

PURPOSE AND INTENT:

TO CREATE A COHESIVE AND WELL-PLANNED COMMUNITY TO ALLOW A MAXIMUM 796 DWELLING UNITS (PARCELS TWO AND THREE), THREE (3) NON-RESIDENTIAL PARCELS (PARCELS ONE, FIVE AND SIX) AND ONE (1) HOTEL PARCEL (PARCEL TWO) CONTAINING 275 HOTEL KEYS, CASITAS AND FLAT UNITS. ACREAGE OF THE SIX PARCELS IS AS FOLLOWS:
PARCEL 1
14.59 ACRES FOR NEW CLUBHOUSE/GOLF FACILITIES, RESTAURANT AND OTHER RELATED USES AS DEFINED BY THIS PUD/PRELIMINARY PLAN
PARCEL 2
30.27 ACRES FOR A HOTEL AND GOLF CASITA UNITS AND FLATS
PARCEL 3
364.00 ACRES WITH 455 UNITS OF RESIDENTIAL HOMES
PARCEL 4
314.50 ACRES WITH 341 UNITS OF RESIDENTIAL HOMES
PARCEL 5
14.72 ACRES FOR A COMMUNITY RECREATION CENTER AND PARK
PARCEL 6
9.19 ACRES FOR COMMERCIAL USES AS DEFINED BY THIS PUD/PRELIMINARY PLAN.
THE LOCATION AND INTENSITY OF USES GENERALLY CONFORMS TO THE SKETCH PLAN APPROVED BY THE EL PASO BOARD OF COUNTY COMMISSIONERS ON SEPTEMBER 22, 2020.

Update all of these statements to the current:

Authority: This PUD is authorized by Chapter 4 of the El Paso County Land Development Code, adopted pursuant to the Colorado Planned Unit Development Act of 1972, as amended.

Applicability: The provisions of this PUD shall run with the land. The landowners, their successors, heirs, or assigns shall be bound by this Development Plan, as amended and approved by the Planning and Community Development Department Director or Board of County Commissioners.

Adoption: The adoption of this development plan shall evidence the findings and decisions of the El Paso County Board of County Commissioners that this Development Plan for (name of PUD) is in general conformity with the El Paso County Master Plan, El Paso County Policy Plan and applicable Small Area Plan(s); is authorized under the provision of the El Paso County Land Development Code; and that the El Paso County Land Development Code and this development plan complies with the Colorado Planned Unit Development Act of 1972, as amended.

Relationship to County Regulations: The provisions of this Development Plan shall prevail and govern the development of (name of PUD), provided, however, that where the provisions of this Development Plan do not address a particular subject, the relevant provisions of the El Paso County Land Development Code, as amended and in effect at the time of the PUD plan approval (or owner acknowledge the PUD changes with the Code), or any other applicable resolutions or regulations of El Paso County, shall be applicable.

Enforcement: To further the mutual interest of the residents, occupants, and owners of the PUD and of the public in the preservation of the integrity of this development plan, the provisions of this plan relating to the use of land and the location of common open space shall run in favor of El Paso County and shall be enforceable at law or in equity by the County without limitation on any power or regulation otherwise granted by law.

Conflict: Where there is more than one provision within the development plan that covers the same subject matter, the provision which is most restrictive or imposes higher standards or requirements shall govern.

Maximum Level of Development: The total number of dwellings or the total commercial, business, or industrial intensity shown on the development plan for development within the specified planning areas is the maximum development requested for platting or construction (plus any approved density transfers). The actual number of dwellings or level of development may be less due to subdivision or Site Development Plan requirements, land carrying capacity, or other requirements of the Board of County Commissioners

Project Tracking: At the time of any final plat application, the applicant shall provide a summary of the development, to date, to Planning and Community Development Department, in order to assure maximum development limits are not exceeded.

Also include: Project History Tracker table added to cover

The cover sheet shall include any cross reference to the ZCP or previous PUD Development Plan, including any recording references.

The following certifications on a single sheet, which is typically the cover sheet: Surveyor, Title Verification, Board of County Commissioners, Clerk and Recorder, and PCD Director.

Acknowledgments of the execution of the development plan by the property owner(s) (Statement of ownership and acknowledgment) before a notary public

ACCESS LIMITATION NOTE:

- THERE SHALL BE NO RESIDENTIAL LOT ACCESS (DRIVEWAYS) ON BLACK FOREST ROAD AND HODGEN ROAD.
- STAGECOACH ROAD ACCESS TO BLACK FOREST ROAD IS TO REMAIN.
- COMMERCIAL ACCESS POINTS WILL BE REQUESTED AT THE TIME OF SITE DEVELOPMENT PLAN SUBMITTAL FOR PARCEL 6.

LEGAL DESCRIPTION:

SEE SHEET 2

ADA NOTE:

- THE SUBDIVIDER / DEVELOPER HAS FAMILIARIZED ITSELF WITH THE CURRENT AMERICANS WITH DISABILITIES ACT (ADA) LAWS AND ACCESSIBILITY STANDARDS AND HAS LAID OUT THE PLAT AND ASSOCIATED GRADING AND CONSTRUCTION PLANS SO THAT ALL SITE ELEMENTS MEET THE APPLICABLE ADA DESIGN STANDARDS AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAT AND ASSOCIATED CONSTRUCTION DOCUMENTS BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. IT IS THE RESPONSIBILITY OF THE DEVELOPER / HOME BUILDER TO ENSURE ADA ACCESSIBILITY DURING CONSTRUCTION OF THE PRIVATE SIDEWALKS.

ENVIRONMENTAL NOTE:

- DEVELOPER SHALL COMPLY WITH FEDERAL AND STATE LAWS, REGULATIONS, ORDINANCES, REVIEW AND PERMIT REQUIREMENTS, AND OTHER AGENCY REQUIREMENTS, IF ANY, OF APPLICABLE AGENCIES INCLUDING, BUT NOT LIMITED TO, THE COLORADO DIVISION OF WILDLIFE, COLORADO DEPARTMENT OF TRANSPORTATION, U.S. ARMY CORPS OF ENGINEERS AND THE U.S. FISH AND WILDLIFE SERVICE REGARDING THE ENDANGERED SPECIES ACT, PARTICULARLY AS IT RELATES TO THE LISTED SPECIES (E.G. PREBLE'S MEADOW JUMPING MOUSE).

FLOODPLAIN NOTES:

- PORTIONS OF THIS PROPERTY ARE LOCATED WITHIN A DESIGNATED FEMA FLOODPLAIN AS DETERMINED BY THE FEMA NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE MAP NUMBERS '08041C0305G' AND '08041C0315G' WITH AN EFFECTIVE DATE OF DECEMBER 7, 2018.
- THE EXISTING FLOODPLAIN BOUNDARIES ARE INTENDED TO REMAIN AND DEVELOPMENT WILL OCCUR OUTSIDE THE FLOODPLAIN LIMITS.
- NO STRUCTURES OR SOLID FENCES ARE PERMITTED WITHIN THE DESIGNATED FLOODPLAIN AREA.

GEOLOGIC HAZARD NOTE:

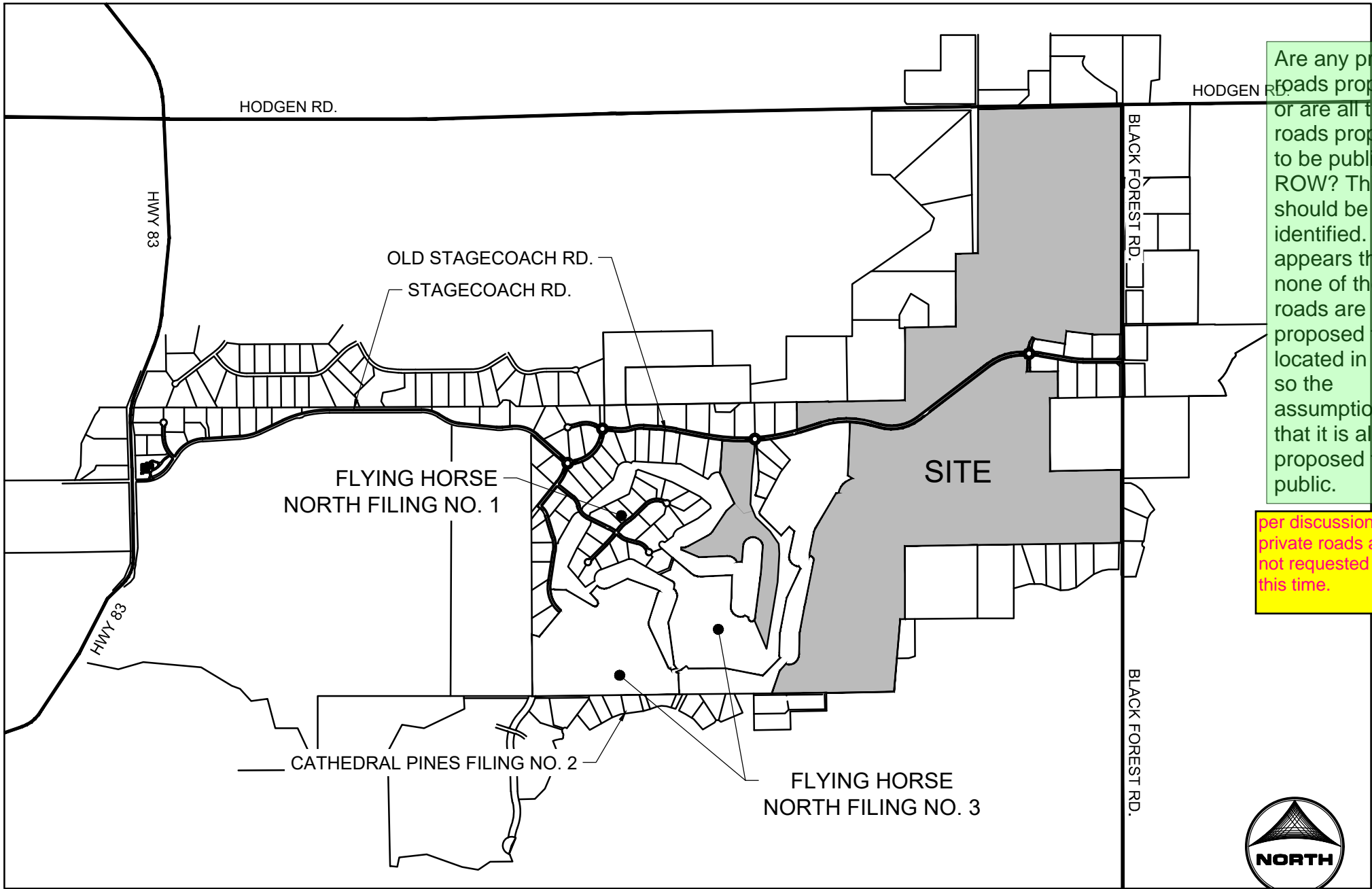
- ARE: Please update the note to incorporate CGS recommendations (provided via comment in EDARP) and use the below note as a template: (to be customized based upon the individual circumstances)
- STA: The following lots have been found to be impacted by geologic hazards. Mitigation measures and a map of the hazard area can be found in the report (Title of Report, generally from the Preliminary Plan file) by (author of the report) (date of report) in file (name of GEO file and file number) available at the El Paso County Planning and Community Development Department:
- FUR: •Downslope Creep: (name lots or location of area)
•Rockfall Source: (name lots or location of area)
•Rockfall Runout Zone: (name lots or location of area)
•Potentially Seasonally High Groundwater: (name lots or location of area)
•Other Hazard:
In Areas of High Groundwater:
Due to high groundwater in the area, all foundations shall incorporate an underground drainage system.

RESIDENTIAL LOTS SHALL HAVE NO DIRECT ACCESS TO A MAJOR COLLECTOR OR ARTERIAL ROADWAY CLASSIFICATION. ALL RESIDENTIAL LOTS SHALL HAVE DIRECT ACCESS TO LOCAL RESIDENTIAL STREETS UNLESS A DEVIATION REQUEST HAS BEEN SUBMITTED AND APPROVED

Add the following note: "El Paso County does not own and is not responsible for the underdrains or groundwater discharge systems shown on these plans and assumes no liability for water rights administration by approved plans."

FLYING HORSE NORTH - PHASE 2
PUD / PRELIMINARY PLAN

A PORTION OF SECTIONS 34, 35 AND 36 TOWNSHIP 11 SOUTH,
RANGE 66 WEST, AND A PORTION OF SECTIONS 30 AND 31, TOWNSHIP 11 SOUTH,
RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO



PARCEL 3 & 4 (SINGLE FAMILY RESIDENTIAL) DEVELOPMENT STANDARDS AND GUIDELINES:

- THERE SHALL BE ONLY ONE (1) PRINCIPAL (PRIMARY) USE OF SINGLE FAMILY RESIDENCE ON A LOT.
- ALLOWED USES INCLUDE: SINGLE FAMILY RESIDENTIAL, MAIL KIOSK, TRAIL CORRIDORS, DEVELOPMENT SIGNAGE, PEDESTRIAN WALKWAYS, FENCING, UTILITIES, STORMWATER FACILITIES, DRAINAGE IMPROVEMENTS, AND ANY OTHER USES ALLOWED PER THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR FLYING HORSE NORTH PARCELS 1-6.
- MINIMUM LOT AREA:
 - DWELLING, SINGLE FAMILY: TEN THOUSAND SQUARE FEET (9,750 SF) (REPLACES 10,000 SF)
- MAXIMUM PERCENTAGE OF STRUCTURAL COVERAGE OF LOT: 50%.
- MAXIMUM STRUCTURAL HEIGHT: THIRTY FIVE FEET (35').
- MINIMUM WIDTH OF LOT AT FRONT BUILDING SETBACK LINE: SEVENTY FIVE FEET (75').
- SETBACK REQUIREMENTS:
 - FRONT YARD: TWENTY FIVE FEET (25') TO FACE OF GARAGE
 - SIDE YARD: FIVE FEET (5') TO FACE OF HOUSE
 - REAR YARD: FIVE FEET (5')
 - CORNER YARD: FIVE FEET (5')
 - CORNER YARD: FIVE FEET (5')

- ACCESSORY USE STANDARDS:
- ACCESSORY STRUCTURE USE SHALL BE LIMITED TO TYPICAL RESIDENTIAL STRUCTURES SUCH AS SHEDS, DETACHED GARAGES, HOT TUBS AND POOLS WITH THE EXCEPTION OF ONE (1) GUEST HOUSE (ACCESSORY LIVING QUARTER) PER LOT.
 - ACCESSORY STRUCTURES SHALL ONLY BE LOCATED WITHIN THE BACK-YARD AND MUST BE LOCATED BEHIND THE MAIN STRUCTURE. NO ACCESSORY USES WILL BE PERMITTED IN THE FRONT YARD OR IN FRONT OF THE PRIMARY RESIDENCE.
 - ACCESSORY STRUCTURE SETBACK REQUIREMENTS:
 - HEIGHT: FIFTEEN (15') - ONE STORY
 - FRONT YARD: FIFTY FEET (50')
 - SIDE YARD: FIVE FEET (5')
 - REAR YARD: FIVE FEET (5')
 - CORNER YARD (NON-DRIVEWAY SIDE): FIFTEEN (15') TO FACE OF HOUSE
 - CORNER YARD ADJACENT TO AN OPEN SPACE
 - CORNER YARD: FIVE FEET (5')
 - GUEST HOUSE (ACCESSORY LIVING QUARTER) SETBACK REQUIREMENTS:
 - HEIGHT: THIRTY FIVE (35') - TWO STORIES
 - FRONT YARD: FIFTY FEET (50')
 - SIDE YARD: TEN FEET (10')
 - REAR YARD: TEN FEET (10')

PARCEL 1 (GOLF CLUBHOUSE & FACILITIES - NON-RESIDENTIAL) DEVELOPMENT STANDARDS:

- PRIMARY USES ALLOWED: HOTEL, CONVENIENCE STORE, CLUB, COMMUNITY BUILDING, CONVENIENCE STORE, HEALTH CLUB, GOLF COURSE (AND ASSOCIATED FACILITIES PER EPC CODE), GOLF CAR FUELING STATIONS, RECREATIONAL FACILITIES, MAINTENANCE FACILITIES (INCLUDING OUTSIDE STORAGE), RESTAURANT, GOLF CART STORAGE, POOLS, PATIO, DECKS, PARKING, SHELTERS, PLAY EQUIPMENT, SPORTS ACTIVITY COURTS, RESTROOMS AND SHELTERS.
- SECONDARY USES ALLOWED: OPEN SPACE, PARKS, MAIL KIOSK, TRAILS, DEVELOPMENT SIGNAGE, PEDESTRIAN WALKWAYS, FENCING, UTILITIES, STORMWATER FACILITIES, DRAINAGE IMPROVEMENTS, AND ANY OTHER USES ALLOWED PER THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR FHN PUD PARCELS AND THE FHN HOA DESIGN GUIDELINES.
- MINIMUM LOT AREA: 1 ACRE
- MAXIMUM PERCENTAGE OF STRUCTURAL COVERAGE OF LOT: 40%
- MAXIMUM STRUCTURAL HEIGHT: FORTY FIVE FEET (45')
- MINIMUM WIDTH OF LOT AT FRONT BUILDING SETBACK LINE: N/A
- SETBACK REQUIREMENTS:
 - FRONT YARD: TWENTY FIVE FEET (25')
 - SIDE YARD: TEN FEET (10')
 - REAR YARD: TWENTY FIVE FEET (25')
- OPEN SPACE REQUIRED: 10%

PARCEL 2 (HOTEL, GOLF CASITAS & FLATS) DEVELOPMENT STANDARDS:

- PRIMARY USES ALLOWED: HOTEL, RETAIL SALES (GENERAL), RESTAURANT, BAKERY (RETAIL), NIGHT CLUB, PARKING GARAGE, PARKING LOT, ATTACHED UNITS (FLATS), DETACHED UNITS (CASITAS), HEALTH CLUB, RECREATIONAL FACILITIES, MAINTENANCE FACILITIES, SPORTS ACTIVITY COURTS, AND RESTROOMS. FLATS - FOR SALE OR RENT UNITS. CASITAS - GOLF CASITAS OWNED AND MAINTAINED BY THE HOTEL.
- SECONDARY USES ALLOWED: POOLS, PATIO, DECKS, SHELTERS, PLAY EQUIPMENT, PUBLIC OR PRIVATE OPEN SPACE, PARKS, MAIL KIOSK, TRAILS, DEVELOPMENT SIGNAGE, PEDESTRIAN WALKWAYS, FENCING, UTILITIES, STORMWATER FACILITIES, DRAINAGE IMPROVEMENTS, AND ANY OTHER USES ALLOWED PER THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR FHN PUD PARCELS AND THE FHN HOA DESIGN GUIDELINES.
- MAXIMUM UNITS (KEYS) ALLOWED: 175 HOTEL KEYS
50 CASITAS (KEYS)
50 FLATS
275 TOTAL UNITS/KEYS

- MAXIMUM UNITS/KEYS ALLOWED: 275
- MINIMUM LOT AREA: 5 ACRES
- MAXIMUM PERCENTAGE OF STRUCTURAL COVERAGE OF LOT: 30%
- MAXIMUM STRUCTURAL HEIGHT: FORTY FIVE FEET (45')
- MINIMUM WIDTH OF LOT AT FRONT BUILDING SETBACK LINE: N/A
- SETBACK REQUIREMENTS:
 - FRONT YARD: FIVE FEET (5')
 - SIDE YARD: FIVE FEET (5')
 - REAR YARD: FIVE FEET (5')
- OPEN SPACE REQUIRED: 10%

SITE DATA

EXISTING LAND USE:
EXISTING ZONING:
PROPOSED ZONING:

SITE ACREAGE:
PROPOSED NUMBER OF UNITS:
PROPOSED NON-RESIDENTIAL LOTS:
MAXIMUM GROSS DENSITY (ALLOWED PER SKETCH PLAN):
PROPOSED GROSS DENSITY:
TOTAL AREAS (SEE LAND USE TABLE)

RESIDENTIAL:
AMENITY CENTER (PARCEL 4):
PARK/OPEN SPACE:
NON-RESIDENTIAL (NON-TRACT) (PARCELS 1, 2, & 6):
NON-OPEN SPACE TRACT AREA
R.O.W.

DISTRICTS AND UTILITY SERVICES:

- LEWIS-PALMER DISTRICT 38 AND ACADEMY DISTRICT 20
- FIRE EMERGENCY - BLACK FOREST FIRE PROTECTION DISTRICT
- EMERGENCY SERVICES - BLACK FOREST FIRE PROTECTION DISTRICT
- TELECOM/FIBER - FORCE BROADBAND & COMCAST
- PIKES PEAK LIBRARY DISTRICT
- ELECTRICAL SERVICES - MVEA

Natural gas?
Water?
Wastewater?

How many residential lots are in each school district? You also shall depict the school district boundary line on one of the subsequent maps.

Surveyors Certificate

I, Surveyor's name, a duly registered Professional Land Surveyor in the State of Colorado, do hereby certify that this plat truly and correctly represents the results of a survey made on or about the day of survey, by me or under my direct supervision and that all monuments exist as shown hereon; that mathematical computations have been made to a minimum of 1:10,000; and that said plat has been prepared in full compliance with all applicable laws, rules, and regulations of the State of Colorado dealing with monuments, subdivision, or surveying of land and all applicable provisions of the El Paso County Land Development Code.

I attest the above on this day of 20__.

Surveyor's Name, (Signature)
Colorado registered PL# _____

Date

FLATS

- MAXIMUM UNITS/KEYS ALLOWED: 50
 - MINIMUM LOT AREA: 5 ACRES
 - MAXIMUM PERCENTAGE OF STRUCTURAL COVERAGE OF LOT: 30%
 - MAXIMUM STRUCTURAL HEIGHT: FORTY FIVE FEET (45')
 - MINIMUM WIDTH OF LOT AT FRONT BUILDING SETBACK LINE: TWO HUNDRED FEET (200')
 - SETBACK REQUIREMENTS:
 - FRONT YARD: FIVE FEET (5')
 - SIDE YARD: FIVE FEET (5')
 - REAR YARD: FIVE FEET (5')
 - OPEN SPACE REQUIRED: 10%
- CASITAS
 - MAXIMUM LOT AREA: 5 ACRES
 - MAXIMUM PERCENTAGE OF STRUCTURAL COVERAGE OF LOT: 30%
 - MAXIMUM STRUCTURAL HEIGHT: TWENTY FIVE FEET (25') - ONE FLOOR
 - MINIMUM WIDTH OF LOT AT FRONT BUILDING SETBACK LINE: TWO HUNDRED FEET (200')
 - SETBACK REQUIREMENTS:
 - FRONT YARD: FIVE FEET (5')
 - SIDE YARD: FIVE FEET (5')
 - REAR YARD: FIVE FEET (5')
 - OPEN SPACE REQUIRED: 10%

PARCEL 5 (PARK/FITNESS CENTER - NON-RESIDENTIAL) DEVELOPMENT STANDARDS:

- PRIMARY USES ALLOWED: HEALTH CLUB, CLUB, HEALTH CLUB, COMMUNITY BUILDING, CHILD CARE CENTER, PARKING LOT, PUBLIC OR PRIVATE PARK, OPEN SPACE, FITNESS CENTER, RESTAURANT, POOLS, PATIO, DECKS, TRAILS, SHELTERS, PLAY EQUIPMENTS.
- SECONDARY USES ALLOWED: MAIL KIOSK, DEVELOPMENT SIGNAGE, PEDESTRIAN WALKWAYS, FENCING, UTILITIES, STORMWATER FACILITIES, DRAINAGE IMPROVEMENTS, AND ANY OTHER USES ALLOWED PER THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR FHN PUD PARCELS AND THE FHN HOA DESIGN GUIDELINES.
- MINIMUM LOT AREA: 10 ACRES
- MAXIMUM PERCENTAGE OF STRUCTURAL COVERAGE OF LOT: 30%
- MAXIMUM STRUCTURAL HEIGHT: FORTY FIVE FEET (45') - TWO STORIES
- MINIMUM WIDTH OF LOT AT FRONT BUILDING SETBACK LINE: N/A
- SETBACK REQUIREMENTS:
 - FRONT YARD: TWENTY FIVE FEET (25')
 - SIDE YARD: TWENTY FIVE FEET (25')
 - REAR YARD: TWENTY FIVE FEET (25')
- OPEN SPACE REQUIRED: 10%

PARCEL 6 (COMMERCIAL & FIRE STATION - NON-RESIDENTIAL) DEVELOPMENT STANDARDS:

- PRIMARY USES ALLOWED: ALL ALLOWED USES LISTED UNDER EL PASO COUNTY COMMERCIAL ZONES - CC (COMMERCIAL COMMUNITY), CR (COMMERCIAL REGIONAL) AND CS (COMMERCIAL SERVICES)
- NOT ALLOWED: AUCTION FACILITY, BATCH PLANT, BOTTLING WORKS, CARNIVAL OR CIRCUS, CONSTRUCTION EQUIPMENT STORAGE, FERTILIZING MANUFACTURING, FLEA MARKET, FOOD PROCESSING, FREIGHT TERMINAL, GARBAGE SERVICE FACILITY, HEAVY EQUIPMENT RENTAL, SALES OR STORAGE, INERT MATERIAL DISPOSAL, LIGHT INDUSTRY, LIGHT MANUFACTURING, MARIJUANA LAND USE, MEDICAL, MINERAL AND NATURAL RESOURCE EXTRACTION OPERATIONS, MINING, CONSTRUCTION-RELATED, PRISON-PRIVATE OR PUBLIC, SEXUALLY-ORIENTED BUSINESS.
- SECONDARY USES ALLOWED: ON-SITE PARKING GARAGE OR LOT THAT PROVIDES REQUIRED PARKING FOR A STRUCTURE OR COMMERCIAL/INDUSTRIAL USE, ON-PREMISE SIGNS; TOTALLY ENCLOSED FACILITIES FOR STORING MERCHANDISE OR MATERIALS NEEDED FOR COMMERCIAL/INDUSTRIAL USE; FUEL STORAGE; FENCE, WALL AND HEDGE; ANTENNAS, RADIO FACILITIES, AND SATELLITE DISHES, SUBJECT TO THE REQUIREMENTS OF THIS CODE; AND ANY ACCESSORY STRUCTURE, STRUCTURE OR RELATED USE EXPRESSLY DESIGNATED AS ACCESSORY IN A COMMERCIAL OR INDUSTRIAL ZONING DISTRICT ESTABLISHED UNDER THIS CODE. ACCESSORY USES SHALL MEET THE GENERAL ACCESSORY STRUCTURE AND USE STANDARDS, ANY APPLICABLE SPECIFIC ACCESSORY USE STANDARDS, AND THE GENERAL DEVELOPMENT STANDARDS IN CHAPTER 6.
- MINIMUM LOT AREA: N/A
- MAXIMUM PERCENTAGE OF STRUCTURAL COVERAGE OF LOT: 20%
- MAXIMUM STRUCTURAL HEIGHT: THIRTY FEET (30') - TWO FLOORS
- MINIMUM WIDTH OF LOT AT FRONT BUILDING SETBACK LINE: N/A
- SETBACK REQUIREMENTS:
 - FRONT YARD: TWENTY FIVE FEET (25')
 - SIDE YARD: TWENTY FIVE FEET (25')
 - REAR YARD: TEN FEET (10')
- OPEN SPACE REQUIRED: N/A
- PARKING: 1 PARKING SPACE PER 250 SF OF BUILDING

LAND USE SUMMARY				
LAND USE CATEGORY	ACREAGE	ACREAGE PERCENTAGE	DU/AC	UNITS
GROSS RESIDENTIAL ACREAGE (+/-)				
LOW DENSITY LOTS (5 ACRES)	118.3 AC.	13.0%	0.225	27
ESTATE LOTS (5 ACRES)	152.7 AC.	16.7%	0.32	49
LOW DENSITY RESIDENTIAL	332.9 AC.	36.5%	1.9	632
MEDIUM DENSITY RESIDENTIAL	15.0 AC.	5.0%	3.0	138
ESTIMATED OPEN SPACE	203.9 AC.	22.3%		
GROSS RESIDENTIAL SUB-TOTAL 853.8 AC.				
HOTEL/COMMERCIAL ACREAGE (+/-)				
HOTEL ROOMS/CASITAS/FLATS	32.2 AC.	3.5%		275
GOLF CLUB, RESTAURANT/BAR, GOLF AMENITIES (HOTEL)	11.0 AC.	1.2%		
ESTATE CLUBHOUSE (HOTEL)	2.4 AC.	0.3%		
COMMERCIAL	9.1 AC.	1.0%		
FITNESS CENTER	4.1 AC.	0.4%		
TOTAL	912.6 AC.	100.0%		

NOTE: OPEN SPACE INCLUDES PARKS, POCKET PARKS, DETENTION, DRAINAGE CORRIDORS, GENERAL OPEN SPACE, EASEMENTS AND LANDSCAPE BUFFERS.

CER

The undersigned, being all the owners, mortgagees, beneficiaries of deeds of trust and of other interests in the land described herein, have laid out, subdivided, and platted said lands into lots, tracts, streets, and easements (use which are applicable) as shown hereon under the name and subdivision of _____ All public improvements so platted are hereby dedicated to public use and said owner does hereby covenant and agree that the public improvements will be constructed to El Paso County standards and that proper drainage and erosion control for same will be provided at said owner's expense, all to the satisfaction of the Board of County Commissioners of El Paso County, Colorado. Upon acceptance by resolution, all public improvements so dedicated will become matters of maintenance by El Paso County, Colorado. The utility easements shown hereon are hereby dedicated for public utilities and communication systems and other purposes as shown hereon. The entities responsible for providing the services for which the easements are established are hereby granted the perpetual right of ingress and egress from and to adjacent properties for installation, maintenance, and replacement of utility lines and related facilities.

INDIVID FLYING APPLIC

THE FLYING APPLIC

By: _____

By (NAT) Title: _____

OF _____ ATTEST: (if corporation)

Secretary/Treasurer

STATE OF COLORADO)

WITNES (_____)

MY COA _____

NOTAR _____

STATE _____

COUNT _____

COL _____

APPRO _____

Signatures of managers/members for a LLC shall be acknowledged as follows: (print name) as Manager/Member of company, a state limited liability company. (Note: Required when separate ratification statements for deed of trust holders, mortgagees are not utilized)

Board of County Commissioners Certificate

This plat for (name of subdivision or plat) was approved for filing by the El Paso County, Colorado Board of County Commissioners on the _____ day of _____, 200__ subject to any notes specified hereon and any conditions included in the resolution of approval. The dedications of land to the public (streets, tracts, easements: list those applicable) are accepted, but public improvements thereon will not become the maintenance responsibility of El Paso County until preliminary acceptance of the public improvements in accordance with the El Paso County Land Development Code and Engineering Criteria Manual, and the Subdivision Improvements Agreement.

Chair, Board of County Commissioners

Director, Planning and Community Development

RECEPTION NO.,

Clerk and Recorder

STATE OF COLORADO

COUNTY OF EL PASO

I hereby certify that this instrument was filed in my office on this _____ day of _____, 20__ and was recorded in _____ of the records of El Paso County

El Paso County Clerk and Recorder

OWNER/DEVELOPER:

PRI #2, LLC

6385 CORPORATE DRIVE,

STE. 200

COLORADO SPRINGS, CO 80919

ATTN: DREW BALSICK

TELE: (719) 592-9333

PLANNER/LANDSCAPE ARCHITECT:

HR GREEN DEVELOPMENT, LLC

1975 RESEARCH PARKWAY SUITE 230

COLORADO SPRINGS, CO 80920

ATTN: PHIL STUEPFERT

CIVIL ENGINEER:

HR GREEN DEVELOPMENT, LLC

1975 RESEARCH PARKWAY SUITE 230

COLORADO SPRINGS, CO 80920

ATTN: KEN HUHN

COUNTY PLANNING

ATTN: RYAN HOSWER

COUNTY ENGINEER

ATTN: GILBERT LAFORCE

SHEET INDEX

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EPC STORMWATER REVIEW COMMENTS
IN ORANGE BOXES WITH BLACK TEXT

DRAWN BY: DLH

APPROVED: KMH

CAD DATE: 11/8/2023

CAD FILE: J:\2021\211030\CAD\DWG\CIPUD-PP\Cover

BAR IS ONE INCH ON OFFICIAL DRAWINGS.

0" = 1"

IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.

NO. DATE BY

REVISION DESCRIPTION

HRGreen

HR GREEN - COLORADO SPRINGS

1975 RESEARCH PARKWAY SUITE 230

COLORADO SPRINGS, CO 80920

PHONE: 719.300.4140

FAX: 713.965.0044

FLYING HORSE NORTH PHASE 2 PUD

PRI #2, LLC.

EL PASO COUNTY, CO

PUD PRELIMINARY PLAN

COVER

SHEET

CV

1

**A PORTION OF SECTIONS 34, 35 AND 36 TOWNSHIP 11 SOUTH,
RANGE 66 WEST, AND A PORTION OF SECTIONS 30 AND 31, TOWNSHIP 11 SOUTH,
RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO**

1. STREETS SHALL BE NAMED AND CONSTRUCTED TO EL PASO COUNTY STANDARDS, DEDICATED TO EL PASO COUNTY FOR AND UPON ACCEPTANCE BY EL PASO COUNTY. SHALL BE MAINTAINED BY EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS EXCEPT FOR LANDSCAPE AREAS WHICH SHALL BE MAINTAINED BY THE FLYING HORSE NORTH HOMEOWNERS ASSOCIATION.
2. THE TRAFFIC CIRCULATION WITHIN THE PUBLIC RIGHTS-OF-WAY WILL BE MAINTAINED BY THE FLYING HORSE NORTH HOMEOWNERS ASSOCIATION VIA DEVELOPMENT AGREEMENT, LICENSE AGREEMENT OR INTER-GOVERNMENT AGREEMENT.
3. PUBLIC STREETS WITHIN THIS DEVELOPMENT PROVIDE LEVELS OF VEHICULAR CIRCULATION REQUIRED BY THE TRAFFIC STUDY ON FILE FOR THIS PROJECT.

1. THE SUBDIVIDER(S) AGREES ON BEHALF OF HIM/HERSELF AND ANY DEVELOPER OR BUILDER SUCCESSORS AND ASSIGNEES THAT SUBDIVIDER AND/OR SAID SUCCESSORS AND ASSIGNS SHALL BE REQUIRED TO PAY TRAFFIC IMPACT FEES IN ACCORDANCE WITH THE EL PASO COUNTY ROAD IMPACT FEE PROGRAM RESOLUTION (RESOLUTION NO. 19-471), OR ANY AMENDMENTS THERETO, AT OR PRIOR TO THE TIME OF BUILDING PERMIT SUBMITTALS. THE FEE OBLIGATION IF NOT PAID AT FINAL PLAT RECORDING, SHALL BE DOCUMENTED ON ALL SALES DOCUMENTS AND ON PLAT NOTES TO ENSURE THAT A TITLE SEARCH WOULD FIND THE FEE OBLIGATION BEFORE SALE OF THE PROPERTY.

1. ALL COMMON LANDSCAPE, OPEN SPACE, PARKS, TRACTS AND DRAINAGE FACILITIES WITHIN THIS DEVELOPMENT SHALL BE OWNED AND MAINTAINED BY THE FHN HOA OR METROPOLITAN DISTRICT WITH THE EXCEPTION OF THE COUNTY TRAIL AS DEPICTED ON THE PUD/PRELIMINARY PLAN.
2. NO LANDSCAPING SHALL OBSTRUCT SIGHT DISTANCE TRIANGLES PER ENGINEERING CRITERIA MANUAL REFERENCE 2.4.1.D. THE MINIMUM HORIZONTAL CLEARANCE FOR SIDEWALKS AROUND UTILITY STRUCTURES, FURNITURE, AND OTHER ENCROACHMENTS SHALL BE 4 FEET OR GREATER TO PROVIDE SAFE CONDITIONS FOR PEDESTRIANS AND BICYCLISTS PER THE ENGINEERING CRITERIA MANUAL.
3. TRAILS TO BE SOFT SURFACE (I.E. CRUSHED REFINES) AND FINAL TRAIL ALIGNMENT TO BE DETERMINED IN THE BASED ON GRADE, VEGETATION, AND OTHER EXISTING SITE FEATURES AT THE TIME OF THE FINAL PLAN.
4. ANY FUTURE NON-REGIONAL TRAILS TO BE OWNED AND MAINTAINED BY THE FLYING HORSE NORTH HOME OWNERS ASSOCIATION.

1. ALL PERMANENT SIGNS WILL BE LOCATED IN EASEMENTS AND LOCATIONS WILL ADHERE TO THE MASTER SIGN PLAN FOR THE PROJECT.
2. MAJOR COMMUNITY IDENTITY WILL HAVE A MAXIMUM COPY SIZE OF 100 SQUARE FEET AND THE STRUCTURE WILL HAVE A MAXIMUM HEIGHT OF 30' FEET.
3. MINOR COMMUNITY IDENTITY SIGNS WILL HAVE A MAXIMUM COPY SIZE OF 40 SQUARE FEET AND THE STRUCTURE WILL HAVE A MAXIMUM HEIGHT OF 10' FEET.
4. DIRECTIONAL SIGNS WILL HAVE A MAXIMUM COPY SIZE OF 15 SQUARE FEET AND A MAXIMUM HEIGHT OF 8' FEET.

1. MAIL KIOSK STRUCTURES MAY HAVE A MAXIMUM HEIGHT OF 12', WIDTH OF 15' (FRONT ELEVATION) AND DEPTH (SIDE ELEVATION) OF 10'

THE FLYING HORSE NORTH PUD PARCELS 1-6 WILL MEET THE OVERALL SKETCH PLAN APPROVALS.

CLUSTERING OF UNITS WITHIN RESIDENTIAL DISTRICTS IS PERMITTED, BUT NOT REQUIRED, SO LONG AS THE OVERALL DENSITY LIMITS OF THE OVERALL PROJECT ARE MAINTAINED. CLUSTERING IS ENCOURAGED TO PROMOTE COMMON OPEN SPACE, PROTECT NATURAL RESOURCES, AND MAINTAIN ACCESS TO THE METRO DISTRICT.

3. FLEXIBLE DESIGN ALTERNATIVES.

4. A DENSITY TRANSFER MAY BE PERMITTED ON FOR ALL RESIDENTIAL PARCELS. THIS TRANSFER WOULD BE PROPOSED AS AN AMENDED PRELIMINARY PLAN (WHERE APPROPRIATE) AND WOULD NEED TO BE REVIEWED BY STAFF TO ENSURE THAT THE OVERALL DEVELOPMENT CONCEPT IS MAINTAINED. A DENSITY TRANSFER NOT TO EXCEED TWENTY PERCENT (20%) OF MAXIMUM UNITS FOR EACH PARCEL IS PERMITTED. THE TRANSFERRED DENSITY SHALL MEET ALL MINIMUM REQUIREMENTS OF THE RECEIVING AREA SUCH AS LOT SIZE, SETBACKS, ETC. IN NO CASE SHALL THE OVERALL DENSITY EXCEED THE TOTAL UNITS APPROVED FOR THE PROJECT.

5. DEVELOPMENT OF THIS PROPERTY SHALL BE IN ACCORDANCE WITH THIS PUD/PRELIMINARY PLAN. MAJOR MODIFICATIONS ARE SUBJECT TO REVIEW AND APPROVAL BY THE PAVO COUNTY BOARD OF COUNTY COMMISSIONERS UNLESS OTHERWISE PROVIDED BY THE EPC LAND DEVELOPMENT CODE.

6. CENTRAL WATER INFRASTRUCTURE TO BE CONSTRUCTED, OWNED AND OPERATED BY FAWNA-FALCON AREA WATERWASTEWATER AUTHORITY (OR SIMILAR PROVIDER) WHICH WILL PROVIDE WATER SERVICE TO THE PROJECT. ON-SITE WATER FACILITIES MAY BE OWNED BY THE FHN METRO DISTRICT.

7. CENTRAL WASTEWATER INFRASTRUCTURE WILL CONSIST OF A COLLECTION SYSTEM OWNED AND OPERATED BY THE FHN METROPOLITAN DISTRICT WHO WILL PROVIDE SERVICE TO THE INDIVIDUAL HOMES. THE COLLECTIONS SYSTEM WILL ULTIMATELY CONNECT TO THE TRIVIEW METROPOLITAN DISTRICT (OR SIMILAR PROVIDER).

8. ALL TRACTS SHOWN AS PUBLIC ARE TO BE OWNED AND MAINTAINED BY EL PASO COUNTY. TRACTS INCLUDE LANDSCAPE EASEMENTS, DRAINAGE TRACTS, STORM WATER FACILITIES, OPEN SPACE TRACTS, STREETS/CAP PLANTINGS, DETENTION PONDS, UTILITIES, FENCES, PARKS AND RECREATIONAL FACILITIES, TRAIL MAILBOX CLUSTERS, AND OTHER USES. TRACTS IDENTIFIED AS PRIVATE WILL BE OWNED AND MAINTAINED BY THE METRO DISTRICT OR HOA (TO BE NAMED).

9. ALL DETENTION PONDS AND CROSS LOT DRAINAGE DITCHES WILL BE LOCATED WITHIN DRAINAGE EASEMENTS PROVIDING ACCESS FOR MAINTENANCE TO THE FHN METROPOLITAN DISTRICT OR HOA (TO BE NAMED).

10. ALL TRAIL TRUCK REVERSALS SHALL BE PROVIDED BY MOUNTAIN VIEW. ALL TRACTS THROUGH MVEA SHALL HAVE UTILITIES WILL BE LOCATED WITHIN THE EASEMENTS AS REQUIRED.

11. BLACK HILLS ENERGY WILL PROVIDE NATURAL GAS.

12. PUBLIC UTILITY DRAINAGE EASEMENTS SHALL BE PROVIDED ON ALL LOTS AS INDICATED ON THE DRAWINGS AND/OR AS SHOWN WITHIN THE DETAILS.

13. TRAIL TRUCK REVERSALS SHALL BE PROVIDED BY THE DEVELOPER. NO FEES WILL BE REQUIRED FOR REVIEW AND APPROVED BY EL PASO COUNTY PARKS. ANY PARK IMPROVEMENTS WILL BE COORDINATED AT A LATER DATE WITH EL PASO COUNTY PARK VIA PARK LAND AGREEMENTS.

14. FEES IN LIEU OF LAND WILL BE PROVIDED FOR SCHOOLS AND PARKS

15. THE MAILBOX KIOSK WILL BE DETERMINED WITH EACH FINAL PLAT AND IN COORDINATION WITH THE U.S. POSTAL SERVICES.

16. INDIVIDUAL DRAINAGE EASEMENTS SHALL BE PROVIDED AROUND THE PERIMETER OF THE LOTS PERMITTED AS FOLLOWS:

17. FRONT: TEN FEET (10')

18. SIDE: FIVE FEET (5')

19. REAR: TEN FEET (10')

20. TRAIL TRACTS, LANDSCAPE AND DETENTION FACILITIES WILL BE DESIGNED FOR PUBLIC UTILITIES AS REQUIRED.

21. MVEA: TWENTY FEET (20') MIN. WIDTH EASEMENT WILL BE PROVIDED TO MVEA IN SELECT AREAS AROUND THE PERIMETER OF THE OVERALL SITE OR THROUGH OPEN SPACE TRACTS. THE EXACT LOCATIONS SHALL BE COORDINATED WITH MVEA WITH FINAL LOCATIONS TO BE INCLUDED ON THE FINAL PLAT. MVEA

22. INDIVIDUAL LOT SIDE VARY SWALES SHALL BE CONSTRUCTED DURING INDIVIDUAL LOT CONSTRUCTION/LANDSCAPING TO PROVIDE ADEQUATE DRAINAGE. ALL PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTAINING PROPER STORM WATER DRAINAGE IN AND THROUGH THEIR PROPERTY. PUBLIC DRAINAGE EASEMENTS AS SPECIFICALLY NOTED ON THE PLAT SHALL BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS UNLESS OTHERWISE INDICATED. HOMEBUILDERS ARE RESPONSIBLE TO ENSURE PROPER DRAINAGE AROUND STRUCTURES, INCLUDING ELEVATIONS OF FOUNDATION AND WINDOW WELLS IN RELATION TO LOT DRAINAGE EASEMENTS AND SWALES. HOMEOWNERS SHALL NOT CHANGE THE GRADE OF THE LOT OR DRAINAGE SWALES, WITHIN SAID EASEMENTS, AS CONSTRUCTED BY THE BUILDER, IN A MANNER THAT WOULD CAUSE ADVERSE DRAINAGE IMPACTS TO PROPERTIES, STRUCTURES, FENCES, MATERIALS OR LANDSCAPING THAT COULD IMPEDE THE FLOW OF RUNOFF SHALL NOT BE PLACED IN DRAINAGE EASEMENTS.

23. GRASS BUFFER BMPs WILL BE MAINTAINED IN ACCORDANCE WITH A PERMANENT BMP AGREEMENT AND EASEMENT AND O&M MANUAL TO BE RECORDED AT THE TIME OF FINAL PLAT.

24. STREET LIGHTS WILL BE RESTRICTED TO MOUNTAIN VIEW ELECTRIC ASSOCIATIONS AND EL PASO COUNTY DETAILS AND SPECIFICATIONS.

25. SITE LIGHTING WILL MEET THE REQUIREMENTS SET FORTH IN SECTION 6.2.3 OF THE EL PASO COUNTY LAND DEVELOPMENT CODE. AS AMENDED, THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR FHN DESIGN GUIDELINES WILL DICTATE LIGHTING SPECIFICATIONS.

26. FENCING:

27. ALL PROPOSED FENCING IS SUBJECT TO DESIGN REVIEW COMMITTEE APPROVAL AS SET FORTH IN THE COVENANTS AND ANY FUTURE DESIGN GUIDELINES FOR FHN.

28. NEW SIDEWALKS ADJACENT TO RESIDENTIAL LOTS ARE TO BE 6" THICK AND SUBJECT TO THE DEVELOPER COLLATERALIZING AND INSTALLING SAID SIDEWALKS. THE FUTURE LOT OWNER OR BUILDER IS RESPONSIBLE FOR REPAIR OF ANY DAMAGES AFTER THE INITIAL INSTALLATION.

29. THE MAILBOX KIOSK WILL BE DETERMINED WITH EACH FINAL PLAT AND IN COORDINATION WITH THE U.S. POSTAL SERVICE.

30. THE FIRE STATION LOCATION IN PARCEL 6 CAN BE ANYWHERE WITHIN THE PARCEL AS NEEDED. IF THE FIRE DEPARTMENT DETERMINES RELOCATION IS NOT NEEDED, THE LAND NEED NOT BE DEDICATED.

31. TRAIL TRUCK SCHOOL, TRANSPORTATION, DRAINAGE, BRIDGE, AND TRAFFIC FEES SHALL BE PAID TO THE EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT AT THE TIME OF RECORDING ANY FINAL PLAT.

32. FINAL ACCESS LOCATIONS AND ROADWAY CLASSIFICATIONS WILL BE DETERMINED AT THE TIME OF FINAL PLAT.

CONTAINING A TOTAL CALCULATED AREA OF 32,382,989 SQUARE FEET OR 743.411 ACRES.

- Rear Lot Lines: 10 feet

SHEET NT	2
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HRG: responses to comments

HERGER, DANIEL, 11/8/2023 3:41 PM

FLYING HORSE NORTH - PHASE 2 PUD / PRELIMINARY PLAN

A PORTION OF SECTIONS 34, 35 AND 36 TOWNSHIP 11 SOUTH,
RANGE 66 WEST, AND A PORTION OF SECTIONS 30 AND 31, TOWNSHIP 11 SOUTH,
RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

LINework LEGEND

PR PROPERTY LINE	---
EX PROPERTY LINE	---
PR EASEMENT LINE	---
EX EASEMENT LINE	---
PR RIGHT OF WAY	---
EX RIGHT OF WAY	---
PR LOT LINE	---
EX LOT LINE	---
EX SWALE	---
PR SWALE	---
PR TRAIL	---
PR MONUMENT SIGN (represents 10'x10' area)	●
PR POND RIM	---
PR INDEX CONTOUR	---
EX INDEX CONTOUR	---
PR INTER. CONTOUR	---
EX INTER. CONTOUR	---

Update legend to describe what the yellow color means on the map.

Using this page as a placeholder for this comment (this information should be included on the 1"-100' scaled site plan pages): depict the following information:

Approximate location of all areas of floodplains, frequent stormwater inundation, or storm water overflow and the location, widths, and direction of flow of all water courses.

Areas of geological hazards and constraints, including but not limited to slopes greater than 30 percent.

Base flood elevations, unless otherwise proposed to be modified via the LOMR process through FEMA.

Addressed: Location of floodplains have been noted; areas of stormwater inundations and overflow locations have been noted on site plans

Geological hazards have been made note on site plans

No base flood elevations have been made note since no development will take place in FEMA identified floodplains.

The pump station and lift station tract has been moved east to be outside of the floodplain.

Noted - Deviation applications for items discussed with the County in the weeks prior to this submittal have been included this round. This deviation is one of them.

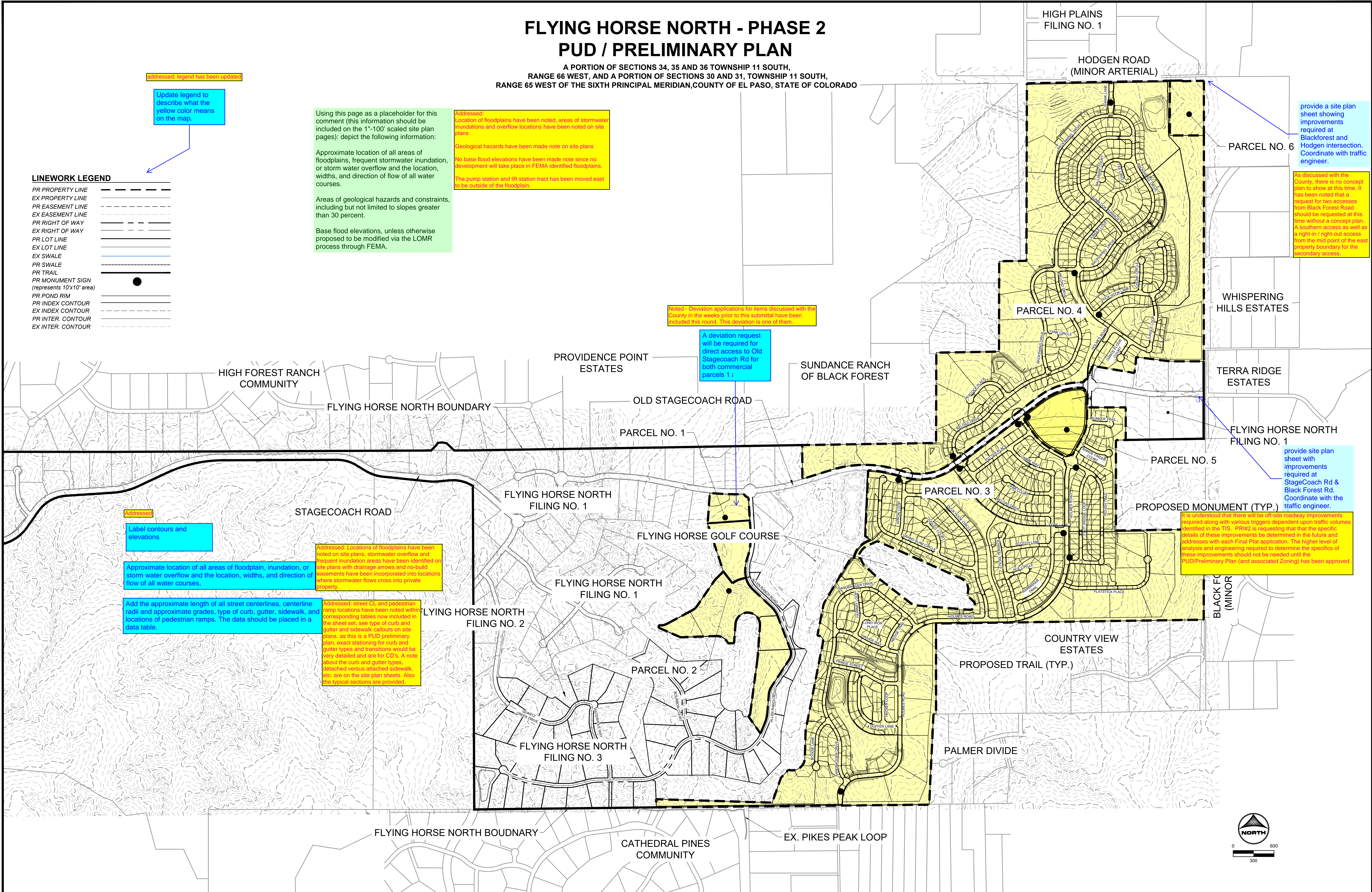
A deviation request will be required for direct access to Old Stagecoach Rd for both commercial parcels 1 & 2

provide a site plan sheet showing improvements required at Blackforest and Hodgen intersection. Coordinate with traffic engineer.

As discussed with the County, there is no concept plan to show at this time. It has been noted that a request for two accesses from Black Forest Road should be requested at this time without a concept plan. A southern access as well as a right-in / right-out access from the mid point of the east property boundary for the secondary access.

provide site plan sheet with improvements required at StageCoach Rd & Black Forest Rd. Coordinate with the traffic engineer.

It is understood that there will be off-site roadway improvements required along with various triggers dependent upon traffic volumes identified in the TIS. PRI#2 is requesting that the specific details of these improvements be determined in the future and addresses with each Final Plat application. The higher level of analysis and engineering required to determine the specifics of these improvements should not be needed until the PUD/Preliminary Plan (and associated Zoning) has been approved.



HR GREEN - K:\elk\scrow-030\201 - scrow-030\202 - x-crow-1030 - Parcel_Boundary_xgb-1-dm01-1030 - EX-Parcels_Site_Map_Layout

DRAWN BY: DLH
APPROVED: KMH
CAD DATE: 11/8/2023
CAD FILE: J:\2021\211030\CAD\Drawings\CIPUD-PP\Exhibits\Parcel_Exhibit

BAR IS ONE INCH ON
OFFICIAL DRAWINGS.
0 1" IF NOT ONE INCH,
ADJUST SCALE ACCORDINGLY.

NO.	DATE	BY	REVISION DESCRIPTION



HR GREEN - COLORADO SPRINGS
1975 RESEARCH PARKWAY SUITE 230
COLORADO SPRINGS, CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

FLYING HORSE NORTH PHASE 2 PUD
PRI #2, LLC.
EL PASO COUNTY, CO

PUD PRELIMINARY PLAN
OVERALL SITE

SHEET
OV

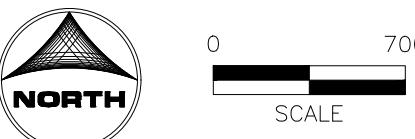
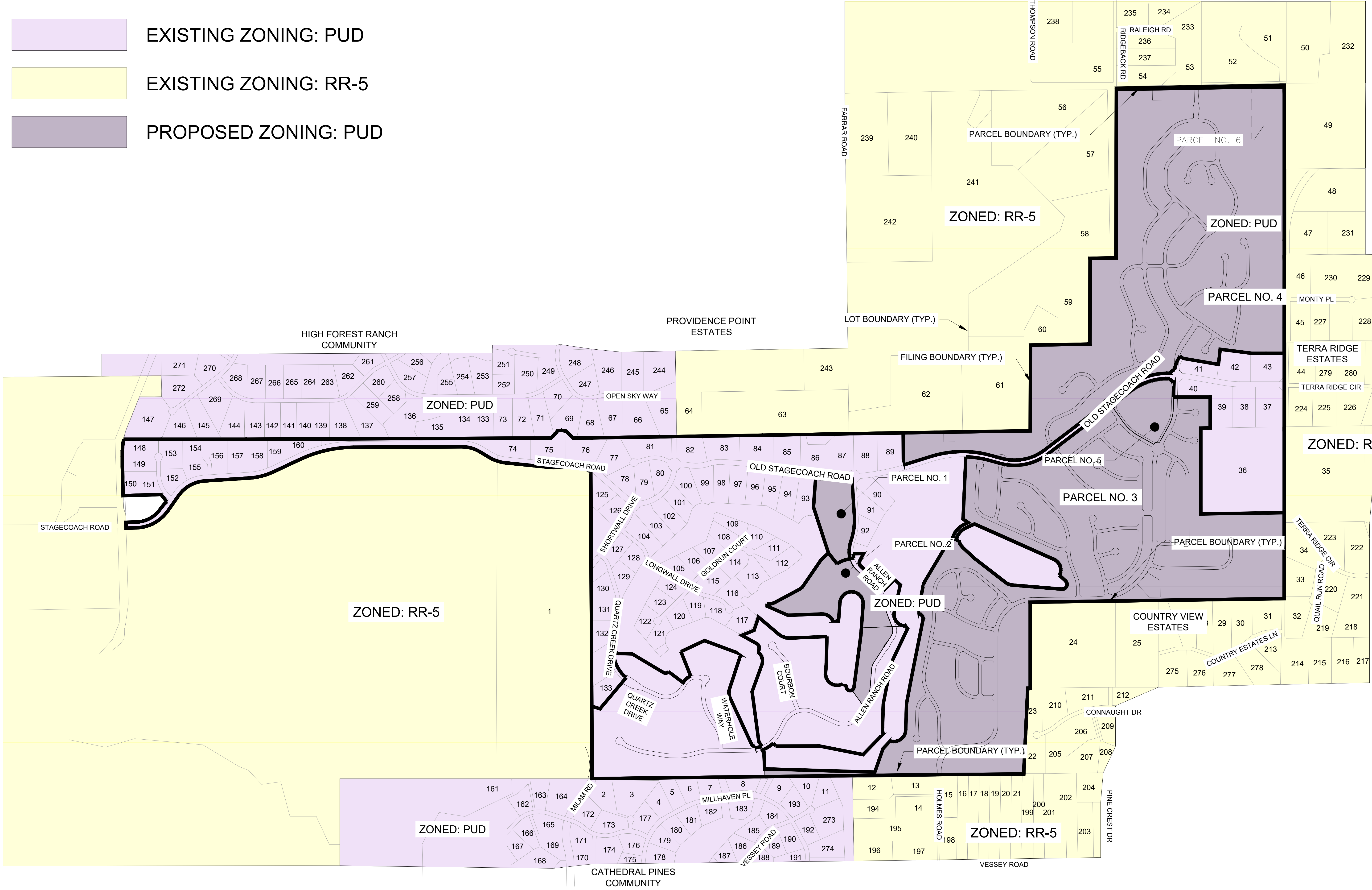
4

FLYING HORSE NORTH - PHASE 2
PUD / PRELIMINARY PLAN

A PORTION OF SECTIONS 34, 35 AND 36 TOWNSHIP 11 SOUTH, RANGE 66 WEST, AND A PORTION OF SECTIONS 30 AND 31, TOWNSHIP 11 SOUTH,
RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

LEGEND

- EXISTING ZONING: PUD
- EXISTING ZONING: RR-5
- PROPOSED ZONING: PUD



DRAWN BY: DLH JOB DATE: 11/8/2023
APPROVED: KMH JOB NUMBER: 211030
CAD DATE: 11/8/2023
CAD FILE: J:\2021\211030\CAD\Drawings\PP\Adjacent_Property

BAR IS ONE INCH ON
OFFICIAL DRAWINGS.
0 1"
IF NOT ONE INCH,
ADJUST SCALE ACCORDINGLY.

NO.	DATE	BY	REVISION DESCRIPTION

HRGreen
HR GREEN - COLORADO SPRINGS
1975 RESEARCH PARKWAY SUITE 230
COLORADO SPRINGS, CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

FLYING HORSE NORTH PHASE 2 PUD
PRI #2, LLC.
EL PASO COUNTY, CO

PUD PRELIMINARY PLAN
ADJACENT PROPERTY

SHEET
ADJ
5

FLYING HORSE NORTH - PHASE 2
PUD / PRELIMINARY PLAN

A PORTION OF SECTIONS 34, 35 AND 36 TOWNSHIP 11 SOUTH, RANGE 66 WEST, AND A PORTION OF SECTIONS 30 AND 31, TOWNSHIP 11 SOUTH,
RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

1. SHAMROCK SS LLC ZONING - RR-5 15555 HWY 83 COLORADO SPRINGS, CO	19. RUPP JERRREY D ZONED - RR-5 5970 VESSEY ROAD COLORADO SPRINGS, CO	37. DERKSEN PROPERTIES LLC ZONED - PUD 6755 OLD STAGECOACH ROAD COLORADO SPRINGS, CO	55. NAVARETTE JEANINE A ZONED - RR-5 6280 HODGEN ROAD COLORADO SPRINGS, CO	72. JOHNSON LIVING TRUST ZONED - PUD 4841 HIGH FOREST ROAD COLORADO SPRINGS, CO	90. PECK MICHAEL S ZONED - PUD 5555 OLD STAGECOACH ROAD COLORADO SPRINGS, CO	108. HENDRICKS JAMES ZONED - PUD 5202 GOLD RUN COURT COLORADO SPRINGS, CO	126. HOWARTH WILLIAM ZONED - PUD 15290 SHORTWALL DRIVE COLORADO SPRINGS, CO	144. DESAUTELS BRUCE T ZONED - PUD 4661 HIDDEN ROCK ROAD COLORADO SPRINGS, CO
2. BRI J FAMILY TRUST ZONED - PUD 4820 FOXCHASE WAY COLORADO SPRINGS, CO	20. LITTLETON STANLEY ZONED - RR-5 6010 VESSEY ROAD COLORADO SPRINGS, CO	38. NGUYEN LINH T ZONED - PUD 6715 OLD STAGECOACH ROAD COLORADO SPRINGS, CO	56. ANDREWS SCOTT W ZONED - RR-5 HODGEN ROAD COLORADO SPRINGS, CO	73. RAMIREZ MELODY B ZONED - PUD 4781 HIGH FOREST ROAD COLORADO SPRINGS, CO	91. RENNEN LLC ZONED - PUD 15331 ALLEN RANCH ROAD COLORADO SPRINGS, CO	109. C&C LIVING TRUST ZONED - PUD 5232 GOLD RUN COURT COLORADO SPRINGS, CO	127. GERBER JOSEPH DAVID ZONED - PUD 15262 SHORTWALL DRIVE COLORADO SPRINGS, CO	145. HOUSE JAMIE GLEN ZONED - PUD 15575 WINDING TRAIL ROAD COLORADO SPRINGS, CO
3. PIASECKI NANCY L REVOC TRUST ZONED - PUD 4940 FOXCHASE WAY COLORADO SPRINGS, CO	21. SWANSON BRECK C ZONED - RR-5 6030 VESSEY ROAD COLORADO SPRINGS, CO	39. MONACO57 LIVING TRUST ZONED - PUD 6675 OLD STAGECOACH ROAD COLORADO SPRINGS, CO	57. DEIM CONNIE ZONED - RR-5 SUNDANCE RANCH LANE COLORADO SPRINGS, CO	74. FOWLER NORMAN W ZONED - PUD 4670 STAGECOACH ROAD COLORADO SPRINGS, CO	92. BOOGAARD RYAN ZONED - PUD 15271 ALLEN RANCH ROAD COLORADO SPRINGS, CO	110. ALBRIGHT MARK PHILLIP ZONED - PUD 5262 GOLD RUN COURT COLORADO SPRINGS, CO	128. COFFEY LAVANSON C III ZONED - PUD 15192 SHORTWALL DRIVE COLORADO SPRINGS, CO	146. MATALIUS ANDREW J III ZONED - PUD 15525 WINDING TRAIL ROAD COLORADO SPRINGS, CO
4. BRINGARD FAMILY LICING TRUST ZONED - PUD 14465 MILLHAVEN PLACE COLORADO SPRINGS, CO	22. HOOKS GROUP LP ZONED - RR-5 6005 CONNAUGHT DRIVE COLORADO SPRINGS, CO	40. ST HENRYS LLC ZONED - PUD 6595 OLD STAGECOACH ROAD COLORADO SPRINGS, CO	58. BR&C INC ZONED - RR-5 30-11-65 COLORADO SPRINGS, CO	75. OLSON TYRONE L ZONED - PUD 4760 STAGECOACH ROAD COLORADO SPRINGS, CO	93. ALEXANDER SCOTT E ZONED - PUD 5395 OLD STAGECOACH ROAD COLORADO SPRINGS, CO	111. VILIESIS TRUST ZONED - PUD 5292 GOLD RUN COURT COLORADO SPRINGS, CO	129. ST AUBYN JARED ZONED - PUD 15233 QUARTZ CREEK DRIVE COLORADO SPRINGS, CO	147. WATSON RANDY ZONED - PUD 15520 WINDING TRAIL ROAD COLORADO SPRINGS, CO
5. ALLAN NEAL A ZONED - PUD 14425 MILLHAVEN PLACE COLORADO SPRINGS, CO	23. MCILRATH WILLIAM F TRUSTEE ZONED - RR-5 6010 CONNAUGHT DRIVE COLORADO SPRINGS, CO	41. SMITH AARON ZONED - PUD 6590 OLD STAGECOACH ROAD COLORADO SPRINGS, CO	59. BR&C INC ZONED - RR-5 30-11-65 COLORADO SPRINGS, CO	76. JONES CHRISTOPHER P ZONED - PUD 4850 STAGECOACH ROAD COLORADO SPRINGS, CO	94. CLAWSON MATTHEW R ZONED - PUD 5355 OLD STAGECOACH ROAD COLORADO SPRINGS, CO	112. SHOPTAUGH GLENN MARK ZONED - PUD 5261 GOLD RUN COURT COLORADO SPRINGS, CO	130. MOMBER SIMON R ZONED - PUD 15232 QUARTZ CREEK DRIVE COLORADO SPRINGS, CO	148. MARSHALL KARLYE ZONED - PUD 15480 BILLINGS COURT COLORADO SPRINGS, CO
6. ALEX & AUTUMM SIMPSON ZONED - PUD 14385 MILLHAVEN PLACE COLORADO SPRINGS, CO	24. WAY MARGARET E ZONED - RR-5 14820 BLACK FOREST ROAD COLORADO SPRINGS, CO	42. HARRIS GEORGE D ZONED - PUD 6670 OLD STAGECOACH ROAD COLORADO SPRINGS, CO	60. CHEROKEE METROPOLITAN DISTRICT ZONED - RR-5 30-11-65 COLORADO SPRINGS, CO	77. WALTERS MICHAEL A ZONED - PUD 4910 STAGECOACH ROAD COLORADO SPRINGS, CO	95. PLAISTOWE NORMAN H ZONED - PUD 5315 OLD STAGECOACH ROAD COLORADO SPRINGS, CO	113. VILLAGREE LLC ZONED - PUD 5231 GOLD RUN COURT COLORADO SPRINGS, CO	131. SHABE ERIC M ZONED - PUD 15182 QUARTZ CREEK DRIVE COLORADO SPRINGS, CO	149. VANCE ERZA G ZONED - PUD 15450 BILLINGS COURT COLORADO SPRINGS, CO
7. MAITHILI VENKATACHALLAM ZONED - PUD 14345 MILLHAVEN PLACE COLORADO SPRINGS, CO	25. ABELL LIVING TRUST ZONED - RR-5 6620 COUNTRY ESTATES LANE COLORADO SPRINGS, CO	43. MCCGRATH DONALD T ZONED - PUD 6750 OLD STAGECOACH ROAD COLORADO SPRINGS, CO	61. SUNDANCE RANCH OF BLACK FOREST ZONED - RR-5 HODGEN ROAD COLORADO SPRINGS, CO	78. YOUNG MICHAEL J ZONED - PUD 4915 STAGECOACH ROAD COLORADO SPRINGS, CO	96. RAMPART ENTERPRISES INC ZONED - PUD 5235 OLD STAGECOACH ROAD COLORADO SPRINGS, CO	114. S&J TRUST ZONED - PUD 5201 GOLD RUN COURT COLORADO SPRINGS, CO	132. ZACHAR MICHAEL R ZONED - PUD 15132 QUARTZ CREEK DRIVE COLORADO SPRINGS, CO	150. PRI #2 LLC ZONED - PUD HIGHWAY 83 COLORADO SPRINGS, CO
8. DULANEY KIMBERLY L ZONED - PUD 14325 MILLHAVEN PLACE COLORADO SPRINGS, CO	26. HERRON PATRICK J ZONED - RR-5 6650 COUNTRY ESTATES LANE COLORADO SPRINGS, CO	44. MIKUSKA ERIC ZONED - RR-5 15645 TERRA RIDGE CIRCLE COLORADO SPRINGS, CO	62. SUNDANCE RANCH OF BLACK FOREST ZONED - RR-5 HODGEN ROAD COLORADO SPRINGS, CO	79. DAY GREGORY ZONED -PUD 4955 OLD STAGECOACH ROAD COLORADO SPRINGS, CO	97. KELLY J PHELAN TRUST ZONED - PUD 5155 OLD STAGECOACH ROAD COLORADO SPRINGS, CO	115. CHAVEZ XAVIER D ZONED - PUD 5141 GOLD RUN COURT COLORADO SPRINGS, CO	133. HARVEY SETH A ZONED - PUD 15032 QUARTZ CREEK DRIVE COLORADO SPRINGS, CO	151. MCKENZIE J THOMAS ZONED - PUD 15420 BILLINGS COURT COLORADO SPRINGS, CO
9. SMITH PAUL R ZONED - PUD 14265 MILLHAVEN PLACE COLORADO SPRINGS, CO	27. ABELL LIVING TRUST ZONED - RR-5 6620 COUNTRY ESTATES LANE COLORADO SPRINGS, CO	45. GARD DIANA M ZONED - RR-5 6835 MONTY PLACE COLORADO SPRINGS, CO	63. SHELL JAMES R II ZONED - RR-5 15550 FARRAR ROAD COLORADO SPRINGS, CO	80. RZONCA THADDEUS ZONED - PUD 4995 OLD STAGECOACH ROAD COLORADO SPRINGS, CO	98. WINGO JAMES D ZONED - PUD 5115 OLD STAGECOACH ROAD COLORADO SPRINGS, CO	116. DALY FAMILY TRUST ZONED - PUD 14911 LONGWALL DRIVE COLORADO SPRINGS, CO	134. PITTS JOHN ZONED - PUD 4661 HIGH FOREST ROAD COLORADO SPRINGS, CO	152. JONE LUCAS ZONED - PUD 15419 BILLINGS COURT COLORADO SPRINGS, CO
10. ANDERSON MATTHEW P ZONED - PUD 5025 VESSEY ROAD COLORADO SPRINGS, CO	28. COPPOCK AARON O ZONED - RR-5 6680 COUNTRY ESTATES LANE COLORADO SPRINGS, CO	46. FRANKOVIS JESSE J ZONED - RR-5 6840 MONTY PLACE COLORADO SPRINGS, CO	64. SHELL JAMES R II ZONED - RR-5 15550 FARRAR ROAD COLORADO SPRINGS, CO	81. SIDWELL DUSTIN JEFFREY ZONED - PUD 4990 OLD STAGECOACH ROAD COLORADO SPRINGS, CO	99. KIM MICHAEL SANG-HAK ZONED - PUD 5075 OLD STAGECOACH ROAD COLORADO SPRINGS, CO	117. STIMPLE FAMILY LLLP ZONED - PUD 14842 LONGWALL DRIVE COLORADO SPRINGS, CO	135. LAVEZZO NICHOLAS J ZONED - PUD 1601 HIGH FOREST ROAD COLORADO SPRINGS, CO	153. ROGER WILLIAM T ZONED - PUD 15479 BILLINGS COURT COLORADO SPRINGS, CO
11. ESPENLAUB ECTON ZONED - PUD 4985 VESSEY ROAD COLORADO SPRINGS, CO	29. MACEDO JUAN H LOMEIL ZONED - RR-5 6710 COUNTRY ESTATES LANE COLORADO SPRINGS, CO	47. OLIVAS SOCORRO J ZONED - RR-5 6905 ALPACA HEIGHTS COLORADO SPRINGS, CO	65. BREWER GEORGE F II ZONED - PUD 15501 OPEN SKY WAY COLORADO SPRINGS, CO	82. SPARKS DUSTIN R ZONED - PUD 5070 OLD STAGECOACH ROAD COLORADO SPRINGS, CO	100. TEUSCHER KURT ZONED - PUD 5035 OLD STAGECOACH ROAD COLORADO SPRINGS, CO	118. CREPS DARREL E III ZONED - PUD 14912 LONGWALL DRIVE COLORADO SPRINGS, CO	136. HIGH FOREST RANCH HOMEOWNERS ZONED - PUD 4541 HIGH FOREST ROAD COLORADO SPRINGS, CO	154. DOMBROWSKI MICHAEL J ZONED - PUD 3680 STAGECOACH ROAD COLORADO SPRINGS, CO
12. DILLINGHAM MICHAEL V ZONED - RR-5 14498 HOLMES ROAD COLORADO SPRINGS, CO	30. SOMBRIC WAYNE S ZONED - RR-5 6740 COUNTRY ESTATES LANE COLORADO SPRINGS, CO	48. HILL DOUGLAS E ZONED - RR-5 6910 ALPACA HEIGHTS COLORADO SPRINGS, CO	66. MONTGOMERY MONTIE C ZONED - PUD 15547 OPEN SKY WAY COLORADO SPRINGS, CO	83. SPILLERS STEVEN HOWARD ZONED - PUD 5150 OLD STAGECOACH ROAD COLORADO SPRINGS, CO	101. DOWNS BRADLEY JAMES ZONED - PUD 55305 OLD STAGECOACH ROAD COLORADO SPRINGS, CO	119. CAIN JASON ZONED - PUD 14982 LONGWALL DRIVE COLORADO SPRINGS, CO	137. SALGADO PAUL R ZONED - PUD 4415 HIDDEN ROCK ROAD COLORADO SPRINGS, CO	155. ROBIN SCOTT BROWN LIVING TRUST ZONED - PUD 3590 STAGECOACH ROAD COLORADO SPRINGS, CO
13. THOMAS JOHN K ZONED - RR-5 14490 HOLMES ROAD COLORADO SPRINGS, CO	31. HOPSON SEAN ZONED - RR-5 6770 COUNTRY ESTATES LANE COLORADO SPRINGS, CO	49. WHITNEY CHRISTOPHER D ZONED - RR-5 16485 BLACK FOREST ROAD COLORADO SPRINGS, CO	67. RANGER CANDACE S LIVING TRUST ZONED - PUD 15593 OPEN SKY WAY COLORADO SPRINGS, CO	84. PECK JAMES D ZONED - PUD 5230 OLD STAGECOACH ROAD COLORADO SPRINGS, CO	102. KAVERMAN JOSEPH A ZONED - PUD 5215 OLD STAGECOACH ROAD COLORADO SPRINGS, CO	120. DICKEY MICHAEL R ZONED - PUD 5021 GOLD RUN CT COLORADO SPRINGS, CO	138. JOHNSON GREGG ZONED - PUD 4365 HIDDEN ROCK ROAD COLORADO SPRINGS, CO	156. JACKOWIAK RYAN ZONED - PUD 3770 STAGECOACH ROAD COLORADO SPRINGS, CO
14. ERNST CHARLES H ZONED - RR-5 14410 HOMES ROAD COLORADO SPRINGS, CO	32. MCKINLEY DAVID R ZONED - RR-5 14920 QUAIL RUN ROAD COLORADO SPRINGS, CO	50. BERENS MARK E ZONED - RR-5 6850 HODGEN ROAD COLORADO SPRINGS, CO	68. JANNELLE EVA ALLEN REVOCABLE TRUST ZONED - PUD 15639 OPEN SKY WAY COLORADO SPRINGS, CO	85. WELLER ERICH G ZONED - PUD 5310 OLD STAGECOACH ROAD COLORADO SPRINGS, CO	103. PIEPER RANDALL L ZONED - PUD 5125 OLD STAGECOACH ROAD COLORADO SPRINGS, CO	121. LIDDIARD JEREMY ZONED - PUD 5013 GOLD RUN CT COLORADO SPRINGS, CO	139. ROMANS LIVING TRUST ZONED - PUD 4315 HIDDEN ROCK ROAD COLORADO SPRINGS, CO	157. BALSICK LUKE A ZONED - PUD 3860 STAGECOACH ROAD COLORADO SPRINGS, CO
15. WAUGH JOSHUA T ZONED - RR-5 14445 HOLMES ROAD COLORADO SPRINGS, CO	33. WINNINGHAM AARON JASON ZONED - RR-5 14940 QUAIL RUN ROAD COLORADO SPRINGS, CO	51. MOLES JUSTIN ZONED - RR-5 16550 BLACK FOREST ROAD COLORADO SPRINGS, CO	69. STUDHOLME FAMILY TRUST ZONED - PUD 15685 OPEN SKY WAY COLORADO SPRINGS, CO	86. LAM TU T ZONED - PUD 5390 OLD STAGECOACH ROAD COLORADO SPRINGS, CO	104. SHECTER TRUST ZONED - PUD 15291 LONGWALL DRIVE COLORADO SPRINGS, CO	122. MILLER SCOTT G ZONED - PUD 5012 GOLD RUN CT COLORADO SPRINGS, CO	140. RYAN CHRISTOPHER J ZONED - PUD 4265 HIDDEN ROCK ROAD COLORADO SPRINGS, CO	158. HIMES ELMER S ZONED - PUD 3950 STAGECOACH ROAD COLORADO SPRINGS, CO
16. HOFFPAUIR DAN W JR ZONED - RR-5 14495 HOMES ROAD COLORADO SPRINGS, CO	34. LYNDE ROBERT A ZONED - RR-5 15015 TERRA RIDGE CIRCLE COLORADO SPRINGS, CO	52. MUNSON BRANDON J ZONED - RR-5 16710 BLACK FOREST ROAD COLORADO SPRINGS, CO	70. MAHER FAMILY REVOC LIVING TRUST ZONED - PUD 4961 HIGH FOREST ROAD COLORADO SPRINGS, CO	87. LUERS BEACH LLC ZONED - PUD 5470 OLD STAGECOACH ROAD COLORADO SPRINGS, CO	105. CHRISTOPHER MICHAEL MARSHALL ZONED - PUD 15051 LONGWALL DRIVE COLORADO SPRINGS, CO	123. BRENNAN THOMAS LIVING TRUST ZONED - PUD 5022 GOLD RUN CT COLORADO SPRINGS, CO	141. MARY CLAUDE F TRUSTEE ZONED - PUD 4215 HIDDEN ROCK ROAD COLORADO SPRINGS, CO	159. OTERO THEODOAORE M III ZONED - PUD 4040 STAGECOACH ROAD COLORADO SPRINGS, CO
17. SELF BOB J ZONED - RR-5 5910 VESSEY ROAD COLORADO SPRINGS, CO	35. SPLIT PINE RANCH LIVING TRUST ZONED - RR-5 15385 BLACK FOREST ROAD COLORADO SPRINGS, CO	53. MILLER ROBERT S ZONED - RR-5 6520 HODGEN ROAD COLORADO SPRINGS, CO	71. STEPHENSON TRAVIS ZONED - PUD 4901 HIGH FOREST ROAD COLORADO SPRINGS, CO	88. GREENWOOD TAYLOR J ZONED - PUD 5550 OLD STAGECOACH ROAD COLORADO SPRINGS, CO	106. BECKER JACOB J ZONED - PUD 5142 GOLD RUN COURT COLORADO SPRINGS, CO	124. WINTER CHARLES C ZONED - PUD 5082 GOLD RUN CT COLORADO SPRINGS, CO	142. STREVELL MICHAEL W ZONED - PUD 4165 HIDDEN ROCK ROAD COLORADO SPRINGS, CO	160. HARRIS GUY MCALLISTER ZONED - PUD 4130 STAGECOACH ROAD COLORADO SPRINGS, CO
18. JONES INGRID L ZONED - RR-5 5940 VESSEY ROAD COLORADO SPRINGS, CO	36. APODACA LESLIE E ZONED - RR-5 15380 BLACK FOREST ROAD COLORADO SPRINGS, CO	54. JOHN R SHANTZ & BELINDA S ZONED - RR-5 16547 RIDGEBACK ROAD COLORADO SPRINGS, CO		89. LONG RUSSEL I ZONED - PUD 5630 OLD STAGECOACH ROAD COLORADO SPRINGS, CO	107. KEV PARTNERS LTD ZONED - PUD 5172 GOLD RUN COURT COLORADO SPRINGS, CO	125. THEOBARD CHARLES N ZONED - PUD 4945 STAGECOACH ROAD COLORADO SPRINGS, CO	143. GOULD TODD E ZONED - PUD 4115 HIDDEN ROCK ROAD COLORADO SPRINGS, CO	

COUNTY FILE NUMBER: SKP223

DRAWN BY: JAG JOB DATE: 11/3/2023
APPROVED: PLS JOB NUMBER: 211030
CAD DATE: 11/8/2023
CAD FILE: J:\2021\211030\CAD\DWgs\I\CPUD-PP\Adjacent_Property

BAR IS ONE INCH ON
OFFICIAL DRAWINGS.
0 1"
IF NOT ONE INCH,
ADJUST SCALE ACCORDINGLY.

NO.	DATE	BY	REVISION DESCRIPTION



HR GREEN - COLORADO SPRINGS
1975 RESEARCH PARKWAY SUITE 230
COLORADO SPRINGS, CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

FLYING HORSE NORTH PHASE 2 PUD
PRI #2, LLC.
EL PASO COUNTY, CO

PUD PRELIMINARY PLAN
ADJACENT OWNERS

SHEET
ADJ

6

FLYING HORSE NORTH - PHASE 2
PUD / PRELIMINARY PLAN

A PORTION OF SECTIONS 34, 35 AND 36 TOWNSHIP 11 SOUTH, RANGE 66 WEST, AND A PORTION OF SECTIONS 30 AND 31, TOWNSHIP 11 SOUTH,
RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN,COUNTY OF EL PASO, STATE OF COLORADO

161. RED HORSE HILL LLC
ZONED - PUD
AUNDERTON GRV
COLORADO SPRINGS, CO

162. WILKINSON SUZANNE ELIZABETH
ZONED - PUD
4540 FOXCHASE WAY
COLORADO SPRINGS, CO

163. JOHNSON SAM CHRISTOPHER
ZONED - PUD
4580 FOXCHASE WAY
COLORADO SPRINGS, CO

164. S&BT LIVING TRUST
ZONED - PUD
4660 FOXCHASE WAY
COLORADO SPRINGS, CO

165. CURRAN LARRY DAVID
ZONED - PUD
4615 FOXCHASE WAY
COLORADO SPRINGS, CO

166. LEE MARVIN
ZONED - PUD
4455 FOXCHASE WAY
COLORADO SPRINGS, CO

167. JASMIN TREMBLAY REVOCABLE TRUST
ZONED - PUD
4415 FOXCHASE WAY
COLORADO SPRINGS, CO

168. EVANS LIVING TRUST
ZONED - PUD
14190 MARBLE ARCH COURT
COLORADO SPRINGS, CO

169. TAYLOR CHRISTINA MARIE
ZONED - PUD
4535 FOXCHASE WAY
COLORADO SPRINGS, CO

170. LUTHY ROBERT EDWARD
ZONED - PUD
14250 FARNHAM ROYAL COURT
COLORADO SPRINGS, CO

171. BEHNKEN CHAD L
ZONED - PUD
4735 FOXCHASE WAY
COLORADO SPRINGS, CO

172. SWARTHOUT ANDREW T
ZONED - PUD
4740 FOXCHASE WAY
COLORADO SPRINGS, CO

173. ERLING BRIAN F
ZONED - PUD
4780 FOXCHASE WAY
COLORADO SPRINGS, CO

174. ARORA PRATHEEP
ZONED - PUD
14285 FARNHAM ROYAL COURT
COLORADO SPRINGS, CO

175. ROSENBAUM DAVID A REVOC TRUST
ZONED - PUD
14585 MILLHAVEN PLACE
COLORADO SPRINGS, CO

176. KELLY LIVING TRUST
ZONED - PUD
4975 FOXCHASE WAY
COLORADO SPRINGS, CO

177. FLEMING FAMILY LIVING TRUST
ZONED - PUD
14505 MILLHAVEN PLACE
COLORADO SPRINGS, CO

178. LONGHORNS 07 TURST
ZONED - PUD
14550 MILLHAVEN PLACE
COLORADO SPRINGS, CO

179. KROEKER KARL
ZONED - PUD
14510 MILLHAVEN PLACE
COLORADO SPRINGS, CO

180. COLOSSEE PARTNERS LLLP
ZONED - PUD
14470 MILLHAVEN PLACE
COLORADO SPRINGS, CO

181. SEDDON JOHN TA
ZONED - PUD
14390 MILLHAVEN PLACE
COLORADO SPRINGS, CO

182. MEDRICK JAMES G
ZONED - PUD
14350 MILLHAVEN PLACE
COLORADO SPRINGS, CO

183. JAIN RUPESH
ZONED - PUD
14320 MILLHAVEN PLACE
COLORADO SPRINGS, CO

184. KLAIBER LIVING TRUST
ZONED - PUD
14230 MILLHAVEN PLACE
COLORADO SPRINGS, CO

185. SEXTON KENNETH R
ZONED - PUD
5225 VESSEY ROAD
COLORADO SPRINGS, CO

186. POPE MARK S
ZONED - PUD
5265 VESSEY ROAD
COLORADO SPRINGS, CO

187. ALDER FAMILY TRUST
ZONED - PUD
5345 VESSEY ROAD
COLORADO SPRINGS, CO

188. LNB FAMILY TRUST
ZONED - PUD
5270 VESSEY ROAD
COLORADO SPRINGS, CO

189. RAYMOND CHARLES DENT JR.
ZONED - PUD
5230 VESSEY ROAD
COLORADO SPRINGS, CO

190. KOSZEWNIK JOHN JOSEPH
ZONED - PUD
5190 VESSEY ROAD
COLORADO SPRINGS, CO

191. ENEA STEVEN A
ZONED - PUD
14150 MILLHAVEN PLACE
COLORADO SPRINGS, CO

192. KARL C & DAWN M FINDLEY
ZONED - PUD
5070 VESSEY ROAD
COLORADO SPRINGS, CO

193. MURPHY ROBERT C JR
ZONED - PUD
5065 VESSEY ROAD
COLORADO SPRINGS, CO

194. HAWKINS JOSEPH C JR
ZONED - RR-5
14450 HOLMES ROAD
COLORADO SPRINGS, CO

195. KRISTY MICHAEL H
ZONED - RR-5
14350 HOLMES ROAD
COLORADO SPRINGS, CO

196. GARLICK JEFFREY
ZONED - RR-5
14320 HOLMES ROAD
COLORADO SPRINGS, CO

197. STELZEL DANIEL M
ZONED - RR-5
14290 HOLMES ROAD
COLORADO SPRINGS, CO

198. MCGOWAN PATRICK J JR
ZONED - RR-5
14355 HOLMES ROAD
COLORADO SPRINGS, CO

199. WANTY LISA M
ZONED - RR-5
6060 VESSEY ROAD
COLORADO SPRINGS, CO

200. HAYES MARK G
ZONED - RR-5
6090 VESSEY ROAD
COLORADO SPRINGS, CO

201. DOLES THOMAS ALBERT
ZONED - RR-5
6130 VESSEY ROAD
COLORADO SPRINGS, CO

202. ELLEN KLEIN LIVING TRUST
ZONED - RR-5
6180 VESSEY ROAD
COLORADO SPRINGS, CO

203. BRADBURY DAVID J
ZONED - RR-5
6220 VESSEY ROAD
COLORADO SPRINGS, CO

204. STEWART ANTHONY NEIL
ZONED - RR-5
14450 PINE CREST DRIVE
COLORADO SPRINGS, CO

205. CHAMBERS REVOCABLE TRUST
ZONED - RR-5
6065 CONNAUGHT DRIVE
COLORADO SPRINGS, CO

206. CARTER THOMAS J
ZONED - RR-5
6125 CONNAUGHT DRIVE
COLORADO SPRINGS, CO

207. MOREAU WILLIAM J
ZONED - RR-5
6185 CONNAUGHT DRIVE
COLORADO SPRINGS, CO3

208. MOREAU WILLIAM J
ZONED - RR-5
6245 CONNAUGHT DRIVE
COLORADO SPRINGS, CO

209. RODAS PETER G
ZONED - RR-5
6305 CONNAUGHT DRIVE
COLORADO SPRINGS, CO

210. DAWSON FAMILY TRUST
ZONED - RR-5
6070 CONNAUGHT DRIVE
COLORADO SPRINGS, CO

211. PALAZZARI ANTHONY A
ZONED - RR-5
6250 CONNAUGHT DRIVE
COLORADO SPRINGS, CO

212. TRUMP CAROLYN D
ZONED - RR-5
6370 CONNAUGHT DRIVE
COLORADO SPRINGS, CO

213. CORBETT NORMAN
ZONED - RR-5
6745 COUNTY ESTATES LANE
COLORADO SPRINGS, CO

214. BAHR JACOB
ZONED - RR-5
6818 MARSHBERN COURT
COLORADO SPRINGS, CO

215. WESTOVER HOMES LLC
ZONED - RR-5
6902 MARSHBERN COURT
COLORADO SPRINGS, CO

216. WESTOVER HOMES LLC
ZONED - RR-5
6986 MARSHBERN COURT
COLORADO SPRINGS, CO

217. WESTOVER HOMES LLC
ZONED - RR-5
7070 MARSHBERN COURT
COLORADO SPRINGS, CO

218. ELLSWORTH FRANK F
ZONED - RR-5
15105 TERRA RIDGE CIRCLE
COLORADO SPRINGS, CO

219. DENNIS REBECCA L
ZONED - RR-5
14915 QUAIL RUN ROAD
COLORADO SPRINGS, CO

220. JAMES P REEG REVOCABLE TRUST
ZONED - RR-5
14935 QUAIL RUN ROAD
COLORADO SPRINGS, CO

221. FELLAR DENNIS W
ZONED - RR-5
15095 TERRA RIDGE CIRCLE
COLORADO SPRINGS, CO

222. HUTCHINS-VAN TASSEL LESLIE
ZONED - RR-5
15090 TERRA RIDGE CIRCLE
COLORADO SPRINGS, CO

223. FERL DIANE F
ZONED - RR-5
15010 TERRA RIDGE CIRCLE
COLORADO SPRINGS, CO

224. CHAFFEE GREGORY B
ZONED - RR-5
15650 TERRA RIDGE CIRCLE
COLORADO SPRINGS, CO

225. PETERSON JEFFREY L
ZONED - RR-5
15610 TERRA RIDGE CIRCLE
COLORADO SPRINGS, CO

226. MCLELLAN CHRISTOPHER S
ZONED - RR-5
15570 TERRA RIDGE CIRCLE
COLORADO SPRINGS, CO

227. BARR RHONDA LYN
ZONED - RR-5
6915 MONTY PLACE
COLORADO SPRINGS, CO

228. KHALIQI DAVID H
ZONED - RR-5
6985 MONTY PLACE
COLORADO SPRINGS, CO

229. ANDREWS TODD
ZONED - RR-5
6990 MONTY PLACE
COLORADO SPRINGS, CO

230. LEVY JOEL D
ZONED - RR-5
6950 MONTY PLACE
COLORADO SPRINGS, CO

231. SANCHEZ LAISSA
ZONED - RR-5
6925 ALPACA HEIGHTS
COLORADO SPRINGS, CO

232. ENGET AARON
ZONED - RR-5
6950 HODGEN ROAD
COLORADO SPRINGS, CO

233. SAVAGE JORDAN L
ZONED - RR-5
6498 RALEIGH ROAD
COLORADO SPRINGS, CO

234. CONNOLLY ANDREW
ZONED - RR-5
6442 RALEIGH ROAD
COLORADO SPRINGS, CO

235. VOLK SETH K
ZONED - RR-5
6386 RALEIGH ROAD
COLORADO SPRINGS, CO

236. GIBB RONALD JESSE
ZONED - RR-5
6387 RALEIGH ROAD
COLORADO SPRINGS, CO

237. SAVAGE JORDAN L
ZONED - RR-5
16587 RIDGEBACK ROAD
COLORADO SPRINGS, CO

238. BISHOP BARBARA K
ZONED - RR-5
16755 THOMPSON ROAD
COLORADO SPRINGS, CO

239. DUNSTON MATTHEW W
ZONED - RR-5
5525 HODGEN ROAD
COLORADO SPRINGS, CO

240. LAVALLEY BRANDON DALE
ZONED - RR-5
5735 HODGEN ROAD
COLORADO SPRINGS, CO

241. STEARNS KRYSTAL
ZONED - RR-5
HODGEN ROAD
COLORADO SPRINGS, CO

242. STEARNS KRYSTAL
ZONED - RR-5
FARRAR DRIVE
COLORADO SPRINGS, CO

243. HARVEY TINA MARIE
ZONED - RR-5
15975 FARRAR DRIVE
COLORADO SPRINGS, CO

244. HARVEY CAROLYN C
ZONED - RR-5
15502 OPEN SKY WAY
COLORADO SPRINGS, CO

245. ROEHRICH DN FAMILY TRUST
ZONED - RR-5
15548 OPEN SKY WAY
COLORADO SPRINGS, CO

246. JAMES F BREGLIO LIVING TRUST
ZONED - RR-5
15594 OPEN SKY WAY
COLORADO SPRINGS, CO

247. CARPER CHRISTOPHER
ZONED - RR-5
15686 OPEN SKY WAY
COLORADO SPRINGS, CO

248. COYLE JOHN MORGAN LIVING TRUST
ZONED - RR-5
15778 OPEN SKY WAY
COLORADO SPRINGS, CO

249. JONES CHARLES D
ZONED - RR-5
4781 SECLUDED CREEK COURT
COLORADO SPRINGS, CO

250. SELVA MICHAEL D
ZONED - RR-5
4691 SECLUDED CREEK COURT
COLORADO SPRINGS, CO

251. PRIBBLE FAMILY LIVING TRUST
ZONED - RR-5
4601 SECLUDED CREEK COURT
COLORADO SPRINGS, CO

252. CHAMBERS MARK L
ZONED - RR-5
4782 HIGH FOREST ROAD
COLORADO SPRINGS, CO

253. MURROW RICHARD C TRUST
ZONED - RR-5
4722 HIGH FOREST ROAD
COLORADO SPRINGS, CO

254. MOORE DAVID S
ZONED - RR-5
4662 HIGH FOREST ROAD
COLORADO SPRINGS, CO

255. CIABARRA JAIMIE K
ZONED - RR-5
4602 HIGH FOREST ROAD
COLORADO SPRINGS, CO

256. VAN AUKEN LIVING TRUST
ZONED - RR-5
4715 HIDDEN ROCK ROAD
COLORADO SPRINGS, CO

257. BRAY THEODORE C
ZONED - RR-5
4482 HIGH FOREST ROAD
COLORADO SPRINGS, CO

259. CICCONE LYNDA M
ZONED - RR-5
4481 HIGH FOREST ROAD
COLORADO SPRINGS, CO

260. STONESTREET JOHN B
ZONED - RR-5
4515 HIDDEN ROCK ROAD
COLORADO SPRINGS, CO

261. OLIVIAS RAYMOND B
ZONED - RR-5
4301 HIGH FOREST ROAD
COLORADO SPRINGS, CO

262. SUTHERLAND STEPHEN ARTHUR
ZONED - RR-5
4460 HIDDEN ROCK ROAD
COLORADO SPRINGS, CO

263. WEBER CHARLES L
ZONED - RR-5
4360 HIDDEN ROCK ROAD
COLORADO SPRINGS, CO

264. NELSON NORMAN D
ZONED - RR-5
4260 HIDDEN ROCK ROAD
COLORADO SPRINGS, CO

265. JOHNSON TRACIE LIVING TRUST
ZONED - RR-5
4210 HIDDEN ROCK ROAD
COLORADO SPRINGS, CO

266. BREWER STEVEN W
ZONED - RR-5
4160 HIDDEN ROCK ROAD
COLORADO SPRINGS, CO

267. WOGEN BRYAN
ZONED - RR-5
4110 HIDDEN ROCK ROAD
COLORADO SPRINGS, CO

268. FRANZ CHRISTOPHER A
ZONED - RR-5
4010 HIDDEN ROCK ROAD
COLORADO SPRINGS, CO

269. PAESCHKE TRACY
ZONED - RR-5
4015 HIDDEN ROCK ROAD
COLORADO SPRINGS, CO

270. OLSEN TODD A
ZONED - RR-5
3985 CANOPY COURT
COLORADO SPRINGS, CO

271. DAHILL DEVIN
ZONED - RR-5
3955 CANOPY COURT
COLORADO SPRINGS, CO

272. CASE FAMILY REVOC LIVING TRUST
ZONED - RR-5
15570 WINDING TRAIL ROAD
COLORADO SPRINGS, CO

273. PARKER JEFFREY
ZONED - RR-5
5030 VESSEY ROAD
COLORADO SPRINGS, CO

274. TERESA L FERGUSON LIVING TRUST
ZONED - RR-5
14145 MILLHAVEN PLACE
COLORADO SPRINGS, CO

275. HOLLINGSWORTH KIMBERLEY
ZONED - RR-5
6625 COUNTRY ESTATES LANE
COLORADO SPRINGS, CO

276. BURST DAVID K
ZONED - RR-5
6655 COUNTRY ESTATES LANE
COLORADO SPRINGS, CO

277. PIRTLE CYNTHIA K
ZONED - RR-5
6685 COUNTRY ESTATES LANE
COLORADO SPRINGS, CO

278. TWOMBLY MARCI
ZONED - RR-5
6715 COUNTRY ESTATES LANE
COLORADO SPRINGS, CO

279. SUMPTER JUSTIN MICHAEL
ZONED - RR-5
15605 TERRA RIDGE CIRCLE
COLORADO SPRINGS, CO

280. DAVIS MARK K
ZONED - RR-5
15565 TERRA RIDGE CIRCLE
COLORADO SPRINGS, CO

SCOTT W ANDREWS
PO BOX 158
USAF ACADEMY, CO 80840

CHRISTOPHER A BOWMAN
6425 CONNAUGHT DRIVE
COLORADO SPRINGS, CO 80908

GREGORY B CHAFFEE
15650 TERRA RIDGE CIRCLE
COLORADO SPRINGS, CO 80908

AARON O COPPOCK
6680 COUNTRY ESTATES LANE
COLORADO SPRINGS, CO 80908

DERKSEN PROPERTIES LLC
5491 PADDINGTON CREEK
COLORADO SPRINGS, CO 80924

JOHN R AND BELINDA SHANTZ
2651 19TH AVE
KINGSBURG, CA 93631

DANIEL W LULCHUK
6790 CONNAUGHT DRIVE
COLORADO SPRINGS, CO 80908

ROBERT MELANSON
14725 BLACK FOREST ROAD
COLORADO SPRINGS, CO 80908

ERIC MIKUSKA
15645 TERRA RIDGE CIRCLE
COLORADO SPRINGS, CO 80908

ANTHONY A PALAZZARI
6250 CONNAUGHT DRIVE
COLORADO SPRINGS, CO 80908

PETER G RODAS
6305 CONNAUGHT DRIVE
COLORADO SPRINGS, CO 80908

ERIC J ROWE
6670 CONNAUGHT DRIVE
COLORADO SPRINGS, CO 80908

RYE LLC
16755 HAPPY LANDING
MONUMENT, CO 80132

MARK A SLUTZ
6730 CONNAUGHT DRIVE
COLORADO SPRINGS, CO 80908

JEFFREY B SMITH
13925 HIGHWAY 83
COLORADO SPRINGS, CO 80921

BART W TIMM
14695 BLACK FOREST ROAD
COLORADO SPRINGS, CO 80908

MAYNARD MARCI L TWOMBLY
6745 COUNTRY ESTATES LANE
COLORADO SPRINGS, CO 80908

KEVIN J VIDER
6365 CONNAUGHT DRIVE
COLORADO SPRINGS, CO 80908

COUNTY FILE NUMBER: SKP223

DRAWN BY: JAG JOB DATE: 11/3/2023
APPROVED: PLS JOB NUMBER: 211030
CAD DATE: 11/8/2023
CAD FILE: J:12021\211030\CAD\Drawgs\CIPUD-PP\Adjacent_Property

BAR IS ONE INCH ON
OFFICIAL DRAWINGS.
0 1" IF NOT ONE INCH,
ADJUST SCALE ACCORDINGLY.

NO.	DATE	BY	REVISION DESCRIPTION



HR GREEN - COLORADO SPRINGS
1975 RESEARCH PARKWAY SUITE 230
COLORADO SPRINGS, CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

FLYING HORSE NORTH PHASE 2 PUD
PRI #2, LLC.
EL PASO COUNTY, CO

PUD PRELIMINARY PLAN
ADJACENT OWNERS

SHEET
ADJ

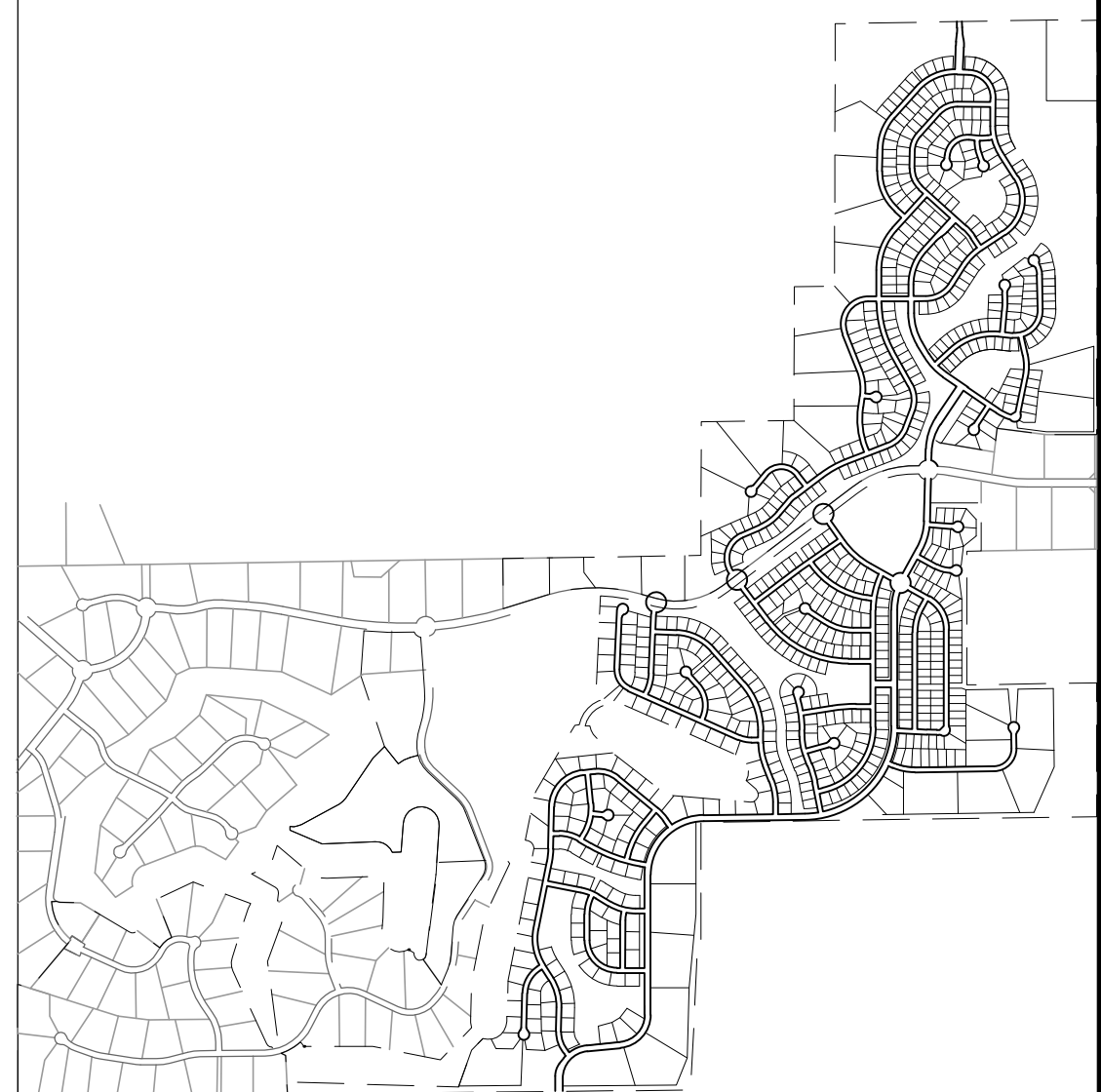
7

A PORTION OF SECTIONS 34, 35 AND 36 TOWNSHIP 11 SOUTH,
RANGE 66 WEST, AND A PORTION OF SECTIONS 30 AND 31, TOWNSHIP 11 SOUTH,
RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

- provide note that access to commercial parcel will be determined with the final plat and/or site development plan application.

recall that access off Hodgen would not be supported.










































Note has been added to plan.

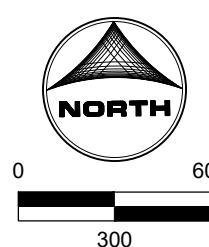


KEY MAP
SCALE: N.T.S



TRACT LEGEND

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NOT WITHIN SCOPE OF PUD	



DRAWN BY: DLH JOB DATE: 11/8/23
APPROVED: KMH JOB NUMBER: 211030
CAD DATE: 11/8/2023
CAD FILE: J:\2021\211030\CAD\Drawgs\CIPUD-PP\Tract_Plan

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OFFICIAL DRAWINGS.
0 1"
IF NOT ONE INCH,
JUST SCALE ACCORDINGLY

NO.	DATE	BY	REVISION DESCRIPTION



HR GREEN - COLORADO SPRINGS
1975 RESEARCH PARKWAY SUITE 230
COLORADO SPRINGS, CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

FLYING HORSE NORTH PHASE 2 PUD
PRI #2, LLC.
EL PASO COUNTY, CO

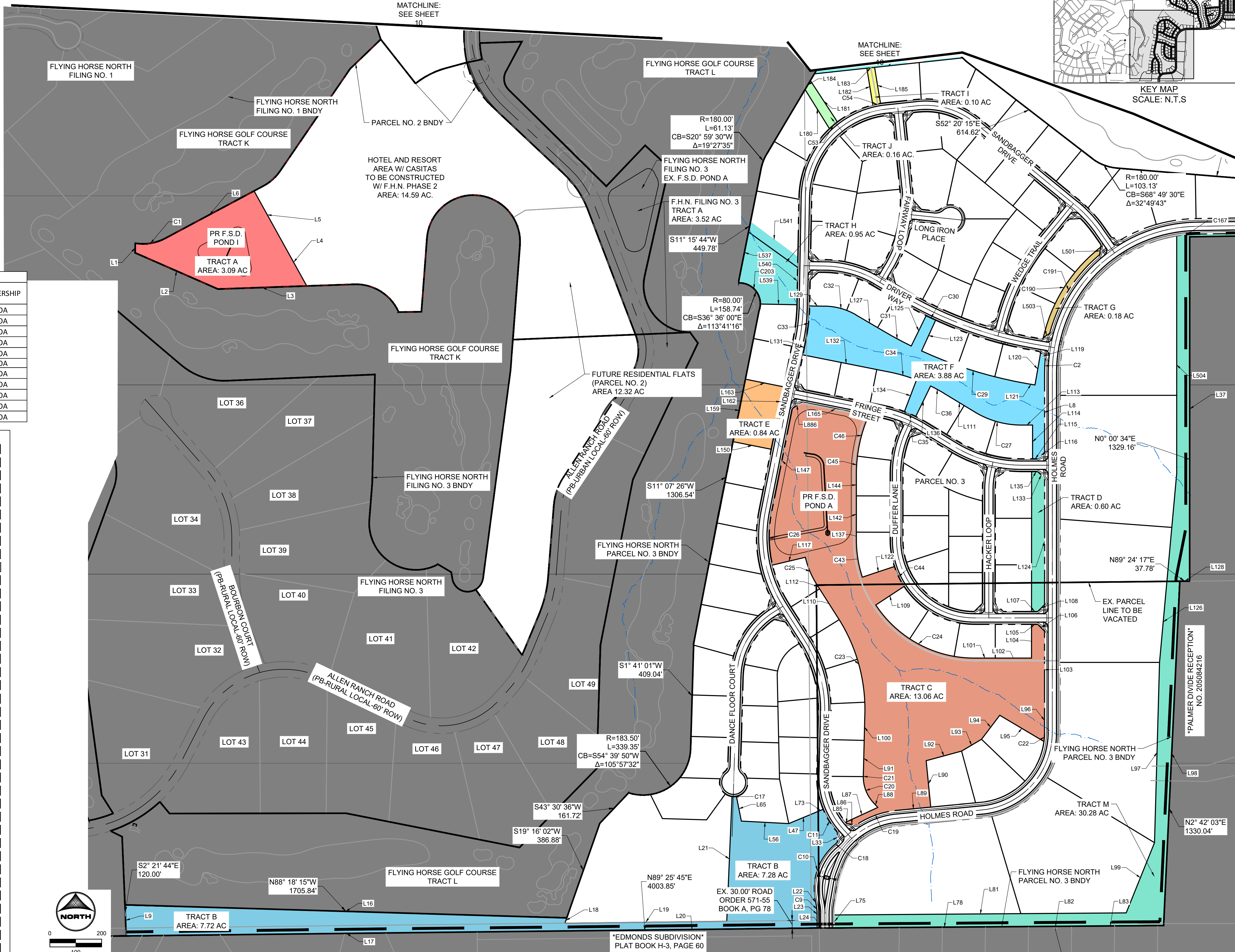
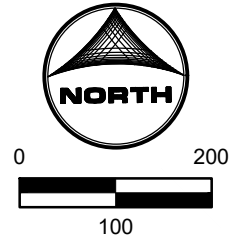
PUD PRELIMINARY PLAN
OVERALL TRACT PLAN

SHEET
TP

FLYING HORSE NORTH - PHASE 2
PUD / PRELIMINARY PLAN
A PORTION OF SECTIONS 34, 35 AND 36 TOWNSHIP 11 SOUTH,
RANGE 66 WEST, AND A PORTION OF SECTIONS 30 AND 31, TOWNSHIP 11 SOUTH,
RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

FLYING HORSE NORTH FILING 4 - TRACT TABLE										
TRACT NAME	AREA (SF)	AREA (AC)	PUBLIC IMPROVEMENTS	PUBLIC UTILITIES	PRIVATE DRAINAGE	LANDSCAPING	PARK	SIGNAGE	MAINTENANCE	OWNERSHIP
A	134,600	3.09			X	X		X	HOA	HOA
B	317,117	7.28	X	X	X				HOA	HOA
C	568,894	13.06	X		X	X			HOA	HOA
D	26,136	0.60				X			HOA	HOA
E	36,590	0.84	X		X	X		X	HOA	HOA
F	169,013	3.88			X	X		X	HOA	HOA
G	7,841	0.18				X			HOA	HOA
H	41,382	0.95			X	X		X	HOA	HOA
I	4,356	0.10			X	X		X	HOA	HOA
J	6,970	0.16		X		X		X	HOA	HOA
M	1,318,997	30.28	X	X	X	X		X	HOA	HOA

TRACT LEGEND	
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NOT WITHIN SCOPE OF PUD	



DRAWN BY: DLH	JOB DATE: 11/8/23	BAR IS ONE INCH ON OFFICIAL DRAWINGS.
APPROVED: KMH	JOB NUMBER: 211030	0" = 1"
CAD DATE: 11/8/2023		IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.
CAD FILE: J:\2021\211030\CAD\Drawings\CIPUD-PP\Tract_Plan		

NO.	DATE	BY	REVISION DESCRIPTION



HR GREEN - COLORADO SPRINGS
1975 RESEARCH PARKWAY SUITE 230
COLORADO SPRINGS, CO 80920
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FLYING HORSE NORTH PHASE 2 PUD
PRI #2, LLC.
EL PASO COUNTY, CO

PUD PRELIMINARY PLAN
TRACT PLAN

SHEET
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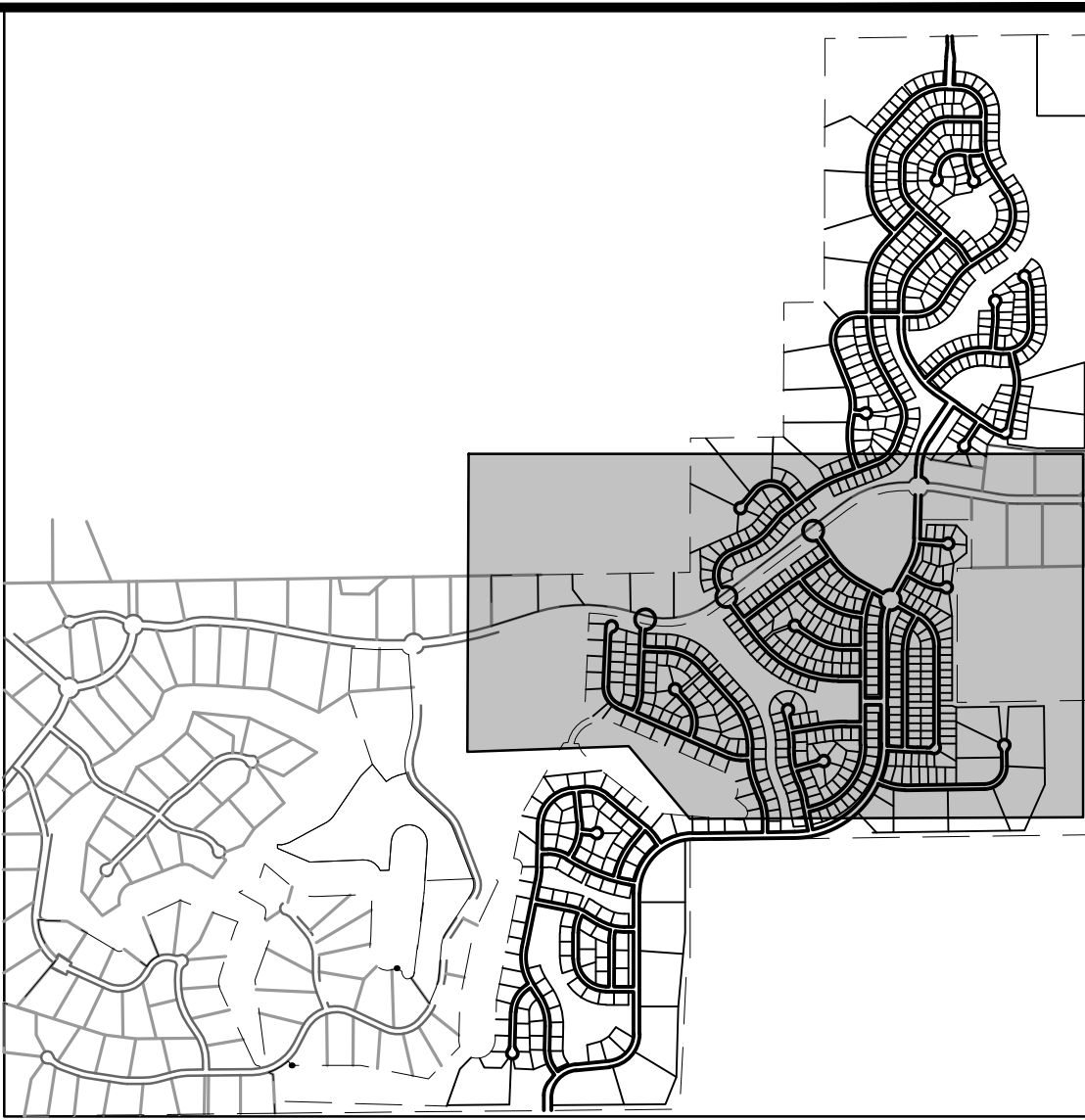
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FLYING HORSE NORTH - PHASE 2 PUD / PRELIMINARY PLAN

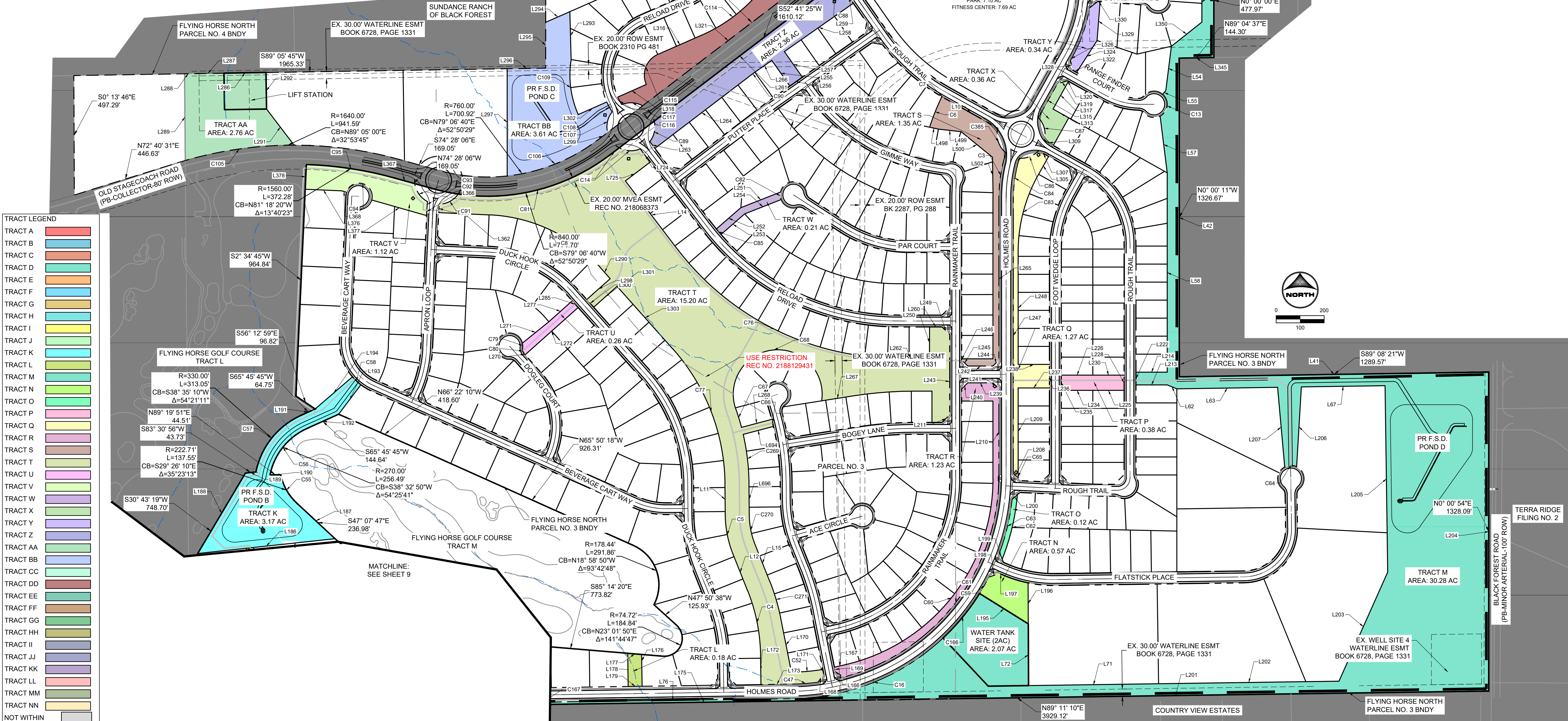
A PORTION OF SECTIONS 34, 35 AND 36 TOWNSHIP 11 SOUTH,
RANGE 66 WEST, AND A PORTION OF SECTIONS 30 AND 31, TOWNSHIP 11 SOUTH,
RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

FLYING HORSE NORTH FILING 4 - TRACT TABLE										
TRACT NAME	AREA (SF)	AREA (AC)	PUBLIC IMPROVEMENTS	PUBLIC UTILITIES	PRIVATE DRAINAGE	LANDSCAPING	PARK	SIGNAGE	MAINTENANCE	OWNERSHIP
K	138,085	3.17			X	X		X	HOA	HOA
L	7,841	0.18		X	X	X			HOA	HOA
M	1,318,997	30.28	X	X	X	X		X	HOA	HOA
N	24,829	0.57	X			X			HOA	HOA
O	5,227	0.12				X			HOA	HOA
P	16,553	0.38		X	X	X			HOA	HOA
Q	55,321	1.27		X	X	X		X	HOA	HOA
R	53,579	1.23				X			HOA	HOA
S	58,806	1.35			X	X			HOA	HOA
T	662,112	15.20		X	X	X		X	HOA	HOA
U	11,326	0.26		X	X			X	HOA	HOA
V	48,787	1.12		X	X	X		X	HOA	HOA
W	458,575	0.21		X	X				HOA	HOA
X	15,682	0.36				X			HOA	HOA
Y	14,810	0.34				X			HOA	HOA
Z	102,802	2.36			X	X			HOA	HOA
AA	120,226	2.76	X	X	X			X	HOA	HOA
BB	157,252	3.61			X	X		X	HOA	HOA
CC	139,392	3.20			X	X		X	HOA	HOA
DD	457,816	10.51		X	X	X		X	HOA	HOA

TRACT LEGEND	
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NOT WITHIN SCOPE OF PUD	



KEY MAP
SCALE: N.T.S.



DRAWN BY: DLH JOB DATE: 11/8/23
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NO.	DATE	BY	REVISION DESCRIPTION

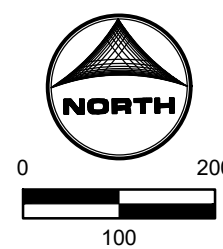
HR GREEN - COLORADO SPRINGS
1975 RESEARCH PARKWAY SUITE 230
COLORADO SPRINGS, CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

FLYING HORSE NORTH PHASE 2 PUD
PRI #2, LLC.
EL PASO COUNTY, CO

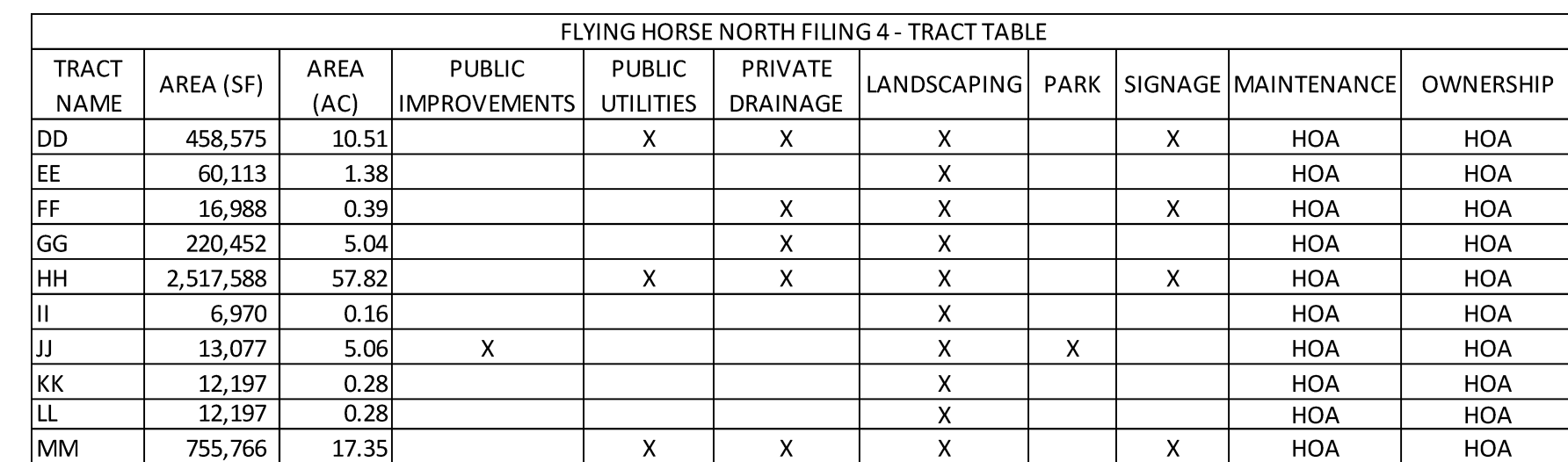
PUD PRELIMINARY PLAN
TRACT PLAN

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10

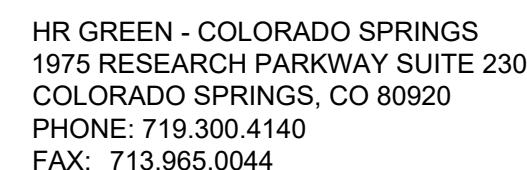
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RANGE 66 WEST, AND A PORTION OF SECTIONS 30 AND 31, TOWNSHIP 11 SOUTH,
RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO**



KEY MAP
SCALE: N.T.S

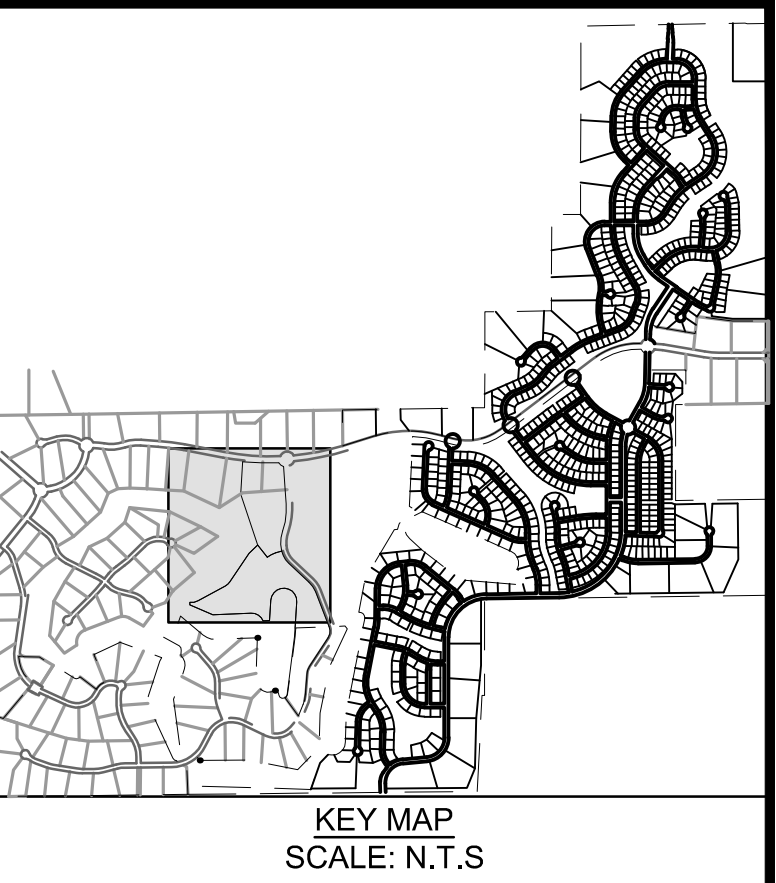


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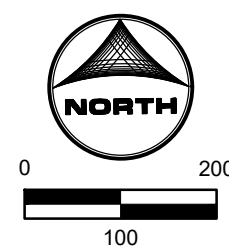


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

































FLYING HORSE NORTH - PHASE 2
PUD / PRELIMINARY PLAN
 A PORTION OF SECTIONS 34, 35 AND 36 TOWNSHIP 11 SOUTH,
 RANGE 66 WEST, AND A PORTION OF SECTIONS 30 AND 31, TOWNSHIP 11 SOUTH,
 RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO



FLYING HORSE NORTH FILING 4 - TRACT TABLE										
TRACT NAME	AREA (SF)	AREA (AC)	PUBLIC IMPROVEMENTS	PUBLIC UTILITIES	PRIVATE DRAINAGE	LANDSCAPING	PARK	SIGNAGE	MAINTENANCE	OWNERSHIP
NN	45,302	1.04			X	X		X	HOA	HOA
A	134,600	3.09			X	X		X	HOA	HOA



TRACT LEGEND

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MATCHLINE:
SEE SHEET 9

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APPROVED: KMH JOB NUMBER: 211030 OFFICIAL DRAWINGS.
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CAD DATE: 11/8/2023 IF NOT ONE INCH,
CAD FILE: J:\2021\211030\CAD\DWG\CI\PU\PP\Tract_Plan ADJUST SCALE ACCORDINGLY.

NO.	DATE	BY	REVISION DESCRIPTION



HR GREEN - COLORADO SPRINGS
1975 RESEARCH PARKWAY SUITE 230
COLORADO SPRINGS, CO 80920
PHONE: 719.300.4140
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FLYING HORSE NORTH PHASE 2 PUD
PRI #2, LLC.
EL PASO COUNTY, CO

PUD PRELIMINARY PLAN
TRACT PLAN

SHEET
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12

TRACT CURVE TABLE					
CURVE TAG #	LENGTH (FT)	RADIUS (FT)	DELTA	CHORD BEARING	CHORD LENGTH
C1	118.78	180.00	37°48'36"	S80° 50' 50"W	116.64
C2	52.22	595.00	5°01'42"	N2° 31' 30"E	52.20
C3	191.56	630.00	17°25'17"	N8° 42' 30"E	190.82
C4	276.27	755.00	20°57'55"	N11° 18' 00"W	274.73
C5	165.16	445.00	21°15'55"	N11° 09' 00"W	164.22
C6	136.32	965.00	8°05'37"	S21° 52' 10"W	136.20
C7	8.22	825.00	0°34'14"	N60° 32' 00"W	8.22
C8	522.64	655.00	45°43'05"	N64° 33' 40"W	508.89
C9	32.91	177.50	10°37'19"	N5° 47' 10"W	32.86
C10	231.23	222.50	59°32'34"	N18° 40' 30"E	220.96
C11	104.88	325.00	18°29'24"	N31° 48' 30"W	104.43
C13	107.21	55.00	111°40'51"	S6° 36' 30"W	91.02
C14	90.66	100.00	51°56'40"	S86° 51' 40"E	87.59
C16	688.18	930.00	42°23'52"	S67° 59' 00"W	672.59
C17	17.30	55.00	18°01'33"	S87° 50' 40"W	17.23
C18	19.47	177.50	6°17'10"	N48° 01' 40"E	19.46
C19	163.78	330.00	28°26'12"	N70° 14' 20"E	162.11
C20	109.44	145.00	43°14'38"	S21° 02' 40"E	106.86
C21	2.14	145.00	0°50'48"	S1° 00' 00"W	2.14
C22	34.72	270.00	7°22'05"	N3° 40' 30"E	34.70
C23	387.00	655.00	33°51'11"	S15° 30' 10"E	381.40
C24	449.78	455.00	56°38'20"	N61° 40' 20"W	431.69
C25	115.22	345.00	19°08'09"	S22° 51' 40"E	114.69
C26	203.66	475.00	24°33'57"	S1° 00' 40"E	202.10
C27	187.58	345.00	31°09'06"	S74° 24' 50"E	185.28
C29	428.80	1655.00	14°46'33"	N72° 45' 30"W	425.62
C30	40.59	1525.00	1°31'29"	N64° 36' 30"W	40.58
C31	122.53	1655.00	4°14'32"	N61° 43' 30"W	122.51
C32	125.38	245.00	29°19'14"	N74° 15' 50"W	124.01
C33	134.17	775.00	9°55'10"	S6° 18' 40"W	134.01
C34	109.80	655.00	9°36'17"	S73° 55' 30"E	109.67
C35	47.47	525.00	5°10'49"	S66° 32' 00"E	47.45
C36	58.35	655.00	5°06'16"	S61° 23' 30"E	58.33
C43	145.12	455.00	18°16'28"	N9° 07' 40"W	144.51
C44	85.58	325.00	15°05'12"	N25° 48' 30"W	85.33
C45	67.69	555.00	6°59'15"	N3° 30' 10"E	67.64
C46	163.33	555.00	16°51'42"	N15° 25' 40"E	162.74
C47	103.93	870.00	6°50'40"	S85° 45' 40"W	103.87
C52	130.93	823.62	9°06'30"	N85° 01' 40"E	130.79
C53	40.02	375.00	6°06'52"	N49° 46' 10"E	40.00
C54	30.03	375.00	4°35'19"	N78° 29' 10"E	30.02
C55	137.55	222.71	35°23'13"	N29° 26' 10"W	135.37
C56	256.49	270.00	54°25'41"	N38° 32' 50"E	246.95
C57	313.05	330.00	54°21'11"	S38° 35' 10"W	301.44
C58	48.11	225.00	12°15'00"	N46° 51' 00"W	48.01
C59	77.46	930.00	4°46'21"	S29° 34' 40"W	77.44
C60	1068.07	794.00	77°04'22"	N38° 32' 00"E	989.34
C61	1140.30	870.00	75°05'49"	S37° 32' 40"W	1060.41
C62	276.09	950.00	16°39'05"	N13° 15' 00"E	275.12
C63	228.56	930.00	14°04'52"	S13° 15' 00"W	227.98

TRACT CURVE TABLE					
CURVE TAG #	LENGTH (FT)	RADIUS (FT)	DELTA	CHORD BEARING	CHORD LENGTH
C64	51.79	55.00	53°57'15"	N89° 14' 50"E	49.90
C65	11.94	950.00	0°43'13"	N0° 21' 30"E	11.94
C66	30.00	1085.00	1°35'04"	S13° 56' 40"E	30.00
C67	85.14	955.00	5°06'28"	S17° 17' 20"E	85.11
C68	666.45	185.00	206°24'12"	S85° 21' 10"W	360.22
C76	1061.15	1155.00	52°38'25"	S63° 37' 50"E	1024.22
C77	614.60	855.00	41°11'10"	N21° 06' 30"W	601.46
C79	20.53	55.00	21°23'14"	S2° 43' 00"E	20.41
C80	26.01	30.00	49°40'47"	S16° 51' 50"E	25.21
C81	669.89	840.00	45°41'34"	N75° 32' 10"E	652.28
C82	31.84	55.00	33°09'51"	N4° 19' 50"W	31.39
C83	333.63	655.00	29°11'03"	N14° 35' 20"E	330.04
C84	168.76	570.00	16°57'49"	S8° 28' 40"W	168.15
C85	30.00	975.00	1°45'48"	S40° 06' 20"E	30.00
C86	88.28	100.00	50°34'57"	S68° 57' 00"W	85.44
C87	102.13	100.00	58°30'52"	S14° 33' 10"E	97.75
C88	86.62	100.00	49°37'47"	N85° 42' 10"W	83.94
C89	90.66	100.00	51°56'40"	S12° 14' 30"W	87.59
C90	45.99	1155.00	2°16'54"	N53° 49' 50"E	45.99
C91	92.88	100.00	53°12'55"	N61° 44' 00"E	89.58
C92	24.90	325.00	4°23'21"	N4° 46' 30"E	24.89
C93	94.99	100.00	54°25'32"	N35° 18' 00"W	91.46
C94	171.09	55.00	178°14'02"	S73° 12' 50"E	109.99
C95	372.28	1560.00	13°40'23"	N81° 18' 20"W	371.39
C96	272.23	625.00	24°57'23"	N43° 08' 20"W	270.08
C97	70.56	575.00	7°01'52"	S52° 06' 10"E	70.52
C99	99.98	525.00	10°54'39"	N7° 16' 20"W	99.82
C100	139.32	475.00	16°48'19"	N4° 19' 30"W	138.82
C102	78.90	405.00	11°09'43"	N89° 52' 30"W	78.77
C105	459.56	1640.00	16°03'19"	N81° 57' 30"E	458.05
C106	413.05	760.00	31°08'22"	N68° 15' 40"E	407.99
C107	91.24	100.00	52°16'44"	N12° 24' 30"E	88.11
C108	46.84	275.00	9°45'36"	N28° 45' 20"W	46.79
C109	234.20	405.00	33°08'00"	N7° 18' 30"W	230.96
C110	381.55	455.00	48°02'48"	S44° 55' 20"W	370.47
C111	82.33	845.00	5°34'56"	S66° 09' 20"W	82.29
C112	183.10	975.00	10°45'36"	S57° 59' 00"W	182.83
C113	31.49	145.00	12°26'33"	S46° 23' 00"W	31.43
C114	298.93	655.00	26°08'56"	S53° 14' 10"W	296.35
C115	149.53	95.00	90°11'06"	S21° 13' 10"W	134.57
C116	35.43	225.00	9°01'23"	S28° 23' 10"E	35.40
C117	89.97	100.00	51°32'58"	S86° 39' 50"E	86.97
C118	231.86	100.00	132°50'37"	N52° 41' 20"E	183.30
C119	703.92	1040.00	38°46'50"	N72° 04' 50"E	690.56
C120	85.01	100.00	48°42'32"	N49° 24' 10"E	82.48
C121	333.70	585.00	32°41'00"	N17° 33' 30"E	329.20
C122	503.40	405.15	71°11'28"	N34° 19' 40"E	471.64
C123	64.76	60.00	61°50'27"	S79° 39' 40"E	61.66
C125	37.13	455.00	4°40'31"	S27° 01' 10"E	37.12
C126	80.28	325.00	14°09'08"	S17° 36' 20"E	80.07

TRACT CURVE TABLE					
CURVE TAG #	LENGTH (FT)	RADIUS (FT)	DELTA	CHORD BEARING	CHORD LENGTH
C127	249.58	455.00	31°25'41"	S5° 11' 10"W	246.46
C128	182.97	1025.00	10°13'39"	N57° 43' 10"E	182.73
C129	307.93	355.00	49°41'55"	S63° 06' 30"E	298.37
C130	82.89	275.00	17°16'09"	N12° 51' 50"W	82.57
C131	23.36	60.00	22°18'11"	S59° 53' 30"E	23.21
C132	47.35	525.00	5°10'05"	S68° 27' 30"E	47.34
C133	29.16	55.00	30°22'21"	S2° 49' 40"W	28.82
C134	65.87	575.00	6°33'48"	N33° 56' 40"W	65.83
C135	304.91	575.00	30°22'58"	N15° 28' 10"W	301.35
C136	158.63	525.00	17°18'43"	S25° 14' 30"W	158.03
C137	377.55	445.00	48°36'42"	S71° 24' 00"W	366.33
C138	331.42	625.00	30°22'58"	N15° 28' 10"W	327.56
C139	428.82	845.00	29°04'36"	S14° 49' 00"E	424.24
C140	439.31	455.00	55°19'10"	N60° 33' 40"E	422.44
C141	517.60	755.00	39°16'47"	S66° 44' 00"W	507.52
C142	26.01	30.00	49°40'47"	S25° 44' 50"E	25.21
C143	127.15	445.00	16°22'16"	N41° 05' 10"E	126.72
C144	121.58	55.00	126°39'18"	S12° 44' 20"W	98.29
C145	72.22	575.00	7°11'46"	N52° 52' 10"E	72.17
C147	172.38	185.00	53°23'17"	N40° 32' 10"W	166.21
C148	67.57	55.00	70°23'33"	S52° 47' 40"W	63.40
C149	49.99	555.00	5°09'40"	N53° 53' 10"E	49.98
C150	81.18	425.00	10°56'39"	N45° 50' 00"E	81.06
C152	9.74	145.83	3°49'36"	N50° 26' 40"E	9.74
C153	704.76	555.00	72°45'23"	N3° 59' 00"E	658.35
C154	81.62	655.00	7°08'22"	S38° 14' 40"W	81.57
C155	164.74	405.00	23°18'20"	N11° 07' 20"W	163.60
C156	30.01	275.00	6°15'13"	N25° 54' 00"W	30.00
C157	416.64	405.00	58°56'34"	N58° 30' 00"W	398.51
C158	28.22	177.50	9°06'30"	N6° 35' 00"E	28.19
C159	90.79	222.50	23°22'50"	N1° 28' 40"W	90.17
C160	51.11	176.93	16°33'01"	N9° 24' 50"W	50.93
C161	52.34	177.53	16°53'36"	S8° 22' 00"W	52.15
C162	89.34	222.50	23°00'19"	S5° 18' 40"W	88.74
C163	25.47	177.50	8°13'17"	S2° 04' 50"E	25.45
C164	23.54	525.00	2°34'07"	S88° 56' 30"W	23.53
C165	534.02	655.00	46°42'47"	S65° 10' 10"W	519.35
C166	240.48	993.67	13°51'59"	S39° 22' 30"W	239.90
C167	77.65	535.00	8°18'57"	S85° 01' 30"W	77.58
C181	143.43	655.00	12°32'46"	S41° 45' 00"E	143.14
C182	379.98	245.00	88°51'42"	N12° 02' 10"E	343.02
C183	67.24	55.00	70°02'54"	S65° 17' 40"W	63.13
C190	421.66	615.00	39°16'59"	S32° 22' 20"W	413.44
C191	365.67	595.00	35°12'43"	N32° 22' 20"E	359.94
C203	131.98	80.00	94°31'34"	S46° 10' 50"E	117.52
C269	207.00	955.00	12°25'09"	S6° 43' 30"E	206.59
C270	128.05	345.00	21°15'55"	S11° 09' 00"E	127.31
C271	156.66	855.00	10°29'54"	S16° 32' 00"E	156.44
C378	288.13	3540.74	4°39'45"	S86° 20' 50"E	288.05
C385	114.20	100.00	65°25'58"	N18° 00' 50"W	108.10

DRAWN BY: DLH JOB DATE: 11/8/23 BAR IS ONE INCH ON
APPROVED: KMH JOB NUMBER: 211030 OFFICIAL DRAWINGS.
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CAD DATE: 11/8/2023 IF NOT ONE INCH,
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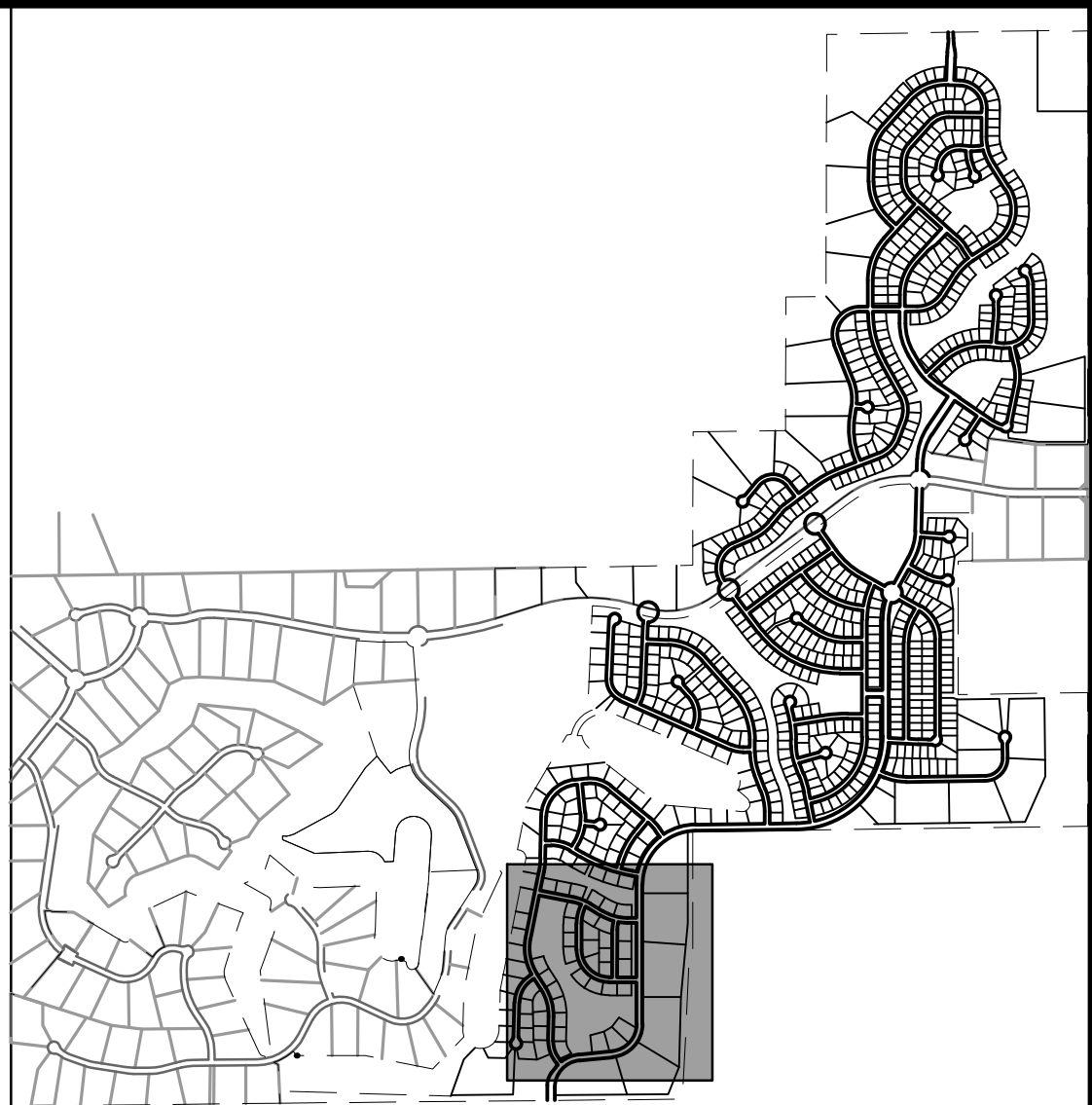
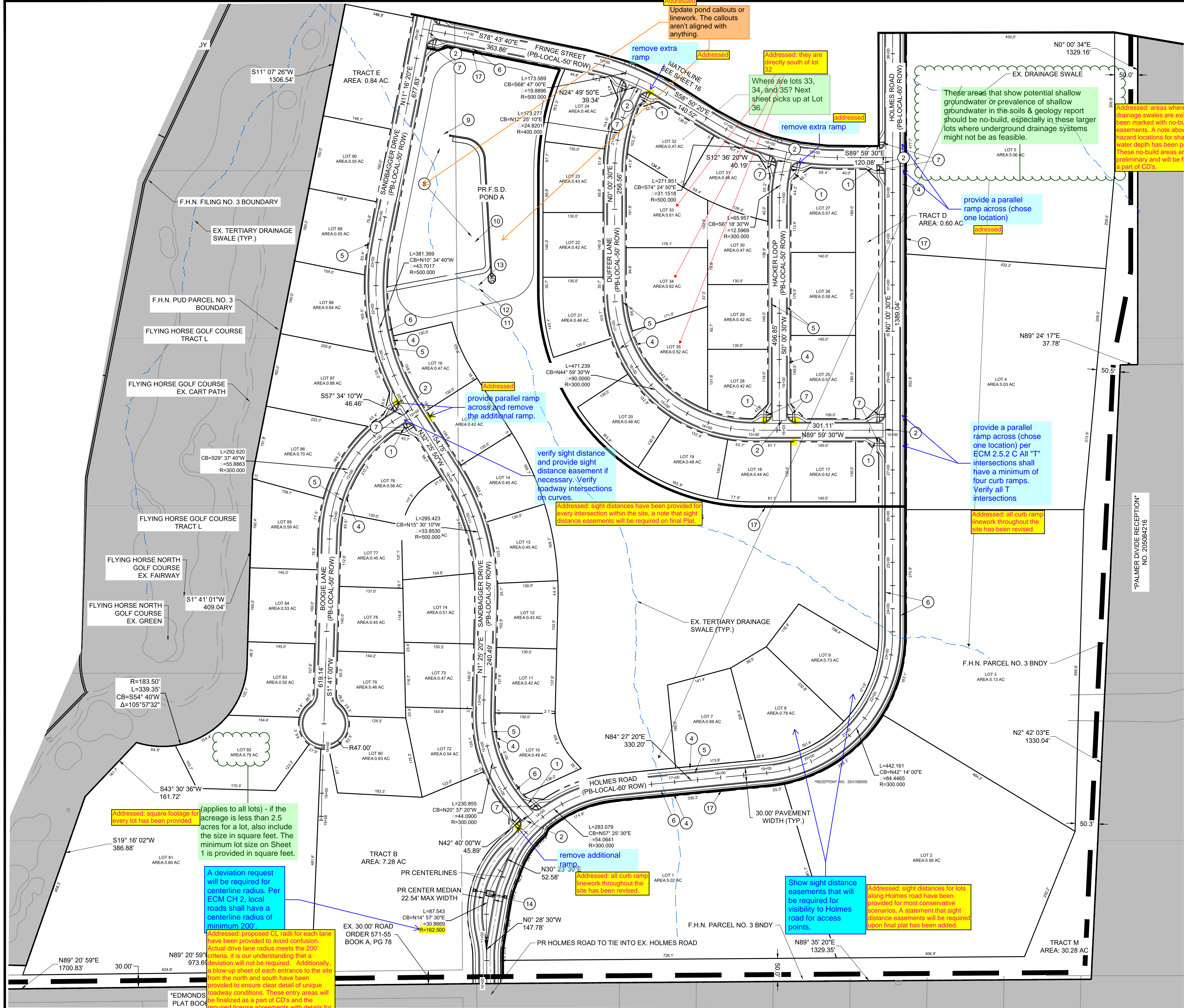
NO.	DATE	BY	REVISION DESCRIPTION

HRGreen
HR GREEN - COLORADO SPRINGS
1975 RESEARCH PARKWAY SUITE 230
COLORADO SPRINGS, CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

FLYING HORSE NORTH PHASE 2 PUD
PRI #2, LLC.
EL PASO COUNTY, CO

PUD PRELIMINARY PLAN
TRACT CURVE TABLE

SHEET
TBL



KEY MAP
SCALE: N.T.S

LINWORK LEGEND

MATCH LINE	
PR PROPERTY LINE	
EX PROPERTY LINE	
PR EASEMENT LINE	
EX EASEMENT LINE	
PR RIGHT OF WAY	
EX RIGHT OF WAY	
PR LOT LINE	
EX LOT LINE	
EX SWALE	
PR SWALE	
PR ACCESS TRAIL	
PR REGIONAL TRAIL	
PR CURB & GUTTER	
EX CURB & GUTTER	
PR SIDEWALK	
PR CONCRETE	
PR RIP-RAP	
PR POND RIM	
PR INDEX CONTOUR	
EX INDEX CONTOUR	
PR INTER. CONTOUR	
EX INTER. CONTOUR	
NOT WITHIN SCOPE OF PUD	

- NOTES:
- SEE SHEET 3 FOR TYPICAL STREET SECTIONS AND TYPICAL LOT LAYOUTS.
 - SEE TRACT DETAILS ON SHEETS 9 - 11.

SITE SCHEDULE

- PR 30" R1-1 STOP SIGN W. STREET NAME SIGNS
- PR 6" CONCRETE CROSS PAN
- PR 8" CONCRETE CROSS PAN
- PR 5" CONCRETE SIDEWALK
- PR EPC TYPE C MOUNTABLE CURB & GUTTER
- PR EPC TYPE A VERTICAL CURB & GUTTER
- PR CONCRETE CURB RAMP
- PR 15' MAINTENANCE ACCESS ROAD 6" MIN. OF GRAVEL SHALL MEET MATERIAL SPECIFICATIONS PRESENTED ON TABLE D-7 IN THE EPC ECM.
- PR CONCRETE FOREBAY (PRIVATE)
- PR CONCRETE TRICKLE CHANNEL (PRIVATE)
- PR EMERGENCY SPILLWAY WITH EMBANKMENT PROTECTION (RIP-RAP)
- PR CONCRETE OUTLET STRUCTURE (PRIVATE)
- PR MICRO-POOL
- PR ENTRY SIGN (SEE LANDSCAPE PLANS)
- PR MODULAR BLOCK WALL
- PR CONCRETE MID-BLOCK CURB RAMP
- PR 10' WIDE ACCESS TRAIL

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APPROVED: KMH JOB NUMBER: 211030 0
CAD DATE: 11/8/2023 IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.
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NO.	DATE	BY	REVISION DESCRIPTION

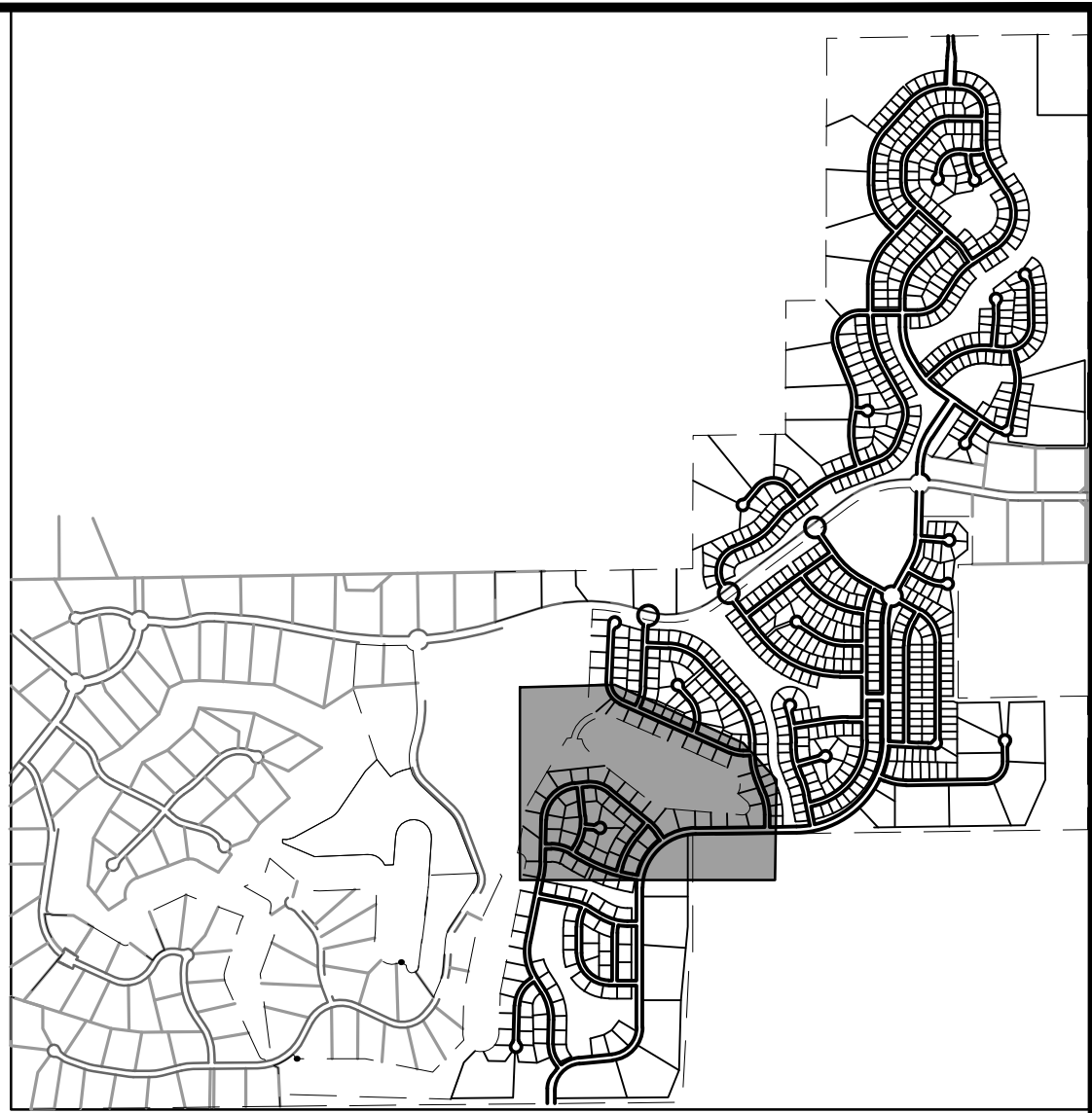
HR GREEN - COLORADO SPRINGS
1975 RESEARCH PARKWAY SUITE 230
COLORADO SPRINGS, CO 80920
PHONE: 719.300.4140
FAX: 713.965.0444

FLYING HORSE NORTH PHASE 2 PUD
PRI #2, LLC.
EL PASO COUNTY, CO

PUD PRELIMINARY PLAN
SITE PLAN 02

SHEET
SP

15



LE: N.T.S

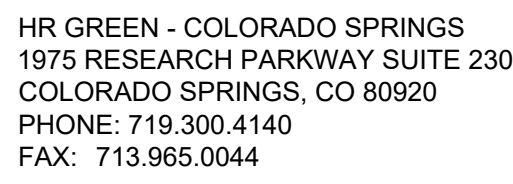
This lot is almost entirely encumbered by the seasonally flooded area

PR DOES NOT CROSS THE BOUNDARY LINES.	PR LOT LINE	
PR ON ALL SHEETS LINED IN A DRAINAGE	PR LOT LINE	
	PR LOT LINE	
	PR RIGHT OF WAY	
	EX RIGHT OF WAY	
	PR LOT LINE	
	EX LOT LINE	
	EX SWALE	
	PR SWALE	
	PR ACCESS TRAIL	
	PR REGIONAL TRAIL	
	PR CURB & GUTTER	
	EX CURB & GUTTER	
	PR SIDEWALK	
	PR CONCRETE	
	PR RIP-RAP	
	PR POND RIM	
	PR INDEX CONTOUR	
	EX INDEX CONTOUR	
	PR INTER. CONTOUR	
	EX INTER. CONTOUR	
	NOT WITHIN SCOPE OF PUD	

- ① PR 30" R1-1 STOP SIGN W. STREET NAME SIGNS
- ② PR 6" CONCRETE CROSS PAN
- ③ PR 8" CONCRETE CROSS PAN
- ④ PR 5" CONCRETE SIDEWALK
- ⑤ PR EPC TYPE C MOUNTABLE CURB & GUTTER
- ⑥ PR EPC TYPE A VERTICAL CURB & GUTTER
- ⑦ PR CONCRETE CURB RAMP
- ⑧ PR 15' MAINTENANCE ACCESS ROAD 6" MIN. OF

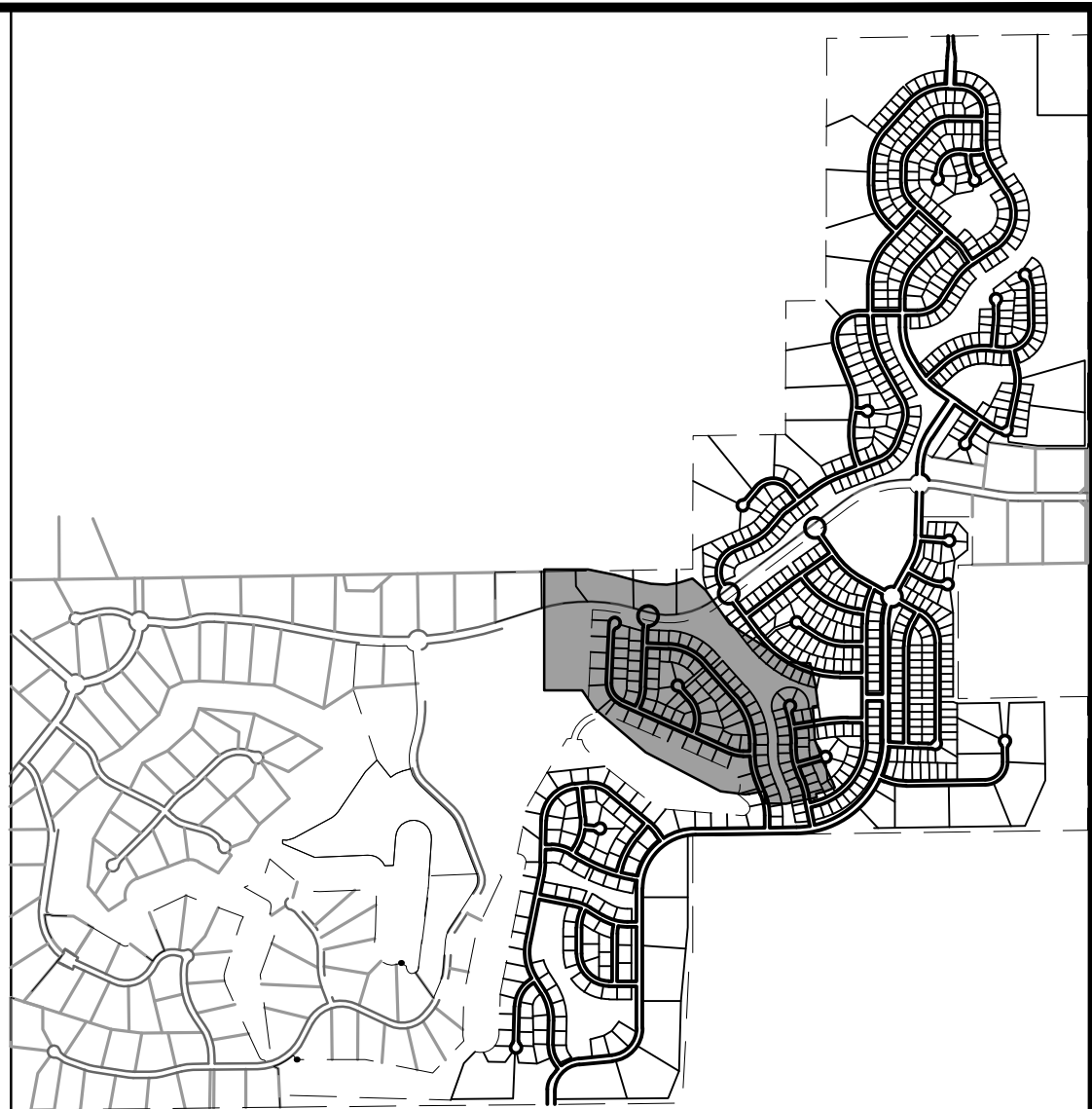
- GRAVEL SHALL MEET MATERIAL SPECIFICATIONS PRESENTED ON TABLE D-7 IN THE EPC ECM.
- 9 PR CONCRETE FOREBAY (PRIVATE)
- 10 PR CONCRETE TRICKLE CHANNEL (PRIVATE)
- 11 PR EMERGENCY SPILLWAY WITH EMBANKMENT PROTECTION (RIP-RAP)
- 12 PR CONCRETE OUTLET STRUCTURE (PRIVATE)
- 13 PR MICRO-POOL
- 14 PR ENTRY SIGN (SEE LANDSCAPE PLANS)
- 15 PR MODULAR BLOCK WALL
- 16 PR CONCRETE MID-BLOCK CURB RAMP
- 17 PR 10' WIDE ACCESS TRAIL

NO.	DATE	BY	REVISION DESCRIPTION



PUD PRELIMINARY PLAN
SITE PLAN 03

16



KEY MAP
SCALE: N.T.S.

LINEWORK LEGEND

MATCH LINE	
PR PROPERTY LINE	
EX PROPERTY LINE	
PR EASEMENT LINE	
EX EASEMENT LINE	
PR RIGHT OF WAY	
EX RIGHT OF WAY	
PR LOT LINE	
EX LOT LINE	
EX SWALE	
PR SWALE	
PR ACCESS TRAIL	
PR REGIONAL TRAIL	
PR CURB & GUTTER	
EX CURB & GUTTER	
PR SIDEWALK	
PR CONCRETE	
PR RIP-RAP	
PR POND RIM	
PR INDEX CONTOUR	
EX INDEX CONTOUR	
PR INTER. CONTOUR	
EX INTER. CONTOUR	
NOT WITHIN SCOPE OF PUD	

NOTES:

1. SEE SHEET 3 FOR TYPICAL STREET SECTIONS AND TYPICAL LOT LAYOUTS.
2. SEE TRACT DETAILS ON SHEETS 9 - 11.

SITE SCHEDULE

- 1 PR 30" R1-1 STOP SIGN W. STREET NAME SIGNS
- 2 PR 6" CONCRETE CROSS PAN
- 3 PR 8" CONCRETE CROSS PAN
- 4 PR 5" CONCRETE SIDEWALK
- 5 PR EPC TYPE C MOUNTABLE CURB & GUTTER
- 6 PR EPC TYPE A VERTICAL CURB & GUTTER
- 7 PR CONCRETE CURB RAMP
- 8 PR 15' MAINTENANCE ACCESS ROAD 6" MIN. OF GRAVEL SHALL MEET MATERIAL SPECIFICATIONS PRESENTED ON TABLE D-7 IN THE EPC ECM.
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- 14 PR ENTRY SIGN (SEE LANDSCAPE PLANS)
- 15 PR CONCRETE BLOCK WALL
- 16 PR CONCRETE MID-BLOCK CURB RAMP
- 17 PR 10' WIDE ACCESS TRAIL

NO.	DATE	BY	REVISION DESCRIPTION

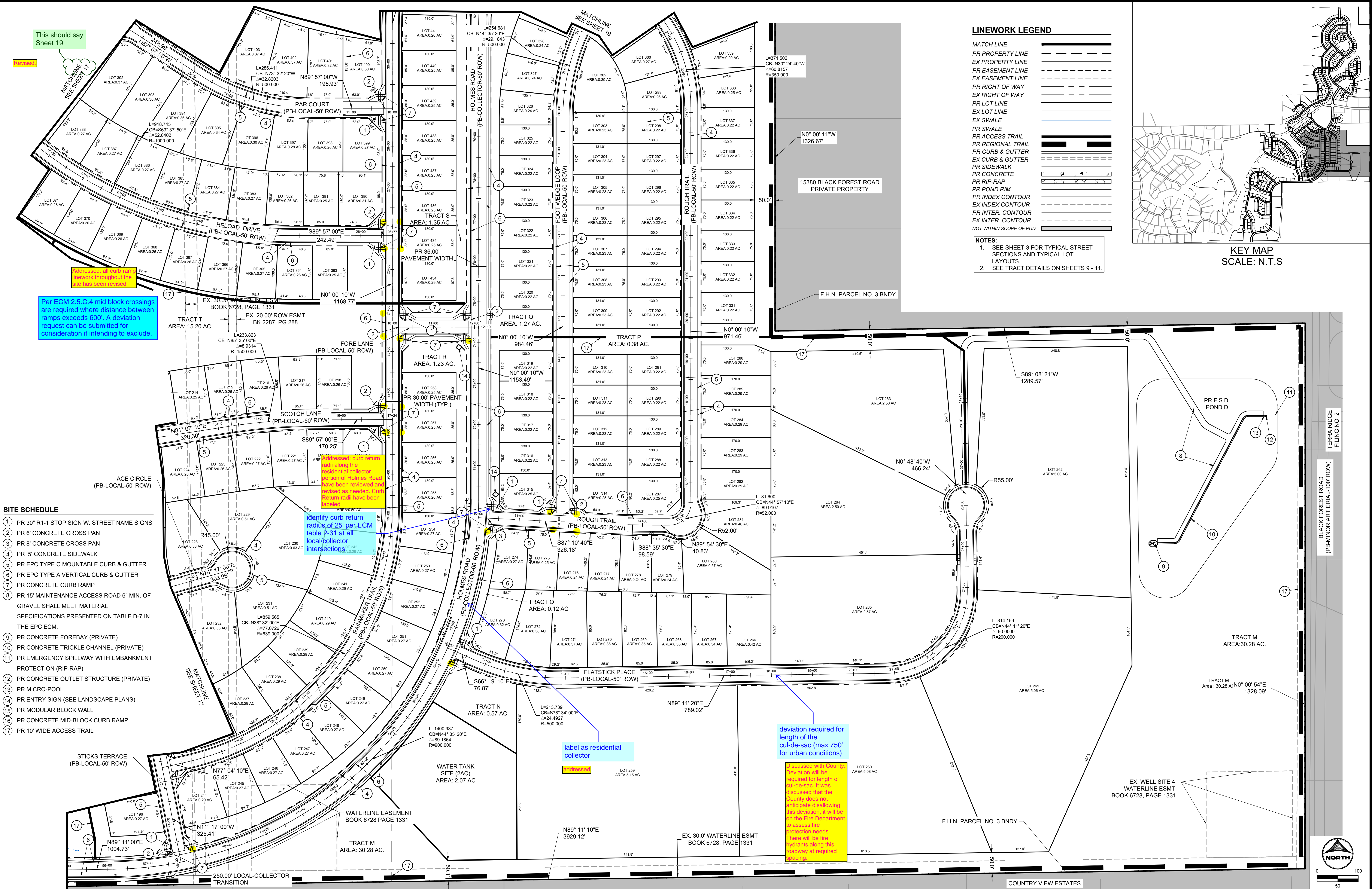


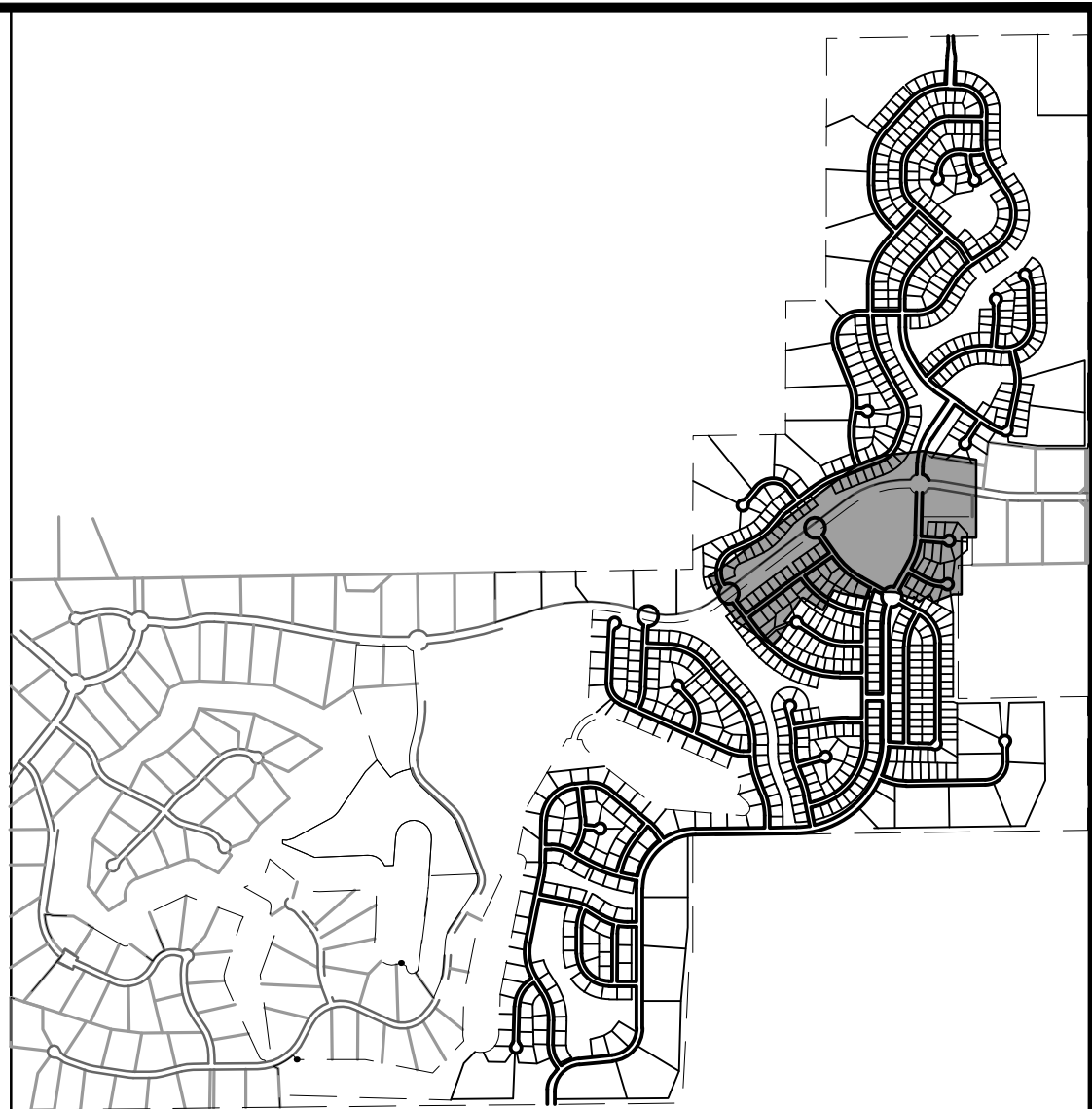
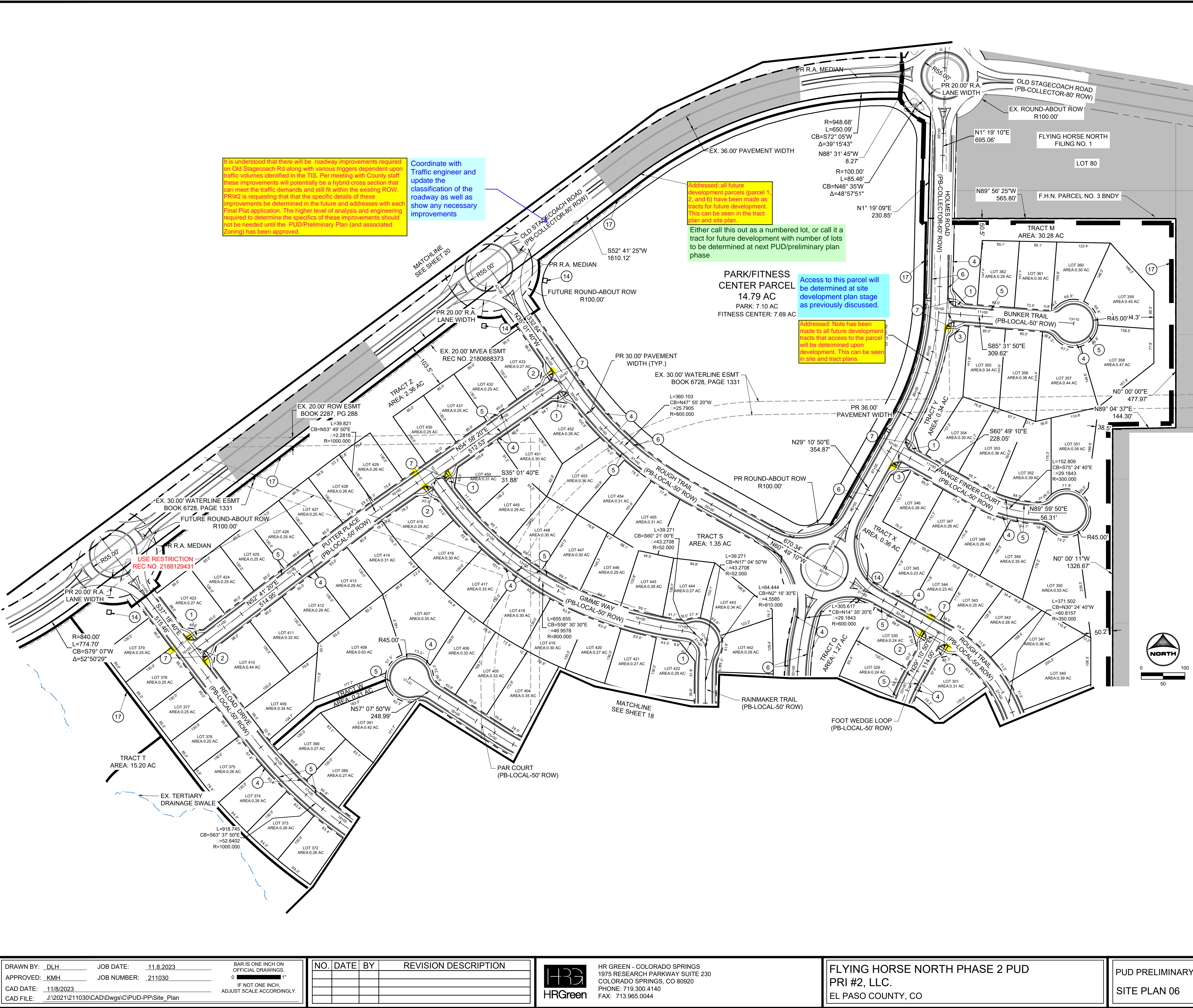
HR GREEN - COLORADO SPRINGS
1975 RESEARCH PARKWAY SUITE 230
COLORADO SPRINGS, CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

FLYING HORSE NORTH PHASE 2 PUD
PRI #2, LLC.
EL PASO COUNTY, CO

PUD PRELIMINARY PLAN
SITE PLAN 04

SHEET
SP





KEY MAP
SCALE: N.T.S.

LINWORK LEGEND

MATCH LINE	
PR PROPERTY LINE	
EX PROPERTY LINE	
PR EASEMENT LINE	
EX EASEMENT LINE	
PR RIGHT OF WAY	
EX RIGHT OF WAY	
PR LOT LINE	
EX LOT LINE	
EX SWALE	
PR SWALE	
PR ACCESS TRAIL	
PR REGIONAL TRAIL	
PR CURB & GUTTER	
EX CURB & GUTTER	
PR SIDEWALK	
PR CONCRETE	
PR RIP-RAP	
PR POND RIM	
PR INDEX CONTOUR	
EX INDEX CONTOUR	
PR INTER. CONTOUR	
EX INTER. CONTOUR	
NOT WITHIN SCOPE OF PUD	


- NOTES:
1. SEE SHEET 3 FOR TYPICAL STREET SECTIONS AND TYPICAL LOT LAYOUTS.
 2. SEE TRACT DETAILS ON SHEETS 9 - 11.

SITE SCHEDULE

- 1 PR 30" R1-1 STOP SIGN W. STREET NAME SIGNS
- 2 PR 6" CONCRETE CROSS PAN
- 3 PR 8" CONCRETE CROSS PAN
- 4 PR 5" CONCRETE SIDEWALK
- 5 PR EPC TYPE C MOUNTABLE CURB & GUTTER
- 6 PR EPC TYPE A VERTICAL CURB & GUTTER
- 7 PR CONCRETE CURB RAMP
- 8 PR 15" MAINTENANCE ACCESS ROAD 6" MIN. OF GRAVEL SHALL MEET MATERIAL SPECIFICATIONS PRESENTED ON TABLE D-7 IN THE EPC ECM.
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- 11 PR EMERGENCY SPILLWAY WITH EMBANKMENT PROTECTION (RIP-RAP)
- 12 PR CONCRETE OUTLET STRUCTURE (PRIVATE)
- 13 PR MICRO-POOL
- 14 PR ENTRY SIGN (SEE LANDSCAPE PLANS)
- 15 PR MODULAR BLOCK WALL
- 16 PR CONCRETE MID-BLOCK CURB RAMP
- 17 PR 10" WIDE ACCESS TRAIL

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APPROVED: KMH	JOB NUMBER: 211030	0" = 1"
CAD DATE: 11/8/2023		IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.
CAD FILE: J:\2021\21030\CAD\DWG\Site Plan\Site Plan		

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HR GREEN - COLORADO SPRINGS
1975 RESEARCH PARKWAY SUITE 230
COLORADO SPRINGS, CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

FLYING HORSE NORTH PHASE 2 PUD
PRI #2, LLC.
EL PASO COUNTY, CO

PUD PRELIMINARY PLAN
SITE PLAN 06

SHEET
SP

19

HRG: responses to comments

HERGER, DANIEL, 11/8/2023 3:20 PM

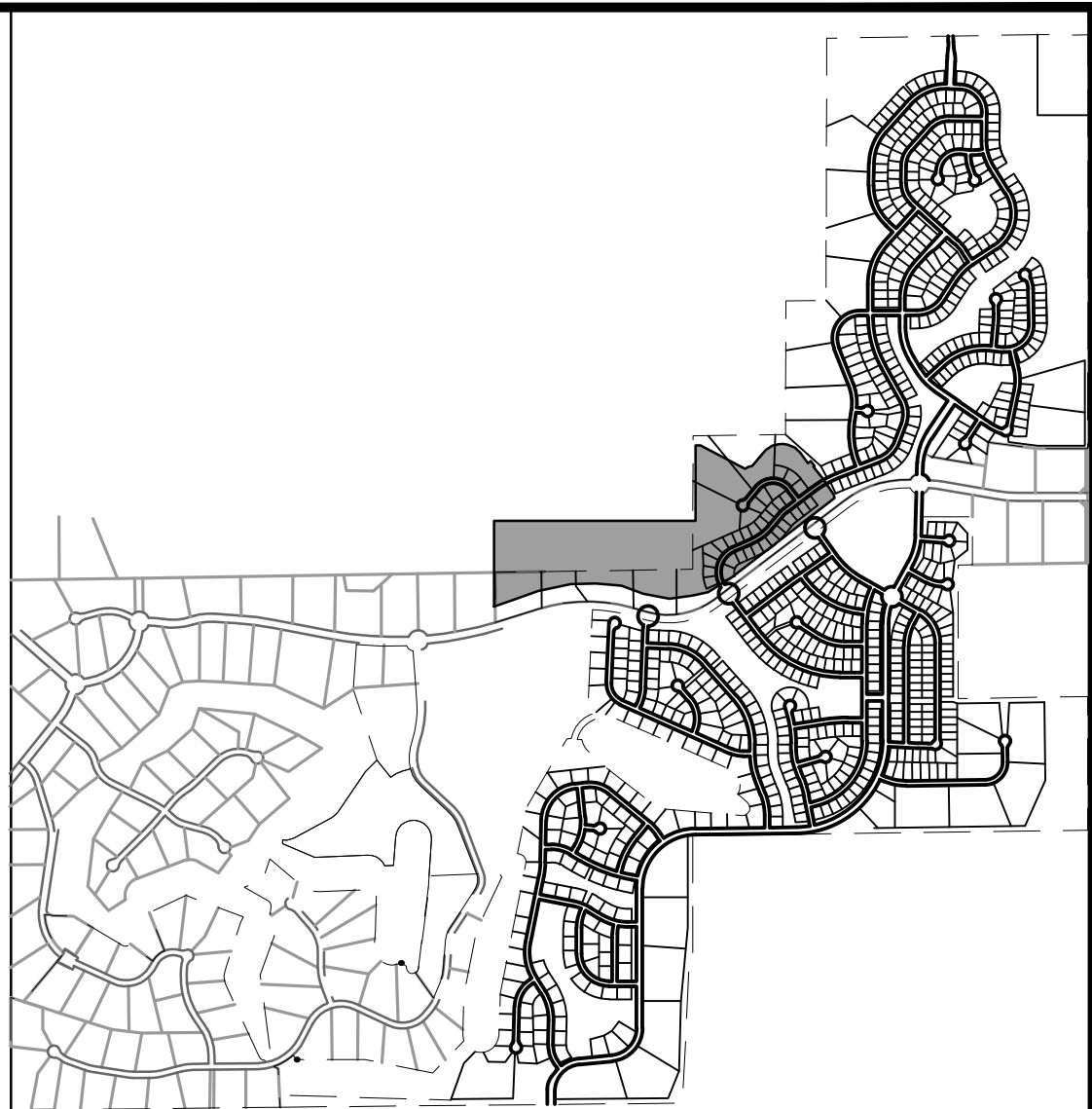
SITE SCHEDULE

- PR 30" R1-1 STOP SIGN W. STREET NAME SIGNS
- PR 6" CONCRETE CROSS PAN
- PR 8" CONCRETE CROSS PAN
- PR 5' CONCRETE SIDEWALK
- PR EPC TYPE C MOUNTABLE CURB & GUTTER
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- PR MICRO-POOL
- PR ENTRY SIGN (SEE LANDSCAPE PLANS)
- PR MODULAR BLOCK WALL
- PR CONCRETE MID-BLOCK CURB RAMP
- PR 10' WIDE ACCESS TRAIL

LINEWORK LEGEND

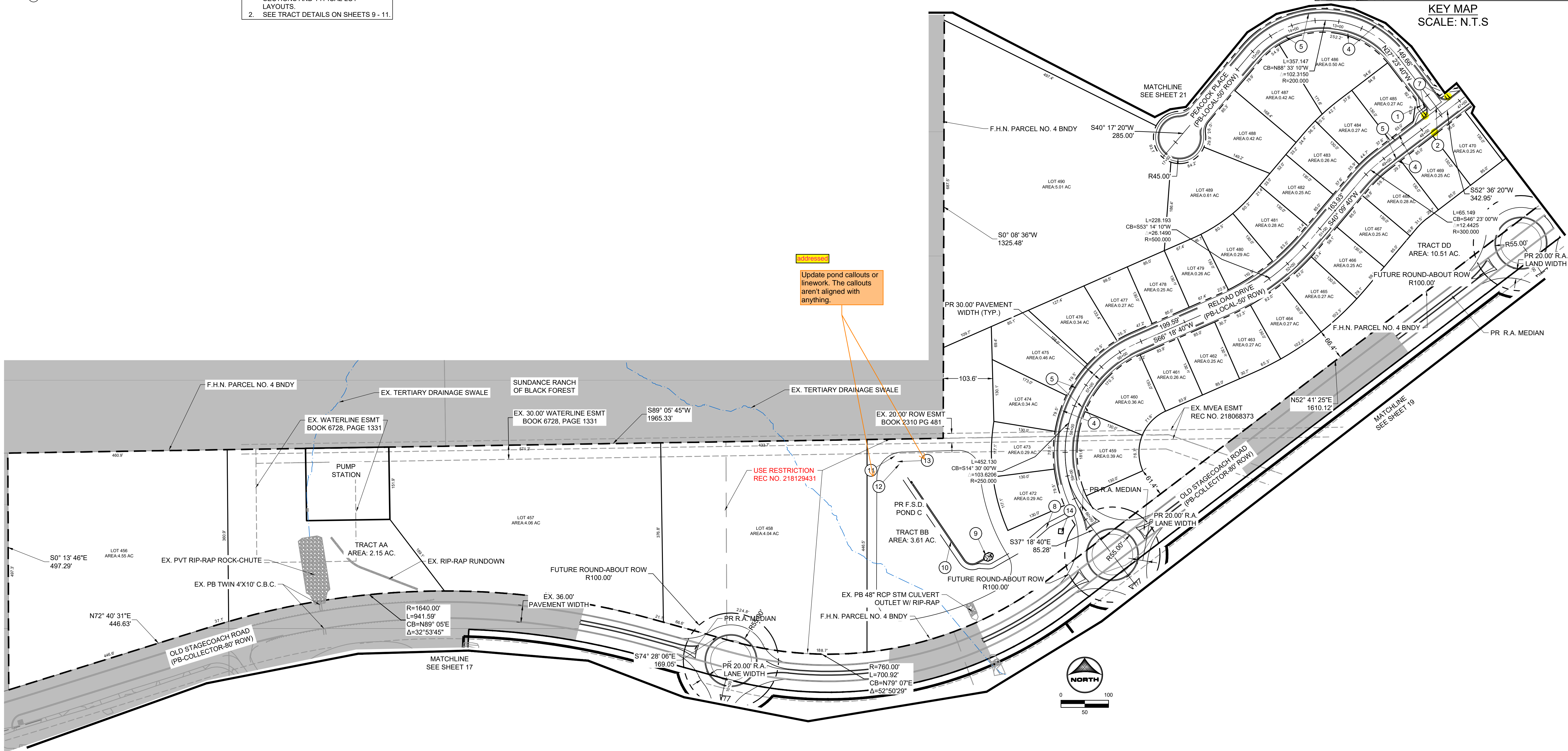
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EX PROPERTY LINE	
PR EASEMENT LINE	
EX EASEMENT LINE	
PR RIGHT OF WAY	
EX RIGHT OF WAY	
PR LOT LINE	
EX LOT LINE	
EX SWALE	
PR SWALE	
PR ACCESS TRAIL	
PR REGIONAL TRAIL	
PR CURB & GUTTER	
EX CURB & GUTTER	
PR SIDEWALK	
PR CONCRETE	
PR RIP-RAP	
PR POND RIM	
PR INDEX CONTOUR	
EX INDEX CONTOUR	
PR INTER. CONTOUR	
EX INTER. CONTOUR	
NOT WITHIN SCOPE OF PUD	

- NOTES:
- SEE SHEET 3 FOR TYPICAL STREET SECTIONS AND TYPICAL LOT LAYOUTS.
 - SEE TRACT DETAILS ON SHEETS 9 - 11.



KEY MAP
SCALE: N.T.S.

Update pond callouts or linework. The callouts aren't aligned with anything.



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APPROVED: KMH	JOB NUMBER: 211030	0" = 1"
CAD DATE: 11/8/2023		IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.
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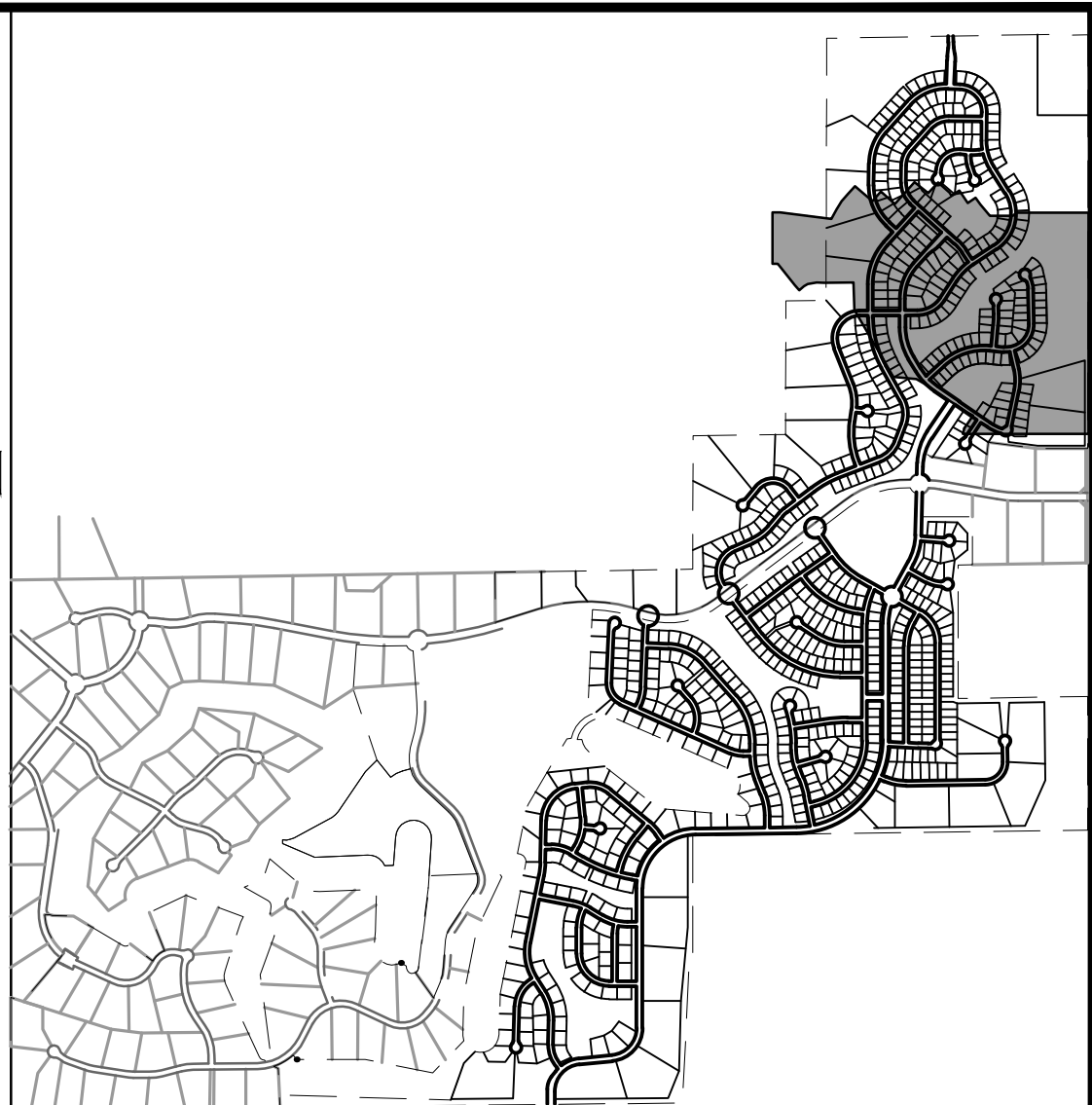
NO.	DATE	BY	REVISION DESCRIPTION

HR GREEN - COLORADO SPRINGS
1975 RESEARCH PARKWAY SUITE 230
COLORADO SPRINGS, CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

FLYING HORSE NORTH PHASE 2 PUD
PRI #2, LLC.
EL PASO COUNTY, CO

























PUD PRELIMINARY PLAN
SITE PLAN 07





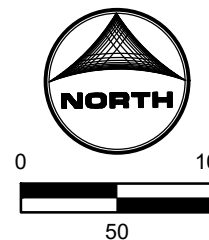
KEY MAP
SCALE: N.T.S.

LINEWORK LEGEND

MATCH LINE	
PR PROPERTY LINE	
EX PROPERTY LINE	
PR EASEMENT LINE	
EX EASEMENT LINE	
PR RIGHT OF WAY	
EX RIGHT OF WAY	
PR LOT LINE	
EX LOT LINE	
EX SWALE	
PR SWALE	
PR ACCESS TRAIL	
PR REGIONAL TRAIL	
PR CURB & GUTTER	
EX CURB & GUTTER	
PR SIDEWALK	
PR CONCRETE	
PR RIP-RAP	
PR POND RIM	
PR INDEX CONTOUR	
EX INDEX CONTOUR	
PR INTER. CONTOUR	
EX INTER. CONTOUR	
NOT WITHIN SCOPE OF PUD	

SITE SCHEDULE

- 1 PR 30" R1-1 STOP SIGN W. STREET NAME SIGNS
- 2 PR 6" CONCRETE CROSS PAN
- 3 PR 8" CONCRETE CROSS PAN
- 4 PR 5" CONCRETE SIDEWALK
- 5 PR EPC TYPE C MOUNTABLE CURB & GUTTER
- 6 PR EPC TYPE A VERTICAL CURB & GUTTER
- 7 PR CONCRETE CURB RAMP
- 8 PR 15' MAINTENANCE ACCESS ROAD 6" MIN. OF GRAVEL SHALL MEET MATERIAL SPECIFICATIONS PRESENTED ON TABLE D-7 IN THE EPC ECM.
- 9 PR CONCRETE FOREBAY (PRIVATE)
- 10 PR CONCRETE TRICKLE CHANNEL (PRIVATE)
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- 13 PR MICRO-POOL
- 14 PR ENTRY SIGN (SEE LANDSCAPE PLANS)
- 15 PR MODULAR BLOCK WALL
- 16 PR CONCRETE MID-BLOCK CURB RAMP
- 17 PR 10' WIDE ACCESS TRAIL



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APPROVED: KMH JOB NUMBER: 211030 OFFICIAL DRAWINGS.
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NO.	DATE	BY	REVISION DESCRIPTION



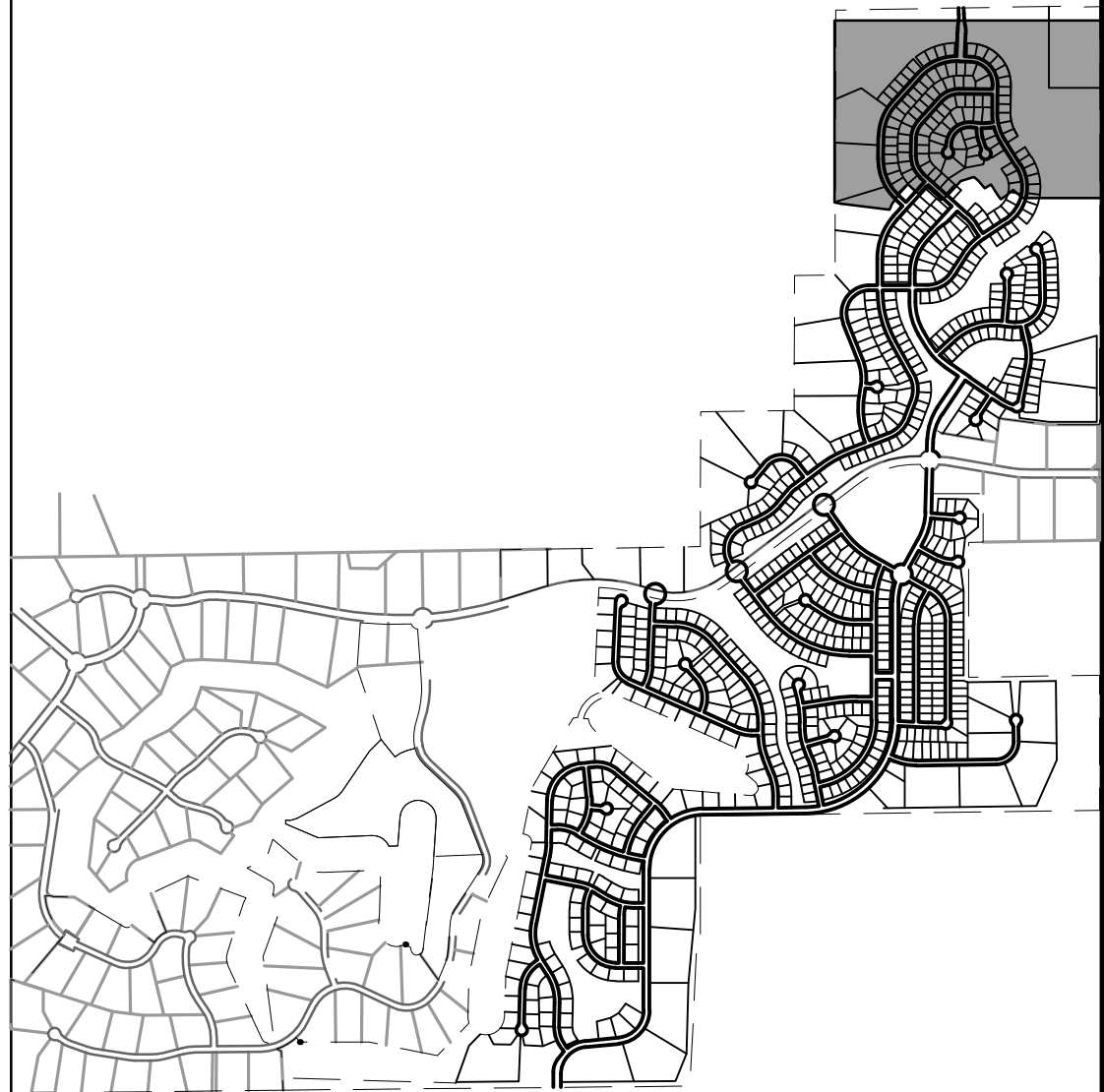
HR GREEN - COLORADO SPRINGS
1975 RESEARCH PARKWAY SUITE 230
COLORADO SPRINGS, CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

FLYING HORSE NORTH PHASE 2 PUD
PRI #2, LLC.
EL PASO COUNTY, CO

PUD PRELIMINARY PLAN
SITE PLAN 09

























SHEET
SP

22



KEY MAP
SCALE: N.T.S

LINEWORK LEGEND

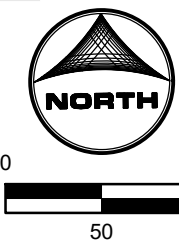
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PR PROPERTY LINE	
EX PROPERTY LINE	
PR EASEMENT LINE	
EX EASEMENT LINE	
PR RIGHT OF WAY	
EX RIGHT OF WAY	
PR LOT LINE	
EX LOT LINE	
EX SWALE	
PR SWALE	
PR ACCESS TRAIL	
PR REGIONAL TRAIL	
PR CURB & GUTTER	
EX CURB & GUTTER	
PR SIDEWALK	
PR CONCRETE	
PR RIP-RAP	
PR POND RIM	
PR INDEX CONTOUR	
EX INDEX CONTOUR	
PR INTER. CONTOUR	
EX INTER. CONTOUR	
NOT WITHIN SCOPE OF PUD	

NOTES:

1. SEE SHEET 3 FOR TYPICAL STREET SECTIONS AND TYPICAL LOT LAYOUTS.
2. SEE TRACT DETAILS ON SHEETS 9 - 11.

SITE SCHEDULE

- 1 PR 30" R1-1 STOP SIGN W. STREET NAME SIGNS
- 2 PR 6" CONCRETE CROSS PAN
- 3 PR 8" CONCRETE CROSS PAN
- 4 PR 5' CONCRETE SIDEWALK
- 5 PR EPC TYPE C MOUNTABLE CURB & GUTTER
- 6 PR EPC TYPE A VERTICAL CURB & GUTTER
- 7 PR CONCRETE CURB RAMP
- 8 PR 15' MAINTENANCE ACCESS ROAD 6" MIN. OF GRAVEL SHALL MEET MATERIAL SPECIFICATIONS PRESENTED ON TABLE D-7 IN THE EPC ECM.
- 9 PR CONCRETE FOREBAY (PRIVATE)
- 10 PR EMERGENCY TRICKLE CHANNEL (PRIVATE)
- 11 PR EMERGENCY SPILLWAY WITH EMBANKMENT PROTECTION (RIP-RAP)
- 12 PR CONCRETE OUTLET STRUCTURE (PRIVATE)
- 13 PR MICRO-POOL
- 14 PR ENTRY SIGN (SEE LANDSCAPE PLANS)
- 15 PR MODULAR BLOCK WALL
- 16 PR CONCRETE MID-BLOCK CURB RAMP
- 17 PR 10' WIDE ACCESS TRAIL



DRAWN BY: DLH JOB DATE: 11.8.2023
APPROVED: KMH JOB NUMBER: 211030
CAD DATE: 11/8/2023
CAD FILE: J:\2021\211030\CAD\Drawgs\C\PUd-PP\Site_Plan

BAR IS ONE INCH ON
OFFICIAL DRAWINGS.
0 1"
IF NOT ONE INCH,
USE SCALE ACCORDINGLY

NO.	DATE	BY	REVISION DESCRIPTION



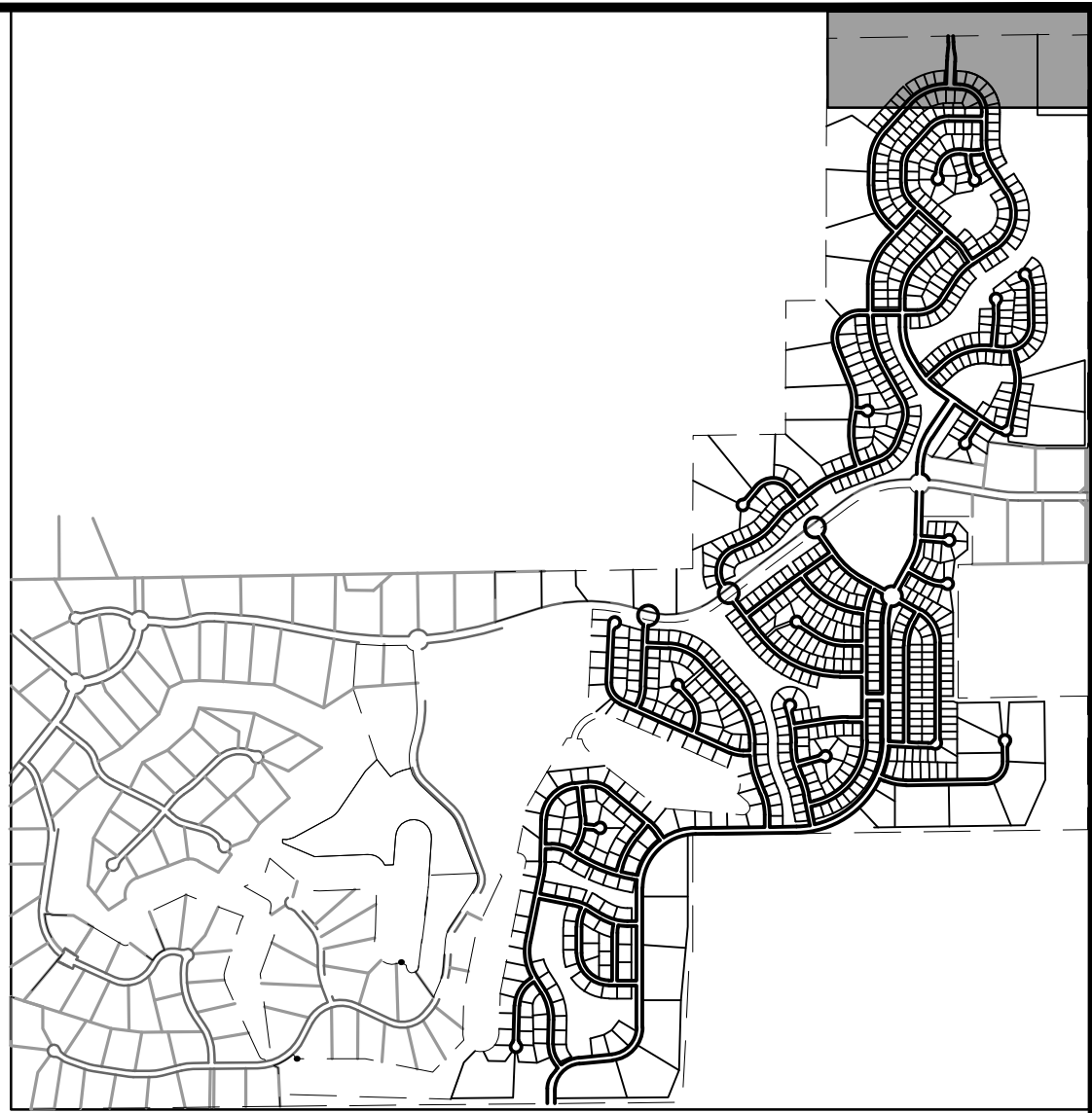
HR GREEN - COLORADO SPRINGS
1975 RESEARCH PARKWAY SUITE 230
COLORADO SPRINGS, CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

FLYING HORSE NORTH PHASE 2 PUD
PRI #2, LLC.
EL PASO COUNTY, CO

PUD PRELIMINARY PLAN
SITE PLAN 10

SHEET
SP

23



KEY MAP
SCALE: N.T.S

LINEWORK LEGEND

MATCH LINE	
PR PROPERTY LINE	
EX PROPERTY LINE	
PR EASEMENT LINE	
EX EASEMENT LINE	
PR RIGHT OF WAY	
EX RIGHT OF WAY	
PR LOT LINE	
EX LOT LINE	
EX SWALE	
PR SWALE	
PR ACCESS TRAIL	
PR REGIONAL TRAIL	
PR CURB & GUTTER	
EX CURB & GUTTER	
PR SIDEWALK	
PR CONCRETE	
PR RIP-RAP	
PR POND RIM	
PR INDEX CONTOUR	
EX INDEX CONTOUR	
PR INTER. CONTOUR	
EX INTER. CONTOUR	
NOT WITHIN SCOPE OF PUD	


NOTES:

- NOTES:
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- 8 PR 15' MAINTENANCE ACCESS ROAD 6" MIN. OF
GRAVEL SHALL MEET MATERIAL
SPECIFICATIONS PRESENTED ON TABLE D-7 IN
THE EPC ECM.
- 9 PR CONCRETE FOREBAY (PRIVATE)
- 10 PR CONCRETE TRICKLE CHANNEL (PRIVATE)
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PROTECTION (RIP-RAP)
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- 17 PR 10' WIDE ACCESS TRAIL

DRAWN BY: DLH JOB DATE: 11.8.2023
 APPROVED: KMH JOB NUMBER: 211030
 CAD DATE: 11/8/2023
 CAD FILE: J:\2021\211030\CAD\DWG\Site Plan

BAR IS ONE INCH ON
OFFICIAL DRAWINGS.
0  1"
IF NOT ONE INCH,
JUST SCALE ACCORDINGLY

NO.	DATE	BY	REVISION DESCRIPTION



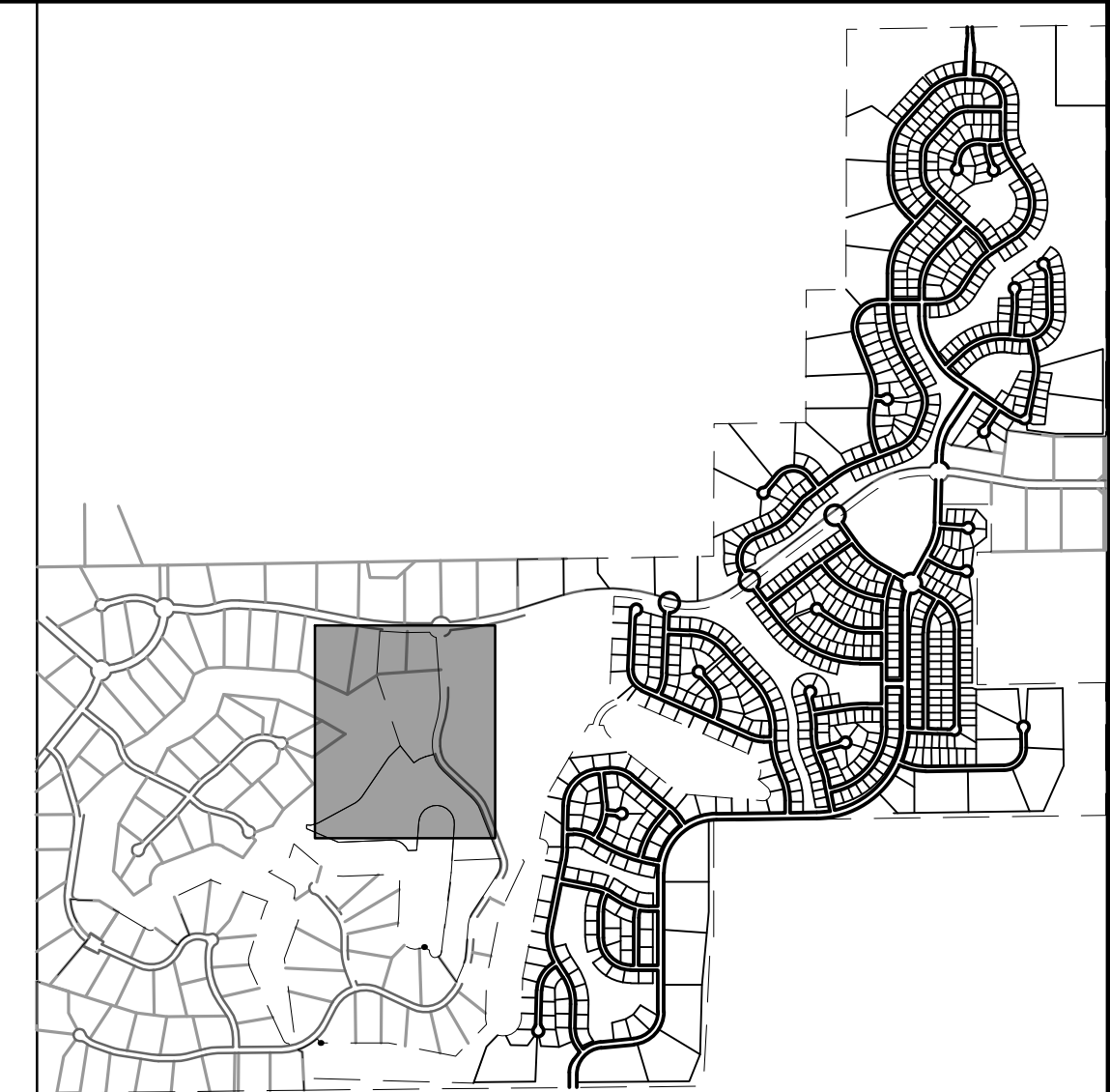
HR GREEN - COLORADO SPRINGS
1975 RESEARCH PARKWAY SUITE 230
COLORADO SPRINGS, CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

FLYING HORSE NORTH PHASE 2 PUD
PRI #2, LLC.
EL PASO COUNTY, CO

PUD PRELIMINARY PLAN
SITE PLAN 11

SHEET
SP

24



LINEWORK LEGEND

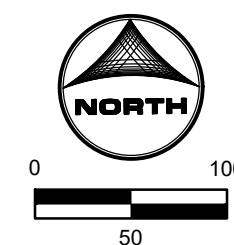
MATCH LINE
 PR PROPERTY LINE
 EX PROPERTY LINE
 PR EASEMENT LINE
 EX EASEMENT LINE
 PR RIGHT OF WAY
 EX RIGHT OF WAY
 PR LOT LINE
 EX LOT LINE
 EX SWALE
 PR SWALE
 PR ACCESS TRAIL
 PR REGIONAL TRAIL
 PR CURB & GUTTER
 EX CURB & GUTTER
 PR SIDEWALK
 PR CONCRETE
 PR RIP-RAP
 PR POND RIM
 PR INDEX CONTOUR
 EX INDEX CONTOUR
 PR INTER. CONTOUR
 EX INTER. CONTOUR
 NOT WITHIN SCOPE OF PUD

NOTES:

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2. SEE TRACT DETAILS ON SHEETS 9 - 11.

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- ④ PR 5' CONCRETE SIDEWALK
- ⑤ PR EPC TYPE C MOUNTABLE CURB & GUTTER
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- ⑧ PR 15' MAINTENANCE ACCESS ROAD 6" MIN. OF GRAVEL SHALL MEET MATERIAL SPECIFICATIONS PRESENTED ON TABLE D-7 IN THE EPC ECM.
- ⑨ PR CONCRETE FOREBAY (PRIVATE)
- ⑩ PR CONCRETE TRICKLE CHANNEL (PRIVATE)
- ⑪ PR EMERGENCY SPILLWAY WITH EMBANKMENT PROTECTION (RIP-RAP)
- ⑫ PR CONCRETE OUTLET STRUCTURE (PRIVATE)
- ⑬ PR MICRO-POOL
- ⑭ PR ENTRY SIGN (SEE LANDSCAPE PLANS)
- ⑮ PR MODULAR BLOCK WALL
- ⑯ PR CONCRETE MID-BLOCK CURB RAMP
- ⑰ PR 10' WIDE ACCESS TRAIL



DRAWN BY: DLH JOB DATE: 11.8.2023 BAR IS ONE INCH ON
APPROVED: KMH JOB NUMBER: 211030 OFFICIAL DRAWINGS.
0 1"
IF NOT ONE INCH,
CAD DATE: 11/8/2023 ADJUST SCALE ACCORDINGLY.
CAD FILE: J:\2021\211030\CAD\Draws\C\UPD-PPI\Site_Plan

NO.	DATE	BY	REVISION DESCRIPTION



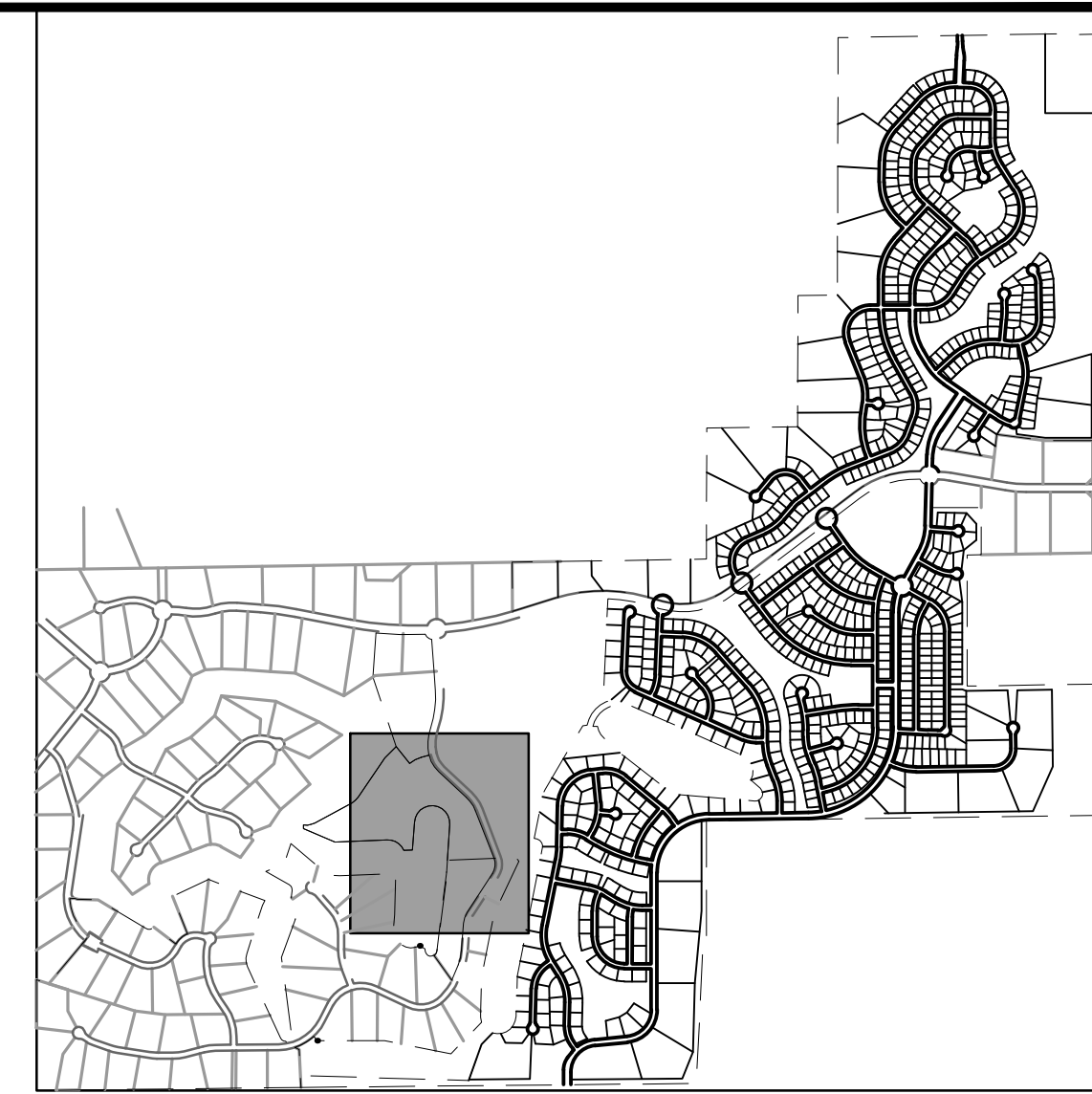
HR GREEN - COLORADO SPRINGS
1975 RESEARCH PARKWAY SUITE 230
COLORADO SPRINGS, CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

FLYING HORSE NORTH PHASE 2 PUD
PRI #2, LLC.
EL PASO COUNTY, CO

PUD PRELIMINARY PLAN
SITE PLAN 01

SHEET
SP

25



LINEWORK LEGEND

MATCH LINE

PR PROPERTY LINE

EX PROPERTY LINE

PR EASEMENT LINE

EX EASEMENT LINE

PR RIGHT OF WAY

EX RIGHT OF WAY

PR LOT LINE

EX LOT LINE

EX SWALE

PR SWALE

PR ACCESS TRAIL

PR REGIONAL TRAIL

PR CURB & GUTTER

EX CURB & GUTTER

PR SIDEWALK

PR CONCRETE

PR RIP-RAP

PR POND RIM

PR INDEX CONTOUR

EX INDEX CONTOUR

PR INTER. CONTOUR

EX INTER. CONTOUR


NOT WITHIN SCOPE OF PUD

NOTES:

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2. SEE TRACT DETAILS ON SHEETS 9 - 11.

SITE SCHEDULE

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- (2) PR 6" CONCRETE CROSS PAN
- (3) PR 8" CONCRETE CROSS PAN
- (4) PR 5' CONCRETE SIDEWALK
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- (16) PR CONCRETE MID-BLOCK CURB RAMP
- (17) PR 10' WIDE ACCESS TRAIL

DRAWN BY: DLH JOB DATE: 11.8.2023 BAR IS ONE INCH ON
APPROVED: KMH JOB NUMBER: 211030 OFFICIAL DRAWINGS.
0  1"
CAD DATE: 11/8/2023 IF NOT ONE INCH.
CAD FILE: J:\2021\211030\CAD\DWGS\CIP\DWG-PP\Site_Plan ADJUST SCALE ACCORDINGLY.

NO.	DATE	BY	REVISION DESCRIPTION



HR GREEN - COLORADO SPRINGS
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FLYING HORSE NORTH PHASE 2 PUD
PRI #2, LLC.
EL PASO COUNTY, CO

PUD PRELIMINARY PLAN
SITE PLAN 01.1

SHEET
SP

V1_PUDSP_Comments.pdf Markup Summary

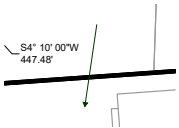
Arrow (5)



Subject: Arrow
Page Label: [15] 15 SITE PLAN 02
Author: Ryan Howser
Date: 12/5/2023 5:28:38 PM
Status:
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Subject: Arrow
Page Label: [15] 15 SITE PLAN 02
Author: Ryan Howser
Date: 12/5/2023 5:28:43 PM
Status:
Color: ■
Layer:
Space:



Subject: Arrow
Page Label: [25] 25 SITE PLAN 01
Author: Ryan Howser
Date: 12/6/2023 7:37:13 AM
Status:
Color: ■
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f

Subject: Arrow
Page Label: [25] 25 SITE PLAN 01
Author: Ryan Howser
Date: 12/6/2023 7:37:21 AM
Status:
Color: ■
Layer:
Space:



Subject: Arrow
Page Label: [2] 2 NOTES
Author: Ryan Howser
Date: 12/6/2023 11:23:14 AM
Status:
Color: ■
Layer:
Space:

BoCC Certification (1)



Subject: BoCC Certification
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 12:32:09 PM
Status:
Color: ■
Layer:
Space:

Board of County Commissioners Certificate

This plat for (name of subdivision or plat) was approved for filing by the El Paso County, Colorado Board of County Commissioners on the _____ day of _____, 200__, subject to any notes specified hereon and any conditions included in the resolution of approval. The dedications of land to the public (streets, tracts, easements: list those applicable) are accepted, but public improvements thereon will not become the maintenance responsibility of El Paso County until preliminary acceptance of the public improvements in accordance with the requirements of the Land Development Code and Engineering Criteria Manual, and the Subdivision Improvements Agreement.

Chair, Board of County Commissioners
Date

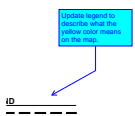
Director, Planning and Community Development
Date

Callout (28)



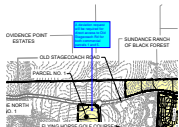
Subject: Callout
Page Label: [2] 2 NOTES
Author: lpackman
Date: 12/7/2023 11:48:04 AM
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Remove EPC as an owner and maintainer of tracts.



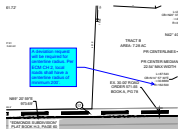
Subject: Callout
Page Label: [4] 4 OVERALL SITE
Author: lpackman
Date: 12/7/2023 1:39:15 PM
Status:
Color: ■
Layer:
Space:

Update legend to describe what the yellow color means on the map.



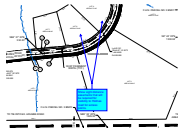
Subject: Callout
Page Label: [4] 4 OVERALL SITE
Author: lpackman
Date: 12/7/2023 1:58:47 PM
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A deviation request will be required for direct access to Old Stagecoach Rd for both commercial parcels 1 and 5.



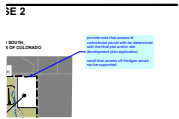
Subject: Callout
Page Label: [15] 15 SITE PLAN 02
Author: lpackman
Date: 12/7/2023 2:25:06 PM
Status:
Color: ■
Layer:
Space:

A deviation request will be required for centerline radius. Per ECM CH 2, local roads shall have a centerline radius of minimum 200'.



Subject: Callout
Page Label: [15] 15 SITE PLAN 02
Author: lpackman
Date: 12/7/2023 2:30:53 PM
Status:
Color: ■
Layer:
Space:

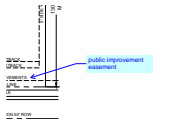
Show sight distance easements that will be required for visibility to Holmes road for access points.



Subject: Callout
Page Label: [8] 8 OVERALL TRACT PLAN
Author: Daniel Torres
Date: 12/8/2023 2:29:21 PM
Status:
Color: ■
Layer:
Space:

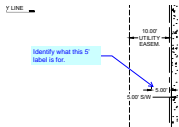
provide note that access to commercial parcel with be determined with the final plat and/or site development plan application.

recall that access off Hodgen would not be supported.



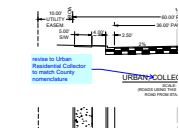
Subject: Callout
Page Label: [1] 24x36
Author: Daniel Torres
Date: 12/8/2023 2:24:09 PM
Status:
Color: ■
Layer:
Space:

public improvement easement



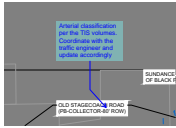
Subject: Callout
Page Label: [1] 24x36
Author: Daniel Torres
Date: 12/8/2023 2:19:19 PM
Status:
Color: ■
Layer:
Space:

Identify what this 5' label is for.



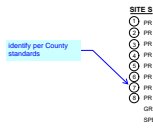
Subject: Callout
Page Label: [1] 24x36
Author: Daniel Torres
Date: 12/8/2023 2:23:08 PM
Status:
Color: ■
Layer:
Space:

revise to Urban Residential Collector to match County nomenclature



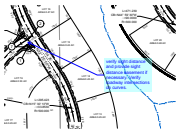
Subject: Callout
Page Label: [8] 8 OVERALL TRACT PLAN
Author: Daniel Torres
Date: 12/8/2023 3:29:17 PM
Status:
Color: ■
Layer:
Space:

Arterial classification per the TIS volumes.
Coordinate with the traffic engineer and update accordingly



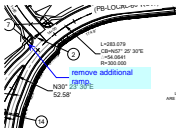
Subject: Callout
Page Label: [15] 15 SITE PLAN 02
Author: Daniel Torres
Date: 12/8/2023 2:52:39 PM
Status:
Color: ■
Layer:
Space:

identify per County standards



Subject: Callout
Page Label: [15] 15 SITE PLAN 02
Author: Daniel Torres
Date: 12/8/2023 2:57:57 PM
Status:
Color: ■
Layer:
Space:

verify sight distance and provide sight distance easement if necessary. Verify roadway intersections on curves.



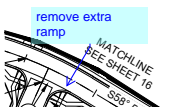
Subject: Callout
Page Label: [15] 15 SITE PLAN 02
Author: Daniel Torres
Date: 12/8/2023 3:01:21 PM
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Color: ■
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Space:

remove additional ramp.



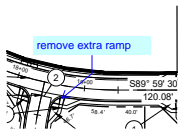
Subject: Callout
Page Label: [15] 15 SITE PLAN 02
Author: Daniel Torres
Date: 12/8/2023 3:02:30 PM
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Color: ■
Layer:
Space:

provide parallel ramp across and remove the additional ramp.



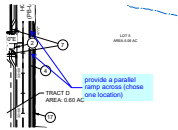
Subject: Callout
Page Label: [15] 15 SITE PLAN 02
Author: Daniel Torres
Date: 12/8/2023 3:03:19 PM
Status:
Color: ■
Layer:
Space:

remove extra ramp



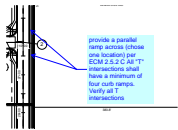
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Author: Daniel Torres
Date: 12/8/2023 3:03:34 PM
Status:
Color: ■
Layer:
Space:

remove extra ramp



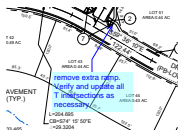
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Page Label: [15] 15 SITE PLAN 02
Author: Daniel Torres
Date: 12/8/2023 3:05:24 PM
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Color: ■
Layer:
Space:

provide a parallel ramp across (chase one location)



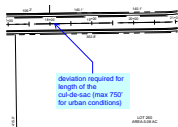
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Page Label: [15] 15 SITE PLAN 02
Author: Daniel Torres
Date: 12/8/2023 3:08:56 PM
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Color: ■
Layer:
Space:

provide a parallel ramp across (chase one location) per ECM 2.5.2 C All "T" intersections shall have a minimum of four curb ramps. Verify at T intersections



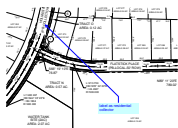
Subject: Callout
Page Label: [16] 16 SITE PLAN 03
Author: Daniel Torres
Date: 12/8/2023 3:11:43 PM
Status:
Color: ■
Layer:
Space:

remove extra ramp. Verify and update all T intersections as necessary



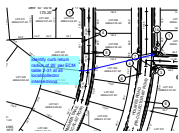
Subject: Callout
Page Label: [18] 18 SITE PLAN 05
Author: Daniel Torres
Date: 12/8/2023 3:20:26 PM
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Color: ■
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Space:

deviation required for length of the cul-de-sac (max 750' for urban conditions)



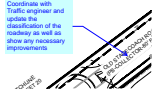
Subject: Callout
Page Label: [18] 18 SITE PLAN 05
Author: Daniel Torres
Date: 12/8/2023 3:21:30 PM
Status:
Color: ■
Layer:
Space:

label as residential collector



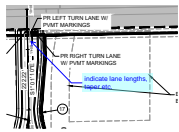
Subject: Callout
Page Label: [18] 18 SITE PLAN 05
Author: Daniel Torres
Date: 12/8/2023 3:23:25 PM
Status:
Color: ■
Layer:
Space:

identify curb return radius of 25' per ECM table 2-31 at all local/collector intersections



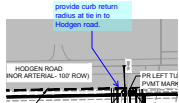
Subject: Callout
Page Label: [19] 19 SITE PLAN 06
Author: Daniel Torres
Date: 12/8/2023 3:31:52 PM
Status:
Color: ■
Layer:
Space:

Coordinate with Traffic engineer and update the classification of the roadway as well as show any necessary improvements



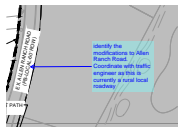
Subject: Callout
Page Label: [24] 24 SITE PLAN 11
Author: Daniel Torres
Date: 12/8/2023 3:37:59 PM
Status:
Color: ■
Layer:
Space:

indicate lane lengths, taper etc.



Subject: Callout
Page Label: [24] 24 SITE PLAN 11
Author: Daniel Torres
Date: 12/8/2023 3:39:14 PM
Status:
Color: ■
Layer:
Space:

provide curb return radius at tie in to Hodgen road.



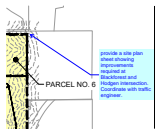
Subject: Callout
Page Label: [25] 25 SITE PLAN 01
Author: Daniel Torres
Date: 12/8/2023 3:40:31 PM
Status:
Color: ■
Layer:
Space:

identify the modifications to Allen Ranch Road. Coordinate with traffic engineer as this is currently a rural local roadway



Subject: Callout
Page Label: [4] 4 OVERALL SITE
Author: Daniel Torres
Date: 12/8/2023 3:46:10 PM
Status:
Color: ■
Layer:
Space:

provide site plan sheet with improvements required at StageCoach Rd & Black Forest Rd. Coordinate with the traffic engineer.



Subject: Callout
Page Label: [4] 4 OVERALL SITE
Author: Daniel Torres
Date: 12/8/2023 3:47:05 PM
Status:
Color: ■
Layer:
Space:

provide a site plan sheet showing improvements required at Blackforest and Hodgen intersection. Coordinate with traffic engineer.

Clerk & Recorder (1)



Subject: Clerk & Recorder
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 12:32:24 PM
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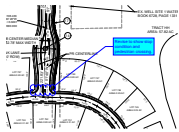
Clerk and Recorder

STATE OF COLORADO
COUNTY OF EL PASO

I hereby certify that this instrument was filed in my office on this ____ day of _____, 20__, and was recorded at Reception Number _____ of the records of El Paso County

El Paso County Clerk and Recorder

Cloud+ (3)



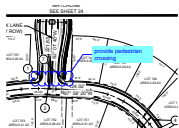
Subject: Cloud+
Page Label: [24] 24 SITE PLAN 11
Author: lpackman
Date: 12/7/2023 5:01:55 PM
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Revise to show stop condition and pedestrian crossing.



Subject: Cloud+
Page Label: [17] 17 SITE PLAN 04
Author: Daniel Torres
Date: 12/8/2023 3:16:51 PM
Status:
Color: ■
Layer:
Space:

Rounabout analysis required. Provide details of each roundabout




Subject: Cloud+
Page Label: [23] 23 SITE PLAN 10
Author: Daniel Torres
Date: 12/8/2023 3:36:59 PM
Status:
Color: ■
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provide pedestrian crossing

Highlight (105)

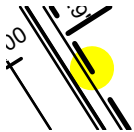
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 $\Delta = 30.8669$
 $R = 162.500$

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Page Label: [15] 15 SITE PLAN 02
Author: lpackman
Date: 12/7/2023 2:25:18 PM
Status:
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R=162.500



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Page Label: [15] 15 SITE PLAN 02
Author: Daniel Torres
Date: 12/8/2023 3:01:26 PM
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Subject: Highlight
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Author: Daniel Torres
Date: 12/8/2023 3:02:18 PM
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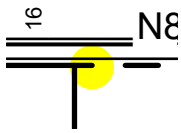
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Author: Daniel Torres
Date: 12/8/2023 3:02:24 PM
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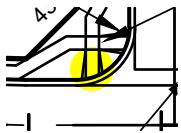
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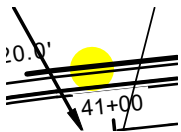
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Author: Daniel Torres
Date: 12/8/2023 3:08:34 PM
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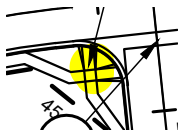
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Date: 12/8/2023 3:08:37 PM
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Subject: Highlight
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Author: Daniel Torres
Date: 12/8/2023 3:09:55 PM
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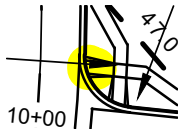
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Date: 12/8/2023 3:10:04 PM
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Author: Daniel Torres
Date: 12/8/2023 3:10:08 PM
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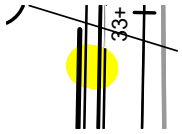
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Author: Daniel Torres
Date: 12/8/2023 3:10:21 PM
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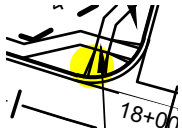
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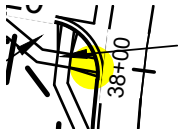
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Author: Daniel Torres
Date: 12/8/2023 3:10:40 PM
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Author: Daniel Torres
Date: 12/8/2023 3:11:51 PM
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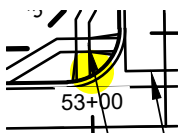
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Author: Daniel Torres
Date: 12/8/2023 3:12:18 PM
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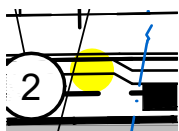
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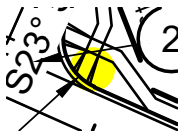
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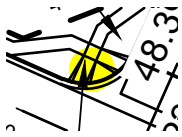
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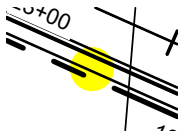
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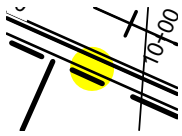
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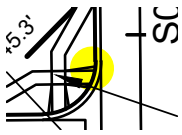
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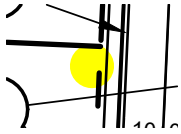
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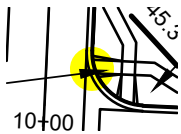
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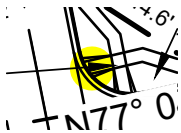
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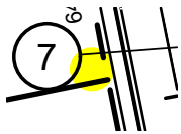
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Subject: Highlight
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Author: Daniel Torres
Date: 12/8/2023 3:14:51 PM
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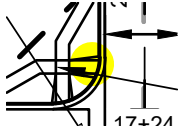


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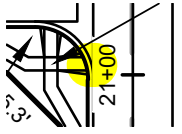




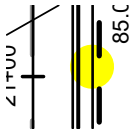
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Author: Daniel Torres
Date: 12/8/2023 3:21:03 PM
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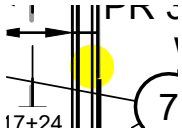
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Date: 12/8/2023 3:23:51 PM
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Author: Daniel Torres
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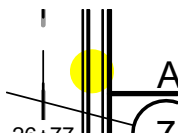
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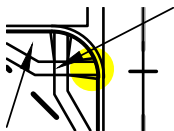
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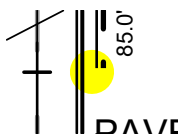
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Author: Daniel Torres
Date: 12/8/2023 3:24:05 PM
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Author: Daniel Torres
Date: 12/8/2023 3:24:06 PM
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Subject: Highlight
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Author: Daniel Torres
Date: 12/8/2023 3:24:07 PM
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Subject: Highlight
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Date: 12/8/2023 3:24:08 PM
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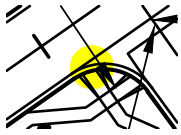
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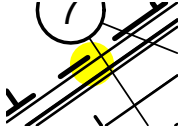
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Author: Daniel Torres
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Author: Daniel Torres
Date: 12/8/2023 3:30:07 PM
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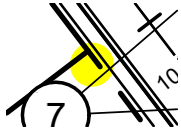
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Date: 12/8/2023 3:30:13 PM
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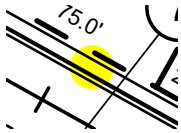
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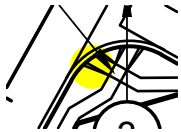
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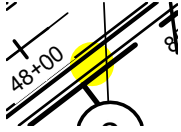
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Date: 12/8/2023 3:32:20 PM
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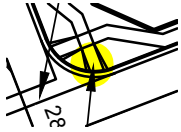
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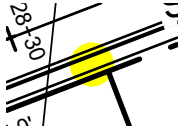
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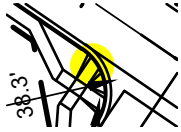
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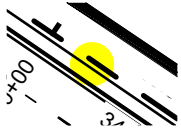
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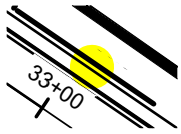
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Author: Daniel Torres
Date: 12/8/2023 3:33:39 PM
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Author: Daniel Torres
Date: 12/8/2023 3:33:40 PM
Status:
Color: 
Layer:
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Subject: Highlight
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Author: Daniel Torres
Date: 12/8/2023 3:33:41 PM
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Color: 
Layer:
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Author: Daniel Torres
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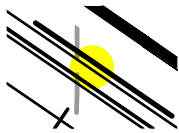
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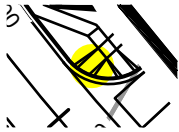
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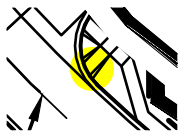
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Subject: Highlight
Page Label: [21] 21 SITE PLAN 08
Author: Daniel Torres
Date: 12/8/2023 3:33:51 PM
Status:
Color: 
Layer:
Space:



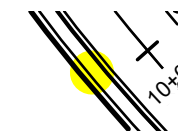
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Author: Daniel Torres
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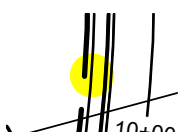
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Author: Daniel Torres
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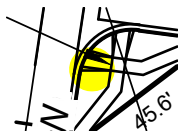
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Date: 12/8/2023 3:33:55 PM
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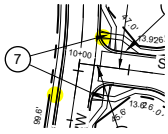
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Author: Daniel Torres
Date: 12/8/2023 3:33:56 PM
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Space:



Subject: Highlight
Page Label: [21] 21 SITE PLAN 08
Author: Daniel Torres
Date: 12/8/2023 3:34:10 PM
Status:
Color: 
Layer:
Space:



Subject: Highlight
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Author: Daniel Torres
Date: 12/8/2023 3:34:12 PM
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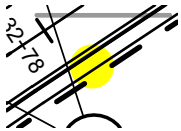
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Author: Daniel Torres
Date: 12/8/2023 3:34:13 PM
Status:
Color: 
Layer:
Space:



Subject: Highlight
Page Label: [22] 22 SITE PLAN 09
Author: Daniel Torres
Date: 12/8/2023 3:35:01 PM
Status:
Color: 
Layer:
Space:



Subject: Highlight
Page Label: [22] 22 SITE PLAN 09
Author: Daniel Torres
Date: 12/8/2023 3:35:01 PM
Status:
Color: 
Layer:
Space:




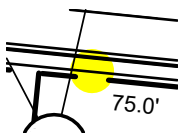
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Page Label: [22] 22 SITE PLAN 09
Author: Daniel Torres
Date: 12/8/2023 3:35:03 PM
Status:
Color: 
Layer:
Space:



Subject: Highlight
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Author: Daniel Torres
Date: 12/8/2023 3:35:15 PM
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Layer:
Space:



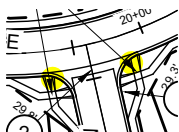
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Page Label: [22] 22 SITE PLAN 09
Author: Daniel Torres
Date: 12/8/2023 3:35:16 PM
Status:
Color: 
Layer:
Space:



Subject: Highlight
Page Label: [22] 22 SITE PLAN 09
Author: Daniel Torres
Date: 12/8/2023 3:35:18 PM
Status:
Color: 
Layer:
Space:



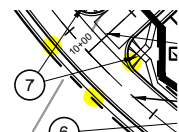
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Date: 12/8/2023 3:35:21 PM
Status:
Color: 
Layer:
Space:




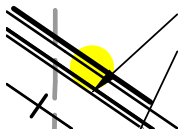
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Author: Daniel Torres
Date: 12/8/2023 3:35:23 PM
Status:
Color: 
Layer:
Space:



Subject: Highlight
Page Label: [22] 22 SITE PLAN 09
Author: Daniel Torres
Date: 12/8/2023 3:35:32 PM
Status:
Color: 
Layer:
Space:




Subject: Highlight
Page Label: [22] 22 SITE PLAN 09
Author: Daniel Torres
Date: 12/8/2023 3:35:34 PM
Status:
Color: 
Layer:
Space:




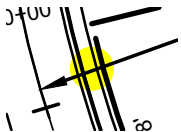
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Author: Daniel Torres
Date: 12/8/2023 3:35:42 PM
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Color: 
Layer:
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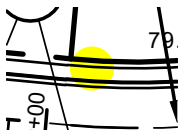
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Page Label: [23] 23 SITE PLAN 10
Author: Daniel Torres
Date: 12/8/2023 3:36:17 PM
Status:
Color: 
Layer:
Space:




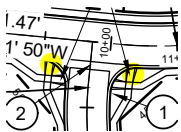
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Page Label: [23] 23 SITE PLAN 10
Author: Daniel Torres
Date: 12/8/2023 3:36:18 PM
Status:
Color: 
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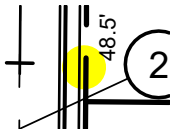
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Page Label: [23] 23 SITE PLAN 10
Author: Daniel Torres
Date: 12/8/2023 3:36:20 PM
Status:
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Layer:
Space:



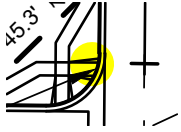
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Page Label: [23] 23 SITE PLAN 10
Author: Daniel Torres
Date: 12/8/2023 3:36:23 PM
Status:
Color: 
Layer:
Space:




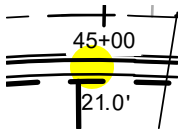
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Author: Daniel Torres
Date: 12/8/2023 3:36:24 PM
Status:
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Space:



Subject: Highlight
Page Label: [23] 23 SITE PLAN 10
Author: Daniel Torres
Date: 12/8/2023 3:36:33 PM
Status:
Color: 
Layer:
Space:




Subject: Highlight
Page Label: [23] 23 SITE PLAN 10
Author: Daniel Torres
Date: 12/8/2023 3:36:35 PM
Status:
Color: 
Layer:
Space:



Subject: Highlight
Page Label: [23] 23 SITE PLAN 10
Author: Daniel Torres
Date: 12/8/2023 3:37:06 PM
Status:
Color: 
Layer:
Space:

Image (1)



Subject: Image
Page Label: [2] 2 NOTES
Author: Ryan Howser
Date: 12/6/2023 11:22:20 AM
Status:
Color: 
Layer:
Space:

Owner Certification (1)



Subject: Owner Certification
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 12:31:07 PM
Status:
Color: ■
Layer:
Space:

Owners Certificate

The undersigned, being all the owners, mortgagees, beneficiaries of deeds of trust and holders of other interests in the land described herein, have laid out, subdivided, and platted said lands into lots, tracts, streets, and easements (use which are applicable) as shown hereon under the name and subdivision of

_____. All public improvements so platted are hereby dedicated to public use and said owner does hereby covenant and agree that the public improvements will be constructed to El Paso County standards and that proper drainage and erosion control for same will be provided at said owner's expense, all to the satisfaction of the Board of County Commissioners of El Paso County, Colorado. Upon acceptance by resolution, all public improvements so dedicated will become matters of maintenance by El Paso County, Colorado. The utility easements shown hereon are hereby dedicated for public utilities and communication systems and other purposes as shown hereon. The entities responsible for providing the services for which the easements are established are hereby granted the perpetual right of ingress and egress from and to adjacent properties for installation, maintenance, and replacement of utility lines and related facilities.

Owners/Mortgagee (Signature)

By:
Title:

ATTEST: (if corporation)

Secretary/Treasurer

STATE OF COLORADO)
) ss.
COUNTY OF _____)

Acknowledged before me this _____ day of _____, 200__ by _____ as _____.

My commission expires _____

Witness my hand and official seal _____

Notary Public

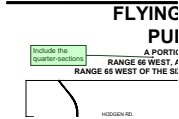
Signatures of officers signing for a corporation shall be acknowledged as follows:
(print name) as President/Vice President and print name as Secretary/Treasurer, name of corporation, a state corporation.

Signatures of managers/members for a LLC shall be acknowledged as follows:
(print name) as Manager/Member of company, a state limited liability company.
(Note: Required when separate ratification statements for deed of trust holders, mortgagees are not utilized)



Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/5/2023 3:00:33 PM
Status:
Color: ■
Layer:
Space:

This should say "PUD Development Plan and Preliminary Plan"



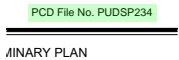
Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/5/2023 3:01:01 PM
Status:
Color: ■
Layer:
Space:

Include the quarter-sections



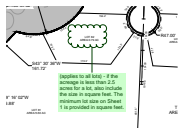
Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/5/2023 3:01:31 PM
Status:
Color: ■
Layer:
Space:

Should this be Cherokee Metro?



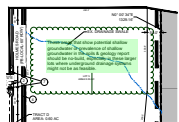
Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/5/2023 3:02:13 PM
Status:
Color: ■
Layer:
Space:

PCD File No. PUDSP234



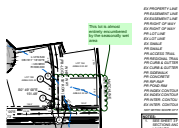
Subject: Planner
Page Label: [15] 15 SITE PLAN 02
Author: Ryan Howser
Date: 12/5/2023 5:21:03 PM
Status:
Color: ■
Layer:
Space:

(applies to all lots) - if the acreage is less than 2.5 acres for a lot, also include the size in square feet. The minimum lot size on Sheet 1 is provided in square feet.



Subject: Planner
Page Label: [15] 15 SITE PLAN 02
Author: Ryan Howser
Date: 12/5/2023 5:28:28 PM
Status:
Color: ■
Layer:
Space:

These areas that show potential shallow groundwater or prevalence of shallow groundwater in the soils & geology report should be no-build, especially in these larger lots where underground drainage systems might not be as feasible.



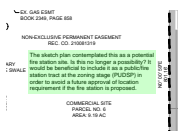
Subject: Planner
Page Label: [16] 16 SITE PLAN 03
Author: Ryan Howser
Date: 12/5/2023 5:31:08 PM
Status:
Color: ■
Layer:
Space:

This lot is almost entirely encumbered by the seasonally wet area



Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:53:39 AM
Status:
Color: ■
Layer:
Space:

On the sketch plan, this was only for the medium density areas.



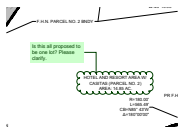
Subject: Planner
Page Label: [24] 24 SITE PLAN 11
Author: Ryan Howser
Date: 12/6/2023 7:27:57 AM
Status:
Color: ■
Layer:
Space:

The sketch plan contemplated this as a potential fire station site. Is this no longer a possibility? It would be beneficial to include it as a public/fire station tract at the zoning stage (PUDSP) in order to avoid a future approval of location requirement if the fire station is proposed.



Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:05:06 AM
Status:
Color: ■
Layer:
Space:

Fire station? See comment on pg. 24



Subject: Planner
Page Label: [25] 25 SITE PLAN 01
Author: Ryan Howser
Date: 12/6/2023 7:34:58 AM
Status:
Color: ■
Layer:
Space:

Is this all proposed to be one lot? Please clarify.

Include the lot sizes

Subject: Planner
Page Label: [25] 25 SITE PLAN 01
Author: Ryan Howser
Date: 12/6/2023 7:35:29 AM
Status:
Color: ■
Layer:
Space:

Include the lot sizes



Subject: Planner
Page Label: [23] 23 SITE PLAN 10
Author: Ryan Howser
Date: 12/6/2023 11:50:31 AM
Status:
Color: ■
Layer:
Space:

This should be reflected in a plat note. What is this use restriction? (same comment applies throughout this document)



Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 12:24:23 PM
Status:
Color: ■
Layer:
Space:

Update all of these statements to the current:

Authority: This PUD is authorized by Chapter 4 of the El Paso County Land Development Code, adopted pursuant to the Colorado Planned Unit Development Act of 1972, as amended.

Applicability: The provisions of this PUD shall run with the land. The landowners, their successors, heirs, or assigns shall be bound by this Development Plan, as amended and approved by the Planning and Community Development Department Director or Board of County Commissioners.

Adoption: The adoption of this development plan shall evidence the findings and decisions of the El Paso County Board of County Commissioners that this Development Plan for (name of PUD) is in general conformity with the El Paso County Master Plan, El Paso County Policy Plan and applicable Small Area Plan(s); is authorized under the provision of the El Paso County Land Development Code; and that the El Paso County Land Development Code and this development plan complies with the Colorado Planned Unit Development Act of 1972, as amended.

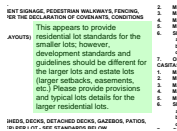
Relationship to County Regulations: The provisions of this Development Plan shall prevail and govern the development of (name of PUD), provided, however, that where the provisions of this Development Plan do not address a particular subject, the relevant provisions of the El Paso County Land Development Code, as amended and in effect at the time of the PUD plan approval (or owner acknowledge the PUD changes with the Code), or any other applicable resolutions or regulations of El Paso County, shall be applicable.

Enforcement: To further the mutual interest of the residents, occupants, and owners of the PUD and of the public in the preservation of the integrity of this development plan, the provisions of this plan relating to the use of land and the location of common open space shall run in favor of El Paso County and shall be enforceable at law or in equity by the County without limitation on any power or regulation otherwise granted by law.

Conflict: Where there is more than one provision within the development plan that covers the same subject matter, the provision which is most restrictive or imposes higher standards or requirements shall govern.

Maximum Level of Development: The total number of dwellings or the total commercial, business, or industrial intensity shown on the development plan for development within the specified planning areas is the maximum development requested for platting or construction (plus any approved density transfers). The actual number of dwellings or level of development may be less due to subdivision or Site Development Plan requirements, land carrying capacity, or other requirements of the Board of County Commissioners

Project Tracking: At the time of any final plat application, the applicant shall provide a summary of the development, to date, to Planning and



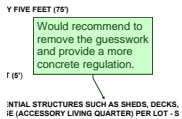
Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:13:49 AM
Status:
Color: [REDACTED]
Layer:
Space:

This appears to provide residential lot standards for the smaller lots; however, development standards and guidelines should be different for the larger lots and estate lots (larger setbacks, easements, etc.) Please provide provisions and typical lots details for the larger residential lots.

RES SUCH AS SHE
IVING QUARTER)
ST BE LOCATED

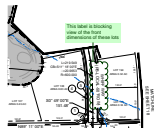
Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:14:10 AM
Status:
Color: [REDACTED]
Layer:
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SUCH AS



Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:16:58 AM
Status:
Color: [REDACTED]
Layer:
Space:

Would recommend to remove the guesswork and provide a more concrete regulation.



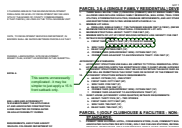
Subject: Planner
Page Label: [16] 16 SITE PLAN 03
Author: Ryan Howser
Date: 12/6/2023 10:19:56 AM
Status:
Color: [REDACTED]
Layer:
Space:

This label is blocking view of the front dimensions of these lots



Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:39:33 AM
Status:
Color: [REDACTED]
Layer:
Space:

Staff recommends removing the minimum lot width to promote the unique character of the development



Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:40:42 AM
Status:
Color: [REDACTED]
Layer:
Space:

This seems unnecessarily complicated - it may be simpler to just apply a 15 ft. front setback only.

TEL. GOLF CASITAS & FLATS) DEVELOPMENT STAN-
DOES HOTEL, RETAIL, SHELTER, RECREATION, BAKERY, ARTS, NIGHT CLUB
SHOWN UNITS: CASITAS, HEALTH CLUB, RECREATIONAL FACILITIES, MAINTENANCE PA-
SE FOR SALE OR RENT UNITS: CASITAS, GOLF CARTS OWNED AND MAINTAINED BY T-
ALLOWED: POOLS, PATTY, SECK, SHIRTLESS, PLAY EQUIPMENT, PUBLIC OR PRIVATE G-
INAGE, PROHIBITION, ROADWAYS, PERSONS, UTILITIES, STORMWATER FACILITIES, DRINK-
ING, DECORATION OF COURTYARDS, CONDITIONS AND RESTRICTIONS FOR FINE PUD PARCE-
LES) ALLOWED: 175 HOTEL KEYS
 (SEE DEVELOPER'S REPORT)

Color:

Should be 25 ft. for portions of lots adjacent to residential properties.

[illegible]

Color:

AND
ASSOCIATED FACILITIES PER EPC CODE

1. THE FEMA
C WITH AN

Status: ■

I would recommend rewording: golf course and associated accessory structures as defined in El Paso County LDC

PRIVATE OPEN SPACE, PARKS, MAIL KIOSK

Color:

Night club?

T FRONT BUILDING DETRACK LINE: NA
 S:
 SET (R)
 T (R)
 IT (R)
 ...

Color:

This is confusing. Should this say 175?


Should be 25 ft. for portions of lots adjacent to residential properties.

Status:

Should be 25 ft. for portions of lots adjacent to residential properties.


Open space 10% is required for the entire PUD area - not just the commercial areas. You need to demonstrate on a per-phase basis that each individual phase can meet the open space requirements independently of the other phases.

AL) DEVELOPMENT

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:50:46 AM
Status:
Color: 
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Open space 10% is required for the entire PUD area - not just the commercial areas. You need to demonstrate on a per-phase basis that each individual phase can meet the open space requirements independently of the other phases.

PRIMARY USES ALLOWED: ALL ALLOWED USES LISTED UNDER EL PASO COUNTY COMMERCIAL ZONES - CC (COMMERCIAL COMMUNITY), CR (COMMERCIAL REGIONAL) AND CS (COMMERCIAL SERVICES)

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:47:31 AM
Status:
Color: 
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PRIMARY USES ALLOWED: ALL ALLOWED USES LISTED UNDER EL PASO COUNTY COMMERCIAL ZONES - CC (COMMERCIAL COMMUNITY), CR (COMMERCIAL REGIONAL) AND CS (COMMERCIAL SERVICES)

PLEASE RE-WORK THIS TO PROVIDE A MORE SPECIFIC LIST. IT IS NOT LIKELY THAT ALL USES IN ALL COMMERCIAL ZONING DISTRICTS WOULD BE PERMISSIBLE.

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:48:23 AM
Status:
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PLEASE RE-WORK THIS TO PROVIDE A MORE SPECIFIC LIST. IT IS NOT LIKELY THAT ALL USES IN ALL COMMERCIAL ZONING DISTRICTS WOULD BE PERMISSIBLE.

BATCH PLANT

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:48:44 AM
Status:
Color: 
Layer:
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Batch Plant

SEE OTHER COMMENTS REGARDING OPEN SPACE.

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:51:19 AM
Status:
Color: 
Layer:
Space:


See other comments regarding open space.

SHOULD BE 25 FT. FOR PORTIONS OF LOTS ADJACENT TO RESIDENTIAL PROPERTIES.

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:51:22 AM
Status:
Color: 
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Space:

Should be 25 ft. for portions of lots adjacent to residential properties.


RAGE OF LOT: 20%
30') - **TWO FLOORS**
TBACK LINE: N/A

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:51:30 AM
Status:
Color: 
Layer:
Space:

TWO FLOORS


ACILITIES, AND SATELLITE DISHES, SUBJECT
XPRESSLY DESIGNATED AS ACCESSORY IN A
L MEET THE GENERAL ACCESSORY STRUCTURE
L DEVELOPMENT STANDARDS IN CHAPTER 1.
37: 20%
LOORS
E: N/A

Not necessary

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:51:38 AM
Status:
Color: 
Layer:
Space:

Not necessary


E OF LOT: 20%
45') - **TWO STORIES**
CK LINE: N/A

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:52:33 AM
Status:
Color: 
Layer:
Space:

TWO STORIES

COMMUNITY BUILDING, CHILD CARE CENTRE
ECKS, TRAILS, SHELTERS, PLAY EQUIPMEN
AGE, PEDESTRIAN WALKWAYS, FENCING, U
LARATION OF COVENANTS, CONDITIONS AI
7%
ORIES


Not necessary

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:52:40 AM
Status:
Color: 
Layer:
Space:

Not necessary


AGRICULTURAL
PUD
PUD
747.37 AC - 100% RI
739
3.5
3.0 DU/AC
CER
1
INDIC
FLYING
APPLIC
THE FC
BY (NA)

Conform only
3 commercial
lots for the
entire
development

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:54:39 AM
Status:
Color: 
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Space:

Conform only 3 commercial lots for the entire development.

Notes:
1. This page is a placeholder for the
information that should be included on the
1"-100' scaled site plan pages.
2. Approximate location of all areas of
floodplains, frequent stormwater inundation,
or storm water overflow and the location,
widths, and direction of flow of all water
courses.
3. Areas of geological hazards and constraints,
including but not limited to slopes greater
than 30 percent.
4. Base flood elevations, unless otherwise
proposed to be modified via the LOMR
process through FEMA.

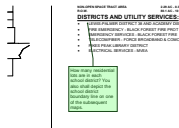
Subject: Planner
Page Label: [4] 4 OVERALL SITE
Author: Ryan Howser
Date: 12/6/2023 10:56:16 AM
Status:
Color: 
Layer:
Space:

Using this page as a placeholder for this comment (this information should be included on the 1"-100' scaled site plan pages): depict the following information:

Approximate location of all areas of floodplains, frequent stormwater inundation, or storm water overflow and the location, widths, and direction of flow of all water courses.

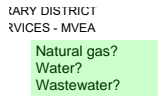
Areas of geological hazards and constraints, including but not limited to slopes greater than 30 percent.

Base flood elevations, unless otherwise proposed to be modified via the LOMR process through FEMA.



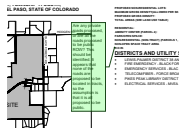
Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:59:53 AM
Status:
Color:
Layer:
Space:

How many residential lots are in each school district? You also shall depict the school district boundary line on one of the subsequent maps.



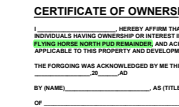
Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:57:41 AM
Status:
Color:
Layer:
Space:

Natural gas? Water? Wastewater?



Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 11:00:06 AM
Status:
Color:
Layer:
Space:

Are any private roads proposed, or are all the roads proposed to be public ROW? This should be identified. It appears that none of the roads are proposed to be located in tracts, so the assumption is that it is all proposed to be public.



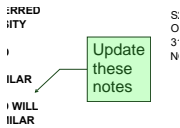
Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 11:01:18 AM
Status:
Color:
Layer:
Space:

FLYING HORSE NORTH PUD REMAINDER



Subject: Planner
Page Label: [2] 2 NOTES
Author: Ryan Howser
Date: 12/6/2023 11:15:41 AM
Status:
Color:
Layer:
Space:

5. CENTRAL WATER INFRASTRUCTURE TO BE CONSTRUCTED, OWNED AND OPERATED BY FAWWA-FALCON AREA WATER/WASTEWATER AUTHORITY (OR SIMILAR PROVIDER) WHICH WILL PROVIDE WATER SERVICE TO THE PROJECT. ON-SITE WATER FACILITIES MAY BE OWNED BY THE FHN METRO DISTRICT.
6. CENTRAL WASTEWATER INFRASTRUCTURE WILL CONSIST OF A COLLECTION SYSTEM OWNED AND OPERATED BY THE FHN METROPOLITAN DISTRICT WHO WILL PROVIDE SERVICE TO THE INDIVIDUAL HOMES. THE COLLECTIONS SYSTEM WILL ULTIMATELY CONNECT TO THE TRIVIEW METROPOLITAN DISTRICT (OR SIMILAR PROVIDER).



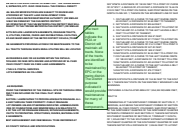
Subject: Planner
Page Label: [2] 2 NOTES
Author: Ryan Howser
Date: 12/6/2023 11:15:53 AM
Status:
Color:
Layer:
Space:

Update these notes



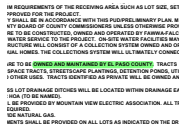
Subject: Planner
Page Label: [2] 2 NOTES
Author: Ryan Howser
Date: 12/6/2023 11:18:23 AM
Status:
Color:
Layer:
Space:

THE METRO DISTRICT OR HOA (TO BE NAMED).



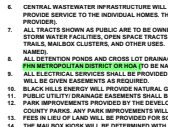
Subject: Planner
Page Label: [2] 2 NOTES
Author: Ryan Howser
Date: 12/6/2023 12:29:57 PM
Status:
Color:
Layer:
Space:

The tract tables indicate the HOA or District will maintain all tracts. None of the tracts are identified to be maintained by EPC or the metro district. The District purpose indicated it would provide maintenance for many of these components.



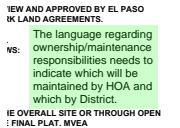
Subject: Planner
Page Label: [2] 2 NOTES
Author: Ryan Howser
Date: 12/6/2023 11:19:22 AM
Status:
Color:
Layer:
Space:

OWNED AND MAINTAINED BY EL PASO COUNTY



Subject: Planner
Page Label: [2] 2 NOTES
Author: Ryan Howser
Date: 12/6/2023 11:19:36 AM
Status:
Color:
Layer:
Space:

FHN METROPOLITAN DISTRICT OR HOA (




Subject: Planner
Page Label: [2] 2 NOTES
Author: Ryan Howser
Date: 12/6/2023 12:30:37 PM
Status:
Color:
Layer:
Space:

The language regarding ownership/maintenance responsibilities needs to indicate which will be maintained by HOA and which by District.

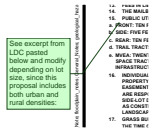
IN VIEW ELECTRIC ASSOCIATION. ALL TRACTS THROUGH W00


ON ALL LOTS AS INDICATED ON THE DRAWING AND OR AS:
- APPLIED TO PARK LAND DEDICATION AND OR FEES WITH RE
- USED AT A LATER DATE WITH E. PADO COUNTY PARK V0.0
- PARKS
- PLAY AND IN COORDINATION WITH THE U.S. POSTAL SERVICE
- AROUND THE PERIMETER OF THE LOTS PERIMETER AS FOLLO

DESIGNED FOR PUBLIC UTILITIES AS REQUIRED.
- TO BE AREA IN SELECT AREA AROUND THE PERIMETER OF
- WITH AREA WITH FINAL LOCATIONS TO BE INCLUDED ON T
- BE PUD PRELIMINARY PLAN APPROVAL.

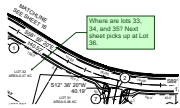
Subject: Planner
Page Label: [2] 2 NOTES
Author: Ryan Howser
Date: 12/6/2023 11:20:54 AM
Status:
Color: 
Layer:
Space:

THE PERIMETER OF THE LOTS PERIMETER



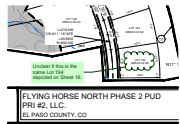
Subject: Planner
Page Label: [2] 2 NOTES
Author: Ryan Howser
Date: 12/6/2023 11:23:10 AM
Status:
Color: 
Layer:
Space:

See excerpt from LDC pasted below and modify depending on lot size, since this proposal includes both urban and rural densities:



Subject: Planner
Page Label: [15] 15 SITE PLAN 02
Author: Ryan Howser
Date: 12/6/2023 11:29:58 AM
Status:
Color: 
Layer:
Space:

Where are lots 33, 34, and 35? Next sheet picks up at Lot 36.



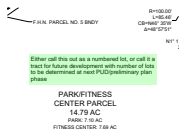
Subject: Planner
Page Label: [17] 17 SITE PLAN 04
Author: Ryan Howser
Date: 12/6/2023 11:35:23 AM
Status:
Color: 
Layer:
Space:


Unclear if this is the same Lot 194 depicted on Sheet 16.



Subject: Planner
Page Label: [18] 18 SITE PLAN 05
Author: Ryan Howser
Date: 12/6/2023 11:40:21 AM
Status:
Color: 
Layer:
Space:

This should say Sheet 19

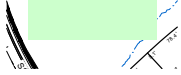


Subject: Planner
Page Label: [19] 19 SITE PLAN 06
Author: Ryan Howser
Date: 12/6/2023 11:42:45 AM
Status:
Color: 
Layer:
Space:

Either call this out as a numbered lot, or call it a tract for future development with number of lots to be determined at next PUD/preliminary plan phase

R=800.000

Cannot locate Lots 633 and 634.



Subject: Planner
Page Label: [22] 22 SITE PLAN 09
Author: Ryan Howser
Date: 12/6/2023 11:47:44 AM
Status:
Color: ■
Layer:
Space:

Cannot locate Lots 633 and 634.

Same comment as other commercial lot - either designate this as a numbered lot, or identify it as a future tract for development and determination of number of lots at a later phase of PUD/SP.

Subject: Planner
Page Label: [23] 23 SITE PLAN 10
Author: Ryan Howser
Date: 12/6/2023 11:50:18 AM
Status:
Color: ■
Layer:
Space:

Same comment as other commercial lot - either designate this as a numbered lot, or identify it as a future tract for development and determination of number of lots at a later phase of PUD/SP.

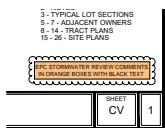
Soils & Geology (1)



Subject: Soils & Geology
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 12:26:04 PM
Status:
Color: ■
Layer:
Space:

Please update the note to incorporate CGS recommendations (provided via comment in EDARP) and use the below note as a template: (to be customized based upon the individual circumstances)
The following lots have been found to be impacted by geologic hazards. Mitigation measures and a map of the hazard area can be found in the report (Title of Report, generally from the Preliminary Plan file) by (author of the report) (date of report) in file (name of file and file number) available at the El Paso County Planning and Community Development Department:
▪Downslope Creep: (name lots or location of area)
▪Rockfall Source:(name lots or location of area)
▪Rockfall Runout Zone:(name lots or location of area)
▪Potentially Seasonally High Groundwater:(name lots or location of area)
▪Other Hazard:
In Areas of High Groundwater:
Due to high groundwater in the area, all foundations shall incorporate an underground drainage system.

Stamp - Stormwater Comment Legend (1)



Subject: Stamp - Stormwater Comment Legend
Page Label: [1] COVER
Author: Mikayla Hartford
Date: 12/4/2023 12:51:20 PM
Status:
Color: ■
Layer:
Space:

Surveyor Certification (1)



Subject: Surveyor Certification
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 12:32:22 PM
Status:
Color: ■
Layer:
Space:

Surveyors Certificate

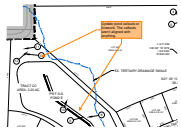
I surveyor's name, a duly registered Professional Land Surveyor in the State of Colorado, do hereby certify that this plat truly and correctly represents the results of a survey made on date of survey, by me or under my direct supervision and that all monuments exist as shown hereon; that mathematical closure errors are less than 1:10,000 ; and that said plat has been prepared in full compliance with all applicable laws of the State of Colorado dealing with monuments, subdivision, or surveying of land and all applicable provisions of the El Paso County Land Development Code.

I attest the above on this _____ day of _____, 20__.

Surveyor's Name, (Signature)
Date

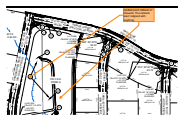
Colorado registered PLS # _____

SW - Textbox with Arrow (3)



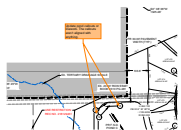
Subject: SW - Textbox with Arrow
Page Label: [21] 21 SITE PLAN 08
Author: Mikayla Hartford
Date: 12/4/2023 11:26:58 AM
Status:
Color: ■
Layer:
Space:

Update pond callouts or linework. The callouts aren't aligned with anything.



Subject: SW - Textbox with Arrow
Page Label: [15] 15 SITE PLAN 02
Author: Mikayla Hartford
Date: 12/4/2023 11:27:39 AM
Status:
Color: ■
Layer:
Space:

Update pond callouts or linework. The callouts aren't aligned with anything.



Subject: SW - Textbox with Arrow
Page Label: [20] 20 SITE PLAN 07
Author: Mikayla Hartford
Date: 12/4/2023 11:29:45 AM
Status:
Color: ■
Layer:
Space:

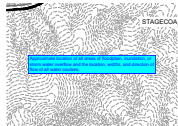
Update pond callouts or linework. The callouts aren't aligned with anything.

Text Box (15)



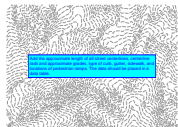
Subject: Text Box
Page Label: [4] 4 OVERALL SITE
Author: eschoenheit
Date: 12/6/2023 2:59:37 PM
Status:
Color: ■
Layer:
Space:

Label contours and elevations



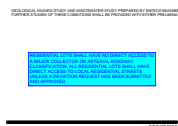
Subject: Text Box
Page Label: [4] 4 OVERALL SITE
Author: eschoenheit
Date: 12/6/2023 2:53:53 PM
Status:
Color: ■
Layer:
Space:

Approximate location of all areas of floodplain, inundation, or storm water overflow and the location, widths, and direction of flow of all water courses,



Subject: Text Box
Page Label: [4] 4 OVERALL SITE
Author: eschoenheit
Date: 12/6/2023 3:22:59 PM
Status:
Color: ■
Layer:
Space:

Add the approximate length of all street centerlines, centerline radii and approximate grades, type of curb, gutter, sidewalk, and locations of pedestrian ramps. The data should be placed in a data table.



Subject: Text Box
Page Label: [1] COVER
Author: eschoenheit
Date: 12/7/2023 4:36:56 PM
Status:
Color: ■
Layer:
Space:

RESIDENTIAL LOTS SHALL HAVE NO DIRECT ACCESS TO A MAJOR COLLECTOR OR ARTERIAL ROADWAY CLASSIFICATION. ALL RESIDENTIAL LOTS SHALL HAVE DIRECT ACCESS TO LOCAL RESIDENTIAL STREETS UNLESS A DEVIATION REQUEST HAS BEEN SUBMITTED AND APPROVED

Add design and posted speed for both

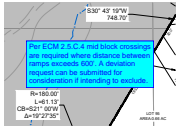
Subject: Text Box
Page Label: [1] 24x36
Author: eschoenheit
Date: 12/6/2023 3:51:37 PM
Status:
Color: ■
Layer:
Space:

Add design and posted speed for both

Add the following note: "El Paso County does not own and is not responsible for the underdrains or groundwater discharge systems shown on these plans and assumes no liability for water rights administration by approving these plans."

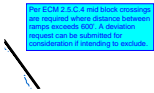
Subject: Text Box
Page Label: [1] COVER
Author: lpachman
Date: 12/7/2023 11:39:32 AM
Status:
Color: ■
Layer:
Space:

Add the following note: "El Paso County does not own and is not responsible for the underdrains or groundwater discharge systems shown on these plans and assumes no liability for water rights administration by approving these plans."



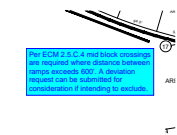
Subject: Text Box
Page Label: [16] 16 SITE PLAN 03
Author: lpackman
Date: 12/7/2023 2:53:15 PM
Status:
Color: ■
Layer:
Space:

Per ECM 2.5.C.4 mid block crossings are required where distance between ramps exceeds 600'. A deviation request can be submitted for consideration if intending to exclude.



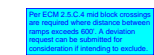
Subject: Text Box
Page Label: [17] 17 SITE PLAN 04
Author: lpackman
Date: 12/7/2023 2:56:46 PM
Status:
Color: ■
Layer:
Space:

Per ECM 2.5.C.4 mid block crossings are required where distance between ramps exceeds 600'. A deviation request can be submitted for consideration if intending to exclude.



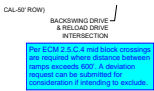
Subject: Text Box
Page Label: [18] 18 SITE PLAN 05
Author: lpackman
Date: 12/7/2023 3:17:02 PM
Status:
Color: ■
Layer:
Space:

Per ECM 2.5.C.4 mid block crossings are required where distance between ramps exceeds 600'. A deviation request can be submitted for consideration if intending to exclude.



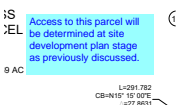
Subject: Text Box
Page Label: [21] 21 SITE PLAN 08
Author: lpackman
Date: 12/7/2023 3:30:45 PM
Status:
Color: ■
Layer:
Space:

Per ECM 2.5.C.4 mid block crossings are required where distance between ramps exceeds 600'. A deviation request can be submitted for consideration if intending to exclude.



Subject: Text Box
Page Label: [22] 22 SITE PLAN 09
Author: lpackman
Date: 12/7/2023 4:02:07 PM
Status:
Color: ■
Layer:
Space:

Per ECM 2.5.C.4 mid block crossings are required where distance between ramps exceeds 600'. A deviation request can be submitted for consideration if intending to exclude.



Subject: Text Box
Page Label: [19] 19 SITE PLAN 06
Author: Daniel Torres
Date: 12/7/2023 4:16:23 PM
Status:
Color: ■
Layer:
Space:

Access to this parcel will be determined at site development plan stage as previously discussed.



Subject: Text Box
Page Label: [1] 24x36
Author: Daniel Torres
Date: 12/8/2023 2:26:20 PM
Status:
Color:
Layer:
Space:

Comments have been provided on the TIS regarding the upgrade of roadways such as Stagecoach Rd, black forest, Allen Ranch Rd etc. Provide proposed cross section of the improvements proposed due to the upgrade in classification. Coordinate with the traffic engineer.



Subject: Text Box
Page Label: [4] 4 OVERALL SITE
Author: Daniel Torres
Date: 12/8/2023 2:26:48 PM
Status:
Color:
Layer:
Space:



Subject: Text Box
Page Label: [1] 24x36
Author: Daniel Torres
Date: 12/8/2023 3:47:57 PM
Status:
Color:
Layer:
Space:

comments have been provided on the TIS to provide roundabout analysis. Please make changes accordingly based on any changes (if any) from the analysis. Additional comments may be generated once analysis and changes are reflected on the plans