

A PORTION OF SECTIONS 34, 35 AND 36 TOWNSHIP 11 SOUTH,
RANGE 66 WEST, AND A PORTION OF SECTIONS 30 AND 31, TOWNSHIP 11 SOUTH,
RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

The map shows the site location relative to surrounding roads and land. The site is a large, irregularly shaped area shaded in gray, located on the east side of the map. It is bounded by Black Forest Rd. to the north and south, and Old Stagecoach Rd. to the west. The site is labeled "SITE" in large, bold, black letters. To the west of the site, there is a residential area with many small, rectangular lots. This area is bounded by Hodgen Rd. to the north and Flying Horse North Filing No. 1 to the south. Other roads shown include Stagecoach Rd. and Hwy 83. A north arrow is located in the bottom right corner of the map.

NOT TO SCALE

Plan view of ROW showing dimensions and elevations. The diagram includes a north arrow pointing towards the top right. Key dimensions and labels include:

- ROW (Right of Way) boundary on the left.
- LOT DEPTH 130' MIN. (indicated by a dimension line across the top).
- BUILDING PAD 70.00' (indicated by a dimension line across the top).
- 90.00' (indicated by a dimension line across the top).
- 20.00' FSL (Finished Surface Level) (indicated by a dimension line across the top).
- 40.00' (MIN) VARIES (indicated by a dimension line on the right side).
- 2.0% MIN. (indicated by a slope label on the bottom left).
- 2.0% MIN 4:1 MAX. (indicated by a slope label on the bottom right).
- ℙ (indicated by a symbol on the right side).

Diagram illustrating the layout of a row of three lots, showing dimensions and setbacks:

- ROW** (Right of Way) line is indicated on the left.
- LOT DEPTH 130' MIN.** is the total depth of the row.
- BUILDING PAD 70.00'** is the width of the building pad for the first lot.
- 20.00' FSL** (Front Setback Line) is the setback from the ROW line.
- 30.00'** is the distance from the ROW line to the start of the first lot.
- 50.00'** is the width of the first lot.
- 50.00' (MIN) VARIES** is the width of the second lot, which is the minimum of 50.00 feet and varies.
- 2.0% MIN.** is the minimum slope for the first lot.
- 2.0% MIN.** is the minimum slope for the second lot.
- 2.0% MIN.** is the minimum slope for the third lot.

Diagram illustrating the ROW (Right of Way) and LOT DEPTH 130' MIN. dimensions. The diagram shows a cross-section of a lot with various setbacks and dimensions:

- ROW (Right of Way) boundary is indicated by a vertical line on the right.
- LOT DEPTH 130' MIN. is indicated by a horizontal line at the top.
- Setbacks from the ROW boundary:
 - 40.00' (MIN) VARIES (Minimum setback from ROW to building pad)
 - 16.00' (Setback from building pad to rear property line)
 - 24.00' (Setback from building pad to side property line)
 - 50.00' (Setback from building pad to front property line)
- Setback from the front property line:
 - 20.00' FSL (Front Setback Line)
 - 2.0% MIN. (Minimum slope requirement)
- Building Pad dimensions:
 - 70.00' (Building Pad width)

Diagram illustrating the cross-section of a road and drainage system. The diagram shows a road with a 4.0' depth, a 2.0% MIN. slope, and a 6:1 slope. The road width is 20.00' FSL. The total width is 50.00'. The road depth is 24.00'. The drainage depth is 16.00'. The total depth is 40.00' (MIN) VARIES. The diagram is labeled ROW and R.

'G' LOT TEMPLATE

<p>GREEN - COLORADO SPRINGS RESEARCH PARKWAY SUITE 230 COLORADO SPRINGS, CO 80920 PHONE: 719.300.4140 FAX: 713.965.0044</p>	<p>FLYING PRI #2, L EL PASO C</p>
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SURVEYOR
EDWARD-JAMES SURVEYING, INC.
926 ELKTON DRIVE
COLORADO SPRINGS, CO 80907
TELE: (719) 576-1216
ATTN: JONATHAN W. TESSIN
EMAIL: JTessin@EJSurveying.com

WASTEWATER
CHEROKEE METRO DISTRICT
6250 PALMER PARK BLVD
COLORADO SPRINGS, COLORADO
ATTN: AMY LATHEN

1 - COVER
2 - LEGEND
3-12 - GRADING PLANS

CONTAINING A TOTAL CALCULATED AREA OF 32,382,989 SQUARE FEET OR 743.411 ACRES.

NO.	DATE	BY	REVISION DESCRIPTION

HR GREEN - COLORADO SPRINGS
1975 RESEARCH PARKWAY SUITE 230
COLORADO SPRINGS, CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

GRADING PLANS
COVER

PCD FILE NO.: PUDSP234

SHEET
CV

1

EL PASO COUNTY STANDARD CONSTRUCTION NOTES:


1. ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY DRAINAGE CRITERIA MANUAL.
 2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FILED NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
 3. CONTRACTOR SHALL KEEP A COPY OF THE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
 - A. EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
 - B. CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
 - C. COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
 - D. CDOT M & S STANDARDS
 4. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, VOLUME 2, AND ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CATERA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
 5. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR INADEQUACIES WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
 6. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT (PCD) - INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
 7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND SEDIMENTATION CONTROL PERMIT (ESCC), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
 8. CONTRACTOR SHALL NOT DEViate FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
 9. ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
 10. CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
 11. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
 12. SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
 13. SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY AND MUTCD CRITERIA. [IF APPLICABLE, ADDITIONAL SIGNING AND STRIPING NOTES WILL BE PROVIDED.]
 14. CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DPW, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
 15. THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.
- ## GENERAL CONSTRUCTION NOTES
1. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK. THE OMISSION FROM OR THE INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OF OR A DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES.
 2. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES FROM DAMAGE DUE TO THIS OPERATION. ANY DAMAGE TO THE UTILITIES WILL BE REPLACED AT THE CONTRACTORS EXPENSE AND ANY SERVICE DISRUPTION WILL BE SETTLED BY THE CONTRACTOR.
 3. ADDITIONAL EROSION CONTROL STRUCTURES MAY BE REQUIRED AT THE TIME OF CONSTRUCTION.
 4. ALL BACKFILL, SUB-BASE AND/OR BASE COURSE (CLASS 6) MATERIAL, SHALL BE COMPACTED TO THE SOILS ENGINEERS RECOMMENDATIONS, AND APPROVED BY EL PASO COUNTY DEVELOPMENT SERVICES ENGINEERING DIVISION.
 5. ALL STATIONING IS CENTERLINE UNLESS OTHERWISE INDICATED. ALL ELEVATIONS ARE FLOW LINE UNLESS OTHERWISE INDICATED.
 6. ALL DISTURBED PAVEMENT EDGES SHALL BE CUT TO NEAT LINES. REPAIR SHALL CONFORM TO THE EPC ECM APPENDIX K - 1.2C
 7. ALL INTERSECTION ACCESSSES ARE TO BE CONSTRUCTED WITH A 25 FOOT SIGHT VISIBILITY TRIANGLE AND THERE SHALL BE NO OBSTRUCTIONS GREATER THAN 18" IN THIS AREA.
 8. ALL CULVERT AND STORM PIPES SHALL BE SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE (HDPE), OR REINFORCED CONCRETE PIPE (RCP). ALL CULVERTS SHALL BE PLACED COMPLETE WITH FLARED END SECTIONS. ADEQUACY OF MATERIAL THICKNESS FOR ANY CSP INSTALLATION SHALL BE VERIFIED BY OWNERS GEOTECHNICAL ENGINEER TO SUPPORT MINIMUM 50 YEAR DESIGN LIFE. CULVERTS MUST CONFORM TO EPC SEM SECTION 3.32 - CULVERTS.
 9. ASPHALT THICKNESS AND BASE COURSE THICKNESS (COMPACTED) FOR ROADS SHALL BE PER DESIGN REPORT BY OWNERS GEOTECHNICAL ENGINEER. OWNERS GEOTECHNICAL ENGINEER TO BE ON SITE AT TIME OF ROAD CONSTRUCTION TO EVALUATE SOIL CONDITIONS AND DETERMINE IF ADDITIONAL MEASURES ARE NECESSARY TO ASSURE STABILITY OF THE NEW ROADS. PAVEMENTS DESIGN SHALL BE APPROVED BY EL PASO COUNTY DEVELOPMENT SERVICES ENGINEERING DIVISION PRIOR TO CONSTRUCTION.
 10. TYPE M RIP-RAP WITH 4" OF TYPE II GRANULAR BEDDING AND MIRAFI 180n OR EQUAL MAY BE SUBSTITUTED WHERE TYPE I RIP-RAP WITH MIRAFI FW 700 OR EQUAL IS SPECIFIED.
 11. ALL MATERIALS AND INSTALLATION PROCEDURE SHALL BE IN COMPLIANCE WITH ANY AND ALL APPLICABLE EL PASO COUNTY STANDARDS AND WITH WOODMAN HILLS METRO DISTRICT CONSULTING ENGINEER APPROVAL.
 12. ALL POTABLE WATER MAINS SHALL BE AWWA C900-SDR18 PVC WITH PUSH-ON SINGLE GASKET TYPE JOINTS AND SHALL MEET THE REQUIREMENTS OF ANSI/NSF 61.
 13. ALL WATER MAIN FITTINGS SHALL BE MADE FROM GRAY-IRON OR DUCTILE IRON AND FURNISHED WITH MECHANICAL JOINT ENDS. ALL FITTINGS SHALL HAVE A PRESSURE RATING OF 250 PSI AND SHALL MEET THE REQUIREMENTS OF ANSI/NSF 61.
 14. ALL WATER LINE BENDS, TIES, BLOW-OFFS AND PLUGS AR DEAD-END MAINS SHALL BE PROTECTED FROM THRUST BY USING CONCRETE THRUST BLOCKS AND/OR RODDING AND RESTRAINED PIPE PER THE PAINT BRUSH HILLS METRO DISTRICT CONSULTING ENGINEER APPROVAL.
 15. MAXIMUM DEFLECTION OF 8" R 12" PVC WATER MAIN JOINTS IS 4 DEGREES. CORRESPONDING MINIMUM CURVE RADIUS IS 286'. ADDITIONAL 11.25" OR 22.5" BENDS MAY BE REQUIRED FOR PROPER ALIGNMENT.
 16. CONTRACTOR IS RESPONSIBLE FOR PROVIDING DETAILED AS-BUILT OF ALL WATER MAIN, STORM SEWER AND SANITARY. SEWER MAIN INSTALLATIONS, INCLUDING ACCURATE DISTANCES OF MAIN LINES, VALVES, FITTINGS, MANHOLES, AND LOCATIONS OF WATER AND SEWER SERVICES.
 17. SANITARY SEWER PIPE AND FITTINGS: PVC 4" - 8" ASTM D3034, TYPE PSM, SDR 35: PUSH-ON JOINTS AND MOLDED RUBBER GASKETS. MAXIMUM HORIZONTAL DEFLECTIONS, AFTER INSTALLATION AND BACK FILLING SHALL NOT EXCEED 3% OF THE PIPE DIAMETER. (MINIMUM CURVE RADIUS IS 100' FOR 8" PVC SANITARY SEWER MAIN)

ABBREVIATIONS

	DEFLECTION ANGLE	FT	FOOT OR FEET
Ø, DIA	DIAMETER	GB	GRADE BREAK
AASHTO	AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS	GAL	GALLON
ABC	ASPHALT BASE COURSE	HDPE	HIGH DENSITY POLYETHYLENE
ABD	ABANDONED	HC RAMP	HANDICAP RAMP
	ACRE	HW	HEADWALL
ADA	THE AMERICANS WITH DISABILITIES ACT	INV	INVERT
ASPH	ASPHALT	KM	KILOMETER
ASS'Y	ASSEMBLY	L	LENGTH
ASTM	AMERICAN SOCIETY FOR TESTING MATERIALS	LF	LINEAR FEET
BFE	BASE FLOOD ELEVATION	M	METER
BLDG	BUILDING	MIN	MINIMUM
BLVD	BOULEVARD	MISC	MISCELLANEOUS
BM	BENCH MARK	MAINT	MAINTENANCE
BNDY	BOUNDARY	MAX	MAXIMUM
BOP	BOTTOM OF POND	MH	MANHOLE
BW	BOTTOM OF WALL	MP	MIDPOINT
C&G	CURB AND GUTTER	N	NORTH/NORTHING
CA	COARSE AGGREGATE	NO	NUMBER
CATV	CABLE TELEVISION	OC	ON CENTER
CB	CHORD BEARING/CATCH BASIN	OH	OVERHEAD
CFS	CUBIC FEET PER SECOND	PB	PUBLIC
CIP	CAST IRON PIPE	PC	POINT OF CURVATURE
CL	CENTER LINE	PCC	POINT OF COMPOUND CURVATURE
CMP	CORRUGATED METAL PIPE	PCR	POINT OF CURB RETURN
COMP	COMPOSITE	PI	POINT OF INTERSECTION
CONC	CONCRETE	PIE	PUBLIC IMPROVEMENT ESMT
CONST	CONSTRUCT OR CONSTRUCTION	PT	POINT OF TANGENCY
CSP	CORRUGATED STEEL PIPE	PRC	PROPOSED
CSU	COLORADO SPRINGS UTILITIES	PRC	POINT OF REVERSE CURVATURE
	COURT	PRV	PRESSURE REDUCING VALVE
CTR	CENTER	PVT	PRIVATE
CJ	COPPER	P UAE	PUBLIC UTILITY AND ACCESS ESMT
CY	CUBIC YARD	P UAE	PUBLIC UTILITY, ACCESS AND DRAINAGE ESMT
DBL	DOUBLE	PVC	POLYVINYL CHLORIDE
DEG	DEGREE	R	RADIUS
DET	DETAIL	REC	RECEPTION
DEPT	DEPARTMENT	RCBC	REINFORCED CONCRETE BOX CULVERT
DIM	DIMENSION	S	SOUTH
DIP	DUCTILE IRON PIPE	SHT	SHEET
DOT	DEPARTMENT OF TRANSPORTATION	SQ	SQUARE
DWG	DRAWING	SW	SPILLWAY
E	EAST/EASTING	TBC	TOP BACK OF CURB
EL	ELEVATION	TC	TRICKLE CHANNEL
ELEC	ELECTRIC	TOP	TOP OF POND
EOG	EDGE OF GUTTER	TW	TOP OF WALL
EOP	EDGE OF PAVEMENT	TYP	TYPICAL
EESMT	EASEMENT	UG	UNDERGROUND
EW	ENDWALL	VERT	VERTICAL
EX	EXISTING	W	WEST
FD	FRENCH DRAIN	WW	WASTEWATER
FDC	FIRE DEPARTMENT CONNECTION	WWF	WELDED WIRE FABRIC
FE	FLANGE ELEVATION	W/O	WITH
FES	FLARED END SECTION	YD	WITHOUT
FF	FINISHED FLOOR		YARD
FG	FINISHED GRADE		
FH	FIRE HYDRANT		
FHWA	FEDERAL HIGHWAY ADMINISTRATION		
FL	FLOW LINE		

LEGEND

EXISTING		PROPOSED			
MATCH LINE					
PHASE LINE					
SECTION LINE					
PROPERTY LINE					
EASEMENT LINE					
RIGHT OF WAY					
CENTERLINE					
CHAIN LINK FENCE					
WOODEN FENCE					
ROD IRON FENCE					
GUARDRAIL					
CABLE TV					
U.G. ELECTRIC					
OVERHEAD ELECTRIC					
FIBER OPTIC					
GAS MAIN					
SANITARY SEWER					
STORM DRAIN					
TELEPHONE					
WATER MAIN					
SWALE					
TRAIL					
CURB & GUTTER					
DRAINAGE BASIN					
INDEX CONTOUR					
INTER. CONTOUR					
100-YR FLOODPLAIN					
FLOODWAY					
EDGE OF WETLANDS					
EXISTING		PROPOSED			
DESIGN POINT					
METRO DISTRICTS					
STORM SEWER					
SANITARY SEWER					
WATER					
DRY UTILITIES					
MISCELLANEOUS					

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NO.	DATE	BY	REVISION DESCRIPTION



HR GREEN - COLORADO SPRINGS
1975 RESEARCH PARKWAY SUITE 230
COLORADO SPRINGS, CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

FLYING HORSE NORTH PHASE 2 PUD
PRI #2, LLC.
EL PASO COUNTY, CO

GRADING PLANS

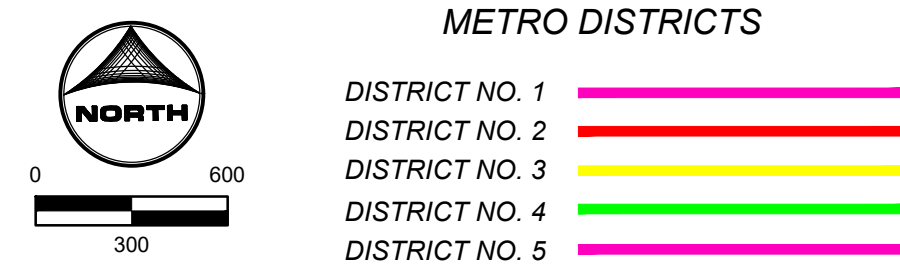
LEGEND & NOTES

PCD FILE NO.: PUDSP234

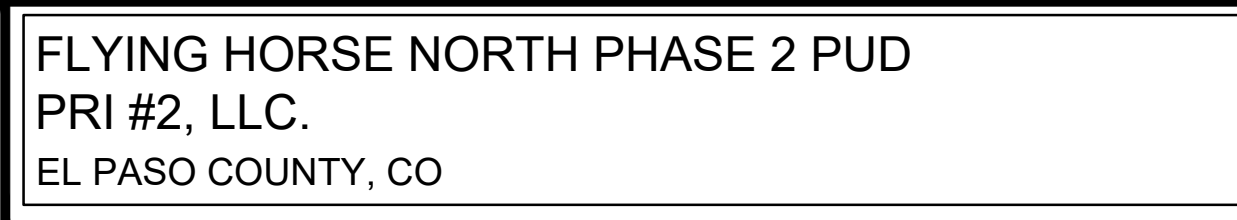
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2

**A PORTION OF SECTIONS 34, 35 AND 36 TOWNSHIP 11 SOUTH,
RANGE 66 WEST, AND A PORTION OF SECTIONS 30 AND 31, TOWNSHIP 11 SOUTH,
RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO**

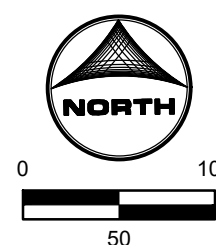


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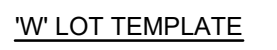
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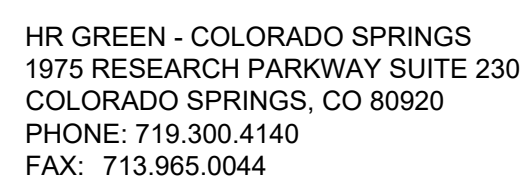
1. THE CONTRACTOR SHALL OBTAIN COPIES OF THE GEOTECHNICAL REPORTS FROM THE OWNER OR ENGINEER AND A COPY OF THE REPORTS SHALL BE KEPT ONSITE DURING ALL EARTHWORK OPERATIONS.
2. THE CONTRACTOR SHALL REVIEW THE GEOTECHNICAL REPORT PREPARED AND SHALL ADHERE TO THE RECOMMENDATIONS ACCORDINGLY.
3. REFER TO SEPARATE PLANS FOR OVER EXCAVATION GRADING.
4. REFER TO GRADING AND EROSION CONTROL PLANS (UNDER SEPARATE COVER).
5. THE SLOPE SHALL NOT EXCEED THE FOLLOWING:
 - A. SPOT ELEVATIONS SHALL TAKE PRECEDENCE OVER CONTOURS.
6. THE CONTRACTOR SHALL NOTIFY ENGINEER IF DISCREPANCIES ARE FOUND.
7. FILL BEHIND FOUNDATION SHALL BE MAINTAINED TO MINIMUM OF 6 INCHES BELOW TOP OF FOUNDATION, IN COMPLIANCE WITH THE IRC (LATEST EDITION). SLOPE AWAY FROM THE FOUNDATION OF THE BUILDINGS SHALL BE A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET OR IN ACCORDANCE WITH THE GEOTECHNICAL RECOMMENDATIONS FOR SURFACE DRAINAGE, WHICHEVER IS STRICTOR.

1	LOT NUMBER	
B	LOT TYPE	GEOLOGICAL HAZARD
A = "A" TYPE LOT	TOP = TOP OF FOUNDATION	
T = TRANSITIONAL LOT	FOG=FRONT OF GARAGE	
B = "B" TYPE LOT	FLOOR ELEVATION	
G = GARDEN LOT	LTF = LOWER TOP OF	
W= WALKOUT LOT	FOUNDATION	
HP = HIGH POINT	BW = FINISHED GRADE AT	
LP = LOW POINT	BOTTOM OF WALL	
	TW = FINISHED GRADE AT	
	TOP OF WALL	

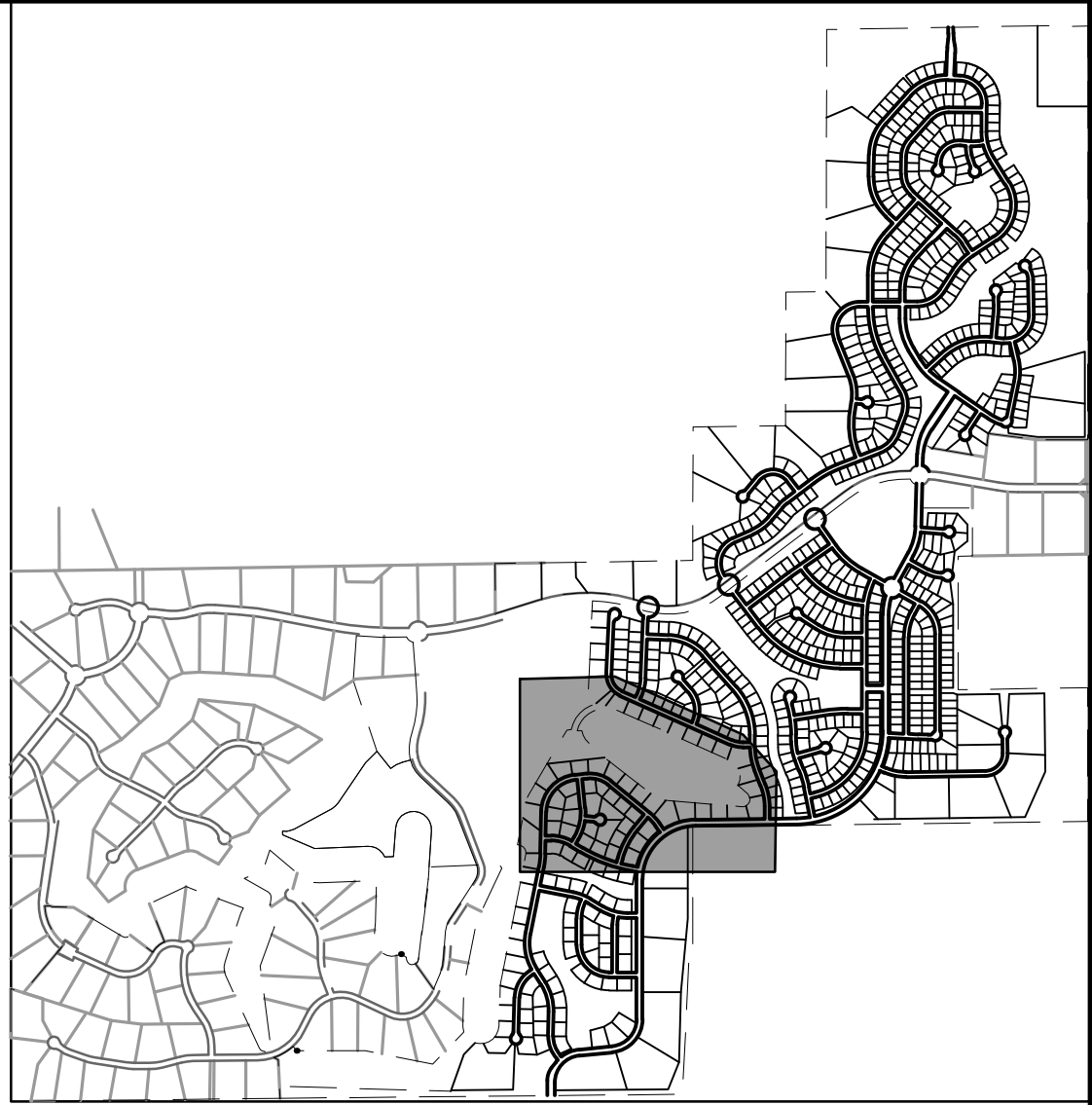


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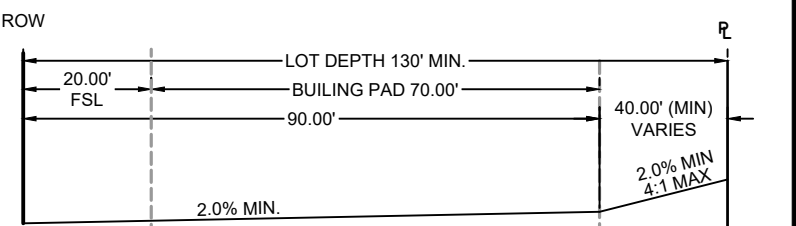
KEY MAP
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GRADING NOTES:

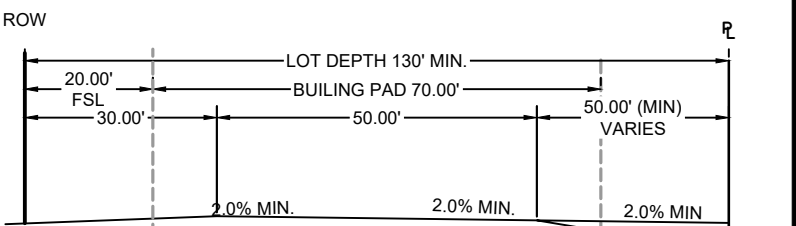
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2. THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT PREPARED AND SHALL ADHERE TO THE RECOMMENDATIONS ACCORDINGLY.
3. REFER TO SEPARATE PLANS FOR OVER EXCAVATION GRADING.
4. REFER TO SEPARATE PLANS FOR GRADING AND CONTROL PLANS (UNDER SEPARATE COVER)
5. MAX. SLOPES SHALL NOT EXCEED 3:1.
6. SPOT ELEVATIONS SHALL TAKE PRECEDENCE OVER CONTOURS.
7. THE CONTRACTOR SHALL NOTIFY ENGINEER IF DISCREPANCIES ARE FOUND. DISCREPANCIES SHALL BE NOTED ON THE FOUNDATION SLOPE. FOUNDATION SLOPE SHALL BE 6 INCHES BELOW TOP OF FOUNDATION, IN COMPLIANCE WITH THE IRC (LATEST EDITION) SLOPE AWAY FROM THE FOUNDATION OF THE BUILDINGS SHALL BE A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET OR IN ACCORDANCE WITH THE GEOTECHNICAL RECOMMENDATIONS FOR SURFACE DRAINAGE, WHICHEVER IS STRICTOR.

GRADING PLAN LEGEND

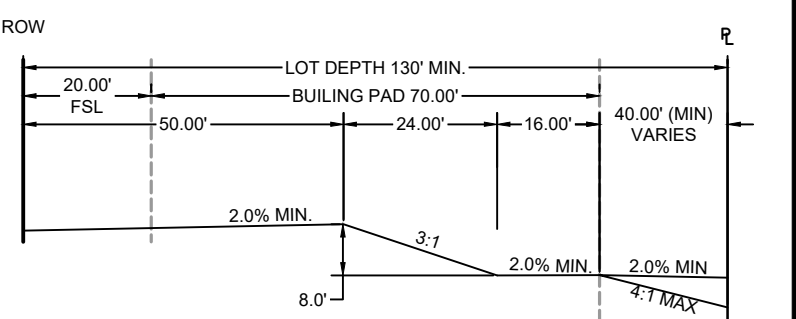
1	LOT NUMBER	GEOLOGICAL HAZARD
B	<p>A = "A" TYPE LOT</p> <p>B = "B" TYPE LOT</p> <p>G = GARDEN LOT</p> <p>W = WALKOUT LOT</p> <p>HP = HIGH POINT</p> <p>LP = LOW POINT</p>	<p>TOP = TOP OF FOUNDATION</p> <p>FOG = FRONT OF GARAGE</p> <p>F = FLOOR ELEVATION</p> <p>LTF = LOWER TOP OF FOUNDATION</p> <p>BW = FINISHED GRADE AT BOTTOM OF WALL</p> <p>TW = FINISHED GRADE AT TOP OF WALL</p>



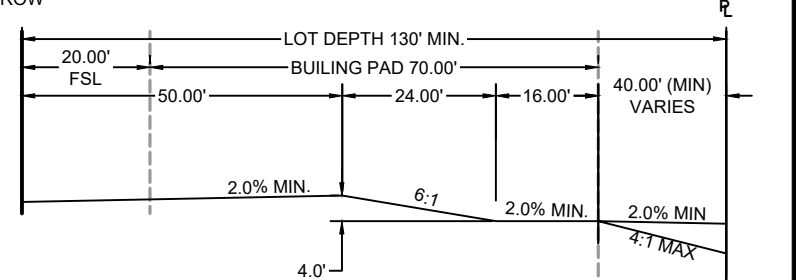
A' LOT TEMPLATE



B' LOT TEMPLATE



N' LOT TEMPLATE



G' LOT TEMPLATE

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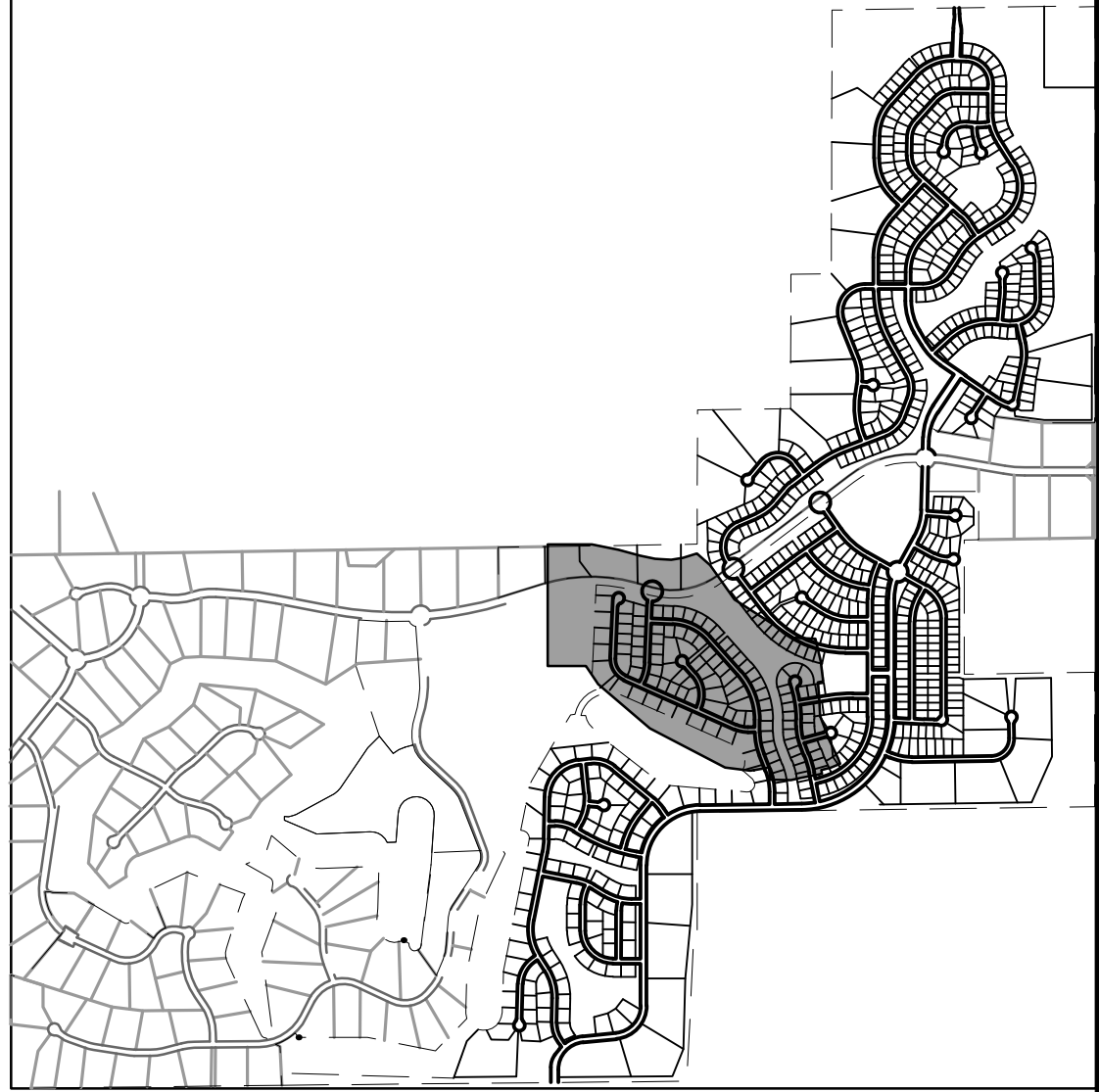
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PHONE: 719.300.4140
FAX: 713.965.0044

FLYING HORSE NORTH PHASE 2 PUD
PRI #2, LLC.
EL PASO COUNTY, CO

OVERLOT GRADING PLAN
OVERLOT GRADING

SHEET
OG

4



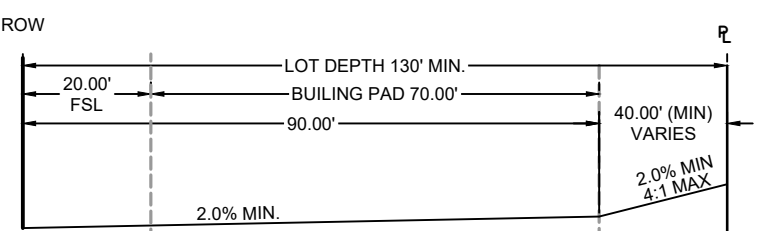
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SCALE: N.T.S

GRADING NOTES:

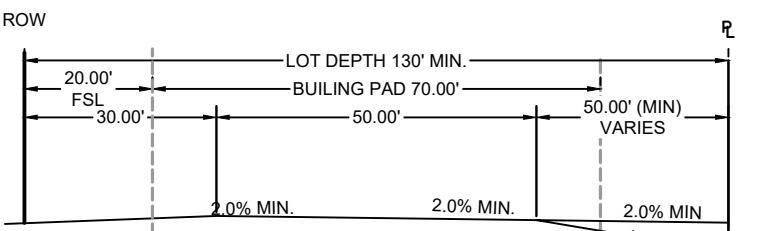
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2. THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT PREPARED AND SHALL ADHERE TO THE RECOMMENDATIONS ACCORDINGLY.
3. REFER TO SEPARATE PLANS FOR OVER EXCAVATION GRADING.
4. MAX. SLOPES SHALL BE 3:1.
5. MAX. SLOPES SHALL NOT EXCEED 3:1.
6. SPOT ELEVATIONS SHALL TAKE PRECEDENCE OVER CONTOURS. THE CONTRACTOR SHALL NOT ENGINEER IF PRECEDENCE IS FOUND.
7. MINIMUM ELEVATIONS SHALL BE TO THE FOUNDATION. THERE BE 6 INCHES BELOW TOP OF FOUNDATION, IN COMPLIANCE WITH THE IRC (LATEST EDITION) SLOPE AWAY FROM THE FOUNDATION OF THE BUILDINGS SHALL BE A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET OR IN ACCORDANCE WITH THE GEOTECHNICAL RECOMMENDATIONS FOR SURFACE DRAINAGE, WHICHEVER IS STRICTOR.

GRADING PLAN LEGEND

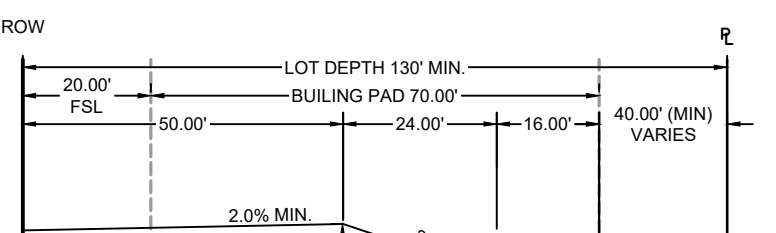
1	LOT NUMBER	
B	LOT TYPE	GEOLOGICAL HAZARD
A	"A" TYPE LOT	TOF = TOP OF FOUNDATION
T	TRANSITIONAL LOT	FOG=FRONT OF GARAGE
B	"B" TYPE LOT	FLOOR ELEVATION
G	GARDEN LOT	LTF = LOWER TOP OF FOUNDATION
W	WALKOUT LOT	BW = FINISHED GRADE AT BOTTOM OF WALL
HP	HIGH POINT	TW = FINISHED GRADE AT TOP OF WALL
LP	LOW POINT	



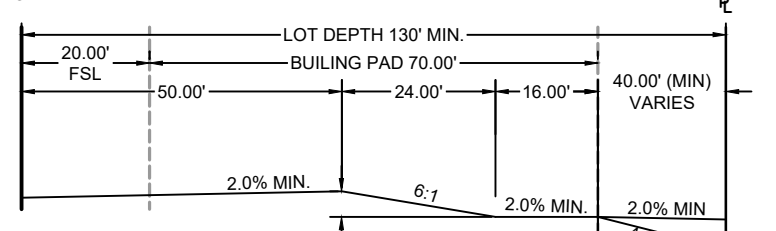
A' LOT TEMPLATE



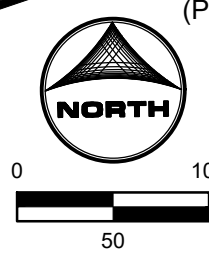
B' LOT TEMPLATE



N^o LOT TEMPLATE



G' LOT TEMPLATE



CD FILE NO.: PUDSP234

DRAWN BY: DLH JOB DATE: OVERLOT GRADING PLAN BAR IS ONE INCH ON
APPROVED: KMH JOB NUMBER: 211030 OFFICIAL DRAWINGS. 0 [REDACTED] 1"
CAD DATE: 1/22/2024 IF NOT ONE INCH,
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NO.	DATE	BY	REVISION DESCRIPTION



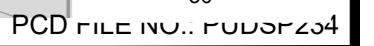
HR GREEN - COLORADO SPRINGS
1975 RESEARCH PARKWAY SUITE 230
COLORADO SPRINGS, CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

FLYING HORSE NORTH PHASE 2 PUD
PRI #2, LLC.
EL PASO COUNTY, CO

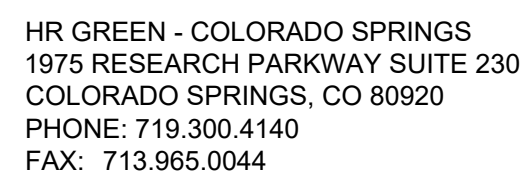
OVERLOT GRADING PLAN
OVERLOT GRADING

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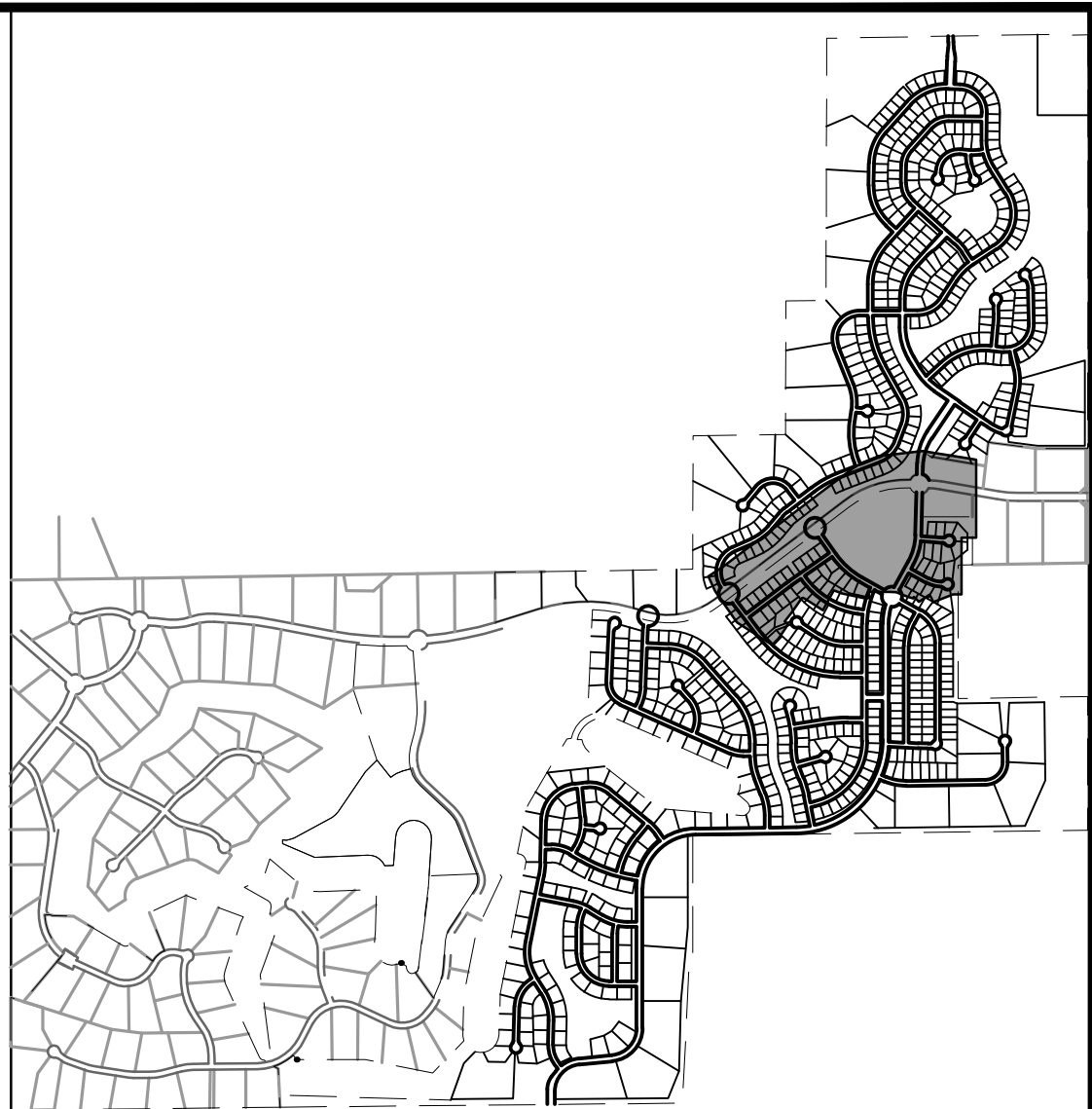


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OVERLOT GRADING PLAN
OVERLOT GRADING

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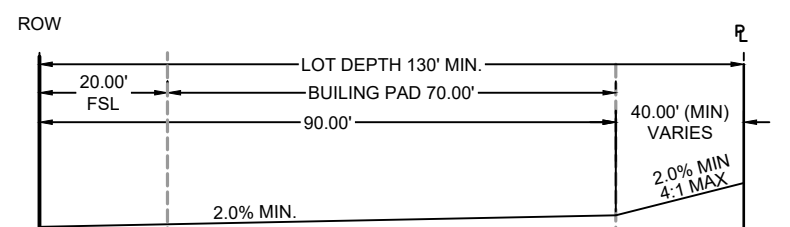
KEY MAP
SCALE: N.T.S.

GRADING NOTES:

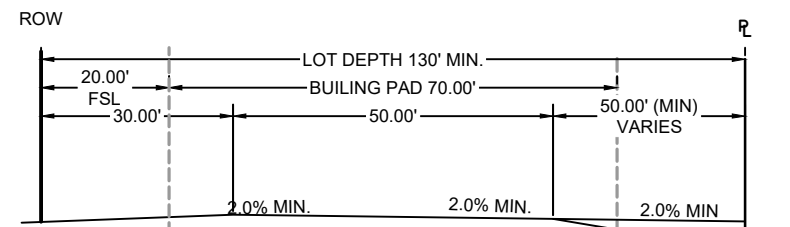
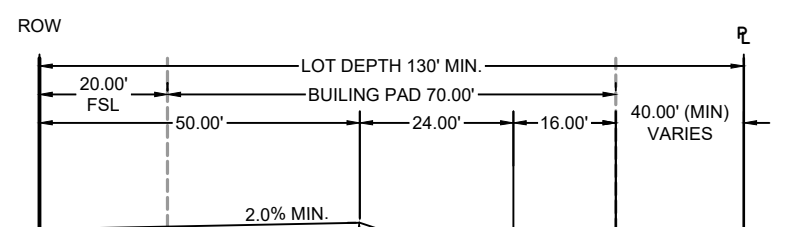
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2. THE CONTRACTOR SHALL FOLLOW THE GEOTECHNICAL REPORT PREPARED AND SHALL ADHERE TO THE RECOMMENDATIONS ACCORDINGLY.
3. REFER TO SEPARATE PLANS FOR OVER EXCAVATION GRADING.
4. REFERENCE GRADING AND EROSION CONTROL PLANS (UNDER SEPARATE COVER)
5. MAX. SLOPE SHALL NOT EXCEED 3:1.
6. SPOT ELEVATIONS SHALL TAKE PRECEDENCE OVER CONTOURS.
7. THE CONTRACTOR SHALL NOTIFY ENGINEER IF DISCREPANCIES ARE FOUND.
8. ELEVATIONS SHALL BE MAINTAINED AT LEAST 6 INCHES BELOW TOP OF FOUNDATION, IN COMPLIANCE WITH THE IRC (LATEST EDITION). SLOPE AWAY FROM THE FOUNDATION OF THE BUILDINGS SHALL BE A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET OR IN ACCORDANCE WITH THE GEOTECHNICAL RECOMMENDATIONS FOR SURFACE DRAINAGE, WHICHEVER IS STRICTER.

GRADING PLAN LEGEND

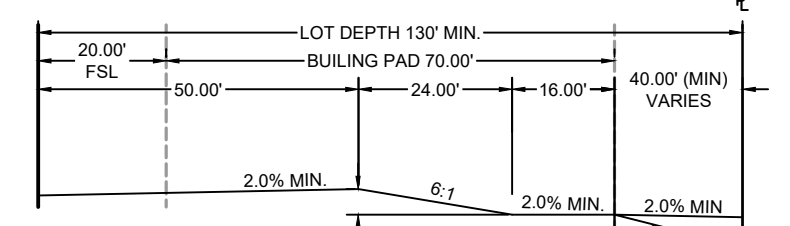
1	LOT NUMBER	
(B)	LOT TYPE	GEOLOGICAL HAZARD
A = "A" TYPE LOT		TOP = TOP OF FOUNDATION
T = TRANSITIONAL LOT		FOG = FRONT OF GARAGE
B = "B" TYPE LOT		FLOOR ELEVATION
G = GARDEN LOT		LTF = LOWER TOP OF
W = WALKOUT LOT		FOUNDATION
HP = HIGH POINT		BW = FINISHED GRADE AT
LP = LOW POINT		BOTTOM OF WALL
		TW = FINISHED GRADE AT
		TOP OF WALL



'A' LOT TEMPLATE

'B' LOT TEMPLATE

'W' LOT TEMPLATE



'G' LOT TEMPLATE

DRAWN BY: DLH JOB DATE: OVERLOT GRADING PLAN BAR IS ONE INCH ON
APPROVED: KMH JOB NUMBER: 211030 OFFICIAL DRAWINGS.
0 1"
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NO.	DATE	BY	REVISION DESCRIPTION



HR GREEN - COLORADO SPRINGS
1975 RESEARCH PARKWAY SUITE 230
COLORADO SPRINGS, CO 80920
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FLYING HORSE NORTH PHASE 2 PUD
PRI #2, LLC.
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OVERLOT GRADING PLAN
OVERLOT GRADING

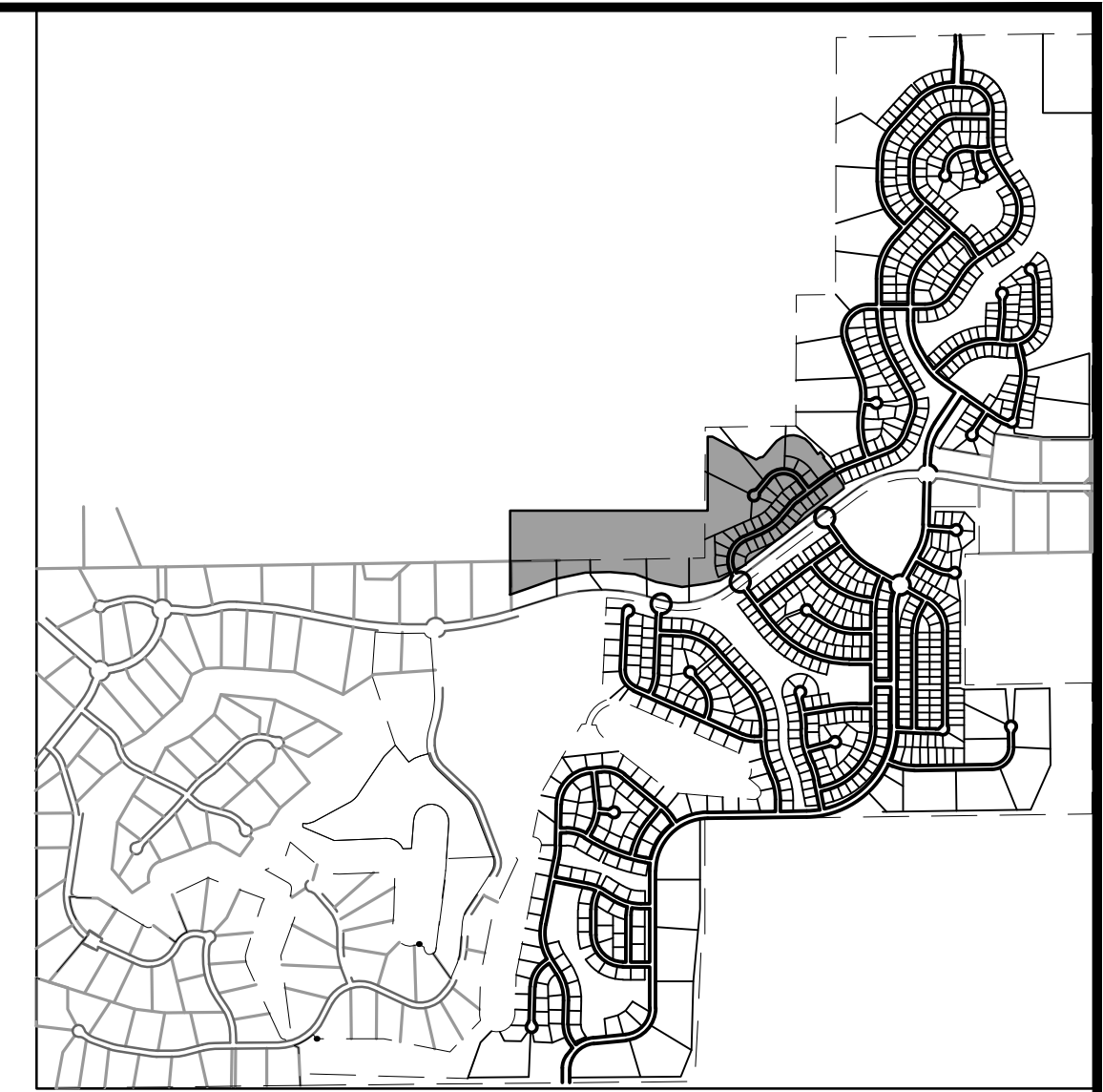
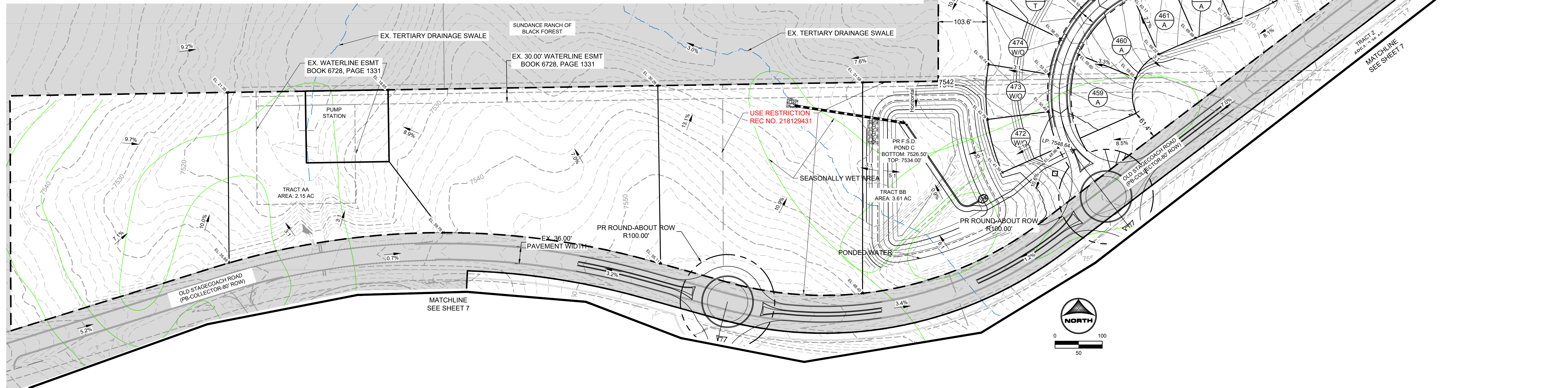
PCD FILE NO.: PUDSP234

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1. THE CONTRACTOR SHALL OBTAIN COPIES OF THE GEOTECHNICAL REPORTS FROM THE OWNER OR ENGINEER AND A COPY OF THE REPORTS SHALL BE KEPT ON SITE DURING ALL EARTHWORK OPERATIONS.
2. THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT PREPARED AND SHALL ADHERE TO THE RECOMMENDATIONS ACCORDINGLY.
3. REFER TO SEPARATE PLANS FOR OVER EXCAVATION GRADING.
4. REINFORCING BARS AND EROSION CONTROL PLANS (UNDER SEPARATE COVER)
5. MAX. SLOPES SHALL NOT EXCEED 3:1.
6. SLOPE EXCAVATIONS SHALL TAKE PRECEDENCE OVER CONTOURS.
7. THE CONTRACTOR SHALL NOTIFY ENGINEER OF DISCREPANCIES AROUND FOUNDATION ELEVATION. FOUNDATION ELEVATION SHALL BE 6 INCHES BELOW TOP OF FOUNDATION, IN COMPLIANCE WITH THE IRC (LATEST EDITION). SLOPE AWAY FROM THE FOUNDATION OF THE BUILDINGS SHALL BE MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET OF THE FOUNDATION. THE GEOTECHNICAL RECOMMENDATIONS FOR SURFACE DRAINAGE, WHICHEVER IS STRICTOR.

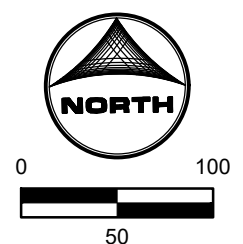
1	LOT NUMBER	
(B)	LOT TYPE	GEOLOGICAL HAZARD
A = "A" TYPE LOT		TOF = TOP OF FOUNDATION
T = TRANSITIONAL LOT		FOG-FRONT OF GARAGE
B = "B" TYPE LOT		FLOOR ELEVATION
G = GARDEN LOT		LTF = LOWER TOP OF FOUNDATION
W= WALKOUT LOT		BW = FINISHED GRADE AT BOTTOM OF WALL
HP = HIGH POINT		TW = FINISHED GRADE AT TOP OF WALL
LP = LOW POINT		



KEY MAP
SCALE: N.T.S

1. THE CONTRACTOR SHALL OBTAIN COPIES OF THE GEOTECHNICAL REPORTS FROM THE OWNER OR ENGINEER AND A COPY OF THE REPORTS SHALL BE AVAILABLE DURING THE CONSTRUCTION PERIOD.
2. THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT PREPARED AND SHALL ADHERE TO THE RECOMMENDATIONS ACCORDINGLY.
3. REFER TO SEPARATE PLANS FOR OVER EXCAVATION GRADING.
4. REFERENCE TO GRADING SHALL BE TO THE EXCAVATION PLANS (UNDER SEPARATE COVER).
5. MAX. SLOPES SHALL NOT EXCEED 3:1.
6. SPOT ELEVATIONS SHALL TAKE PRECEDENCE OVER CONTOURS.
7. THE CONTRACTOR SHALL NOTIFY ENGINEER IF DISCREPANCIES ARE FOUND. FOUNDATION ELEVATION SHALL BE 18 INCHES BELOW TOP OF FOUNDATION, IN COMPLIANCE WITH THE IRC (LATEST EDITION). SLOPE AWAY FROM THE FOUNDATION OF THE BUILDINGS SHALL BE A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET OR IN ACCORDANCE WITH THE GEOTECHNICAL RECOMMENDATIONS FOR SURFACE DRAINAGE, WHICHEVER IS STRICTER.

1 B	LOT NUMBER	GEOLOGICAL HAZARD
A = "A" TYPE LOT	TOF = TOP OF FOUNDATION	
B = "B" TYPE LOT	FGF= FLOOR OF GARAGE	
G = GARDEN LOT	F= FRONT ELEVATION	
W= WALKOUT LOT	LTF = LOWER TOP OF FOUNDATION	
HP = HIGH POINT	BW = FINISHED GRADE AT BOTTOM OF WALL	
LP = LOW POINT	TW = FINISHED GRADE AT TOP OF WALL	



KEY MAP
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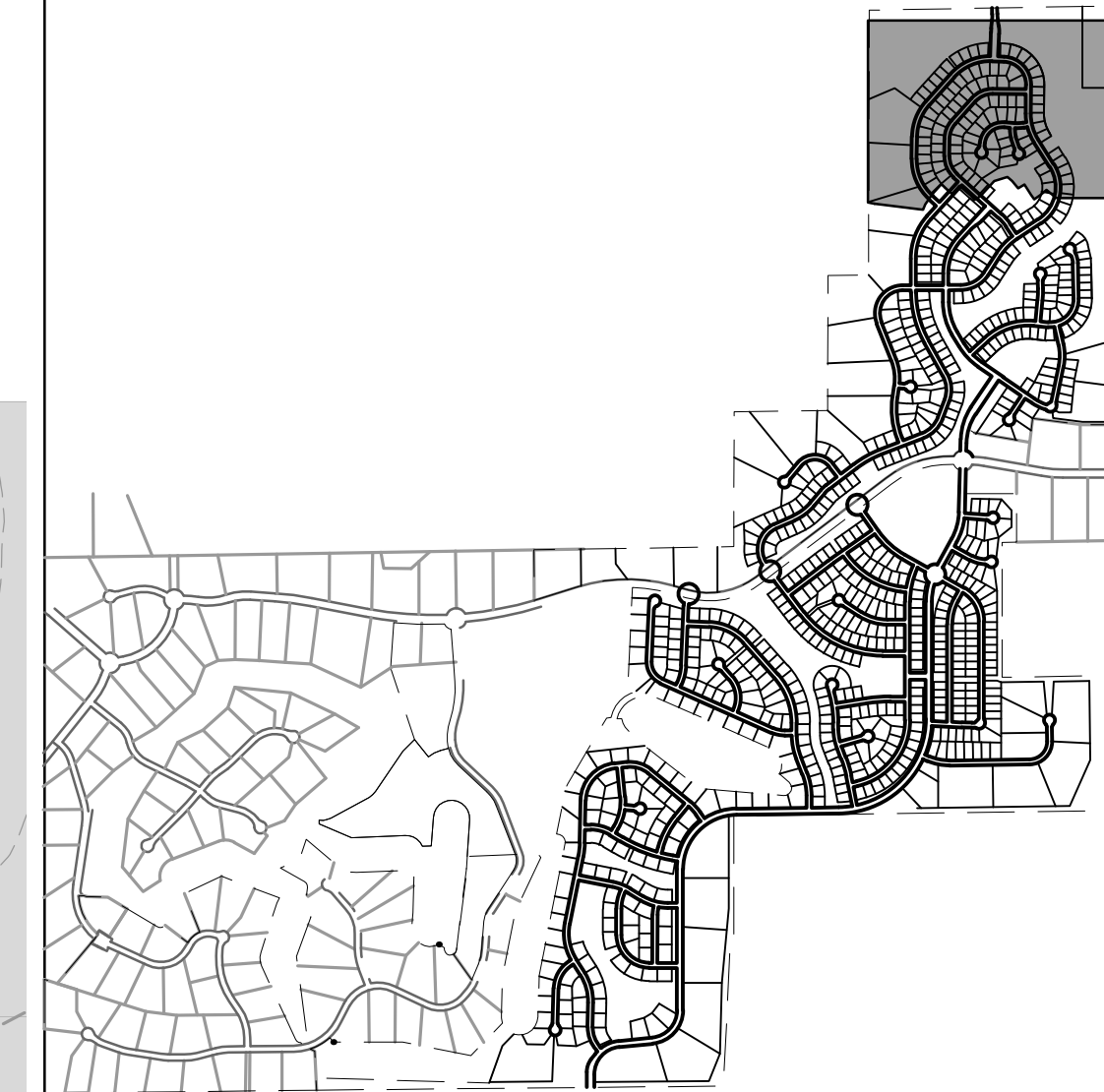
FLYING HORSE NORTH PHASE 2 PUD
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EL PASO COUNTY, CO

OVERLOT GRADING PLAN
OVERLOT GRADING

CD FILE NO.: PUDSP234

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GRADING NOTES:

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2. THE CONTRACTOR SHALL REVIEW THE GEOTECHNICAL REPORT PREPARED AND SHALL ADDRESS TO THE RECOMMENDATIONS ACCORDINGLY.
3. REFER TO SEPARATE PLANS FOR OVER EXCAVATION GRADING.
4. REFER TO GRADING AND EROSION CONTROL PLANS (UNDER SEPARATE COVER) FOR EROSION CONTROL MEASURES.
5. SPOT ELEVATIONS SHALL TAKE PRECEDENCE OVER CONTOURS. THE CONTRACTOR SHALL NOTIFY ENGINEER IF DISCREPANCIES ARE FOUND.
6. FILL BEHIND FOUNDATION SHALL BE MINIMUM 6 FEET TO THE FOUNDATION MINUS 6 INCHES BELOW TOP OF FOUNDATION, IN COMPLIANCE WITH THE IRC (LATEST EDITION). SLOPE AWAY FROM THE FOUNDATION OF THE BUILDINGS SHALL BE A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET OR IN ACCORDANCE WITH THE GEOTECHNICAL RECOMMENDATIONS FOR SURFACE DRAINAGE, WHICHEVER IS STRICTOR.

1 LOT NUMBER

(B) TYPE

GEOLOGICAL HAZARD

A = "A" TYPE LOT
T = TRANSITIONAL LOT
B = "B" TYPE LOT
G = GARDEN LOT
W = WALKOUT LOT
HP = HIGH POINT
LP = LOW POINT

TOF = TOP OF FOUNDATION
FGF=FRONT OF GARAGE
FLE= FLOOR ELEVATION
LTF = LOWER TOP OF
FOUNDATION
BW = FINISHED GRADE AT
BOTTOM OF WALL
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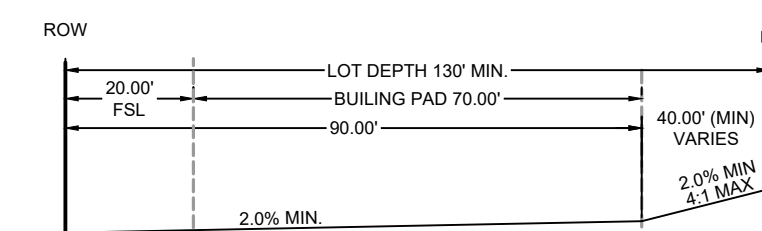


Diagram illustrating the ROW (Right of Way) dimensions and setbacks:

- LOT DEPTH 130' MIN.
- BUILDING PAD 70.00'
- FSL (Front Setback Line)
- Setbacks: 20.00', 30.00', 50.00', 50.00' (MIN)
- Slopes: 2.0% MIN., 2.0% MIN., 2.0% MIN.

Diagram illustrating the ROW (Right of Way) dimensions for a building pad. The total width is 40.00' (MIN) VARIES. The dimensions shown are:

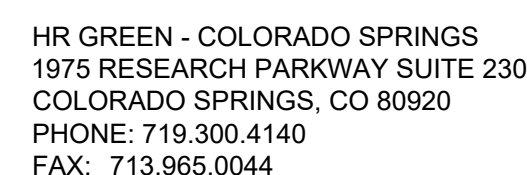
- LOT DEPTH 130' MIN.
- BUILDING PAD 70.00'
- 20.00' FSL (Front Setback Line)
- 50.00' (Total width from FSL to right edge)
- 24.00' (Width from building pad to right edge)
- 16.00' (Width from building pad to right edge)

Diagram illustrating a standard lot layout with dimensions and slopes:

- ROW (Right-of-Way) line is shown on the left.
- LOT DEPTH 130' MIN.
- BUILDING PAD 70.00'
- 20.00' FSL (Front Setback Line)
- 50.00' (Distance from FSL to start of building pad)
- 24.00' (Width of building pad)
- 16.00' (Distance from end of building pad to ROW line)
- 40.00' (MIN) VARIES (Minimum width of the lot)
- 2.0% MIN. (Minimum slope on the front yard)
- 6:1 (Slope ratio on the side yard)
- 2.0% MIN. (Minimum slope on the rear yard)
- 2.0% MIN. (Minimum slope on the side yard)

PCD FILE NO.: PUDSP234

NO.	DATE	BY	REVISION DESCRIPTION



OVERLOT GRADING PLAN
OVERLOT GRADING

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2. THE CONTRACTOR SHALL FOLLOW THE GEOTECHNICAL REPORT PREPARED AND SHALL ADHERE TO THE RECOMMENDATIONS ACCORDINGLY.
3. REFER TO SEPARATE PLANS FOR OVER EXCAVATION GRADING.
4. EROSION GROUNDING AND EROSION CONTROL PLANS (UNDER SEPARATE COVER)
5. MAX. SLOPES SHALL NOT EXCEED 3:1.
6. SPOT ELEVATIONS SHALL TAKE PRECEDENCE OVER CONTOURS.
7. THE CONTRACTOR SHALL NOTIFY ENGINEER IF DISCREPANCIES ARE FOUND.
8. ALL EROSION GROUNTING SHALL BE MINIMUM 18" TO 24" BE 6 INCHES BELOW TOP OF FOUNDATION, IN COMPLIANCE WITH THE IRC (LATEST EDITION); SLOPE AWAY FROM THE FOUNDATION OF THE BUILDINGS SHALL BE MINIMUM OF 6 INCHES TO FIRST 10 FEET OR IN ACCORDANCE WITH THE GEOTECHNICAL RECOMMENDATIONS FOR SURFACE DRAINAGE, WHICHEVER IS STRICTOR.

1	LOT NUMBER	
(B)	LOT TYPE	GEOLOGICAL HAZARD
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