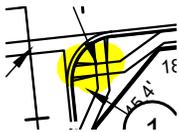
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Author: Daniel Torres
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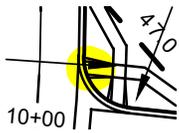
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Author: Daniel Torres
Date: 12/8/2023 3:10:04 PM
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Subject: Highlight
Page Label: [16] 16 SITE PLAN 03
Author: Daniel Torres
Date: 12/8/2023 3:10:08 PM
Status:
Color:
Layer:
Space:



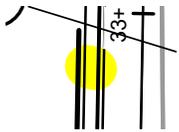
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Author: Daniel Torres
Date: 12/8/2023 3:10:10 PM
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Subject: Highlight
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Author: Daniel Torres
Date: 12/8/2023 3:10:21 PM
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Layer:
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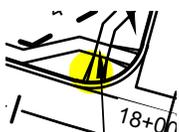
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Author: Daniel Torres
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Page Label: [16] 16 SITE PLAN 03
Author: Daniel Torres
Date: 12/8/2023 3:10:33 PM
Status:
Color:
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Subject: Highlight
Page Label: [16] 16 SITE PLAN 03
Author: Daniel Torres
Date: 12/8/2023 3:10:40 PM
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Subject: Highlight
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Author: Daniel Torres
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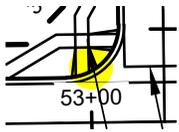
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Author: Daniel Torres
Date: 12/8/2023 3:12:18 PM
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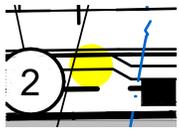
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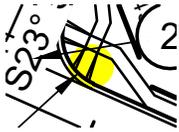
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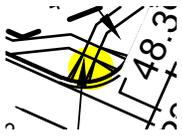
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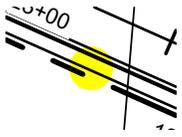
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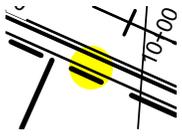
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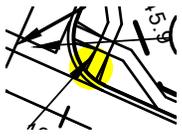
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Date: 12/8/2023 3:13:38 PM
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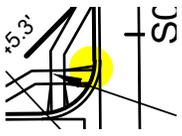
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Subject: Highlight
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Author: Daniel Torres
Date: 12/8/2023 3:13:51 PM
Status:
Color: ■
Layer:
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Subject: Highlight
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Author: Daniel Torres
Date: 12/8/2023 3:13:53 PM
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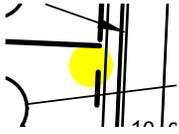
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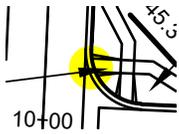
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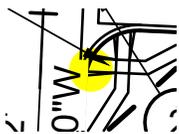
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Subject: Highlight
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Author: Daniel Torres
Date: 12/8/2023 3:14:39 PM
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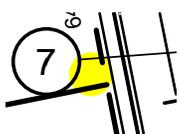
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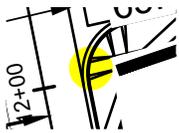
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Author: Daniel Torres
Date: 12/8/2023 3:14:51 PM
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Color: ■
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Subject: Highlight
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Author: Daniel Torres
Date: 12/8/2023 3:17:31 PM
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Color: ■
Layer:
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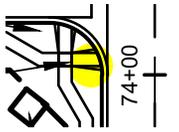
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Date: 12/8/2023 3:17:34 PM
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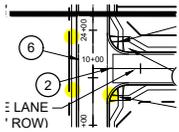
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Author: Daniel Torres
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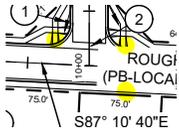
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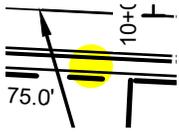
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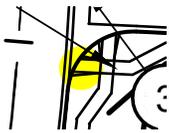
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Author: Daniel Torres
Date: 12/8/2023 3:20:51 PM
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Color: ■
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Subject: Highlight
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Author: Daniel Torres
Date: 12/8/2023 3:21:00 PM
Status:
Color: ■
Layer:
Space:



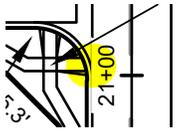
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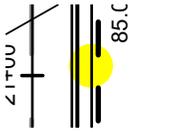
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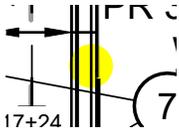
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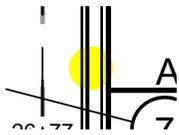
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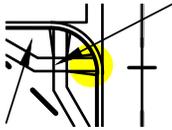
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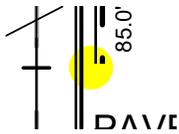
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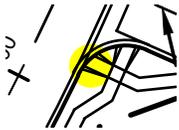
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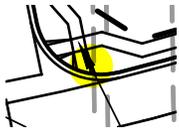
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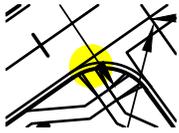
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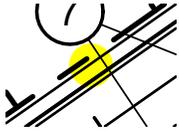
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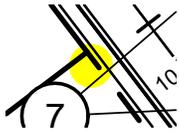
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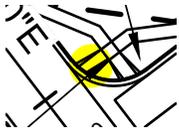
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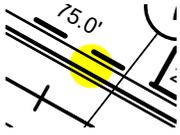
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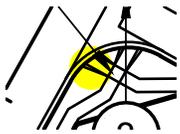
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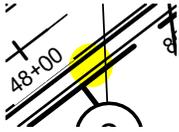
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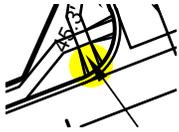
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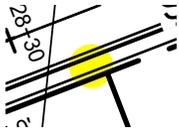
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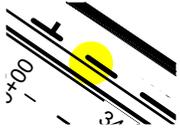
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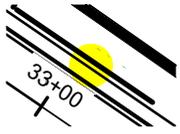
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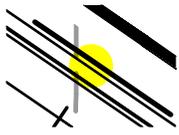
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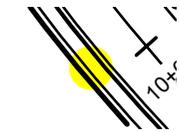
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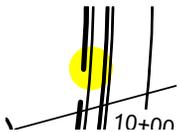
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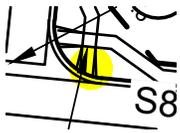
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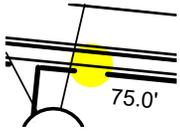
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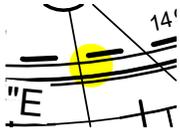
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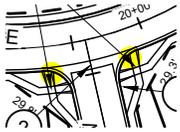
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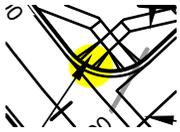
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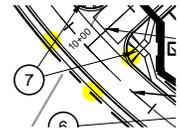
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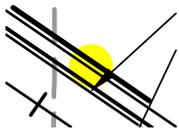
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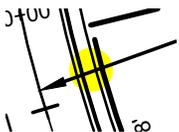
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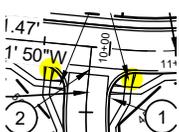
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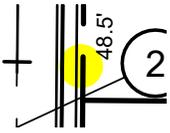
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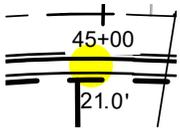
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Subject: Highlight
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Subject: Highlight
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Author: Daniel Torres
Date: 12/8/2023 3:37:06 PM
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Image (1)



Subject: Image
Page Label: [2] 2 NOTES
Author: Ryan Howser
Date: 12/6/2023 11:22:20 AM
Status:
Color: ■
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Space:

Owner Certification (1)



Subject: Owner Certification
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 12:31:07 PM
Status:
Color: ■
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Owners Certificate

The undersigned, being all the owners, mortgagees, beneficiaries of deeds of trust and holders of other interests in the land described herein, have laid out, subdivided, and platted said lands into lots, tracts, streets, and easements (use which are applicable) as shown hereon under the name and subdivision of

_____. All public improvements so platted are hereby dedicated to public use and said owner does hereby covenant and agree that the public improvements will be constructed to El Paso County standards and that proper drainage and erosion control for same will be provided at said owner's expense, all to the satisfaction of the Board of County Commissioners of El Paso County, Colorado. Upon acceptance by resolution, all public improvements so dedicated will become matters of maintenance by El Paso County, Colorado. The utility easements shown hereon are hereby dedicated for public utilities and communication systems and other purposes as shown hereon. The entities responsible for providing the services for which the easements are established are hereby granted the perpetual right of ingress and egress from and to adjacent properties for installation, maintenance, and replacement of utility lines and related facilities.

Owners/Mortgagee (Signature)

By:
Title:

ATTEST: (if corporation)

Secretary/Treasurer

STATE OF COLORADO)
) ss.
COUNTY OF _____)

Acknowledged before me this _____ day of _____, 200__ by _____ as _____.

My commission expires _____

Witness my hand and official seal _____

Notary Public

Signatures of officers signing for a corporation shall be acknowledged as follows: (print name) as President/Vice President and print name as Secretary/Treasurer, name of corporation, a state corporation.

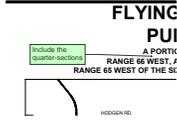
Signatures of managers/members for a LLC shall be acknowledged as follows: (print name) as Manager/Member of company, a state limited liability company.

(Note: Required when separate ratification statements for deed of trust holders, mortgagees are not utilized)



Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/5/2023 3:00:33 PM
Status:
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This should say "PUD Development Plan and Preliminary Plan"



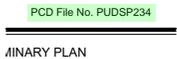
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Include the quarter-sections



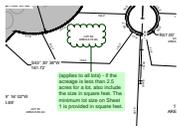
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Should this be Cherokee Metro?



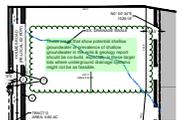
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PCD File No. PUDSP234



Subject: Planner
Page Label: [15] 15 SITE PLAN 02
Author: Ryan Howser
Date: 12/5/2023 5:21:03 PM
Status:
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Space:

(applies to all lots) - if the acreage is less than 2.5 acres for a lot, also include the size in square feet. The minimum lot size on Sheet 1 is provided in square feet.



Subject: Planner
Page Label: [15] 15 SITE PLAN 02
Author: Ryan Howser
Date: 12/5/2023 5:28:28 PM
Status:
Color: ■
Layer:
Space:

These areas that show potential shallow groundwater or prevalence of shallow groundwater in the soils & geology report should be no-build, especially in these larger lots where underground drainage systems might not be as feasible.



Subject: Planner
Page Label: [23] 23 SITE PLAN 10
Author: Ryan Howser
Date: 12/6/2023 11:50:31 AM
Status:
Color: ■
Layer:
Space:

This should be reflected in a plat note. What is this use restriction? (same comment applies throughout this document)



Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 12:24:23 PM
Status:
Color: ■
Layer:
Space:

Update all of these statements to the current:

Authority: This PUD is authorized by Chapter 4 of the El Paso County Land Development Code, adopted pursuant to the Colorado Planned Unit Development Act of 1972, as amended.

Applicability: The provisions of this PUD shall run with the land. The landowners, their successors, heirs, or assigns shall be bound by this Development Plan, as amended and approved by the Planning and Community Development Department Director or Board of County Commissioners.

Adoption: The adoption of this development plan shall evidence the findings and decisions of the El Paso County Board of County Commissioners that this Development Plan for (name of PUD) is in general conformity with the El Paso County Master Plan, El Paso County Policy Plan and applicable Small Area Plan(s); is authorized under the provision of the El Paso County Land Development Code; and that the El Paso County Land Development Code and this development plan complies with the Colorado Planned Unit Development Act of 1972, as amended.

Relationship to County Regulations: The provisions of this Development Plan shall prevail and govern the development of (name of PUD), provided, however, that where the provisions of this Development Plan do not address a particular subject, the relevant provisions of the El Paso County Land Development Code, as amended and in effect at the time of the PUD plan approval (or owner acknowledge the PUD changes with the Code), or any other applicable resolutions or regulations of El Paso County, shall be applicable.

Enforcement: To further the mutual interest of the residents, occupants, and owners of the PUD and of the public in the preservation of the integrity of this development plan, the provisions of this plan relating to the use of land and the location of common open space shall run in favor of El Paso County and shall be enforceable at law or in equity by the County without limitation on any power or regulation otherwise granted by law.

Conflict: Where there is more than one provision within the development plan that covers the same subject matter, the provision which is most restrictive or imposes higher standards or requirements shall govern.

Maximum Level of Development: The total number of dwellings or the total commercial, business, or industrial intensity shown on the development plan for development within the specified planning areas is the maximum development requested for platting or construction (plus any approved density transfers). The actual number of dwellings or level of development may be less due to subdivision or Site Development Plan requirements, land carrying capacity, or other requirements of the Board of County Commissioners

Project Tracking: At the time of any final plat application, the applicant shall provide a summary of the development, to date, to Planning and

INCLUDING OFF-STREET PARKING, LANDSCAPE, AND HODGDEN ROAD. PLAN SUBMITTAL FOR PARCEL 6.

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:05:54 AM
Status:
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Hodgen

AND HODGDEN ROAD PLAN SUBMITTAL

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:06:07 AM
Status:
Color: ■
Layer:
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HODGDEN

SO COUNTY LAND DEVELOPMENT CODE INCLUDING OFF-STREET AND VARIANCE PROCESSES SHALL APPLY TO THIS PLAN. DRIVEWAYS ON BLACKFOOT ROAD AND HODGDEN ROAD IS TO REMAIN AS AT THE TIME OF SITE DEVELOPMENT PLAN SUBMITTAL. This note should be reworded: There shall be no direct lot access to ____ road(s).

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:07:04 AM
Status:
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This note should be reworded: There shall be no direct lot access to ____ road(s).

GRADING, LANDSCAPING, SITE DEVELOPMENT, AND VARIANCE PROCESSES SHALL APPLY TO THIS SUBMITTAL. What about Parcels 1 and 5? These are also commercial parcels.

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:08:00 AM
Status:
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What about Parcels 1 and 5? These are also commercial parcels.

NOT: SINGLE FAMILY RESIDENTIAL DEVELOPMENT. SINGLE FAMILY RESIDENTIAL, MAIL KIOSK, TRAIL, CORRI, IMPROVEMENTS, AND ANY OTHER. FLYING HORSE NORTH PARCELS 1-6. FAMILY 100 THOUSAND SQUARE FEET (9,750SF). REFER TO STRUCTURAL COVERAGE OF LOT: 50%. HEIGHT: THIRTY FIVE FEET (35'). AT FRONT BUILDING SETBACK LINE: SEVENTY FIVE FEET (75'). (75 FEET (25) TO FACE OF GARAGE EN FEET (25) TO FACE OF HOUSE E (25'). IN FEET (25).

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:10:14 AM
Status:
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TEN THOUSAND SQUARE FEET (9,750SF)

NOT: SINGLE FAMILY RESIDENTIAL DEVELOPMENT. SINGLE FAMILY RESIDENTIAL, MAIL KIOSK, TRAIL, CORRI, IMPROVEMENTS, AND ANY OTHER. PARCELS 1-6. CONFLICT. SQUARE FEET (9,750SF). (REFER TO STRUCTURAL COVERAGE OF LOT: 50%). HEIGHT: THIRTY FIVE FEET (35'). AT FRONT BUILDING SETBACK LINE: SEVENTY FIVE FEET (75').

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:12:43 AM
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Conflict

EAST SIGNAGE, PEDESTRIAN WALKWAYS, FENCING, FOR THE REGULATION OF DEVELOPMENT CONDITIONS AROUND THE PERIMETER OF A LOT.

This appears to provide residential lot standards for the smaller lots; however, development standards and guidelines should be different for the larger lots and estate lots (larger setbacks, easements, etc.) Please provide provisions and typical lots details for the larger residential lots.

SHEDS, DECKS, DETACHED DECKS, GAZEBOS, PATIOS, PERMITTED BY THE CITY.

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:13:49 AM
Status:
Color: ■
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Space:

This appears to provide residential lot standards for the smaller lots; however, development standards and guidelines should be different for the larger lots and estate lots (larger setbacks, easements, etc.) Please provide provisions and typical lots details for the larger residential lots.

RES SUCH AS SHEEDS, DECKS, DETACHED DECKS, GAZEBOS, PATIOS, PERMITTED BY THE CITY.

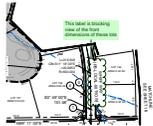
Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:14:10 AM
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SUCH AS

WOULD RECOMMEND TO REMOVE THE GUESSWORK AND PROVIDE A MORE CONCRETE REGULATION.

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:16:58 AM
Status:
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Would recommend to remove the guesswork and provide a more concrete regulation.



Subject: Planner
Page Label: [16] 16 SITE PLAN 03
Author: Ryan Howser
Date: 12/6/2023 10:19:56 AM
Status:
Color: ■
Layer:
Space:

This label is blocking view of the front dimensions of these lots

STAFF RECOMMENDS REMOVING THE MINIMUM LOT WIDTH TO PROMOTE THE UNIQUE CHARACTER OF THE DEVELOPMENT.

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:39:33 AM
Status:
Color: ■
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Staff recommends removing the minimum lot width to promote the unique character of the development

THIS SEEMS UNNECESSARILY COMPLICATED - IT MAY BE SIMPLER TO JUST APPLY A 15 FT. FRONT SETBACK ONLY.

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:40:42 AM
Status:
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This seems unnecessarily complicated - it may be simpler to just apply a 15 ft. front setback only.

RAGE OF LOT: 20%
30') - **TWO FLOORS**
TBACK LINE: N/A

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:51:30 AM
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TWO FLOORS

ACILITIES, AND SATELLITE DISHES, SUBJECT
XPRESSLY DESIGNATED AS ACCESSORY IN A
L MEET THE GENERAL ACCESSORY STRUCTUR
L DEVELOPMENT STANDARDS IN CHAPTER 6.
31: 20%
LOORS:
E: N/A

Not necessary

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:51:38 AM
Status:
Color: ■
Layer:
Space:

Not necessary

E OF LOT: 20%
45') - **TWO STORIES**
CK LINE: N/A

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:52:33 AM
Status:
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TWO STORIES

COMMUNITY BUILDING, CHILD CARE CENTE
ECKS, TRAILS, SHELTERS, PLAY EQUIPMEN
AGE, PEDESTRIAN WALKWAYS, FENCING, U
LARATION OF COVENANTS, CONDITIONS A
7%
ORIES

Not necessary

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:52:40 AM
Status:
Color: ■
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Not necessary

AGRICULTURAL
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PUD
747.27 AC - 100% RI
739'
3.0 DU/AC
CER
3 commercial
lots for the
entire
development
INDUCING
FLYING
APPLIC
THE FC
BY (NA)

Conform only
3 commercial
lots for the
entire
development

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:54:39 AM
Status:
Color: ■
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Conform only 3 commercial lots for the entire development.

THIS INFORMATION IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT TO BE USED FOR ANY OTHER PURPOSE. THE USER OF THIS INFORMATION SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION. THE USER OF THIS INFORMATION SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER OF THIS INFORMATION SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER OF THIS INFORMATION SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

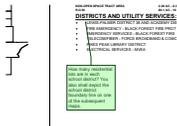
Subject: Planner
Page Label: [4] 4 OVERALL SITE
Author: Ryan Howser
Date: 12/6/2023 10:56:16 AM
Status:
Color: ■
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Space:

Using this page as a placeholder for this comment (this information should be included on the 1"-100' scaled site plan pages): depict the following information:

Approximate location of all areas of floodplains, frequent stormwater inundation, or storm water overflow and the location, widths, and direction of flow of all water courses.

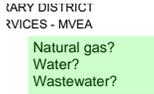
Areas of geological hazards and constraints, including but not limited to slopes greater than 30 percent.

Base flood elevations, unless otherwise proposed to be modified via the LOMR process through FEMA.



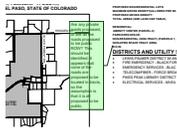
Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:59:53 AM
Status:
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How many residential lots are in each school district? You also shall depict the school district boundary line on one of the subsequent maps.



Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:57:41 AM
Status:
Color: ■
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Natural gas? Water? Wastewater?



Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 11:00:06 AM
Status:
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Are any private roads proposed, or are all the roads proposed to be public ROW? This should be identified. It appears that none of the roads are proposed to be located in tracts, so the assumption is that it is all proposed to be public.



Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 11:01:18 AM
Status:
Color: ■
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FLYING HORSE NORTH PUD REMAINDER



Subject: Planner
Page Label: [2] 2 NOTES
Author: Ryan Howser
Date: 12/6/2023 11:15:41 AM
Status:
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5. CENTRAL WATER INFRASTRUCTURE TO BE CONSTRUCTED, OWNED AND OPERATED BY FAWWA-FALCON AREA WATER/WASTEWATER AUTHORITY (OR SIMILAR PROVIDER) WHICH WILL PROVIDE WATER SERVICE TO THE PROJECT. ON-SITE WATER FACILITIES MAY BE OWNED BY THE FHN METRO DISTRICT.
 6. CENTRAL WASTEWATER INFRASTRUCTURE WILL CONSIST OF A COLLECTION SYSTEM OWNED AND OPERATED BY THE FHN METROPOLITAN DISTRICT WHO WILL PROVIDE SERVICE TO THE INDIVIDUAL HOMES. THE COLLECTIONS SYSTEM WILL ULTIMATELY CONNECT TO THE TRIVIEW METROPOLITAN DISTRICT (OR SIMILAR PROVIDER).

IN VIEW ELECTRIC ASSOCIATION. ALL TRACTS THROUGH W88
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PARKS
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AROUND THE PERIMETER OF THE LOTS PERIMETER AS FOLLO
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ED TO W88A IN SELECT AREAS AROUND THE PERIMETER OF T
D WITH W88A WITH FINAL LOCATIONS TO BE INCLUDED ON T
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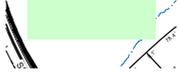
Subject: Planner
Page Label: [2] 2 NOTES
Author: Ryan Howser
Date: 12/6/2023 11:20:54 AM
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Cannot locate Lots 633 and 634.



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Author: Ryan Howser
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Cannot locate Lots 633 and 634.

Same comment as other commercial lot - either designate this as a numbered lot, or identify it as a future tract for development and determination of number of lots at a later phase of PUD/SP.

Subject: Planner
Page Label: [23] 23 SITE PLAN 10
Author: Ryan Howser
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Layer:
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Same comment as other commercial lot - either designate this as a numbered lot, or identify it as a future tract for development and determination of number of lots at a later phase of PUD/SP.

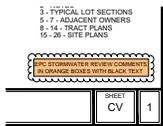
Soils & Geology (1)



Subject: Soils & Geology
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 12:26:04 PM
Status:
Color: ■
Layer:
Space:

Please update the note to incorporate CGS recommendations (provided via comment in EDARP) and use the below note as a template: (to be customized based upon the individual circumstances)
The following lots have been found to be impacted by geologic hazards. Mitigation measures and a map of the hazard area can be found in the report (Title of Report, generally from the Preliminary Plan file) by (author of the report) (date of report) in file (name of file and file number) available at the El Paso County Planning and Community Development Department:
▪Downslope Creep: (name lots or location of area)
▪Rockfall Source:(name lots or location of area)
▪Rockfall Runout Zone:(name lots or location of area)
▪Potentially Seasonally High Groundwater:(name lots or location of area)
▪Other Hazard:
In Areas of High Groundwater:
Due to high groundwater in the area, all foundations shall incorporate an underground drainage system.

Stamp - Stormwater Comment Legend (1)



Subject: Stamp - Stormwater Comment Legend
Page Label: [1] COVER
Author: Mikayla Hartford
Date: 12/4/2023 12:51:20 PM
Status:
Color: ■
Layer:
Space:

Surveyor Certification (1)



Subject: Surveyor Certification
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 12:32:22 PM
Status:
Color: ■
Layer:
Space:

Surveyors Certificate

I surveyor's name, a duly registered Professional Land Surveyor in the State of Colorado, do hereby certify that this plat truly and correctly represents the results of a survey made on date of survey, by me or under my direct supervision and that all monuments exist as shown hereon; that mathematical closure errors are less than 1:10,000 ; and that said plat has been prepared in full compliance with all applicable laws of the State of Colorado dealing with monuments, subdivision, or surveying of land and all applicable provisions of the El Paso County Land Development Code.

I attest the above on this _____ day of _____, 20__.

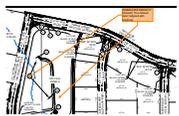
Surveyor's Name, (Signature)
Date
Colorado registered PLS # _____

SW - Textbox with Arrow (3)



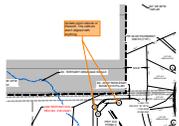
Subject: SW - Textbox with Arrow
Page Label: [21] 21 SITE PLAN 08
Author: Mikayla Hartford
Date: 12/4/2023 11:26:58 AM
Status:
Color: ■
Layer:
Space:

Update pond callouts or linework. The callouts aren't aligned with anything.



Subject: SW - Textbox with Arrow
Page Label: [15] 15 SITE PLAN 02
Author: Mikayla Hartford
Date: 12/4/2023 11:27:39 AM
Status:
Color: ■
Layer:
Space:

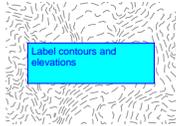
Update pond callouts or linework. The callouts aren't aligned with anything.



Subject: SW - Textbox with Arrow
Page Label: [20] 20 SITE PLAN 07
Author: Mikayla Hartford
Date: 12/4/2023 11:29:45 AM
Status:
Color: ■
Layer:
Space:

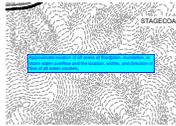
Update pond callouts or linework. The callouts aren't aligned with anything.

Text Box (15)



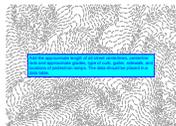
Subject: Text Box
Page Label: [4] 4 OVERALL SITE
Author: eschoenheit
Date: 12/6/2023 2:59:37 PM
Status:
Color: ■
Layer:
Space:

Label contours and elevations



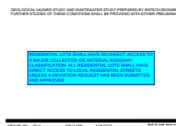
Subject: Text Box
Page Label: [4] 4 OVERALL SITE
Author: eschoenheit
Date: 12/6/2023 2:53:53 PM
Status:
Color: ■
Layer:
Space:

Approximate location of all areas of floodplain, inundation, or storm water overflow and the location, widths, and direction of flow of all water courses,



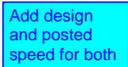
Subject: Text Box
Page Label: [4] 4 OVERALL SITE
Author: eschoenheit
Date: 12/6/2023 3:22:59 PM
Status:
Color: ■
Layer:
Space:

Add the approximate length of all street centerlines, centerline radii and approximate grades, type of curb, gutter, sidewalk, and locations of pedestrian ramps. The data should be placed in a data table.



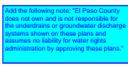
Subject: Text Box
Page Label: [1] COVER
Author: eschoenheit
Date: 12/7/2023 4:36:56 PM
Status:
Color: ■
Layer:
Space:

RESIDENTIAL LOTS SHALL HAVE NO DIRECT ACCESS TO A MAJOR COLLECTOR OR ARTERIAL ROADWAY CLASSIFICATION. ALL RESIDENTIAL LOTS SHALL HAVE DIRECT ACCESS TO LOCAL RESIDENTIAL STREETS UNLESS A DEVIATION REQUEST HAS BEEN SUBMITTED AND APPROVED



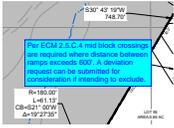
Subject: Text Box
Page Label: [1] 24x36
Author: eschoenheit
Date: 12/6/2023 3:51:37 PM
Status:
Color: ■
Layer:
Space:

Add design and posted speed for both



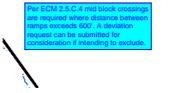
Subject: Text Box
Page Label: [1] COVER
Author: lpachman
Date: 12/7/2023 11:39:32 AM
Status:
Color: ■
Layer:
Space:

Add the following note: "El Paso County does not own and is not responsible for the underdrains or groundwater discharge systems shown on these plans and assumes no liability for water rights administration by approving these plans."



Subject: Text Box
Page Label: [16] 16 SITE PLAN 03
Author: lpackman
Date: 12/7/2023 2:53:15 PM
Status:
Color: ■
Layer:
Space:

Per ECM 2.5.C.4 mid block crossings are required where distance between ramps exceeds 600'. A deviation request can be submitted for consideration if intending to exclude.



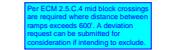
Subject: Text Box
Page Label: [17] 17 SITE PLAN 04
Author: lpackman
Date: 12/7/2023 2:56:46 PM
Status:
Color: ■
Layer:
Space:

Per ECM 2.5.C.4 mid block crossings are required where distance between ramps exceeds 600'. A deviation request can be submitted for consideration if intending to exclude.



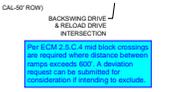
Subject: Text Box
Page Label: [18] 18 SITE PLAN 05
Author: lpackman
Date: 12/7/2023 3:17:02 PM
Status:
Color: ■
Layer:
Space:

Per ECM 2.5.C.4 mid block crossings are required where distance between ramps exceeds 600'. A deviation request can be submitted for consideration if intending to exclude.



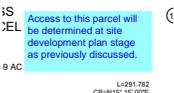
Subject: Text Box
Page Label: [21] 21 SITE PLAN 08
Author: lpackman
Date: 12/7/2023 3:30:45 PM
Status:
Color: ■
Layer:
Space:

Per ECM 2.5.C.4 mid block crossings are required where distance between ramps exceeds 600'. A deviation request can be submitted for consideration if intending to exclude.



Subject: Text Box
Page Label: [22] 22 SITE PLAN 09
Author: lpackman
Date: 12/7/2023 4:02:07 PM
Status:
Color: ■
Layer:
Space:

Per ECM 2.5.C.4 mid block crossings are required where distance between ramps exceeds 600'. A deviation request can be submitted for consideration if intending to exclude.



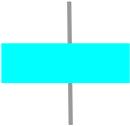
Subject: Text Box
Page Label: [19] 19 SITE PLAN 06
Author: Daniel Torres
Date: 12/7/2023 4:16:23 PM
Status:
Color: ■
Layer:
Space:

Access to this parcel will be determined at site development plan stage as previously discussed.



Subject: Text Box
Page Label: [1] 24x36
Author: Daniel Torres
Date: 12/8/2023 2:26:20 PM
Status:
Color: ■
Layer:
Space:

Comments have been provided on the TIS regarding the upgrade of roadways such as Stagecoach Rd, black forest, Allen Ranch Rd etc. Provide proposed cross section of the improvements proposed due to the upgrade in classification. Coordinate with the traffic engineer.



Subject: Text Box
Page Label: [4] 4 OVERALL SITE
Author: Daniel Torres
Date: 12/8/2023 2:26:48 PM
Status:
Color: ■
Layer:
Space:



Subject: Text Box
Page Label: [1] 24x36
Author: Daniel Torres
Date: 12/8/2023 3:47:57 PM
Status:
Color: ■
Layer:
Space:

comments have been provided on the TIS to provide roundabout analysis. Please make changes accordingly based on any changes (if any) from the analysis. Additional comments may be generated once analysis and changes are reflected on the plans