

FLYING HORSE NORTH - PHASE 2 PUD / PRELIMINARY PLAN

A PORTION OF SECTIONS 34, 35 AND 36 TOWNSHIP 11 SOUTH,
RANGE 66 WEST, AND A PORTION OF SECTIONS 30 AND 31, TOWNSHIP 11 SOUTH,
RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

LEGAL DESCRIPTION FLYING HORSE NORTH PUD REMAINDER

PUBLIC STREETS

- STREETS SHALL BE NAMED AND CONSTRUCTED TO EL PASO COUNTY STANDARDS, DEDICATED TO EL PASO COUNTY FOR AND UPON ACCEPTANCE BY EL PASO COUNTY, SHALL BE MAINTAINED BY EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS EXCEPT FOR LANDSCAPE AREAS WHICH SHALL BE MAINTAINED BY THE FLYING HORSE NORTH HOMEOWNERS ASSOCIATION.
- LANDSCAPING WITHIN THE PUBLIC RIGHTS-OF-WAY WILL BE MAINTAINED BY THE FLYING HORSE NORTH HOMEOWNERS ASSOCIATION VIA DEVELOPMENT AGREEMENT, LICENSE AGREEMENT OR INTER-GOVERNMENT AGREEMENT.
- PUBLIC STREETS WITHIN THIS DEVELOPMENT PROVIDE LEVELS OF VEHICULAR CIRCULATION REQUIRED BY THE TRAFFIC STUDY ON FILE FOR THIS PROJECT.

PRIVATE STREETS

- ANY FUTURE PRIVATE STREETS, IF PROPOSED, WILL BE PRIVATELY OWNED AND MAINTAINED BY THE FHN METROPOLITAN DISTRICT OR HOA (TO BE NAMED).

TRAFFIC IMPACT FEES:

- THE SUBDIVIDERS AGREE ON BEHALF OF HIM/HERSELF AND ANY DEVELOPER OR BUILDER SUCCESSORS AND ASSIGNEES THAT SUBDIVIDER AND/OR SAID SUCCESSORS AND ASSIGNS SHALL BE REQUIRED TO PAY TRAFFIC IMPACT FEES IN ACCORDANCE WITH THE EL PASO COUNTY ROAD IMPACT FEE PROGRAM RESOLUTION (RESOLUTION NO. 19-471), OR ANY AMENDMENTS THERETO, AT OR PRIOR TO THE TIME OF BUILDING PERMIT SUBMITTALS. THE FEE OBLIGATION, IF NOT PAID AT FINAL PLAN RECORDING, SHALL BE DOCUMENTED ON ALL SALES DOCUMENTS AND ON PLAN NOTES TO ENSURE THAT A TITLE SEARCH WOULD FIND THE FEE OBLIGATION BEFORE SALE OF THE PROPERTY.

LANDSCAPE

- ALL COMMON LANDSCAPE, OPEN SPACE, PARKS, TRACTS AND DRAINAGE FACILITIES WITHIN THIS DEVELOPMENT SHALL BE OWNED AND MAINTAINED BY THE FHN HOA OR METROPOLITAN DISTRICT WITH THE EXCEPTION OF THE COUNTY TRAIL AS DEPICTED ON THE PUD/PRELIMINARY PLAN.
- NO LANDSCAPING SHALL OBSTRUCT SIGHT DISTANCE TRIANGLES PER ENGINEERING CRITERIA MANUAL REFERENCE 2.4.1.D. THE MINIMUM HORIZONTAL CLEARANCE FOR SIDEWALKS AROUND UTILITY STRUCTURES, FURNITURE, AND OTHER ENCROACHMENTS SHALL BE 4 FEET OR GREATER TO PROVIDE SAFE CONDITIONS FOR PEDESTRIANS AND BICYCLISTS PER THE ENGINEERING CRITERIA MANUAL.
- TRAILS TO BE SOFT SURFACE (I.E. CRUSHED REFINES) AND FINAL TRAIL ALIGNMENT TO BE DETERMINED IN THE BASED ON GRADE, VEGETATION, AND OTHER EXISTING SITE FEATURES AT THE TIME OF THE FINAL PLAT.
- ANY FUTURE NON-REGIONAL TRAILS TO BE OWNED AND MAINTAINED BY THE FLYING HORSE NORTH HOME OWNERS ASSOCIATION.

SIGNS

- ALL PERMANENT SIGNS WILL BE LOCATED IN EASEMENTS AND LOCATIONS WILL ADHERE TO THE MASTER SIGN PLAN FOR THE PROJECT.
- MAJOR COMMUNITY IDENTITY WILL HAVE A MAXIMUM COPY SIZE OF 100 SQUARE FEET AND THE STRUCTURE WILL HAVE A MAXIMUM HEIGHT OF 30' FEET.
- MINOR COMMUNITY IDENTITY SIGNS WILL HAVE A MAXIMUM COPY SIZE OF 40 SQUARE FEET AND THE STRUCTURE WILL HAVE A MAXIMUM HEIGHT OF 10' FEET.
- DIRECTIONAL SIGNS WILL HAVE A MAXIMUM COPY SIZE OF 15 SQUARE FEET AND A MAXIMUM HEIGHT OF 8' FEET.

MAIL KIOSK

- MAIL KIOSK STRUCTURES MAY HAVE A MAXIMUM HEIGHT OF 12', WIDTH OF 15' (FRONT ELEVATION) AND DEPTH (SIDE ELEVATION) OF 10'.

GENERAL NOTES

- THE FLYING HORSE NORTH PUD PARCELS 1-6 WILL MEET THE OVERALL SKETCH PLAN APPROVALS.
- CLUSTERING OF UNITS WITHIN RESIDENTIAL DISTRICTS IS PERMITTED, BUT NOT REQUIRED, SO LONG AS THE OVERALL DENSITY LIMIT OF THE OVERALL PROJECT IS NOT EXCEEDED. THE USE OF CLUSTERING IS ENCOURAGED TO PROMOTE COMMON OPEN SPACE, PROTECT NATURAL FEATURES, AND PROVIDE CREATIVE AND FLEXIBLE DESIGN ALTERNATIVES.
- A DENSITY TRANSFER MAY BE PERMITTED ON FOR ALL RESIDENTIAL PARCELS. THIS TRANSFER WOULD BE PROPOSED AT THE TIME OF REZONING AND/OR AMENDED PRELIMINARY PLAN (WHERE APPROPRIATE) AND WOULD NEED TO BE REVIEWED BY STAFF TO ENSURE THAT THE OVERALL DEVELOPMENT CONCEPT IS ADHERED TO. A DENSITY TRANSFER NOT TO EXCEED TWENTY PERCENT (20%) OF THE MAXIMUM UNITS FOR EACH PARCEL IS PERMITTED. THE TRANSFERRED DENSITY SHALL MEET ALL MINIMUM REQUIREMENTS OF THE RECEIVING AREA SUCH AS LOT SIZE, SETBACKS, ETC. IN NO CASE SHALL THE OVERALL DENSITY CAP EXCEED THE TOTAL UNITS APPROVED FOR THE PROJECT.
- DEVELOPMENT OF THIS PROPERTY SHALL BE IN ACCORDANCE WITH THIS PUD/PRELIMINARY PLAN. MAJOR MODIFICATIONS ARE SUBJECT TO REVIEW AND APPROVAL BY THE EL PASO COUNTY BOARD OF COUNTY COMMISSIONERS UNLESS OTHERWISE PROVIDED BY THE EPC LAND DEVELOPMENT CODE.
- CENTRAL WATER INFRASTRUCTURE TO BE CONSTRUCTED, OWNED AND OPERATED BY FAWNA-FALCON AREA WATER/WASTEWATER AUTHORITY (OR SIMILAR PROVIDER) WHICH WILL PROVIDE WATER SERVICE TO THE PROJECT. ON-SITE WATER FACILITIES MAY BE OWNED BY THE FHN METRO DISTRICT.
- CENTRAL WASTEWATER INFRASTRUCTURE WILL CONSIST OF A COLLECTION SYSTEM OWNED AND OPERATED BY THE FHN METROPOLITAN DISTRICT WHO WILL PROVIDE SERVICE TO THE INDIVIDUAL HOMES. THE COLLECTIONS SYSTEM WILL ULTIMATELY CONNECT TO THE TRIVIEW METROPOLITAN DISTRICT (OR SIMILAR PROVIDER).
- ALL TRACTS SHOWN AS PUBLIC ARE TO BE OWNED AND MAINTAINED BY EL PASO COUNTY. TRACTS INCLUDE LANDSCAPE EASEMENTS, DRAINAGE TRACTS, STORM WATER FACILITIES, OPEN SPACE TRACTS, STREETSCAPE PLANTINGS, DETENTION PONDS, UTILITIES, FENCES, PARKS AND RECREATIONAL FACILITIES, TRAILS, MAILBOX CLUSTERS, AND OTHER USES. TRACTS IDENTIFIED AS PRIVATE WILL BE OWNED AND MAINTAINED BY THE METRO DISTRICT OR HOA (TO BE NAMED).
- ALL DETENTION PONDS AND CROSS LOT DRAINAGE DITCHES WILL BE LOCATED WITHIN DRAINAGE EASEMENTS PROVIDING ACCESS FOR MAINTENANCE TO THE FHN METROPOLITAN DISTRICT OR HOA TO BE NAMED.
- ALL ELECTRICAL SERVICES SHALL BE PROVIDED BY MOUNTAIN VIEW ELECTRIC ASSOCIATION. ALL TRACTS THROUGH WHICH MVEA UTILITIES WILL BE LOCATED WILL BE GIVEN EASEMENTS AS REQUIRED.
- BLACK HILLS ENERGY WILL PROVIDE NATURAL GAS.
- PUBLIC UTILITY DRAINAGE EASEMENTS SHALL BE PROVIDED ON ALL LOTS AS INDICATED ON THE DRAWINGS AND/OR AS SHOWN WITHIN THE DETAILS.
- PARK IMPROVEMENTS PROVIDED BY THE DEVELOPER MAY BE APPLIED TO PARK LAND DEDICATION AND/OR FEES WITH LEVY AND APPROVED BY EL PASO COUNTY PARKS. ANY PARK IMPROVEMENTS WILL BE COORDINATED AT A LATER DATE WITH EL PASO COUNTY PARK VIA PARK LAND AGREEMENTS.
- FEES IN LIEU OF LAND WILL BE PROVIDED FOR SCHOOLS AND PARKS
- THE MAILBOX KIOSK WILL BE DETERMINED WITH EACH FINAL PLAT AND IN COORDINATION WITH THE U.S. POSTAL SERVICES.
- PUBLIC UTILITY DRAINAGE EASEMENTS SHALL BE PROVIDED AROUND THE PERIMETER OF THE LOTS PERIMETER AS FOLLOWS:
 - FRONT: TEN FEET (10')
 - SIDE: FIVE FEET (5')
 - REAR: TEN FEET (10')
- TRAIL TRACTS, LANDSCAPE AND DETENTION FACILITIES WILL BE DESIGNED FOR PUBLIC UTILITIES AS REQUIRED.
- MVEA: TWENTY FEET (20') MIN. WIDTH EASEMENT WILL BE PROVIDED TO MVEA IN SELECT AREAS AROUND THE PERIMETER OF THE OVERALL SITE OR THROUGH OPEN SPACE TRACTS. THE EXACT LOCATIONS SHALL BE COORDINATED WITH MVEA WITH FINAL LOCATIONS TO BE INCLUDED ON THE FINAL PLAT. MVEA INFRASTRUCTURE DESIGN WAS IN PROGRESS AT THE TIME OF THIS PUD PRELIMINARY PLAN APPROVAL.
- INDIVIDUAL LOT SIDE YARD SWALES SHALL BE CONSTRUCTED DURING INDIVIDUAL LOT CONSTRUCTION / LANDSCAPING TO PROVIDE ADEQUATE DRAINAGE. ALL PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTAINING PROPER STORM WATER DRAINAGE IN AND THROUGH THEIR PROPERTY. PUBLIC DRAINAGE EASEMENTS AS SPECIFICALLY NOTED ON THE PLAT SHALL BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS UNLESS OTHERWISE INDICATED. HOMEBUILDERS ARE RESPONSIBLE TO ENSURE PROPER DRAINAGE AROUND STRUCTURES, INCLUDING ELEVATIONS OF FOUNDATIONS AND WINDOW WELLS IN RELATION TO SIDE-LOT DRAINAGE EASEMENTS AND SWALES. HOMEOWNERS SHALL NOT CHANGE THE GRADE OF THE LOT OR DRAINAGE SWALES, WITHIN SAID EASEMENTS, AS CONSTRUCTED BY THE BUILDER, IN A MANNER THAT WOULD CAUSE ADVERSE DRAINAGE IMPACTS TO PROPERTIES. STRUCTURES, FENCES, MATERIALS OR LANDSCAPING THAT COULD IMPEDE THE FLOW OF RUNOFF SHALL NOT BE PLACED IN DRAINAGE EASEMENTS.
- GRASS BUFFER BMPs WILL BE MAINTAINED IN ACCORDANCE WITH A PERMANENT BMP AGREEMENT AND EASEMENT AND O&M MANUAL TO BE RECORDED AT THE TIME OF FINAL PLAT.
- STREET LIGHTS WILL BE RESTRICTED TO MOUNTAIN VIEW ELECTRIC ASSOCIATIONS AND EL PASO COUNTY DETAILS AND SPECIFICATIONS.
- SITE LIGHTING WILL MEET THE REQUIREMENTS SET FORTH IN SECTION 6.2.3 OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED, THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR FHN DESIGN GUIDELINES WILL DICTATE LIGHTING SPECIFICATIONS.
- FENCING:
ALL PROPOSED FENCING IS SUBJECT TO DESIGN REVIEW COMMITTEE APPROVAL AS SET FORTH IN THE COVENANTS AND ANY FUTURE DESIGN GUIDELINES FOR FHN. NO FENCES SHALL IMPED DRAINAGE WAYS.
- NEW SIDEWALKS ADJACENT TO RESIDENTIAL LOTS ARE TO BE 6" THICK AND SUBJECT TO THE DEVELOPER COLLATERALIZING AND INSTALLING SAID SIDEWALKS. THE FUTURE LOT OWNER OR BUILDER IS RESPONSIBLE FOR REPAIR OF ANY DAMAGES AFTER THE INITIAL INSTALLATION.
- THE MAILBOX KIOSK WILL BE DETERMINED WITH EACH FINAL PLAT AND IN COORDINATION WITH THE U.S. POSTAL SERVICE.
- THE FIRE STATION LOCATED IN PARCEL 6 CAN BE ANYWHERE WITHIN THE PARCEL AS NEEDED, IF THE FIRE DEPARTMENT DETERMINES RELOCATION IS NOT NEEDED, THE LAND NEED NOT BE DEDICATED.
- APPLICABLE PARK, SCHOOL, TRANSPORTATION, DRAINAGE, BRIDGE, AND TRAFFIC FEES SHALL BE PAID TO THE EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT AT THE TIME OF RECORDING ANY FINAL PLAT.
- FINAL ACCESS LOCATIONS AND ROADWAY CLASSIFICATIONS WILL BE DETERMINED AT THE TIME OF FINAL PLAT.

THREE TRACTS OF LAND BEING A PORTION OF SECTION 30 AND SECTION 31, TOWNSHIP 11 SOUTH, RANGE 65 WEST, AND A PORTION OF SECTION 36, TOWNSHIP 11 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS:

THE NORTH LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 36, TOWNSHIP 11 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, BEING MONUMENTED AT THE WEST END BY A 1" YELLOW PLASTIC CAP STAMPED "18235" AND THE EAST END BY A 2" ALUMINUM CAP STAMPED "32439" WITH APPROPRIATE MARKINGS, IS ASSUMED TO BEAR N89°03'58"E A DISTANCE OF 1,322.00 FEET.

TRACT A

COMMENCING AT THE NORTHWEST CORNER OF LOT 33, FLYING HORSE NORTH FILING NO. 1 AS RECORDED UNDER RECEPTION NUMBER 218714238 IN THE RECORDS OF EL PASO COUNTY, COLORADO, SAID POINT BEING ON THE SOUTHERLY RIGHT-OF-WAY LINE OF OLD STAGECOACH ROAD AS PLATTED IN SAID FLYING HORSE NORTH FILING NO. 1, SAID POINT BEING THE POINT OF BEGINNING; THENCE SAID SOUTHERLY RIGHT-OF-WAY THE FOLLOWING TWO (2) COURSES:

- ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS N05°59'03"E, HAVING A DELTA OF 08°07'01", A RADIUS OF 3,540.00 FEET, A DISTANCE OF 501.50 FEET TO A POINT ON CURVE;
- ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS N63°57'20"E, HAVING A DELTA OF 50°08'31", A RADIUS OF 100.00 FEET, A DISTANCE OF 87.51 FEET TO A POINT ON CURVE, SAID POINT BEING ON THE WESTERLY RIGHT-OF-WAY LINE OF ALLEN RANCH ROAD AS PLATTED IN SAID FLYING HORSE NORTH FILING NO. 1;

THENCE ON THE RIGHT-OF-WAY LINE OF SAID ALLEN RANCH ROAD THE FOLLOWING FOUR (4) COURSES:

- S03°38'37"E A DISTANCE OF 515.47 FEET TO A POINT ON CURVE;
- ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 22°42'11", A RADIUS OF 970.00 FEET, A DISTANCE OF 384.35 FEET TO A POINT OF TANGENT; THENCE S00°52'38"E A DISTANCE OF 518.23 FEET TO A POINT ON CURVE; THENCE ON THE ARC OF A CURVE TO THE LEFT, HAVING A DELTA OF 30°48'52", A RADIUS OF 530.00 FEET, A DISTANCE OF 285.04 FEET TO A POINT ON CURVE;
- N78°14'42"E A DISTANCE OF 4.31 FEET TO A POINT ON CURVE;

THENCE ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS N73°49'46"E, HAVING A DELTA OF 30°34'36", A RADIUS OF 430.00 FEET A DISTANCE OF 229.48 FEET TO A POINT OF TANGENT; THENCE S48°44'50"E A DISTANCE OF 346.43 FEET TO A POINT OF CURVE; THENCE ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 25°52'12", A RADIUS OF 370.00 FEET A DISTANCE OF 187.00 FEET TO A POINT OF TANGENT; THENCE S00°52'38"E A DISTANCE OF 518.23 FEET TO A POINT ON CURVE; THENCE ON THE ARC OF A CURVE TO THE RIGHT, HAVING A DELTA OF 54°15'33", A RADIUS OF 170.00 FEET A DISTANCE OF 160.99 FEET TO A POINT OF TANGENT; THENCE S33°22'55"W A DISTANCE OF 76.55 FEET TO A POINT OF CURVE; THENCE ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 11°16'06", A RADIUS OF 187.00 FEET A DISTANCE OF 36.78 FEET TO A POINT OF REVERSE CURVE; THENCE ON THE ARC OF A CURVE TO THE LEFT, HAVING A DELTA OF 11°16'06", A RADIUS OF 228.00 FEET A DISTANCE OF 44.84 FEET TO A POINT OF TANGENT; THENCE S33°22'55"W A DISTANCE OF 10.00 FEET TO A POINT OF CURVE; THENCE ON THE ARC OF A CURVE TO THE LEFT HAVING A DELTA OF 11°16'06", A RADIUS OF 228.00 FEET A DISTANCE OF 44.84 FEET TO A POINT OF REVERSE CURVE; THENCE ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 11°16'06", A RADIUS OF 187.00 FEET A DISTANCE OF 36.78 FEET TO A POINT OF TANGENT; THENCE S00°52'38"E A DISTANCE OF 518.23 FEET TO A POINT ON CURVE; THENCE ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 28°50'59", A RADIUS OF 230.00 FEET A DISTANCE OF 115.81 FEET TO A POINT OF TANGENT; THENCE S04°31'56"W A DISTANCE OF 277.13 FEET TO A POINT OF CURVE; THENCE ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 17°59'00", A RADIUS OF 470.00 FEET A DISTANCE OF 147.52 FEET TO A POINT OF TANGENT; THENCE ON THE ARC OF A CURVE TO THE LEFT HAVING A DELTA OF 17°59'00", A RADIUS OF 470.00 FEET A DISTANCE OF 147.52 FEET TO A POINT OF TANGENT; THENCE ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 17°59'00", A RADIUS OF 470.00 FEET A DISTANCE OF 147.52 FEET TO A POINT OF TANGENT; THENCE N05°14'00"W A DISTANCE OF 310.03 FEET TO A POINT ON CURVE, SAID POINT BEING ON THE BOUNDARY LINE OF TRACT K AS PLATTED IN SAID FLYING HORSE NORTH FILING NO. 1; THENCE ON THE BOUNDARY LINE OF SAID TRACT K, THE FOLLOWING FIFTEEN (15) COURSES:

- ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS N01°11'57"W, HAVING A DELTA OF 51°15'37", A RADIUS OF 60.00 FEET, A DISTANCE OF 53.68 FEET TO TANGENT;
- N07°32'26"E A DISTANCE OF 809.84 FEET;
- N04°16'45"E A DISTANCE OF 483.65 FEET TO A POINT OF CURVE;
- ON THE ARC OF A CURVE TO THE LEFT HAVING A DELTA OF 180°00'00", A RADIUS OF 180.00 FEET, A DISTANCE OF 565.49 FEET TO A POINT OF TANGENT;
- S04°16'45"W A DISTANCE OF 284.57 FEET;
- S89°20'28"W A DISTANCE OF 297.77 FEET TO A POINT ON CURVE;
- ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS S66°09'28"W, HAVING A DELTA OF 68°09'39", A RADIUS OF 180.00 FEET, A DISTANCE OF 214.13 FEET TO A POINT OF TANGENT;
- S87°59'49"W A DISTANCE OF 527.00 FEET;
- S89°20'28"W A DISTANCE OF 348.91 FEET;
- N00°00'25'40"E A DISTANCE OF 36.95 FEET TO A POINT ON CURVE;
- ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS N09°45'03"E, HAVING A DELTA OF 37°48'36", A RADIUS OF 180.00 FEET, A DISTANCE OF 118.78 FEET TO A POINT OF TANGENT;
- N26°15'28"E A DISTANCE OF 430.65 FEET TO A POINT OF CURVE;
- ON THE ARC OF A CURVE TO THE LEFT HAVING A DELTA OF 27°31'13", A RADIUS OF 180.00 FEET, A DISTANCE OF 86.46 FEET TO A POINT OF TANGENT;
- N14°34'25'15"E A DISTANCE OF 478.77 FEET;
- N14°40'07'49"E A DISTANCE OF 163.69 FEET;

- ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS N01°11'57"W, HAVING A DELTA OF 51°15'37", A RADIUS OF 60.00 FEET, A DISTANCE OF 53.68 FEET TO TANGENT;
- N07°32'26"E A DISTANCE OF 809.84 FEET;
- N04°16'45"E A DISTANCE OF 483.65 FEET TO A POINT OF CURVE;
- ON THE ARC OF A CURVE TO THE LEFT HAVING A DELTA OF 180°00'00", A RADIUS OF 180.00 FEET, A DISTANCE OF 565.49 FEET TO A POINT OF TANGENT;
- S04°16'45"W A DISTANCE OF 284.57 FEET;
- S89°20'28"W A DISTANCE OF 297.77 FEET TO A POINT ON CURVE;
- ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS S66°09'28"W, HAVING A DELTA OF 68°09'39", A RADIUS OF 180.00 FEET, A DISTANCE OF 214.13 FEET TO A POINT OF TANGENT;
- S87°59'49"W A DISTANCE OF 527.00 FEET;
- S89°20'28"W A DISTANCE OF 348.91 FEET;
- N00°00'25'40"E A DISTANCE OF 36.95 FEET TO A POINT ON CURVE;
- ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS N09°45'03"E, HAVING A DELTA OF 37°48'36", A RADIUS OF 180.00 FEET, A DISTANCE OF 118.78 FEET TO A POINT OF TANGENT;
- N26°15'28"E A DISTANCE OF 430.65 FEET TO A POINT OF CURVE;
- ON THE ARC OF A CURVE TO THE LEFT HAVING A DELTA OF 27°31'13", A RADIUS OF 180.00 FEET, A DISTANCE OF 86.46 FEET TO A POINT OF TANGENT;
- N14°34'25'15"E A DISTANCE OF 478.77 FEET;
- N14°40'07'49"E A DISTANCE OF 163.69 FEET;

THENCE N18°03'04"W A DISTANCE OF 744.95 FEET TO THE SOUTHWEST CORNER OF LOT 33 OF SAID FLYING HORSE NORTH FILING NO. 1, THENCE N04°10'00"E ON THE WESTERLY BOUNDARY LINE OF SAID LOT 33 A DISTANCE OF 447.48 FEET TO THE POINT OF BEGINNING.

CONTAINING A CALCULATED AREA OF 1,954,049 SQUARE FEET, OR 44,859 ACRES, MORE OR LESS.

TRACT B

COMMENCING AT THE NORTHWEST CORNER OF SECTION 31, TOWNSHIP 11 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, ALSO BEING THE NORTHEAST CORNER OF SECTION 36, TOWNSHIP 11 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO, SAID POINT BEING THE POINT OF BEGINNING; THENCE N89°06'20"E, ON THE NORTH LINE OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 31, A DISTANCE OF 1,474.13 FEET TO THE WEST SIXTEENTH CORNER OF SAID SECTION 31; THENCE N00°08'36"E, ON THE WEST LINE OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 30, TOWNSHIP 11 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, A DISTANCE OF 1,325.48 FEET TO THE SOUTHWEST SIXTEENTH CORNER OF SAID SECTION 30; THENCE N80°03'20"E, ON THE NORTH LINE OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 30, A DISTANCE OF 920.27 FEET; THENCE N00°08'15"E A DISTANCE OF 1,326.26 FEET TO A POINT ON THE NORTH LINE OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 30;

THENCE N89°03'15"E, ON THE NORTH LINE OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 30, A DISTANCE OF 398.19 FEET TO THE CENTER QUARTER CORNER OF SAID SECTION 30; THENCE N00°08'48"E, ON THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 30, A DISTANCE OF 2,604.74 FEET TO A POINT 50.00 FEET SOUTH OF THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 30; THENCE N88°58'45"E, ON A LINE 50.00 FEET SOUTH OF AND PARALLEL TO THE NORTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 30, A DISTANCE OF 2,270.00 FEET; THENCE S71°21'27"E A DISTANCE OF 29.72 FEET; THENCE N88°58'45"E A DISTANCE OF 298.98 FEET TO A POINT THAT IS 60.00 FEET SOUTH OF THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 30, ALSO BEING 30.00 FEET WEST OF THE EAST LINE OF THE NORTHEAST QUARTER OF SECTION 30, TOWNSHIP 11 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, SAID POINT BEING ON THE ON THE WESTERLY RIGHT-OF-WAY LINE OF BLACK FOREST ROAD.

THENCE S00°00'48"W ON THE WESTERLY RIGHT-OF-WAY LINE OF SAID BLACK FOREST ROAD, SAID POINT BEING 30.00 FEET WEST OF AND PARALLEL TO THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 30, A DISTANCE OF 2,595.64 FEET; THENCE S00°00'53"W ON SAID WESTERLY RIGHT-OF-WAY LINE AND ON A LINE 30.00 FEET WEST OF AND PARALLEL TO THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 30, A DISTANCE OF 1,520.50 FEET TO A POINT ON THE NORTHERLY BOUNDARY OF FLYING HORSE NORTH FILING NO. 1, RECORDED UNDER RECEPTION NO. 218714238; THENCE ON THE NORTHERLY AND WESTERLY BOUNDARY LINES OF SAID FLYING HORSE NORTH FILING NO. 1 THE FOLLOWING FIFTEEN (15) COURSES:

- N89°59'04"W A DISTANCE OF 502.35 FEET;
- N82°41'19"W A DISTANCE OF 492.47 FEET;
- S06°27'11"W A DISTANCE OF 236.35 FEET;
- N80°16'16"W A DISTANCE OF 554.19 FEET;
- N60°06'05"W A DISTANCE OF 60.00 FEET TO A POINT ON CURVE;
- ON THE ARC OF A CURVE TO THE LEFT, WHOSE CENTER BEARS S56°06'05"E, HAVING A DELTA OF 24°24'59", A RADIUS OF 530.00 FEET, A DISTANCE OF 225.86 FEET TO A POINT ON CURVE;
- ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS S12°54'16"E, HAVING A DELTA OF 52°02'48", A RADIUS OF 100.00 FEET, A DISTANCE OF 90.84 FEET TO A POINT ON CURVE;
- N88°31'45"W A DISTANCE OF 8.27 FEET TO A POINT OF CURVE;
- ON THE ARC OF A CURVE TO THE LEFT, HAVING A DELTA OF 38°46'50", A RADIUS OF 1,040.00 FEET AND A DISTANCE OF 703.92 FEET TO A POINT OF TANGENT;
- 10.552°41'25"W A DISTANCE OF 1,810.12 FEET TO A POINT OF CURVE;

- ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 52°50'29", A RADIUS OF 760.00 FEET AND A DISTANCE OF 700.92 FEET TO A POINT OF TANGENT;
- N74°28'06"W A DISTANCE OF 169.05 FEET TO A POINT OF CURVE;
- ON THE ARC OF A CURVE TO THE LEFT HAVING A DELTA OF 32°53'45", A RADIUS OF 1,640.00 FEET, A DISTANCE OF 941.59 FEET TO A POINT OF TANGENT;
- S72°38'09"W A DISTANCE OF 400.46 FEET TO A POINT OF CURVE;
- ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 00°45'53", A RADIUS OF 3,480.00 FEET, A DISTANCE OF 46.18 FEET TO A POINT ON CURVE, SAID POINT BEING THE SOUTHEASTERLY CORNER OF LOT 28 AS PLATTED IN SAID FLYING HORSE NORTH FILING NO. 1;

THENCE N00°13'46"W ON THE EASTERLY BOUNDARY OF SAID LOT 28 A DISTANCE OF 497.29 FEET TO A POINT ON THE NORTH LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 36; THENCE S89°20'59"W ON THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 36, A DISTANCE OF 973.69 FEET; THENCE N00°30'01"W A DISTANCE OF 50.11 FEET TO A POINT ON THE BOUNDARY LINE OF FLYING HORSE NORTH FILING NO. 1 AS RECORDED UNDER RECEPTION NUMBER 218714238, RECORDS OF EL PASO COUNTY, COLORADO; THENCE ON THE BOUNDARY OF SAID FLYING HORSE NORTH FILING NO. 1 THE FOLLOWING ELEVEN (11) COURSES:

CONTAINING A CALCULATED AREA OF 14,100,034 SQUARE FEET, OR 323,692 ACRES, MORE OR LESS.

TRACT C

COMMENCING AT THE SOUTHEAST CORNER OF SECTION 36, TOWNSHIP 11 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, SAID POINT BEING THE POINT OF BEGINNING; THENCE S89°20'59"W ON THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 36, A DISTANCE OF 973.69 FEET; THENCE N00°30'01"W A DISTANCE OF 50.11 FEET TO A POINT ON THE BOUNDARY LINE OF FLYING HORSE NORTH FILING NO. 1 AS RECORDED UNDER RECEPTION NUMBER 218714238, RECORDS OF EL PASO COUNTY, COLORADO; THENCE ON THE BOUNDARY OF SAID FLYING HORSE NORTH FILING NO. 1 THE FOLLOWING ELEVEN (11) COURSES:

- N19°16'02"E A DISTANCE OF 386.88 FEET;
- N43°30'36"E A DISTANCE OF 161.72 FEET TO A POINT ON CURVE;
- ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS N17°38'34"E, HAVING A DELTA OF 105°57'32", A RADIUS OF 183.50 FEET, A DISTANCE OF 339.35 FEET TO A POINT OF TANGENT;
- N01°41'01"E A DISTANCE OF 409.04 FEET;
- N10°53'40"E A DISTANCE OF 511.85 FEET;
- N11°16'18"E A DISTANCE OF 794.70 FEET TO A POINT ON CURVE;
- ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS N89°45'19"W, HAVING A DELTA OF 113°41'16", A RADIUS OF 80.00 FEET, A DISTANCE OF 158.74 FEET TO A POINT ON CURVE;
- N11°15'44"E A DISTANCE OF 449.78 FEET TO A POINT OF CURVE;
- ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 19°27'35", A RADIUS OF 180.00 FEET, A DISTANCE OF 61.13 FEET TO A POINT OF TANGENT;
- N10°30'43'19"E A DISTANCE OF 748.70 FEET;
- N18°33'05"E A DISTANCE OF 43.73 FEET;

THENCE S78°15'13"E A DISTANCE OF 60.00 FEET TO A POINT ON THE BOUNDARY LINE OF TRACT M, AS PLATTED IN SAID FLYING HORSE NORTH FILING NO. 1; THENCE ON THE BOUNDARY LINE OF SAID TRACT M, THE FOLLOWING ELEVEN (11) COURSES:

- N88°19'51"E A DISTANCE OF 44.51 FEET TO A POINT ON CURVE;
- ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS N78°15'26"E, HAVING A DELTA OF 35°23'13", A RADIUS OF 222.71 FEET, A DISTANCE OF 137.55 FEET TO A POINT OF TANGENT;
- S47°07'47"E A DISTANCE OF 236.98 FEET;
- S32°20'15"E A DISTANCE OF 614.62 FEET TO A POINT ON CURVE;
- ON THE ARC OF A CURVE TO THE RIGHT WHOSE CENTER BEARS N03°35'23"E, HAVING A DELTA OF 32°49'43", A RADIUS OF 180.00 FEET, A DISTANCE OF 103.13 FEET TO A POINT OF TANGENT;
- S85°14'20"E A DISTANCE OF 773.82 FEET TO A POINT ON CURVE;
- ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS N03°54'09"E, HAVING A DELTA OF 141°44'47", A RADIUS OF 74.72 FEET, A DISTANCE OF 184.84 FEET TO A POINT OF TANGENT;
- N47°50'38"W A DISTANCE OF 125.93 FEET TO A POINT ON CURVE;
- ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS N62°07'29"W, HAVING A DELTA OF 93°42'48", A RADIUS OF 178.44 FEET, A DISTANCE OF 291.86 FEET TO A POINT OF TANGENT;
- N18°55'19"W A DISTANCE OF 526.31 FEET;
- N18°66'22'10"W A DISTANCE OF 418.60 FEET;

THENCE N77°19'50"W A DISTANCE OF 99.91 FEET TO A POINT ON THE BOUNDARY LINE OF SAID FLYING HORSE FILING NO. 1; THENCE ON SAID BOUNDARY LINE THE FOLLOWING FOURTEEN (14) COURSES:

- N66°12'59"W A DISTANCE OF 96.82 FEET;
- N02°34'45"E A DISTANCE OF 964.84 FEET TO A POINT ON CURVE;
- ON THE ARC OF A CURVE TO THE RIGHT WHOSE CENTER BEARS S01°51'31"W, HAVING A DELTA OF 13°40'23", A RADIUS OF 1,560.00 FEET, A DISTANCE OF 372.28 FEET TO A POINT OF TANGENT;
- S74°28'06"E A DISTANCE OF 169.05 FEET TO A POINT OF CURVE;
- ON THE ARC OF A CURVE TO THE LEFT HAVING A DELTA OF 52°50'29", A RADIUS OF 840.00 FEET, A DISTANCE OF 774.70 FEET TO A POINT OF TANGENT;
- S57°42'25"E A DISTANCE OF 1,610.12 FEET TO A POINT OF CURVE;
- ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 38°46'50", A RADIUS OF 960.00 FEET, A DISTANCE OF 649.77 FEET TO A POINT ON CURVE;
- THENCE S88°31'45"E A DISTANCE OF 8.27 FEET TO A POINT ON CURVE;
- ON THE ARC OF A CURVE TO THE LEFT, WHOSE CENTER BEARS N67°53'33"E, HAVING A DELTA OF 48°57'51", A RADIUS OF 100.00 FEET, A DISTANCE OF 85.46 FEET TO A POINT ON CURVE;
- S01°28'15"W A DISTANCE OF 152.16 FEET TO A POINT OF CURVE;
- ON THE ARC OF A CURVE TO THE LEFT HAVING A DELTA OF 00°53'47", A RADIUS OF 5,030.00 FEET, A DISTANCE OF 78.69 FEET TO A POINT ON CURVE;
- S28°25'32"E A DISTANCE OF 60.00 FEET;
- N89°59'06"E A DISTANCE OF 505.80 FEET;
- S40°00'00"E A DISTANCE OF 477.97 FEET TO A POINT ON THE SOUTH LINE OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 30, TOWNSHIP 11 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN;

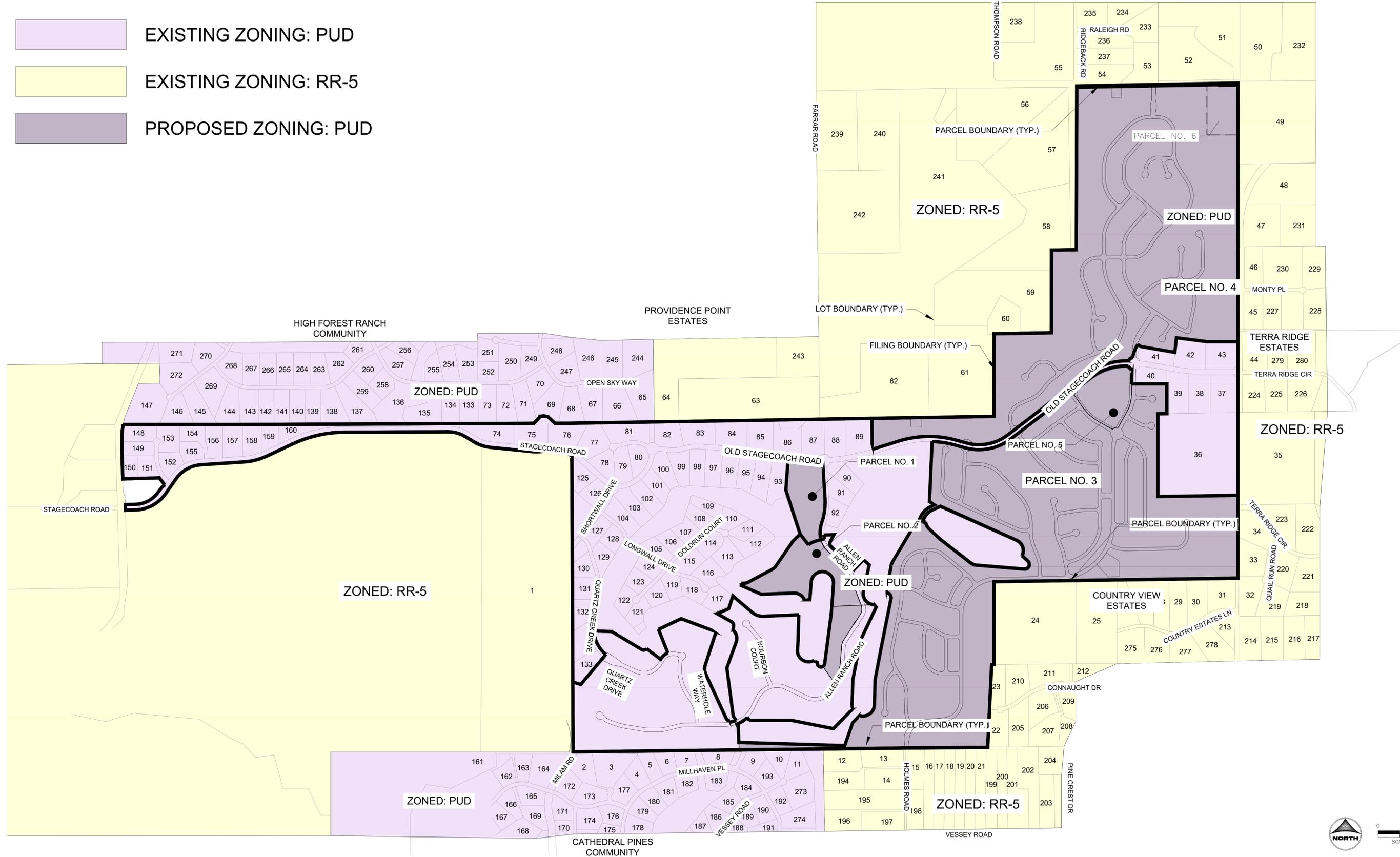
THENCE S89°04'37"W, ON THE SOUTH LINE OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 30, A DISTANCE OF 144.30 FEET TO THE EAST SIXTEENTH CORNER OF SECTION 31; THENCE S00°01'15"E, ON THE EAST LINE OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 31, A DISTANCE OF 1,326.67 FEET TO THE NORTHEAST SIXTEENTH CORNER OF SAID SECTION 31; THENCE N89°08'21"E, ON THE NORTH LINE OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 31, A DISTANCE OF 1,289.57 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF BLACK FOREST ROAD, SAID POINT BEING 30.00 FEET WEST OF AND PARALLEL TO THE EAST LINE OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 31; THENCE S00°07'54"W, ON THE WESTERLY RIGHT-OF-WAY LINE OF SAID BLACK FOREST ROAD, BEING ALSO 30.00 FEET WEST OF AND PARALLEL TO THE EAST LINE OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 31, A DISTANCE OF 1,328.09 FEET TO A POINT ON THE SOUTH LINE OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 31; THENCE S89°11'17"W, ON THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 31, A DISTANCE OF 1,329.16 FEET TO THE SOUTHWEST SIXTEENTH CORNER OF SAID SECTION 31; THENCE S89°24'17"W, ON THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 31, A DISTANCE OF 1,320.84 FEET TO THE CENTER WEST SIXTEENTH CORNER OF SAID SECTION 31; THENCE S00°00'34"W, ON THE EAST LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 31, A DISTANCE OF 1,329.16 FEET TO THE SOUTHWEST SIXTEENTH CORNER OF SAID SECTION 31; THENCE S00°00'3

FLYING HORSE NORTH - PHASE 2 PUD / PRELIMINARY PLAN

A PORTION OF SECTIONS 34, 35 AND 36 TOWNSHIP 11 SOUTH, RANGE 66 WEST, AND A PORTION OF SECTIONS 30 AND 31, TOWNSHIP 11 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

LEGEND

- EXISTING ZONING: PUD
- EXISTING ZONING: RR-5
- PROPOSED ZONING: PUD



HERGER, DANIEL, 11/8/2023 3:37 PM

DRAWN BY: DLH JOB DATE: 11/8/2023
 APPROVED: KMH JOB NUMBER: 211030
 CAD DATE: 11/8/2023
 CAD FILE: J:\2021\211030\CAD\Drawings\CIPUD-PP\Adjacent_Property

NO.	DATE	BY	REVISION DESCRIPTION

HR GREEN - COLORADO SPRINGS
 1975 RESEARCH PARKWAY SUITE 230
 COLORADO SPRINGS, CO 80920
 PHONE: 719.300.4140
 FAX: 719.965.0044

FLYING HORSE NORTH PHASE 2 PUD
 PRI #2, LLC.
 EL PASO COUNTY, CO

PUD PRELIMINARY PLAN
 ADJACENT PROPERTY

SHEET
 ADJ 5

FLYING HORSE NORTH - PHASE 2 PUD / PRELIMINARY PLAN

A PORTION OF SECTIONS 34, 35 AND 36 TOWNSHIP 11 SOUTH, RANGE 66 WEST, AND A PORTION OF SECTIONS 30 AND 31, TOWNSHIP 11 SOUTH,
RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

- | | | | | | | | | |
|---|--|---|---|---|--|---|---|--|
| 1. SHAMROCK SS LLC
ZONING - RR-5
15555 HWY 83
COLORADO SPRINGS, CO | 19. RUPP JERRREY D
ZONED - RR-5
5970 VESSEY ROAD
COLORADO SPRINGS, CO | 37. DERKSEN PROPERTIES LLC
ZONED - PUD
6755 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 55. NAVARETTE JEANINE A
ZONED - RR-5
6280 HODGEN ROAD
COLORADO SPRINGS, CO | 72. JOHNSON LIVING TRUST
ZONED - PUD
4841 HIGH FOREST ROAD
COLORADO SPRINGS, CO | 90. PECK MICHAEL S
ZONED - PUD
5555 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 108. HENDRICKS JAMES
ZONED - PUD
5202 GOLD RUN COURT
COLORADO SPRINGS, CO | 126. HOWARTH WILLIAM
ZONED - PUD
15290 SHORTWALL DRIVE
COLORADO SPRINGS, CO | 144. DESAUTELS BRUCE T
ZONED - PUD
4661 HIDDEN ROCK ROAD
COLORADO SPRINGS, CO |
| 2. BRI J FAMILY TRUST
ZONED - PUD
4820 FOXCHASE WAY
COLORADO SPRINGS, CO | 20. LITTLETON STANLEY
ZONED - RR-5
6010 VESSEY ROAD
COLORADO SPRINGS, CO | 38. NGUYEN LINH T
ZONED - PUD
6715 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 56. ANDREWS SCOTT W
ZONED - RR-5
HODGEN ROAD
COLORADO SPRINGS, CO | 73. RAMIREZ MELODY B
ZONED - PUD
4781 HIGH FOREST ROAD
COLORADO SPRINGS, CO | 91. RENNEN LLC
ZONED - PUD
15331 ALLEN RANCH ROAD
COLORADO SPRINGS, CO | 109. C&C LIVING TRUST
ZONED - PUD
5232 GOLD RUN COURT
COLORADO SPRINGS, CO | 127. GERBER JOSEPH DAVID
ZONED - PUD
15262 SHORTWALL DRIVE
COLORADO SPRINGS, CO | 145. HOUSE JAMIE GLEN
ZONED - PUD
15575 WINDING TRAIL ROAD
COLORADO SPRINGS, CO |
| 3. PIASECKI NANCY L REVOC TRUST
ZONED - PUD
4940 FOXCHASE WAY
COLORADO SPRINGS, CO | 21. SWANSON BRECK C
ZONED - RR-5
6030 VESSEY ROAD
COLORADO SPRINGS, CO | 39. MONACO57 LIVING TRUST
ZONED - PUD
6675 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 57. DEIM CONNIE
ZONED - RR-5
SUNDANCE RANCH LANE
COLORADO SPRINGS, CO | 74. FOWLER NORMAN W
ZONED - PUD
4670 STAGECOACH ROAD
COLORADO SPRINGS, CO | 92. BOOGAARD RYAN
ZONED - PUD
15271 ALLEN RANCH ROAD
COLORADO SPRINGS, CO | 110. ALBRIGHT MARK PHILLIP
ZONED - PUD
5262 GOLD RUN COURT
COLORADO SPRINGS, CO | 128. COFFEY LAVANSON C III
ZONED - PUD
15192 SHORTWALL DRIVE
COLORADO SPRINGS, CO | 146. MATALIUS ANDREW J III
ZONED - PUD
15525 WINDING TRAIL ROAD
COLORADO SPRINGS, CO |
| 4. BRINGARD FAMILY LICING TRUST
ZONED - PUD
14465 MILLHAVEN PLACE
COLORADO SPRINGS, CO | 22. HOOKS GROUP LP
ZONED - RR-5
6005 CONNAUGHT DRIVE
COLORADO SPRINGS, CO | 40. ST HENRYS LLC
ZONED - PUD
6595 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 58. BR&C INC
ZONED - RR-5
30-11-65
COLORADO SPRINGS, CO | 75. OLSON TYRONE L
ZONED - PUD
4760 STAGECOACH ROAD
COLORADO SPRINGS, CO | 93. ALEXANDER SCOTT E
ZONED - PUD
5395 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 111. VILIESIS TRUST
ZONED - PUD
5292 GOLD RUN COURT
COLORADO SPRINGS, CO | 129. ST AUBYN JARED
ZONED - PUD
15233 QUARTZ CREEK DRIVE
COLORADO SPRINGS, CO | 147. WATSON RANDY
ZONED - PUD
15520 WINDING TRAIL ROAD
COLORADO SPRINGS, CO |
| 5. ALLAN NEAL A
ZONED - PUD
14425 MILLHAVEN PLACE
COLORADO SPRINGS, CO | 23. MCILRATH WILLIAM F TRUSTEE
ZONED - RR-5
6010 CONNAUGHT DRIVE
COLORADO SPRINGS, CO | 41. SMITH AARON
ZONED - PUD
6590 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 59. BR&C INC
ZONED - RR-5
30-11-65
COLORADO SPRINGS, CO | 76. JONES CHRISTOPHER P
ZONED - PUD
4850 STAGECOACH ROAD
COLORADO SPRINGS, CO | 94. CLAWSON MATTHEW R
ZONED - PUD
5355 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 112. SHOPTAUGH GLENN MARK
ZONED - PUD
5261 GOLD RUN COURT
COLORADO SPRINGS, CO | 130. MOMBER SIMON R
ZONED - PUD
15232 QUARTZ CREEK DRIVE
COLORADO SPRINGS, CO | 148. MARSHALL KARLYE
ZONED - PUD
15480 BILLINGS COURT
COLORADO SPRINGS, CO |
| 6. ALEX & AUTUMM SIMPSON
ZONED - PUD
14385 MILLHAVEN PLACE
COLORADO SPRINGS, CO | 24. WAY MARGARET E
ZONED - RR-5
14820 BLACK FOREST ROAD
COLORADO SPRINGS, CO | 42. HARRIS GEORGE D
ZONED - PUD
6670 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 60. CHEROKEE METROPOLITAN DISTRICT
ZONED - RR-5
30-11-65
COLORADO SPRINGS, CO | 77. WALTERS MICHAEL A
ZONED - PUD
4910 STAGECOACH ROAD
COLORADO SPRINGS, CO | 95. PLAISTOWE NORMAN H
ZONED - PUD
5315 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 113. VILLAGREE LLC
ZONED - PUD
5231 GOLD RUN COURT
COLORADO SPRINGS, CO | 131. SHABE ERIC M
ZONED - PUD
15182 QUARTZ CREEK DRIVE
COLORADO SPRINGS, CO | 149. VANCE ERZA G
ZONED - PUD
15450 BILLINGS COURT
COLORADO SPRINGS, CO |
| 7. MAITHILI VENKATACHALLAM
ZONED - PUD
14345 MILLHAVEN PLACE
COLORADO SPRINGS, CO | 25. ABELL LIVING TRUST
ZONED - RR-5
6620 COUNTRY ESTATES LANE
COLORADO SPRINGS, CO | 43. MCCGRATH DONALD T
ZONED - PUD
6750 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 61. SUNDANCE RANCH OF BLACK FOREST
ZONED - RR-5
HODGEN ROAD
COLORADO SPRINGS, CO | 78. YOUNG MICHAEL J
ZONED - PUD
4915 STAGECOACH ROAD
COLORADO SPRINGS, CO | 96. RAMPART ENTERPRISES INC
ZONED - PUD
5235 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 114. S&J TRUST
ZONED - PUD
5201 GOLD RUN COURT
COLORADO SPRINGS, CO | 132. ZACHAR MICHAEL R
ZONED - PUD
15132 QUARTZ CREEK DRIVE
COLORADO SPRINGS, CO | 150. PRI #2 LLC
ZONED - PUD
HIGHWAY 83
COLORADO SPRINGS, CO |
| 8. DULANEY KIMBERLY L
ZONED - PUD
14325 MILLHAVEN PLACE
COLORADO SPRINGS, CO | 26. HERRON PATRICK J
ZONED - RR-5
6650 COUNTRY ESTATES LANE
COLORADO SPRINGS, CO | 44. MIKUSKA ERIC
ZONED - RR-5
15645 TERRA RIDGE CIRCLE
COLORADO SPRINGS, CO | 62. SUNDANCE RANCH OF BLACK FOREST
ZONED - RR-5
HODGEN ROAD
COLORADO SPRINGS, CO | 79. DAY GREGORY
ZONED - PUD
4955 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 97. KELLY J PHELAN TRUST
ZONED - PUD
5155 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 115. CHAVEZ XAVIER D
ZONED - PUD
5141 GOLD RUN COURT
COLORADO SPRINGS, CO | 133. HARVEY SETH A
ZONED - PUD
15032 QUARTZ CREEK DRIVE
COLORADO SPRINGS, CO | 151. MCKENZIE J THOMAS
ZONED - PUD
15420 BILLINGS COURT
COLORADO SPRINGS, CO |
| 9. SMITH PAUL R
ZONED - PUD
14265 MILLHAVEN PLACE
COLORADO SPRINGS, CO | 27. ABELL LIVING TRUST
ZONED - RR-5
6620 COUNTRY ESTATES LANE
COLORADO SPRINGS, CO | 45. GARD DIANA M
ZONED - RR-5
6835 MONTY PLACE
COLORADO SPRINGS, CO | 63. SHELL JAMES R II
ZONED - RR-5
15550 FARRAR ROAD
COLORADO SPRINGS, CO | 80. RZONCA THADDEUS
ZONED - PUD
4995 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 98. WINGO JAMES D
ZONED - PUD
5115 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 116. DALY FAMILY TRUST
ZONED - PUD
14911 LONGWALL DRIVE
COLORADO SPRINGS, CO | 134. PITTS JOHN
ZONED - PUD
4661 HIGH FOREST ROAD
COLORADO SPRINGS, CO | 152. JONE LUCAS
ZONED - PUD
15419 BILLINGS COURT
COLORADO SPRINGS, CO |
| 10. ANDERSON MATTHEW P
ZONED - PUD
5025 VESSEY ROAD
COLORADO SPRINGS, CO | 28. COPPOCK AARON O
ZONED - RR-5
6680 COUNTRY ESTATES LANE
COLORADO SPRINGS, CO | 46. FRANKOVIS JESSE J
ZONED - RR-5
6840 MONTY PLACE
COLORADO SPRINGS, CO | 64. SHELL JAMES R II
ZONED - RR-5
15550 FARRAR ROAD
COLORADO SPRINGS, CO | 81. SIDWELL DUSTIN JEFFREY
ZONED - PUD
4990 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 99. KIM MICHAEL SANG-HAK
ZONED - PUD
5075 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 117. STIMPLE FAMILY LLLP
ZONED - PUD
14842 LONGWALL DRIVE
COLORADO SPRINGS, CO | 135. LAVEZZO NICHOLAS J
ZONED - PUD
1601 HIGH FOREST ROAD
COLORADO SPRINGS, CO | 153. ROGER WILLIAM T
ZONED - PUD
15479 BILLINGS COURT
COLORADO SPRINGS, CO |
| 11. ESPENLAUB ECTON
ZONED - PUD
4985 VESSEY ROAD
COLORADO SPRINGS, CO | 29. MACEDO JUAN H LOMEIL
ZONED - RR-5
6710 COUNTRY ESTATES LANE
COLORADO SPRINGS, CO | 47. OLIVAS SOCORRO J
ZONED - RR-5
6905 ALPACA HEIGHTS
COLORADO SPRINGS, CO | 65. BREWER GEORGE F II
ZONED - PUD
15501 OPEN SKY WAY
COLORADO SPRINGS, CO | 82. SPARKS DUSTIN R
ZONED - PUD
5070 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 100. TEUSCHER KURT
ZONED - PUD
5035 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 118. CREPS DARREL E III
ZONED - PUD
14912 LONGWALL DRIVE
COLORADO SPRINGS, CO | 136. HIGH FOREST RANCH HOMEOWNERS
ZONED - PUD
4541 HIGH FOREST ROAD
COLORADO SPRINGS, CO | 154. DOMBROWSKI MICHAEL J
ZONED - PUD
3680 STAGECOACH ROAD
COLORADO SPRINGS, CO |
| 12. DILLINGHAM MICHAEL V
ZONED - RR-5
14498 HOLMES ROAD
COLORADO SPRINGS, CO | 30. SOMBRIC WAYNE S
ZONED - RR-5
6740 COUNTRY ESTATES LANE
COLORADO SPRINGS, CO | 48. HILL DOUGLAS E
ZONED - RR-5
6910 ALPACA HEIGHTS
COLORADO SPRINGS, CO | 66. MONTGOMERY MONTIE C
ZONED - PUD
15547 OPEN SKY WAY
COLORADO SPRINGS, CO | 83. SPILLERS STEVEN HOWARD
ZONED - PUD
5150 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 101. DOWNS BRADLEY JAMES
ZONED - PUD
55305 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 119. CAIN JASON
ZONED - PUD
14982 LONGWALL DRIVE
COLORADO SPRINGS, CO | 137. SALGADO PAUL R
ZONED - PUD
4415 HIDDEN ROCK ROAD
COLORADO SPRINGS, CO | 155. ROBIN SCOTT BROWN LIVING TRUST
ZONED - PUD
3590 STAGECOACH ROAD
COLORADO SPRINGS, CO |
| 13. THOMAS JOHN K
ZONED - RR-5
14490 HOLMES ROAD
COLORADO SPRINGS, CO | 31. HOPSON SEAN
ZONED - RR-5
6770 COUNTRY ESTATES LANE
COLORADO SPRINGS, CO | 49. WHITNEY CHRISTOPHER D
ZONED - RR-5
16485 BLACK FOREST ROAD
COLORADO SPRINGS, CO | 67. RANGER CANDACE S LIVING TRUST
ZONED - PUD
15593 OPEN SKY WAY
COLORADO SPRINGS, CO | 84. PECK JAMES D
ZONED - PUD
5230 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 102. KAVERMAN JOSEPH A
ZONED - PUD
5215 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 120. DICKEY MICHAEL R
ZONED - PUD
5021 GOLD RUN CT
COLORADO SPRINGS, CO | 138. JOHNSON GREGG
ZONED - PUD
4365 HIDDEN ROCK ROAD
COLORADO SPRINGS, CO | 156. JACKOWIAK RYAN
ZONED - PUD
3770 STAGECOACH ROAD
COLORADO SPRINGS, CO |
| 14. ERNST CHARLES H
ZONED - RR-5
14410 HOMES ROAD
COLORADO SPRINGS, CO | 32. MCKINLEY DAVID R
ZONED - RR-5
14920 QUAIL RUN ROAD
COLORADO SPRINGS, CO | 50. BERENS MARK E
ZONED - RR-5
6850 HODGEN ROAD
COLORADO SPRINGS, CO | 68. JANNELLE EVA ALLEN REVOCABLE TRUST
ZONED - PUD
15639 OPEN SKY WAY
COLORADO SPRINGS, CO | 85. WELLER ERICH G
ZONED - PUD
5310 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 103. PIEPER RANDALL L
ZONED - PUD
5125 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 121. LIDDIARD JEREMY
ZONED - PUD
5013 GOLD RUN CT
COLORADO SPRINGS, CO | 139. ROMANS LIVING TRUST
ZONED - PUD
4315 HIDDEN ROCK ROAD
COLORADO SPRINGS, CO | 157. BALSICK LUKE A
ZONED - PUD
3860 STAGECOACH ROAD
COLORADO SPRINGS, CO |
| 15. WAUGH JOSHUA T
ZONED - RR-5
14445 HOLMES ROAD
COLORADO SPRINGS, CO | 33. WINNINGHAM AARON JASON
ZONED - RR-5
14940 QUAIL RUN ROAD
COLORADO SPRINGS, CO | 51. MOLES JUSTIN
ZONED - RR-5
16550 BLACK FOREST ROAD
COLORADO SPRINGS, CO | 69. STUDHOLME FAMILY TRUST
ZONED - PUD
15685 OPEN SKY WAY
COLORADO SPRINGS, CO | 86. LAM TU T
ZONED - PUD
5390 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 104. SHECTER TRUST
ZONED - PUD
15291 LONGWALL DRIVE
COLORADO SPRINGS, CO | 122. MILLER SCOTT G
ZONED - PUD
5012 GOLD RUN CT
COLORADO SPRINGS, CO | 140. RYAN CHRISTOPHER J
ZONED - PUD
4265 HIDDEN ROCK ROAD
COLORADO SPRINGS, CO | 158. HIMES ELMER S
ZONED - PUD
3950 STAGECOACH ROAD
COLORADO SPRINGS, CO |
| 16. HOFFPAUIR DAN W JR
ZONED - RR-5
14495 HOMES ROAD
COLORADO SPRINGS, CO | 34. LYNDE ROBERT A
ZONED - RR-5
15015 TERRA RIDGE CIRCLE
COLORADO SPRINGS, CO | 52. MUNSON BRANDON J
ZONED - RR-5
16710 BLACK FOREST ROAD
COLORADO SPRINGS, CO | 70. MAHER FAMILY REVOC LIVING TRUST
ZONED - PUD
4961 HIGH FOREST ROAD
COLORADO SPRINGS, CO | 87. LUERS BEACH LLC
ZONED - PUD
5470 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 105. CHRISTOPHER MICHAEL MARSHALL
ZONED - PUD
15051 LONGWALL DRIVE
COLORADO SPRINGS, CO | 123. BRENNAN THOMAS LIVING TRUST
ZONED - PUD
5022 GOLD RUN CT
COLORADO SPRINGS, CO | 141. MARY CLAUDE F TRUSTEE
ZONED - PUD
4215 HIDDEN ROCK ROAD
COLORADO SPRINGS, CO | 159. OTERO THEODOAORE M III
ZONED - PUD
4040 STAGECOACH ROAD
COLORADO SPRINGS, CO |
| 17. SELF BOB J
ZONED - RR-5
5910 VESSEY ROAD
COLORADO SPRINGS, CO | 35. SPLIT PINE RANCH LIVING TRUST
ZONED - RR-5
15385 BLACK FOREST ROAD
COLORADO SPRINGS, CO | 53. MILLER ROBERT S
ZONED - RR-5
6520 HODGEN ROAD
COLORADO SPRINGS, CO | 71. STEPHENSON TRAVIS
ZONED - PUD
4901 HIGH FOREST ROAD
COLORADO SPRINGS, CO | 88. GREENWOOD TAYLOR J
ZONED - PUD
5550 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 106. BECKER JACOB J
ZONED - PUD
5142 GOLD RUN COURT
COLORADO SPRINGS, CO | 124. WINTER CHARLES C
ZONED - PUD
5082 GOLD RUN CT
COLORADO SPRINGS, CO | 142. STREVELL MICHAEL W
ZONED - PUD
4165 HIDDEN ROCK ROAD
COLORADO SPRINGS, CO | 160. HARRIS GUY MCALLISTER
ZONED - PUD
4130 STAGECOACH ROAD
COLORADO SPRINGS, CO |
| 18. JONES INGRID L
ZONED - RR-5
5940 VESSEY ROAD
COLORADO SPRINGS, CO | 36. APODACA LESLIE E
ZONED - RR-5
15380 BLACK FOREST ROAD
COLORADO SPRINGS, CO | 54. JOHN R SHANTZ & BELINDA S
ZONED - RR-5
16547 RIDGEBACK ROAD
COLORADO SPRINGS, CO | 72. JOHNSON LIVING TRUST
ZONED - PUD
4841 HIGH FOREST ROAD
COLORADO SPRINGS, CO | 89. LONG RUSSEL I
ZONED - PUD
5630 OLD STAGECOACH ROAD
COLORADO SPRINGS, CO | 107. KEV PARTNERS LTD
ZONED - PUD
5172 GOLD RUN COURT
COLORADO SPRINGS, CO | 125. THEOBARD CHARLES N
ZONED - PUD
4945 STAGECOACH ROAD
COLORADO SPRINGS, CO | 143. GOULD TODD E
ZONED - PUD
4115 HIDDEN ROCK ROAD
COLORADO SPRINGS, CO | |

COUNTY FILE NUMBER: SKP223

DRAWN BY: JAG JOB DATE: 11/3/2023
 APPROVED: PLS JOB NUMBER: 211030
 CAD DATE: 11/8/2023
 CAD FILE: J:\2021\211030\CAD\DWG\CIPUD-PP\Adjacent_Property

NO.	DATE	BY	REVISION DESCRIPTION



HR GREEN - COLORADO SPRINGS
 1975 RESEARCH PARKWAY SUITE 230
 COLORADO SPRINGS, CO 80920
 PHONE: 719.300.4140
 FAX: 713.965.0044

**FLYING HORSE NORTH PHASE 2 PUD
PRI #2, LLC.**
EL PASO COUNTY, CO

PUD PRELIMINARY PLAN
ADJACENT OWNERS

SHEET
ADJ
6

HERGER, DANIEL, 11/08/2023 3:13 PM

FLYING HORSE NORTH - PHASE 2 PUD / PRELIMINARY PLAN

A PORTION OF SECTIONS 34, 35 AND 36 TOWNSHIP 11 SOUTH, RANGE 66 WEST, AND A PORTION OF SECTIONS 30 AND 31, TOWNSHIP 11 SOUTH,
RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

<p>161. RED HORSE HILL LLC ZONED - PUD AUNDERTON GRV COLORADO SPRINGS, CO</p>	<p>179. KROEKER KARL ZONED - PUD 14510 MILLHAVEN PLACE COLORADO SPRINGS, CO</p>	<p>197. STELZEL DANIEL M ZONED - RR-5 14290 HOLMES ROAD COLORADO SPRINGS, CO</p>	<p>215. WESTOVER HOMES LLC ZONED - RR-5 6902 MARSHBERN COURT COLORADO SPRINGS, CO</p>	<p>233. SAVAGE JORDAN L ZONED - RR-5 6498 RALEIGH ROAD COLORADO SPRINGS, CO</p>	<p>251. PRIBBLE FAMILY LIVING TRUST ZONED - RR-5 4601 SECLUDED CREEK COURT COLORADO SPRINGS, CO</p>	<p>269. PAESCHKE TRACY ZONED - RR-5 4015 HIDDEN ROCK ROAD COLORADO SPRINGS, CO</p>	<p>DANIEL W LULCHUK 6790 CONNAUGHT DRIVE COLORADO SPRINGS, CO 80908</p>
<p>162. WILKINSON SUZANNE ELIZABETH ZONED - PUD 4540 FOXCHASE WAY COLORADO SPRINGS, CO</p>	<p>180. COLOSSEE PARTNERS LLLP ZONED - PUD 14470 MILLHAVEN PLACE COLORADO SPRINGS, CO</p>	<p>198. MCGOWAN PATRICK J JR ZONED - RR-5 14355 HOLMES ROAD COLORADO SPRINGS, CO</p>	<p>216. WESTOVER HOMES LLC ZONED - RR-5 6986 MARSHBERN COURT COLORADO SPRINGS, CO</p>	<p>234. CONNOLLY ANDREW ZONED - RR-5 6442 RALEIGH ROAD COLORADO SPRINGS, CO</p>	<p>252. CHAMBERS MARK L ZONED - RR-5 4782 HIGH FOREST ROAD COLORADO SPRINGS, CO</p>	<p>270. OLSEN TODD A ZONED - RR-5 3985 CANOPY COURT COLORADO SPRINGS, CO</p>	<p>ROBERT MELANSON 14725 BLACK FOREST ROAD COLORADO SPRINGS, CO 80908</p>
<p>163. JOHNSON SAM CHRISTOPHER ZONED - PUD 4580 FOXCHASE WAY COLORADO SPRINGS, CO</p>	<p>181. SEDDON JOHN TA ZONED - PUD 14390 MILLHAVEN PLACE COLORADO SPRINGS, CO</p>	<p>199. WANTY LISA M ZONED - RR-5 6060 VESSEY ROAD COLORADO SPRINGS, CO</p>	<p>217. WESTOVER HOMES LLC ZONED - RR-5 7070 MARSHBERN COURT COLORADO SPRINGS, CO</p>	<p>235. VOLK SETH K ZONED - RR-5 6386 RALEIGH ROAD COLORADO SPRINGS, CO</p>	<p>253. MURROW RICHARD C TRUST ZONED - RR-5 4722 HIGH FOREST ROAD COLORADO SPRINGS, CO</p>	<p>271. DAHILL DEVIN ZONED - RR-5 3955 CANOPY COURT COLORADO SPRINGS, CO</p>	<p>ERIC MIKUSKA 15645 TERRA RIDGE CIRCLE COLORADO SPRINGS, CO 80908</p>
<p>164. S&BT LIVING TRUST ZONED - PUD 4660 FOXCHASE WAY COLORADO SPRINGS, CO</p>	<p>182. MEDRICK JAMES G ZONED - PUD 14350 MILLHAVEN PLACE COLORADO SPRINGS, CO</p>	<p>200. HAYES MARK G ZONED - RR-5 6090 VESSEY ROAD COLORADO SPRINGS, CO</p>	<p>218. ELLSWORTH FRANK F ZONED - RR-5 15105 TERRA RIDGE CIRCLE COLORADO SPRINGS, CO</p>	<p>236. GIBB RONALD JESSE ZONED - RR-5 6387 RALEIGH ROAD COLORADO SPRINGS, CO</p>	<p>254. MOORE DAVID S ZONED - RR-5 4662 HIGH FOREST ROAD COLORADO SPRINGS, CO</p>	<p>272. CASE FAMILY REVOC LIVING TRUST ZONED - RR-5 15570 WINDING TRAIL ROAD COLORADO SPRINGS, CO</p>	<p>ANTHONY A PALAZZARI 6250 CONNAUGHT DRIVE COLORADO SPRINGS, CO 80908</p>
<p>165. CURRAN LARRY DAVID ZONED - PUD 4615 FOXCHASE WAY COLORADO SPRINGS, CO</p>	<p>183. JAIN RUPESH ZONED - PUD 14320 MILLHAVEN PLACE COLORADO SPRINGS, CO</p>	<p>201. DOLES THOMAS ALBERT ZONED - RR-5 6130 VESSEY ROAD COLORADO SPRINGS, CO</p>	<p>219. DENNIS REBECCA L ZONED - RR-5 14915 QUAIL RUN ROAD COLORADO SPRINGS, CO</p>	<p>237. SAVAGE JORDAN L ZONED - RR-5 16587 RIDGEBACK ROAD COLORADO SPRINGS, CO</p>	<p>255. CIABARRA JAIMIE K ZONED - RR-5 4602 HIGH FOREST ROAD COLORADO SPRINGS, CO</p>	<p>273. PARKER JEFFREY ZONED - RR-5 5030 VESSEY ROAD COLORADO SPRINGS, CO</p>	<p>PETER G RODAS 6305 CONNAUGHT DRIVE COLORADO SPRINGS, CO 80908</p>
<p>166. LEE MARVIN ZONED - PUD 4455 FOXCHASE WAY COLORADO SPRINGS, CO</p>	<p>184. KLAIBER LIVING TRUST ZONED - PUD 14230 MILLHAVEN PLACE COLORADO SPRINGS, CO</p>	<p>202. ELLEN KLEIN LIVING TRUST ZONED - RR-5 6180 VESSEY ROAD COLORADO SPRINGS, CO</p>	<p>220. JAMES P REEG REVOCABLE TRUST ZONED - RR-5 14935 QUAIL RUN ROAD COLORADO SPRINGS, CO</p>	<p>238. BISHOP BARBARA K ZONED - RR-5 16755 THOMPSON ROAD COLORADO SPRINGS, CO</p>	<p>256. VAN AUKEN LIVING TRUST ZONED - RR-5 4715 HIDDEN ROCK ROAD COLORADO SPRINGS, CO</p>	<p>274. TERESA L FERGUSON LIVING TRUST ZONED - RR-5 14145 MILLHAVEN PLACE COLORADO SPRINGS, CO</p>	<p>ERIC J ROWE 6670 CONNAUGHT DRIVE COLORADO SPRINGS, CO 80908</p>
<p>167. JASMIN TREMBLAY REVOCABLE TRUST ZONED - PUD 4415 FOXCHASE WAY COLORADO SPRINGS, CO</p>	<p>185. SEXTON KENNETH R ZONED - PUD 5225 VESSEY ROAD COLORADO SPRINGS, CO</p>	<p>203. BRADBURY DAVID J ZONED - RR-5 6220 VESSEY ROAD COLORADO SPRINGS, CO</p>	<p>221. FELLAR DENNIS W ZONED - RR-5 15095 TERRA RIDGE CIRCLE COLORADO SPRINGS, CO</p>	<p>239. DUNSTON MATTHEW W ZONED - RR-5 5525 HODGEN ROAD COLORADO SPRINGS, CO</p>	<p>257. BRAY THEODORE C ZONED - RR-5 4482 HIGH FOREST ROAD COLORADO SPRINGS, CO</p>	<p>275. HOLLINGSWORTH KIMBERLEY ZONED - RR-5 6625 COUNTRY ESTATES LANE COLORADO SPRINGS, CO</p>	<p>RYE LLC 16755 HAPPY LANDING MONUMENT, CO 80132</p>
<p>168. EVANS LIVING TRUST ZONED - PUD 14190 MARBLE ARCH COURT COLORADO SPRINGS, CO</p>	<p>186. POPE MARK S ZONED - PUD 5265 VESSEY ROAD COLORADO SPRINGS, CO</p>	<p>204. STEWART ANTHONY NEIL ZONED - RR-5 14450 PINE CREST DRIVE COLORADO SPRINGS, CO</p>	<p>222. HUTCHINS-VAN TASSEL LESLIE ZONED - RR-5 15090 TERRA RIDGE CIRCLE COLORADO SPRINGS, CO</p>	<p>240. LAVALLEY BRANDON DALE ZONED - RR-5 5735 HODGEN ROAD COLORADO SPRINGS, CO</p>	<p>258. CICCONE LYNDA M ZONED - RR-5 4481 HIGH FOREST ROAD COLORADO SPRINGS, CO</p>	<p>276. BURST DAVID K ZONED - RR-5 6655 COUNTRY ESTATES LANE COLORADO SPRINGS, CO</p>	<p>MARK A SLUTZ 14145 MILLHAVEN PLACE COLORADO SPRINGS, CO 80908</p>
<p>169. TAYLOR CHRISTINA MARIE ZONED - PUD 4535 FOXCHASE WAY COLORADO SPRINGS, CO</p>	<p>187. ALDER FAMILY TRUST ZONED - PUD 5345 VESSEY ROAD COLORADO SPRINGS, CO</p>	<p>205. CHAMBERS REVOCABLE TRUST ZONED - RR-5 6065 CONNAUGHT DRIVE COLORADO SPRINGS, CO</p>	<p>223. FERL DIANE F ZONED - RR-5 15010 TERRA RIDGE CIRCLE COLORADO SPRINGS, CO</p>	<p>241. STEARNS KRYSTAL ZONED - RR-5 HODGEN ROAD COLORADO SPRINGS, CO</p>	<p>259. CICCONE LYNDA M ZONED - RR-5 4481 HIGH FOREST ROAD COLORADO SPRINGS, CO</p>	<p>277. PIRTLE CYNTHIA K ZONED - RR-5 6685 COUNTRY ESTATES LANE COLORADO SPRINGS, CO</p>	<p>JEFFREY B SMITH 13925 HIGHWAY 83 COLORADO SPRINGS, CO 80921</p>
<p>170. LUTHY ROBERT EDWARD ZONED - PUD 14250 FARNHAM ROYAL COURT COLORADO SPRINGS, CO</p>	<p>188. LNB FAMILY TRUST ZONED - PUD 5270 VESSEY ROAD COLORADO SPRINGS, CO</p>	<p>206. CARTER THOMAS J ZONED - RR-5 6125 CONNAUGHT DRIVE COLORADO SPRINGS, CO</p>	<p>224. CHAFFEE GREGORY B ZONED - RR-5 15650 TERRA RIDGE CIRCLE COLORADO SPRINGS, CO</p>	<p>242. STEARNS KRYSTAL ZONED - RR-5 FARRAR DRIVE COLORADO SPRINGS, CO</p>	<p>260. STONESTREET JOHN B ZONED - RR-5 4515 HIDDEN ROCK ROAD COLORADO SPRINGS, CO</p>	<p>278. TWOMBLY MARCI ZONED - RR-5 6715 COUNTRY ESTATES LANE COLORADO SPRINGS, CO</p>	<p>BART W TIMM 14695 BLACK FOREST ROAD COLORADO SPRINGS, CO 80908</p>
<p>171. BEHNKEN CHAD L ZONED - PUD 4735 FOXCHASE WAY COLORADO SPRINGS, CO</p>	<p>189. RAYMOND CHARLES DENT JR. ZONED - PUD 5230 VESSEY ROAD COLORADO SPRINGS, CO</p>	<p>207. MOREAU WILLIAM J ZONED - RR-5 6185 CONNAUGHT DRIVE COLORADO SPRINGS, CO3</p>	<p>225. PETERSON JEFFREY L ZONED - RR-5 15610 TERRA RIDGE CIRCLE COLORADO SPRINGS, CO</p>	<p>243. HARVEY TINA MARIE ZONED - RR-5 15975 FARRAR DRIVE COLORADO SPRINGS, CO</p>	<p>261. OLIVIAS RAYMOND B ZONED - RR-5 4301 HIGH FOREST ROAD COLORADO SPRINGS, CO</p>	<p>279. SUMPTER JUSTIN MICHAEL ZONED - RR-5 15605 TERRA RIDGE CIRCLE COLORADO SPRINGS, CO</p>	<p>MAYNARD MARCI L TWOMBLY 6745 COUNTRY ESTATES LANE COLORADO SPRINGS, CO 80908</p>
<p>172. SWARTHOUT ANDREW T ZONED - PUD 4740 FOXCHASE WAY COLORADO SPRINGS, CO</p>	<p>190. KOSZEWNIK JOHN JOSEPH ZONED - PUD 5190 VESSEY ROAD COLORADO SPRINGS, CO</p>	<p>208. MOREAU WILLIAM J ZONED - RR-5 6245 CONNAUGHT DRIVE COLORADO SPRINGS, CO</p>	<p>226. MCLELLAN CHRISTOPHER S ZONED - RR-5 15570 TERRA RIDGE CIRCLE COLORADO SPRINGS, CO</p>	<p>244. HARVEY CAROLYN C ZONED - RR-5 15502 OPEN SKY WAY COLORADO SPRINGS, CO</p>	<p>262. SUTHERLAND STEPHEN ARTHUR ZONED - RR-5 4460 HIDDEN ROCK ROAD COLORADO SPRINGS, CO</p>	<p>280. DAVIS MARK K ZONED - RR-5 15565 TERRA RIDGE CIRCLE COLORADO SPRINGS, CO</p>	<p>KEVIN J VIDER 6365 CONNAUGHT DRIVE COLORADO SPRINGS, CO 80908</p>
<p>173. ERLING BRIAN F ZONED - PUD 4780 FOXCHASE WAY COLORADO SPRINGS, CO</p>	<p>191. ENEA STEVEN A ZONED - PUD 14150 MILLHAVEN PLACE COLORADO SPRINGS, CO</p>	<p>209. RODAS PETER G ZONED - RR-5 6305 CONNAUGHT DRIVE COLORADO SPRINGS, CO</p>	<p>227. BARR RHONDA LYN ZONED - RR-5 6915 MONTY PLACE COLORADO SPRINGS, CO</p>	<p>245. ROEHRICH DN FAMILY TRUST ZONED - RR-5 15548 OPEN SKY WAY COLORADO SPRINGS, CO</p>	<p>263. WEBER CHARLES L ZONED - RR-5 4360 HIDDEN ROCK ROAD COLORADO SPRINGS, CO</p>	<p>SCOTT W ANDREWS PO BOX 158 USAF ACADEMY, CO 80840</p>	<p>CHRISTOPHER A BOWMAN 6425 CONNAUGHT DRIVE COLORADO SPRINGS, CO 80908</p>
<p>174. ARORA PRATHEEP ZONED - PUD 14285 FARNHAM ROYAL COURT COLORADO SPRINGS, CO</p>	<p>192. KARL C & DAWN M FINDLEY ZONED - PUD 5070 VESSEY ROAD COLORADO SPRINGS, CO</p>	<p>210. DAWSON FAMILY TRUST ZONED - RR-5 6070 CONNAUGHT DRIVE COLORADO SPRINGS, CO</p>	<p>228. KHALIQI DAVID H ZONED - RR-5 6985 MONTY PLACE COLORADO SPRINGS, CO</p>	<p>246. JAMES F BREGGIO LIVING TRUST ZONED - RR-5 15594 OPEN SKY WAY COLORADO SPRINGS, CO</p>	<p>264. NELSON NORMAN D ZONED - RR-5 4260 HIDDEN ROCK ROAD COLORADO SPRINGS, CO</p>	<p>GREGORY B CHAFFEE 15650 TERRA RIDGE CIRCLE COLORADO SPRINGS, CO 80908</p>	<p>AARON O COPPOCK 6680 COUNTRY ESTATES LANE COLORADO SPRINGS, CO 80908</p>
<p>175. ROSENBAUM DAVID A REVOC TRUST ZONED - PUD 14585 MILLHAVEN PLACE COLORADO SPRINGS, CO</p>	<p>193. MURPHY ROBERT C JR ZONED - PUD 5065 VESSEY ROAD COLORADO SPRINGS, CO</p>	<p>211. PALAZZARI ANTHONY A ZONED - RR-5 6250 CONNAUGHT DRIVE COLORADO SPRINGS, CO</p>	<p>229. ANDREWS TODD ZONED - RR-5 6990 MONTY PLACE COLORADO SPRINGS, CO</p>	<p>247. CARPER CHRISTOPHER ZONED - RR-5 15686 OPEN SKY WAY COLORADO SPRINGS, CO</p>	<p>265. JOHNSON TRACIE LIVING TRUST ZONED - RR-5 4210 HIDDEN ROCK ROAD COLORADO SPRINGS, CO</p>	<p>DERKSEN PROPERTIES LLC 5491 PADDINGTON CREEK COLORADO SPRINGS, CO 80924</p>	<p>JOHN R AND BELINDA SHANTZ 2651 19TH AVE KINGSBURG, CA 93631</p>
<p>176. KELLY LIVING TRUST ZONED - PUD 4975 FOXCHASE WAY COLORADO SPRINGS, CO</p>	<p>194. HAWKINS JOSEPH C JR ZONED - RR-5 14450 HOLMES ROAD COLORADO SPRINGS, CO</p>	<p>212. TRUMP CAROLYN D ZONED - RR-5 6370 CONNAUGHT DRIVE COLORADO SPRINGS, CO</p>	<p>230. LEVY JOEL D ZONED - RR-5 6950 MONTY PLACE COLORADO SPRINGS, CO</p>	<p>248. COYLE JOHN MORGAN LIVING TRUST ZONED - RR-5 15778 OPEN SKY WAY COLORADO SPRINGS, CO</p>	<p>266. BREWER STEVEN W ZONED - RR-5 4160 HIDDEN ROCK ROAD COLORADO SPRINGS, CO</p>	<p>FRANZ CHRISTOPHER A ZONED - RR-5 4010 HIDDEN ROCK ROAD COLORADO SPRINGS, CO</p>	<p>FRANZ CHRISTOPHER A ZONED - RR-5 4010 HIDDEN ROCK ROAD COLORADO SPRINGS, CO</p>
<p>177. FLEMING FAMILY LIVING TRUST ZONED - PUD 14505 MILLHAVEN PLACE COLORADO SPRINGS, CO</p>	<p>195. KRISTY MICHAEL H ZONED - RR-5 14350 HOLMES ROAD COLORADO SPRINGS, CO</p>	<p>213. CORBETT NORMAN ZONED - RR-5 6745 COUNTY ESTATES LANE COLORADO SPRINGS, CO</p>	<p>231. SANCHEZ LAISSA ZONED - RR-5 6925 ALPACA HEIGHTS COLORADO SPRINGS, CO</p>	<p>249. JONES CHARLES D ZONED - RR-5 4781 SECLUDED CREEK COURT COLORADO SPRINGS, CO</p>	<p>267. WOGEN BRYAN ZONED - RR-5 4110 HIDDEN ROCK ROAD COLORADO SPRINGS, CO</p>	<p>FRANZ CHRISTOPHER A ZONED - RR-5 4010 HIDDEN ROCK ROAD COLORADO SPRINGS, CO</p>	<p>FRANZ CHRISTOPHER A ZONED - RR-5 4010 HIDDEN ROCK ROAD COLORADO SPRINGS, CO</p>
<p>178. LONGHORNS 07 TURST ZONED - PUD 14550 MILLHAVEN PLACE COLORADO SPRINGS, CO</p>	<p>196. GARLICK JEFFREY ZONED - RR-5 14320 HOLMES ROAD COLORADO SPRINGS, CO</p>	<p>214. BAHR JACOB ZONED - RR-5 6818 MARSHBERN COURT COLORADO SPRINGS, CO</p>	<p>232. ENGET AARON ZONED - RR-5 6950 HODGEN ROAD COLORADO SPRINGS, CO</p>	<p>250. SELVA MICHAEL D ZONED - RR-5 4691 SECLUDED CREEK COURT COLORADO SPRINGS, CO</p>	<p>268. FRANZ CHRISTOPHER A ZONED - RR-5 4010 HIDDEN ROCK ROAD COLORADO SPRINGS, CO</p>	<p>FRANZ CHRISTOPHER A ZONED - RR-5 4010 HIDDEN ROCK ROAD COLORADO SPRINGS, CO</p>	<p>FRANZ CHRISTOPHER A ZONED - RR-5 4010 HIDDEN ROCK ROAD COLORADO SPRINGS, CO</p>

COUNTY FILE NUMBER: SKP223

DRAWN BY: JAG JOB DATE: 11/3/2023
 APPROVED: PLS JOB NUMBER: 211030
 CAD DATE: 11/8/2023
 CAD FILE: J:\2021\211030\CAD\DWG\CIPUD-PP\Adjacent_Property

BAR IS ONE INCH ON OFFICIAL DRAWINGS.
 IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.

NO.	DATE	BY	REVISION DESCRIPTION

HR GREEN - COLORADO SPRINGS
 1975 RESEARCH PARKWAY SUITE 230
 COLORADO SPRINGS, CO 80920
 PHONE: 719.300.4140
 FAX: 713.965.0044

**FLYING HORSE NORTH PHASE 2 PUD
PRI #2, LLC.**
 EL PASO COUNTY, CO

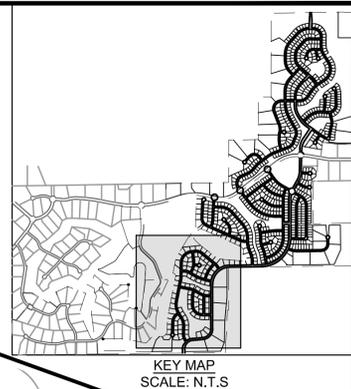
PUD PRELIMINARY PLAN
 ADJACENT OWNERS

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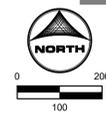
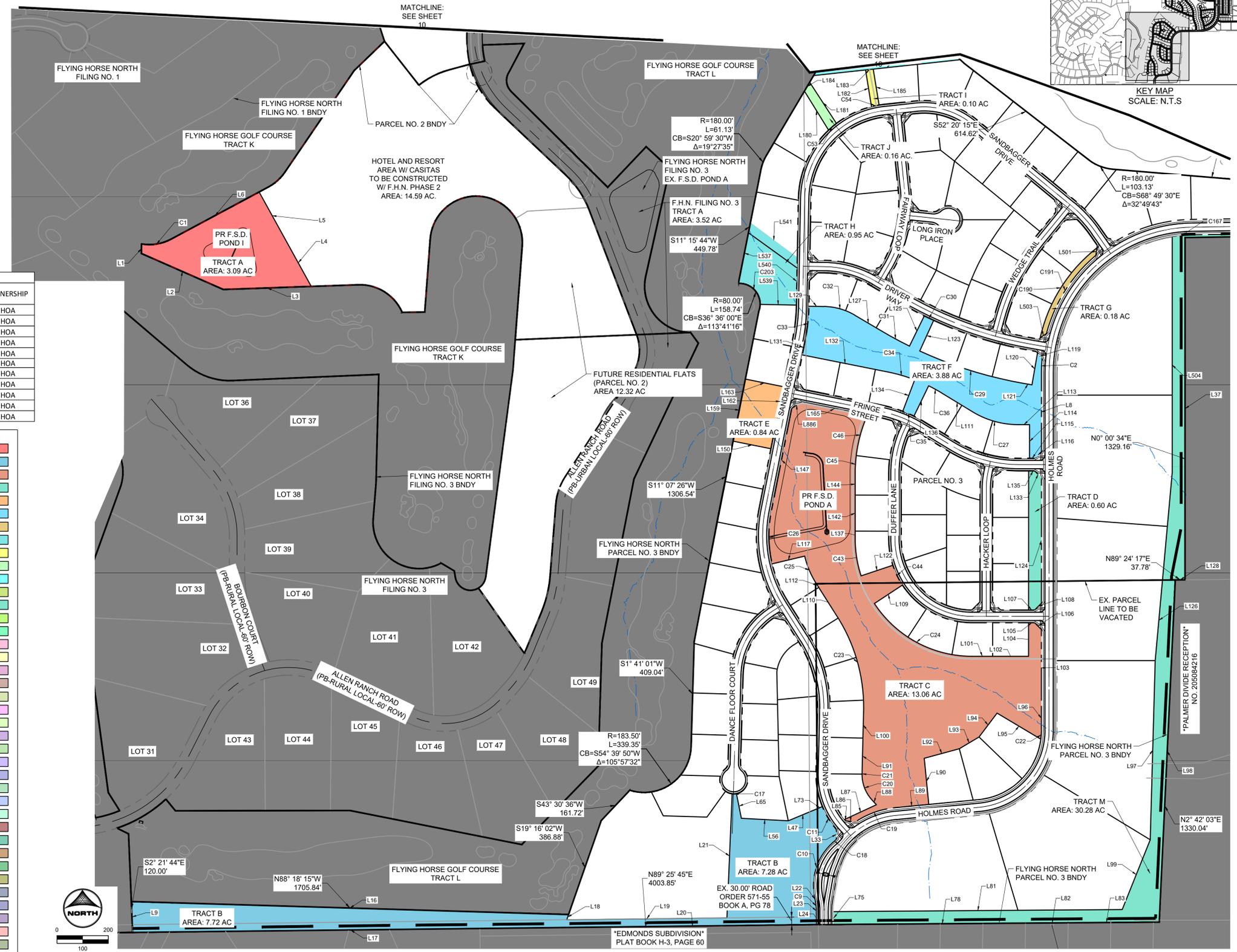
FLYING HORSE NORTH - PHASE 2 PUD / PRELIMINARY PLAN

A PORTION OF SECTIONS 34, 35 AND 36 TOWNSHIP 11 SOUTH,
RANGE 66 WEST, AND A PORTION OF SECTIONS 30 AND 31, TOWNSHIP 11 SOUTH,
RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO



FLYING HORSE NORTH FILING 4 - TRACT TABLE										
TRACT NAME	AREA (SF)	AREA (AC)	PUBLIC IMPROVEMENTS	PUBLIC UTILITIES	PRIVATE DRAINAGE	LANDSCAPING	PARK	SIGNAGE	MAINTENANCE	OWNERSHIP
A	134,600	3.09			X	X		X	HOA	HOA
B	317,117	7.28	X	X	X				HOA	HOA
C	568,894	13.06	X		X	X			HOA	HOA
D	26,136	0.60			X	X			HOA	HOA
E	36,590	0.84	X		X	X	X	X	HOA	HOA
F	169,013	3.88			X	X		X	HOA	HOA
G	7,841	0.18			X	X			HOA	HOA
H	41,382	0.95			X	X	X	X	HOA	HOA
I	4,356	0.10			X	X	X	X	HOA	HOA
J	6,970	0.16		X	X	X	X	X	HOA	HOA
M	1,318,997	30.28	X	X	X	X	X	X	HOA	HOA

TRACT LEGEND	
TRACT A	[Color Swatch]
TRACT B	[Color Swatch]
TRACT C	[Color Swatch]
TRACT D	[Color Swatch]
TRACT E	[Color Swatch]
TRACT F	[Color Swatch]
TRACT G	[Color Swatch]
TRACT H	[Color Swatch]
TRACT I	[Color Swatch]
TRACT J	[Color Swatch]
TRACT K	[Color Swatch]
TRACT L	[Color Swatch]
TRACT M	[Color Swatch]
TRACT N	[Color Swatch]
TRACT O	[Color Swatch]
TRACT P	[Color Swatch]
TRACT Q	[Color Swatch]
TRACT R	[Color Swatch]
TRACT S	[Color Swatch]
TRACT T	[Color Swatch]
TRACT U	[Color Swatch]
TRACT V	[Color Swatch]
TRACT W	[Color Swatch]
TRACT X	[Color Swatch]
TRACT Y	[Color Swatch]
TRACT Z	[Color Swatch]
TRACT AA	[Color Swatch]
TRACT BB	[Color Swatch]
TRACT CC	[Color Swatch]
TRACT DD	[Color Swatch]
TRACT EE	[Color Swatch]
TRACT FF	[Color Swatch]
TRACT GG	[Color Swatch]
TRACT HH	[Color Swatch]
TRACT II	[Color Swatch]
TRACT JJ	[Color Swatch]
TRACT KK	[Color Swatch]
TRACT LL	[Color Swatch]
TRACT MM	[Color Swatch]
TRACT NN	[Color Swatch]
NOT WITHIN SCOPE OF PUD	[Color Swatch]



DRAWN BY: DLH JOB DATE: 11/8/23 BAR IS ONE INCH ON OFFICIAL DRAWINGS.
 APPROVED: KMH JOB NUMBER: 211030 0"=1" IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.
 CAD DATE: 11/8/2023
 CAD FILE: J:\2021\211030\CAD\Drawings\CIPUD-PP1\Tract_Plan

NO.	DATE	BY	REVISION DESCRIPTION

HRGreen
 HR GREEN - COLORADO SPRINGS
 1975 RESEARCH PARKWAY SUITE 230
 COLORADO SPRINGS, CO 80920
 PHONE: 719.300.4140
 FAX: 713.965.0044

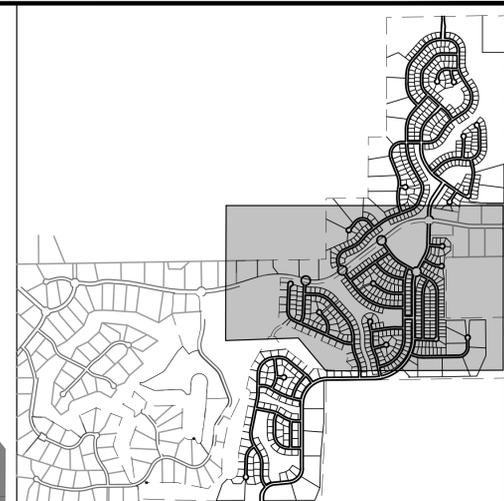
FLYING HORSE NORTH PHASE 2 PUD
 PRI #2, LLC.
 EL PASO COUNTY, CO

PUD PRELIMINARY PLAN
 TRACT PLAN

SHEET
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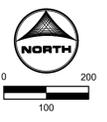
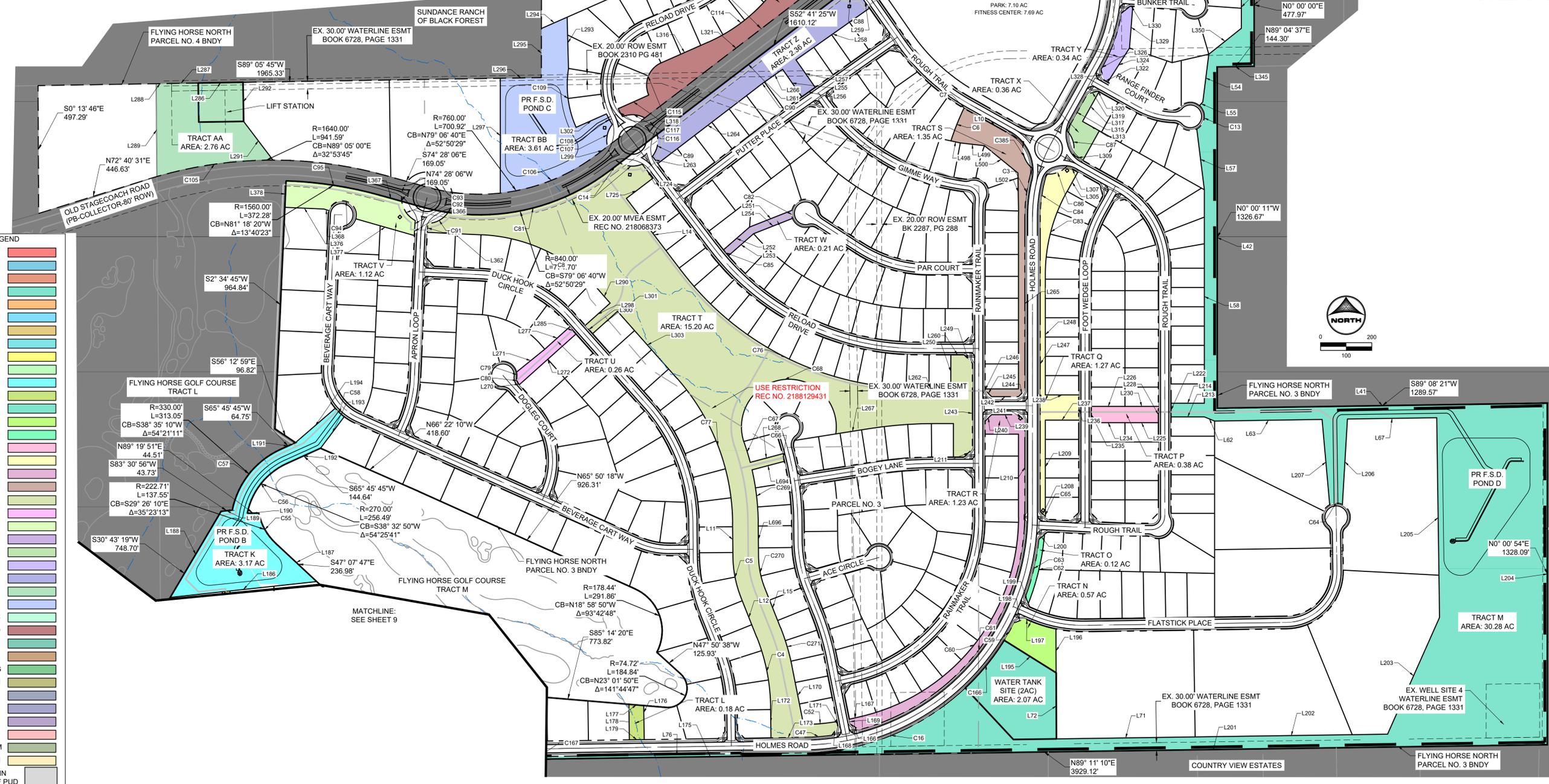
FLYING HORSE NORTH - PHASE 2 PUD / PRELIMINARY PLAN

A PORTION OF SECTIONS 34, 35 AND 36 TOWNSHIP 11 SOUTH,
RANGE 66 WEST, AND A PORTION OF SECTIONS 30 AND 31, TOWNSHIP 11 SOUTH,
RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO



FLYING HORSE NORTH FILING 4 - TRACT TABLE										
TRACT NAME	AREA (SF)	AREA (AC)	PUBLIC IMPROVEMENTS	PUBLIC UTILITIES	PRIVATE DRAINAGE	LANDSCAPING	PARK	SIGNAGE	MAINTENANCE	OWNERSHIP
K	138,085	3.17			X	X		X		HOA
L	7,841	0.18		X	X	X				HOA
M	1,318,997	30.28	X	X	X	X		X		HOA
N	24,829	0.57	X			X				HOA
O	5,227	0.12				X				HOA
P	16,553	0.38		X	X	X				HOA
Q	55,321	1.27		X	X	X		X		HOA
R	53,579	1.23				X				HOA
S	58,806	1.35			X	X				HOA
T	662,112	15.20		X	X	X		X		HOA
U	11,326	0.26		X	X			X		HOA
V	48,787	1.12		X	X	X		X		HOA
W	458,575	10.51		X	X	X		X		HOA
X	15,682	0.36				X				HOA
Y	14,810	0.34				X				HOA
Z	102,802	2.36				X				HOA
AA	120,226	2.76	X	X	X	X		X		HOA
BB	157,252	3.61			X	X		X		HOA
CC	139,392	3.20			X	X		X		HOA
DD	457,816	10.51		X	X	X		X		HOA

TRACT	AREA
TRACT A	AREA: 0.12 AC
TRACT B	AREA: 0.18 AC
TRACT C	AREA: 0.26 AC
TRACT D	AREA: 0.34 AC
TRACT E	AREA: 0.36 AC
TRACT F	AREA: 0.38 AC
TRACT G	AREA: 0.42 AC
TRACT H	AREA: 0.46 AC
TRACT I	AREA: 0.50 AC
TRACT J	AREA: 0.54 AC
TRACT K	AREA: 0.58 AC
TRACT L	AREA: 0.62 AC
TRACT M	AREA: 0.66 AC
TRACT N	AREA: 0.70 AC
TRACT O	AREA: 0.74 AC
TRACT P	AREA: 0.78 AC
TRACT Q	AREA: 0.82 AC
TRACT R	AREA: 0.86 AC
TRACT S	AREA: 0.90 AC
TRACT T	AREA: 0.94 AC
TRACT U	AREA: 0.98 AC
TRACT V	AREA: 1.02 AC
TRACT W	AREA: 1.06 AC
TRACT X	AREA: 1.10 AC
TRACT Y	AREA: 1.14 AC
TRACT Z	AREA: 1.18 AC
TRACT AA	AREA: 1.22 AC
TRACT BB	AREA: 1.26 AC
TRACT CC	AREA: 1.30 AC
TRACT DD	AREA: 1.34 AC
TRACT EE	AREA: 1.38 AC
TRACT FF	AREA: 1.42 AC
TRACT GG	AREA: 1.46 AC
TRACT HH	AREA: 1.50 AC
TRACT II	AREA: 1.54 AC
TRACT JJ	AREA: 1.58 AC
TRACT KK	AREA: 1.62 AC
TRACT LL	AREA: 1.66 AC
TRACT MM	AREA: 1.70 AC
TRACT NN	AREA: 1.74 AC
NOT WITHIN SCOPE OF PUD	



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 APPROVED: KMH JOB NUMBER: 211030
 CAD DATE: 11/8/2023
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NO.	DATE	BY	REVISION DESCRIPTION

HRGreen
 HR GREEN - COLORADO SPRINGS
 1975 RESEARCH PARKWAY SUITE 230
 COLORADO SPRINGS, CO 80920
 PHONE: 719.300.4140
 FAX: 719.965.0044

FLYING HORSE NORTH PHASE 2 PUD
 PRI #2, LLC.
 EL PASO COUNTY, CO

PUD PRELIMINARY PLAN
 TRACT PLAN

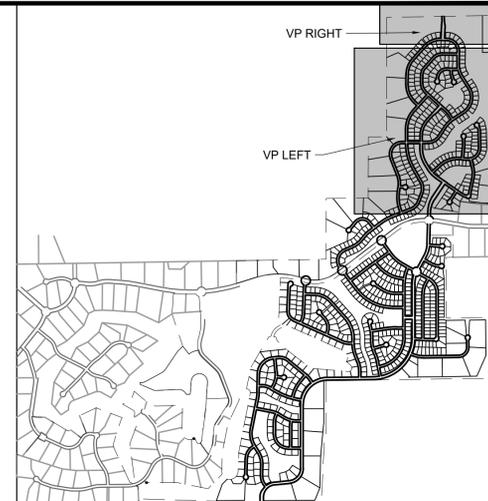
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FLYING HORSE NORTH - PHASE 2 PUD / PRELIMINARY PLAN

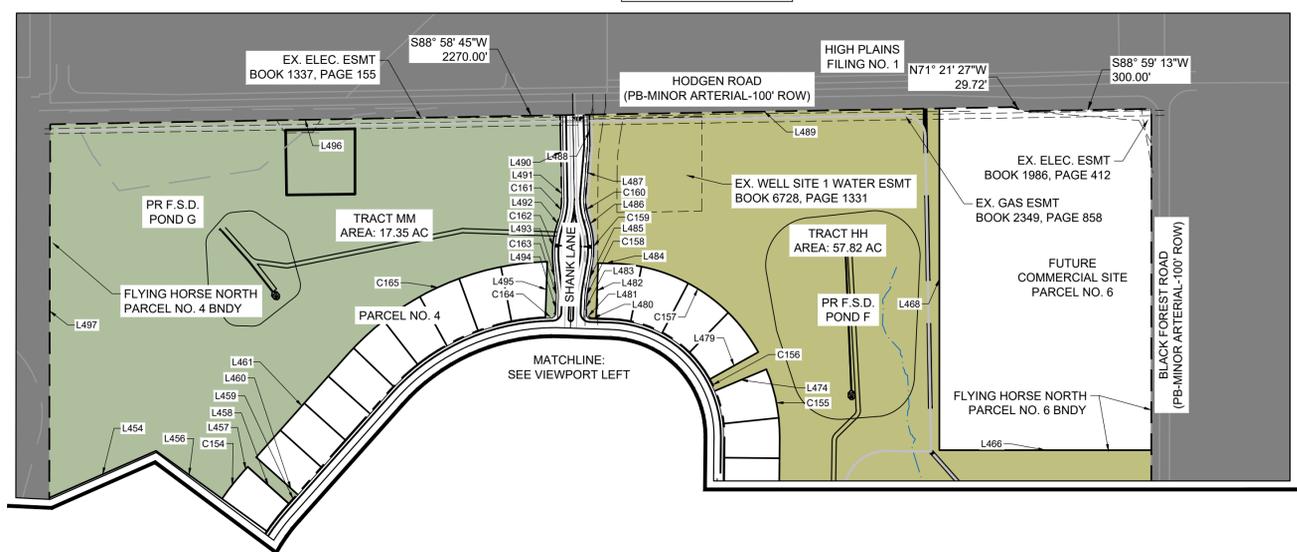
A PORTION OF SECTIONS 34, 35 AND 36 TOWNSHIP 11 SOUTH,
RANGE 66 WEST, AND A PORTION OF SECTIONS 30 AND 31, TOWNSHIP 11 SOUTH,
RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

TRACT LEGEND

TRACT A	[Red]
TRACT B	[Orange]
TRACT C	[Yellow-Orange]
TRACT D	[Yellow]
TRACT E	[Light Green]
TRACT F	[Green]
TRACT G	[Light Blue]
TRACT H	[Blue]
TRACT I	[Light Blue-Gray]
TRACT J	[Light Green-Gray]
TRACT K	[Light Blue-Gray]
TRACT L	[Light Green-Gray]
TRACT M	[Light Blue-Gray]
TRACT N	[Light Green-Gray]
TRACT O	[Light Blue-Gray]
TRACT P	[Light Green-Gray]
TRACT Q	[Light Blue-Gray]
TRACT R	[Light Green-Gray]
TRACT S	[Light Blue-Gray]
TRACT T	[Light Green-Gray]
TRACT U	[Light Blue-Gray]
TRACT V	[Light Green-Gray]
TRACT W	[Light Blue-Gray]
TRACT X	[Light Green-Gray]
TRACT Y	[Light Blue-Gray]
TRACT Z	[Light Green-Gray]
TRACT AA	[Light Blue-Gray]
TRACT BB	[Light Green-Gray]
TRACT CC	[Light Blue-Gray]
TRACT DD	[Light Green-Gray]
TRACT EE	[Light Blue-Gray]
TRACT FF	[Light Green-Gray]
TRACT GG	[Light Blue-Gray]
TRACT HH	[Light Green-Gray]
TRACT II	[Light Blue-Gray]
TRACT JJ	[Light Green-Gray]
TRACT KK	[Light Blue-Gray]
TRACT LL	[Light Green-Gray]
TRACT MM	[Light Blue-Gray]
TRACT NN	[Light Green-Gray]
NOT WITHIN SCOPE OF PUD	[White]

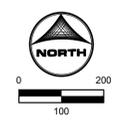


KEY MAP
SCALE: N.T.S



FLYING HORSE NORTH FILING 4 - TRACT TABLE

TRACT NAME	AREA (SF)	AREA (AC)	PUBLIC IMPROVEMENTS	PUBLIC UTILITIES	PRIVATE DRAINAGE	LANDSCAPING	PARK	SIGNAGE	MAINTENANCE	OWNERSHIP
DD	458,575	10.51		X	X	X		X	HOA	HOA
EE	60,113	1.38			X	X		X	HOA	HOA
FF	16,988	0.39			X	X		X	HOA	HOA
GG	220,452	5.04			X	X		X	HOA	HOA
HH	2,517,588	57.82		X	X	X		X	HOA	HOA
II	6,970	0.16			X	X		X	HOA	HOA
JJ	13,077	0.30			X	X		X	HOA	HOA
KK	12,197	0.28	X		X	X		X	HOA	HOA
LL	12,197	0.28			X	X		X	HOA	HOA
MM	755,766	17.35		X	X	X		X	HOA	HOA



DRAWN BY: DLH JOB DATE: 11/8/23
 APPROVED: KMH JOB NUMBER: 211030
 CAD DATE: 11/8/2023
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BAR IS ONE INCH ON OFFICIAL DRAWINGS.
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NO.	DATE	BY	REVISION DESCRIPTION

HRGreen
 HR GREEN - COLORADO SPRINGS
 1975 RESEARCH PARKWAY SUITE 230
 COLORADO SPRINGS, CO 80920
 PHONE: 719.300.4140
 FAX: 713.965.0044

FLYING HORSE NORTH PHASE 2 PUD
 PRI #2, LLC.
 EL PASO COUNTY, CO

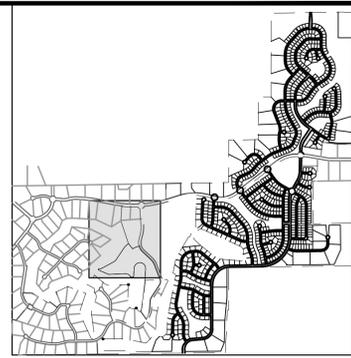
PUD PRELIMINARY PLAN
 TRACT PLAN

SHEET
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 11

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FLYING HORSE NORTH - PHASE 2 PUD / PRELIMINARY PLAN

A PORTION OF SECTIONS 34, 35 AND 36 TOWNSHIP 11 SOUTH,
RANGE 66 WEST, AND A PORTION OF SECTIONS 30 AND 31, TOWNSHIP 11 SOUTH,
RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

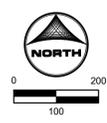


KEY MAP
SCALE: N.T.S

FLYING HORSE NORTH FILING 4 - TRACT TABLE										
TRACT NAME	AREA (SF)	AREA (AC)	PUBLIC IMPROVEMENTS	PUBLIC UTILITIES	PRIVATE DRAINAGE	LANDSCAPING	PARK	SIGNAGE	MAINTENANCE	OWNERSHIP
NN	45,302	1.04			X	X		X	HOA	HOA
A	134,600	3.09			X	X		X	HOA	HOA



TRACT LEGEND	
TRACT A	[Red]
TRACT B	[Light Blue]
TRACT C	[Light Green]
TRACT D	[Light Yellow]
TRACT E	[Light Orange]
TRACT F	[Light Purple]
TRACT G	[Light Cyan]
TRACT H	[Light Blue-Green]
TRACT I	[Light Yellow-Green]
TRACT J	[Light Green]
TRACT K	[Light Cyan]
TRACT L	[Light Green]
TRACT M	[Light Green]
TRACT N	[Light Green]
TRACT O	[Light Green]
TRACT P	[Light Green]
TRACT Q	[Light Green]
TRACT R	[Light Green]
TRACT S	[Light Green]
TRACT T	[Light Green]
TRACT U	[Light Green]
TRACT V	[Light Green]
TRACT W	[Light Green]
TRACT X	[Light Green]
TRACT Y	[Light Green]
TRACT Z	[Light Green]
TRACT AA	[Light Green]
TRACT BB	[Light Green]
TRACT CC	[Light Green]
TRACT DD	[Light Green]
TRACT EE	[Light Green]
TRACT FF	[Light Green]
TRACT GG	[Light Green]
TRACT HH	[Light Green]
TRACT II	[Light Green]
TRACT JJ	[Light Green]
TRACT KK	[Light Green]
TRACT LL	[Light Green]
TRACT MM	[Light Green]
TRACT NN	[Light Green]
NOT WITHIN SCOPE OF PUD	[Grey]



MATCHLINE:
SEE SHEET 9

DRAWN BY: DLH	JOB DATE: 11/8/23	BAR IS ONE INCH ON OFFICIAL DRAWINGS.
APPROVED: KMH	JOB NUMBER: 211030	0" = 1"
CAD DATE: 11/8/2023		IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.
CAD FILE: J:\2021\211030\CAD\DWG\CIPUD-PP\Tract_Plan		

NO.	DATE	BY	REVISION DESCRIPTION

HR GREEN - COLORADO SPRINGS
1975 RESEARCH PARKWAY SUITE 230
COLORADO SPRINGS, CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

FLYING HORSE NORTH PHASE 2 PUD
PRI #2, LLC.
EL PASO COUNTY, CO

PUD PRELIMINARY PLAN
TRACT PLAN

TRACT CURVE TABLE					
CURVE TAG #	LENGTH (FT)	RADIUS (FT)	DELTA	CHORD BEARING	CHORD LENGTH
C1	118.78	180.00	37°48'36"	S80° 50' 50"W	116.64
C2	52.22	595.00	5°01'42"	N2° 31' 30"E	52.20
C3	191.56	630.00	17°25'17"	N8° 42' 30"E	190.82
C4	276.27	755.00	20°57'55"	N11° 18' 00"W	274.73
C5	165.16	445.00	21°15'55"	N11° 09' 00"W	164.22
C6	136.32	965.00	8°05'37"	S21° 52' 10"W	136.20
C7	8.22	825.00	0°34'14"	N60° 32' 00"W	8.22
C8	522.64	655.00	45°43'05"	N64° 33' 40"W	508.89
C9	32.91	177.50	10°37'19"	N5° 47' 10"W	32.86
C10	231.23	222.50	59°32'34"	N18° 40' 30"E	220.96
C11	104.88	325.00	18°29'24"	N31° 48' 30"W	104.43
C13	107.21	55.00	111°40'51"	S6° 36' 30"W	91.02
C14	90.66	100.00	51°56'40"	S86° 51' 40"E	87.59
C16	688.18	930.00	42°23'52"	S67° 59' 00"W	672.59
C17	17.30	55.00	18°01'33"	S87° 50' 40"W	17.23
C18	19.47	177.50	6°17'10"	N48° 01' 40"E	19.46
C19	163.78	330.00	28°26'12"	N70° 14' 20"E	162.11
C20	109.44	145.00	43°14'36"	S21° 02' 40"E	106.86
C21	2.14	145.00	0°50'48"	S1° 00' 00"W	2.14
C22	34.72	270.00	7°22'05"	N3° 40' 30"E	34.70
C23	387.00	655.00	33°51'11"	S15° 30' 10"E	381.40
C24	449.78	455.00	56°38'20"	N61° 40' 20"W	431.69
C25	115.22	345.00	19°08'09"	S22° 51' 40"E	114.69
C26	203.66	475.00	24°33'57"	S1° 00' 40"E	202.10
C27	187.58	345.00	31°09'06"	S74° 24' 50"E	185.28
C29	426.80	1655.00	14°46'33"	N72° 45' 30"W	425.62
C30	40.59	1525.00	1°31'29"	N64° 36' 30"W	40.58
C31	122.53	1655.00	4°14'32"	N61° 43' 30"W	122.51
C32	125.38	245.00	29°19'14"	N74° 15' 50"W	124.01
C33	134.17	775.00	9°55'10"	S6° 18' 40"W	134.01
C34	109.80	655.00	9°36'17"	S73° 55' 30"E	109.67
C35	47.47	525.00	5°10'49"	S66° 32' 00"E	47.45
C36	58.35	655.00	5°06'16"	S61° 23' 30"E	58.33
C43	145.12	455.00	18°16'28"	N9° 07' 40"W	144.51
C44	85.58	325.00	15°05'12"	N25° 48' 30"W	85.33
C45	67.69	555.00	6°59'15"	N3° 30' 10"E	67.64
C46	163.33	555.00	16°51'42"	N15° 25' 40"E	162.74
C47	103.93	870.00	6°50'40"	S85° 45' 40"W	103.87
C52	130.93	823.62	9°06'30"	N85° 01' 40"E	130.79
C53	40.02	375.00	6°06'52"	N49° 46' 10"E	40.00
C54	30.03	375.00	4°35'19"	N78° 29' 10"E	30.02
C55	137.55	222.71	35°23'13"	N29° 26' 10"W	135.37
C56	256.49	270.00	54°25'41"	N38° 32' 50"E	246.95
C57	313.05	330.00	54°21'11"	S38° 35' 10"W	301.44
C58	48.11	225.00	12°15'00"	N46° 51' 00"W	48.01
C59	77.46	930.00	4°46'21"	S29° 34' 40"W	77.44
C60	1068.07	794.00	77°04'22"	N38° 32' 00"E	989.34
C61	1140.30	870.00	75°05'49"	S37° 32' 40"W	1060.41
C62	276.09	950.00	16°39'05"	N13° 15' 00"E	275.12
C63	228.56	930.00	14°04'52"	S13° 15' 00"W	227.98

TRACT CURVE TABLE					
CURVE TAG #	LENGTH (FT)	RADIUS (FT)	DELTA	CHORD BEARING	CHORD LENGTH
C64	51.79	55.00	53°57'15"	N89° 14' 50"E	49.90
C65	11.94	950.00	0°43'13"	N0° 21' 30"E	11.94
C66	30.00	1085.00	1°35'04"	S13° 56' 40"E	30.00
C67	85.14	955.00	5°06'28"	S17° 17' 20"E	85.11
C68	666.45	185.00	206°24'12"	S85° 21' 10"W	360.22
C76	1061.15	1155.00	52°38'25"	S63° 37' 50"E	1024.22
C77	614.60	855.00	41°11'10"	N21° 06' 30"W	601.46
C79	20.53	55.00	21°23'14"	S2° 43' 00"E	20.41
C80	26.01	30.00	49°40'47"	S16° 51' 50"E	25.21
C81	669.89	840.00	45°41'34"	N75° 32' 10"E	652.28
C82	31.84	55.00	33°09'51"	N4° 19' 50"W	31.39
C83	333.63	655.00	29°11'03"	N14° 35' 20"E	330.04
C84	168.76	570.00	16°57'49"	S8° 28' 40"W	168.15
C85	30.00	975.00	1°45'48"	S40° 06' 20"E	30.00
C86	88.28	100.00	50°34'57"	S68° 57' 00"W	85.44
C87	102.13	100.00	58°30'52"	S14° 33' 10"E	97.75
C88	86.62	100.00	49°37'47"	N85° 42' 10"W	83.94
C89	90.66	100.00	51°56'40"	S12° 14' 30"W	87.59
C90	45.99	1155.00	2°16'54"	N53° 49' 50"E	45.99
C91	92.88	100.00	53°12'55"	N61° 44' 00"E	89.58
C92	24.90	325.00	4°23'21"	N4° 46' 30"E	24.89
C93	94.99	100.00	54°25'32"	N35° 18' 00"W	91.46
C94	171.09	55.00	178°14'02"	S73° 12' 50"E	109.99
C95	372.28	1560.00	13°40'23"	N81° 18' 20"W	371.39
C96	272.23	625.00	24°57'23"	N43° 08' 20"W	270.08
C97	70.56	575.00	7°01'52"	S52° 06' 10"E	70.52
C99	99.98	525.00	10°54'39"	N7° 16' 20"W	99.82
C100	139.32	475.00	16°48'19"	N4° 19' 30"W	138.82
C102	78.90	405.00	11°09'43"	N89° 52' 30"W	78.77
C105	459.56	1640.00	16°03'19"	N81° 57' 30"E	458.05
C106	413.05	760.00	31°08'22"	N68° 15' 40"E	407.99
C107	91.24	100.00	52°16'44"	N12° 24' 30"E	88.11
C108	46.84	275.00	9°45'36"	N28° 45' 20"W	46.79
C109	234.20	405.00	33°08'00"	N7° 18' 30"W	230.96
C110	381.55	455.00	48°02'48"	S44° 55' 20"W	370.47
C111	82.33	845.00	5°34'56"	S66° 09' 20"W	82.29
C112	183.10	975.00	10°45'36"	S57° 59' 00"W	182.83
C113	31.49	145.00	12°26'33"	S46° 23' 00"W	31.43
C114	298.93	655.00	26°08'56"	S53° 14' 10"W	296.35
C115	149.53	95.00	90°11'06"	S21° 13' 10"W	134.57
C116	35.43	225.00	9°01'23"	S28° 23' 10"E	35.40
C117	89.97	100.00	51°32'58"	S86° 39' 50"E	86.97
C118	231.86	100.00	132°50'37"	N52° 41' 20"E	183.30
C119	703.92	1040.00	38°46'50"	N72° 04' 50"E	690.56
C120	85.01	100.00	48°42'32"	N49° 24' 10"E	82.48
C121	333.70	585.00	32°41'00"	N17° 33' 30"E	329.20
C122	503.40	405.15	71°11'28"	N34° 19' 40"E	471.64
C123	64.76	60.00	61°50'27"	S79° 39' 40"E	61.66
C125	37.13	455.00	4°40'31"	S27° 01' 10"E	37.12
C126	80.28	325.00	14°09'08"	S17° 36' 20"E	80.07

TRACT CURVE TABLE					
CURVE TAG #	LENGTH (FT)	RADIUS (FT)	DELTA	CHORD BEARING	CHORD LENGTH
C127	249.58	455.00	31°25'41"	S5° 11' 10"W	246.46
C128	182.97	1025.00	10°13'39"	N57° 43' 10"E	182.73
C129	307.93	355.00	49°41'55"	S63° 06' 30"E	298.37
C130	82.89	275.00	17°16'09"	N12° 51' 50"W	82.57
C131	23.36	60.00	22°18'11"	S59° 53' 30"E	23.21
C132	47.35	525.00	5°10'05"	S68° 27' 30"E	47.34
C133	29.16	55.00	30°22'21"	S2° 49' 40"W	28.82
C134	65.87	575.00	6°33'48"	N33° 56' 40"W	65.83
C135	304.91	575.00	30°22'58"	N15° 28' 10"W	301.35
C136	158.63	525.00	17°18'43"	S25° 14' 30"W	158.03
C137	377.55	445.00	48°36'42"	S71° 24' 00"W	366.33
C138	331.42	625.00	30°22'58"	N15° 28' 10"W	327.56
C139	428.82	845.00	29°04'36"	S14° 49' 00"E	424.24
C140	439.31	455.00	55°19'10"	N60° 33' 40"E	422.44
C141	517.60	755.00	39°16'47"	S66° 44' 00"W	507.52
C142	26.01	30.00	49°40'47"	S25° 44' 50"E	25.21
C143	127.15	445.00	16°22'16"	N41° 05' 10"E	126.72
C144	121.58	55.00	126°39'18"	S12° 44' 20"W	98.29
C145	72.22	575.00	7°11'46"	N52° 52' 10"E	72.17
C147	172.38	185.00	53°23'17"	N40° 32' 10"W	166.21
C148	67.57	55.00	70°23'33"	S52° 47' 40"W	63.40
C149	49.99	555.00	5°09'40"	N53° 53' 10"E	49.98
C150	81.18	425.00	10°56'39"	N45° 50' 00"E	81.06
C152	9.74	145.83	3°49'36"	N50° 26' 40"E	9.74
C153	704.76	555.00	72°45'23"	N3° 59' 00"E	658.35
C154	81.62	655.00	7°08'22"	S38° 14' 40"W	81.57
C155	164.74	405.00	23°18'20"	N11° 07' 20"W	163.60
C156	30.01	275.00	6°15'13"	N25° 54' 00"W	30.00
C157	416.64	405.00	58°56'34"	N58° 30' 00"W	398.51
C158	28.22	177.50	9°06'30"	N6° 35' 00"E	28.19
C159	90.79	222.50	23°22'50"	N1° 28' 40"W	90.17
C160	51.11	176.93	16°33'01"	N9° 24' 50"W	50.93
C161	52.34	177.53	16°53'36"	S8° 22' 00"W	52.15
C162	89.34	222.50	23°00'19"	S5° 18' 40"W	88.74
C163	25.47	177.50	8°13'17"	S2° 04' 50"E	25.45
C164	23.54	525.00	2°34'07"	S88° 56' 30"W	23.53
C165	534.02	655.00	46°42'47"	S65° 10' 10"W	519.35
C166	240.48	993.67	13°51'59"	S39° 22' 30"W	239.90
C167	77.65	535.00	8°18'57"	S85° 01' 30"W	77.58
C181	143.43	655.00	12°32'46"	S41° 45' 00"E	143.14
C182	379.98	245.00	88°51'42"	N12° 02' 10"E	343.02
C183	67.24	55.00	70°02'54"	S65° 17' 40"W	63.13
C190	421.66	615.00	39°16'59"	S32° 22' 20"W	413.44
C191	365.67	595.00	35°12'43"	N32° 22' 20"E	359.94
C203	131.98	80.00	94°31'34"	S46° 10' 50"E	117.52
C269	207.00	955.00	12°25'09"	S6° 43' 30"E	206.59
C270	128.05	345.00	21°15'55"	S11° 09' 00"E	127.31
C271	156.66	855.00	10°29'54"	S16° 32' 00"E	156.44
C378	288.13	3540.74	4°39'45"	S86° 20' 50"E	288.05
C385	114.20	100.00	65°25'58"	N18° 00' 50"W	108.10

DRAWN BY: DLH JOB DATE: 11/8/23
 APPROVED: KMH JOB NUMBER: 211030
 CAD DATE: 11/8/2023
 CAD FILE: J:\2021\211030\CAD\DWG\CIPUD-PP\Tract_Plan

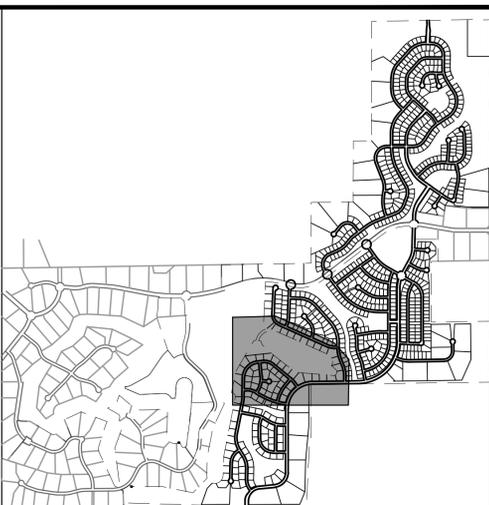
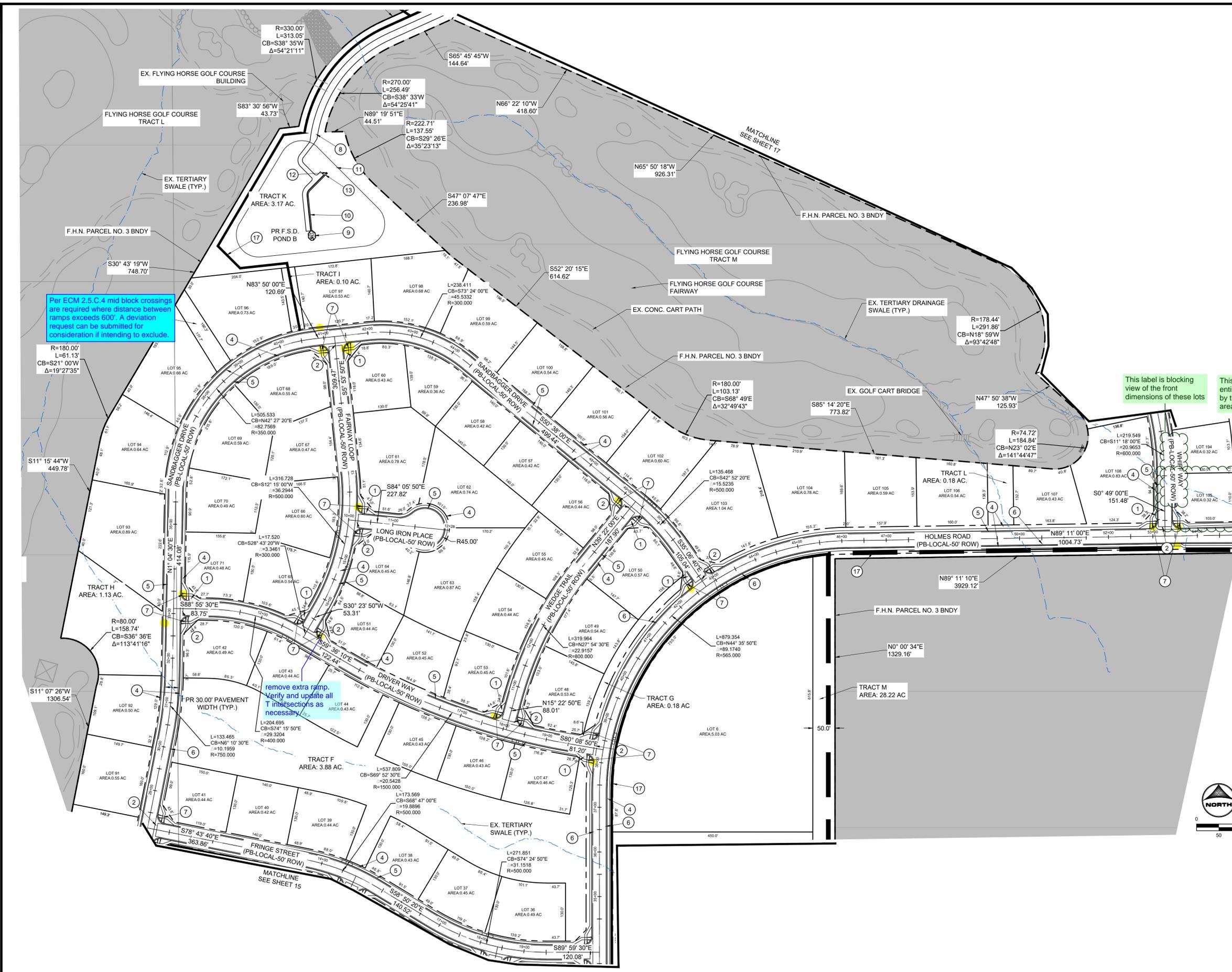
BAR IS ONE INCH ON OFFICIAL DRAWINGS.
 IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.

NO.	DATE	BY	REVISION DESCRIPTION

HRGreen HR GREEN - COLORADO SPRINGS
 1975 RESEARCH PARKWAY SUITE 230
 COLORADO SPRINGS, CO 80920
 PHONE: 719.300.4140
 FAX: 713.965.0044

FLYING HORSE NORTH PHASE 2 PUD
 PRI #2, LLC.
 EL PASO COUNTY, CO

PUD PRELIMINARY PLAN
 TRACT CURVE TABLE



Per ECM 2.5.C.4 mid block crossings are required where distance between ramps exceeds 600'. A deviation request can be submitted for consideration if intending to exclude.

This label is blocking view of the front dimensions of these lots

This lot is almost entirely encumbered by the seasonally wet area

remove extra ramp. Verify and update all T intersections as necessary.

KEY MAP
SCALE: N.T.S.

LINWORK LEGEND

- MATCH LINE
- PR PROPERTY LINE
- EX PROPERTY LINE
- PR EASEMENT LINE
- EX EASEMENT LINE
- PR RIGHT OF WAY
- EX RIGHT OF WAY
- PR LOT LINE
- EX LOT LINE
- EX SWALE
- PR SWALE
- PR ACCESS TRAIL
- PR REGIONAL TRAIL
- PR CURB & GUTTER
- EX CURB & GUTTER
- PR SIDEWALK
- PR CONCRETE
- PR RIP-RAP
- PR POND RIM
- PR INDEX CONTOUR
- EX INDEX CONTOUR
- PR INTER. CONTOUR
- EX INTER. CONTOUR
- NOT WITHIN SCOPE OF PUD

- NOTES:**
- SEE SHEET 3 FOR TYPICAL STREET SECTIONS AND TYPICAL LOT LAYOUTS.
 - SEE TRACT DETAILS ON SHEETS 9 - 11.

SITE SCHEDULE

- PR 30" R1-1 STOP SIGN W. STREET NAME SIGNS
- PR 6" CONCRETE CROSS PAN
- PR 8" CONCRETE CROSS PAN
- PR 5" CONCRETE SIDEWALK
- PR EPC TYPE C MOUNTABLE CURB & GUTTER
- PR EPC TYPE A VERTICAL CURB & GUTTER
- PR CONCRETE CURB RAMP
- PR 15' MAINTENANCE ACCESS ROAD 6" MIN. OF GRAVEL SHALL MEET MATERIAL SPECIFICATIONS PRESENTED ON TABLE D-7 IN THE EPC ECM.
- PR CONCRETE FOREBAY (PRIVATE)
- PR CONCRETE TRICKLE CHANNEL (PRIVATE)
- PR EMERGENCY SPILLWAY WITH EMBANKMENT PROTECTION (RIP-RAP)
- PR CONCRETE OUTLET STRUCTURE (PRIVATE)
- PR MICRO-POOL
- PR ENTRY SIGN (SEE LANDSCAPE PLANS)
- PR MODULAR BLOCK WALL
- PR CONCRETE MID-BLOCK CURB RAMP
- PR 10' WIDE ACCESS TRAIL

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APPROVED: KMH	JOB NUMBER: 211030	0" = 1"
CAD DATE: 11/8/2023		IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.
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NO.	DATE	BY	REVISION DESCRIPTION

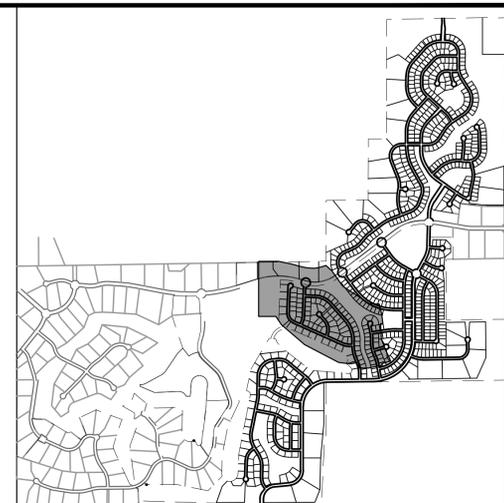
HRGreen
 HR GREEN - COLORADO SPRINGS
 1975 RESEARCH PARKWAY SUITE 230
 COLORADO SPRINGS, CO 80920
 PHONE: 719.300.4140
 FAX: 713.965.0044

FLYING HORSE NORTH PHASE 2 PUD
PRI #2, LLC.
 EL PASO COUNTY, CO

PUD PRELIMINARY PLAN
 SITE PLAN 03

SHEET
SP

16



KEY MAP SCALE: N.T.S

LINWORK LEGEND

MATCH LINE	---
PR PROPERTY LINE	---
EX PROPERTY LINE	---
PR EASEMENT LINE	---
EX EASEMENT LINE	---
PR RIGHT OF WAY	---
EX RIGHT OF WAY	---
PR LOT LINE	---
EX LOT LINE	---
EX SWALE	---
PR SWALE	---
PR ACCESS TRAIL	---
PR REGIONAL TRAIL	---
PR CURB & GUTTER	---
EX CURB & GUTTER	---
PR SIDEWALK	---
PR CONCRETE	---
PR RIP-RAP	---
PR POND RIM	---
PR INDEX CONTOUR	---
EX INDEX CONTOUR	---
PR INTER. CONTOUR	---
EX INTER. CONTOUR	---
NOT WITHIN SCOPE OF PUD	---

- NOTES:
- SEE SHEET 3 FOR TYPICAL STREET SECTIONS AND TYPICAL LOT LAYOUTS.
 - SEE TRACT DETAILS ON SHEETS 9 - 11.

SITE SCHEDULE

- PR 30" R1-1 STOP SIGN W. STREET NAME SIGNS
- PR 6" CONCRETE CROSS PAN
- PR 8" CONCRETE CROSS PAN
- PR 5" CONCRETE SIDEWALK
- PR EPC TYPE C MOUNTABLE CURB & GUTTER
- PR EPC TYPE A VERTICAL CURB & GUTTER
- PR CONCRETE CURB RAMP
- PR 15' MAINTENANCE ACCESS ROAD 6" MIN. OF GRAVEL SHALL MEET MATERIAL SPECIFICATIONS PRESENTED ON TABLE D-7 IN THE EPC EOM.
- PR CONCRETE FOREBAY (PRIVATE)
- PR CONCRETE TRICKLE CHANNEL (PRIVATE)
- PR EMERGENCY SPILLWAY WITH EMBANKMENT PROTECTION (RIP-RAP)
- PR CONCRETE OUTLET STRUCTURE (PRIVATE)
- PR MICRO-POOL
- PR ENTRY SIGN (SEE LANDSCAPE PLANS)
- PR MODULAR BLOCK WALLS
- PR CONCRETE MID-BLOCK CURB RAMP
- PR 10' WIDE ACCESS TRAIL

Per ECM 2.5.C.4 mid block crossings are required where distance between ramps exceeds 600'. A deviation request can be submitted for consideration if intending to exclude.

Rounabout analysis required. Provide details of each rounabout

USE RESTRICTION REC. NO. 2188129431

Unclear if this is the same Lot 194 depicted on Sheet 16.

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APPROVED: KMH	JOB NUMBER: 211030	0" = 1"
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CAD FILE: J:\2021\211030\CAD\DWG\CIPUD-PP\Site_Plan		

NO.	DATE	BY	REVISION DESCRIPTION

HRGreen

HR GREEN - COLORADO SPRINGS
1975 RESEARCH PARKWAY SUITE 230
COLORADO SPRINGS, CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

FLYING HORSE NORTH PHASE 2 PUD
PRI #2, LLC.
EL PASO COUNTY, CO

PUD PRELIMINARY PLAN
SITE PLAN 04

SHEET
SP
17

This should say Sheet 19

Per ECM 2.5.C.4 mid block crossings are required where distance between ramps exceeds 600'. A deviation request can be submitted for consideration if intending to exclude.

Identify curb return radius of 25' per ECM table 2-31 at all local/collector intersections

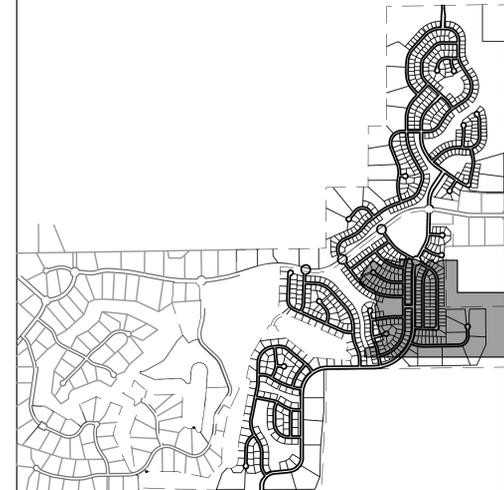
label as residential collector

deviation required for length of the cul-de-sac (max 750' for urban conditions)

LINEWORK LEGEND

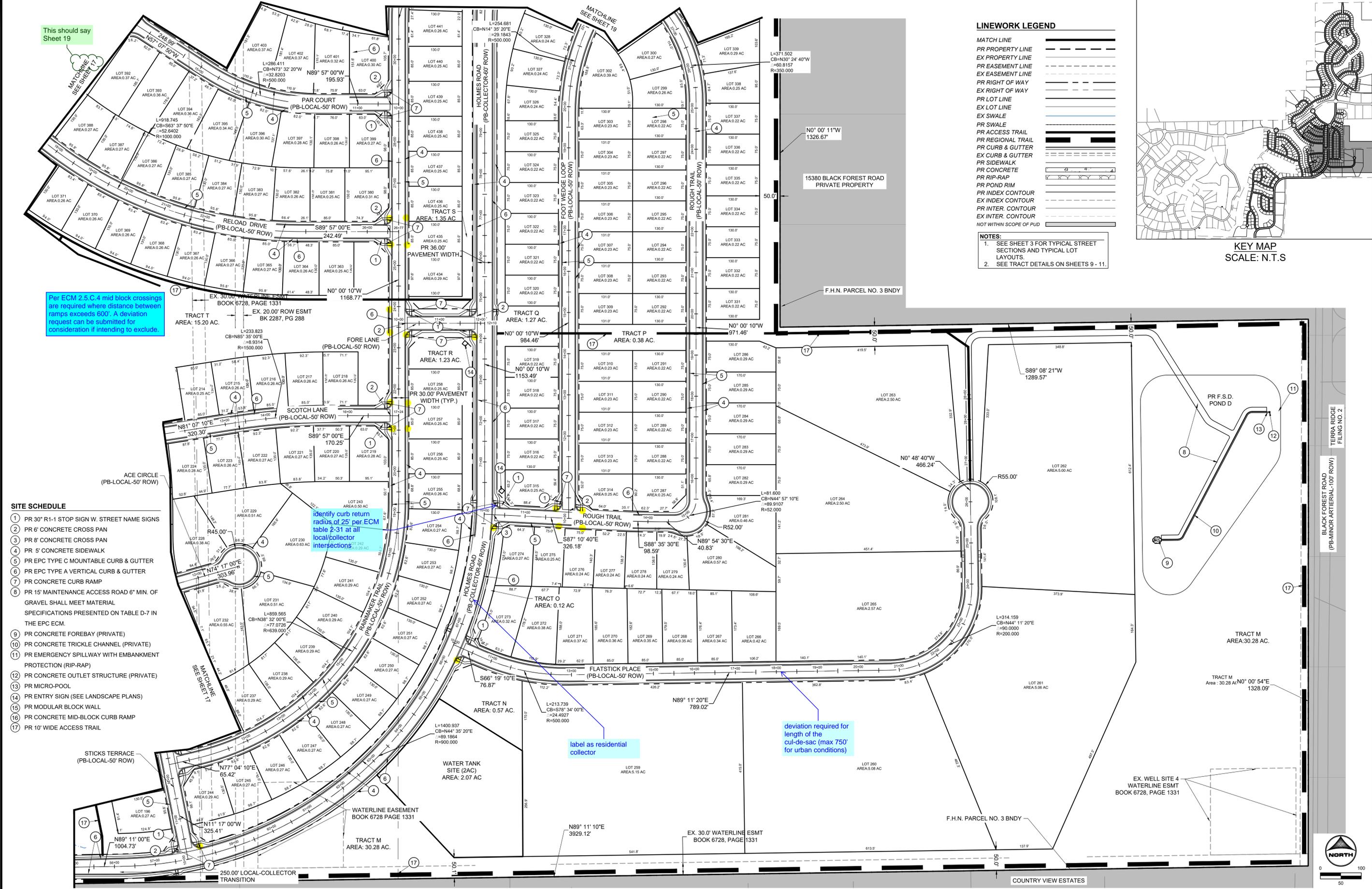
- MATCH LINE
PR PROPERTY LINE
EX PROPERTY LINE
PR EASEMENT LINE
EX EASEMENT LINE
PR RIGHT OF WAY
EX RIGHT OF WAY
PR LOT LINE
EX LOT LINE
EX SWALE
PR SWALE
PR ACCESS TRAIL
PR REGIONAL TRAIL
PR CURB & GUTTER
EX CURB & GUTTER
PR SIDEWALK
PR CONCRETE
PR RIP-RAP
PR POND RIM
PR INDEX CONTOUR
EX INDEX CONTOUR
PR INTER. CONTOUR
EX INTER. CONTOUR
NOT WITHIN SCOPE OF PUD

- NOTES:
1. SEE SHEET 3 FOR TYPICAL STREET SECTIONS AND TYPICAL LOT LAYOUTS.
2. SEE TRACT DETAILS ON SHEETS 9 - 11.



SITE SCHEDULE

- 1 PR 30" R1-1 STOP SIGN W. STREET NAME SIGNS
2 PR 6" CONCRETE CROSS PAN
3 PR 8" CONCRETE CROSS PAN
4 PR 5" CONCRETE SIDEWALK
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11 PR EMERGENCY SPILLWAY WITH EMBANKMENT PROTECTION (RIP-RAP)
12 PR CONCRETE OUTLET STRUCTURE (PRIVATE)
13 PR MICRO-POOL
14 PR ENTRY SIGN (SEE LANDSCAPE PLANS)
15 PR MODULAR BLOCK WALL
16 PR CONCRETE MID-BLOCK CURB RAMP
17 PR 10' WIDE ACCESS TRAIL



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APPROVED: KMH JOB NUMBER: 211030
CAD DATE: 11/8/2023
CAD FILE: J:\2021\211030\CAD\DWG\CIPUD-PPS_Site_Plan.dwg

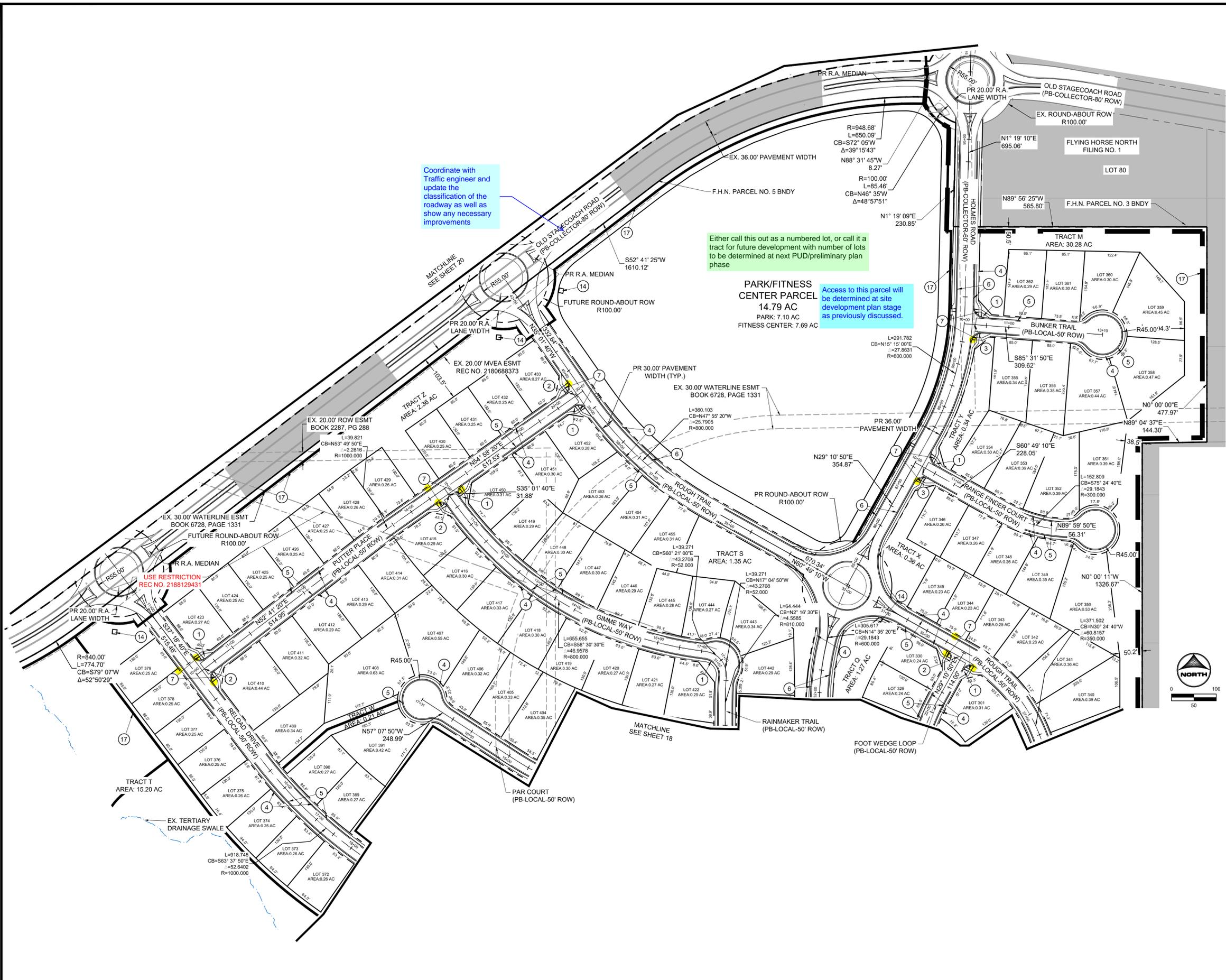
Table with columns: NO., DATE, BY, REVISION DESCRIPTION

HRGreen logo and contact information: HR GREEN - COLORADO SPRINGS, 1975 RESEARCH PARKWAY SUITE 230, COLORADO SPRINGS, CO 80920

FLYING HORSE NORTH PHASE 2 PUD
PRI #2, LLC.
EL PASO COUNTY, CO

PUD PRELIMINARY PLAN
SITE PLAN 05

SHEET SP 18

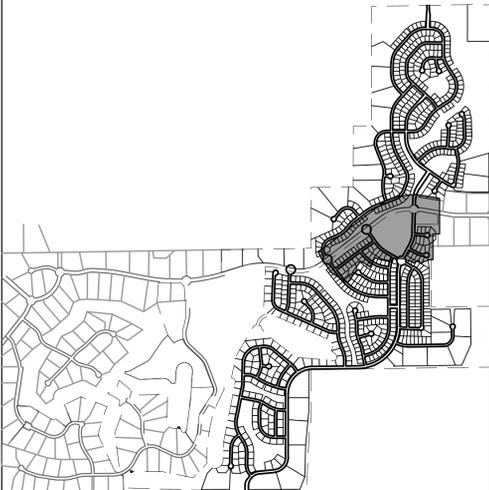


Coordinate with Traffic engineer and update the classification of the roadway as well as show any necessary improvements

Either call this out as a numbered lot, or call it a tract for future development with number of lots to be determined at next PUD/preliminary plan phase

Access to this parcel will be determined at site development plan stage as previously discussed.

USE RESTRICTION REC NO. 2188129431



KEY MAP SCALE: N.T.S

LINWORK LEGEND

- MATCH LINE
- PR PROPERTY LINE
- EX PROPERTY LINE
- PR EASEMENT LINE
- EX EASEMENT LINE
- PR RIGHT OF WAY
- EX RIGHT OF WAY
- PR LOT LINE
- EX LOT LINE
- EX SWALE
- PR SWALE
- PR ACCESS TRAIL
- PR REGIONAL TRAIL
- PR CURB & GUTTER
- EX CURB & GUTTER
- PR SIDEWALK
- PR CONCRETE
- PR RIP-RAP
- PR POND RIM
- PR INDEX CONTOUR
- EX INDEX CONTOUR
- PR INTER. CONTOUR
- EX INTER. CONTOUR
- NOT WITHIN SCOPE OF PUD

- NOTES:
1. SEE SHEET 3 FOR TYPICAL STREET SECTIONS AND TYPICAL LOT LAYOUTS.
 2. SEE TRACT DETAILS ON SHEETS 9 - 11.

SITE SCHEDULE

- 1 PR 30" R1-1 STOP SIGN W. STREET NAME SIGNS
- 2 PR 6" CONCRETE CROSS PAN
- 3 PR 8" CONCRETE CROSS PAN
- 4 PR 5" CONCRETE SIDEWALK
- 5 PR EPC TYPE C MOUNTABLE CURB & GUTTER
- 6 PR EPC TYPE A VERTICAL CURB & GUTTER
- 7 PR CONCRETE CURB RAMP
- 8 PR 15' MAINTENANCE ACCESS ROAD 6" MIN. OF GRAVEL SHALL MEET MATERIAL SPECIFICATIONS PRESENTED ON TABLE D-7 IN THE EPC ECM.
- 9 PR CONCRETE FOREBAY (PRIVATE)
- 10 PR CONCRETE TRICKLE CHANNEL (PRIVATE)
- 11 PR EMERGENCY SPILLWAY WITH EMBANKMENT PROTECTION (RIP-RAP)
- 12 PR CONCRETE OUTLET STRUCTURE (PRIVATE)
- 13 PR MICRO-POOL
- 14 PR ENTRY SIGN (SEE LANDSCAPE PLANS)
- 15 PR MODULAR BLOCK WALL
- 16 PR CONCRETE MID-BLOCK CURB RAMP
- 17 PR 10' WIDE ACCESS TRAIL

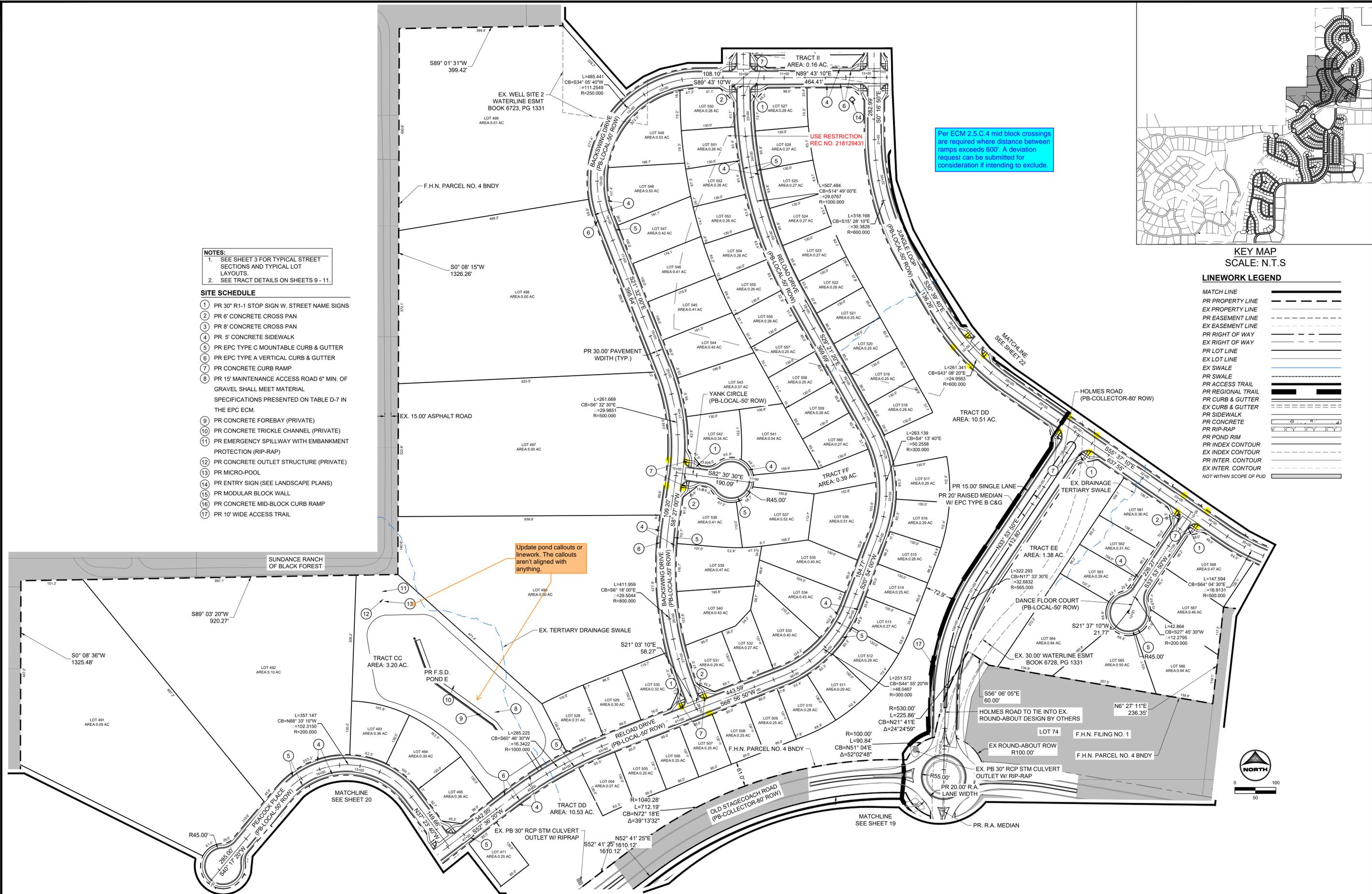
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 APPROVED: KMH JOB NUMBER: 211030
 CAD DATE: 11/8/2023
 CAD FILE: J:\2021\211030\CAD\DWG\CIPUD\PPISite_Plan

NO.	DATE	BY	REVISION DESCRIPTION

HR GREEN - COLORADO SPRINGS
 1975 RESEARCH PARKWAY SUITE 230
 COLORADO SPRINGS, CO 80920
 PHONE: 719.300.4140
 FAX: 713.965.0044

FLYING HORSE NORTH PHASE 2 PUD
 PRI #2, LLC.
 EL PASO COUNTY, CO

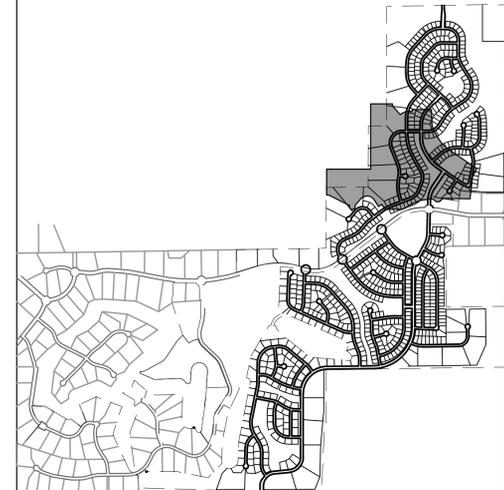
PUD PRELIMINARY PLAN
 SITE PLAN 06



NOTES:
 1. SEE SHEET 3 FOR TYPICAL STREET SECTIONS AND TYPICAL LOT LAYOUTS.
 2. SEE TRACT DETAILS ON SHEETS 9 - 11.

- SITE SCHEDULE**
- 1 PR 30" R1-1 STOP SIGN W. STREET NAME SIGNS
 - 2 PR 6" CONCRETE CROSS PAN
 - 3 PR 8" CONCRETE CROSS PAN
 - 4 PR 5" CONCRETE SIDEWALK
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 - 12 PR CONCRETE OUTLET STRUCTURE (PRIVATE)
 - 13 PR MICRO-POND
 - 14 PR ENTRY SIGN (SEE LANDSCAPE PLANS)
 - 15 PR MODULAR BLOCK WALL
 - 16 PR CONCRETE MID-BLOCK CURB RAMP
 - 17 PR 10' WIDE ACCESS TRAIL

Per ECM 2.5.C.4 mid block crossings are required where distance between ramps exceeds 600'. A deviation request can be submitted for consideration if intending to exclude.

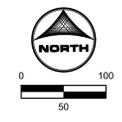


KEY MAP
SCALE: N.T.S

LINWORK LEGEND

MATCH LINE	---
PR PROPERTY LINE	---
EX PROPERTY LINE	---
PR EASEMENT LINE	---
EX EASEMENT LINE	---
PR RIGHT OF WAY	---
EX RIGHT OF WAY	---
PR LOT LINE	---
EX LOT LINE	---
EX SWALE	---
PR SWALE	---
PR ACCESS TRAIL	---
PR REGIONAL TRAIL	---
PR CURB & GUTTER	---
EX CURB & GUTTER	---
PR SIDEWALK	---
PR CONCRETE	---
PR RIP-RAP	---
PR POND RIM	---
PR INDEX CONTOUR	---
EX INDEX CONTOUR	---
PR INTER. CONTOUR	---
EX INTER. CONTOUR	---
NOT WITHIN SCOPE OF PUD	---

Update pond callouts or linework. The callouts aren't aligned with anything.



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 APPROVED: KMH JOB NUMBER: 211030
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NO.	DATE	BY	REVISION DESCRIPTION

HRGreen
 HR GREEN - COLORADO SPRINGS
 1975 RESEARCH PARKWAY SUITE 230
 COLORADO SPRINGS, CO 80920
 PHONE: 719.300.4140
 FAX: 713.965.0044

FLYING HORSE NORTH PHASE 2 PUD
 PRI #2, LLC.
 EL PASO COUNTY, CO

PUD PRELIMINARY PLAN
 SITE PLAN 08

SHEET
 SP
 21

V1_PUDSP_Comments.pdf Markup Summary

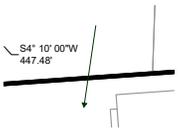
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Date: 12/6/2023 12:32:09 PM
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Board of County Commissioners Certificate

This plat for (name of subdivision or plat) was approved for filing by the El Paso County, Colorado Board of County Commissioners on the _____ day of _____, 200__, subject to any notes specified hereon and any conditions included in the resolution of approval. The dedications of land to the public (streets, tracts, easements: list those applicable) are accepted, but public improvements thereon will not become the maintenance responsibility of El Paso County until preliminary acceptance of the public improvements in accordance with the requirements of the Land Development Code and Engineering Criteria Manual, and the Subdivision Improvements Agreement.

Chair, Board of County Commissioners
Date

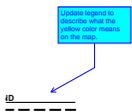
Director, Planning and Community Development
Date

Callout (28)



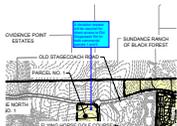
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Author: lpackman
Date: 12/7/2023 11:48:04 AM
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Space:

Remove EPC as an owner and maintainer of tracts.



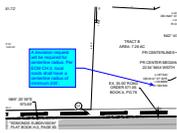
Subject: Callout
Page Label: [4] 4 OVERALL SITE
Author: lpackman
Date: 12/7/2023 1:39:15 PM
Status:
Color: ■
Layer:
Space:

Update legend to describe what the yellow color means on the map.



Subject: Callout
Page Label: [4] 4 OVERALL SITE
Author: lpackman
Date: 12/7/2023 1:58:47 PM
Status:
Color: ■
Layer:
Space:

A deviation request will be required for direct access to Old Stagecoach Rd for both commercial parcels 1 and 5.



Subject: Callout
Page Label: [15] 15 SITE PLAN 02
Author: lpackman
Date: 12/7/2023 2:25:06 PM
Status:
Color: ■
Layer:
Space:

A deviation request will be required for centerline radius. Per ECM CH 2, local roads shall have a centerline radius of minimum 200'.



Subject: Callout
Page Label: [15] 15 SITE PLAN 02
Author: lpackman
Date: 12/7/2023 2:30:53 PM
Status:
Color: ■
Layer:
Space:

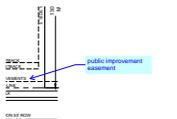
Show sight distance easements that will be required for visibility to Holmes road for access points.



Subject: Callout
Page Label: [8] 8 OVERALL TRACT PLAN
Author: Daniel Torres
Date: 12/8/2023 2:29:21 PM
Status:
Color: ■
Layer:
Space:

provide note that access to commercial parcel with be determined with the final plat and/or site development plan application.

recall that access off Hodgen would not be supported.



Subject: Callout
Page Label: [1] 24x36
Author: Daniel Torres
Date: 12/8/2023 2:24:09 PM
Status:
Color: ■
Layer:
Space:

public improvement easement



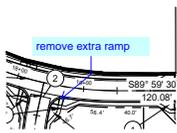
Subject: Callout
Page Label: [1] 24x36
Author: Daniel Torres
Date: 12/8/2023 2:19:19 PM
Status:
Color: ■
Layer:
Space:

Identify what this 5' label is for.



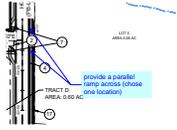
Subject: Callout
Page Label: [1] 24x36
Author: Daniel Torres
Date: 12/8/2023 2:23:08 PM
Status:
Color: ■
Layer:
Space:

revise to Urban Residential Collector to match County nomenclature



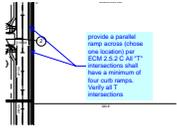
Subject: Callout
Page Label: [15] 15 SITE PLAN 02
Author: Daniel Torres
Date: 12/8/2023 3:03:34 PM
Status:
Color: ■
Layer:
Space:

remove extra ramp



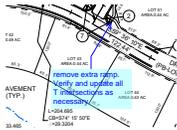
Subject: Callout
Page Label: [15] 15 SITE PLAN 02
Author: Daniel Torres
Date: 12/8/2023 3:05:24 PM
Status:
Color: ■
Layer:
Space:

provide a parallel ramp across (chose one location)



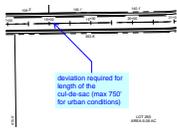
Subject: Callout
Page Label: [15] 15 SITE PLAN 02
Author: Daniel Torres
Date: 12/8/2023 3:08:56 PM
Status:
Color: ■
Layer:
Space:

provide a parallel ramp across (chose one location) per ECM 2.5.2 C All "T" intersections shall have a minimum of four curb ramps. Verify all T intersections



Subject: Callout
Page Label: [16] 16 SITE PLAN 03
Author: Daniel Torres
Date: 12/8/2023 3:11:43 PM
Status:
Color: ■
Layer:
Space:

remove extra ramp. Verify and update all T intersections as necessary



Subject: Callout
Page Label: [18] 18 SITE PLAN 05
Author: Daniel Torres
Date: 12/8/2023 3:20:26 PM
Status:
Color: ■
Layer:
Space:

deviation required for length of the cul-de-sac (max 750' for urban conditions)



Subject: Callout
Page Label: [18] 18 SITE PLAN 05
Author: Daniel Torres
Date: 12/8/2023 3:21:30 PM
Status:
Color: ■
Layer:
Space:

label as residential collector



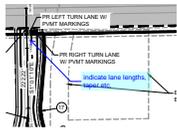
Subject: Callout
Page Label: [18] 18 SITE PLAN 05
Author: Daniel Torres
Date: 12/8/2023 3:23:25 PM
Status:
Color: ■
Layer:
Space:

identify curb return radius of 25' per ECM table 2-31 at all local/collector intersections



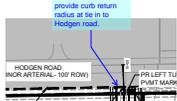
Subject: Callout
Page Label: [19] 19 SITE PLAN 06
Author: Daniel Torres
Date: 12/8/2023 3:31:52 PM
Status:
Color: ■
Layer:
Space:

Coordinate with Traffic engineer and update the classification of the roadway as well as show any necessary improvements



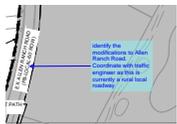
Subject: Callout
Page Label: [24] 24 SITE PLAN 11
Author: Daniel Torres
Date: 12/8/2023 3:37:59 PM
Status:
Color: ■
Layer:
Space:

indicate lane lengths, taper etc.



Subject: Callout
Page Label: [24] 24 SITE PLAN 11
Author: Daniel Torres
Date: 12/8/2023 3:39:14 PM
Status:
Color: ■
Layer:
Space:

provide curb return radius at tie in to Hodgen road.



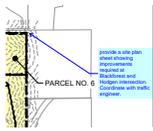
Subject: Callout
Page Label: [25] 25 SITE PLAN 01
Author: Daniel Torres
Date: 12/8/2023 3:40:31 PM
Status:
Color: ■
Layer:
Space:

identify the modifications to Allen Ranch Road. Coordinate with traffic engineer as this is currently a rural local roadway



Subject: Callout
Page Label: [4] 4 OVERALL SITE
Author: Daniel Torres
Date: 12/8/2023 3:46:10 PM
Status:
Color: ■
Layer:
Space:

provide site plan sheet with improvements required at StageCoach Rd & Black Forest Rd. Coordinate with the traffic engineer.



Subject: Callout
Page Label: [4] 4 OVERALL SITE
Author: Daniel Torres
Date: 12/8/2023 3:47:05 PM
Status:
Color: ■
Layer:
Space:

provide a site plan sheet showing improvements required at Blackforest and Hodgen intersection. Coordinate with traffic engineer.

Clerk & Recorder (1)



Subject: Clerk & Recorder
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 12:32:24 PM
Status:
Color: ■
Layer:
Space:

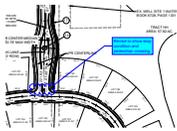
Clerk and Recorder

STATE OF COLORADO
 COUNTY OF EL PASO

I hereby certify that this instrument was filed in my office on this ____ day of _____, 20__, and was recorded at Reception Number _____ of the records of El Paso County

 El Paso County Clerk and Recorder

Cloud+ (3)



Subject: Cloud+
Page Label: [24] 24 SITE PLAN 11
Author: lpackman
Date: 12/7/2023 5:01:55 PM
Status:
Color: ■
Layer:
Space:

Revise to show stop condition and pedestrian crossing.



Subject: Cloud+
Page Label: [17] 17 SITE PLAN 04
Author: Daniel Torres
Date: 12/8/2023 3:16:51 PM
Status:
Color: ■
Layer:
Space:

Rounabout analysis required. Provide details of each roundabout



Subject: Cloud+
Page Label: [23] 23 SITE PLAN 10
Author: Daniel Torres
Date: 12/8/2023 3:36:59 PM
Status:
Color: ■
Layer:
Space:

provide pedestrian crossing

Highlight (105)

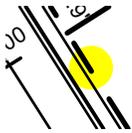
$i=N14^{\circ} 57' 30"E$
 $\Delta=30.8669$
 $R=162.500$

Subject: Highlight
Page Label: [15] 15 SITE PLAN 02
Author: lpackman
Date: 12/7/2023 2:25:18 PM
Status:
Color: ■
Layer:
Space:

R=162.500



Subject: Highlight
Page Label: [15] 15 SITE PLAN 02
Author: Daniel Torres
Date: 12/8/2023 3:01:26 PM
Status:
Color: ■
Layer:
Space:



Subject: Highlight
Page Label: [15] 15 SITE PLAN 02
Author: Daniel Torres
Date: 12/8/2023 3:02:18 PM
Status:
Color: ■
Layer:
Space:



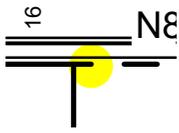
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Author: Daniel Torres
Date: 12/8/2023 3:02:24 PM
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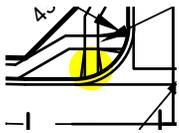
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Author: Daniel Torres
Date: 12/8/2023 3:03:07 PM
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Color: ■
Layer:
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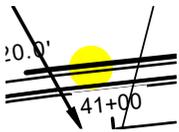
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Page Label: [15] 15 SITE PLAN 02
Author: Daniel Torres
Date: 12/8/2023 3:08:34 PM
Status:
Color: ■
Layer:
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Subject: Highlight
Page Label: [15] 15 SITE PLAN 02
Author: Daniel Torres
Date: 12/8/2023 3:08:35 PM
Status:
Color: ■
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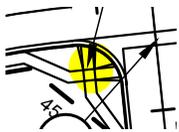
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Date: 12/8/2023 3:08:37 PM
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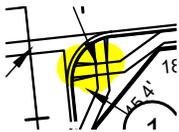
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Author: Daniel Torres
Date: 12/8/2023 3:09:55 PM
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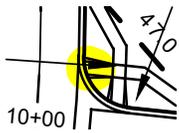
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Author: Daniel Torres
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Subject: Highlight
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Author: Daniel Torres
Date: 12/8/2023 3:10:08 PM
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Layer:
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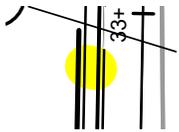
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Page Label: [16] 16 SITE PLAN 03
Author: Daniel Torres
Date: 12/8/2023 3:10:10 PM
Status:
Color: ■
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Subject: Highlight
Page Label: [16] 16 SITE PLAN 03
Author: Daniel Torres
Date: 12/8/2023 3:10:21 PM
Status:
Color:
Layer:
Space:



Subject: Highlight
Page Label: [16] 16 SITE PLAN 03
Author: Daniel Torres
Date: 12/8/2023 3:10:30 PM
Status:
Color:
Layer:
Space:



Subject: Highlight
Page Label: [16] 16 SITE PLAN 03
Author: Daniel Torres
Date: 12/8/2023 3:10:33 PM
Status:
Color:
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Space:



Subject: Highlight
Page Label: [16] 16 SITE PLAN 03
Author: Daniel Torres
Date: 12/8/2023 3:10:40 PM
Status:
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Layer:
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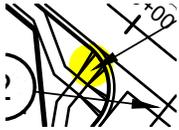
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Author: Daniel Torres
Date: 12/8/2023 3:11:51 PM
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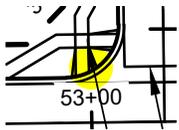
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Author: Daniel Torres
Date: 12/8/2023 3:11:53 PM
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Subject: Highlight
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Author: Daniel Torres
Date: 12/8/2023 3:12:18 PM
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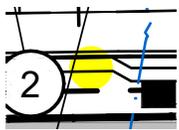
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Page Label: [16] 16 SITE PLAN 03
Author: Daniel Torres
Date: 12/8/2023 3:12:20 PM
Status:
Color: 
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Subject: Highlight
Page Label: [16] 16 SITE PLAN 03
Author: Daniel Torres
Date: 12/8/2023 3:12:38 PM
Status:
Color: 
Layer:
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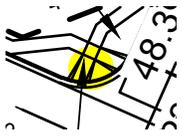
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Page Label: [16] 16 SITE PLAN 03
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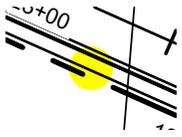
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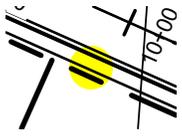
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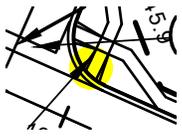
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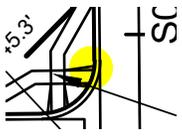
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Author: Daniel Torres
Date: 12/8/2023 3:13:47 PM
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Color: ■
Layer:
Space:



Subject: Highlight
Page Label: [17] 17 SITE PLAN 04
Author: Daniel Torres
Date: 12/8/2023 3:13:51 PM
Status:
Color: ■
Layer:
Space:



Subject: Highlight
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Author: Daniel Torres
Date: 12/8/2023 3:13:53 PM
Status:
Color: ■
Layer:
Space:



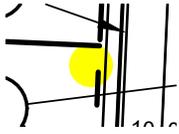
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Date: 12/8/2023 3:14:02 PM
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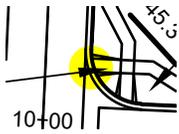
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Author: Daniel Torres
Date: 12/8/2023 3:14:12 PM
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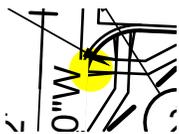
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Date: 12/8/2023 3:14:20 PM
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Author: Daniel Torres
Date: 12/8/2023 3:14:39 PM
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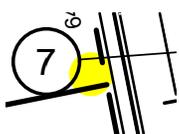
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Date: 12/8/2023 3:14:40 PM
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Subject: Highlight
Page Label: [17] 17 SITE PLAN 04
Author: Daniel Torres
Date: 12/8/2023 3:14:51 PM
Status:
Color:
Layer:
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Subject: Highlight
Page Label: [17] 17 SITE PLAN 04
Author: Daniel Torres
Date: 12/8/2023 3:17:31 PM
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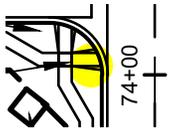
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Author: Daniel Torres
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Color:
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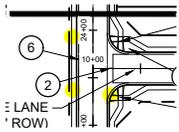
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Author: Daniel Torres
Date: 12/8/2023 3:17:35 PM
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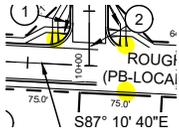
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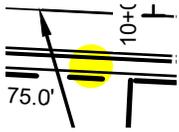
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Author: Daniel Torres
Date: 12/8/2023 3:20:45 PM
Status:
Color: ■
Layer:
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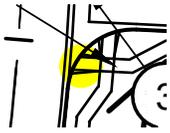
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Author: Daniel Torres
Date: 12/8/2023 3:20:51 PM
Status:
Color: ■
Layer:
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Subject: Highlight
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Author: Daniel Torres
Date: 12/8/2023 3:21:00 PM
Status:
Color: ■
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Space:



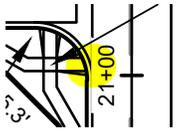
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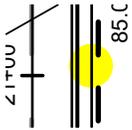
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Author: Daniel Torres
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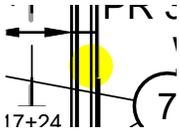
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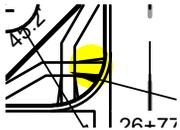
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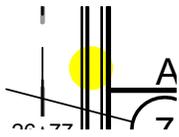
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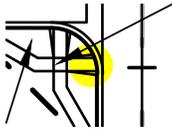
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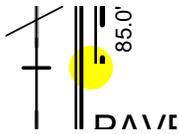
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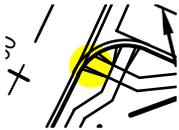
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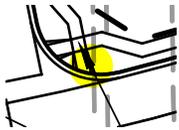
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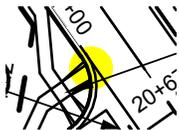
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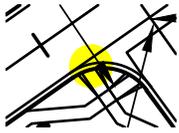
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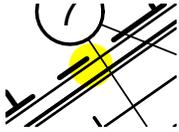
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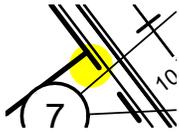
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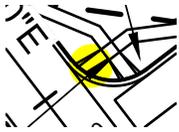
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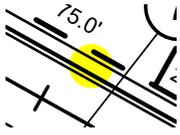
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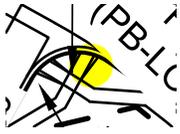
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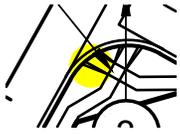
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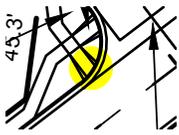
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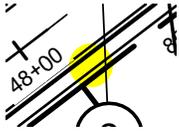
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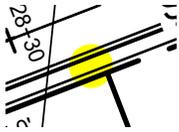
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Date: 12/8/2023 3:33:20 PM
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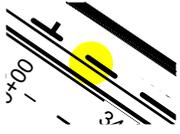
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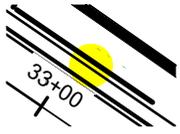
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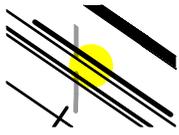
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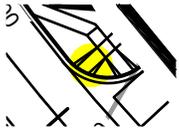
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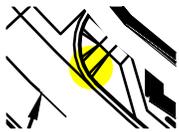
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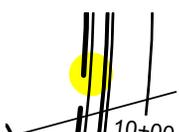
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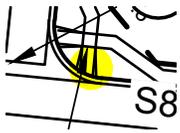
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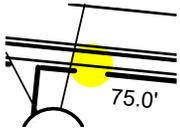
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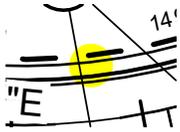
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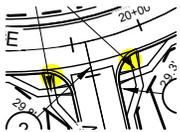
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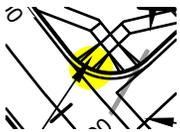
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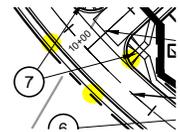
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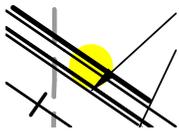
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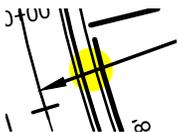
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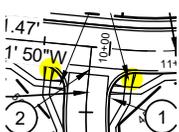
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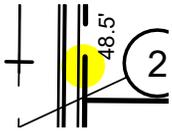
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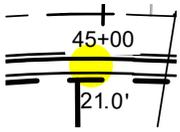
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Subject: Highlight
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Author: Daniel Torres
Date: 12/8/2023 3:37:06 PM
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Image (1)



Subject: Image
Page Label: [2] 2 NOTES
Author: Ryan Howser
Date: 12/6/2023 11:22:20 AM
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Owner Certification (1)



Subject: Owner Certification
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 12:31:07 PM
Status:
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Owners Certificate

The undersigned, being all the owners, mortgagees, beneficiaries of deeds of trust and holders of other interests in the land described herein, have laid out, subdivided, and platted said lands into lots, tracts, streets, and easements (use which are applicable) as shown hereon under the name and subdivision of

_____. All public improvements so platted are hereby dedicated to public use and said owner does hereby covenant and agree that the public improvements will be constructed to El Paso County standards and that proper drainage and erosion control for same will be provided at said owner's expense, all to the satisfaction of the Board of County Commissioners of El Paso County, Colorado. Upon acceptance by resolution, all public improvements so dedicated will become matters of maintenance by El Paso County, Colorado. The utility easements shown hereon are hereby dedicated for public utilities and communication systems and other purposes as shown hereon. The entities responsible for providing the services for which the easements are established are hereby granted the perpetual right of ingress and egress from and to adjacent properties for installation, maintenance, and replacement of utility lines and related facilities.

Owners/Mortgagee (Signature)

By:
Title:

ATTEST: (if corporation)

Secretary/Treasurer

STATE OF COLORADO)
) ss.
COUNTY OF _____)

Acknowledged before me this _____ day of _____, 200__ by _____ as _____.

My commission expires _____

Witness my hand and official seal _____

Notary Public

Signatures of officers signing for a corporation shall be acknowledged as follows: (print name) as President/Vice President and print name as Secretary/Treasurer, name of corporation, a state corporation.

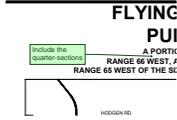
Signatures of managers/members for a LLC shall be acknowledged as follows: (print name) as Manager/Member of company, a state limited liability company.

(Note: Required when separate ratification statements for deed of trust holders, mortgagees are not utilized)



Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/5/2023 3:00:33 PM
Status:
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This should say "PUD Development Plan and Preliminary Plan"



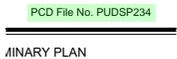
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Include the quarter-sections



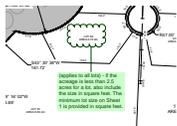
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Should this be Cherokee Metro?



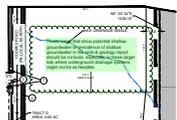
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PCD File No. PUDSP234



Subject: Planner
Page Label: [15] 15 SITE PLAN 02
Author: Ryan Howser
Date: 12/5/2023 5:21:03 PM
Status:
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(applies to all lots) - if the acreage is less than 2.5 acres for a lot, also include the size in square feet. The minimum lot size on Sheet 1 is provided in square feet.



Subject: Planner
Page Label: [15] 15 SITE PLAN 02
Author: Ryan Howser
Date: 12/5/2023 5:28:28 PM
Status:
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These areas that show potential shallow groundwater or prevalence of shallow groundwater in the soils & geology report should be no-build, especially in these larger lots where underground drainage systems might not be as feasible.



Subject: Planner
Page Label: [23] 23 SITE PLAN 10
Author: Ryan Howser
Date: 12/6/2023 11:50:31 AM
Status:
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This should be reflected in a plat note. What is this use restriction? (same comment applies throughout this document)



Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 12:24:23 PM
Status:
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Update all of these statements to the current:

Authority: This PUD is authorized by Chapter 4 of the El Paso County Land Development Code, adopted pursuant to the Colorado Planned Unit Development Act of 1972, as amended.

Applicability: The provisions of this PUD shall run with the land. The landowners, their successors, heirs, or assigns shall be bound by this Development Plan, as amended and approved by the Planning and Community Development Department Director or Board of County Commissioners.

Adoption: The adoption of this development plan shall evidence the findings and decisions of the El Paso County Board of County Commissioners that this Development Plan for (name of PUD) is in general conformity with the El Paso County Master Plan, El Paso County Policy Plan and applicable Small Area Plan(s); is authorized under the provision of the El Paso County Land Development Code; and that the El Paso County Land Development Code and this development plan complies with the Colorado Planned Unit Development Act of 1972, as amended.

Relationship to County Regulations: The provisions of this Development Plan shall prevail and govern the development of (name of PUD), provided, however, that where the provisions of this Development Plan do not address a particular subject, the relevant provisions of the El Paso County Land Development Code, as amended and in effect at the time of the PUD plan approval (or owner acknowledge the PUD changes with the Code), or any other applicable resolutions or regulations of El Paso County, shall be applicable.

Enforcement: To further the mutual interest of the residents, occupants, and owners of the PUD and of the public in the preservation of the integrity of this development plan, the provisions of this plan relating to the use of land and the location of common open space shall run in favor of El Paso County and shall be enforceable at law or in equity by the County without limitation on any power or regulation otherwise granted by law.

Conflict: Where there is more than one provision within the development plan that covers the same subject matter, the provision which is most restrictive or imposes higher standards or requirements shall govern.

Maximum Level of Development: The total number of dwellings or the total commercial, business, or industrial intensity shown on the development plan for development within the specified planning areas is the maximum development requested for platting or construction (plus any approved density transfers). The actual number of dwellings or level of development may be less due to subdivision or Site Development Plan requirements, land carrying capacity, or other requirements of the Board of County Commissioners

Project Tracking: At the time of any final plat application, the applicant shall provide a summary of the development, to date, to Planning and

INCLUDING OFF-STREET PARKING, LANDSCAPE, AND APPLY TO THIS PLAN/PRELIMINARY PLAN, EXCEPT AND HODGDEN ROAD. PLAN SUBMITTAL FOR PARCEL 6.

Hodgen

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:05:54 AM
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Hodgen

AND HODGDEN ROAD PLAN SUBMITTAL

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:06:07 AM
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Layer:
Space:

HODGDEN

SO COUNTY LAND DEVELOPMENT CODE INCLUDING OFF-STREET AND VARIANCE PROCESSES SHALL APPLY TO THIS PLAN. DRIVEWAYS ON BLACKFOOT ROAD AND HODGDEN ROAD ROAD IS TO REMAIN. ED AT THE TIME OF SITE DEVELOPMENT PLAN SUBMITTAL. This note should be reworded: There shall be no direct lot access to ____ road(s).

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:07:04 AM
Status:
Color: ■
Layer:
Space:

This note should be reworded: There shall be no direct lot access to ____ road(s).

GRADING, LANDSCAPING, SITE DEVELOPMENT, AND OTHER PLAN, EXCEPT AS MODIFIED IN THIS SUBMITTAL. What about Parcels 1 and 5? These are also commercial parcels.

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:08:00 AM
Status:
Color: ■
Layer:
Space:

What about Parcels 1 and 5? These are also commercial parcels.

NOT: SINGLE FAMILY RESIDENTIAL DEVELOPMENT. USE OF SINGLE FAMILY RESIDENTIAL, MAIL KIOSK, TRAIL, CORRIDOR IMPROVEMENTS, AND ANY OTHER FLYING HORSE NORTH PARCELS 1-6. FAMILY 100 THOUSAND SQUARE FEET (9,750SF) (REFER TO STRUCTURAL COVERAGE OF LOT: 50% HEIGHT: THIRTY FIVE FEET (35'). AT FRONT BUILDING SETBACK LINE: SEVENTY FIVE FEET (75'). (75 FEET (25) TO FACE OF GARAGE EN FEET (25) TO FACE OF HOUSE E (25'). IN FEET (25)

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:10:14 AM
Status:
Color: ■
Layer:
Space:

TEN THOUSAND SQUARE FEET (9,750SF)

USE OF SINGLE FAMILY RESIDENTIAL, MAIL KIOSK, TRAIL, CORRIDOR IMPROVEMENTS, AND ANY OTHER PARCELS 1-6. CONFLICT. SQUARE FEET (9,750SF). (REFER TO STRUCTURAL COVERAGE OF LOT: 50% HEIGHT: THIRTY FIVE FEET (35'). AT FRONT BUILDING SETBACK LINE: SEVENTY FIVE FEET (75').

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:12:43 AM
Status:
Color: ■
Layer:
Space:

Conflict

JULIA HANBY CORP. SUBJ. FOR REVIEW OF EXISTING AND PROPOSED FACILITIES, INCLUDING...
TELEPHONE CASITAS ELATI DEVELOPMENT STANDARDS...
RECOMMENDED RECORDING: golf course and associated structures as defined in El Paso County LDC

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:46:31 AM
Status:
Color: ■
Layer:
Space:

Should be 25 ft. for portions of lots adjacent to residential properties.

TELEPHONE CASITAS ELATI DEVELOPMENT STANDARDS...
RECOMMENDED RECORDING: golf course and associated structures as defined in El Paso County LDC

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:42:10 AM
Status:
Color: ■
Layer:
Space:

AND ASSOCIATED FACILITIES PER EPC CODE

TELEPHONE CASITAS ELATI DEVELOPMENT STANDARDS...
RECOMMENDED RECORDING: golf course and associated structures as defined in El Paso County LDC

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:43:37 AM
Status:
Color: ■
Layer:
Space:

I would recommend rewording: golf course and associated accessory structures as defined in El Paso County LDC

NIGHT CLUB?
T STANDARDS:
NIGHT CLUB, PARKING GARAGE, PARKING ENHANCE FACILITIES, SPORTS ACTIVITY CO...
LIMITED BY THE HOTEL.

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:44:55 AM
Status:
Color: ■
Layer:
Space:

Night club?

TELEPHONE CASITAS ELATI DEVELOPMENT STANDARDS...
RECOMMENDED RECORDING: golf course and associated structures as defined in El Paso County LDC

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:46:08 AM
Status:
Color: ■
Layer:
Space:

This is confusing. Should this say 175?

TELEPHONE CASITAS ELATI DEVELOPMENT STANDARDS...
RECOMMENDED RECORDING: golf course and associated structures as defined in El Paso County LDC

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:46:37 AM
Status:
Color: ■
Layer:
Space:

Should be 25 ft. for portions of lots adjacent to residential properties.

YOU MAY NOT... TO BEING THE MAIN STRUCTURE IS ACCESSORY

Open space 10% is required for the entire PUD area - not just the commercial areas. You need to demonstrate on a per-phase basis that each individual phase can meet the open space requirements independently of the other phases.

AL) DEVELOPMENT

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:50:46 AM
Status:
Color: ■
Layer:
Space:

Open space 10% is required for the entire PUD area - not just the commercial areas. You need to demonstrate on a per-phase basis that each individual phase can meet the open space requirements independently of the other phases.

PROPOSED COMMERCIAL ZONING DISTRICTS

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:47:31 AM
Status:
Color: ■
Layer:
Space:

PRIMARY USES ALLOWED: ALL ALLOWED USES LISTED UNDER EL PASO COUNTY COMMERCIAL ZONES - CC (COMMERCIAL COMMUNITY), CR (COMMERCIAL REGIONAL) AND CS (COMMERCIAL SERVICES)

NESS CENTER, NON-RESIDENTIAL DEVELOPMENT STANDARDS, CITY OF EL PASO

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:48:23 AM
Status:
Color: ■
Layer:
Space:

Please re-work this to provide a more specific list. It is not likely that all uses in all commercial zoning districts would be permissible.

FRONT BUILDING SETBACK LINE: N/A

FIVE FEET (5')
SIX FEET (6')
SEVEN FEET (7')

Batch Plant

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:48:44 AM
Status:
Color: ■
Layer:
Space:

Batch Plant

SETBACK STANDARDS AND THE GENERAL DEVELOPMENT STANDARDS IN CHAPTER 16.04

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:51:19 AM
Status:
Color: ■
Layer:
Space:

See other comments regarding open space.

FRONT BUILDING SETBACK LINE: N/A

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:51:22 AM
Status:
Color: ■
Layer:
Space:

Should be 25 ft. for portions of lots adjacent to residential properties.

RAGE OF LOT: 20%
30') - **TWO FLOORS**
TBACK LINE: N/A

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:51:30 AM
Status:
Color: ■
Layer:
Space:

TWO FLOORS

ACILITIES, AND SATELLITE DISHES, SUBJECT
XPRESSLY DESIGNATED AS ACCESSORY IN A
L MEET THE GENERAL ACCESSORY STRUCTUR
L DEVELOPMENT STANDARDS IN CHAPTER 6.
35: 20%
LOORS:
E: N/A

Not necessary

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:51:38 AM
Status:
Color: ■
Layer:
Space:

Not necessary

E OF LOT: 20%
45') - **TWO STORIES**
CK LINE: N/A

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:52:33 AM
Status:
Color: ■
Layer:
Space:

TWO STORIES

COMMUNITY BUILDING, CHILD CARE CENTE
ECKS, TRAILS, SHELTERS, PLAY EQUIPMEN
AGE, PEDESTRIAN WALKWAYS, FENCING, U
LARATION OF COVENANTS, CONDITIONS A
7%
ORIES

Not necessary

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:52:40 AM
Status:
Color: ■
Layer:
Space:

Not necessary

AGRICULTURAL
PUD
PUD
747.27 AC - 100% RI
739'
3.0 DU/AC
CER
3 commercial
lots for the
entire
development
INDING
FLYING
APPLIC
THE FC
BY (N/A)

Conform only
3 commercial
lots for the
entire
development

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:54:39 AM
Status:
Color: ■
Layer:
Space:

Conform only 3 commercial lots for the entire development.

APPROXIMATE LOCATION OF ALL AREAS OF FLOODPLAINS, FREQUENT STORMWATER INUNDATION, OR STORM WATER OVERFLOW AND THE LOCATION, WIDTHS, AND DIRECTION OF FLOW OF ALL WATER COURSES.
AREAS OF GEOLOGICAL HAZARDS AND CONSTRAINTS, INCLUDING BUT NOT LIMITED TO SLOPES GREATER THAN 30 PERCENT.
BASE FLOOD ELEVATIONS, UNLESS OTHERWISE PROPOSED TO BE MODIFIED VIA THE LOMR PROCESS THROUGH FEMA.

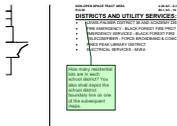
Subject: Planner
Page Label: [4] 4 OVERALL SITE
Author: Ryan Howser
Date: 12/6/2023 10:56:16 AM
Status:
Color: ■
Layer:
Space:

Using this page as a placeholder for this comment (this information should be included on the 1"-100' scaled site plan pages): depict the following information:

Approximate location of all areas of floodplains, frequent stormwater inundation, or storm water overflow and the location, widths, and direction of flow of all water courses.

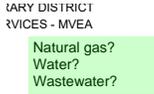
Areas of geological hazards and constraints, including but not limited to slopes greater than 30 percent.

Base flood elevations, unless otherwise proposed to be modified via the LOMr process through FEMA.



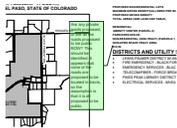
Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:59:53 AM
Status:
Color: ■
Layer:
Space:

How many residential lots are in each school district? You also shall depict the school district boundary line on one of the subsequent maps.



Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 10:57:41 AM
Status:
Color: ■
Layer:
Space:

Natural gas? Water? Wastewater?



Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 11:00:06 AM
Status:
Color: ■
Layer:
Space:

Are any private roads proposed, or are all the roads proposed to be public ROW? This should be identified. It appears that none of the roads are proposed to be located in tracts, so the assumption is that it is all proposed to be public.



Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 11:01:18 AM
Status:
Color: ■
Layer:
Space:

FLYING HORSE NORTH PUD REMAINDER



Subject: Planner
Page Label: [2] 2 NOTES
Author: Ryan Howser
Date: 12/6/2023 11:15:41 AM
Status:
Color: ■
Layer:
Space:

5. CENTRAL WATER INFRASTRUCTURE TO BE CONSTRUCTED, OWNED AND OPERATED BY FAWWA-FALCON AREA WATER/WASTEWATER AUTHORITY (OR SIMILAR PROVIDER) WHICH WILL PROVIDE WATER SERVICE TO THE PROJECT. ON-SITE WATER FACILITIES MAY BE OWNED BY THE FHN METRO DISTRICT.
 6. CENTRAL WASTEWATER INFRASTRUCTURE WILL CONSIST OF A COLLECTION SYSTEM OWNED AND OPERATED BY THE FHN METROPOLITAN DISTRICT WHO WILL PROVIDE SERVICE TO THE INDIVIDUAL HOMES. THE COLLECTIONS SYSTEM WILL ULTIMATELY CONNECT TO THE TRIVIEW METROPOLITAN DISTRICT (OR SIMILAR PROVIDER).

ERRED
ITY
ILAR
WILL
ILAR

Update these notes

Subject: Planner
Page Label: [2] 2 NOTES
Author: Ryan Howser
Date: 12/6/2023 11:15:53 AM
Status:
Color: ■
Layer:
Space:

Update these notes



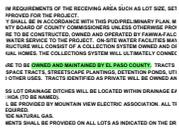
Subject: Planner
Page Label: [2] 2 NOTES
Author: Ryan Howser
Date: 12/6/2023 11:18:23 AM
Status:
Color: ■
Layer:
Space:

THE METRO DISTRICT OR HOA (TO BE NAMED).



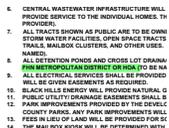
Subject: Planner
Page Label: [2] 2 NOTES
Author: Ryan Howser
Date: 12/6/2023 12:29:57 PM
Status:
Color: ■
Layer:
Space:

The tract tables indicate the HOA or District will maintain all tracts. None of the tracts are identified to be maintained by EPC or the metro district. The District purpose indicated it would provide maintenance for many of these components.



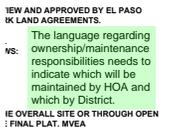
Subject: Planner
Page Label: [2] 2 NOTES
Author: Ryan Howser
Date: 12/6/2023 11:19:22 AM
Status:
Color: ■
Layer:
Space:

OWNED AND MAINTAINED BY EL PASO COUNTY



Subject: Planner
Page Label: [2] 2 NOTES
Author: Ryan Howser
Date: 12/6/2023 11:19:36 AM
Status:
Color: ■
Layer:
Space:

FHN METROPOLITAN DISTRICT OR HOA (

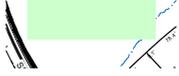


Subject: Planner
Page Label: [2] 2 NOTES
Author: Ryan Howser
Date: 12/6/2023 12:30:37 PM
Status:
Color: ■
Layer:
Space:

The language regarding ownership/maintenance responsibilities needs to indicate which will be maintained by HOA and which by District.

R=600.000

Cannot locate Lots 633 and 634.



Subject: Planner
Page Label: [22] 22 SITE PLAN 09
Author: Ryan Howser
Date: 12/6/2023 11:47:44 AM
Status:
Color: ■
Layer:
Space:

Cannot locate Lots 633 and 634.

Same comment as other commercial lot - either designate this as a numbered lot, or identify it as a future tract for development and determination of number of lots at a later phase of PUD/SP.

Subject: Planner
Page Label: [23] 23 SITE PLAN 10
Author: Ryan Howser
Date: 12/6/2023 11:50:18 AM
Status:
Color: ■
Layer:
Space:

Same comment as other commercial lot - either designate this as a numbered lot, or identify it as a future tract for development and determination of number of lots at a later phase of PUD/SP.

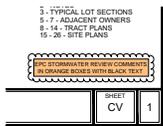
Soils & Geology (1)



Subject: Soils & Geology
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 12:26:04 PM
Status:
Color: ■
Layer:
Space:

Please update the note to incorporate CGS recommendations (provided via comment in EDARP) and use the below note as a template: (to be customized based upon the individual circumstances)
The following lots have been found to be impacted by geologic hazards. Mitigation measures and a map of the hazard area can be found in the report (Title of Report, generally from the Preliminary Plan file) by (author of the report) (date of report) in file (name of file and file number) available at the El Paso County Planning and Community Development Department:
▪Downslope Creep: (name lots or location of area)
▪Rockfall Source:(name lots or location of area)
▪Rockfall Runout Zone:(name lots or location of area)
▪Potentially Seasonally High Groundwater:(name lots or location of area)
▪Other Hazard:
In Areas of High Groundwater:
Due to high groundwater in the area, all foundations shall incorporate an underground drainage system.

Stamp - Stormwater Comment Legend (1)



Subject: Stamp - Stormwater Comment Legend
Page Label: [1] COVER
Author: Mikayla Hartford
Date: 12/4/2023 12:51:20 PM
Status:
Color: ■
Layer:
Space:

Surveyor Certification (1)



Subject: Surveyor Certification
Page Label: [1] COVER
Author: Ryan Howser
Date: 12/6/2023 12:32:22 PM
Status:
Color: ■
Layer:
Space:

Surveyors Certificate

I surveyor's name, a duly registered Professional Land Surveyor in the State of Colorado, do hereby certify that this plat truly and correctly represents the results of a survey made on date of survey, by me or under my direct supervision and that all monuments exist as shown hereon; that mathematical closure errors are less than 1:10,000 ; and that said plat has been prepared in full compliance with all applicable laws of the State of Colorado dealing with monuments, subdivision, or surveying of land and all applicable provisions of the El Paso County Land Development Code.

I attest the above on this _____ day of _____, 20__.

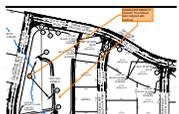
Surveyor's Name, (Signature)
Date
Colorado registered PLS # _____

SW - Textbox with Arrow (3)



Subject: SW - Textbox with Arrow
Page Label: [21] 21 SITE PLAN 08
Author: Mikayla Hartford
Date: 12/4/2023 11:26:58 AM
Status:
Color: ■
Layer:
Space:

Update pond callouts or linework. The callouts aren't aligned with anything.



Subject: SW - Textbox with Arrow
Page Label: [15] 15 SITE PLAN 02
Author: Mikayla Hartford
Date: 12/4/2023 11:27:39 AM
Status:
Color: ■
Layer:
Space:

Update pond callouts or linework. The callouts aren't aligned with anything.



Subject: SW - Textbox with Arrow
Page Label: [20] 20 SITE PLAN 07
Author: Mikayla Hartford
Date: 12/4/2023 11:29:45 AM
Status:
Color: ■
Layer:
Space:

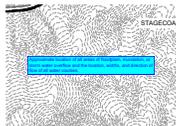
Update pond callouts or linework. The callouts aren't aligned with anything.

Text Box (15)



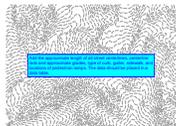
Subject: Text Box
Page Label: [4] 4 OVERALL SITE
Author: eschoenheit
Date: 12/6/2023 2:59:37 PM
Status:
Color: ■
Layer:
Space:

Label contours and elevations



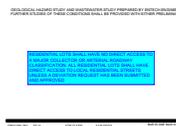
Subject: Text Box
Page Label: [4] 4 OVERALL SITE
Author: eschoenheit
Date: 12/6/2023 2:53:53 PM
Status:
Color: ■
Layer:
Space:

Approximate location of all areas of floodplain, inundation, or storm water overflow and the location, widths, and direction of flow of all water courses,



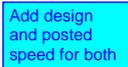
Subject: Text Box
Page Label: [4] 4 OVERALL SITE
Author: eschoenheit
Date: 12/6/2023 3:22:59 PM
Status:
Color: ■
Layer:
Space:

Add the approximate length of all street centerlines, centerline radii and approximate grades, type of curb, gutter, sidewalk, and locations of pedestrian ramps. The data should be placed in a data table.



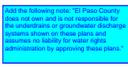
Subject: Text Box
Page Label: [1] COVER
Author: eschoenheit
Date: 12/7/2023 4:36:56 PM
Status:
Color: ■
Layer:
Space:

RESIDENTIAL LOTS SHALL HAVE NO DIRECT ACCESS TO A MAJOR COLLECTOR OR ARTERIAL ROADWAY CLASSIFICATION. ALL RESIDENTIAL LOTS SHALL HAVE DIRECT ACCESS TO LOCAL RESIDENTIAL STREETS UNLESS A DEVIATION REQUEST HAS BEEN SUBMITTED AND APPROVED



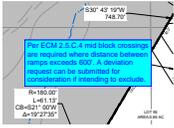
Subject: Text Box
Page Label: [1] 24x36
Author: eschoenheit
Date: 12/6/2023 3:51:37 PM
Status:
Color: ■
Layer:
Space:

Add design and posted speed for both



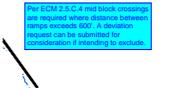
Subject: Text Box
Page Label: [1] COVER
Author: lpachman
Date: 12/7/2023 11:39:32 AM
Status:
Color: ■
Layer:
Space:

Add the following note: "El Paso County does not own and is not responsible for the underdrains or groundwater discharge systems shown on these plans and assumes no liability for water rights administration by approving these plans."



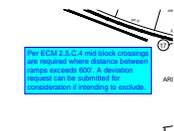
Subject: Text Box
Page Label: [16] 16 SITE PLAN 03
Author: lpackman
Date: 12/7/2023 2:53:15 PM
Status:
Color: ■
Layer:
Space:

Per ECM 2.5.C.4 mid block crossings are required where distance between ramps exceeds 600'. A deviation request can be submitted for consideration if intending to exclude.



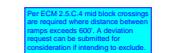
Subject: Text Box
Page Label: [17] 17 SITE PLAN 04
Author: lpackman
Date: 12/7/2023 2:56:46 PM
Status:
Color: ■
Layer:
Space:

Per ECM 2.5.C.4 mid block crossings are required where distance between ramps exceeds 600'. A deviation request can be submitted for consideration if intending to exclude.



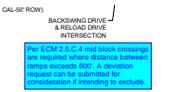
Subject: Text Box
Page Label: [18] 18 SITE PLAN 05
Author: lpackman
Date: 12/7/2023 3:17:02 PM
Status:
Color: ■
Layer:
Space:

Per ECM 2.5.C.4 mid block crossings are required where distance between ramps exceeds 600'. A deviation request can be submitted for consideration if intending to exclude.



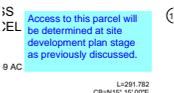
Subject: Text Box
Page Label: [21] 21 SITE PLAN 08
Author: lpackman
Date: 12/7/2023 3:30:45 PM
Status:
Color: ■
Layer:
Space:

Per ECM 2.5.C.4 mid block crossings are required where distance between ramps exceeds 600'. A deviation request can be submitted for consideration if intending to exclude.



Subject: Text Box
Page Label: [22] 22 SITE PLAN 09
Author: lpackman
Date: 12/7/2023 4:02:07 PM
Status:
Color: ■
Layer:
Space:

Per ECM 2.5.C.4 mid block crossings are required where distance between ramps exceeds 600'. A deviation request can be submitted for consideration if intending to exclude.



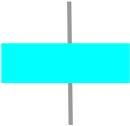
Subject: Text Box
Page Label: [19] 19 SITE PLAN 06
Author: Daniel Torres
Date: 12/7/2023 4:16:23 PM
Status:
Color: ■
Layer:
Space:

Access to this parcel will be determined at site development plan stage as previously discussed.



Subject: Text Box
Page Label: [1] 24x36
Author: Daniel Torres
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Comments have been provided on the TIS regarding the upgrade of roadways such as Stagecoach Rd, black forest, Allen Ranch Rd etc. Provide proposed cross section of the improvements proposed due to the upgrade in classification. Coordinate with the traffic engineer.



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comments have been provided on the TIS to provide roundabout analysis. Please make changes accordingly based on any changes (if any) from the analysis. Additional comments may be generated once analysis and changes are reflected on the plans