This should say "PUD FLYING HORSE NORTH - PHASE 2 CER public improvements will be constructed to El Paso County standards and that proper drainage and erosion control for same will be provided at said owner's expense, all to the satisfaction of the Board of County Commissioners of El Paso SITE DATA Conform only County, Colorado. Upon acceptance by resolution, all public improvements so dedicated will become matters of TO CREATE A COHESIVE AND WELL-PLANNED COMMUNITY TO ALLOW A MAXIMUM 796 DWELLING UNITS (PARCELS TWO AND THREE), THREE (3) NON-RESIDENTIAL PARCELS Development Plan AGRICULTURAL 3 commercial **EXISTING LAND USE** maintenance by El Paso County, Colorado. The utility easements shown hereon are hereby dedicated for public uti PUD / PRELIMINARY PLAN : (PARCELS ONE, FIVE AND SIX) AND ONE (1) HOTEL PARCEL (PARCEL TWO) CONTAINING 275 HOTEL KEYS, CASITAS AND FLAT UNITS. ACREAGE OF THE SIX PARCELS IS AS lots for the and Preliminary Plan" **EXISTING ZONING:** PUD INDIVID and communication systems and other purposes as shown hereon. The entities responsible for providing the services FLYING for which the easements are established are hereby granted the perpetual right of ingress and egress from and to PROPOSED ZONING: PUD PARCEL 1 adjacent properties for installation, maintenance, and replacement of utility lines and related faci A PORTION OF SECTIONS 34, 35 AND 36 TOWNSHIP 11 SOUTH, 14.59 ACRES FOR NEW CLUBHOUSE/GOLF FACILITIES, RESTAURANT AND OTHER RELATED USES AS DEFINED BY THIS PUD/PRELIMINARY PLAN Include the SITE ACREAGE: 747.27 AC - 100% RI quarter-sections THE FO Owners/Mortgagee (Signature) 30.27 ACRES FOR A HOTEL AND GOLF CASITA UNITS AND FLATS RANGE 66 WEST, AND A PORTION OF SECTIONS 30 AND 31, TOWNSHIP 11 SOUTH, PROPOSED NUMBER OF UNITS: PARCEL 3 364.00 ACRES WITH 455 UNITS OF RESIDENTIAL HOMES PROPOSED NON-RESIDENTIAL LOTS: RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO 3,0 DU/AC MAXIMUM GROSS DENSITY(ALLOWED PER SKETCH PLAN): BY (NA! Title: PROPOSED GROSS DENSITY: 314.50 ACRES WITH 341 UNITS OF RESIDENTIAL HOMES **TOTAL AREAS (SEE LAND USE TABLE)** Fire station? See 14.72 ACRES FOR A COMMUNITY RECREATION CENTER AND PARK comment on pg. 24 RESIDENTIAL: 405.11 AC - 54.2% HODGEN REPORTS proposed AMENITY CENTER (PARCEL 4): 14.72 AC - 2.0% OWNER , 9.19 ACRES FOR COMMERCIAL USES AS DEFINED BY THIS PUD/PRELIMINARY PLAN. STATE OF COLORADO) HODGEN RD THE LOCATION AND INTENSITY OF USES GENERALLY CONFORMS TO THE SKETCH PLAN APPROVED BY THE EL PASO BOARD OF COUNTY COMMISSIONERS ON SEPTEMBER 22, **PARK/OPEN SPACE:** 202.23 AC - 27.1% WITNES NON-RESIDENTIAL (NON-TRACT) (PARCELS 1, 2, & 6 49.92 AC - 6.7% roads propose MY CON NON-OPEN SPACE TRACT AREA 2.29 AC - 0.3% to be public Update all of these statements to the current: Acknowledged before me this ____ 80.1 AC - 10.7% ROW? This **DISTRICTS AND UTILITY SERVICES:** should be Authority: This PUD is authorized by Chapter 4 of the El Paso County Land Development Code, adopted pursuant to the Colorado **STATE** My commission expires identified. • ↑LEWIS-PALMER DISTRICT 38 AND ACADEMY DISTRICT 20 Planned Unit Development Act of 1972, as amended. COUNT Witness my hand and official seal OLD STAGECOACH RD. FIRE EMERGENCY - BLACK FOREST FIRE PROTECTION DISTRICT appears that EMERGENCY SERVICES - BLACK FOREST FIRE PROTECTION DISTRICT none of the Signatures of officers signing for a corporation shall be acknowledged as follows: Applicability: The provisions of this PUD shall run with the land. The landowners, their successors, heirs, or assigns shall be bound by - STAGECOACH RD. int name) as President/Vice President and print name as Secretary/Treasurer, name of corporation, a state roads are TELECOM/FIBER - FORCE BROADBAND & COMCAST this Development Plan, as amended and approved by the Planning and Community Development Department Director or Board of PIKES PEAK LIBRARY DISTRICT proposed to be County Commissioners. APPRO Signatures of managers/members for a LLC shall be acknowledged as follows: ELECTRICAL SERVICES - MVEA located in tracts. rint name) as Manager/Member of company, a state limited liability company so the Note: Required when separate ratification statements for deed of trust holders, mortgagees are not utilized) Adoption: The adoption of this development plan shall evidence the findings and decisions of the El Paso County Board of County Natural gas? assumptidn i Commissioners that this Development Plan for (name of PUD) is in general conformity with the El Paso County Master Plan, El Paso Water? that it is all County Policy Plan and applicable Small Area Plan(s); is authorized under the provision of the El Paso County Land Development Code; Wastewater? How many residential proposed to be and that the El Paso County Land Development Code and this development plan complies with the Colorado Planned Unit Development SITE **FLYING HORSE** lots are in each his plat for (name of subdivision or plat) was approved for filing by the El Paso County, Colorado Board of County Act of 1972, as amended. ommissioners on the _____ day of ____, 200_, subject to any notes specified hereon and any conditions included school district? You NORTH FILING NO. 1 the resolution of approval. The dedications of land to the public (streets, tracts, easements: list those applicable) are accepted also shall depict the but public improvements thereon will not become the maintenance responsibility of El Paso County until preliminary acceptance Relationship to County Regulations: The provisions of this Development Plan shall prevail and govern the development of (name of of the public improvements in accordance with the requirements of the Land Development Code and Engineering Criteria school district Manual, and the Subdivision Improvements Agreement. PUD), provided, however, that where the provisions of this Development Plan do not address a particular subject, the relevant provisions boundary line on one of the El Paso County Land Development Code, as amended and in effect at the time of the PUD plan approval (or owner acknowledge of the subsequent Chair, Board of County Commissioners the PUD changes with the Code), or any other applicable resolutions or regulations of El Paso County, shall be applicable. Director, Planning and Community Development Enforcement: To further the mutual interest of the residents, occupants, and owners of the PUD and of the public in the preservation of the integrity of this development plan, the provisions of this plan relating to the use of land and the location of common open space shall RECEPTION NO. run in favor of El Paso County and shall be enforceable at law or in equity by the County without limitation on any power or regulation Clerk and Recorder otherwise granted by law. surveyor's name, a duly registered Professional Land Surveyor in the State of Colorado, do hereby certify that this ____ CATHEDRAL PINES FILING NO. 2 plat truly and correctly represents the results of a survey made on date of survey, by me or under my direct **FLYING HORSE** Conflict: Where there is more than one provision within the development plan that covers the same subject matter, the provision which is upervision and that all monuments exist as shown hereon; that mathematical closure errors are less than 1:10,000 I hereby certify that this instrument was filed in my office on this ____ day of NORTH FILING NO. 3 and that said plat has been prepared in full compliance with all applicable laws of the State of Colorado dealing ___, 20___, and was recorded at Reception Number most restrictive or imposes higher standards or requirements shall govern. vith monuments, subdivision, or surveying of land and all applicable provisions of the El Paso County Land of the records of El Paso County NORTH Maximum Level of Development: The total number of dwellings or the total commercial, business, or industrial intensity shown on the attest the above on this _____ ____ day of ____ El Paso County Clerk and Recorder development plan for development within the specified planning areas is the maximum development requested for platting or construction VICINITY MAP (plus any approved density transfers). The actual number of dwellings or level of development may be less due to subdivision or Site Surveyor's Name, (Signature) Colorado registered PLS #__ Development Plan requirements, land carrying capacity, or other requirements of the Board of County Commissioners OWNER/DEVELOPER: PARCEL 3 & 4 (SINGLE FAMILY RESIDENTIAL) DEVELOPMENT STANDARDS AND GUIDELINES: **MAXIMUM UNITS/KEYS ALLOWED: 50** PRI #2, LLC. THERE SHALL BE ONLY ONE (1) PRINCIPAL (PRIMARY) USE OF SINGLE FAMILY RESIDENCE ON A LOT. **MINIMUM LOT AREA: 5 ACRES** 6385 CORPORATE DRIVE. Project Tracking: At the time of any final plat application, the applicant shall provide a summary of the development, to date, to Planning ALLOWED USES INCLUDE: SINGLE FAMILY RESIDENTIAL, MAIL KIOSK, TRAIL CORRIDORS, DEVELOPMENT SIGNAGE, PEDESTRIAN WALKWAYS, FENCING. MAXIMUM PERCENTAGE OF STRUCTURAL COVERAGE OF LOT: 30% STE. 200 UTILITIES, STORMWATER FACILITIES, DRAINAGE IMPROVEMENTS, AND ANY OTHER USES ALLOWED PER THE DECLARATION OF COVENANTS, CONDITIONS and Community Development Department, in order to assure maximum development limits are not exceeded. MAXIMUM STRUCTURAL HEIGHT: FORTY FIVE FEET (45'). AND RESTRICTIONS FOR FLYING HORSE NORTH PARCELS 1-6. Conflict COLORADO SPRINGS, CO 80919 MINIMUM WIDTH OF LOT AT FRONT BUILDING SETBACK LINE: TWO HUNDRED FEET (200') This appears to provide MINIMUM LOT AREA: ATTN: DREW BALSICK SETBACK REQUIREMENTS: a. DWELLING, SINGLE FAMILY: TEN THOUSAND SQUARE FEET (9,750SF). (REFER TO TYPICAL LOT LAYOUTS) residential lot standards for the TELE: (719) 592-9333 a. FRONT YARD: FIVE FEET (5") MAXIMUM PERCENTAGE OF STRUCTURAL COVERAGE OF LOT: 50% smaller lots; however, b. SIDE YARD: FIVE FEET (5') MAXIMUM STRUCTURAL HEIGHT: THIRTY FIVE FEET (35'). c. REAR YARD: FIVE FEET (5') The cover sheet shall include any cross reference to the ZCP or previous PUD Development Plan, including any recording references. development standards and PLANNER/LANDSCAPE ARCHITECT MINIMUM WIDTH OF LOT AT FRONT BUILDING SETBACK LINE; SEVENTY FIVE FEET (75') **OPEN SPACE REQUIRED: 10%** HR GREEN DEVELOPMENT, LLC a. FRONT YARD: TWENTY FEET (20') TO FACE OF GARAGE guidelines should be different for Would recommend to 1975 RESEARCH PARKWAY SUITE 230 The following certifications on a single sheet, which is typically the cover sheet: Surveyor, Title Verification, Board of County the larger lots and estate lots MAXIMUM UNITS/KEYS ALLOWED: 50 FIFTEEN FEET (15') TO FACE OF HOUSE remove the guesswork COLORADO SPRINGS, CO 80920 Commissioners, Clerk and Recorder, and PCD Director. **MINIMUM LOT AREA: 3 ACRES** (larger setbacks, easements, b. SIDE YARD: PIVE FEET (51) MAXIMUM PERCENTAGE OF STRUCTURAL COVERAGE OF LOT: 30% and provide a more ATTN: PHIL STUEPFERT c. REAR YARD: FIFTEEN FEET (15') etc.) Please provide provisions MAXIMUM STRUCTURAL HEIGHT: TWENTY FIVE FEET (25') - ONE FLOOR d. CORNER ARD (NON-DRIVEWAY SIDE): FIFTEEN FEET (15') concrete regulation. Acknowledgments of the execution of the development plan by the property owner(s) (Statement of ownership and acknowledgment) and typical lots details for the MINIMUM WIDTH OF LOT AT FRONT BUILDING SETBACK LINE: TWO HUNDRED FEET (200') e. CORNER YARD ADJACENT TO AN OPEN SPACE TRACT: FIVE FEET (5') SETBACK REQUIREMENTS: before a notary public arger residential lots. HR GREEN DEVELOPMENT. LLC a. FRONT YARD: FIVE FEET (5') 1975 RESEARCH PARKWAY SUITE 230 b. SIDE YARD: FIVE FEET (5') **ACCESS LIMITATION NOTE:** What about Parcels 1 8. ACCESSORY STRUCTURE USE SHALL BE LIMITED TO TYPICAL RESIDENTIAL STRUCTURES SUCH AS SHEDS, DECKS, DETACHED DECKS, GAZEBOS, PATIOS, COLORADO SPRINGS, CO 80920 . REAR YARD: FIVE FEET (5') THERE SHALL BE NO RESIDENTIAL LOT ACCESS (DRIVEWAYS) ON BLACK FOREST ROAD AND HOGDGEN ROAD. and 5? These are also DI/IUBS AND POOLS WITH THE EXCEPTION OF ONE (1) GUEST HOUSE (ACC ATTN: KEN HUHN Cherokee Metro? ACCESSORY STRUCTURES SHALL ONLY BE LOCATED WITHIN THE BACK-YARD AND MUST BE LOCATED BEHIND THE MAIN STRUCTURE. NO ACCESSORY STAGECOACH ROAD ACCESS TO BLACK FOREST ROAD IS TO REMAIN. , MANONE commercial parcels. USES WILL BE PERMITTED IN THE FRONT YARD OR IN FRONT OF THE PRIMARY RESIDENCE. COMMERCIAL ACCESS POINTS WILL BE REQUESTED AT THE TIME OF SITE DEVELOPMENT PLAN SUBMITTAL FOR PARCEL 6. PARCEL 5 (PARK/FITNESS CENTER - NON-RESIDENTIAL) DEVELOPMENT STANDARDS: - WATER ACCESSORY STRUCTURE SETBACK REQUIREMENTS: Open space 10% is required Staff recommends removing the a. HEIGHT: FIFTEEN (15') - ONE STORY PRIMARY USES ALLOWED: HEALTH CLUB, CLUB, HEALTH CLUB, COMMUNITY BUILDING, CHILD CARE CENTER, PARKING LOT, PUBLIC OR PRIVATE PARK, This seems unnecessarily FALCON AREA WATER ASSOCIATION for the entire PUD area - not LEGAL DESCRIPTION: This note should be reworded: OPEN SPACE, FITNESS CENTER, RESTAURANT, POOLS, PATIO, DECKS, TRAILS, SHELTERS, PLAY EQUIPMENTS. b. FRONT YARD: FIFTY FEET (50') minimum lot width to promote the complicated - it may be just the commercial areas. SECONDARY USES ALLOWED: MAIL KIOSK, DEVELOPMENT SIGNAGE, PEDESTRIAN WALKWAYS, FENCING, UTILITIES, STORMWATER FACILITIES, DRAINAGE There shall be no direct lot c. SIDE YARD: FIVE FEET (5') SEE SHEET 2 unique character of the development WASTEWATER simpler to just apply a 15 ft. IMPROVEMENTS. AND ANY OTHER USES ALLOWED PER THE DECLARATION OF COVENANTS. CONDITIONS AND RESTRICTIONS FOR FHN PUD PARCELS AND d. REAR YARD: FIVE FEET (5') You need to demonstrate on access to ____ road(s). CHEROKEE METRO DISTRICT front setback only. THE FHN HOA DESIGN GUIDELINES. e. CORNER YARD (NON-DRIVEWAY SIDE): FIFTEEN FEET (15') a per-phase basis that each f CORNER YARD ADJACENT TO AN OPEN SPACE TRACT (5') MINIMUM LOT AREA: 10 ACRES Not necessary MAXIMUM PERCENTAGE OF STRUCTURAL COVERAGE OF LOT: 20% **GUEST HOUSE (ACCESSORY LIVING QUARTER) SETBACK REQUIREMENTS:** individual phase can meet **COUNTY PLANNING** ADA NOTE: MAXIMUM STRUCTURAL HEIGHT: FORTY FIVE FEET (45') - TWO STORIES a. HEIGHT: THIRTY FIVE (35') - TWO STORIES ATTN: RYAN HOWSER the open space requirements THE SUBDIVIDER / DEVELOPER HAS FAMILIARIZED ITSELF WITH THE CURRENT AMERICANS WITH DISABILITIES ACT (ADA) LAWS AND ACCESSIBILITY I would MINIMUM WIDTH OF LOT AT FRONT BUILDING SETBACK LINE: N/A b. FRONT YARD: FIFTY FEET (50') independently of the other Please re-work this to provide a more STANDARDS AND HAS LAID OUT THE PLAT AND ASSOCIATED GRADING AND CONSTRUCTION PLANS SO THAT ALL SITE ELEMENTS MEET THE APPLICABLE c. SIDE YARD: TEN FEET (10') SETBACK REQUIREMENTS: recommend **COUNTY ENGINEER** ADA DESIGN STANDARDS AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAT AND ASSOCIATED CONSTRUCTION a. FRONT YARD: TWENTY FIVE FEET (25') d. REAR YARD: TEN FEET (10') specific list. It is not likely that all uses in ewording: golf ATTN: GILBERT LAFORCE DOCUMENTS BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED b. SIDE YARD: TWENTY FIVE FEET (25') all commercial zoning districts would be UNDER OR WITH RESPECT TO SUCH LAWS. IT IS THE RESPONSIBILITY OF THE DEVELOPER / HOME BUILDER TO ENSURE ADA ACCESSIBILITY DURING course and c. REAR YARD: TWENTY FIVE FEET (25') PARCEL 1 (GOLF CLUBHOUSE & FACILITIES - NON-RESIDENTIAL) DEVELOPMENT Plant CONSTRUCTION OF THE PRIVATE SIDEWALKS. **OPEN SPACE REQUIRED: 10%** associated STANDARDS: **ENVIRONMENTAL NOTE:** accessory PARCEL 6 (COMMERCIAL & FIRE STATION - NON-RESIDENTIAL) DEVELOPMENT STANDARDS PRIMARY USES ALLOWED: HOTEL, CONVENIENCE STORE, CLUB, COMMUNITY BUILDING, CONVENIENCE STORE, HEALTH CLUB. GOLF COURSE (AND DEVELOPER SHALL COMPLY WITH FEDERAL AND STATE LAWS, REGULATIONS, ORDINANCES, REVIEW AND PERMIT REQUIREMENTS, AND OTHER AGENCY structures as ASSOCIATED FACILITIES PER EPC CODE), GOLF CAR FUELING STATIONS, RECREATIONAL FACILITIES, MAINTENANCE FACILITIES (INCLUDING OUTSIDE REQUIREMENTS, IF ANY, OF APPLICABLE AGENCIES INCLUDING, BUT NOT LIMITED TO, THE COLORADO DIVISION OF WILDLIFE, COLORADO DEPARTMENT OF STORAGE), RESTAURANT, GOLF CART STORAGE, POOLS, PATIO, DECKS, PARKING, SHELTERS, PLAY EQUIPMENT, SPORTS ACTIVITY COURTS, RESTROOMS defined in El TRANSPORTATION, U.S. ARMY CORPS OF ENGINEERS AND THE U.S. FISH AND WILDLIFE SERVICE REGARDING THE ENDANGERED SPECIES ACT, Paso County NOT ALLOWED: AUCTION FACILITY, BATCH PLAN, BOTTLING WORKS, CARNIVAL OR CIRCUS, CONSTRUCTION EQUIPMENT STORAGE, FERTILIZING PARTICULARLY AS IT RELATES TO THE LISTED SPECIES (E.G. PREBLE'S MEADOW JUMPING MOUSE). SECONDARY USES ALLOWED: OPEN SPACE, PARKS, MAIL KIOSK, TRAILS, DEVELOPMENT SIGNAGE, PEDESTRIAN WALKWAYS, FENCING, UTILITIES, MANUFACTURING, FLEA MARKET, FOOD PROCESSING, FREIGHT TERMINAL, GARBAGE SERVICE FACILITY, HEAVY EQUIPMENT RENTAL, SALES OR LDC STORMWATER FACILITIES, DRAINAGE IMPROVEMENTS, AND ANY OTHER USES ALLOWED PER THE DECLARATION OF COVENANTS, CONDITIONS AND STORAGE, INERT MATERIAL DISPOSAL, LIGHT INDUSTRY, LIGHT MANUFACTURING, MARIJUANA LAND USE, MEDICAL, MINERAL AND NATURAL RESOURCE **FLOODPLAIN NOTES:** RESTRICTIONS FOR FHN PUD PARCELS AND THE FHN HOA DESIGN GUIDELINES. EXTRACTION OPERATIONS, MINING- CONSTRUCTION-RELATED, PRISON-PRIVATE OR PUBLIC, SEXUALLY-ORIENTED BUSINESS. MINIMUM LOT AREA: 1 ACRE PORTIONS OF THIS PROPERTY ARE LOCATED WITHIN A DESIGNATED FEMA FLOODPLAIN AS DETERMINED BY THE FEMA SECONDARY USES ALLOWED: ONSITE PARKING GARAGE OR LOT THAT PROVIDES REQUIRED PARKING FOR A STRUCTURE OR COMMERCIAL/INDUSTRIAL MAXIMUM PERCENTAGE OF STRUCTURAL COVERAGE OF LOT: 40% NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE MAP NUMBERS '08041C0305G' AND '08041C0315G' WITH AN USE; ON-PREMISE SIGNS; TOTALLY ENCLOSED FACILITIES FOR STORING MERCHANDISE OR MATERIALS NEEDED FOR COMMERCIAL/INDUSTRIAL USE; FUEL MAXIMUM STRUCTURAL HEIGHT: FORTY FIVE FEET (45'). EFFECTIVE DATE OF DECEMBER 7, 2018. STORAGE; FENCE, WALL AND HEDGE; ANTENNAS, RADIO FACILITIES, AND SATELLITE DISHES, SUBJECT TO THE REQUIREMENTS OF THIS CODE; AND ANY MINIMUM WIDTH OF LOT AT FRONT BUILDING SETBACK LINE: N/A ACCESSORY STRUCTURE, STRUCTURE OR RELATED USE EXPRESSLY DESIGNATED AS ACCESSORY IN A COMMERCIAL OR INDUSTRIAL ZONING DISTRICT THE EXISTING FLOODPLAIN BOUNDARIES ARE INTENDED TO REMAIN AND DEVELOPMENT WILL OCCUR OUTSIDE THE **SETBACK REQUIREMENTS:** a. FRONT YARD: TWENTY FIVE FEET (25') ESTABLISHED UNDER THIS CODE. ACCESSORY USES SHALL MEET THE GENERAL ACCESSORY STRUCTURE AND USE STANDARDS, ANY APPLICABLE FLOODPLAIN LIMITS. Should be 25 ft. for portions of lots SPECIFIC ACCESSORY USE STANDARDS, AND THE GENERAL DEVELOPMENT STANDARDS IN CHAPTER 6. b. SIDE YARD: TEN FEET (10') < NO STRUCTURES OR SOLID FENCES ARE PERMITTED WITHIN THE DESIGNATED FLOODPLAIN AREA. Night club? adjacent to residential properties. c. REAR YARD: TWENTY FIVE FEET (25') MINIMUM LOT AREA: N/A GEOLOGIC HAZARD NOTE: **OPEN SPACE REQUIRED: 10%** MAXIMUM PERCENTAGE OF STRUCTURAL COVERAGE OF LOT: 20% Not necessary MAXIMUM STRUCTURAL HEIGHT: THIRTY FEET (30') - TWO FLOORS ARE Please update the note to incoprorate CGS recommendations (provided via comment in EDARP) and use the below note as a PARCEL 2 (HOTEL, GOLF CASITAS & FLATS) DEVELOPMENT STANDARDS: MINIMUM WIDTH OF LOT AT FRONT BUILDING SETBACK LINE: N/A SEA template: (to be customized based upon the individual circumstances) PRIMARY USES ALLOWED: HOTEL, RETAIL SALES (GENERAL), RESTAURANT, BAKERY (RETAIL), NIGHT*CLUB, PARKING GARAGE, PARKING LOT, ATTACHED STAI The following lots have been found to be impacted by geologic hazards. Mitigation measures and a map of the hazard area can be CON found in the report (Title of Report, generally from the Preliminary Plan file) by (author of the report) (date of report) in file (name of THE 2010) SETBACK REQUIREMENTS: Should be 25 ft. for portions of lots UNITS (FLATS), DETACHED UNITS (CASITAS), HEALTH CLUB, RECREATIONAL FACILITIES, MAINTENANCE FACILITIES, SPORTS ACTIVITY COURTS, AND a. FRONT YARD: TWENTY FIVE FEET (25') RESTROOMS. FLATS - FOR SALE OR RENT UNITS. CASITAS - GOLF CASITAS OWNED AND MAINTAINED BY THE HOTEL adjacent to residential properties. b. SIDE YARD: TWENTY FIVE FEET (25') GEO file and file number) available at the El Paso County Planning and Community Development Department: SECONDARY USES ALLOWED: POOLS, PATIO, DECKS, SHELTERS, PLAY EQUIPMENT, PUBLIC OR PRIVATE OPEN SPACE, PARKS, MAIL KIOSK, TRAILS, c. REAR YARD: TEN FEET (10') FUR Downslope Creep: (name lots or location of area) DEVELOPMENT SIGNAGE, PEDESTRIAN WALKWAYS, FENCING, UTILITIES, STORMWATER FACILITIES, DRAINAGE IMPROVEMENTS, AND ANY OTHER USES See other comments OPEN SPACE REQUIRED: N/A ALLOWED PER THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR FHN PUD PARCELS AND THE FHN HOA DESIGN GUIDELINES. •Rockfall Source:(name lots or location of area) PARKING: 1 PARKING STALL PER 250 SF OF BUILDING regarding open space. MAXIMUM UNITS (KEYS) ALLOWED: 175 HOTEL KEYS •Rockfall Runout Zone:(name lots or location of area) 50 CASITAS (KEYS) Potentially Seasonally High Groundwater:(name lots or location of area) 275 TOTAL UNITS/KEYS SHEET INDEX In Areas of High Groundwater: This is confusing. 1 - COVER Due to high groundwater in the area, all foundations shall incorporate an underground drainage system. MAXIMUM UNITS/KEYS ALLOWED: 275 Should this say 175? MINIMUM LOT AREA: 5 ACRES 2 - NOTES MAXIMUM PERCENTAGE OF STRUCTURAL COVERAGE OF LOT: 30% MAXIMUM STRUCTURAL HEIGHT: FORTY FIVE FEET (45'). 3 - TYPICAL LOT SECTIONS dd the following note: "El Paso Coun TIAL LOTS SHALL HAVE NO DIRECT ACCE MINIMUM WIDTH OF LOT AT FRONT BUILDING SETBACK LINE: N/A es not own and is not responsible fo MAJOR COLLECTOR OR ARTERIAL ROADWAY 5 - 7 - ADJACENT OWNERS SETBACK REQUIREMENTS: a. FRONT YARD: FIVE FEET (5') ASSIFICATION. ALL RESIDENTIAL LOTS SHALL HAVE e underdrains or groundwater discha 8 - 14 - TRACT PLANS Should be 25 ft. for portions of lots b. SIDE YARD: FIVE FEET (5') stems shown on these plans and ACCESS TO LOCAL RESIDENTIAL STREETS c. REAR YARD: FIVE FEET (5") 15 - 26 - SITE PLANS adjacent to residential properties. sumes no liability for water rights NLESS A DEVIATION REQUEST HAS BEEN SUBMITTED **OPEN SPACE REQUIRED: 10%** ND APPROVED lministration by approving these plans \sim **EPC STORMWATER REVIEW COMMENTS** IN ORANGE BOXES WITH BLACK TEXT PCD File No. PUDSP234 BAR IS ONE INCH ON NO. DATE BY REVISION DESCRIPTION DRAWN BY: <u>DLH</u> SHEET JOB DATE: 11/6/2023 HR GREEN - COLORADO SPRINGS FLYING HORSE NORTH PHASE 2 PUD OFFICIAL DRAWINGS PUD PRELIMINARY PLAN 1975 RESEARCH PARKWAY SUITE 230 APPROVED: KMH JOB NUMBER: 211030 PRI #2, LLC. COLORADO SPRINGS, CO 80920

EL PASO COUNTY. CO

PHONE: 719.300.4140

HRGreen FAX: 713.965.0044

PURPOSE AND INTENT:

IF NOT ONE INCH.

ADJUST SCALE ACCORDINGLY

CAD DATE: 11/8/2023

CAD FILE: J:\2021\211030\CAD\Dwgs\C\PUD-PP\Cover

The undersigned, being all the owners, mortgagees, beneficiaries of deeds of trust and holders of other interests in the land described herein, have laid out, subdivided, and platted said lands into lots, tracts, streets, and easements (use

improvements so platted are hereby dedicated to public use and said owner does hereby covenant and agree that the

which are applicable) as shown hereon under the name and subdivision of

On the sketch plan, this was only for the

||COVER

medium density areas.

A PORTION OF SECTIONS 34, 35 AND 36 TOWNSHIP 11 SOUTH RANGE 66 WEST, AND A PORTION OF SECTIONS 30 AND 31, TOWNSHIP 11 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN.COUNTY OF EL PASO. STATE OF COLORADO

PUBLIC STREETS

- STREETS SHALL BE NAMED AND CONSTRUCTED TO EL PASO COUNTY STANDARDS, DEDICATED TO EL PASO COUNTY FOR AND UPON ACCEPTANCE BY EL PASO COUNTY, SHALL BE MAINTAINED BY EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS EXCEPT FOR LANDSCAPE AREAS WHICH SHALL BE MAINTAINED BY THE FLYING HORSE NORTH HOMEOWNERS ASSOCIATION
- LANDSCAPING WITHIN THE PUBLIC RIGHTS-OF-WAY WILL BE MAINTAINED BY THE FLYING HORSE NORTH HOMEOWNERS ASSOCIATION VIA DEVELOPMENT AGREEMENT, LICENSE AGREEMENT OR INTER-GOVERNMENT AGREEMENT.

3. PUBLIC STREETS WITHIN THIS DEVELOPMENT PROVIDE LEVELS OF VEHICULAR CIRCULATION REQUIRED BY THE TRAFFIC STUDY ON FILE FOR THIS

1. ANY FUTURE PRIVATE STREETS, IF PROPOSED, WILL BE PRIVATELY OWNED AND MAINTAINED BY THE FHN METROPOLITAN DISTRICT OR HOA (TO BE NAMED).

TRAFFIC IMPACT FEES:

THE SUBDIVIDER(S) AGREES ON BEHALF OF HIM/HERSELF AND ANY DEVELOPER OR BUILDER SUCCESSORS AND ASSIGNEES THAT SUBDIVIDER AND/OR SAID SUCCESSORS AND ASSIGNS SHALL BE REQUIRED TO PAY TRAFFIC IMPACT FEES IN ACCORDANCE WITH THE EL PASO COUNTY ROAD IMPACT FEE PROGRAM RESOLUTION (RESOLUTION NO. 19-471), OR ANY AMENDMENTS THERETO, AT OR PRIOR TO THE TIME OF BUILDING PERMIT SUBBMITTALS. THE FEE OBLIGATION, IF NOT PAID AT FINAL PLAT RECORDING. SHALL BE DOCUMENTED ON ALL SALES DOCUMENTS AND ON PLAT NOTES TO ENSURE THAT A TITLE SEARCH WOULD FIND THE FEE OBLIGATION BEFORE SALE OF THE PROPERTY.

- ALL COMMON LANDSCAPE, OPEN SPACE, PARKS, TRACTS AND DRAINAGE FACILITIES WITHIN THIS DEVELOPMENT SHALL BE OWNED AND MAINTAINED BY THE FHN HOA OR METROPOLITAN DISTRICT WITH THE EXCEPTION OF THE COUNTY TRAIL AS DEPICTED ON THE PUD/PRELIMINARY PLAN.
- NO LANDSCAPING SHALL OBSTRUCT SIGHT DISTANCE TRIANGLES PER ENGINEERING CRITERIA MANUAL REFERENCE 2.4.1.D. THE MINIMUM HORIZONTAL CLEARANCE FOR SIDEWALKS AROUND UTILITY STRUCTURES, FURNITURE, AND OTHER ENCROACHMENTS SHALL BE 4 FEET OR GREATER TO PROVIDE SAFE CONDITIONS FOR PEDESTRIANS AND BICYCLISTS PER THE ENGINEERING CRITERIA MANUAL.
- 3. TRAILS TO BE SOFT SURFACE (I.E. CRUSHED REFINES) AND FINAL TRAIL ALIGNMENT TO BE DETERMINED IN THE BASED ON GRADE, VEGETATION, AND OTHER EXISTING SITE FEATURES AT THE TIME OF THE FINAL PLAT ANY FUTURE NON-REGIONAL TRAILS TO BE OWNED AND MAINTAINED BY THE FLYING HORSE NORTH HOME OWNERS ASSOCIATION.

SIGNS

- ALL PERMANENT SIGNS WILL BE LOCATED IN EASEMENTS AND LOCATIONS WILL ADHERE TO THE MASTER SIGN PLAN FOR THE PROJECT
- MAJOR COMMUNITY IDENTITY WILL HAVE A MAXIMUM COPY SIZE OF 100 SQUARE FEET AND THE STRUCTURE WILL HAVE A MAXIMUM HEIGHT OF 30' FEET. MINOR COMMUNITY IDENTITY SIGNS WILL HAVE A MAXIMUM COPY SIZE OF 40 SQUARE FEET AND THE STRUCTURE WILL HAVE A MAXIMUM HEIGHT OF 10' FEET. 4. DIRECTIONAL SIGNS WILL HAVE A MAXIMUM COPY SIZE OF 15 SQUARE FEET AND A MAXIMUM HEIGHT OF 8' FEET.

1. MAIL KIOSK STRUCTURES MAY HAVE A MAXIMUM HEIGHT OF 12', WIDTH OF 15' (FRONT ELEVATION) AND DEPTH (SIDE ELEVATION) OF 10'.

- THE FLYING HORSE NORTH PUD PARCELS 1-6 WILL MEET THE OVERALL SKETCH PLAN APPROVALS.
- CLUSTERING OF UNITS WITHIN RESIDENTIAL DISTRICTS IS PERMITTED, BUT NOT REQUIRED, SO LONG AS THE OVERALL DENSITY LIMIT OF THE OVERALL PROJECT IS NOT EXCEEDED. THE USE OF CLUSTERING IS ENCOURAGED TO PROMOTE COMMON OPEN SPACE, PROTECT NATURAL FEATURES, AND PROVIDE CREATIVE AND
- A DENSITY TRANSFER MAY BE PERMITTED ON FOR ALL RESIDENTIAL PARCELS. THIS TRANSFER WOULD BE PROPOSED AT THE TIME OF REZONING AND/OR AMENDED PRELIMINARY PLAN (WHERE APPROPRIATE) AND WOULD NEED TO BE REVIEWED BY STAFF TO ENSURE THAT THE OVERALL DEVELOPMENT CONCEPT IS ADHERED TO. A DENSITY TRANSFER NOT TO EXCEED TWENTY PERCENT (20%) OF THE MAXIMUM UNITS FOR EACH PARCEL IS PERMITTED. THE TRANSFERRED DENSITY SHALL MEET ALL MINIMUM REQUIREMENTS OF THE RECEIVING AREA SUCH AS LOT SIZE, SETBACKS, ETC. IN NO CASE SHALL THE OVERALL DENSITY CAP EXCEED THE TOTAL UNITS APPROVED FOR THE PROJECT.
- DEVELOPMENT OF THIS PROPERTY SHALL BE IN ACCORDANCE WITH THIS PUD/PRELIMINARY PLAN. MAJOR MODIFICATIONS ARE SUBJECT TO REVIEW AND
- APPROVAL BY THE EL PASO COUNTY BOARD OF COUNTY COMMISSIONERS UNLESS OTHERWISE PROVIDED BY THE EPC LAND DEVELOPMENT CODE. CENTRAL WATER INFRASTRUCTURE TO BE CONSTRUCTED. OWNED AND OPERATED BY FAWWA-FALCON AREA WATER/WASTEWATER AUTHORITY (OR SIMILAR) OVIDER) WHICH WILL PROVIDE WATER SERVICE TO THE PROJECT. ON-SITE WATER FACILITIES MAY BE OWNED BY THE FHN METRO DISTRICT. CENTRAL WASTEWATER INFRASTRUCTURE WILL CONSIST OF A COLLECTION SYSTEM OWNED AND OPERATED BY THE FHN METROPOLITAN DISTRICT WHO WILL
- OVIDE SERVICE TO THE INDIVIDUAL HOMES. THE COLLECTIONS SYSTEM WILL ULTIMATELY CONNECT TO THE TRIVIEW METROPOLITAN DISTRICT (OR SIMILAR ALL TRACTS SHOWN AS PUBLIC ARE TO BE OWNED AND MAINTAINED BY EL PASO COUNTY TRACTS INCLUDE LANDSCAPE EASEMENTS, DRAINAGE TRACTS, STORM WATER FACILITIES, OPEN SPACE TRACTS, STREETSCAPE PLANTINGS, DETENTION PONDS, UTILITIES, FENCES, PARKS AND RECREATIONAL FACILITIES.
- TRAILS, MAILBOX CLUSTERS, AND OTHER USES. TRACTS IDENTIFIED AS PRIVATE WILL BE OWNED AND MAINTAINED BY THE METRO DISTRICT OR HOA (TO BE ALL DETENTION PONDS AND CROSS LOT DRAINAGE DITCHES WILL BE LOCATED WITHIN DRAINAGE EASEMENTS PROVIDING ACCESS FOR MAINTENANCE TO THE
- FHN METROPOLITAN DISTRICT OR HOA (TO BE NAMED) . ALL ELECTRICAL SERVICES SHALL BE PROVIDED BY MOUNTAIN VIEW ELECTRIC ASSOCIATION. ALL TRACTS THROUGH WHICH MVEA UTILITIES WILL BE LOCATED
- WILL BE GIVEN EASEMENTS AS REQUIRED. 10. BLACK HILLS ENERGY WILL PROVIDE NATURAL GAS.
- 11. PUBLIC UTILITY/ DRAINAGE EASEMENTS SHALL BE PROVIDED ON ALL LOTS AS INDICATED ON THE DRAWINGS AND/ OR AS SHOWN WITHIN THE DETAILS. 12. PARK IMPROVEMENTS PROVIDED BY THE DEVELOPER MAY BE APPLIED TO PARK LAND DEDICATION AND/ OR FEES WITH REVIEW AND APPROVED BY EL PASO
- COUNTY PARKS. ANY PARK IMPROVEMENTS WILL BE COORDINATED AT A LATER DATE WITH EL PASO COUNTY PARK VIA PARK LAND AGREEMENTS. 13. FEES IN LIEU OF LAND WILL BE PROVIDED FOR SCHOOLS AND PARKS
- 14. THE MAILBOX KIOSK WILL BE DETERMINED WITH EACH FINAL PLAT AND IN COORDINATION WITH THE U.S. POSTAL SERVICES. 15. PUBLIC UTILITY/ DRAINAGE EASEMENTS SHALL BE PROVIDED AROUND THE PERIMETER OF THE LOTS PERIMETER AS FOLLOWS: OWNERShip/maintenance
- a. FRONT: TEN FEET (10') b. SIDE: FIVE FEET (5') c. REAR: TEN FEET (10')

See excerpt from

below and modify

depending on lot

proposal includes

size, since this

both urban and

rural densities: 🔻

LDC pasted

- d. TRAIL TRACTS, LANDSCAPE AND DETENTION FACILITIES WILL BE DESIGNED FOR PUBLIC UTILITIES AS REQUIRED.
- e. MVEA: TWENTY FEET (20') MIN. WIDTH EASMENT WILL BE PROVIDED TO MVEA IN SELECT AREAS AROUND THE PERIMETER OF THE OVERALL SITE OR THROUGH OPEN SPACE TRACTS. THE EXACT LOCATIONS SHALL BE COORDINATED WITH MVEA WITH FINAL LOCATIONS TO BE INCLUDED ON THE FINAL PLAT. MVEA
- INFRASTRUCTURE DESIGN WAS IN PROGRESS AT THE TIME OF THIS PUD PRELIMINARY PLAN APPROVAL 16. INDIVIDUAL LOT SIDE YARD SWALES SHALL BE CONSTRUCTED DURING INDIVIDUAL LOT CONSTRUCTION / LANDSCAPING TO PROVIDE ADEQUATE DRAINAGE. ALL PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTAINING PROPER STORM WATER DRAINAGE IN AND THROUGH THEIR PROPERTY. PUBLIC DRAINAGE EASEMENTS AS SPECIFICALLY NOTED ON THE PLAT SHALL BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS UNLESS OTHERWISE INDICATED. HOMEBUILDERS ARE RESPONSIBLE TO ENSURE PROPER DRAINAGE AROUND STRUCTURES, INCLUDING ELEVATIONS OF FOUNDATIONS AND WINDOW WELLS IN RELATION TO SIDE-LOT DRAINAGE EASEMENTS AND SWALES. HOMEOWNERS SHALL NOT CHANGE THE GRADE OF THE LOT OR DRAINAGE SWALES, WITHIN SAID EASEMENTS,

AS CONSTRUCTED BY THE BUILDER, IN A MANNER THAT WOULD CAUSE ADVERSE DRAINAGE IMPACTS TO PROPERTIES. STRUCTURES, FENCES, MATERIALS OR

- LANDSCAPING THAT COULD IMPEDE THE FLOW OF RUNOFF SHALL NOT BE PLACED IN DRAINAGE EASEMENTS. 17. GRASS BUFFER BMPS WILL BE MAINTAINED IN ACCORDANCE WITH A PERMANENT BMP AGREEMENT AND EASEMENT AND O&M MANUAL TO BE RECORDED AT THE TIME OF FINAL PLAT.
- 18. STREET LIGHTS WILL BE RESTRICTED TO MOUNTAIN VIEW ELECTRIC ASSOCIATIONS AND EL PASO COUNTY DETAILS AND SPECIFICATIONS.
- 19. SITE LIGHTING WILL MEET THE REQUIREMENTS SET FORTH IN SECTION 6.2.3 OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED, THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR FHN DESIGN GUIDELINES WILL DICTATE LIGHTING SPECIFICATIONS.
- ALL PROPOSED FENCING IS SUBJECT TO DESIGN REVIEW COMMITTEE APPROVAL AS SET FORTH IN THE COVENANTS AND ANY FUTURE DESIGN GUIDELINES FOR FHN. NO FENCES SHALL IMPEDE DRAINAGE WAYS.
- 21. NEW SIDEWALKS ADJACENT TO RESIDENTIAL LOTS ARE TO BE 5" THICK AND SUBJECT TO THE DEVELOPER COLLATERALIZING AND INSTALLING SAID
- SIDEWALKS. THE FUTURE LOT OWNER OR BUILDER IS RESPONSIBLE FOR REPAIR OF ANY DAMAGES AFTER THE INITIAL INSTALLATION. 22. THE MAILBOX KIOSK WILL BE DETERMINED WITH EACH FINAL PLAT AND IN COORDINATION WITH THE U.S. POSTAL SERVICE.
- 23. THE FIRE STATION LOCATED IN PARCEL 6 CAN BE ANYWHERE WITHIN THE PARCEL AS NEEDED. IF THE FIRE DEPARTMENT DETERMINES RELOCATION IS NOT
- NEEDED, THE LAND NEED NOT BE DEDICATED. 24. APPLICABLE PARK, SCHOOL, TRANSPORTATION, DRAINAGE, BRIDGE, AND TRAFFIC FEES SHALL BE PAID TO THE EL PASO COUNTY PLANNING AND COMMUNITY
- DEVELOPMENT DEPARTMENT AT THE TIME OF RECORDING ANY FINAL PLAT. 25. FINAL ACCESS LOCATIONS AND ROADWAY CLASSIFICATIONS WILL BE DETERMINED AT THE TIME OF FINAL PLAT.

) Standard Easement Widths and Locations. Unless otherwise required by the utility provider, the standard utility easements for urban and rural lots shall be provided as follows.

- (i) Urban Density.
- Side Lot Lines: 5 feet. Rear Lot Lines: 7 feet
- (ii) Rural Density.
- Front Lot Lines: 10 fee
- Side Lot Lines: 10 feet
- Rear Lot Lines: 10 feet

THREE TRACTS OF LAND BEING A PORTION OF SECTION 30 AND SECTION 31, TOWNSHIP 11 SOUTH, RANGE 65 WEST, AND A PORTION OF SECTION 36, TOWNSHIP 11 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, BEING MORE PARTICULARLY

BASIS OF BEARINGS:

THE NORTH LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 36, TOWNSHIP 11 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, BEING MONUMENTED AT THE WEST END BY A 1" YELLOW PLASTIC CAP STAMPED "18235" AND THE EAST END BY A 2" ALUMINUM CAP STAMPED "32439" WITH APPROPRIATE MARKINGS, IS ASSUMED TO BEAR N89°03'58"E A DISTANCE OF 1,332.09 FEET.

TRACT A

COMMENCING AT THE NORTHWEST CORNER OF LOT 33. FLYING HORSE NORTH FILING NO. 1 AS RECORDED UNDER RECEPTION NUMBER 218714238 IN THE RECORDS OF EL PASO COUNTY, COLORADO, SAID POINT BEING ON THE SOUTHERLY RIGHT-OF-WAY LINE OF OLD STAGECOACH ROAD AS PLATTED IN SAID FLYING HORSE NORTH FILING NO. 1, SAID POINT BEING THE POINT OF BEGINNING: THENCE ON SAID SOUTHERLY RIGHT-OF-WAY THE FOLLOWING TWO (2) COURSES:

- 1. ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS N05°59'03"E, HAVING A DELTA OF 08°07'01", A RADIUS OF 3 540 00 FEFT A DISTANCE OF 501 50 FEFT TO A POINT ON CURVE:
- 2. ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS N63°57'20"E, HAVING A DELTA OF 50°08'31", A RADIUS OF 100.00 FEET, A DISTANCE OF 87.51 FEET TO A POINT ON CURVE, SAID POINT BEING ON THE WESTERLY RIGHT-OF-WAY LINE OF ALLEN RANCH ROAD AS PLATTED IN SAID FLYING HORSE NORTH FILING NO. 1;

THENCE ON THE RIGHT-OF-WAY LINE OF SAID ALLEN RANCH ROAD THE FOLLOWING FOUR (4) COURSES:

- 1 S03°38'37"F A DISTANCE OF 515 47 FFFT TO A POINT OF CURVE-
- 2. ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 22°42'11", A RADIUS OF 970.00 FEET, A DISTANCE OF 384.35 FEET TO A POINT OF REVERSE CURVE; 3. ON THE ARC OF CURVE TO THE LEFT, HAVING A DELTA OF 30°48'52", A RADIUS OF 530.00 FEET, A DISTANCE OF 285.04 FEET
- 4. N78°14'42"E A DISTANCE OF 4.31 FEET TO A POINT ON CURVE;

THENCE ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS N73°49'46"E, HAVING A DELTA OF 30°34'36", A RADIUS OF 430.00 FEET A DISTANCE OF 229.48 FEET TO A POINT OF TANGENT; THENCE S46°44'50"E A DISTANCE OF 346.43 FEET TO A POINT OF CURVE; THENCE ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 25°52'12", A RADIUS OF 370.00 FEET A DISTANCE OF 167.06 FEET TO A POINT OF TANGENT: THENCE S20°52'38"E A DISTANCE OF 516.23 FEET TO A POINT OF CURVE: THENCE ON THE ARC OF A CURVE TO THE RIGHT, HAVING A DELTA OF 54°15'33, A RADIUS OF 170.00 FEET A DISTANCE OF 160.99 FEET TO A POINT OF TANGENT; THENCE S33°22'55"W A DISTANCE OF 76.55 FEET TO A POINT OF CURVE; THENCE ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA 11°16'06", A RADIUS OF 187.00 FEET A DISTANCE OF 36.78 FEET TO A POINT OF REVERSE CURVE; THENCE ON THE ARC OF A CURVE TO THE LEFT, HAVING A DELTA OF 11°16'06", A RADIUS OF 228.00 FEET A DISTANCE OF 44.84 FEET TO A POINT OF TANGENT; THENCE S33°22'55"W A DISTANCE OF 10.00 FEET T A POINT OF CURVE; THENCE ON THE ARC OF A CURVE TO THE LEFT HAVING A DELTA OF 11°16'06". A RADIUS OF 228.00 FEET A DISTANCE OF 44.84 FEET TO A POINT OF REVERSE CURVE: THENCE ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 11°16'06", A RADIUS OF 187.00 FEET A DISTANCE OF 36.78 FEET TO A POINT OF TANGENT; THENCE S33°22'55"W A DISTANCE OF 225.70 FEET TO A POINT OF CURVE; THENCE ON THE ARC OF

THE LEFT HAVING A DELTA OF 28°50'59", A RADIUS OF 230.00 FEET A DISTANCE OF 115.81 FEET TO A POINT OF HENCE S04°31'56"W A DISTANCE OF 277.13 FEET TO A POINT OF CURVE; THENCE ON THE ARC OF A CURVE TO THE NG A DELTA OF 17°59'00", A RADIUS OF 470.00 FEET A DISTANCE OF 147.52 FEET TO A POINT OF TANGENT; THENCE A DISTANCE OF 152.89 FEET TO A POINT OF CURVE; THENCE ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA A RADIUS OF 470 00 FEET A DISTANCE OF 19 46 FEET TO A POINT ON CURVE: THENCE N35°14'00"W A DISTANCE OF 310.03 FEET TO A POINT ON CURVE, SAID POINT BEING ON THE BOUNDARY LINE OF TRACT K AS PLATTED IN SAID FLYING HORSE NORTH FILING NO. 1; THENCE ON THE BOUNDARY LINE OF SAID TRACT K, THE FOLLOWING FIFTEEN (15) COURSES:

- 1. ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS N31°11'57"W, HAVING A DELTA OF 51°15'37", A RADIUS OF 60.00 FEET, A DISTANCE OF 53.68 FEET TO TANGENT; 2 N07°32'26"F A DISTANCE OF 809 64 FEFT
- 3. N04°16'45"E A DISTANCE OF 483.65 FEET TO A POINT OF CURVE: 4. ON THE ARC OF A CURVE TO THE LEFT HAVING A DELTA OF 180°00'00", A RADIUS OF 180.00 FEET, A DISTANCE OF 565.49 FEET TO A POINT OF TANGENT;
- 5. S04°16'45"W A DISTANCE OF 284.57 FEET: 6. S89°20'23"W A DISTANCE OF 87.77 FEET TO A POINT ON CURVE;
- 7. ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS S66°09'28"W, HAVING A DELTA OF 68°09'39", A RADIUS OF
- 180.00 FEET, A DISTANCE OF 214.13 FEET TO A POINT OF TANGENT; 8. S87°59'49"W A DISTANCE OF 527.00 FEET;
- N66°21'10"W A DISTANCE OF 348.91 FEET 10.N00°25'40"E A DISTANCE OF 36.95 FEET TO A POINT ON CURVE;
- 11.ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS N09°45'03"E, HAVING A DELTA OF 37°48'36", A RADIUS OF 180 00 FEFT. A DISTANCE OF 118 78 FEFT TO A PONT OF TANGENT
- 12.N61°56'28"E A DISTANCE OF 430.63 FEET TO A POINT OF CURVE 13.ON THE ARC OF A CURVE TO THE LEFT HAVING A DELTA OF 27°31'13", A RADIUS OF 180.00 FEET, A DISTANCE OF
- 86.46 FEET TO A POINT OF TANGENT: 14.N34°25'15"E A DISTANCE OF 478.77 FEET;
- 15 N46°07'49"F A DISTANCE OF 163.89 FEET The District

THENCE N18°03'04"W A DISTANCE OF 744.95 FEET TO THE SOUTHWEST CORNER OF LOT 33 OF SAID FLYING HORSE NORTH FILING NO. 1; THENCE N04°10'00"E ON THE WESTERLY BOUNDARY LINE OF SAID LOT 33 A DISTANCE OF 447.48 FEET TO THE POINT OF

WOULD Provide CONTAINING A CALCULATED AREA OF 1,954,049 SQUARE FEET, OR 44.859 ACRES, MORE OR LESS.

aintenance for many of

these

notes

The tract

of the tracts

are identified

maintained by

purpose

indicated it

responsibilities needs to

indicate which will be

which by District.

NO. DATE BY

maintained by HOA and

COMMENCING AT THE NORTHWEST CORNER OF SECTION 31, TOWNSHIP 11 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, ALSO BEING THE NORTHEAST CORNER OF SECTION 36, TOWNSHIP 11 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO, SAID POINT BEING THE POINT OF BEGINNING; THENCE N89°06'20"E, ON THE NORTH LINE OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 31. A DISTANCE OF 1 474 13 FEET TO THE WEST SIXTEENTH CORNER OF SAID SECTION 31; THENCE N00°08'36"E, ON THE WEST LINE OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 30, TOWNSHIP 11 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, A DISTANCE OF 1.325.48 FEET TO THE SOUTHWEST SIXTEENTH CORNER OF SAID SECTION 30; THENCE N89°03'20"E, ON THE NORTH LINE OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 30, A DISTANCE OF 920.27 FEET;

THENCE N00°08'15"E A DISTANCE OF 1,326.26 FEET TO A POINT ON THE NORTH LINE OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 30; THENCE N89°01'31"E, ON THE NORTH LINE OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 30, A DISTANCE OF 399.42 FEET TO THE CENTER QUARTER CORNER OF SAID SECTION 30; THENCE N00°08'48"E, ON THE WEST LINE OF

THE NORTHEAST QUARTER OF SAID SECTION 30, A DISTANCE OF 2,604.74 FEET TO A POINT 50.00 FEET SOUTH OF THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 30: THENCE N88°58'45"E. ON A LINE 50.00 FEET SOUTH OF AND PARALLEL TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 30, A DISTANCE OF 2,270.00 FEET; THENCE S71°21'27"E A DISTANCE OF 29.72 FEET; THENCE N88°58'45"E A DISTANCE OF 299.96 FEET TO A POINT THAT IS 60.00 FEET SOUTH OF THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 30, ALSO BEING 30.00 FEET WEST OF THE EAST LINE OF THE NORTHEAST QUARTER OF SECTION 30, TOWNSHIP 11 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, SAID POINT BEING ON THE ON THE WESTERLY RIGHT-OF-WAY LINE OF BLACK FOREST ROAD.

THENCE S00°00'48"W ON THE WESTERLY RIGHT-OF-WAY LINE OF SAID BLACK FOREST ROAD, SAID POINT BEING 30.00 FEET WEST OF AND PARALLEL TO THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 30, A DISTANCE OF 2,595.64 FEET; THENCE S00°00'53"W ON SAID WESTERLY RIGHT-OF-WAY LINE AND ON A LINE 30.00 FEET WEST OF AND PARALLEL TO THE EAST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 30. A DISTANCE OF 1.520.50 FEET TO A POINT ON THE NORTHERLY BOUNDARY OF FLYING HORSE NORTH FILING NO. 1, RECORDED UNDER RECEPTION NO. 218714238; THENCE ON THE NORTHERLY AND WESTERLY BOUNDARY LINES OF SAID FLYING HORSE NORTH FILING NO. 1 THE FOLLOWING FIFTEEN (15) COURSES:

- 1. N89°59'04"W A DISTANCE OF 502.35 FEET; 2. N82°41'19"W A DISTANCE OF 492.47 FEET; S06°27'11"W A DISTANCE OF 236.35 FEET
- 4. N80°16'16"W A DISTANCE OF 554.19 FEET 5. N56°06'05"W A DISTANCE OF 60.00 FEET TO A POINT ON CURVE;
- 6. ON THE ARC OF A CURVE TO THE LEFT, WHOSE CENTER BEARS S56°06'05"E, HAVING A DELTA OF 24°24'59", A RADIUS OF 530.00 FEET, A DISTANCE OF 225.86 FEET TO A POINT ON CURVE; 7. ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS \$12°54'16"E, HAVING A DELTA OF 52°02'48", A RADIUS OF
- 100.00 FEET, A DISTANCE OF 90.84 FEET TO A POINT ON CURVE; 8. N88°31'45"W A DISTANCE OF 8.27 FEET TO A POINT OF CURVE 9. ON THE ARC OF A CURVE TO THE LEFT, HAVING A DELTA OF 38°46'50", A RADIUS OF 1,040.00 FEET AND A DISTANCE OF
- 703.92 FEET TO A POINT OF TANGENT; 10.S52°41'25"W A DISTANCE OF 1,610.12 FEET TO A POINT OF CURVE;

- 11.ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 52°50'29", A RADIUS OF 760.00 FEET AND A DISTANCE OF 700.92 FEET TO A POINT OF TANGENT;
- 12.N74°28'06"W A DISTANCE OF 169.05 FEET TO A POINT OF CURVE; 13.ON THE ARC OF A CURVE TO THE LEFT HAVING A DELTA OF 32°53'45", A RADIUS OF 1,640.00 FEET, A DISTANCE OF 941.59 FEET TO A POINT OF TANGENT;
- 14.S72°38'09"W A DISTANCE OF 400.46 FEET TO A POINT OF CURVE; 15.ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 00°45'53", A RADIUS OF 3,460.00 FEET, A DISTANCE OF
- 46.18 FEET TO A POINT ON CURVE, SAID POINT BEING THE SOUTHEASTERLY CORNER OF LOT 28 AS PLATTED IN SAID FLYING HORSE NORTH FILING NO. 1:

THENCE N00°13'46"W ON THE EASTERLY BOUNDARY OF SAID LOT 28 A DISTANCE OF 497.29 FEET TO A POINT ON THE NORTH LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 36; THENCE N89°03'58"E ON THE NORTH LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 36, A DISTANCE OF 491 20 FEFT TO THE POINT OF BEGINNING

CONTAINING A CALCULATED AREA OF 14.100.034 SQUARE FEET, OR 323.692 ACRES, MORE OR LESS.

LEGAL DESCRIPTION FLYING HORSE NORTH PUD REMAINDER

> COMMENCING AT THE SOUTHEAST CORNER OF SECTION 36 TOWNSHIP 11 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, SAID POINT BEING THE POINT OF BEGINNING; THENCE S89°20'59"W ON THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 36, A DISTANCE OF 973.69 FEET; THENCE N00°39'01'W A DISTANCE OF 50.11 FEET TO A POINT ON THE BOUNDARY LINE OF FLYING HORSE NORTH FILING NO. 1 AS RECORDED UNDER RECEPTION NUMBER 218714238, RECORDS OF EL PASO COUNTY, COLORADO; THENCE ON THE BOUNDARY OF SAID FLYING HORSE NORTH FILING NO. 1 THE FOLLOWING ELEVEN (11)

1. N19°16'02"E A DISTANCE OF 386.88 FEET;

4. N01°41'01"E A DISTANCE OF 409.04 FEET

- 2. N43°30'36"E A DISTANCE OF 161.72 FEET TO A POINT ON CURVE;
- 3. ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS N17°38'34"E, HAVING A DELTA OF 105°57'32", A RADIUS OF 183.50 FEET, A DISTANCE OF 339.35 FEET TO A POINT OF TANGENT;
- 5. N10°53'40"E A DISTANCE OF 511.85 FEET
- 6. N11°16'18"E A DISTANCE OF 794.70 FEET TO A POINT ON CURVE;
- 7. ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS N69°45'19"W, HAVING A DELTA OF 113°41'16", A RADIUS OF 80.00 FEET, A DISTANCE OF 158.74 FEET TO A POINT ON CURVE;
- 8. N11°15'44"E A DISTANCE OF 449.78 FEET TO A POINT OF CURVE 9. ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 19°27'35", A RADIUS OF 180.00 FEET, A DISTANCE OF 61.13
- FEET TO A POINT OF TANGENT
- 10.N30°43'19"E A DISTANCE OF 748.70 FEET
- 11.N83°30'56"E A DISTANCE OF 43.73 FEET;

THENCE S78°15'13"E A DISTANCE OF 60.00 FEET TO A POINT ON THE BOUNDARY LINE OF TRACT M, AS PLATTED IN SAID FLYING HORSE NORTH FILING NO. 1; THENCE ON THE BOUNDARY LINE OF SAID TRACT M, THE FOLLOWING ELEVEN (11) COURSES:

- 1. N89°19'51"E A DISTANCE OF 44.51 FEET TO A POINT ON CURVE; 2. ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS N78°15'26"E, HAVING A DELTA OF 35°23'13", A RADIUS OF 222.71 FEET, A DISTANCE OF 137.55 FEET TO A POINT OF TANGENT;
- S47°07'47"E A DISTANCE OF 236.98 FEET
- 4. S52°20'15"E A DISTANCE OF 614.62 FEET TO A POINT ON CURVE;
- 5. ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS N37°35'23"E, HAVING A DELTA OF 32°49'43", A RADIUS OF 180.00 FEET. A DISTANCE OF 103.13 FEET TO A POINT OF TANGENT: 6. S85°14'20"E A DISTANCE OF 773.82 FEET TO A POINT ON CURVE
- 7. ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS N03°54'09"E, HAVING A DELTA OF 141°44'47", A RADIUS OF 74 72 FEFT A DISTANCE OF 184 84 FEFT TO A POINT OF TANGENT
- 8. N47°50'38"W A DISTANCE OF 125.93 FEET TO A POINT ON CURVE; 9. ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS N62°07'29"W. HAVING A DELTA OF 93°42'48". A RADIUS OF
- 178.44 FEET, A DISTANCE OF 291.86 FEET TO A POINT OF TANGENT; 10.N65°50'18"W A DISTANCE OF 926.31 FEET; 11.N66°22'10"W A DISTANCE OF 418.60 FEET

THENCE N77°19'50"W A DISTANCE OF 99.91 FEET TO A POINT ON THE BOUNDARY LINE OF SAID FLYING HORSE FILING NO. 1: THENCE ON SAID BOUNDARY LINE THE FOLLOWING FOURTEEN (14) COURSES

1. N56°12'59"W A DISTANCE OF 96.82 FEET:

- 2. N02°34'45"E A DISTANCE OF 964.84 FEET TO A POINT ON CURVE 3. ON THE ARC OF A CURVE TO THE RIGHT WHOSE CENTER BEARS \$01°51'31"W, HAVING A DELTA OF 13°40'23", A RADIUS OF
- 1,560.00 FEET, A DISTANCE OF 372.28 FEET TO A POINT OF TANGENT; 4. S74°28'06"E A DISTANCE OF 169.05 FEET TO A POINT OF CURVE;
- 5. ON THE ARC OF A CURVE TO THE LEFT HAVING A DELTA OF 52°50'29", A RADIUS OF 840.00 FEET, A DISTANCE OF 774.70
- FEET TO A POINT OF TANGENT 6. N52°41'25"E A DISTANCE OF 1,610.12 FEET TO A POINT OF CURVE;
- 7. ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 38°46'50", A RADIUS OF 960.00 FEET, A DISTANCE OF 649.77
- 8. THENCE S88°31'45"E A DISTANCE OF 8.27 FEET TO A POINT ON CURVE; 9. ON THE ARC OF A CURVE TO THE LEFT, WHOSE CENTER BEARS N67°53'33"E, HAVING A DELTA OF 48°57'51", A RADIUS OF
- 100.00 FEET, A DISTANCE OF 85.46 FEET TO A POINT ON CURVE;
- 10.S01°28'15"W A DISTANCE OF 152.16 FEET TO A POINT OF CURVE 11.ON THE ARC OF A CURVE TO THE LEFT HAVING A DELTA OF 00°53'47", A RADIUS OF 5,030.00 FEET, A DISTANCE OF
- 78.69 FEET TO A POINT ON CURVE; 12.S89°25'32"E A DISTANCE OF 60.00 FEET;
- 13.N89°59'56"E A DISTANCE OF 505.80 FEET: 14.S00°00'00"E A DISTANCE OF 477.97 FEET TO A POINT ON THE SOUTH LINE OF THE SOUTHEAST QUARTER OF THE

SOUTHEAST QUARTER OF SECTION 30, TOWNSHIP 11 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN: THENCE S89°04'37"W, ON THE SOUTH LINE OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 30, A DISTANCE OF 144.30 FEET TO THE EAST SIXTEENTH CORNER OF SECTION 31; THENCE S00°00'11"E, ON THE EAST LINE OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 31, A DISTANCE OF 1,326.67 FEET TO THE NORTHEAST SIXTEENTH CORNER OF SAID SECTION 31; THENCE N89°08'21"E, ON THE NORTH LINE OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 31. A DISTANCE OF 1.289.57 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF BLACK FOREST ROAD, SAID POINT BEING 30.00 FEET WEST OF AND PARALLEL TO THE EAST LINE OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 31; THENCE S00°00'54"W, ON THE WESTERLY RIGHT-OF-WAY LINE OF SAID BLACK FOREST ROAD, BEING ALSO 30.00 FEET WEST OF AND PARALLEL TO THE EAST LINE OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 31, A DISTANCE OF 1,328.09 FEET TO A POINT ON THE SOUTH LINE OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 31: THENCE S89°11'15"W. ON THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 31, A DISTANCE OF 2,608.28 FEET TO THE CENTER QUARTER CORNER OF SAID SECTION 31; THENCE S89°11'00"W, ON THE SOUTH LINE OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 31, A DISTANCE OF 1.320.84 FEET TO THE CENTER WEST SIXTEENTH CORNER OF SAID SECTION 31: THENCE S00°00'34"W. ON THE EAST LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 31, A DISTANCE OF 1,329.16 FEET TO THE SOUTHWEST SIXTEENTH CORNER OF SAID SECTION 31; THENCE S89°24'17"W, ON THE SOUTH LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 31, A DISTANCE OF 37.78 FEET TO A POINT ON A LINE DESCRIBED IN A BOUNDARY LINE AGREEMENT RECORDED UNDER RECEPTION NO. 204188565; THENCE S02°42'03"W, ON SAID LINE DESCRIBED IN A BOUNDARY LINE AGREEMENT RECORDED UNDER RECEPTION NO. 204188565. A DISTANCE OF 1.330.04 FEET TO A POINT ON THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 31; THENCE S89°35'20"W, ON THE SOUTH LINE OF THE SOUTHWEST

QUARTER OF SAID SECTION 31, A DISTANCE OF 1,329.35 FEET TO THE POINT OF BEGINNING. CONTAINING A CALCULATED AREA OF 16,328,906 SQUARE FEET, OR 374.860 ACRES, MORE OR LESS.

CONTAINING A TOTAL CALCULATED AREA OF 32,382,989 SQUARE FEET OR 743.411 ACRES.

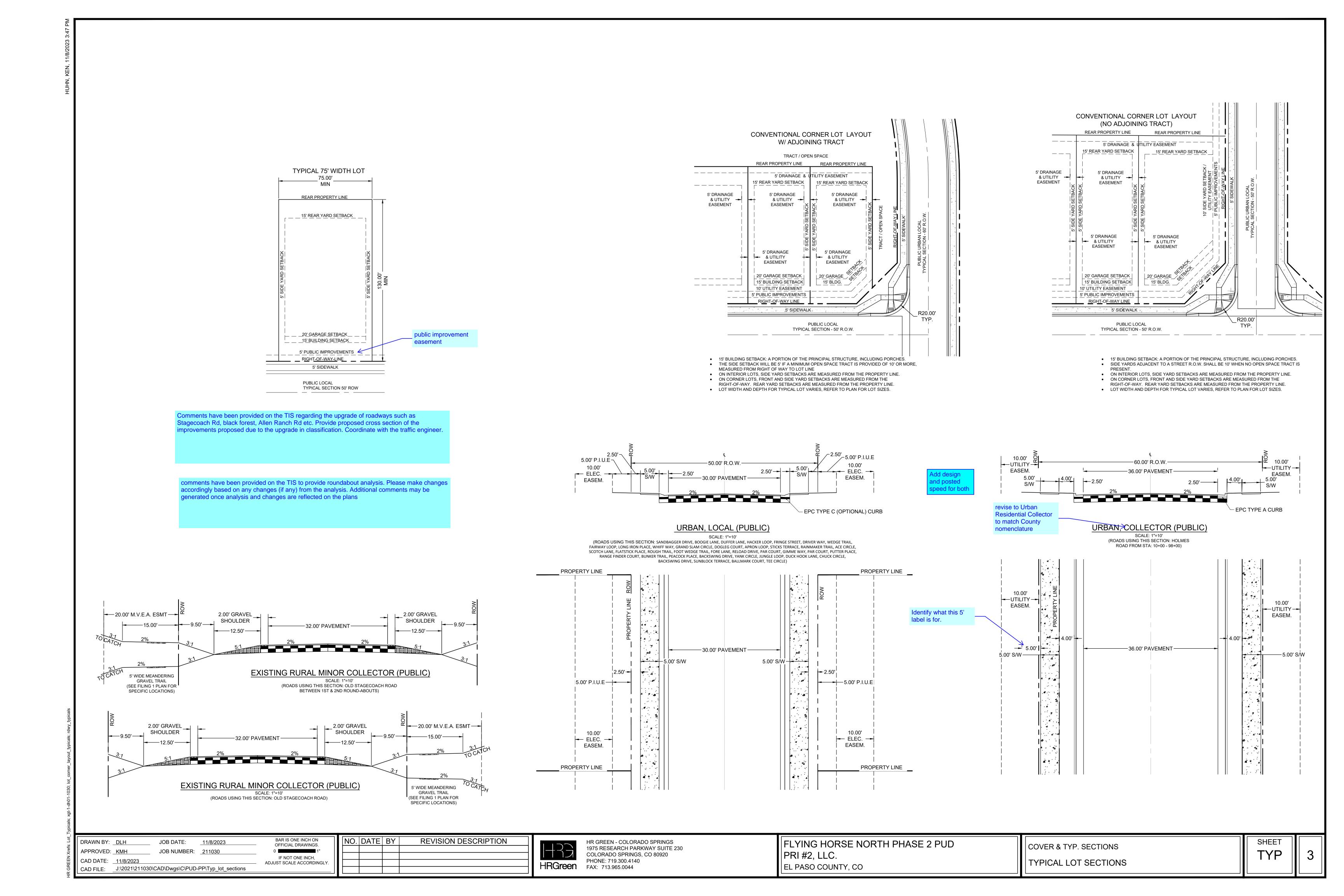
REVISION DESCRIPTION

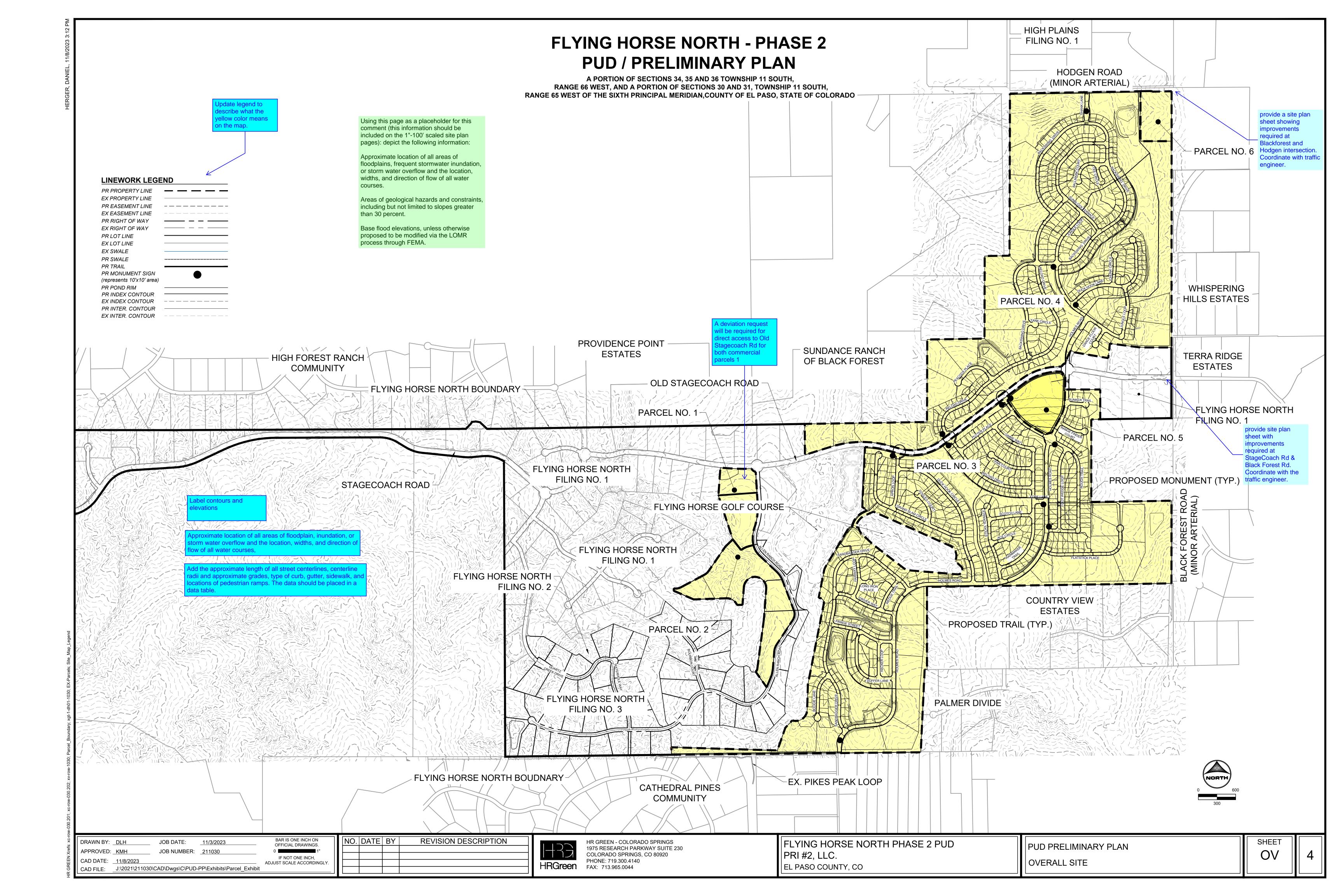


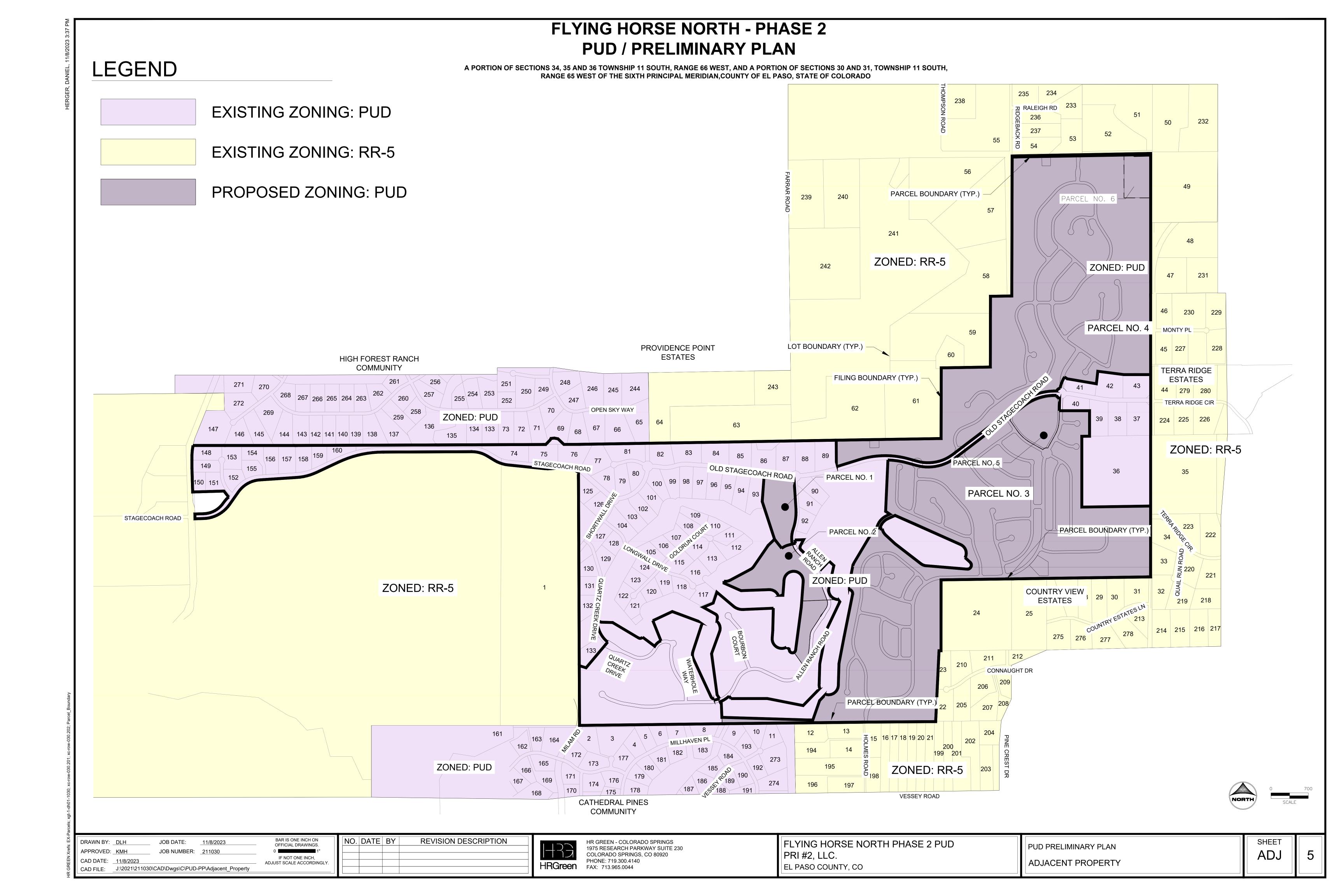
HR GREEN - COLORADO SPRINGS 1975 RESEARCH PARKWAY SUITE 230 COLORADO SPRINGS, CO 80920 PHONE: 719.300.4140 HRGreen FAX: 713.965.0044

FLYING HORSE NORTH PHASE 2 PUD PRI #2, LLC EL PASO COUNTY, CO

PUD PRELIMINARY PLAN







APPROVED: PLS

FLYING HORSE NORTH - PHASE 2 PUD / PRELIMINARY PLAN

	·	OWNSHIP 11 SOUTH, RANGE 66 WEST, AND A PORTION OF SECTIONS 30 AND 31, TOW	VNSHIP 11 SOUTH,	
1. SHAMROCK SS LLC ZONING - RR-5 ZONED - RR-5 15555 HWY 83 COLORADO SPRINGS, CO 19. RUPP JERRREY D ZONED - RR-5 5970 VESSEY ROAD COLORADO SPRINGS, CO	37. DERKSEN PROPERTIES LLC ZONED - PUD ZONED - RR-5 6755 OLD STAGECOACH ROAD COLORADO SPRINGS, CO RANGE 65 WEST C 55. NAVARETTE JEANINE A ZONED - RR-5 6280 HODGEN ROAD COLORADO SPRINGS, CO	72. JOHNSON LIVING TRUST 20NED - PUD 4841 HIGH FOREST ROAD COLORADO SPRINGS, CO FEL PASO, STATE OF COLORADO 90. PECK MICHAEL S 20NED - PUD 20NED - PUD 5555 OLD STAGECOACH ROAD COLORADO SPRINGS, CO COLORADO SPRINGS, CO	HENDRICKS JAMES ZONED - PUD S202 GOLD RUN COURT COLORADO SPRINGS, CO COLORADO SPRINGS, CO COLORADO SPRINGS	
2. BRI J FAMILY TRUST 20. LITTLETON STANLEY ZONED - PUD ZONED - RR-5 4820 FOXCHASE WAY 6010 VESSEY ROAD COLORADO SPRINGS, CO COLORADO SPRINGS, CO	38. NGUYEN LINH T ZONED - PUD ZONED - RR-5 6715 OLD STAGECOACH ROAD COLORADO SPRINGS, CO 56. ANDREWS SCOTT W ZONED - RR-5 HODGEN ROAD COLORADO SPRINGS, CO	73. RAMIREZ MELODY B ZONED - PUD ZONED - PUD 4781 HIGH FOREST ROAD COLORADO SPRINGS, CO 291. RENNER LLC ZONED - PUD 15331 ALLEN RANCH ROAD COLORADO SPRINGS, CO 201. RENNER LLC ZONED - PUD COLORADO SPRINGS - CO 201. RENNER LLC ZONED - PUD COLORADO SPRINGS - CO 201. RENNER LLC ZONED - PUD COLORADO SPRINGS - CO 201. RENNER LLC ZONED - PUD COLORADO SPRINGS - CO 201. RENNER LLC ZONED - PUD COLORADO SPRINGS - CO 201. RENNER LLC ZONED - PUD COLORADO SPRINGS - CO 201. RENNER LLC ZONED - PUD COLORADO SPRINGS - CO 201. RENNER LLC ZONED - PUD COLORADO SPRINGS - CO 201. RENNER LLC ZONED - PUD COLORADO SPRINGS - CO 201. RENNER LLC ZONED - PUD COLORADO SPRINGS - CO 201. RENNER LLC ZONED - PUD COLORADO SPRINGS - CO 201. RENNER LLC ZONED - COLORADO SPRINGS - CO 201. RENNER LLC ZONED - COLORADO SPRINGS - CO 201. RENNER LLC ZONED - COLORADO SPRINGS - CO 201. RENNER LLC ZONED - COLORADO SPRINGS - C	C&C LIVING TRUST ZONED - PUD S232 GOLD RUN COURT COLORADO SPRINGS, CO 127. GERBER JOSEPH DAVID ZONED - PUD ZONED - PUD 15262 SHORTWALL DRIVE COLORADO SPRINGS, CO COLORADO SPRINGS	
3. PIASECKI NANCY L REVOC TRUST 21. SWANSON BRECK C ZONED - PUD ZONED - RR-5 4940 FOXCHASE WAY 6030 VESSEY ROAD COLORADO SPRINGS, CO COLORADO SPRINGS, CO	39. MONACO57 LIVING TRUST ZONED - PUD ZONED - RR-5 6675 OLD STAGECOACH ROAD COLORADO SPRINGS, CO 57. DEIM CONNIE ZONED - RR-5 SUNDANCE RANCH LANE COLORADO SPRINGS, CO	74. FOWLER NORMAN W ZONED - PUD ZONED - PUD 4670 STAGECOACH ROAD COLORADO SPRINGS, CO 92. BOOGAARD RYAN ZONED - PUD 15271 ALLEN RANCH ROAD COLORADO SPRINGS, CO	ALBRIGHT MARK PHILLIP ZONED - PUD S262 GOLD RUN COURT COLORADO SPRINGS, CO 128. COFFEY LAVANSON C III ZONED - PUD ZONED - PUD 15192 SHORTWALL DRIVE COLORADO SPRINGS, CO COLORADO SPRINGS	AIL ROAD
4. BRINGARD FAMILY LICING TRUST ZONED - PUD 22. HOOKS GROUP LP 14465 MILLHAVEN PLACE COLORADO SPRINGS, CO 6005 CONNAUGHT DRIVE COLORADO SPRINGS, CO	40. ST HENRYS LLC ZONED - PUD STAGECOACH ROAD COLORADO SPRINGS, CO 58. BR&C INC ZONED - RR-5 30-11-65 COLORADO SPRINGS, CO COLORADO SPRINGS, CO	75. OLSON TYRONE L ZONED - PUD A760 STAGECOACH ROAD COLORADO SPRINGS, CO 93. ALEXANDER SCOTT E ZONED - PUD 5395 OLD STAGECOACH ROAD COLORADO SPRINGS, CO COLORADO SPRINGS, CO	VILIESIS TRUST129. ST AUBYN JARED147. WATSON RANDYZONED - PUDZONED - PUDZONED - PUD5292 GOLD RUN COURT15233 QUARTZ CREEK DRIVE15520 WINDING TRACOLORADO SPRINGS, COCOLORADO SPRINGS, COCOLORADO SPRINGS	
5. ALLAN NEAL A ZONED - PUD 14425 MILLHAVEN PLACE COLORADO SPRINGS, CO 23. MCILRATH WILLIAM F TRUSTEE ZONED - RR-5 6010 CONNAUGHT DRIVE COLORADO SPRINGS, CO	41. SMITH AARON 59. BR&C INC ZONED - PUD ZONED - RR-5 6590 OLD STAGECOACH ROAD COLORADO SPRINGS, CO COLORADO SPRINGS, CO	76. JONES CHRISTOPHER P ZONED - PUD ZONED - PUD STAGECOACH ROAD COLORADO SPRINGS, CO 94. CLAWSON MATTHEW R ZONED - PUD 5355 OLD STAGECOACH ROAD COLORADO SPRINGS, CO	SHOPTAUGH GLENN MARK ZONED - PUD S261 GOLD RUN COURT COLORADO SPRINGS, CO ZONED - PUD 15232 QUARTZ CREEK DRIVE COLORADO SPRINGS, CO COLORADO SPRINGS	
6. ALEX & AUTUMM SIMPSON ZONED - PUD 24. WAY MARGARET E 14385 MILLHAVEN PLACE COLORADO SPRINGS, CO 14820 BLACK FOREST ROAD COLORADO SPRINGS, CO	42. HARRIS GEORGE D ZONED - PUD 6670 OLD STAGECOACH ROAD COLORADO SPRINGS, CO 60. CHEROKEE METROPOLITAN DISTRICT ZONED - RR-5 30-11-65	77. WALTERS MICHAEL A ZONED - PUD ZONED - PUD 315 OLD STAGECOACH ROAD COLORADO SPRINGS, CO 25. PLAISTOWE NORMAN H ZONED - PUD 5315 OLD STAGECOACH ROAD COLORADO SPRINGS, CO	VILLAGREE LLC131. SHABE ERIC M149. VANCE ERZA GZONED - PUDZONED - PUDZONED - PUD5231 GOLD RUN COURT15182 QUARTZ CREEK DRIVE15450 BILLINGS COUCOLORADO SPRINGS, COCOLORADO SPRINGS, COCOLORADO SPRINGS	
7. MAITHILI VENKATACHALLAM ZONED - PUD 25. ABELL LIVING TRUST 14345 MILLHAVEN PLACE COLORADO SPRINGS, CO 6620 COUNTRY ESTATES LANE	·		S&J TRUST ZONED - PUD TENNES COLORADO SPRINGS, CO ZONED - PUD ZONED - PUD ZONED - PUD HIGHWAY 83 COLORADO SPRINGS, CO COLORADO SPRINGS	S, CO
COLORADO SPRINGS, CO 8. DULANEY KIMBERLY L ZONED - PUD 26. HERRON PATRICK J 14325 MILLHAVEN PLACE COLORADO SPRINGS, CO 6650 COUNTRY ESTATES LANE COLORADO SPRINGS, CO	HODGEN ROAD 44. MIKUSKA ERIC COLORADO SPRINGS, CO ZONED - RR-5 15645 TERRA RIDGE CIRCLE 62. SUNDANCE RANCH OF BLACK COLORADO SPRINGS, CO FOREST ZONED - RR-5	79. DAY GREGORY ZONED -PUD 4955 OLD STAGECOACH ROAD COLORADO SPRINGS, CO 97. KELLY J PHELAN TRUST ZONED - PUD 5155 OLD STAGECOACH ROAD COLORADO SPRINGS, CO COLORADO SPRINGS, CO	CHAVEZ XAVIER D ZONED - PUD S141 GOLD RUN COURT COLORADO SPRINGS, CO 133. HARVEY SETH A ZONED - PUD ZONED - PUD 15032 QUARTZ CREEK DRIVE COLORADO SPRINGS, CO COLORADO SPRINGS	URT
9. SMITH PAUL R ZONED - PUD 27. ABELL LIVING TRUST 14265 MILLHAVEN PLACE COLORADO SPRINGS, CO 6620 COUNTRY ESTATES LANE COLORADO SPRINGS, CO	45. GARD DIANA M HODGEN ROAD ZONED - RR-5 COLORADO SPRINGS, CO 6835 MONTY PLACE	80. RZONCA THADDEUS ZONED - PUD ZONED - PUD 4995 OLD STAGECOACH ROAD COLORADO SPRINGS, CO 20 SPRINGS, CO 20 SPRINGS D 20 S	DALY FAMILY TRUST ZONED - PUD 134. PITTS JOHN ZONED - PUD 20NED - PUD 20NED - PUD 30NED - PUD 4661 HIGH FOREST ROAD COLORADO SPRINGS, CO COLORADO SPRINGS, CO 152. JONE LUCAS ZONED - PUD 15419 BILLINGS COL COLORADO SPRINGS, CO COLORADO SPRINGS	
10. ANDERSON MATTHEW P ZONED - PUD 28. COPPOCK AARON O 5025 VESSEY ROAD ZONED - RR-5 COLORADO SPRINGS, CO 6680 COUNTRY ESTATES LANE	46. FRANKOVIS JESSE J 15550 FARRAR ROAD ZONED - RR-5 COLORADO SPRINGS, CO 6840 MONTY PLACE COLORADO SPRINGS, CO 64. SHELL JAMES R II	81. SIDWELL DUSTIN JEFFREY ZONED - PUD ZONED - PUD 4990 OLD STAGECOACH ROAD COLORADO SPRINGS, CO SIM MICHAEL SANG-HAK ZONED - PUD 5075 OLD STAGECOACH ROAD COLORADO SPRINGS, CO	STIMPLE FAMILY LLLP ZONED - PUD 14842 LONGWALL DRIVE COLORADO SPRINGS, CO COLORADO SPRINGS, CO COLORADO SPRINGS, CO	
COLORADO SPRINGS, CO 11. ESPENLAUB ECTON ZONED - PUD 29. MACEDO JUAN H LOMEIL 4985 VESSEY ROAD ZONED - RR-5 COLORADO SPRINGS, CO 6710 COUNTRY ESTATES LANE	·	82. SPARKS DUSTIN R ZONED - PUD 5070 OLD STAGECOACH ROAD COLORADO SPRINGS, CO 100. TEUSCHER KURT ZONED - PUD 5035 OLD STAGECOACH ROAD COLORADO SPRINGS, CO 118.	CREPS DARREL E III ZONED - PUD HOMEOWNERS ZONED - PUD 14912 LONGWALL DRIVE COLORADO SPRINGS, CO 136. HIGH FOREST RANCH HOMEOWNERS ZONED - PUD 3680 STAGECOACH COLORADO SPRINGS, CO COLORADO SPRINGS	ROAD
COLORADO SPRINGS, CO 12. DILLINGHAM MICHAEL V ZONED - RR-5 30. SOMBRIC WAYNE S ZONED - RR-5 COLORADO SPRINGS, CO 6740 COUNTRY ESTATES LANE COLORADO SPRINGS, CO	ZONED - PUD	ZONED - PUD 5150 OLD STAGECOACH ROAD COLORADO SPRINGS, CO COLORADO SPRINGS, CO COLORADO SPRINGS, CO	COLORADO SPRINGS, CO CAIN JASON ZONED - PUD 137. SALGADO PAUL R TRUST 14982 LONGWALL DRIVE COLORADO SPRINGS, CO 4415 HIDDEN ROCK ROAD COLORADO SPRINGS, CO COLORADO SPRINGS, CO COLORADO SPRINGS, CO	ROAD
13. THOMAS JOHN K ZONED - RR-5 31. HOPSON SEAN 20NED - RR-5 COLORADO SPRINGS, CO 6770 COUNTRY ESTATES LANE COLORADO SPRINGS, CO	ZONED - PUD	ZONED - PUD 102. KAVERMAN JOSEPH A 5230 OLD STAGECOACH ROAD ZONED - PUD RUST COLORADO SPRINGS, CO 5215 OLD STAGECOACH ROAD COLORADO SPRINGS, CO	DICKEY MICHAEL R ZONED - PUD 138. JOHNSON GREGG 5021 GOLD RUN CT COLORADO SPRINGS, CO 4365 HIDDEN ROCK ROAD COLORADO SPRINGS, CO COLORADO SPRINGS, CO COLORADO SPRINGS	
14. ERNST CHARLES H ZONED - RR-5 32. MCKINLEY DAVID R 14410 HOMES ROAD ZONED - RR-5 COLORADO SPRINGS, CO 14920 QUAIL RUN ROAD COLORADO SPRINGS, CO	50. BERENS MARK E ZONED - RR-5 6850 HODGEN ROAD COLORADO SPRINGS, CO 68. JANNELLE EVA ALLEN REVOCA TRUST	ZONED - PUD 103. PIEPER RANDALL L 5310 OLD STAGECOACH ROAD ZONED - PUD ABLE COLORADO SPRINGS, CO 5125 OLD STAGECOACH ROAD COLORADO SPRINGS, CO	ZONED - PUD 139. ROMANS LIVING TRUST 5013 GOLD RUN CT COLORADO SPRINGS, CO 139. ROMANS LIVING TRUST ZONED - PUD ZONED - PUD 3860 STAGECOACH COLORADO SPRINGS, CO COLORADO SPRINGS	
15. WAUGH JOSHUA T ZONED - RR-5 14445 HOLMES ROAD COLORADO SPRINGS, CO 33. WINNINGHAM AARON JASON ZONED - RR-5 14940 QUAIL RUN ROAD COLORADO SPRINGS, CO	16550 BLACK FOREST ROAD COLORADO SPRINGS, CO COLORADO SPRINGS, CO 69. STUDHOLME FAMILY TRUST	ZONED - PUD 104. SHECTER TRUST 5390 OLD STAGECOACH ROAD ZONED - PUD COLORADO SPRINGS, CO 15291 LONGWALL DRIVE COLORADO SPRINGS, CO	MILLER SCOTT G ZONED - PUD 140. RYAN CHRISTOPHER J 5012 GOLD RUN CT COLORADO SPRINGS, CO 4265 HIDDEN ROCK ROAD COLORADO SPRINGS, CO COLORADO SPRINGS, CO COLORADO SPRINGS	
16. HOFFPAUIR DAN W JR ZONED - RR-5 34. LYNDE ROBERT A ZONED - RR-5 COLORADO SPRINGS, CO 15015 TERRA RIDGE CIRCLE COLORADO SPRINGS, CO	52. MUNSON BRANDON J ZONED - PUD ZONED - RR-5 15685 OPEN SKY WAY 16710 BLACK FOREST ROAD COLORADO SPRINGS, CO COLORADO SPRINGS, CO 70. MAHER FAMILY REVOC LIVING	ZONED - PUD 105. CHRISTOPHER MICHAEL MARSHALL 5470 OLD STAGECOACH ROAD ZONED - PUD COLORADO SPRINGS, CO 15051 LONGWALL DRIVE COLORADO SPRINGS, CO	BRENNAN THOMAS LIVING TRUST ZONED - PUD 141. MARY CLAUDE F TRUSTEE 5022 GOLD RUN CT COLORADO SPRINGS, CO 4215 HIDDEN ROCK ROAD COLORADO SPRINGS, CO COLORADO SPRINGS, CO COLORADO SPRINGS	ROAD
17. SELF BOB J ZONED - RR-5 5910 VESSEY ROAD COLORADO SPRINGS, CO 15385 BLACK FOREST ROAD COLORADO SPRINGS, CO	6520 HODGEN ROAD 4961 HIGH FOREST ROAD COLORADO SPRINGS, CO COLORADO SPRINGS, CO	ZONED - PUD 106. BECKER JACOB J 5550 OLD STAGECOACH ROAD ZONED - PUD COLORADO SPRINGS, CO 5142 GOLD RUN COURT COLORADO SPRINGS, CO	WINTER CHARLES C ZONED - PUD 142. STREVELL MICHAEL W 5082 GOLD RUN CT COLORADO SPRINGS, CO 20NED - PUD ZONED - PUD ZONED - PUD A130 STAGECOACH COLORADO SPRINGS, CO COLORADO SPRINGS, CO	ROAD
18. JONES INGRID L ZONED - RR-5 5940 VESSEY ROAD COLORADO SPRINGS, CO 2000 SPRINGS, CO 15380 BLACK FOREST ROAD COLORADO SPRINGS, CO	54. JOHN R SHANTZ & BELINDA S ZONED - RR-5 ZONED - PUD 16547 RIDGEBACK ROAD COLORADO SPRINGS, CO COLORADO SPRINGS, CO ZONED - PUD 4901 HIGH FOREST ROAD COLORADO SPRINGS, CO	89. LONG RUSSEL I ZONED - PUD 107. KEV PARTNERS LTD 5630 OLD STAGECOACH ROAD COLORADO SPRINGS, CO 5172 GOLD RUN COURT COLORADO SPRINGS, CO	THEOBARD CHARLES N ZONED - PUD 4945 STAGECOACH ROAD COLORADO SPRINGS, CO 4115 HIDDEN ROCK ROAD COLORADO SPRINGS, CO COLORADO SPRINGS, CO COLORADO SPRINGS, CO COLORADO SPRINGS, CO	COUNTY FILE NUMBER: <u>SKP223</u>
DRAWN BY: JAG JOB DATE: 11/3/2023 BAR IS ONE INCH ON OFFICIAL DRAWINGS. APPROVED: PLS JOB NUMBER: 211030 0 1" CAD DATE: 11/8/2023 IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY. CAD FILE: J:\2021\211030\CAD\Dwgs\C\PUD-PP\Adjacent_Property	NO. DATE BY REVISION DESCRIPTION HRGreen	COLORADO SPRINGS, CO 80920 PHONE: 719 300 4140	DRTH PHASE 2 PUD PUD PRELIMINARY PLAN ADJACENT OWNERS	SHEET ADJ 6

- 161. RED HORSE HILL LLC ZONED - PUD **AUNDERTON GRV** COLORADO SPRINGS, CO
- 162. WILKINSON SUZANNE ELIZABETH ZONED - PUD 4540 FOXCHASE WAY COLORADO SPRINGS. CO
- 163. JOHNSON SAM CHRISTOPHER ZONED - PUD 4580 FOXCHASE WAY COLORADO SPRINGS, CO
- 164. S&BT LIVING TRUST ZONED - PUD **4660 FOXCHASE WAY** COLORADO SPRINGS. CO
- 165. CURRAN LARRY DAVID ZONED - PUD **4615 FOXCHASE WAY** COLORADO SPRINGS, CO
- 166. LEE MARVIN ZONED - PUD 4455 FOXCHASE WAY COLORADO SPRINGS. CO
- 167. JASMIN TREMBLAY REVOCABLE TRUST ZONED - PUD 4415 FOXCHASE WAY COLORADO SPRINGS. CO
- 168. EVANS LIVING TRUST ZONED - PUD 14190 MARBLE ARCH COURT COLORADO SPRINGS. CO
- 169. TAYLOR CHRISTINA MARIE ZONED - PUD 4535 FOXCHASE WAY COLORADO SPRINGS, CO
- 170. LUTHY ROBERT EDWARD ZONED - PUD 14250 FARNHAM ROYAL COURT COLORADO SPRINGS, CO
- 171. BEHNKEN CHAD L ZONED - PUD 4735 FOXCHASE WAY COLORADO SPRINGS. CO
- 172. SWARTHOUT ANDREW T ZONED - PUD 4740 FOXCHASE WAY COLORADO SPRINGS, CO
- 173. ERLING BRIAN F ZONED - PUD 4780 FOXCHASE WAY COLORADO SPRINGS, CO
- 174. ARORA PRATHEEP ZONED - PUD 14285 FARNHAM ROYAL COURT COLORADO SPRINGS, CO
- 175. ROSENBAUM DAVID A REVOC TRUST ZONED - PUD 14585 MILLHAVEN PLACE COLORADO SPRINGS, CO
- 176. KELLY LIVING TRUST ZONED - PUD 4975 FOXCHASE WAY COLORADO SPRINGS, CO
- 177. FLEMING FAMILY LIVING TRUST ZONED - PUD 14505 MILLHAVEN PLACE COLORADO SPRINGS. CO
- 178. LONGHORNS 07 TURST ZONED - PUD 14550 MILLHAVEN PLACE COLORADO SPRINGS, CO

- 179. KROEKER KARL **ZONED - PUD** 14510 MILLHAVEN PLACE COLORADO SPRINGS, CO
- 180. COLOSSEE PARTNERS LLLP **ZONED - PUD** 14470 MILLHAVEN PLACE COLORADO SPRINGS, CO
- 181. SEDDON JOHN TA **ZONED - PUD** 14390 MILLHAVEN PLACE COLORADO SPRINGS, CO
- 182. MEDRICK JAMES G ZONED - PUD 14350 MILLHAVEN PLACE COLORADO SPRINGS, CO
- 183. JAIN RUPESH **ZONED - PUD** 14320 MILLHAVEN PLACE COLORADO SPRINGS. CO
- 184. KLAIBER LIVING TRUST **ZONED - PUD** 14230 MILLHAVEN PLACE COLORADO SPRINGS, CO
- 185. SEXTON KENNETH R **ZONED - PUD** 5225 VESSEY ROAD COLORADO SPRINGS, CO
- 186. POPE MARK S **ZONED - PUD** 5265 VESSEY ROAD COLORADO SPRINGS, CO
- 187. ALDER FAMILY TRUST **ZONED - PUD** 5345 VESSEY ROAD COLORADO SPRINGS, CO
- 188. LNB FAMILY TRUST ZONED - PUD 5270 VESSEY ROAD COLORADO SPRINGS, CO
- 189. RAYMOND CHARLES DENT JR. ZONED - PUD **5230 VESSEY ROAD** COLORADO SPRINGS, CO
- 190. KOSZEWNIK JOHN JOSEPH **ZONED - PUD** 5190 VESSEY ROAD COLORADO SPRINGS, CO
- 191. ENEA STEVEN A **ZONED - PUD** 14150 MILLHAVEN PLACE COLORADO SPRINGS, CO
- 192. KARL C & DAWN M FINDLEY ZONED - PUD 5070 VESSEY ROAD COLORADO SPRINGS, CO
- 193. MURPHY ROBERT CJR **ZONED - PUD** 5065 VESSEY ROAD COLORADO SPRINGS, CO
- 194. HAWKINS JOSEPH C JR ZONED - RR-5 14450 HOLMES ROAD COLORADO SPRINGS. CO
- 195. KRISTY MICHAEL H **ZONED - RR-5** 14350 HOLMES ROAD COLORADO SPRINGS, CO
- 196. GARLICK JEFFREY ZONED - RR-5 14320 HOLMES ROAD COLORADO SPRINGS. CO

- 197. STELZEL DANIEL M **ZONED - RR-5** 14290 HOLMES ROAD COLORADO SPRINGS, CO
- 198. MCGOWAN PATRICK J JR ZONED - RR-5 14355 HOLMES ROAD COLORADO SPRINGS, CO
- 199. WANTY LISA M **ZONED - RR-5** 6060 VESSEY ROAD COLORADO SPRINGS, CO
- 200. HAYES MARK G **ZONED - RR-5** 6090 VESSEY ROAD COLORADO SPRINGS, CO
- 201. DOLES THOMAS ALBERT **ZONED - RR-5** 6130 VESSEY ROAD COLORADO SPRINGS, CO
- 202. ELLEN KLEIN LIVING TRUST ZONED - RR-5 6180 VESSEY ROAD COLORADO SPRINGS, CO
- 203. BRADBURY DAVID J **ZONED - RR-5 6220 VESSEY ROAD** COLORADO SPRINGS, CO
- 204. STEWART ANTHONY NEIL ZONED - RR-5 14450 PINE CREST DRIVE COLORADO SPRINGS, CO
- 205. CHAMBERS REVOCABLE TRUST ZONED - RR-5 6065 CONNAUGHT DRIVE COLORADO SPRINGS, CO
- 206. CARTER THOMAS J ZONED - RR-5 6125 CONNAUGHT DRIVE
- 207. MOREAU WILLIAM J **ZONED - RR-5** 6185 CONNAUGHT DRIVE COLORADO SPRINGS, CO3
- 208. MOREAU WILLIAM J ZONED - RR-5 6245 CONNAUGHT DRIVE COLORADO SPRINGS, CO
- 209. RODAS PETER G **ZONED - RR-5** 6305 CONNAUGHT DRIVE COLORADO SPRINGS, CO
- 210. DAWSON FAMILY TRUST ZONED - RR-5 6070 CONNAUGHT DRIVE COLORADO SPRINGS, CO
- 211. PALAZZARI ANTHONY A ZONED - RR-5 **6250 CONNAUGHT DRIVE** COLORADO SPRINGS, CO
- 212. TRUMP CAROLYN D ZONED - RR-5 6370 CONNAUGHT DRIVE COLORADO SPRINGS, CO
- 213. CORBETT NORMAN **ZONED - RR-5** 6745 COUNTY ESTATES LANE COLORADO SPRINGS, CO
- 214. BAHR JACOB **ZONED - RR-5** 6818 MARSHBERN COURT COLORADO SPRINGS, CO

- 215. WESTOVER HOMES LLC ZONED - RR-5 6902 MARSHBERN COURT COLORADO SPRINGS. CO
- 216. WESTOVER HOMES LLC ZONED - RR-5 6986 MARSHBERN COURT COLORADO SPRINGS. CO
- 217. WESTOVER HOMES LLC ZONED - RR-5 7070 MARSHBERN COURT COLORADO SPRINGS, CO 218. ELLSWORTH FRANK F ZONED - RR-5

15105 TERRA RIDGE CIRCLE

COLORADO SPRINGS, CO

- 219. DENNIS REBECCA L ZONED - RR-5 14915 QUAIL RUN ROAD COLORADO SPRINGS. CO
- 220. JAMES P REEG REVOCABLE **TRUST** ZONED - RR-5 14935 QUAIL RUN ROAD COLORADO SPRINGS, CO
- 221. FELLAR DENNIS W ZONED - RR-5 15095 TERRA RIDGE CIRCLE COLORADO SPRINGS. CO
- 222. HUTCHINS-VAN TASSEL LESLIE ZONED - RR-5 15090 TERRA RIDGE CIRCLE COLORADO SPRINGS, CO
- 223. FERL DIANE F ZONED - RR-5 15010 TERRA RIDGE CIRCLE COLORADO SPRINGS. CO
- 224. CHAFFEE GREGORY B ZONED - RR-5 15650 TERRA RIDGE CIRCLE COLORADO SPRINGS. CO
- 225. PETERSON JEFFREY L ZONED - RR-5 15610 TERRA RIDGE CIRCLE COLORADO SPRINGS, CO
- 226. MCLELLAN CHRISTOPHER S ZONED - RR-5 15570 TERRA RIDGE CIRCLE COLORADO SPRINGS, CO
- 227. BARR RHONDA LYN ZONED - RR-5 6915 MONTY PLACE COLORADO SPRINGS. CO
- 228. KHALIQI DAVID H ZONED - RR-5 6985 MONTY PLACE COLORADO SPRINGS. CO
- 229. ANDREWS TODD ZONED - RR-5 6990 MONTY PLACE COLORADO SPRINGS, CO
- 230. LEVY JOEL D ZONED - RR-5 6950 MONTY PLACE COLORADO SPRINGS. CO
- 231. SANCHEZ LAISSA ZONED - RR-5 6925 ALPACA HEIGHTS COLORADO SPRINGS, CO
- 232. ENGET AARON ZONED - RR-5 6950 HODGEN ROAD COLORADO SPRINGS, CO

- 233. SAVAGE JORDAN L **ZONED - RR-5** 6498 RALEIGH ROAD COLORADO SPRINGS, CO
- 234. CONNOLLY ANDREW ZONED - RR-5 6442 RALEIGH ROAD COLORADO SPRINGS. CO
- 235. VOLK SETH K **ZONED - RR-5** 6386 RALEIGH ROAD COLORADO SPRINGS, CO 236. GIBB RONALD JESSE
- ZONED RR-5 6387 RALEIGH ROAD COLORADO SPRINGS, CO
- 237. SAVAGE JORDAN L ZONED - RR-5 16587 RIDGEBACK ROAD COLORADO SPRINGS, CO
- 238. BISHOP BARBARA K ZONED - RR-5 16755 THOMPSON ROAD COLORADO SPRINGS, CO
- 239. DUNSTON MATTHEW W **ZONED - RR-5** 5525 HODGEN ROAD COLORADO SPRINGS. CO
- 240. LAVALLEY BRANDON DALE ZONED - RR-5 **5735 HODGEN ROAD** COLORADO SPRINGS, CO
- 241. STEARNS KRYSTAL ZONED - RR-5 **HODGEN ROAD** COLORADO SPRINGS. CO
- 242. STEARNS KRYSTAL ZONED - RR-5 FARRAR DRIVE COLORADO SPRINGS, CO
- 243. HARVEY TINA MARIE ZONED - RR-5 15975 FARRAR DRIVE COLORADO SPRINGS, CO
- 244. HARVEY CAROLYN C ZONED - RR-5 15502 OPEN SKY WAY COLORADO SPRINGS, CO
- 245. ROEHRICH DN FAMILY TRUST **ZONED - RR-5** 15548 OPEN SKY WAY COLORADO SPRINGS. CO
- 246. JAMES F BREGLIO LIVING TRUST **ZONED - RR-5** 15594 OPEN SKY WAY COLORADO SPRINGS, CO
- 247. CARPER CHRISTOPHER ZONED - RR-5 15686 OPEN SKY WAY COLORADO SPRINGS. CO
- 248. COYLE JOHN MORGAN LIVING TRUST **ZONED - RR-5** 15778 OPEN SKY WAY COLORADO SPRINGS, CO
- 249. JONES CHARLES D **ZONED - RR-5** 4781 SECLUDED CREEK COURT COLORADO SPRINGS, CO
- 250. SELVA MICHAEL D ZONED - RR-5 4691 SECLUDED CREEK COURT COLORADO SPRINGS. CO

- 251. PRIBBLE FAMILY LIVING TRUST ZONED - RR-5 4601 SECLUDED CREEK COURT COLORADO SPRINGS. CO
- 252. CHAMBERS MARK L ZONED - RR-5 4782 HIGH FOREST ROAD COLORADO SPRINGS, CO
- 253. MURROW RICHARD C TRUST ZONED - RR-5 4722 HIGH FOREST ROAD COLORADO SPRINGS, CO 254. MOORE DAVID S ZONED - RR-5

4662 HIGH FOREST ROAD

COLORADO SPRINGS, CO

COLORADO SPRINGS, CO

COLORADO SPRINGS, CO

- 255. CIABARRA JAIMIE K **ZONED - RR-5** 4602 HIGH FOREST ROAD
- 256. VAN AUKEN LIVING TRUST ZONED - RR-5 4715 HIDDEN ROCK ROAD
- 257. BRAY THEODORE C ZONED - RR-5 4482 HIGH FOREST ROAD COLORADO SPRINGS. CO
- 258. CICCONE LYNDA M ZONED - RR-5 4481 HIGH FOREST ROAD COLORADO SPRINGS, CO
- 259. CICCONE LYNDA M ZONED - RR-5 4481 HIGH FOREST ROAD COLORADO SPRINGS, CO
- 260. STONESTREET JOHN B ZONED - RR-5 4515 HIDDEN ROCK ROAD COLORADO SPRINGS, CO
- 261. OLIVIAS RAYMOND B ZONED - RR-5 4301 HIGH FOREST ROAD COLORADO SPRINGS, CO
- 262. SUTHERLAND STEPHEN ARTHUR ZONED - RR-5 4460 HIDDEN ROCK ROAD COLORADO SPRINGS, CO
- 263. WEBER CHARLES L ZONED - RR-5 4360 HIDDEN ROCK ROAD COLORADO SPRINGS. CO
- 264. NELSON NORMAN D ZONED - RR-5 4260 HIDDEN ROCK ROAD COLORADO SPRINGS, CO
- **265. JOHNSON TRACIE LIVING TRUST** ZONED - RR-5 **4210 HIDDEN ROCK ROAD** COLORADO SPRINGS, CO
- 266. BREWER STEVEN W ZONED - RR-5 4160 HIDDEN ROCK ROAD COLORADO SPRINGS, CO
- 267. WOGEN BRYAN **ZONED - RR-5** 4110 HIDDEN ROCK ROAD COLORADO SPRINGS. CO
- 268. FRANZ CHRISTOPHER A ZONED - RR-5 **4010 HIDDEN ROCK ROAD** COLORADO SPRINGS, CO

- 269. PAESCHKE TRACY ZONED - RR-5 **4015 HIDDEN ROCK ROAD** COLORADO SPRINGS, CO
- 270. OLSEN TODD A **ZONED - RR-5** 3985 CANOPY COURT COLORADO SPRINGS. CO
- 271. DAHILL DEVIN ZONED - RR-5 **3955 CANOPY COURT** COLORADO SPRINGS. CO
- 272. CASE FAMILY REVOC LIVING **TRUST** ZONED - RR-5 15570 WINDING TRAIL ROAD COLORADO SPRINGS, CO
- 273. PARKER JEFFREY ZONED - RR-5 5030 VESSEY ROAD COLORADO SPRINGS, CO
- 274. TERESA L FERGUSON LIVING **TRUST ZONED - RR-5** 14145 MILLHAVEN PLACE
- 275. HOLLINGSWORTH KIMBERLEY ZONED - RR-5 6625 COUNTRY ESTATES LANE COLORADO SPRINGS, CO

COLORADO SPRINGS. CO

- 276. BURST DAVID K ZONED - RR-5 6655 COUNTRY ESTATES LANE COLORADO SPRINGS, CO
- 277. PIRTLE CYNTHIA K ZONED - RR-5 6685 COUNTRY ESTATES LANE COLORADO SPRINGS, CO
- 278. TWOMBLY MARCI ZONED - RR-5 6715 COUNTRY ESTATES LANE COLORADO SPRINGS, CO
- 279. SUMPTER JUSTIN MICHAEL ZONED - RR-5 15605 TERRA RIDGE CIRCLE COLORADO SPRINGS. CO
- ZONED RR-5 15565 TERRA RIDGE CIRCLE COLORADO SPRINGS, CO

280. DAVIS MARK K

SCOTT W ANDREWS PO BOX 158 USAF ACADEMY, CO 80840

GREGORY B CHAFFEE

CHRISTOPHER A BOWMAN 6425 CONNAUGHT DRIVE COLORADO SPRINGS, CO 80908

15650 TERRA RIDGE CIRCLE

- COLORADO SPRINGS, CO 80908 AARON O COPPOCK 6680 COUNTRY ESTATES LANE
- COLORADO SPRINGS, CO 80908 DERKSEN PROPERTIES LLC 5491 PADDINGTON CREEK COLORADO SPRINGS, CO 80924
- JOHN R AND BELINDA SHANTZ 2651 19TH AVE KINGSBURG, CA 93631

DANIEL W LULCHUK 6790 CONNAUGHT DRIVE COLORADO SPRINGS. CO 80908

ROBERT MELANSON 14725 BLACK FOREST ROAD COLORADO SPRINGS, CO 80908

ERIC MIKUSKA

15645 TERRA RIDGE CIRCLE COLORADO SPRINGS, CO 80908 ANTHONY A PALAZZARI

COLORADO SPRINGS, CO 80908 PETER G RODAS 6305 CONNAUGHT DRIVE

COLORADO SPRINGS, CO 80908

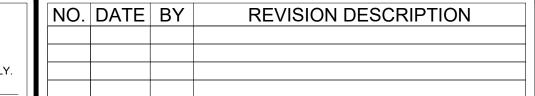
6250 CONNAUGHT DRIVE

ERIC J ROWE 6670 CONNAUGHT DRIVE COLORADO SPRINGS. CO 80908

RYE LLC 16755 HAPPY LANDING MONUMENT, CO 80132

- MARK A SLUTZ 6730 CONNAUGHT DRIVE COLORADO SPRINGS. CO 80908
- JEFFREY B SMITH 13925 HIGHWAY 83 COLORADO SPRINGS, CO 80921
- BART W TIMM 14695 BLACK FOREST ROAD COLORADO SPRINGS, CO 80908
- MAYNARD MARCI L TWOMBLY 6745 COUNTRY ESTATES LANE COLORADO SPRINGS, CO 80908
- **KEVIN J VIDER** 6365 CONNAUGHT DRIVE COLORADO SPRINGS, CO 80908

COUNTY FILE NUMBER: SKP223



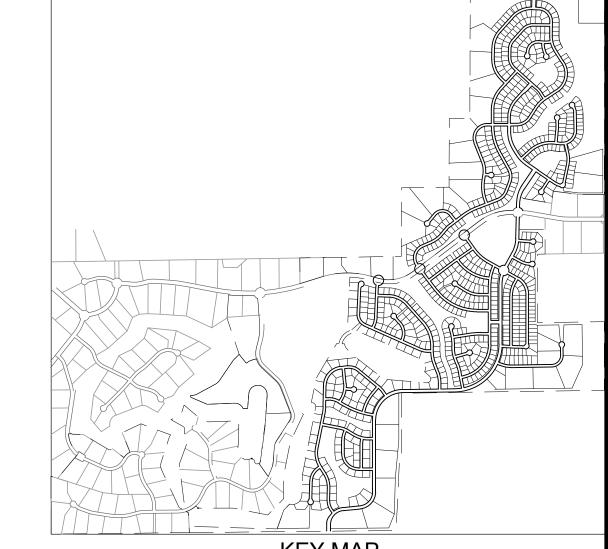


HR GREEN - COLORADO SPRINGS 1975 RESEARCH PARKWAY SUITE 230 COLORADO SPRINGS, CO 80920 PHONE: 719.300.4140 HRGreen FAX: 713.965.0044

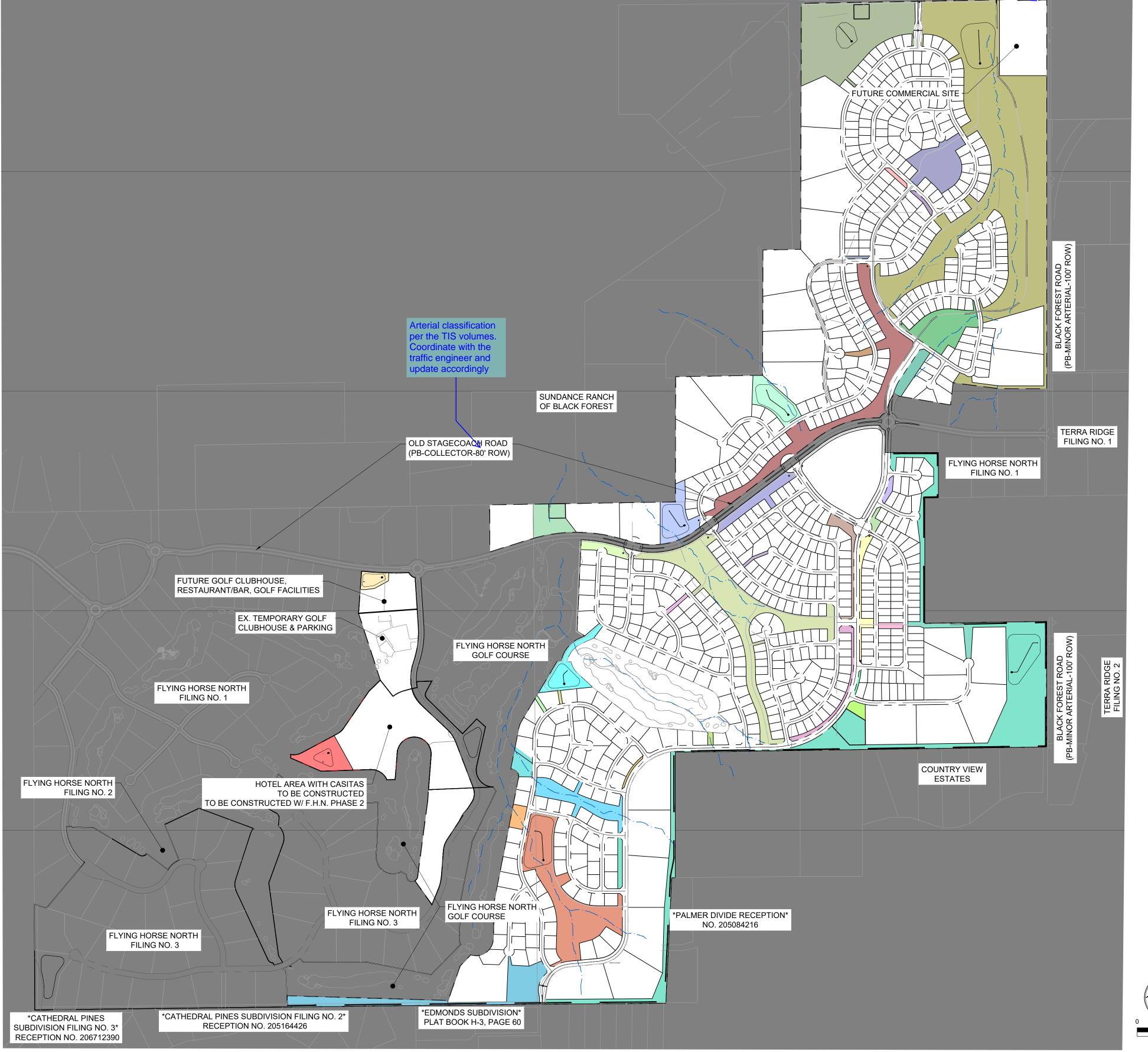
A PORTION OF SECTIONS 34, 35 AND 36 TOWNSHIP 11 SOUTH,
RANGE 66 WEST, AND A PORTION OF SECTIONS 30 AND 31, TOWNSHIP 11 SOUTH,
RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

HODGEN ROAD (PB-MINOR ARTERIAL-100' ROW) provide note that access to commercial parcel with be determined with the final plat and/or site development plan application.

recall that access off Hodgen would not be supported.



KEY MAP SCALE: N.T.S



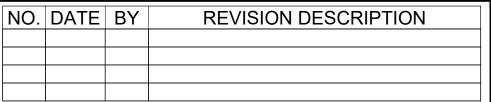
TRACT F TRACT G TRACT H TRACT I TRACT J TRACT K TRACT L TRACT M TRACT N TRACT O TRACT P TRACT Q TRACT T TRACT U TRACT V TRACT W TRACT X TRACT Y TRACT Z TRACT AA TRACT CC TRACT DD TRACT HH TRACT II TRACT JJ TRACT KK TRACT LL TRACT MM NOT WITHIN SCOPE OF PUD

TRACT LEGEND

TRACT E

NORTH 600

DRAWN BY:	DLH	JOB DATE:	11/8/23	BAR IS ONE INCH ON OFFICIAL DRAWINGS.
APPROVED:	KMH	JOB NUMBER:	211030	0 1"
CAD DATE:	11/8/2023			IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.
CAD FILE:	J:\2021\211030\0	CAD\Dwgs\C\PUD-	PP\Tract_Plan	

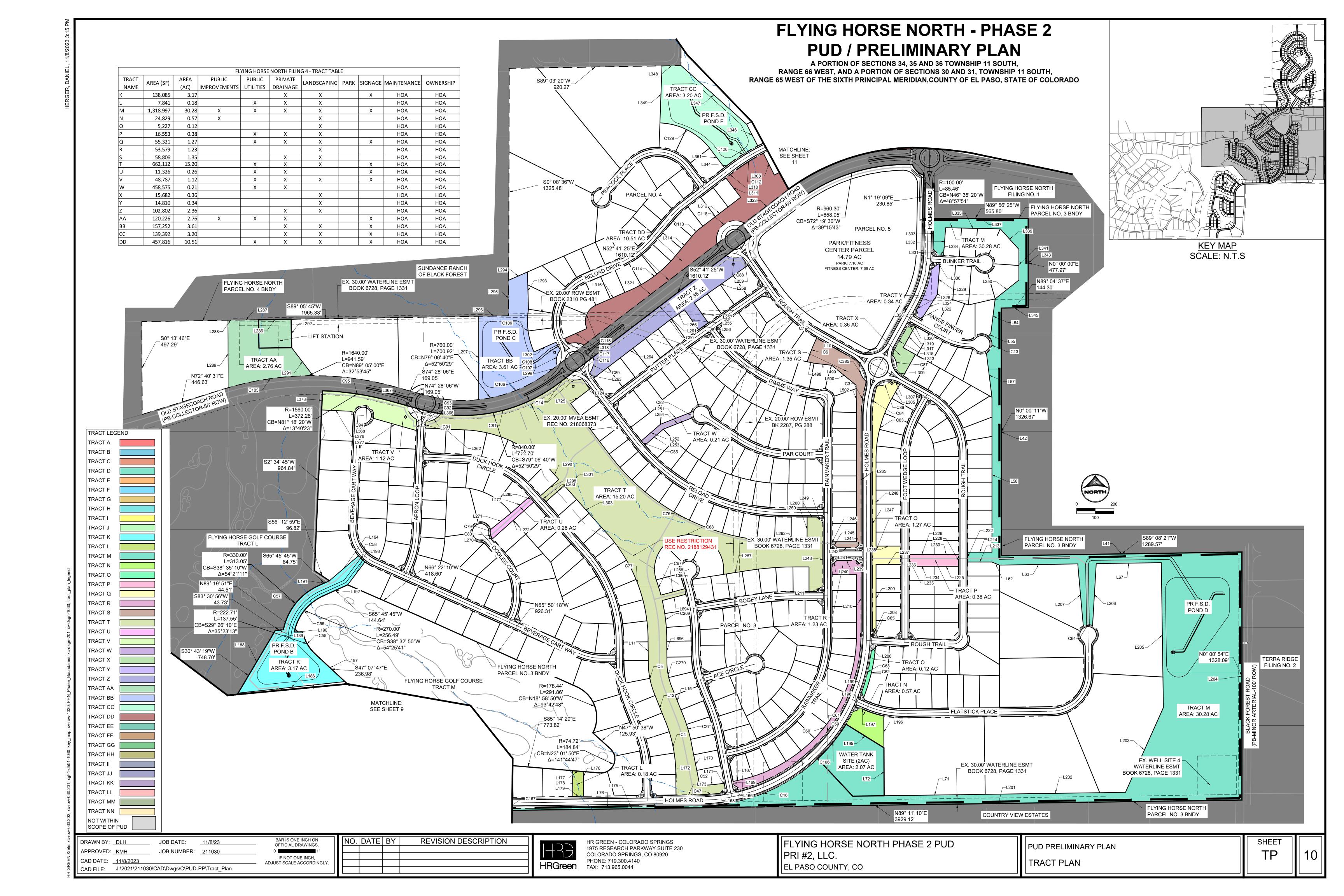


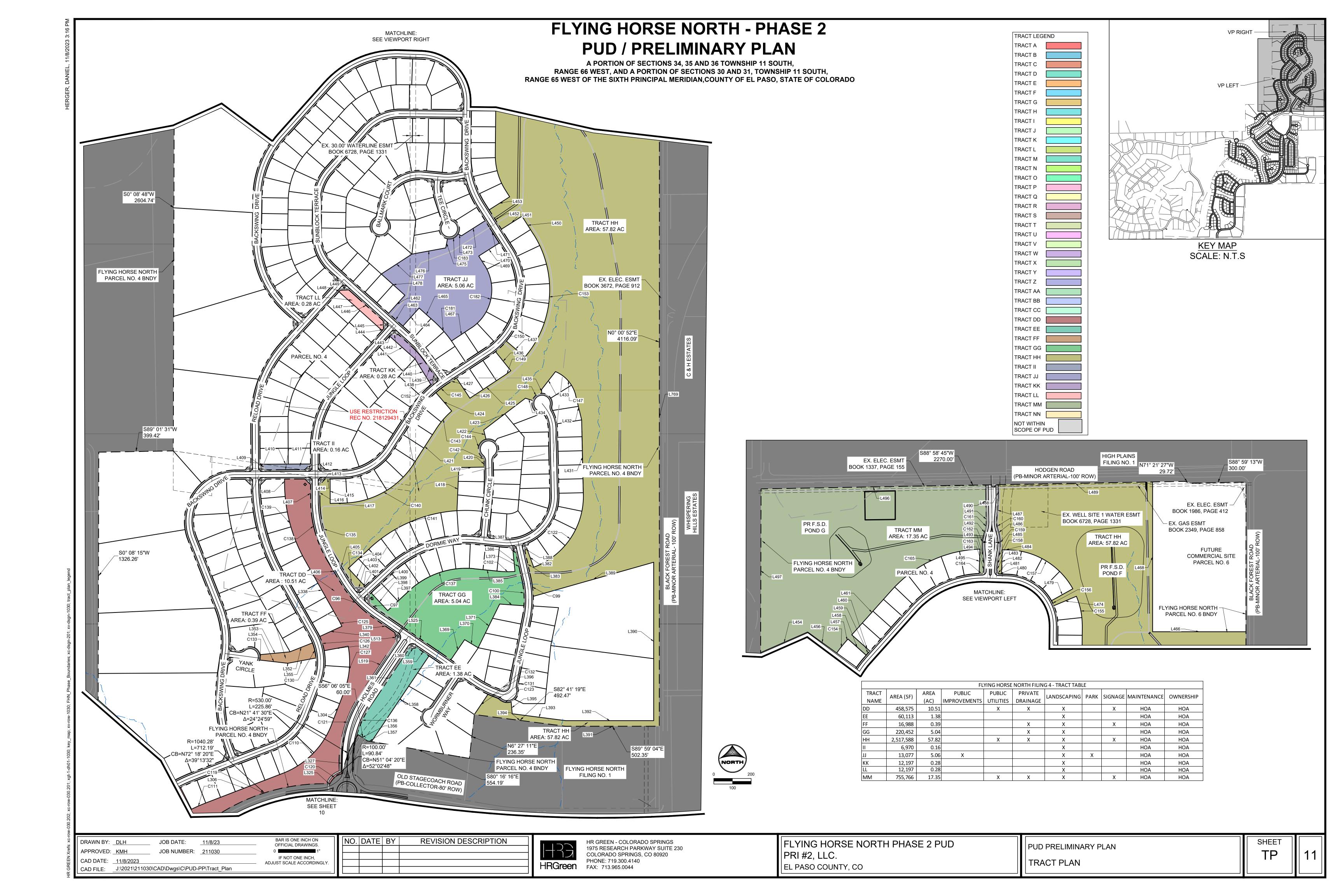
HR GREEN - COLORADO SPRINGS
1975 RESEARCH PARKWAY SUITE 230
COLORADO SPRINGS, CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

FLYING HORSE NORTH PHASE 2 PUD PRI #2, LLC. EL PASO COUNTY, CO

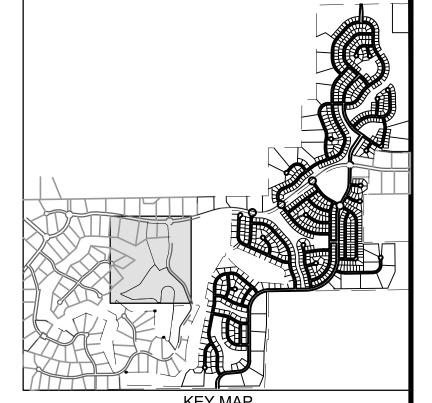
PUD PRELIMINARY PLAN
OVERALL TRACT PLAN

SHEET TP





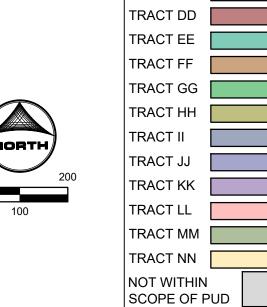
RANGE 66 WEST, AND A PORTION OF SECTIONS 30 AND 31, TOWNSHIP 11 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO



			FL	YING HORSE	NORTH FILIN	G 4 - TRACT TABI	_E			
TRACT	AREA (SF)	AREA	PUBLIC	PUBLIC	PRIVATE	LANDSCAPING	DADK	SIGNAGE	MAINTENANCE	OWNERSHIP
NAME	ANLA (SI)	(AC)	IMPROVEMENTS	UTILITIES	DRAINAGE	LANDSCAFING	FAIR	SIGNAGE	IVIAINTLINAINCL	OWNERSTIF
NN	45,302	1.04			Х	Х		Х	HOA	НОА
Α	134,600	3.09			Х	Х		Х	HOA	НОА







TRACT F TRACT G TRACT H TRACTI

TRACT J TRACT K

TRACT P

TRACT Q

TRACT R TRACT S

TRACT T

TRACT U

TRACT V

TRACT X

TRACT CC

BAR IS ONE INCH ON OFFICIAL DRAWINGS.
0 1" NO. DATE BY REVISION DESCRIPTION IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY. CAD FILE: J:\2021\211030\CAD\Dwgs\C\PUD-PP\Tract_Plan

JOB DATE:

JOB NUMBER: <u>211030</u>

DRAWN BY: <u>DLH</u>

APPROVED: <u>KMH</u>

11/8/23

HR GREEN - COLORADO SPRINGS
1975 RESEARCH PARKWAY SUITE 230
COLORADO SPRINGS, CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

FLYING HORSE NORTH PHASE 2 PUD PRI #2, LLC. EL PASO COUNTY, CO

PUD PRELIMINARY PLAN TRACT PLAN

		TRACT C	URVE TAB	LE	
CURVE TAG#	LENGTH (FT)	RADIUS (FT)	DELTA	CHORD BEARING	CHORD LENGTH
C64	51.79	55.00	53°57'15"	N89° 14' 50"E	49.90
C65	11.94	950.00	0°43'13"	N0° 21' 30"E	11.94
C66	30.00	1085.00	1°35'04"	S13° 56' 40"E	30.00
C67	85.14	955.00	5°06'28"	S17° 17' 20"E	85.11
C68	666.45	185.00	206°24'12"	S85° 21' 10"W	360.22
C76	1061.15	1155.00	52°38'25"	S63° 37' 50"E	1024.22
C77	614.60	855.00	41°11'10"	N21° 06' 30"W	601.46
C79	20.53	55.00	21°23'14"	S2° 43' 00"E	20.41
C80	26.01	30.00	49°40'47"	S16° 51' 50"E	25.21
C81	669.89	840.00	45°41'34"	N75° 32' 10"E	652.28
C82	31.84	55.00	33°09'51"	N4° 19' 50"W	31.39
C83	333.63	655.00	29°11'03"	N14° 35' 20"E	330.04
C84	168.76	570.00	16°57'49"	S8° 28' 40"W	168.15
C85	30.00	975.00	1°45'48"	S40° 06' 20"E	30.00
C86	88.28	100.00	50°34'57"	S68° 57' 00"W	85.44
C87	102.13	100.00	58°30'52"	S14° 33' 10"E	97.75
C88	86.62	100.00	49°37'47"	N85° 42' 10"W	83.94
C89	90.66	100.00	51°56'40"	S12° 14' 30"W	87.59
C90	45.99	1155.00	2°16'54"	N53° 49' 50"E	45.99
C90	92.88	100.00	53°12'55"	N61° 44' 00"E	89.58
C91	24.90	325.00	4°23'21"	N4° 46' 30"E	24.89
C92			54°25'32"	N35° 18' 00"W	
	94.99	100.00		S73° 12' 50"E	91.46
C94	171.09	55.00	178°14'02"		109.99
C95	372.28	1560.00	13°40'23"	N81° 18' 20"W	371.39
C96	272.23	625.00	24°57'23"	N43° 08' 20"W	270.08
C97	70.56	575.00	7°01'52"	S52° 06' 10"E	70.52
C99	99.98	525.00	10°54'39"	N7° 16' 20"W	99.82
C100	139.32	475.00	16°48'19"	N4° 19' 30"W	138.82
C102	78.90	405.00	11°09'43"	N89° 52' 30"W	78.77
C105	459.56	1640.00	16°03'19"	N81° 57' 30"E	458.05
C106	413.05	760.00	31°08'22"	N68° 15' 40"E	407.99
C107	91.24	100.00	52°16'44"	N12° 24' 30"E	88.11
C108	46.84	275.00	9°45'36"	N28° 45' 20"W	46.79
C109	234.20	405.00	33°08'00"	N7° 18' 30"W	230.96
C110	381.55	455.00	48°02'48"	S44° 55' 20"W	370.47
C111	82.33	845.00	5°34'56"	S66° 09' 20"W	82.29
C112	183.10	975.00	10°45'36"	S57° 59' 00"W	182.83
C113	31.49	145.00	12°26'33"	S46° 23' 00"W	31.43
C114	298.93	655.00	26°08'56"	S53° 14' 10"W	296.35
C115	149.53	95.00	90°11'06"	S21° 13' 10"W	134.57
C116	35.43	225.00	9°01'23"	S28° 23' 10"E	35.40
C117	89.97	100.00	51°32'58"	S86° 39' 50"E	86.97
C118	231.86	100.00	132°50'37"	N52° 41' 20"E	183.30
C119	703.92	1040.00	38°46'50"	N72° 04' 50"E	690.56
C120	85.01	100.00	48°42'32"	N49° 24' 10"E	82.48
C121	333.70	585.00	32°41'00"	N17° 33' 30"E	329.20
C122	503.40	405.15	71°11'28"	N34° 19' 40"E	471.64
C123	64.76	60.00	61°50'27"	S79° 39' 40"E	61.66
C125	37.13	455.00	4°40'31"	S27° 01' 10"E	37.12
C126	80.28	325.00	14°09'08"	S17° 36' 20"E	80.07

CURVE TAG #	LENGTH (FT)	RADIUS (FT)	DELTA	CHORD BEARING	CHORD LENGTH
	, ,	455.00	31°25'41"		246.46
C127	249.58 182.97	1025.00	10°13'39"	S5° 11' 10"W N57° 43' 10"E	182.73
C128					
C129	307.93	355.00	49°41'55"	S63° 06' 30"E	298.37
C130	82.89	275.00	17°16'09"	N12° 51' 50"W	82.57
C131	23.36	60.00	22°18'11"	S59° 53' 30"E	23.21
C132	47.35	525.00	5°10'05"	S68° 27' 30"E	47.34
C133	29.16	55.00	30°22'21"	S2° 49' 40"W	28.82
C134	65.87	575.00	6°33'48"	N33° 56' 40"W	65.83
C135	304.91	575.00	30°22'58"	N15° 28' 10"W	301.35
C136	158.63	525.00	17°18'43"	S25° 14' 30"W	158.03
C137	377.55	445.00	48°36'42"	S71° 24' 00"W	366.33
C138	331.42	625.00	30°22'58"	N15° 28' 10"W	327.56
C139	428.82	845.00	29°04'36"	S14° 49' 00"E	424.24
C140	439.31	455.00	55°19'10"	N60° 33' 40"E	422.44
C141	517.60	755.00	39°16'47"	S66° 44' 00"W	507.52
C142	26.01	30.00	49°40'47"	S25° 44' 50"E	25.21
C143	127.15	445.00	16°22'16"	N41° 05' 10"E	126.72
C144	121.58	55.00	126°39'18"	S12° 44' 20"W	98.29
C145	72.22	575.00	7°11'46"	N52° 52' 10"E	72.17
C147	172.38	185.00	53°23'17"	N40° 32' 10"W	166.21
C148	67.57	55.00	70°23'33"	S52° 47' 40"W	63.40
C149	49.99	555.00	5°09'40"	N53° 53' 10"E	49.98
C150	81.18	425.00	10°56'39"	N45° 50' 00"E	81.06
C152	9.74	145.83	3°49'36"	N50° 26' 40"E	9.74
C153	704.76	555.00	72°45'23"	N3° 59' 00"E	658.35
C154	81.62	655.00	7°08'22"	S38° 14' 40"W	81.57
C155	164.74	405.00	23°18'20"	N11° 07' 20"W	163.60
C156	30.01	275.00	6°15'13"	N25° 54' 00"W	30.00
C157	416.64	405.00	58°56'34"	N58° 30' 00"W	398.51
C158	28.22	177.50	9°06'30"	N6° 35' 00"E	28.19
C159	90.79	222.50	23°22'50"	N1° 28' 40"W	90.17
C160	51.11	176.93	16°33'01"	N9° 24' 50"W	50.93
C161	52.34	177.53	16°53'36"	S8° 22' 00"W	52.15
C162	89.34	222.50	23°00'19"	S5° 18' 40"W	88.74
C163	25.47	177.50	8°13'17"	S2° 04' 50"E	25.45
C164	23.54	525.00	2°34'07"	S88° 56' 30"W	23.53
C165	534.02	655.00	46°42'47"	S65° 10' 10"W	519.35
C166	240.48	993.67	13°51'59"	S39° 22' 30"W	239.90
C167	77.65	535.00	8°18'57"	S85° 01' 30"W	77.58
C181	143.43	655.00	12°32'46"	S41° 45' 00"E	143.14
C182	379.98	245.00	88°51'42"	N12° 02' 10"E	343.02
C183	67.24	55.00	70°02'54"	S65° 17' 40"W	63.13
C190	421.66	615.00	39°16'59"	S32° 22' 20"W	413.44
C191	365.67	595.00	35°12'43"	N32° 22' 20"E	359.94
C203	131.98	80.00	94°31'34"	S46° 10' 50"E	117.52
C269	207.00	955.00	12°25'09"	S6° 43' 30"E	206.59
C270	128.05	345.00	21°15'55"	S11° 09' 00"E	127.31
C271	156.66	855.00	10°29'54"	S16° 32' 00"E	156.44
C378	288.13	3540.74	4°39'45"	S86° 20' 50"E	288.05
C385	114.20	100.00	65°25'58"	N18° 00' 50"W	108.10

DRAWN BY:	DLH	JOB DATE:	11/8/23	BAR IS ONE INCH ON OFFICIAL DRAWINGS.
APPROVED:	KMH	JOB NUMBER:	211030	0 1"
CAD DATE:	11/8/2023			IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY
CAD FILE:	J:\2021\211030\0	CAD\Dwgs\C\PUD-	PP\Tract_Plan	

_				
	NO.	DATE	BY	REVISION DESCRIPTION
-				



TF	RACT LINE TA	BI F
LINE TAG #	LENGTH (FT)	BEARING
L1	36.95	S 0°25'40" W
L2	348.91	S 66°21'10" E
 L3	343.19	N 87°59'49" E
L4	209.66	N 29°01'50" W
L5	208.96	N 29°01'50" W
L6	389.45	S 62°02'38" W
	307.04	N 0°00'34" E
	120.00	S 2°21'44" E
L10	259.14	N 60°49'07" W
L11	129.96	N 0°31'00" W
 L12	165.62	N 21°46'55" W
L13	49.44	N 52°41'25" E
L14	355.93	S 37°18'35" E
L15	165.62	S 21°46'55" E
L16	1705.84	N 88°18'15" W
L17	1700.83	N 89°20'59" E
L18	21.39	N 19°16'02" E
L19	624.75	S 89°20'59" W
L20	966.19	N 89°20'59" E
L21	481.60	S 2°23'26" W
L22	20.09	N 11°05'49" W
L23	5.74	N 0°28'30" W
L24	50.49	N 0°28'30" W
L33	38.43	N 0°01'48" W
L37	1329.16	N 0°00'34" E
L41	1289.57	S 89°08'21" W
L42	1326.67	N 0°00'11" W
L47	123.04	S 67°26'15" W
L54	186.56	S 7°14'16" W
L55	20.00	S 40°46'01" W
L56	183.25	N 87°01'26" W
L57	238.33	S 7°07'42" E
L58	830.10	S 0°00'11" E
L62	43.17	S 67°55'03" E
L63	419.47	N 89°08'21" E
L65	97.06	N 11°12'30" W
L67	348.81	N 89°08'21" E
L71	541.81	S 89°11'15" W
L72	256.92	N 0°14'27" W
L73	20.30	S 67°26'15" W
L75	50.00	S 0°28'30" E
L76	1004.73	S 89°11'00" W
L78	846.30	N 89°35'20" E
L81	1125.48	S 89°35'20" W
L82	11.81	N 88°46'22" E
L83	411.23	N 89°35'20" E
L85	7.87	S 41°51'10" E
L86	37.07	S 84°00'07" E
L87	136.21	S 65°20'46" W
L88	26.10	S 42°40'01" E
L89	134.02	N 84°27'22" E
L90	180.00	N 5°32'38" W
L91	137.56	S 1°25'23" W
L92	141.38	N 74°51'49" E
L93		
	89.55	N 59°10'33" E
L94		N 59°10'33" E N 37°15'27" E
	89.55	
L94	89.55 116.36	N 37°15'27" E
L94 L95	89.55 116.36 198.43	N 37°15'27" E S 59°14'52" E
L94 L95 L96	89.55 116.36 198.43 93.60 695.77 1330.04	N 37°15'27" E S 59°14'52" E N 0°00'00" E
L94 L95 L96 L97	89.55 116.36 198.43 93.60 695.77	N 37°15'27" E S 59°14'52" E N 0°00'00" E S 1°34'34" W N 2°42'03" E S 21°58'15" W
L94 L95 L96 L97 L98 L99 L100	89.55 116.36 198.43 93.60 695.77 1330.04 292.18 102.93	N 37°15'27" E S 59°14'52" E N 0°00'00" E S 1°34'34" W N 2°42'03" E
L94 L95 L96 L97 L98 L99 L100 L101	89.55 116.36 198.43 93.60 695.77 1330.04 292.18 102.93 81.11	N 37°15'27" E S 59°14'52" E N 0°00'00" E S 1°34'34" W N 2°42'03" E S 21°58'15" W S 1°25'23" W N 89°59'26" W
L94 L95 L96 L97 L98 L99 L100	89.55 116.36 198.43 93.60 695.77 1330.04 292.18 102.93	N 37°15'27" E S 59°14'52" E N 0°00'00" E S 1°34'34" W N 2°42'03" E S 21°58'15" W S 1°25'23" W

	RACT LINE TA			RACT LINE TA	
LINE TAG #	LENGTH (FT)	BEARING	LINE TAG #	LENGTH (FT)	BEARING
L104	130.00	S 0°00'34" W	L192	144.64	N 65°45'45" E
L105	24.00	N 89°59'26" W	L193	153.02	N 37°01'26" E
L106	36.77	N 44°59'21" W	L194	204.00	S 49°16'26" W
L107 L108	24.00	S 89°59'26" E N 45°00'34" E	L195	239.38	S 58°02'07" E N 0°14'27" W
L108	36.77 130.00	N 56°38'54" E	L196 L197	170.05 15.20	N 66°19'11" W
L1109	135.86	S 32°25'48" E	L198	46.24	S 69°56'36" W
L111	140.52	S 58°50'19" E	L199	29.06	S 22°33'07" E
L112	18.89	S 32°25'48" E	L200	29.06	S 49°03'15" W
L113	43.72	S 89°59'26" E	L201	2608.28	N 89°11'15" E
L114	130.00	S 0°00'34" W	L202	751.36	S 89°11'15" W
L115	21.24	S 89°59'26" E	L203	497.27	S 24°06'40" W
L116	35.36	N 45°00'34" E	L204	1328.09	N 0°00'54" E
L117	130.00	N 76°42'21" E	L205	776.63	S 0°48'45" E
L119	29.62	N 36°57'09" W	L206	332.97	N 3°22'05" E
L120	125.32	S 9°51'12" W	L207	332.89	S 5°06'57" E
L121	31.71	N 80°08'48" W	L208	29.02	S 43°22'03" E
L122	130.00	S 71°44'07" W	L209	363.17	N 0°00'11" W
L123	130.00	N 24°37'45" E	L210	359.48	S 0°00'11" E
L124	487.46	N 0°00'34" E	L211	45.23	S 45°01'25" W
L125	130.00	S 26°09'15" W	L213	130.00	N 89°59'49" E
L126	313.90	S 5°11'39" W	L214	130.00	S 89°59'49" W
L127	122.44	N 59°36'14" W	L222	52.85	S 0°00'11" E
L128	37.78	N 89°24'17" E	L225	130.00	N 89°59'49" E
L129	58.76	N 88°55'27" W	L226	131.00	S 89°59'49" W
L131 L132	56.86 338.86	S 11°16'18" W S 78°43'42" E	L228 L230	130.00	N 0°00'11" W S 89°59'49" W
L132	36.77	N 44°59'26" W	L234	131.00	N 89°59'49" E
L134	130.00	S 20°52'36" W	L235	63.31	S 0°00'11" E
L135	24.00	N 89°59'26" W	L236	98.15	N 0°00'11" W
L136	130.00	N 26°03'24" E	L237	130.00	N 89°59'49" E
L137	30.73	N 0°00'34" E	L238	130.00	S 89°59'49" W
L142	140.00	N 0°00'34" E	L239	105.00	N 89°59'49" E
L144	85.82	N 0°00'34" E	L240	35.36	N 44°59'49" E
L147	409.97	S 11°16'18" W	L241	35.36	S 45°00'11" E
L150	148.67	S 78°43'42" E	L242	105.00	N 89°59'49" E
L159	245.60	S 11°07'26" W	L243	333.04	S 0°00'11" E
L162	245.60	N 11°16'18" E	L244	35.36	N 44°59'49" E
L163	149.31	N 78°43'42" W	L245	35.36	S 45°00'11" E
L165	263.04	N 78°43'42" W	L246	5.00	S 0°00'11" E
L166	41.44	N 57°36'03" W	L247	1144.34	S 0°00'11" E
L167	44.86	N 77°04'11" E	L248	468.62	N 0°00'11" W
L168	41.44	S 35°02'02" W	L249	45.28	S 44°58'35" E
L169 L170	19.72	N 11°17'01" W S 11°17'01" E	L250	130.00	N 0°03'00" E
L170	230.65	S 11°17'01" E	L251	177.72	S 68°32'23" W S 49°00'45" W
L171	121.48	N 0°49'00" W	L252 L253	134.70	N 49°00'45" W
L172	133.81	S 89°11'00" W	L254	163.31	N 68°32'23" E
L175	1320.84	N 89°11'00" E	L255	130.00	S 35°01'42" E
L176	132.66	N 0°49'00" W	L256	64.08	N 54°58'18" E
L177	58.18	N 85°14'20" W	L257	130.00	N 35°01'42" W
L178	138.31	S 0°49'00" E	L258	349.97	N 54°58'18" E
L179	57.91	N 89°11'00" E	L259	56.54	N 35°02'30" W
L180	177.65	S 31°55'20" E	L260	52.14	S 89°57'00" E
L181	190.29	N 33°08'34" W	L261	895.85	S 52°41'25" W
L182	143.53	S 9°13'07" E	L262	133.28	S 89°57'00" E
L183	30.04	S 83°49'58" W	L263	35.08	S 37°18'35" E
_	40.00	S 30°43'19" W	L264	489.95	N 52°41'25" E
L184	l	N 9°13'07" W	L265	674.02	N 0°00'11" W
L184 L185	140.73		L266	73.44	N 54°58'18" E
L185 L186	575.15	N 83°49'58" E			
L185 L186 L187	575.15 217.90	N 47°07'47" W	L267	133.49	S 81°07'07" W
L185 L186 L187 L188	575.15 217.90 389.33	N 47°07'47" W S 30°43'19" W	L268	130.00	N 75°15'51" E
L185 L186 L187 L188 L189	575.15 217.90 389.33 43.73	N 47°07'47" W S 30°43'19" W S 83°30'56" W	L268 L270	130.00 5.12	N 75°15'51" E S 41°42'10" E
L185 L186 L187 L188 L189 L190	575.15 217.90 389.33 43.73 44.51	N 47°07'47" W S 30°43'19" W S 83°30'56" W S 89°19'51" W	L268 L270 L271	130.00 5.12 141.73	N 75°15'51" E S 41°42'10" E S 51°02'36" W
L185 L186 L187 L188 L189	575.15 217.90 389.33 43.73	N 47°07'47" W S 30°43'19" W S 83°30'56" W	L268 L270	130.00 5.12	N 75°15'51" E S 41°42'10" E
L185 L186 L187 L188 L189 L190	575.15 217.90 389.33 43.73 44.51	N 47°07'47" W S 30°43'19" W S 83°30'56" W S 89°19'51" W	L268 L270 L271	130.00 5.12 141.73	N 75°15'51" E S 41°42'10" E S 51°02'36" W

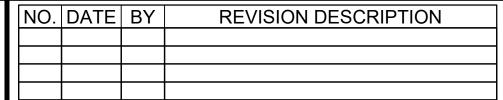
LENGTH (FT)	BEARING
130.00	S 48°17'50" W
37.06	N 41°42'10" W
175.00	S 89°06'20" W
134.22	S 89°06'20" W
30.25	S 89°03'58" W
361.14	S 0°28'30" E
62.64	N 41°42'10" W
189.10	N 37°21'17" W
152.08	N 0°53'40" W
199.42	N 1°33'42" W
109.74	S 66°18'39" W
190.81	S 0°08'36" W
160.02	S 89°06'20" W
446.57	S 0°00'26" W
130.00	N 48°17'50" E
49.44	N 52°41'25" E
43.18	N 41°42'10" W
130.00	S 48°17'50" W
130.00	S 66°07'33" W
349.77	N 41°42'10" W
184.77	S 20°53'59" W
89.00	N 29°10'53" E
443.59	S 68°56'48" W
	N 60°49'07" W
	N 26°38'08" W
	S 60°49'07" E
	S 52°36'16" W
	S 37°23'44" E
	S 52°36'16" W N 60°49'07" W
	S 40°09'43" W
	S 29°10'53" W
	S 66°18'39" W
	N 29°10'53" E
	S 66°07'33" W
42.43	S 74°10'53" W
5.67	N 60°49'07" W
895.85	N 52°41'25" E
17.30	S 60°49'07" E
298.22	N 52°41'25" E
157.16	N 32°38'21" E
8.27	S 88°31'45" E
16.59	S 29°10'53" W
112.81	N 1°12'55" E
42.43	S 15°49'07" E
161.92	N 4°28'13" E
10.49	N 85°31'47" W
43.52	S 42°01'52" E
147.40	N 4°28'13" E
162.57	S 1°19'49" W
26.84	S 85°31'47" E
292.70	S 88°50'18" E
505.84	S 89°59'56" W
369.69	S 29°21'21" E
148.25	S 42°11'59" E
130.00	S 65°19'10" W
164.40	S 0°00'00" E
130.00	N 79°28'18" E
477.97	N 0°00'00" E
30.35	N 52°36'16" E
144.30	N 89°04'37" E
130.00	N 27°10'05" W
471.41	N 48°12'00" W
101.96	S 89°03'20" W
	130.00 37.06 175.00 134.22 30.25 361.14 62.64 189.10 152.08 199.42 109.74 190.81 160.02 446.57 130.00 49.44 43.18 130.00 130.00 349.77 184.77 89.00 443.59 48.11 130.00 43.09 58.22 130.00 284.73 75.00 163.93 162.64 199.59 131.68 130.00 42.43 5.67 895.85 17.30 298.22 157.16 8.27 16.59 112.81 42.43 161.92 10.49 43.52 147.40 162.57 26.84 292.70 505.84 369.69 148.25 130.00 477.97 30.35 144.30 130.00

TF	RACT LINE TA	BLE
LINE TAG #	LENGTH (FT)	BEARING
L350	161.89	S 51°33'16" W
L351		
	130.00	S 37°23'44" E
L352	130.00	S 68°30'10" W
L353	159.92	S 84°37'53" W
L354	150.78	S 83°24'47" E
L355	152.81	N 79°22'27" E
L356	66.22	S 56°06'05" E
L357	21.92	S 80°16'16" E
L358	552.60	N 33°53'55" E
L359	78.00	N 55°37'06" W
L360	45.06	S 79°08'25" W
L361	374.28	S 33°53'55" W
L362	213.07	N 87°25'15" W
L365	34.76	N 3°19'57" E
L366	33.64	N 2°34'45" E
L367	87.75	N 74°28'06" W
L368	20.00	S 72°19'52" E
L369	130.00	N 34°22'54" E
L370	84.42	S 59°03'51" E
L371	260.95	N 26°11'35" E
L373	148.62	N 12°43'38" W
L376	152.59	S 87°25'15" E
L377	237.88	S 74°05'50" E
L378	102.92	S 2°34'45" W
L379	132.41	N 55°37'06" W
L382	111.26	S 20°03'46" E
L383	148.62	N 12°43'38" W
L384	130.00	S 85°55'19" E
L385	140.52	N 84°17'41" W
		S 5°27'24" E
L386	110.96	
L387	18.72	N 53°27'06" W
L388	19.17	N 27°59'49" E
L389	670.15	S 74°10'46" W
L390	848.63	N 0°00'32" E
L391	502.35	N 89°59'04" W
L391 L392	502.35 470.44	N 89°59'04" W S 89°59'07" E
L391	502.35	N 89°59'04" W
L391 L392	502.35 470.44	N 89°59'04" W S 89°59'07" E
L391 L392 L393	502.35 470.44 289.79	N 89°59'04" W S 89°59'07" E S 82°41'19" E
L391 L392 L393 L394	502.35 470.44 289.79 492.47	N 89°59'04" W S 89°59'07" E S 82°41'19" E N 82°41'19" W
L391 L392 L393 L394 L395 L396	502.35 470.44 289.79 492.47 63.97 130.14	N 89°59'04" W S 89°59'07" E S 82°41'19" E N 82°41'19" W S 5°01'41" E N 33°53'55" E
L391 L392 L393 L394 L395 L396 L397	502.35 470.44 289.79 492.47 63.97 130.14 158.06	N 89°59'04" W S 89°59'07" E S 82°41'19" E N 82°41'19" W S 5°01'41" E N 33°53'55" E S 47°05'37" W
L391 L392 L393 L394 L395 L396 L397 L398	502.35 470.44 289.79 492.47 63.97 130.14 158.06 130.00	N 89°59'04" W S 89°59'07" E S 82°41'19" E N 82°41'19" W S 5°01'41" E N 33°53'55" E S 47°05'37" W N 42°54'23" W
L391 L392 L393 L394 L395 L396 L397	502.35 470.44 289.79 492.47 63.97 130.14 158.06	N 89°59'04" W S 89°59'07" E S 82°41'19" E N 82°41'19" W S 5°01'41" E N 33°53'55" E S 47°05'37" W
L391 L392 L393 L394 L395 L396 L397 L398	502.35 470.44 289.79 492.47 63.97 130.14 158.06 130.00	N 89°59'04" W S 89°59'07" E S 82°41'19" E N 82°41'19" W S 5°01'41" E N 33°53'55" E S 47°05'37" W N 42°54'23" W
L391 L392 L393 L394 L395 L396 L397 L398 L399	502.35 470.44 289.79 492.47 63.97 130.14 158.06 130.00 43.61	N 89°59'04" W S 89°59'07" E S 82°41'19" E N 82°41'19" W S 5°01'41" E N 33°53'55" E S 47°05'37" W N 42°54'23" W S 0°03'02" W
L391 L392 L393 L394 L395 L396 L397 L398 L399 L400	502.35 470.44 289.79 492.47 63.97 130.14 158.06 130.00 43.61 14.11	N 89°59'04" W S 89°59'07" E S 82°41'19" E N 82°41'19" W S 5°01'41" E N 33°53'55" E S 47°05'37" W N 42°54'23" W S 0°03'02" W S 47°05'37" W
L391 L392 L393 L394 L395 L396 L397 L398 L399 L400 L401 L402	502.35 470.44 289.79 492.47 63.97 130.14 158.06 130.00 43.61 14.11 14.11 43.61	N 89°59'04" W S 89°59'07" E S 82°41'19" E N 82°41'19" W S 5°01'41" E N 33°53'55" E S 47°05'37" W N 42°54'23" W S 0°03'02" W S 47°05'37" W N 85°51'47" W
L391 L392 L393 L394 L395 L396 L397 L398 L399 L400 L401 L402 L403	502.35 470.44 289.79 492.47 63.97 130.14 158.06 130.00 43.61 14.11 14.11 43.61 130.00	N 89°59'04" W S 89°59'07" E S 82°41'19" E N 82°41'19" W S 5°01'41" E N 33°53'55" E S 47°05'37" W N 42°54'23" W S 47°05'37" W S 47°05'37" W N 85°51'47" W S 42°54'23" E
L391 L392 L393 L394 L395 L396 L397 L398 L399 L400 L401 L402	502.35 470.44 289.79 492.47 63.97 130.14 158.06 130.00 43.61 14.11 14.11 43.61	N 89°59'04" W S 89°59'07" E S 82°41'19" E N 82°41'19" W S 5°01'41" E N 33°53'55" E S 47°05'37" W N 42°54'23" W S 47°05'37" W N 85°51'47" W S 42°54'23" E S 47°05'37" W
L391 L392 L393 L394 L395 L396 L397 L398 L399 L400 L401 L402 L403	502.35 470.44 289.79 492.47 63.97 130.14 158.06 130.00 43.61 14.11 14.11 43.61 130.00	N 89°59'04" W S 89°59'07" E S 82°41'19" E N 82°41'19" W S 5°01'41" E N 33°53'55" E S 47°05'37" W N 42°54'23" W S 47°05'37" W S 47°05'37" W N 85°51'47" W S 42°54'23" E
L391 L392 L393 L394 L395 L396 L397 L398 L399 L400 L401 L402 L403 L404	502.35 470.44 289.79 492.47 63.97 130.14 158.06 130.00 43.61 14.11 14.11 43.61 130.00 158.06	N 89°59'04" W S 89°59'07" E S 82°41'19" E N 82°41'19" W S 5°01'41" E N 33°53'55" E S 47°05'37" W N 42°54'23" W S 47°05'37" W N 85°51'47" W S 42°54'23" E S 47°05'37" W
L391 L392 L393 L394 L395 L396 L397 L398 L399 L400 L401 L402 L403 L404 L405	502.35 470.44 289.79 492.47 63.97 130.14 158.06 130.00 43.61 14.11 14.11 43.61 130.00 158.06 136.26	N 89°59'04" W S 89°59'07" E S 82°41'19" E N 82°41'19" W S 5°01'41" E N 33°53'55" E S 47°05'37" W N 42°54'23" W S 0°03'02" W S 47°05'37" W N 85°51'47" W N 85°51'47" W S 42°54'23" E S 47°05'37" W N 30°39'43" W
L391 L392 L393 L394 L395 L396 L397 L398 L399 L400 L401 L402 L403 L404 L405 L406 L407	502.35 470.44 289.79 492.47 63.97 130.14 158.06 130.00 43.61 14.11 14.11 43.61 130.00 158.06 136.26 136.26 88.24	N 89°59'04" W S 89°59'07" E S 82°41'19" E N 82°41'19" W S 5°01'41" E N 33°53'55" E S 47°05'37" W N 42°54'23" W S 0°03'02" W S 47°05'37" W N 85°51'47" W N 85°51'47" W S 42°54'23" E S 47°05'37" W N 30°39'43" W N 30°39'43" W N 0°16'45" W
L391 L392 L393 L394 L395 L396 L397 L398 L399 L400 L401 L402 L403 L404 L405 L406 L407 L408	502.35 470.44 289.79 492.47 63.97 130.14 158.06 130.00 43.61 14.11 14.11 43.61 130.00 158.06 136.26 136.26 88.24 23.38	N 89°59'04" W S 89°59'07" E S 82°41'19" E N 82°41'19" W S 5°01'41" E N 33°53'55" E S 47°05'37" W N 42°54'23" W S 0°03'02" W S 47°05'37" W N 85°51'47" W N 85°51'47" W S 42°54'23" E S 47°05'37" W N 30°39'43" W N 30°39'43" W N 0°16'45" W S 0°16'45" E
L391 L392 L393 L394 L395 L396 L397 L398 L399 L400 L401 L402 L403 L404 L405 L406 L407	502.35 470.44 289.79 492.47 63.97 130.14 158.06 130.00 43.61 14.11 14.11 43.61 130.00 158.06 136.26 136.26 88.24	N 89°59'04" W S 89°59'07" E S 82°41'19" E N 82°41'19" W S 5°01'41" E N 33°53'55" E S 47°05'37" W N 42°54'23" W S 0°03'02" W S 47°05'37" W N 85°51'47" W N 85°51'47" W S 42°54'23" E S 47°05'37" W N 30°39'43" W N 30°39'43" W N 0°16'45" E S 45°16'45" E
L391 L392 L393 L394 L395 L396 L397 L398 L399 L400 L401 L402 L403 L404 L405 L406 L407 L408	502.35 470.44 289.79 492.47 63.97 130.14 158.06 130.00 43.61 14.11 14.11 43.61 130.00 158.06 136.26 136.26 88.24 23.38	N 89°59'04" W S 89°59'07" E S 82°41'19" E N 82°41'19" W S 5°01'41" E N 33°53'55" E S 47°05'37" W N 42°54'23" W S 0°03'02" W S 47°05'37" W N 85°51'47" W N 85°51'47" W S 42°54'23" E S 47°05'37" W N 30°39'43" W N 30°39'43" W N 0°16'45" W S 0°16'45" E
L391 L392 L393 L394 L395 L396 L397 L398 L399 L400 L401 L402 L403 L404 L405 L406 L407 L408 L409	502.35 470.44 289.79 492.47 63.97 130.14 158.06 130.00 43.61 14.11 14.11 43.61 130.00 158.06 136.26 136.26 88.24 23.38 42.43	N 89°59'04" W S 89°59'07" E S 82°41'19" E N 82°41'19" W S 5°01'41" E N 33°53'55" E S 47°05'37" W N 42°54'23" W S 0°03'02" W S 47°05'37" W N 85°51'47" W N 85°51'47" W S 42°54'23" E S 47°05'37" W N 30°39'43" W N 30°39'43" W N 0°16'45" E S 45°16'45" E
L391 L392 L393 L394 L395 L396 L397 L398 L399 L400 L401 L402 L403 L404 L405 L406 L407 L408 L409 L410	502.35 470.44 289.79 492.47 63.97 130.14 158.06 130.00 43.61 14.11 14.11 43.61 130.00 158.06 136.26 136.26 88.24 23.38 42.43 267.10	N 89°59'04" W S 89°59'07" E S 82°41'19" E N 82°41'19" W S 5°01'41" E N 33°53'55" E S 47°05'37" W N 42°54'23" W S 0°03'02" W S 47°05'37" W N 85°51'47" W S 42°54'23" E S 47°05'37" W N 30°39'43" W N 30°39'43" W N 0°16'45" E S 45°16'45" E S 89°43'15" W
L391 L392 L393 L394 L395 L396 L397 L398 L399 L400 L401 L402 L403 L404 L405 L406 L407 L408 L409 L410 L411 L412	502.35 470.44 289.79 492.47 63.97 130.14 158.06 130.00 43.61 14.11 14.11 43.61 130.00 158.06 136.26 136.26 88.24 23.38 42.43 267.10 207.10 42.43	N 89°59'04" W S 89°59'07" E S 82°41'19" E N 82°41'19" W S 5°01'41" E N 33°53'55" E S 47°05'37" W N 42°54'23" W S 0°03'02" W S 47°05'37" W N 85°51'47" W S 42°54'23" E S 47°05'37" W N 30°39'43" W N 30°39'43" W N 0°16'45" E S 45°16'45" E S 89°43'15" E S 89°43'15" E N 44°43'15" E
L391 L392 L393 L394 L395 L396 L397 L398 L399 L400 L401 L402 L403 L404 L405 L406 L407 L408 L409 L410 L411 L412 L413	502.35 470.44 289.79 492.47 63.97 130.14 158.06 130.00 43.61 14.11 14.11 43.61 130.00 158.06 136.26 136.26 88.24 23.38 42.43 267.10 207.10 42.43 42.43	N 89°59'04" W S 89°59'07" E S 82°41'19" E N 82°41'19" W S 5°01'41" E N 33°53'55" E S 47°05'37" W N 42°54'23" W S 0°03'02" W S 47°05'37" W N 85°51'47" W S 42°54'23" E S 47°05'37" W N 30°39'43" W N 30°39'43" W N 0°16'45" E S 45°16'45" E S 89°43'15" E S 89°43'15" E N 44°43'15" E N 44°43'15" E
L391 L392 L393 L394 L395 L396 L397 L398 L399 L400 L401 L402 L403 L404 L405 L406 L407 L408 L409 L410 L411 L412	502.35 470.44 289.79 492.47 63.97 130.14 158.06 130.00 43.61 14.11 14.11 43.61 130.00 158.06 136.26 136.26 88.24 23.38 42.43 267.10 207.10 42.43	N 89°59'04" W S 89°59'07" E S 82°41'19" E N 82°41'19" W S 5°01'41" E N 33°53'55" E S 47°05'37" W N 42°54'23" W S 0°03'02" W S 47°05'37" W N 85°51'47" W N 85°51'47" W N 30°39'43" W N 30°39'43" W N 30°39'43" W N 0°16'45" E S 45°16'45" E S 89°43'15" E N 44°43'15" E N 44°43'15" E N 89°43'15" E
L391 L392 L393 L394 L395 L396 L397 L398 L399 L400 L401 L402 L403 L404 L405 L406 L407 L408 L409 L410 L411 L412 L413	502.35 470.44 289.79 492.47 63.97 130.14 158.06 130.00 43.61 14.11 14.11 43.61 130.00 158.06 136.26 136.26 88.24 23.38 42.43 267.10 207.10 42.43 42.43	N 89°59'04" W S 89°59'07" E S 82°41'19" E N 82°41'19" W S 5°01'41" E N 33°53'55" E S 47°05'37" W N 42°54'23" W S 0°03'02" W S 47°05'37" W N 85°51'47" W S 42°54'23" E S 47°05'37" W N 30°39'43" W N 30°39'43" W N 0°16'45" E S 45°16'45" E S 89°43'15" E S 89°43'15" E N 44°43'15" E N 44°43'15" E
L391 L392 L393 L394 L395 L396 L397 L398 L399 L400 L401 L402 L403 L404 L405 L406 L407 L408 L409 L410 L411 L412 L413 L414	502.35 470.44 289.79 492.47 63.97 130.14 158.06 130.00 43.61 14.11 14.11 43.61 130.00 158.06 136.26 136.26 88.24 23.38 42.43 267.10 207.10 42.43 42.43	N 89°59'04" W S 89°59'07" E S 82°41'19" E N 82°41'19" W S 5°01'41" E N 33°53'55" E S 47°05'37" W N 42°54'23" W S 0°03'02" W S 47°05'37" W N 85°51'47" W N 85°51'47" W N 30°39'43" W N 30°39'43" W N 30°39'43" W N 0°16'45" E S 45°16'45" E S 89°43'15" E N 44°43'15" E N 44°43'15" E N 89°43'15" E
L391 L392 L393 L394 L395 L396 L397 L398 L399 L400 L401 L402 L403 L404 L405 L406 L407 L408 L409 L410 L411 L412 L413 L414 L415	502.35 470.44 289.79 492.47 63.97 130.14 158.06 130.00 43.61 14.11 14.11 43.61 130.00 158.06 136.26 136.26 88.24 23.38 42.43 267.10 207.10 42.43 42.43 25.00 131.87	N 89°59'04" W S 89°59'07" E S 82°41'19" E N 82°41'19" W S 5°01'41" E N 33°53'55" E S 47°05'37" W N 42°54'23" W S 0°03'02" W S 47°05'37" W N 85°51'47" W N 85°51'47" W N 30°39'43" W N 30°39'43" W N 30°39'43" W N 0°16'45" E S 45°16'45" E S 89°43'15" E N 44°43'15" E N 44°43'15" E N 89°43'15" E N 89°43'15" E S 9°16'45" E
L391 L392 L393 L394 L395 L396 L397 L398 L399 L400 L401 L402 L403 L404 L405 L406 L407 L408 L409 L410 L411 L412 L413 L414 L415 L416 L417	502.35 470.44 289.79 492.47 63.97 130.14 158.06 130.00 43.61 14.11 14.11 43.61 130.00 158.06 136.26 136.26 88.24 23.38 42.43 267.10 207.10 42.43 42.43 25.00 131.87 88.24 77.25	N 89°59'04" W S 89°59'07" E S 82°41'19" E N 82°41'19" W S 5°01'41" E N 33°53'55" E S 47°05'37" W N 42°54'23" W S 0°03'02" W S 47°05'37" W N 85°51'47" W N 85°51'47" W N 30°39'43" W N 30°39'43" W N 30°39'43" W N 30°39'43" W N 0°16'45" E S 45°16'45" E S 89°43'15" E N 44°43'15" E N 44°43'15" E N 89°43'15" E
L391 L392 L393 L394 L395 L396 L397 L398 L399 L400 L401 L402 L403 L404 L405 L406 L407 L408 L409 L410 L411 L412 L413 L414 L415 L416 L417 L418	502.35 470.44 289.79 492.47 63.97 130.14 158.06 130.00 43.61 14.11 14.11 43.61 130.00 158.06 136.26 136.26 88.24 23.38 42.43 267.10 207.10 42.43 42.43 25.00 131.87 88.24 77.25 231.85	N 89°59'04" W S 89°59'07" E S 82°41'19" E N 82°41'19" W S 5°01'41" E N 33°53'55" E S 47°05'37" W N 42°54'23" W S 0°03'02" W S 47°05'37" W N 85°51'47" W N 85°51'47" W N 30°39'43" W N 30°39'43" W N 30°39'43" W N 0°16'45" E S 45°16'45" E S 89°43'15" E N 44°43'15" E N 44°43'15" E N 44°43'15" E N 89°43'15" E
L391 L392 L393 L394 L395 L396 L397 L398 L399 L400 L401 L402 L403 L404 L405 L406 L407 L408 L409 L410 L411 L412 L413 L414 L415 L416 L417	502.35 470.44 289.79 492.47 63.97 130.14 158.06 130.00 43.61 14.11 14.11 43.61 130.00 158.06 136.26 136.26 88.24 23.38 42.43 267.10 207.10 42.43 42.43 25.00 131.87 88.24 77.25	N 89°59'04" W S 89°59'07" E S 82°41'19" E N 82°41'19" W S 5°01'41" E N 33°53'55" E S 47°05'37" W N 42°54'23" W S 0°03'02" W S 47°05'37" W N 85°51'47" W N 85°51'47" W N 30°39'43" W N 30°39'43" W N 30°39'43" W N 30°39'43" W N 0°16'45" E S 45°16'45" E S 89°43'15" E N 44°43'15" E N 44°43'15" E N 89°43'15" E
L391 L392 L393 L394 L395 L396 L397 L398 L399 L400 L401 L402 L403 L404 L405 L406 L407 L408 L409 L410 L411 L412 L413 L414 L415 L416 L417 L418	502.35 470.44 289.79 492.47 63.97 130.14 158.06 130.00 43.61 14.11 14.11 43.61 130.00 158.06 136.26 136.26 88.24 23.38 42.43 267.10 207.10 42.43 42.43 25.00 131.87 88.24 77.25 231.85	N 89°59'04" W S 89°59'07" E S 82°41'19" E N 82°41'19" W S 5°01'41" E N 33°53'55" E S 47°05'37" W N 42°54'23" W S 0°03'02" W S 47°05'37" W N 85°51'47" W N 85°51'47" W N 30°39'43" W N 30°39'43" W N 30°39'43" W N 0°16'45" E S 45°16'45" E S 89°43'15" E N 44°43'15" E N 44°43'15" E N 44°43'15" E N 89°43'15" E
L391 L392 L393 L394 L395 L396 L397 L398 L399 L400 L401 L402 L403 L404 L405 L406 L407 L408 L409 L410 L411 L412 L413 L414 L415 L416 L417 L418 L419	502.35 470.44 289.79 492.47 63.97 130.14 158.06 130.00 43.61 14.11 14.11 43.61 130.00 158.06 136.26 136.26 88.24 23.38 42.43 267.10 207.10 42.43 42.43 25.00 131.87 88.24 77.25 231.85 135.59	N 89°59'04" W S 89°59'07" E S 82°41'19" E N 82°41'19" W S 5°01'41" E N 33°53'55" E S 47°05'37" W N 42°54'23" W S 0°03'02" W S 47°05'37" W N 85°51'47" W S 42°54'23" E S 47°05'37" W N 30°39'43" W N 30°39'43" W N 30°39'43" W N 30°39'43" W N 0°16'45" E S 45°16'45" E S 45°16'45" E S 89°43'15" E N 44°43'15" E N 44°43'15" E N 44°43'15" E N 89°43'15" E N 89°43'15" E N 89°43'15" E N 89°43'15" E N 90°16'45" E N 10°16'45" W N 89°43'15" E S 0°16'45" E N 89°43'15" E S 0°16'45" E S 89°43'15" E

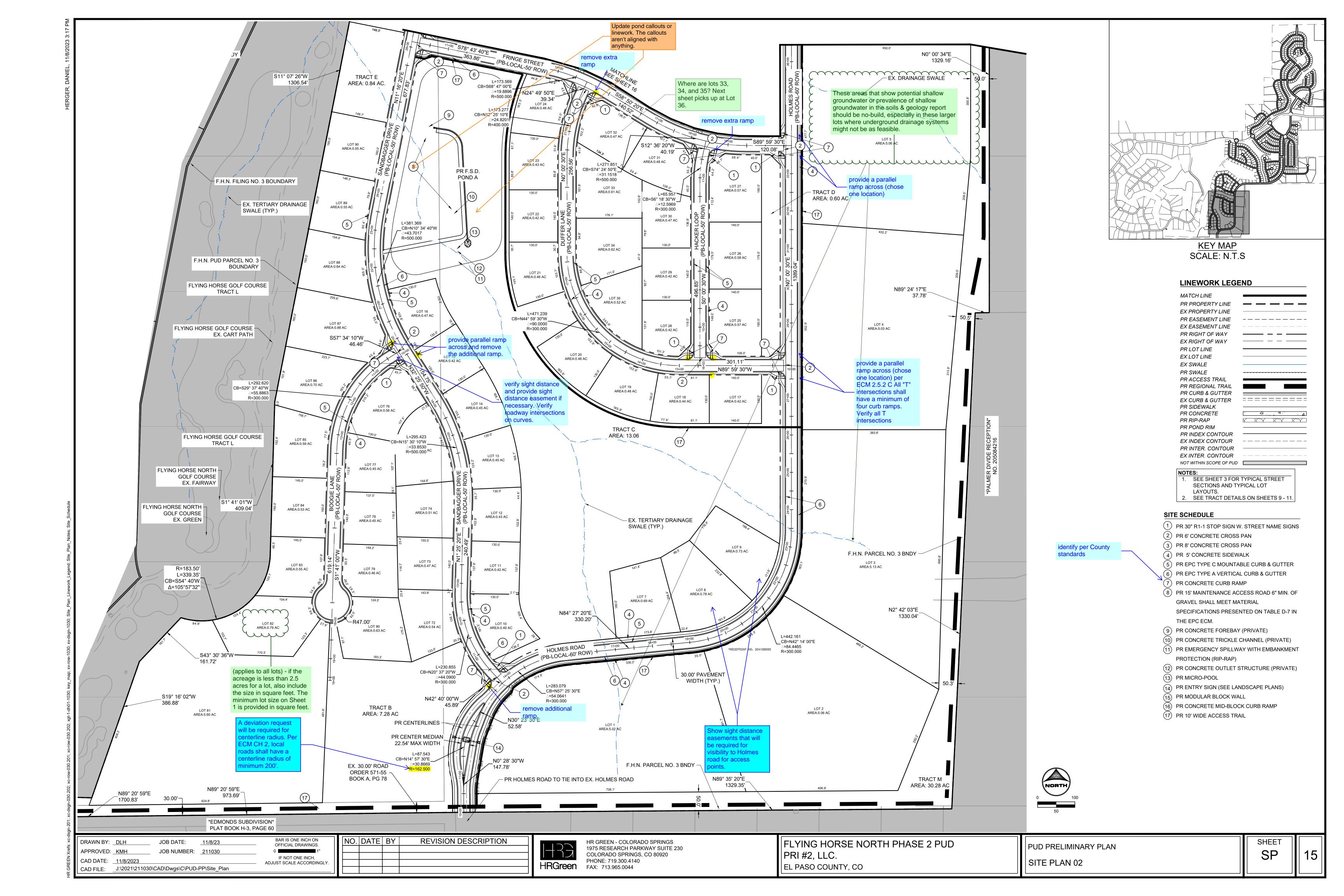
TF	RACT LINE TA	BLE
LINE TAG #	LENGTH (FT)	BEARING
L422	50.73	S 13°56'00" E
L423	280.50	S 52°41'20" W
L424	130.00	N 40°43'42" W
L425	214.14	N 56°28'04" E
L426	130.00	S 33°31'56" E
L427	63.21	N 56°28'04" E
L431	399.34	N 1°17'01" W
L432	136.07	N 13°50'34" W
L433	121.02	S 37°47'55" W
L434	38.73	N 72°24'09" W
L435	20.00	S 1°50'41" E
L436	130.00	N 38°41'37" W
L437	130.00	S 49°38'16" E
L438	46.71	N 9°14'10" E
L439	79.36	N 33°53'03" W
L440	162.54	S 31°50'40" E
L441	182.85	S 48°01'22" E
L442	42.43	S 86°58'38" W
L443	7.41	S 41°58'38" W
L444	12.19	N 41°58'38" E
L445	42.43	N 3°01'22" W
L446	248.17	N 48°01'22" W
L447	310.17	S 48°01'22" E
L448	10.19	S 41°58'38" W
L449	45.25	S 86°58'38" W
L450	114.90	N 32°23'38" W
L451	130.00	S 57°36'22" W
L451	123.06	N 32°23'38" W
L453	130.00	N 57°36'22" E
L454	274.98	S 66°17'49" W
L456	192.36	N 54°11'09" W
L457	14.97	S 41°48'51" W
L457	130.00	N 48°11'09" W
L458	30.00	S 41°48'51" W
L460	130.00	S 48°11'09" E
L460 L461		S 41°48'51" W
	323.08	S 41°58'38" W
L462	130.00	
L463	102.65	S 48°01'22" E
L464	130.00	N 41°58'38" E
L465	104.65	S 48°01'22" E
L466	500.00	S 89°59'12" E
L467	127.24	N 56°28'04" E
L468	802.18	S 0°00'48" W
L469	58.77	N 32°23'38" W
L470	130.00	N 57°36'22" E
L471	141.40	N 32°23'38" W
L472	150.56	S 57°36'22" W
L473	20.00	N 59°43'43" W
L474	130.00	S 67°13'32" W
L475	49.33	S 10°19'11" W
L476	184.30	S 79°35'05" W
L477	195.60	S 57°00'59" W
L478	170.00	S 48°01'22" E
L479	130.00	N 60°58'19" E
L480	13.50	N 87°58'15" W
L481	14.14	N 42°58'15" W
L482	130.00	S 2°01'45" W
L483	32.00	N 2°01'45" E
L484	37.53	N 87°58'15" W
L485	53.97	N 10°12'46" E
L486	17.85	N 16°01'04" W
	l	N 4°44'50" E
L487	120.91	
L487 L488	75.75	N 1°01'12" W

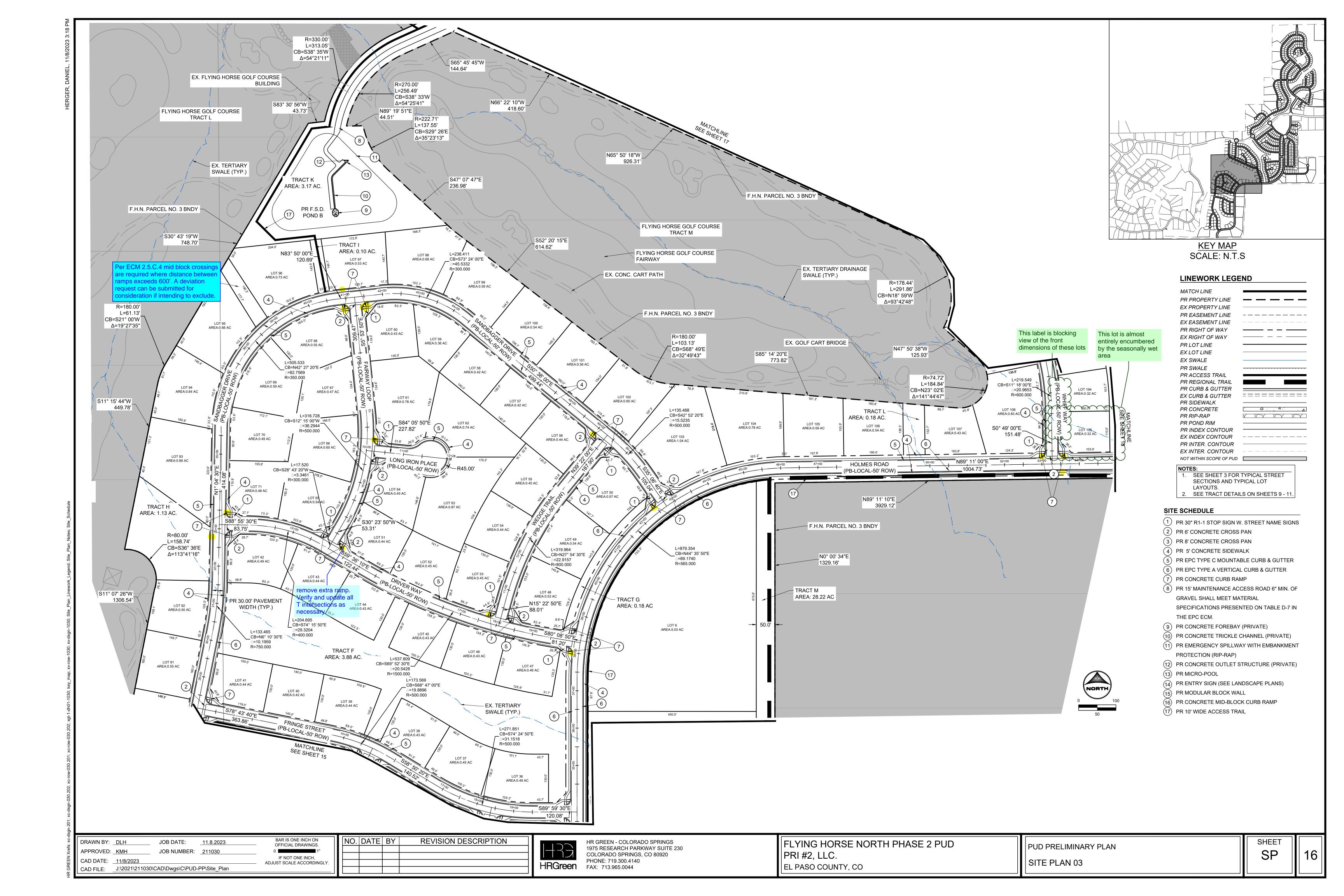
TRACT LINE TABLE			
LINE TAG#	LENGTH (FT)	BEARING	
L491	22.80	S 0°41'19" E	
L492	15.30	S 16°48'47" W	
L493	56.82	S 6°11'32" E	
L494	42.26	S 2°01'45" W	
L495	130.30	N 2°01'45" E	
L496	1203.20	N 89°00'09" E	
L497	876.99	N 0°08'48" E	
L498	37.49	S 77°51'16" E	
L499	94.80	S 83°24'18" E	
L500	168.55	S 50°53'41" E	
L501	29.36	N 8°03'34" E	
L502	147.46	S 0°57'19" E	
L503	29.36	N 56°41'00" E	
L504	916.52	S 0°00'34" W	
L513	45.45	N 10°51'35" W	
L519	343.78	N 33°53'55" E	
L525	0.00	???	
L537	240.41	S 11°15'44" W	
L539	141.06	S 88°55'01" E	
L540	184.24	N 1°04'33" E	
L541	227.23	N 53°21'34" W	
L694	130.06	S 75°15'51" W	
L696	129.96	S 0°31'00" E	
L724	68.65	S 37°18'35" E	
L725	130.00	S 52°41'25" W	
L769	3314.93	S 0°00'50" W	
L831	193.57	N 4°10'00" E	
L833	83.61	S 1°48'22" W	
L834	167.93	S 61°31'42" W	
L835	107.72	S 82°21'47" W	
L836	44.62	N 85°50'00" W	
L886	43.84	S 56°16'18" W	

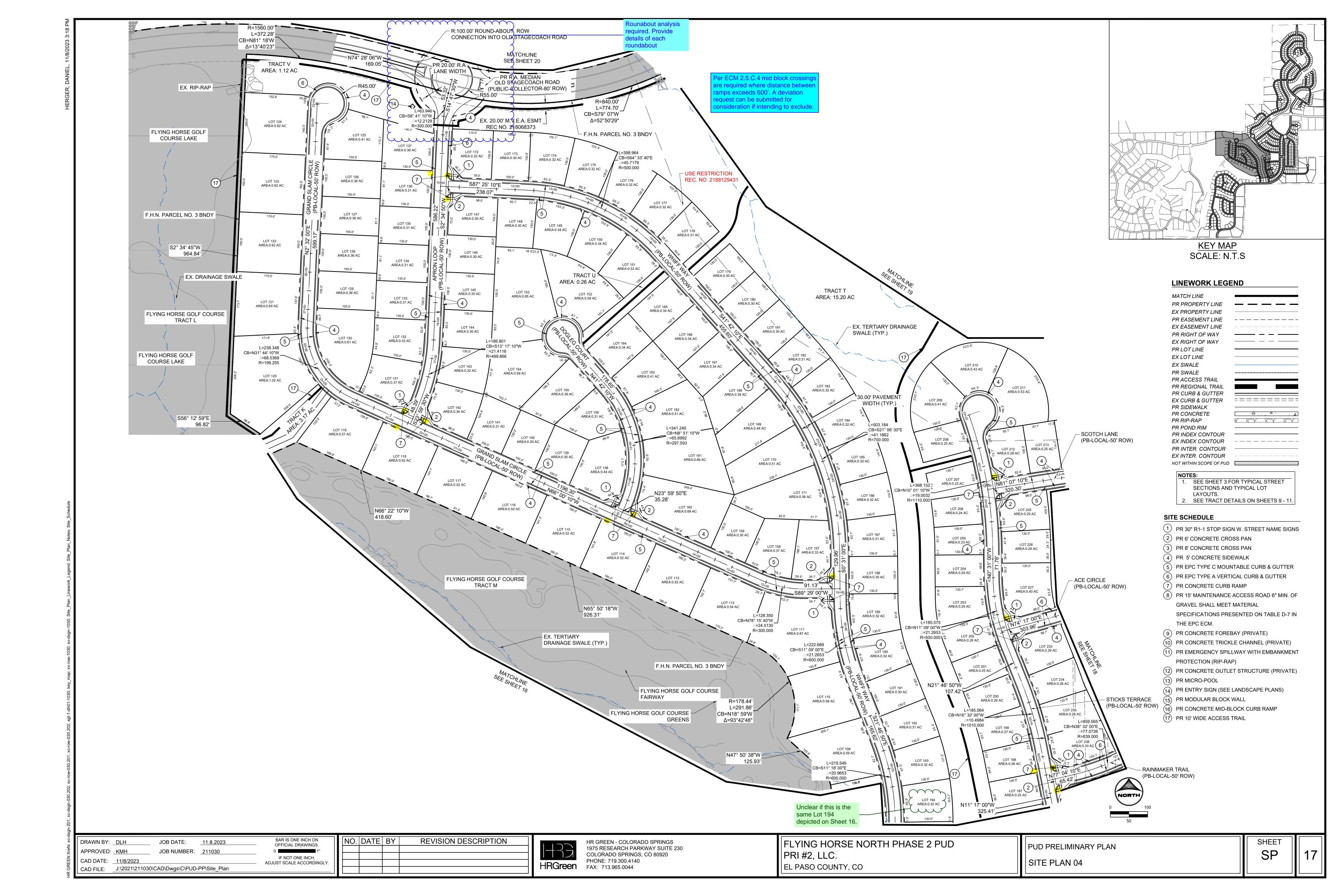
ONE INCH ON
AL DRAWINGS.
1"
T ONE INCH,
LE ACCORDINGLY

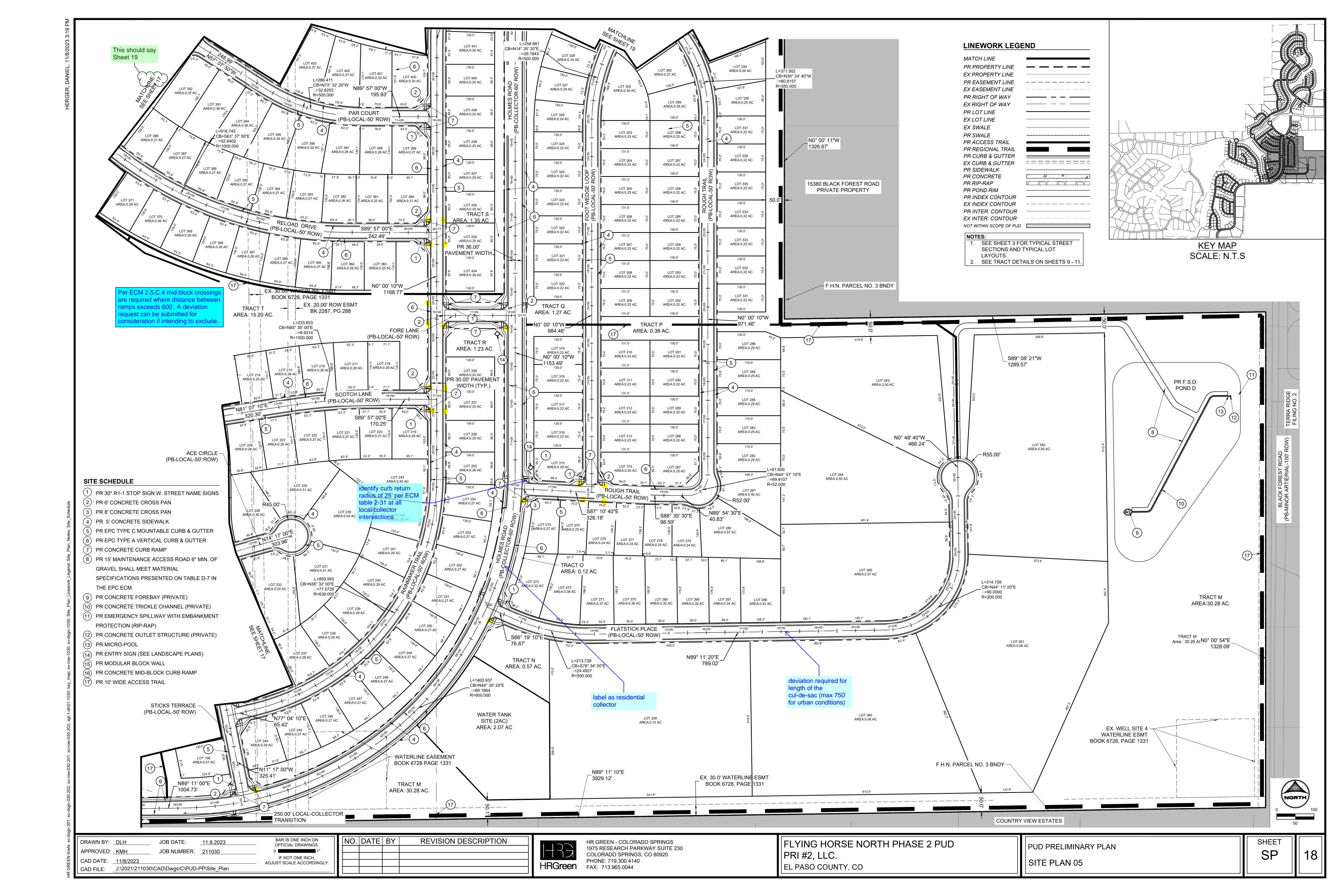


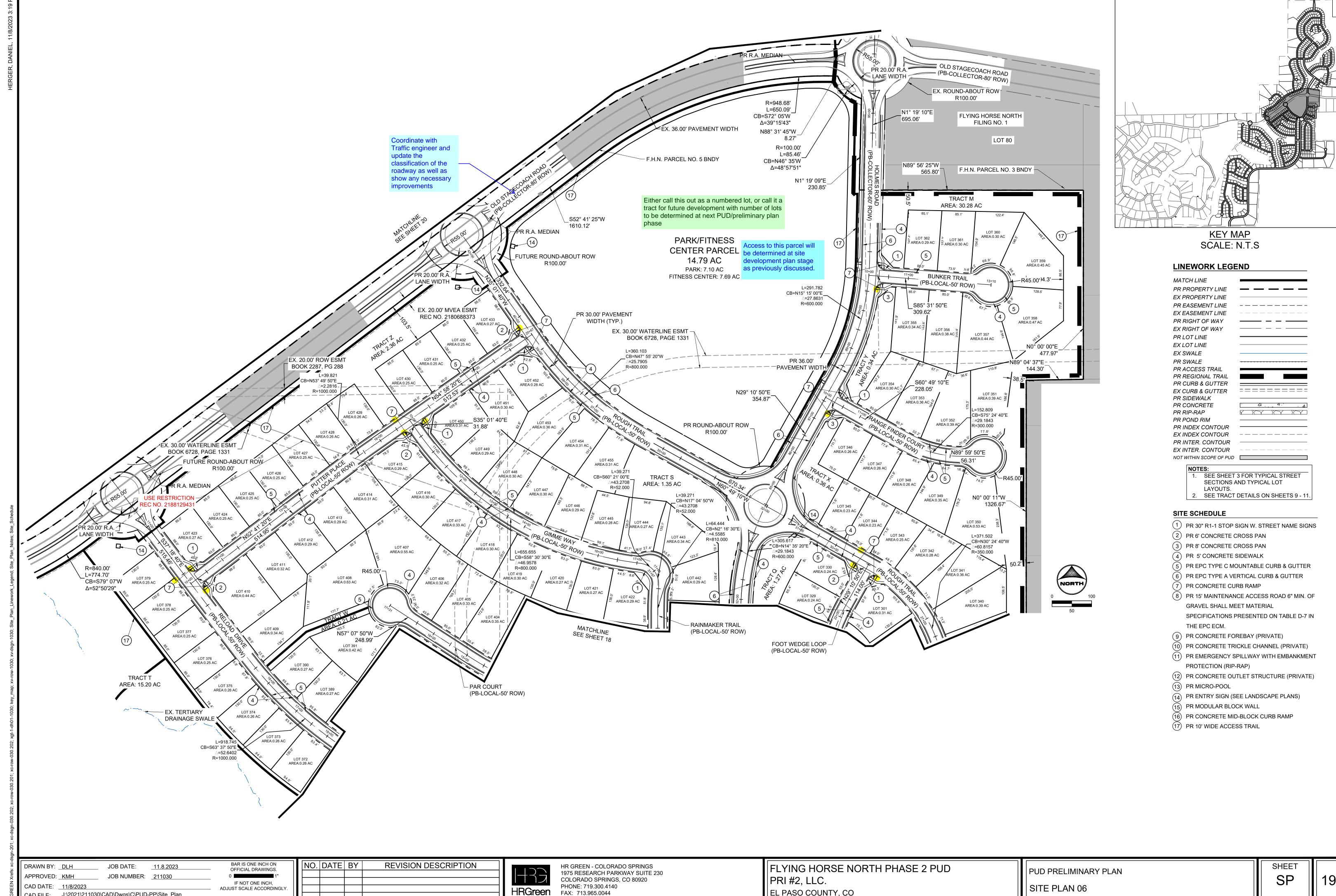




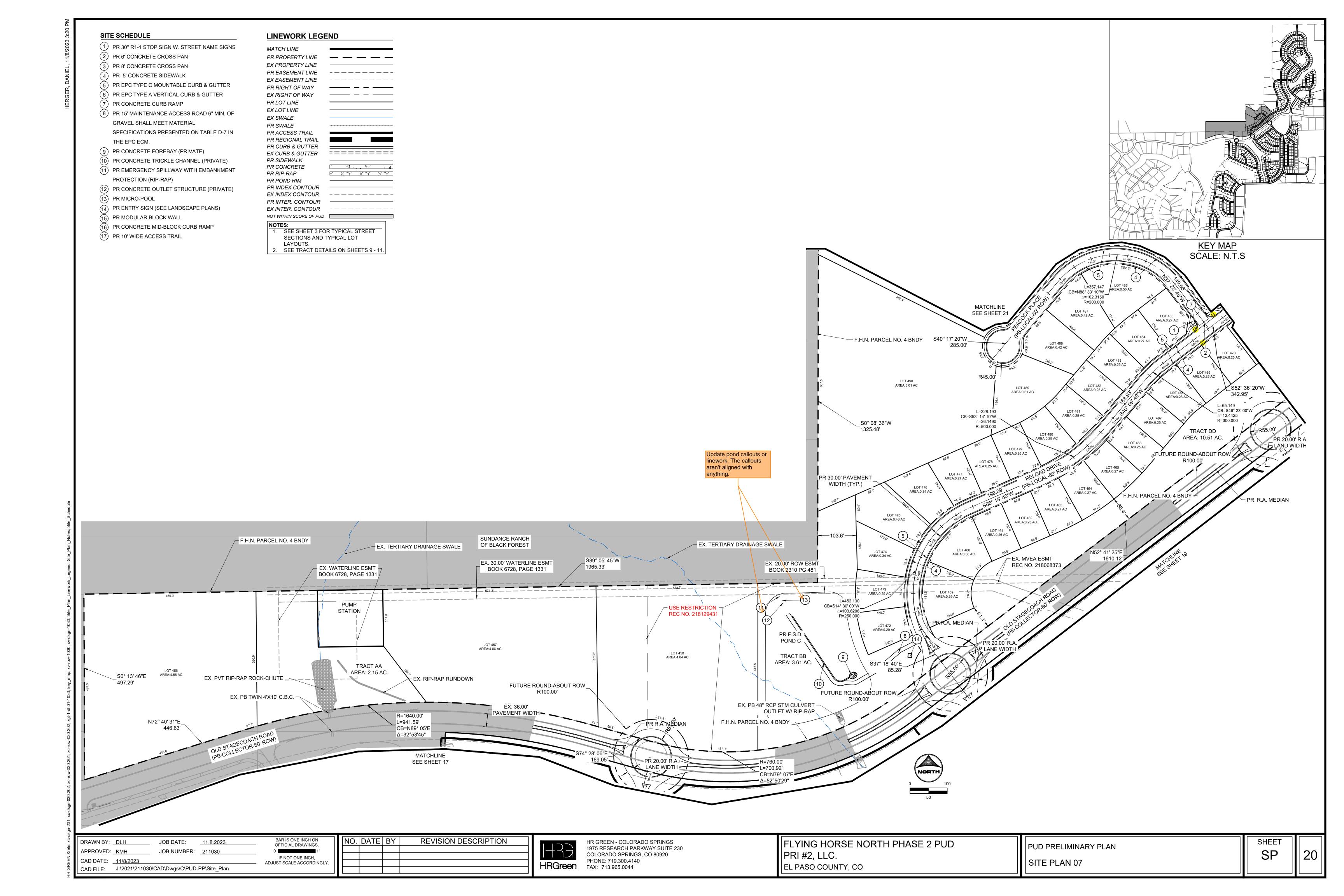


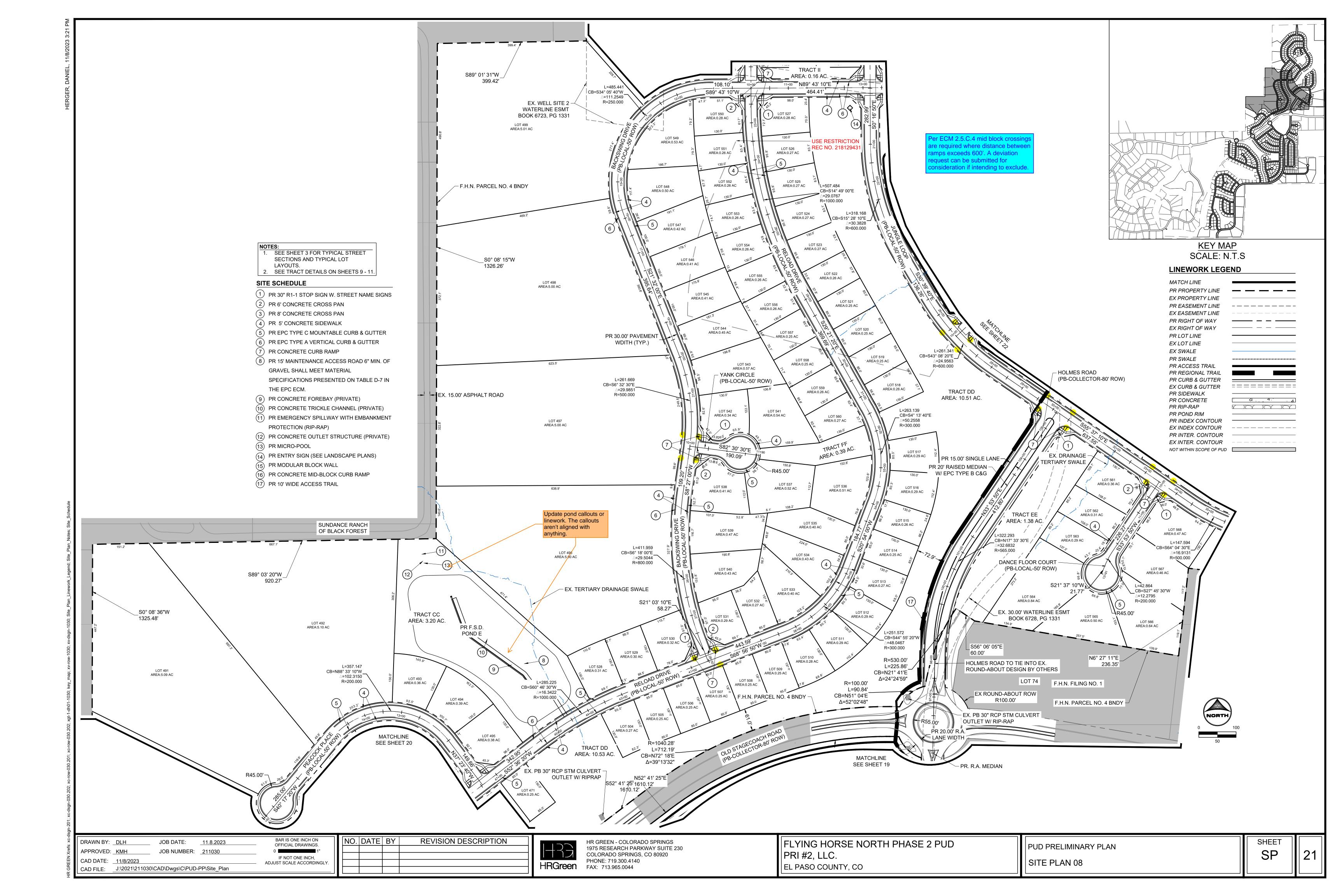


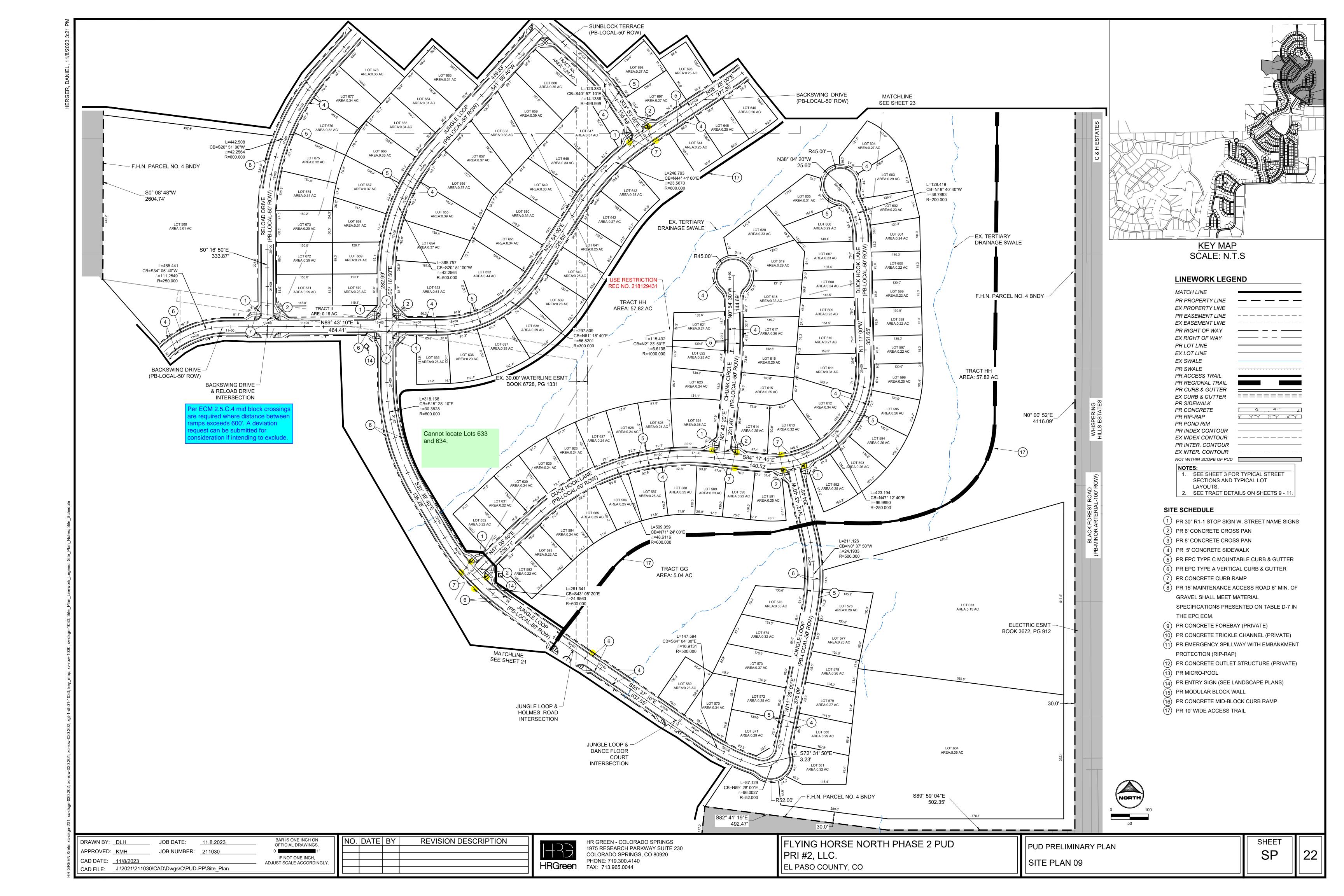


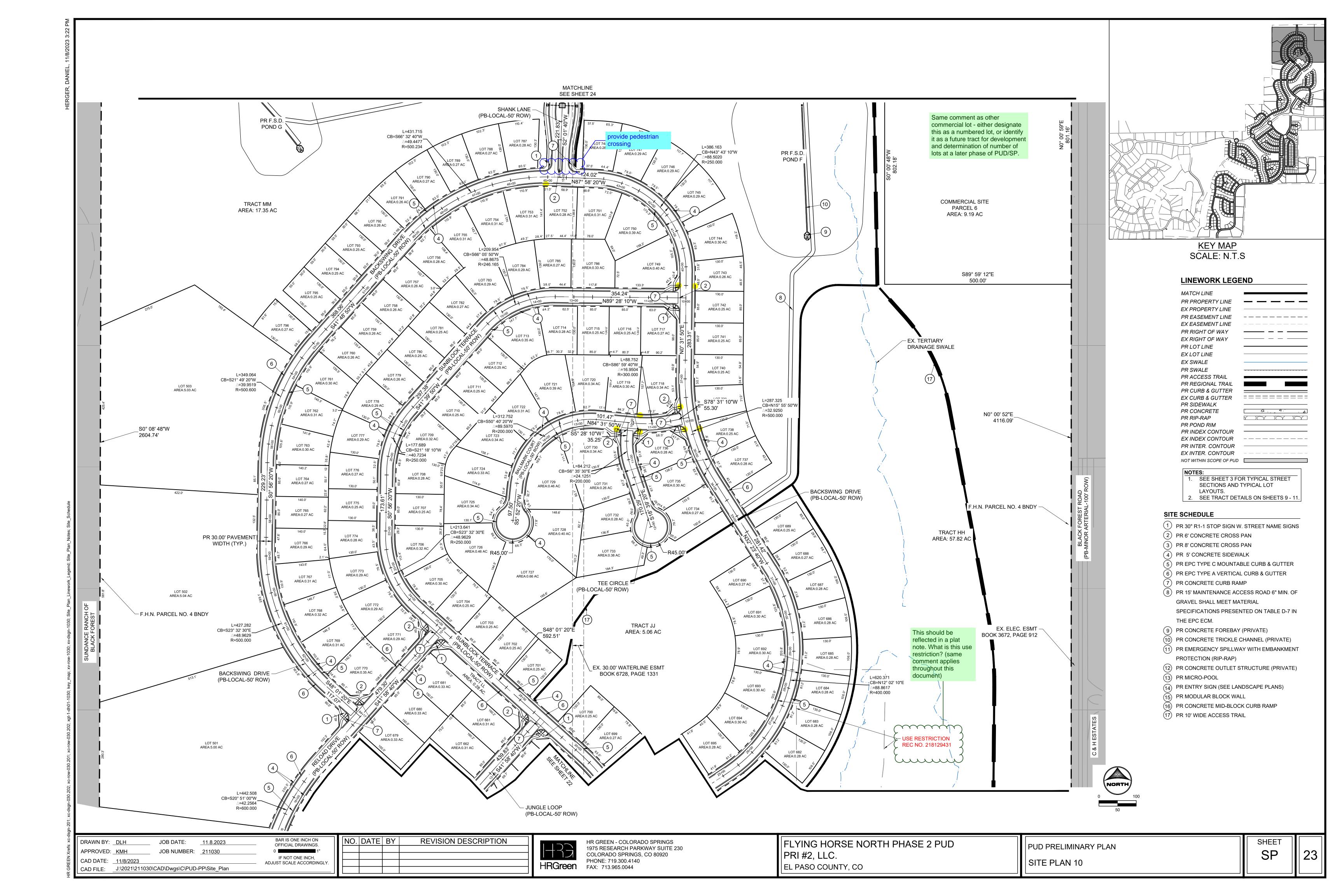


CAD FILE: J:\2021\211030\CAD\Dwgs\C\PUD-PP\Site_Plan









LINEWORK LEGEND MATCH LINE PR PROPERTY LINE PR EASEMENT LINE EX EASEMENT LINE PR RIGHT OF WAY EX RIGHT OF WAY PR LOT LINE EX LOT LINE EX SWALE PR SWALE PR ACCESS TRAIL PR REGIONAL TRAIL PR CURB & GUTTER EX CURB & GUTTER ======== PR SIDEWALK PR CONCRETE PR RIP-RAP Y XY XY PR POND RIM PR INDEX CONTOUR EX INDEX CONTOUR PR INTER. CONTOUR

SCALE: N.T.S

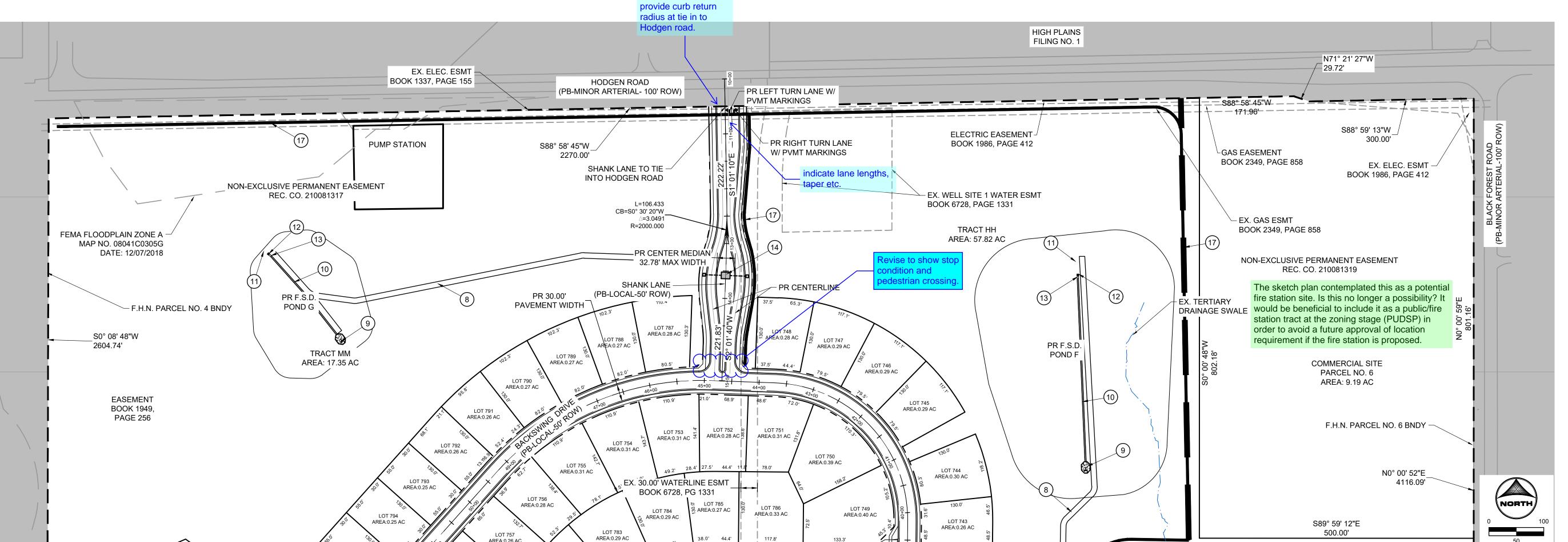
NOT WITHIN SCOPE OF PUD 1. SEE SHEET 3 FOR TYPICAL STREET SECTIONS AND TYPICAL LOT LAYOUTS. 2. SEE TRACT DETAILS ON SHEETS 9 - 11.

SITE SCHEDULE

- (1) PR 30" R1-1 STOP SIGN W. STREET NAME SIGNS
- (2) PR 6' CONCRETE CROSS PAN (3) PR 8' CONCRETE CROSS PAN

EX INTER. CONTOUR

- (4) PR 5' CONCRETE SIDEWALK
- (5) PR EPC TYPE C MOUNTABLE CURB & GUTTER (6) PR EPC TYPE A VERTICAL CURB & GUTTER
- (7) PR CONCRETE CURB RAMP
- (8) PR 15' MAINTENANCE ACCESS ROAD 6" MIN. OF GRAVEL SHALL MEET MATERIAL
- SPECIFICATIONS PRESENTED ON TABLE D-7 IN THE EPC ECM.
- (9) PR CONCRETE FOREBAY (PRIVATE)
- (10) PR CONCRETE TRICKLE CHANNEL (PRIVATE)
- (11) PR EMERGENCY SPILLWAY WITH EMBANKMENT PROTECTION (RIP-RAP)
- (12) PR CONCRETE OUTLET STRUCTURE (PRIVATE)
- (13) PR MICRO-POOL
- (14) PR ENTRY SIGN (SEE LANDSCAPE PLANS)
- 15) PR MODULAR BLOCK WALL
- (16) PR CONCRETE MID-BLOCK CURB RAMP
- (17) PR 10' WIDE ACCESS TRAIL



MATCHLINE SEE SHEET 23

BAR IS ONE INCH ON DRAWN BY: <u>DLH</u> JOB DATE: 11.8.2023 OFFICIAL DRAWINGS. JOB NUMBER: <u>211030</u> APPROVED: KMH IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY. CAD DATE: <u>11/8/2023</u> CAD FILE: J:\2021\211030\CAD\Dwgs\C\PUD-PP\Site_Plan

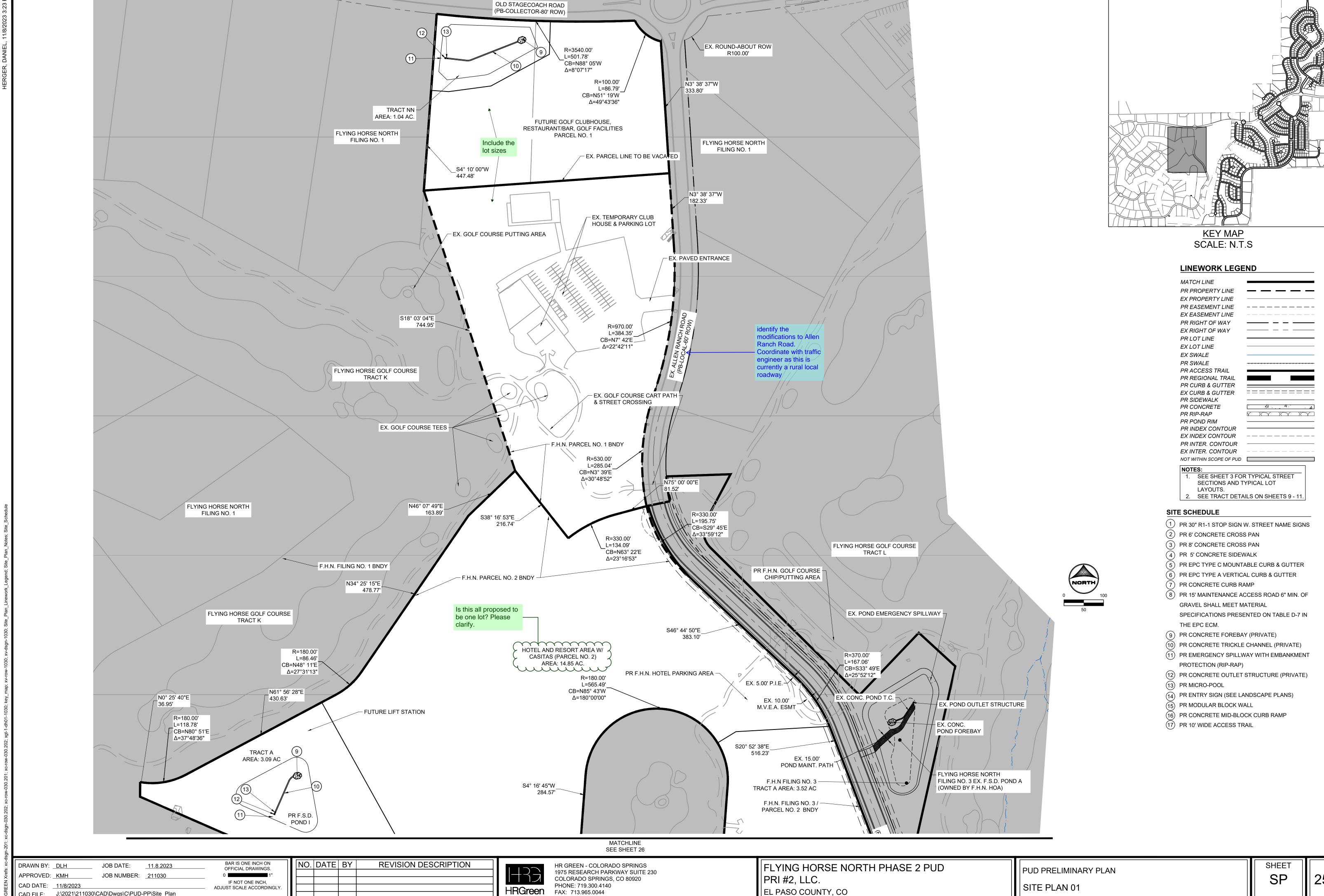
NO. DATE BY REVISION DESCRIPTION

HR GREEN - COLORADO SPRINGS 1975 RESEARCH PARKWAY SUITE 230 COLORADO SPRINGS, CO 80920 PHONE: 719.300.4140 HRGreen FAX: 713.965.0044

FLYING HORSE NORTH PHASE 2 PUD PRI #2, LLC. EL PASO COUNTY, CO

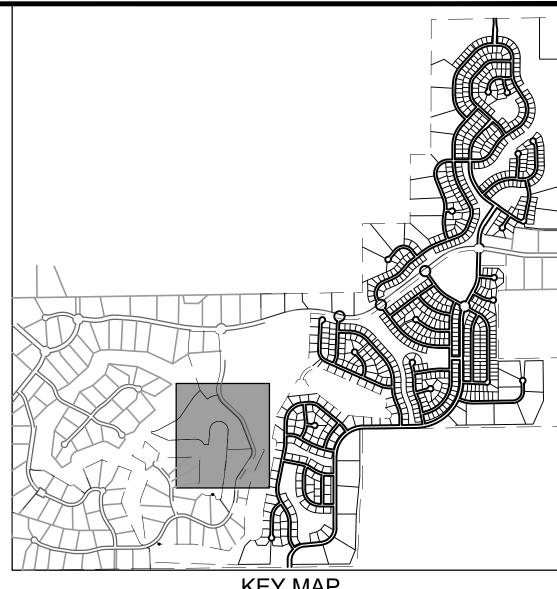
PUD PRELIMINARY PLAN SITE PLAN 11

SHEET SP



CAD FILE: J:\2021\211030\CAD\Dwgs\C\PUD-PP\Site_Plan

EL PASO COUNTY, CO



KEY MAP SCALE: N.T.S

LINEWORK LEGEND

EX PROPERTY LINE PR EASEMENT LINE EX EASEMENT LINE PR RIGHT OF WAY EX RIGHT OF WA PR LOT LINE EX LOT LINE EX SWALE PR SWALE PR ACCESS TRAIL PR REGIONAL TRAIL PR CURB & GUTTER EX CURB & GUTTER ======== PR SIDEWALK PR CONCRETE PR RIP-RAP PR POND RIM PR INDEX CONTOUR EX INDEX CONTOUR -----

NOT WITHIN SCOPE OF PUD NOTES:

1. SEE SHEET 3 FOR TYPICAL STREET SECTIONS AND TYPICAL LOT LAYOUTS.
2. SEE TRACT DETAILS ON SHEETS 9 - 11.

EX INTER. CONTOUR -----

SITE SCHEDULE

- 1 PR 30" R1-1 STOP SIGN W. STREET NAME SIGNS
- (2) PR 6' CONCRETE CROSS PAN

PR INTER. CONTOUR

- (3) PR 8' CONCRETE CROSS PAN
- (4) PR 5' CONCRETE SIDEWALK
- (5) PR EPC TYPE C MOUNTABLE CURB & GUTTER
- (6) PR EPC TYPE A VERTICAL CURB & GUTTER
- (7) PR CONCRETE CURB RAMP
- (8) PR 15' MAINTENANCE ACCESS ROAD 6" MIN. OF GRAVEL SHALL MEET MATERIAL SPECIFICATIONS PRESENTED ON TABLE D-7 IN
- THE EPC ECM. 9) PR CONCRETE FOREBAY (PRIVATE)
- (10) PR CONCRETE TRICKLE CHANNEL (PRIVATE)
- (11) PR EMERGENCY SPILLWAY WITH EMBANKMENT PROTECTION (RIP-RAP)
- (12) PR CONCRETE OUTLET STRUCTURE (PRIVATE)
- (13) PR MICRO-POOL (14) PR ENTRY SIGN (SEE LANDSCAPE PLANS)
- 15) PR MODULAR BLOCK WALL
- (16) PR CONCRETE MID-BLOCK CURB RAMP
- (17) PR 10' WIDE ACCESS TRAIL

DRAWN BY:	DLH	JOB DATE:	11.8.2023	BAR IS ONE INCH ON
APPROVED:		JOB NUMBER:		OFFICIAL DRAWINGS. 0
CAD DATE:	11/8/2023	OOD NOWBER.	211000	IF NOT ONE INCH,
CAD FILE:	, ,, = , = ,	CAD\Dwgs\C\PUD-	PP∖Site_Plan	ADJUST SCALE ACCORDINGLY.

	N	Э.	DATE	BY	REVISION DESCRIPTION
Y.					

HR GREEN - COLORADO SPRINGS 1975 RESEARCH PARKWAY SUITE 230 COLORADO SPRINGS, CO 80920 PHONE: 719.300.4140 HRGreen PHONE: 719.300.414 FAX: 713.965.0044

FLYING HORSE NORTH PHASE 2 PUD PRI #2, LLC. EL PASO COUNTY, CO

PUD PRELIMINARY PLAN SITE PLAN 01.1

V1_PUDSP_Comments.pdf Markup Summary

Arrow (5)



Subject: Arrow

Page Label: [15] 15 SITE PLAN 02

Author: Ryan Howser **Date:** 12/5/2023 5:28:38 PM

Status: Color: ■ Layer: Space:



Subject: Arrow

Page Label: [15] 15 SITE PLAN 02

Author: Ryan Howser **Date:** 12/5/2023 5:28:43 PM

Status: Color: ■ Layer: Space:



Subject: Arrow

Page Label: [25] 25 SITE PLAN 01

Author: Ryan Howser **Date:** 12/6/2023 7:37:13 AM

Status: Color: ■ Layer: Space:

Subject: Arrow

Page Label: [25] 25 SITE PLAN 01

Author: Ryan Howser **Date:** 12/6/2023 7:37:21 AM

Status:
Color: Layer:
Space:



Subject: Arrow

Page Label: [2] 2 NOTES Author: Ryan Howser Date: 12/6/2023 11:23:14 AM

Status: Color: ■ Layer: Space:

BoCC Certification (1)



Subject: BoCC Certification Page Label: [1] COVER Author: Ryan Howser Date: 12/6/2023 12:32:09 PM

Status: Color: Layer: Space: Board of County Commissioners Certificate

This plat for (name of subdivision or plat) was approved for filing by the El Paso County, Colorado Board of County Commissioners on the _, 200__, subject to any day of notes specified hereon and any conditions included in the resolution of approval. The dedications of land to the public (streets, tracts, easements: list those applicable) are accepted, but public improvements thereon will not become the maintenance responsibility of El Paso County until preliminary acceptance of the public improvements in accordance with the requirements of the Land Development Code and Engineering Criteria Manual, and the Subdivision Improvements Agreement.

Chair, Board of County Commissioners
Date

Director, Planning and Community Development
Date

Callout (28)



Subject: Callout

Page Label: [2] 2 NOTES Author: lpackman

Date: 12/7/2023 11:48:04 AM

Status: Color: Layer: Space: Remove EPC as an owner and maintainer of tracts.



Subject: Callout

Page Label: [4] 4 OVERALL SITE

Author: lpackman

Date: 12/7/2023 1:39:15 PM

Status: Color: Layer: Space: Update legend to describe what the yellow color means on the map.



Subject: Callout

Page Label: [4] 4 OVERALL SITE

Author: lpackman

Date: 12/7/2023 1:58:47 PM

Status: Color: Layer: Space: A deviation request will be required for direct access to Old Stagecoach Rd for both commercial

parcels 1 and 5.



Page Label: [15] 15 SITE PLAN 02

Author: lpackman

Date: 12/7/2023 2:25:06 PM

Status: Color: Layer: Space: A deviation request will be required for centerline radius. Per ECM CH 2, local roads shall have a centerline radius of minimum 200'.



Subject: Callout

Page Label: [15] 15 SITE PLAN 02

Author: lpackman

Date: 12/7/2023 2:30:53 PM

Status: Color: Layer: Space: Show sight distance easements that will be required for visibility to Holmes road for access

points.



Subject: Callout

Page Label: [8] 8 OVERALL TRACT PLAN

Author: Daniel Torres Date: 12/8/2023 2:29:21 PM

Status: Color: Layer: Space: provide note that access to commercial parcel with be determined with the final plat and/or site

development plan application.

recall that access off Hodgen would not be

supported.



Subject: Callout Page Label: [1] 24x36 Author: Daniel Torres Date: 12/8/2023 2:24:09 PM

Status: Color: Layer: Space: public improvement easement



Subject: Callout
Page Label: [1] 24x36
Author: Daniel Torres

Date: 12/8/2023 2:19:19 PM

Status: Color: Layer: Space: Identify what this 5' label is for.



Subject: Callout Page Label: [1] 24x36 Author: Daniel Torres Date: 12/8/2023 2:23:08 PM

Status: Color: Layer: Space: revise to Urban Residential Collector to match County nomenclature



Page Label: [8] 8 OVERALL TRACT PLAN

Author: Daniel Torres Date: 12/8/2023 3:29:17 PM

Status: Color: Layer: Space: Arterial classification per the TIS volumes. Coordinate with the traffic engineer and update

accordingly

Subject: Callout

Page Label: [15] 15 SITE PLAN 02

Author: Daniel Torres Date: 12/8/2023 2:52:39 PM

Status: Color: Layer: Space: identify per County standards



Subject: Callout

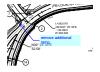
Page Label: [15] 15 SITE PLAN 02

Author: Daniel Torres Date: 12/8/2023 2:57:57 PM

Status: Color: Layer: Space: verify sight distance and provide sight distance

easement if necessary. Verify roadway

intersections on curves.



Subject: Callout

Page Label: [15] 15 SITE PLAN 02

Author: Daniel Torres Date: 12/8/2023 3:01:21 PM

Status: Color: Layer: Space: remove additional ramp.



Subject: Callout

Page Label: [15] 15 SITE PLAN 02

Author: Daniel Torres Date: 12/8/2023 3:02:30 PM

Status: Color: Layer: Space: provide parallel ramp across and remove the

additional ramp.



Subject: Callout

Page Label: [15] 15 SITE PLAN 02

Author: Daniel Torres Date: 12/8/2023 3:03:19 PM

Status: Color: Layer: Space: remove extra ramp



Page Label: [15] 15 SITE PLAN 02 Author: Daniel Torres

Author: Daniel Torres Date: 12/8/2023 3:03:34 PM

Status: Color: Layer: Space: remove extra ramp



Subject: Callout

Page Label: [15] 15 SITE PLAN 02

Author: Daniel Torres **Date:** 12/8/2023 3:05:24 PM

Status: Color: Layer: Space: provide a parallel ramp across (chose one location)



Subject: Callout

Page Label: [15] 15 SITE PLAN 02

Author: Daniel Torres Date: 12/8/2023 3:08:56 PM

Status: Color: Layer: Space: provide a parallel ramp across (chose one location) per ECM 2.5.2 C All "T" intersections shall have a minimum of four curb ramps. Verify all

T intersections



Subject: Callout

Page Label: [16] 16 SITE PLAN 03

Author: Daniel Torres Date: 12/8/2023 3:11:43 PM

Status: Color: Layer: Space: remove extra ramp. Verify and update all T intersections as necessary



Subject: Callout

Page Label: [18] 18 SITE PLAN 05

Author: Daniel Torres Date: 12/8/2023 3:20:26 PM

Status: Color: Layer: Space: deviation required for length of the cul-de-sac (max

750' for urban conditions)



Subject: Callout

Page Label: [18] 18 SITE PLAN 05

Author: Daniel Torres Date: 12/8/2023 3:21:30 PM

Status: Color: Layer: Space: label as residential collector



Page Label: [18] 18 SITE PLAN 05

Author: Daniel Torres Date: 12/8/2023 3:23:25 PM

Status: Color: Layer: Space: identify curb return radius of 25' per ECM table 2-31 at all local/collector intersections



Subject: Callout

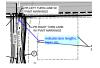
Page Label: [19] 19 SITE PLAN 06

Author: Daniel Torres Date: 12/8/2023 3:31:52 PM

Status:
Color: Layer:
Space:

Coordinate with Traffic engineer and update the classification of the roadway as well as show any

necessary improvements

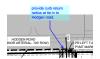


Subject: Callout

Page Label: [24] 24 SITE PLAN 11

Author: Daniel Torres Date: 12/8/2023 3:37:59 PM

Status: Color: Layer: Space: indicate lane lengths, taper etc.



Subject: Callout

Page Label: [24] 24 SITE PLAN 11

Author: Daniel Torres Date: 12/8/2023 3:39:14 PM

Status: Color: Layer: Space: provide curb return radius at tie in to Hodgen road.



Subject: Callout

Page Label: [25] 25 SITE PLAN 01

Author: Daniel Torres Date: 12/8/2023 3:40:31 PM

Status: Color: Layer: Space: identify the modifications to Allen Ranch Road. Coordinate with traffic engineer as this is currently

a rural local roadway



Subject: Callout

Page Label: [4] 4 OVERALL SITE

Author: Daniel Torres **Date:** 12/8/2023 3:46:10 PM

Status: Color: Layer: Space: provide site plan sheet with improvements required at StageCoach Rd & Black Forest Rd. Coordinate

with the traffic engineer.



Page Label: [4] 4 OVERALL SITE

Author: Daniel Torres Date: 12/8/2023 3:47:05 PM

Status: Color: Layer: Space: provide a site plan sheet showing improvements required at Blackforest and Hodgen intersection. Coordinate with traffic engineer.

Clerk & Recorder (1)



Subject: Clerk & Recorder Page Label: [1] COVER Author: Ryan Howser Date: 12/6/2023 12:32:24 PM

Status: Color: ■ Layer: Space: Clerk and Recorder

STATE OF COLORADO COUNTY OF EL PASO

I hereby certify that this instrument was filed in my office on this _____ day of _____, 20__, and

was recorded at Reception Number

of the records of El Paso

County

El Paso County Clerk and Recorder

Cloud+ (3)



Subject: Cloud+

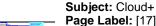
Page Label: [24] 24 SITE PLAN 11

Author: lpackman

Date: 12/7/2023 5:01:55 PM

Status: Color: Layer: Space: Revise to show stop condition and pedestrian

crossing.



Page Label: [17] 17 SITE PLAN 04

Author: Daniel Torres Date: 12/8/2023 3:16:51 PM

Status: Color: Layer: Space: Rounabout analysis required. Provide details of

each roundabout



Subject: Cloud+

Page Label: [23] 23 SITE PLAN 10

Author: Daniel Torres Date: 12/8/2023 3:36:59 PM

Status:
Color: Layer:
Space:

provide pedestrian crossing

Highlight (105)

i=N14° 57' 30"E ____ △=30.8669 R=162.500 Subject: Highlight

Page Label: [15] 15 SITE PLAN 02

Author: lpackman

Date: 12/7/2023 2:25:18 PM

Status: Color: Layer: Space: R=162.500



Subject: Highlight

Page Label: [15] 15 SITE PLAN 02

Author: Daniel Torres Date: 12/8/2023 3:01:26 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [15] 15 SITE PLAN 02

Author: Daniel Torres Date: 12/8/2023 3:02:18 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [15] 15 SITE PLAN 02

Author: Daniel Torres Date: 12/8/2023 3:02:24 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [15] 15 SITE PLAN 02

Author: Daniel Torres Date: 12/8/2023 3:03:07 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [15] 15 SITE PLAN 02

Author: Daniel Torres Date: 12/8/2023 3:08:34 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [15] 15 SITE PLAN 02 Author: Daniel Torres

Author: Daniel Torres Date: 12/8/2023 3:08:35 PM

Status: Color: Layer: Space:

.....



Subject: Highlight

Page Label: [15] 15 SITE PLAN 02

Author: Daniel Torres Date: 12/8/2023 3:08:37 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [16] 16 SITE PLAN 03

Author: Daniel Torres Date: 12/8/2023 3:09:55 PM

Status: Color: Layer: Space:

.....



Subject: Highlight

Page Label: [16] 16 SITE PLAN 03

Author: Daniel Torres Date: 12/8/2023 3:10:04 PM

Status: Color: Layer: Space:

.....



Subject: Highlight

Page Label: [16] 16 SITE PLAN 03

Author: Daniel Torres Date: 12/8/2023 3:10:08 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [16] 16 SITE PLAN 03

Author: Daniel Torres Date: 12/8/2023 3:10:10 PM

Status: Color: Layer: Space:

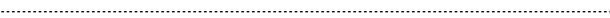


Subject: Highlight

Page Label: [16] 16 SITE PLAN 03

Author: Daniel Torres Date: 12/8/2023 3:10:21 PM

Status: Color: Layer: Space:





Subject: Highlight

Page Label: [16] 16 SITE PLAN 03

Author: Daniel Torres Date: 12/8/2023 3:10:30 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [16] 16 SITE PLAN 03

Author: Daniel Torres Date: 12/8/2023 3:10:33 PM

Status: Color: Layer: Space:

.....



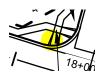
Subject: Highlight

Page Label: [16] 16 SITE PLAN 03

Author: Daniel Torres **Date:** 12/8/2023 3:10:40 PM

Status: Color: Layer: Space:

.....



Subject: Highlight

Page Label: [16] 16 SITE PLAN 03

Author: Daniel Torres Date: 12/8/2023 3:11:51 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [16] 16 SITE PLAN 03

Author: Daniel Torres Date: 12/8/2023 3:11:53 PM

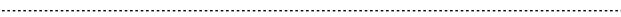
Status: Color: Layer: Space:



Page Label: [16] 16 SITE PLAN 03

Author: Daniel Torres Date: 12/8/2023 3:12:18 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [16] 16 SITE PLAN 03

Author: Daniel Torres Date: 12/8/2023 3:12:20 PM

Status: Color: Layer: Space:

.....



Subject: Highlight

Page Label: [16] 16 SITE PLAN 03

Author: Daniel Torres Date: 12/8/2023 3:12:38 PM

Status: Color: Layer: Space:

.....

Subject: Highlight

Page Label: [16] 16 SITE PLAN 03

Author: Daniel Torres Date: 12/8/2023 3:12:39 PM

Status: Color: Layer: Space:

.....



Subject: Highlight

Page Label: [16] 16 SITE PLAN 03

Author: Daniel Torres Date: 12/8/2023 3:12:43 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [17] 17 SITE PLAN 04

Author: Daniel Torres Date: 12/8/2023 3:13:37 PM



Page Label: [17] 17 SITE PLAN 04

Author: Daniel Torres Date: 12/8/2023 3:13:38 PM

Status: Color: Layer: Space:

Subject: Highlight

Page Label: [17] 17 SITE PLAN 04

Author: Daniel Torres Date: 12/8/2023 3:13:47 PM

Status: Color: Layer: Space:

Subject: Highlight

Page Label: [17] 17 SITE PLAN 04

Author: Daniel Torres Date: 12/8/2023 3:13:51 PM

Status: Color: Layer: Space:

Subject: Highlight

Page Label: [17] 17 SITE PLAN 04

Author: Daniel Torres Date: 12/8/2023 3:13:53 PM

Status: Color: Layer: Space:

.....

Sylvanian Sylvan

Subject: Highlight

Page Label: [17] 17 SITE PLAN 04

Author: Daniel Torres Date: 12/8/2023 3:14:02 PM

Status: Color: Layer: Space:

.....

Subject: Highlight

Page Label: [17] 17 SITE PLAN 04

Author: Daniel Torres Date: 12/8/2023 3:14:12 PM



Page Label: [17] 17 SITE PLAN 04

Author: Daniel Torres Date: 12/8/2023 3:14:20 PM

Status: Color: Layer: Space:

Subject: Highlight

Page Label: [17] 17 SITE PLAN 04

Author: Daniel Torres Date: 12/8/2023 3:14:39 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [17] 17 SITE PLAN 04

Author: Daniel Torres Date: 12/8/2023 3:14:40 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [17] 17 SITE PLAN 04

Author: Daniel Torres **Date:** 12/8/2023 3:14:51 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [17] 17 SITE PLAN 04

Author: Daniel Torres Date: 12/8/2023 3:17:31 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [17] 17 SITE PLAN 04

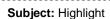
Author: Daniel Torres Date: 12/8/2023 3:17:34 PM



Page Label: [17] 17 SITE PLAN 04

Author: Daniel Torres Date: 12/8/2023 3:17:35 PM

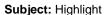
Status: Color: Layer: Space:



Page Label: [17] 17 SITE PLAN 04

Author: Daniel Torres Date: 12/8/2023 3:17:36 PM

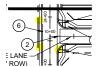
Status: Color: Layer: Space:



Page Label: [18] 18 SITE PLAN 05 Author: Daniel Torres

Date: 12/8/2023 3:20:45 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [18] 18 SITE PLAN 05

Author: Daniel Torres Date: 12/8/2023 3:20:51 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [18] 18 SITE PLAN 05

Author: Daniel Torres Date: 12/8/2023 3:21:00 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [18] 18 SITE PLAN 05

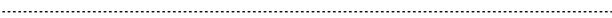
Author: Daniel Torres Date: 12/8/2023 3:21:01 PM



Page Label: [18] 18 SITE PLAN 05

Author: Daniel Torres Date: 12/8/2023 3:21:03 PM

Status: Color: Layer: Space:





Subject: Highlight

Page Label: [18] 18 SITE PLAN 05

Author: Daniel Torres Date: 12/8/2023 3:23:51 PM

Status: Color: Layer: Space:

.....



Subject: Highlight

Page Label: [18] 18 SITE PLAN 05

Author: Daniel Torres Date: 12/8/2023 3:23:53 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [18] 18 SITE PLAN 05

Author: Daniel Torres Date: 12/8/2023 3:23:54 PM

Status: Color: Layer: Space:



Page Label: [18] 18 SITE PLAN 05

Author: Daniel Torres Date: 12/8/2023 3:23:58 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [18] 18 SITE PLAN 05

Author: Daniel Torres Date: 12/8/2023 3:24:05 PM



Page Label: [18] 18 SITE PLAN 05 Author: Daniel Torres

Date: 12/8/2023 3:24:06 PM

Status: Color: Layer: Space:



Page Label: [18] 18 SITE PLAN 05

Author: Daniel Torres Date: 12/8/2023 3:24:07 PM

Status: Color: Layer: Space:





Subject: Highlight

Page Label: [18] 18 SITE PLAN 05 Author: Daniel Torres

Date: 12/8/2023 3:24:08 PM

/E Status: Color: Layer: Space:



Subject: Highlight

Page Label: [18] 18 SITE PLAN 05

Author: Daniel Torres Date: 12/8/2023 3:24:37 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [18] 18 SITE PLAN 05

Author: Daniel Torres Date: 12/8/2023 3:24:42 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [19] 19 SITE PLAN 06

Author: Daniel Torres Date: 12/8/2023 3:30:07 PM



Page Label: [19] 19 SITE PLAN 06

Author: Daniel Torres Date: 12/8/2023 3:30:11 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [19] 19 SITE PLAN 06

Author: Daniel Torres Date: 12/8/2023 3:30:13 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [19] 19 SITE PLAN 06

Author: Daniel Torres Date: 12/8/2023 3:30:14 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [19] 19 SITE PLAN 06

Author: Daniel Torres Date: 12/8/2023 3:30:22 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [19] 19 SITE PLAN 06

Author: Daniel Torres Date: 12/8/2023 3:30:23 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [19] 19 SITE PLAN 06

Author: Daniel Torres Date: 12/8/2023 3:30:25 PM



Page Label: [19] 19 SITE PLAN 06

Author: Daniel Torres Date: 12/8/2023 3:30:55 PM

Status: Color: Layer: Space:

.....



Subject: Highlight

Page Label: [19] 19 SITE PLAN 06

Author: Daniel Torres Date: 12/8/2023 3:30:56 PM

Status: Color: Layer: Space:

.....



Subject: Highlight

Page Label: [19] 19 SITE PLAN 06

Author: Daniel Torres Date: 12/8/2023 3:30:59 PM

Status: Color: Layer: Space:

.....



Subject: Highlight

Page Label: [19] 19 SITE PLAN 06

Author: Daniel Torres Date: 12/8/2023 3:31:08 PM

Status: Color: Layer: Space:

.....



Subject: Highlight

Page Label: [19] 19 SITE PLAN 06

Author: Daniel Torres Date: 12/8/2023 3:31:17 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [20] 20 SITE PLAN 07

Author: Daniel Torres **Date:** 12/8/2023 3:32:20 PM



Page Label: [20] 20 SITE PLAN 07

Author: Daniel Torres Date: 12/8/2023 3:32:21 PM

Status: Color: Layer: Space:





Subject: Highlight

Page Label: [20] 20 SITE PLAN 07

Author: Daniel Torres Date: 12/8/2023 3:32:22 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [21] 21 SITE PLAN 08

Author: Daniel Torres Date: 12/8/2023 3:33:20 PM

Status: Color: Layer: Space:

.....



Subject: Highlight

Page Label: [21] 21 SITE PLAN 08

Author: Daniel Torres Date: 12/8/2023 3:33:21 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [21] 21 SITE PLAN 08

Author: Daniel Torres Date: 12/8/2023 3:33:22 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [21] 21 SITE PLAN 08

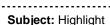
Author: Daniel Torres Date: 12/8/2023 3:33:39 PM



Page Label: [21] 21 SITE PLAN 08 Author: Daniel Torres

Date: 12/8/2023 3:33:40 PM

Status: Color: Layer: Space:



Page Label: [21] 21 SITE PLAN 08

Author: Daniel Torres Date: 12/8/2023 3:33:41 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [21] 21 SITE PLAN 08

Author: Daniel Torres Date: 12/8/2023 3:33:42 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [21] 21 SITE PLAN 08

Author: Daniel Torres Date: 12/8/2023 3:33:48 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [21] 21 SITE PLAN 08

Author: Daniel Torres Date: 12/8/2023 3:33:49 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [21] 21 SITE PLAN 08

Author: Daniel Torres Date: 12/8/2023 3:33:50 PM



Page Label: [21] 21 SITE PLAN 08 Author: Daniel Torres

Author: Daniel Torres Date: 12/8/2023 3:33:51 PM

Status: Color: Layer: Space:



Page Label: [21] 21 SITE PLAN 08

Author: Daniel Torres Date: 12/8/2023 3:33:53 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [21] 21 SITE PLAN 08

Author: Daniel Torres Date: 12/8/2023 3:33:54 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [21] 21 SITE PLAN 08

Author: Daniel Torres Date: 12/8/2023 3:33:55 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [21] 21 SITE PLAN 08

Author: Daniel Torres Date: 12/8/2023 3:33:56 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [21] 21 SITE PLAN 08

Author: Daniel Torres Date: 12/8/2023 3:34:10 PM



Page Label: [21] 21 SITE PLAN 08

Author: Daniel Torres Date: 12/8/2023 3:34:12 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [21] 21 SITE PLAN 08

Author: Daniel Torres Date: 12/8/2023 3:34:13 PM

Status: Color: Layer: Space:

1000

Subject: Highlight

Page Label: [22] 22 SITE PLAN 09

Author: Daniel Torres Date: 12/8/2023 3:35:01 PM

Status: Color: Layer: Space:

Subject: Highlight

Page Label: [22] 22 SITE PLAN 09

Author: Daniel Torres Date: 12/8/2023 3:35:01 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [22] 22 SITE PLAN 09

Author: Daniel Torres Date: 12/8/2023 3:35:03 PM

Status: Color: Layer: Space:

Subject: Highlight
Page Label: [22] 22 SITE PLAN 09

Author: Daniel Torres

Date: 12/8/2023 3:35:15 PM



Page Label: [22] 22 SITE PLAN 09 Author: Daniel Torres

Date: 12/8/2023 3:35:16 PM

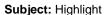
Status: Color: Layer: Space:



Page Label: [22] 22 SITE PLAN 09

Author: Daniel Torres Date: 12/8/2023 3:35:18 PM

Status: Color: Layer: Space:



Page Label: [22] 22 SITE PLAN 09

Author: Daniel Torres Date: 12/8/2023 3:35:21 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [22] 22 SITE PLAN 09

Author: Daniel Torres Date: 12/8/2023 3:35:23 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [22] 22 SITE PLAN 09

Author: Daniel Torres Date: 12/8/2023 3:35:32 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [22] 22 SITE PLAN 09

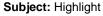
Author: Daniel Torres Date: 12/8/2023 3:35:34 PM



Page Label: [22] 22 SITE PLAN 09

Author: Daniel Torres Date: 12/8/2023 3:35:42 PM

Status: Color: Layer: Space:



Page Label: [23] 23 SITE PLAN 10

Author: Daniel Torres Date: 12/8/2023 3:36:17 PM

Status: Color: Layer: Space:

.....

Subject: Highlight

Page Label: [23] 23 SITE PLAN 10

Author: Daniel Torres Date: 12/8/2023 3:36:18 PM

Status: Color: Layer: Space:

.....

Subject: Highlight

Page Label: [23] 23 SITE PLAN 10

Author: Daniel Torres Date: 12/8/2023 3:36:20 PM

Status: Color: Layer: Space:

.....

79 Page

Subject: Highlight

Page Label: [23] 23 SITE PLAN 10 Author: Daniel Torres

Date: 12/8/2023 3:36:23 PM

Status: Color: Layer: Space:

......

Subject: Highlight

Page Label: [23] 23 SITE PLAN 10

Author: Daniel Torres Date: 12/8/2023 3:36:24 PM

Page Label: [23] 23 SITE PLAN 10 Author: Daniel Torres

Date: 12/8/2023 3:36:33 PM

Status: Color: Layer: Space:

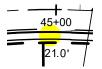


Subject: Highlight

Page Label: [23] 23 SITE PLAN 10 Author: Daniel Torres

Date: 12/8/2023 3:36:35 PM

Status: Color: Layer: Space:



Subject: Highlight

Page Label: [23] 23 SITE PLAN 10

Author: Daniel Torres Date: 12/8/2023 3:37:06 PM

Status: Color: Layer: Space:

Image (1)



Subject: Image

Page Label: [2] 2 NOTES Author: Ryan Howser Date: 12/6/2023 11:22:20 AM

Owner Certification (1)



Subject: Owner Certification Page Label: [1] COVER Author: Ryan Howser Date: 12/6/2023 12:31:07 PM

Status: Color: Layer: Space:

Owners	Certificate
OWITEIS	Certificate

The undersigned, being all the owners, mortgagees, beneficiaries of deeds of trust and holders of other interests in the land described herein, have laid out, subdivided, and platted said lands into lots, tracts, streets, and easements (use which are applicable) as shown hereon under the name and subdivision of

. All public improvements so platted are hereby dedicated to public use and said owner does hereby covenant and agree that the public improvements will be constructed to El Paso County standards and that proper drainage and erosion control for same will be provided at said owner's expense, all to the satisfaction of the Board of County Commissioners of El Paso County, Colorado. Upon acceptance by resolution, all public improvements so dedicated will become matters of maintenance by El Paso County, Colorado. The utility easements shown hereon are hereby dedicated for public utilities and communication systems and other purposes as shown hereon. The entities responsible for providing the services for which the easements are established are hereby granted the perpetual right of ingress and egress from and to adjacent properties for installation, maintenance, and replacement of utility lines and related facilities.

Owners/Mortgagee (Signature)
By: Title:
ATTEST: (if corporation)
Secretary/Treasurer
STATE OF COLORADO)) ss. COUNTY OF)
Acknowledged before me this day of, 200 by as
My commission expires
Witness my hand and official seal
Notary Public Signatures of officers signing for a corporation shall be acknowledged as follows: (print name) as President/Vice President and print name as Secretary/Treasurer, name of corporation, a state corporation.

Signatures of managers/members for a LLC shall be acknowledged as follows: (print name) as Manager/Member of company, a state limited liability company. (Note: Required when separate ratification statements for deed of trust holders, mortgagees are not utilized)

Planner (63)



Subject: Planner Page Label: [1] COVER Author: Ryan Howser Date: 12/5/2023 3:00:33 PM

Status: Color: Layer: Space: This should say "PUD Development Plan and Preliminary Plan"

FLYING
PUI
Include the APORTIX
RANGE 65 WEST /F THE SI
HICCORD NO.

Subject: Planner
Page Label: [1] COVER
Author: Ryan Howser

Date: 12/5/2023 3:01:01 PM Status: Color: ■ Layer: Space:

Include the quarter-sections



Subject: Planner Page Label: [1] COVER Author: Ryan Howser Date: 12/5/2023 3:01:31 PM

Status: Color: Layer: Space: Should this be Cherokee Metro?

PCD File No. PUDSP234

/INARY PLAN

Subject: Planner Page Label: [1] COVER Author: Ryan Howser Date: 12/5/2023 3:02:13 PM

Status: Color: Layer: Space: PCD File No. PUDSP234



Subject: Planner

Page Label: [15] 15 SITE PLAN 02

Author: Ryan Howser Date: 12/5/2023 5:21:03 PM

Status: Color: Layer: Space: (applies to all lots) - if the acreage is less than 2.5 acres for a lot, also include the size in square feet. The minimum lot size on Sheet 1 is provided in square feet.



Subject: Planner

Page Label: [15] 15 SITE PLAN 02

Author: Ryan Howser Date: 12/5/2023 5:28:28 PM

Status: Color: ■ Layer: Space: These areas that show potential shallow groundwater or prevalence of shallow groundwater in the soils & geology report should be no-build, especially in these larger lots where underground drainage systems might not be as feasible.



Subject: Planner

Page Label: [16] 16 SITE PLAN 03

Author: Ryan Howser **Date:** 12/5/2023 5:31:08 PM

Status: Color: ■ Layer: Space: This lot is almost entirely encumbered by the seasonally wet area



Subject: Planner Page Label: [1] COVER Author: Ryan Howser Date: 12/6/2023 10:53:39 AM

Status: Color: ■ Layer: Space: On the sketch plan, this was only for the medium density areas.



Subject: Planner

Page Label: [24] 24 SITE PLAN 11

Author: Ryan Howser **Date:** 12/6/2023 7:27:57 AM

Status: Color: ■ Layer: Space: The sketch plan contemplated this as a potential fire station site. Is this no longer a possibility? It would be beneficial to include it as a public/fire station tract at the zoning stage (PUDSP) in order to avoid a future approval of location requirement if

the fire station is proposed.



Subject: Planner Page Label: [1] COVER Author: Ryan Howser Date: 12/6/2023 10:05:06 AM

Status: Color: ■ Layer: Space: Fire station? See comment on pg. 24



Subject: Planner

Page Label: [25] 25 SITE PLAN 01

Author: Ryan Howser **Date:** 12/6/2023 7:34:58 AM

Status: Color: Layer: Space: Is this all proposed to be one lot? Please clarify.

Include the lot sizes

Subject: Planner

Page Label: [25] 25 SITE PLAN 01

Author: Ryan Howser **Date:** 12/6/2023 7:35:29 AM

Status: Color: ■ Layer: Space: Include the lot sizes



Subject: Planner
Page Label: [23] 23 SITE PLAN 10
Author: Ryan Howser
Date: 12/6/2023 11:50:31 AM
Status:

Color: Layer: Space:

This should be reflected in a plat note. What is this

use restriction? (same comment applies

throughout this document)



Subject: Planner Page Label: [1] COVER Author: Ryan Howser

Date: 12/6/2023 12:24:23 PM

Status: Color: Layer: Space:

Update all of these statements to the current:

Authority: This PUD is authorized by Chapter 4 of the El Paso County Land Development Code, adopted pursuant to the Colorado Planned Unit Development Act of 1972, as amended.

Applicability: The provisions of this PUD shall run with the land. The landowners, their successors, heirs, or assigns shall be bound by this Development Plan, as amended and approved by the Planning and Community Development Department Director or Board of County Commissioners.

Adoption: The adoption of this development plan shall evidence the findings and decisions of the El Paso County Board of County Commissioners that this Development Plan for (name of PUD) is in general conformity with the El Paso County Master Plan, El Paso County Policy Plan and applicable Small Area Plan(s); is authorized under the provision of the El Paso County Land Development Code; and that the El Paso County Land Development Code and this development plan complies with the Colorado Planned Unit Development Act of 1972, as amended.

Relationship to County Regulations: The provisions of this Development Plan shall prevail and govern the development of (name of PUD), provided, however, that where the provisions of this Development Plan do not address a particular subject, the relevant provisions of the El Paso County Land Development Code, as amended and in effect at the time of the PUD plan approval (or owner acknowledge the PUD changes with the Code), or any other applicable resolutions or regulations of El Paso County, shall be applicable.

Enforcement: To further the mutual interest of the residents, occupants, and owners of the PUD and of the public in the preservation of the integrity of this development plan, the provisions of this plan relating to the use of land and the location of common open space shall run in favor of El Paso County and shall be enforceable at law or in equity by the County without limitation on any power or regulation otherwise granted by law.

Conflict: Where there is more than one provision within the development plan that covers the same subject matter, the provision which is most restrictive or imposes higher standards or requirements shall govern.

Maximum Level of Development: The total number of dwellings or the total commercial, business, or industrial intensity shown on the development plan for development within the specified planning areas is the maximum development requested for platting or construction (plus any approved density transfers). The actual number of dwellings or level of development may be less due to subdivision or Site Development Plan requirements, land carrying capacity, or other requirements of the Board of County Commissioners

Project Tracking: At the time of any final plat application, the applicant shall provide a summary of the development, to date, to Planning and

INCLUDING OFF STREET PAIRWING LANGSCAL USELT TO THIS PREPRELABILATIVE PLAN. EXCE HODGEN MID HOTOGEN ROAD. 'PLAN SUBMITTAL FOR PARCEL 4.	Subject: Planner Page Label: [1] COVER Author: Ryan Howser Date: 12/6/2023 10:05:54 AM Status: Color: Layer: Space:	Hodgen
AND <mark>HOGDGEN</mark> ROAPLAN SUBMITTAL	Subject: Planner Page Label: [1] COVER Author: Ryan Howser Date: 12/6/2023 10:06:07 AM Status: Color: Layer: Space:	HOGDGEN
SO GRAPT LINE DETAILS ORGE INCLUDING OF A IT OF HIS WANDERS PROCESSES BINAL LIVEN YO THE PLAN THE PROCESSES BINAL LIVEN YO THE PLAN THE PROCESSES BINAL LIVEN YOU THE PLAN THE TIME OF THE COLD, OWNER! FLAN EXECUTION The RODE SHOULD BE RECORDED. THE TIME OF THE COLD, OWNER! FLAN EXECUTION The RODE SHOULD BE RECORDED. THE LIVEN THE PLAN EXECUTION OF THE PLAN THE LIVEN THE COLUMN TARRESCENSES BY THE OWNER PLAN THE LIVEN THE COLUMN TARRESCENSES BY THE OWNER PLAN THE LIVEN THE COLUMN TARRESCENSES BY THE OWNER PLAN THE LIVEN THE COLUMN TARRESCENSES BY THE OWNER PLAN THE LIVEN THE COLUMN TARRESCENSES BY THE OWNER PLAN THE LIVEN THE COLUMN TARRESCENSES BY THE OWNER PLAN THE LIVEN THE COLUMN TARRESCENSES BY THE OWNER PLAN THE LIVEN THE COLUMN TARRESCENSES BY THE OWNER PLAN THE LIVEN THE COLUMN TARRESCENSES BY THE OWNER PLAN THE LIVEN THE COLUMN TARRESCENSES BY THE OWNER PLAN THE LIVEN THE COLUMN TARRESCENSES BY THE OWNER PLAN THE LIVEN THE COLUMN TARRESCENSES BY THE OWNER PLAN THE LIVEN THE COLUMN THE COLUMN TARRESCENSES BY THE OWNER PLAN THE LIVEN THE COLUMN TH	Subject: Planner Page Label: [1] COVER Author: Ryan Howser Date: 12/6/2023 10:07:04 AM Status: Color: Layer: Space:	This note should be reworded: There shall be no direct lot access to road(s).
ARRAG, LANGICAPRO, SITE SPINE CHARK! SHAWP RAN, DICEPT AS MODERS ON THIS SIMBITIAL WHITE ABOUT Parcels 1 and \$7 These are also commercial parcels.	Subject: Planner Page Label: [1] COVER Author: Ryan Howser Date: 12/6/2023 10:08:00 AM Status: Color: Layer: Space:	What about Parcels 1 and 5? These are also commercial parcels.
COLE FAMILY RESIDENTIAL) DEVELOPMENT OF THE PROPERTY OF THE PR	Subject: Planner Page Label: [1] COVER Author: Ryan Howser Date: 12/6/2023 10:10:14 AM Status: Color: Layer: Space:	TEN THOUSAND SQUARE FEET (9,750SF)
RY) USE OF SINGLE FAMILY RESINTAL, MAIL KIOSK, TRAIL CORRI IPROVEMENTS, AND ANY OTHER IRCCLES 1-6. Conflict SQUARE FEET (9,760SF), (REFER. GE OF LOT: SO, (F) (35), 1(35), ANY I ME. SEVENTY ENGE EEET /	Subject: Planner Page Label: [1] COVER Author: Ryan Howser Date: 12/6/2023 10:12:43 AM Status: Color: Layer: Space:	Conflict



Subject: Planner Page Label: [1] COVER Author: Ryan Howser

Date: 12/6/2023 10:13:49 AM

Status: Color: Layer: Space:

This appears to provide residential lot standards for the smaller lots; however, development standards and guidelines should be different for the larger lots and estate lots (larger setbacks, easements, etc.) Please provide provisions and typical lots details for the larger residential lots.

Subject: Planner

Page Label: [1] COVER RES SUCH AS SHE Author: Ryan Howser Date: 12/6/2023 10:14:10 AM

JST BE LOCATED Status: Color: Layer: Space:

SUCH AS

.IVING QUARTER)

Subject: Planner Page Label: [1] COVER Author: Ryan Howser Date: 12/6/2023 10:16:58 AM

Status: Color: Layer: Space:

Would recommend to remove the guesswork and provide a more concrete regulation.



Subject: Planner

Page Label: [16] 16 SITE PLAN 03

Author: Ryan Howser Date: 12/6/2023 10:19:56 AM

Status: Color: Layer: Space:

This label is blocking view of the front dimensions of these lots

Subject: Planner Page Label: [1] COVER Author: Ryan Howser Date: 12/6/2023 10:39:33 AM

Status: Color: Layer: Space:

Staff recommends removing the minimum lot width to promote the unique character of the

development



Subject: Planner Page Label: [1] COVER Author: Ryan Howser Date: 12/6/2023 10:40:42 AM

Status: Color: Layer: Space:

This seems unnecessarily complicated - it may be simpler to just apply a 15 ft. front setback only.

Subject: Planner Page Label: [1] COVER Author: Ryan Howser

Date: 12/6/2023 10:46:31 AM

Status: Color: Layer: Space:

Should be 25 ft. for portions of lots adjacent to residential properties.

Subject: Planner Page Label: [1] COVER Author: Ryan Howser Date: 12/6/2023 10:42:10 AM

Status: Color: Layer: Space:

AND ASSOCIATED FACILITIES PER EPC CODE



Subject: Planner Page Label: [1] COVER Author: Ryan Howser Date: 12/6/2023 10:43:37 AM

Status: Color: Layer: Space:

I would recommend rewording: golf course and associated accessory structures as defined in El

Paso County LDC



Subject: Planner Page Label: [1] COVER Author: Ryan Howser Date: 12/6/2023 10:44:55 AM

Status: Color: Layer: Space:

Night club?



Subject: Planner Page Label: [1] COVER Author: Ryan Howser Date: 12/6/2023 10:46:08 AM

Status: Color: Layer: Space:

This is confusing. Should this say 175?



Subject: Planner Page Label: [1] COVER Author: Ryan Howser Date: 12/6/2023 10:46:37 AM

Status: Color: Layer: Space:

Should be 25 ft. for portions of lots adjacent to residential properties.

Open space 10% is required to ACCESORY

Open space 10% is required to provide the commercial areas. You need to demonstrate on a per-phase basis that each individual phase can meet the open space requirements the open space requirements phases.

Subject: Planner Page Label: [1] COVER Author: Ryan Howser Date: 12/6/2023 10:50:46 AM

Status: Color: ■ Layer: Space: Open space 10% is required for the entire PUD area - not just the commercial areas. You need to demonstrate on a per-phase basis that each individual phase can meet the open space requirements independently of the other phases.



Subject: Planner Page Label: [1] COVER Author: Ryan Howser Date: 12/6/2023 10:47:31 AM

Status: Color: Layer: Space: PRIMARY USES ALLOWED: ALL ALLOWED USES LISTED UNDER EL PASO COUNTY COMMERCIAL ZONES - CC (COMMERCIAL COMMUNITY), CR (COMMERCIAL

REGIONAL) AND CS (COMMERCIAL SERVICES)



Subject: Planner Page Label: [1] COVER Author: Ryan Howser Date: 12/6/2023 10:48:23 AM

Status: Color: ■ Layer: Space: Please re-work this to provide a more specific list. It is not likely that all uses in all commercial zoning districts would be permissible.

RONT BUILDING SETBACK LINE: N/A

FIVE FEET (25)
WE FEET (25)
INVE FEET (26)
STATION - N
ALL ALL OWED USES LISTED UNDER EL PASI

Subject: Planner Page Label: [1] COVER Author: Ryan Howser Date: 12/6/2023 10:48:44 AM

Status: Color: ■ Layer: Space: **Batch Plant**

CONT USE STANDARDER, AND THE SERVICE, CONSIGNMENT STANDARDER IN COMHARDER OF PREVIOUS CONSIGNED OF LONG.
THAT ARE CONTROLLED STANDARDER OF LONG.
THAT ARE CONTROLLED STANDARDER OF LONG.
THAT THE SERVICE STANDARDER OF LONG.
THE SERVICE STANDARDER OF L

Subject: Planner Page Label: [1] COVER Author: Ryan Howser Date: 12/6/2023 10:51:19 AM

Status: Color: Layer: Space: See other comments regarding open space.

ACCURATE OCUPIE ANAMERA SAMAGE CALL OF THE PROMPTS EXEGUATED ANAMERA SAMAGE CALL OF THE PROMPTS ANAMERA SAMAGE CALL OF TH

Subject: Planner Page Label: [1] COVER Author: Ryan Howser Date: 12/6/2023 10:51:22 AM

Status: Color: Layer: Space: Should be 25 ft. for portions of lots adjacent to residential properties.

Subject: Planner TWO FLOORS Page Label: [1] COVER RAGE OF LOT: 20% 30') - TWO FLOORS Author: Ryan Howser TBACK LINE: N/A Date: 12/6/2023 10:51:30 AM Status: Color: Layer: Space: Subject: Planner Not necessary Page Label: [1] COVER Author: Ryan Howser Date: 12/6/2023 10:51:38 AM Status: Color: Layer: Space: Subject: Planner **TWO STORIES** Page Label: [1] COVER E OF LOT: 20% Author: Ryan Howser 45') - TWO STORIES CK LINE: N/A Date: 12/6/2023 10:52:33 AM Status: Color: Layer: Space: Subject: Planner Not necessary Page Label: [1] COVER Author: Ryan Howser Date: 12/6/2023 10:52:40 AM Status: Color: Layer: Space: Subject: Planner Conform only 3 commercial lots for the entire Page Label: [1] COVER development. Author: Ryan Howser Date: 12/6/2023 10:54:39 AM Status: Color: Layer: Space:

Subject: Planner

Page Label: [4] 4 OVERALL SITE

Author: Ryan Howser Date: 12/6/2023 10:56:16 AM

Status: Color: Layer: Space:

Using this page as a placeholder for this comment (this information should be included on the 1"-100' scaled site plan pages): depict the following information:

Approximate location of all areas of floodplains, frequent stormwater inundation, or storm water overflow and the location, widths, and direction of flow of all water courses.

Areas of geological hazards and constraints, including but not limited to slopes greater than 30

Base flood elevations, unless otherwise proposed to be modified via the LOMR process through FEMA.





Subject: Planner Page Label: [1] COVER Author: Ryan Howser Date: 12/6/2023 10:59:53 AM

Status: Color: Layer: Space:

How many residential lots are in each school district? You also shall depict the school district boundary line on one of the subsequent maps.

RVICES - MVEA

Natural gas? Water? Wastewater? Subject: Planner Page Label: [1] COVER Author: Ryan Howser Date: 12/6/2023 10:57:41 AM

Status: Color: Layer: Space:

Natural gas? Water? Wastewater?



Subject: Planner Page Label: [1] COVER Author: Ryan Howser Date: 12/6/2023 11:00:06 AM

Status: Color: Layer: Space:

Are any private roads proposed, or are all the roads proposed to be public ROW? This should be identified. It appears that none of the roads are proposed to be located in tracts, so the assumption is that it is all proposed to be public.

CERTIFICATE OF OWNERS

Subject: Planner Page Label: [1] COVER Author: Ryan Howser Date: 12/6/2023 11:01:18 AM

Status: Color: Layer: Space:

FLYING HORSE NORTH PUD REMAINDER



Subject: Planner

Page Label: [2] 2 NOTES Author: Ryan Howser Date: 12/6/2023 11:15:41 AM

Status: Color: Layer: Space:

5. CENTRAL WATER INFRASTRUCTURE TO BE CONSTRUCTED, OWNED AND OPERATED BY FAWWA-FALCON AREA WATER/WASTEWATER **AUTHORITY (OR SIMILAR**

PROVIDER) WHICH WILL PROVIDE WATER SERVICE TO THE PROJECT. ON-SITE WATER FACILITIES MAY BE OWNED BY THE FHN

METRO DISTRICT.

6. CENTRAL WASTEWATER

INFRASTRUCTURE WILL CONSIST OF A **COLLECTION SYSTEM OWNED AND** OPERATED BY THE FHN METROPOLITAN

DISTRICT WHO WILL

PROVIDE SERVICE TO THE INDIVIDUAL HOMES. THE COLLECTIONS SYSTEM WILL ULTIMATELY CONNECT TO THE TRIVIEW METROPOLITAN DISTRICT (OR SIMILAR

PROVIDER).

ILAR Update these notes of the second of the

Subject: Planner

Page Label: [2] 2 NOTES Author: Ryan Howser Date: 12/6/2023 11:15:53 AM

Status: Color: ■ Layer: Space: Update these notes

Subject: Planner

Page Label: [2] 2 NOTES Author: Ryan Howser Date: 12/6/2023 11:18:23 AM

Status:
Color:
Layer:
Space:

THE METRO DISTRICT OR HOA (TO BE

NAMED).

Subject: Planner

Page Label: [2] 2 NOTES Author: Ryan Howser Date: 12/6/2023 12:29:57 PM

Status: Color: ■ Layer: Space: The tract tables indicate the HOA or District will maintain all tracts. None of the tracts are identified to be maintained by EPC or the metro district. The District purpose indicated it would provide maintenance for many of these components.

PRODUCT OR THE PROJECT.

WE SHARK TO SEE THE PROJECT SHARK PER AND PER AND PROJECT SHARK PER AND PROJECT SHARK PER AND PROJECT SHARK

Subject: Planner

Page Label: [2] 2 NOTES Author: Ryan Howser Date: 12/6/2023 11:19:22 AM

Status: Color: Layer: Space: OWNED AND MAINTAINED BY EL PASO

COUNTY

6. CENTRAL WASTEWATER INFRASTRUCTURE WILL PROVIDE SERVICE TO THE INDIVIDUAL HOMES. T PROVIDER; ALL TRACTS SHOWN AS PUBLIC ARE TO BE OWN STORM WATER FACILITIES, OPEN SPACE TRACT TRALE, MAIL DON LOS AND ROSS LOT DRAW. NAMED; WILL STORM FONDS AND CROSS LOT DRAW. FIN METROPOLITAN DISTRICT OR HAS TO BE N Subject: Planner

Page Label: [2] 2 NOTES Author: Ryan Howser Date: 12/6/2023 11:19:36 AM

Status: Color: Layer: Space: FHN METROPOLITAN DISTRICT OR HOA (

IEW AND APPROVED BY EL PAS RK LAND AGREEMENTS.

The language regarding ws. ownership/maintenance responsibilities needs to indicate which will be maintained by HOA and which by District. IE OVERALL SITE OR THROUGH OPEN Subject: Planner

Page Label: [2] 2 NOTES Author: Ryan Howser Date: 12/6/2023 12:30:37 PM

Status: Color: ■ Layer: Space: The language regarding ownership/maintenance responsibilities needs to indicate which will be maintained by HOA and which by District.

Subject: Planner

Page Label: [2] 2 NOTES Author: Ryan Howser Date: 12/6/2023 11:20:54 AM

Status: Color: Layer: Space:



Subject: Planner

Page Label: [2] 2 NOTES Author: Ryan Howser Date: 12/6/2023 11:23:10 AM

Status: Color: Layer: Space:

See excerpt from LDC pasted below and modify depending on lot size, since this proposal includes

THE PERIMETER OF THE LOTS PERIMETER

both urban and rural densities:

Subject: Planner

Page Label: [15] 15 SITE PLAN 02

Author: Ryan Howser Date: 12/6/2023 11:29:58 AM

Status: Color: Layer: Space:

Where are lots 33, 34, and 35? Next sheet picks up at Lot 36.



Subject: Planner

Page Label: [17] 17 SITE PLAN 04

Author: Ryan Howser Date: 12/6/2023 11:35:23 AM

Status: Color: Layer: Space:

Unclear if this is the same Lot 194 depicted on

Sheet 16.



Subject: Planner

Page Label: [18] 18 SITE PLAN 05

Author: Ryan Howser Date: 12/6/2023 11:40:21 AM

Status: Color: Layer: Space:

This should say Sheet 19



Subject: Planner

Page Label: [19] 19 SITE PLAN 06

Author: Ryan Howser Date: 12/6/2023 11:42:45 AM

Status: Color: Layer: Space:

Either call this out as a numbered lot, or call it a tract for future development with number of lots to be determined at next PUD/preliminary plan phase Subject: Planner

Page Label: [22] 22 SITE PLAN 09



Author: Ryan Howser **Date:** 12/6/2023 11:47:44 AM

Status: Color: ■ Layer: Space: Cannot locate Lots 633 and 634.

__ Sı

Subject: Planner

Page Label: [23] 23 SITE PLAN 10

Author: Ryan Howser **Date:** 12/6/2023 11:50:18 AM

Status: Color: ■ Layer: Space: Same comment as other commercial lot - either designate this as a numbered lot, or identify it as a future tract for development and determination of number of lots at a later phase of PUD/SP.

Soils & Geology (1)



Subject: Soils & Geology Page Label: [1] COVER Author: Ryan Howser Date: 12/6/2023 12:26:04 PM

Status: Color: Layer: Space: Please update the note to incoprorate CGS recommendations (provided via comment in EDARP) and use the below note as a template: (to be customized based upon the individual circumstances)

The following lots have been found to be impacted by geologic hazards. Mitigation measures and a map of the hazard area can be found in the report (Title of Report, generally from the Preliminary Plan file) by (author of the report) (date of report) in file (name of file and file number) available at the El Paso County Planning and Community Development Department:

- Downslope Creep: (name lots or location of area)Rockfall Source: (name lots or location of area)
- Rockfall Runout Zone:(name lots or location of area)
- ■Potentially Seasonally High Groundwater:(name lots or location of area)
- Other Hazard:

In Areas of High Groundwater:

Due to high groundwater in the area, all foundations shall incorporate an underground drainage system.

Stamp - Stormwater Comment Legend (1)



Subject: Stamp - Stormwater Comment Legend

Page Label: [1] COVER Author: Mikayla Hartford Date: 12/4/2023 12:51:20 PM

Surveyor Certification (1)



Subject: Surveyor Certification

Page Label: [1] COVER Author: Ryan Howser Date: 12/6/2023 12:32:22 PM

Status:
Color: Layer:
Space:

Surveyors Certificate

I surveyor's name, a duly registered Professional Land Surveyor in the State of Colorado, do hereby certify that this plat truly and correctly represents the results of a survey made on date of survey, by me or under my direct supervision and that all monuments exist as shown hereon; that mathematical closure errors are less than 1:10,000; and that said plat has been prepared in full compliance with all applicable laws of the State of Colorado dealing with monuments, subdivision, or surveying of land and all applicable provisions of the El Paso County Land Development Code.

I attest the above on this, 20	day of	
Surveyor's Name, (Signature)		
Colorado registered PLS #		

SW - Textbox with Arrow (3)



Subject: SW - Textbox with Arrow Page Label: [21] 21 SITE PLAN 08

Author: Mikayla Hartford Date: 12/4/2023 11:26:58 AM

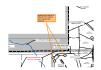
Status: Color: Layer: Space: Update pond callouts or linework. The callouts aren't aligned with anything.



Subject: SW - Textbox with Arrow Page Label: [15] 15 SITE PLAN 02

Author: Mikayla Hartford Date: 12/4/2023 11:27:39 AM

Status: Color: ■ Layer: Space: Update pond callouts or linework. The callouts aren't aligned with anything.



Subject: SW - Textbox with Arrow **Page Label:** [20] 20 SITE PLAN 07

Author: Mikayla Hartford Date: 12/4/2023 11:29:45 AM

Status: Color: ■ Layer: Space: Update pond callouts or linework. The callouts aren't aligned with anything.

Text Box (15)



Subject: Text Box

Page Label: [4] 4 OVERALL SITE

Author: eschoenheit Date: 12/6/2023 2:59:37 PM

Status: Color: Layer: Space: Label contours and elevations



Subject: Text Box

Page Label: [4] 4 OVERALL SITE

Author: eschoenheit Date: 12/6/2023 2:53:53 PM

Status: Color: Layer: Space: Approximate location of all areas of floodplain, inundation, or storm water overflow and the location, widths, and direction of flow of all water courses,



Subject: Text Box

Page Label: [4] 4 OVERALL SITE

Author: eschoenheit Date: 12/6/2023 3:22:59 PM

Status: Color: Layer: Space: Add the approximate length of all street centerlines, centerline radii and approximate grades, type of curb, gutter, sidewalk, and locations of pedestrian ramps. The data should be

placed in a data table.



Subject: Text Box Page Label: [1] COVER Author: eschoenheit Date: 12/7/2023 4:36:56 PM

Status: Color: Layer: Space: RESIDENTIAL LOTS SHALL HAVE NO DIRECT ACCESS TO A MAJOR COLLECTOR OR ARTERIAL ROADWAY CLASSIFICATION. ALL RESIDENTIAL LOTS SHALL HAVE DIRECT ACCESS TO LOCAL RESIDENTIAL STREETS UNLESS A DEVIATION REQUEST HAS BEEN

SUBMITTED AND APPROVED



Subject: Text Box Page Label: [1] 24x36 Author: eschoenheit Date: 12/6/2023 3:51:37 PM

Status: Color: Layer: Space: Add design and posted speed for both



Subject: Text Box Page Label: [1] COVER Author: lpackman

Date: 12/7/2023 11:39:32 AM

Status: Color: Layer: Space: Add the following note: "EI Paso County does not own and is not responsible for the underdrains or groundwater discharge systems shown on these plans and assumes no liability for water rights administration by approving these plans."



Subject: Text Box

Page Label: [16] 16 SITE PLAN 03

Author: lpackman

Date: 12/7/2023 2:53:15 PM

Status: Color: Layer: Space: Per ECM 2.5.C.4 mid block crossings are required where distance between ramps exceeds 600'. A deviation request can be submitted for consideration if intending to exclude.



Subject: Text Box

Page Label: [17] 17 SITE PLAN 04

Author: lpackman

Date: 12/7/2023 2:56:46 PM

Status: Color: Layer: Space: Per ECM 2.5.C.4 mid block crossings are required where distance between ramps exceeds 600'. A deviation request can be submitted for consideration if intending to exclude.



Subject: Text Box

Page Label: [18] 18 SITE PLAN 05

Author: lpackman

Date: 12/7/2023 3:17:02 PM

Status: Color: Layer: Space: Per ECM 2.5.C.4 mid block crossings are required where distance between ramps exceeds 600'. A deviation request can be submitted for consideration if intending to exclude.



Subject: Text Box

Page Label: [21] 21 SITE PLAN 08

Author: lpackman

Date: 12/7/2023 3:30:45 PM

Status: Color: Layer: Space: Per ECM 2.5.C.4 mid block crossings are required where distance between ramps exceeds 600'. A deviation request can be submitted for consideration if intending to exclude.



Subject: Text Box

Page Label: [22] 22 SITE PLAN 09

Author: lpackman

Date: 12/7/2023 4:02:07 PM

Status: Color: Layer: Space: Per ECM 2.5.C.4 mid block crossings are required where distance between ramps exceeds 600'. A deviation request can be submitted for consideration if intending to exclude.



Subject: Text Box

Page Label: [19] 19 SITE PLAN 06

Author: Daniel Torres **Date:** 12/7/2023 4:16:23 PM

Status: Color: Layer: Space: Access to this parcel will be determined at site development plan stage as previously discussed.



Subject: Text Box Page Label: [1] 24x36 Author: Daniel Torres Date: 12/8/2023 2:26:20 PM

Status: Color: Layer: Space: Comments have been provided on the TIS regarding the upgrade of roadways such as Stagecoach Rd, black forest, Allen Ranch Rd etc.

Provide proposed cross section of the

improvements proposed due to the upgrade in classification. Coordinate with the traffic engineer.



Subject: Text Box

Page Label: [4] 4 OVERALL SITE

Author: Daniel Torres Date: 12/8/2023 2:26:48 PM

Status: Color: Layer: Space:



Subject: Text Box Page Label: [1] 24x36 Author: Daniel Torres Date: 12/8/2023 3:47:57 PM

Status: Color: Layer: Space: comments have been provided on the TIS to provide roundabout analysis. Please make changes accordingly based on any changes (if any) from the analysis. Additional comments may be generated once analysis and changes are

reflected on the plans