

**SFD24486**  
**PLAT 15196**  
**ZONE RS-6000,**  
**CAD-O**

**APPROVED**  
**Plan Review**  
 05/16/2024 2:39:16 PM  
 dsdarchuleta  
**EPC Planning & Community**  
**Development Department**

It is the owner's responsibility to coordinate with easement holders to avoid impact to utilities that may be located in the easements.

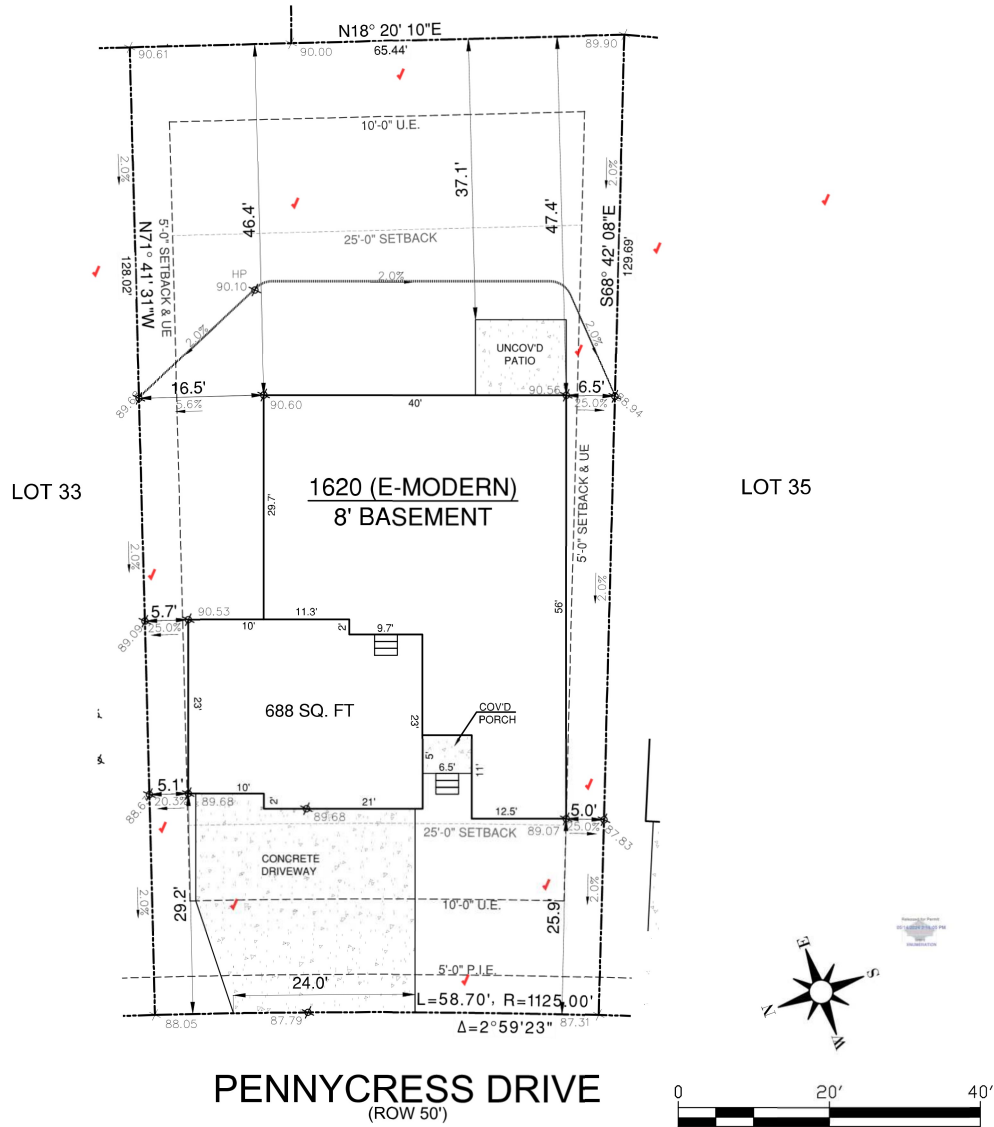
Applicant refused to follow the recommendation below. As in all other filings of The Glen at Wildfield East, each individual lot is to be investigated by the lot owner's Geotechnical Engineer of Record for final foundation parameters and recommendations.

ANY APPROVAL GIVEN BY EL PASO COUNTY DOES NOT OBLIVATE THE NEED TO COMPLY WITH APPLICABLE FEDERAL, STATE, OR LOCAL LAWS AND/OR REGULATION  
 Planning & Community Development Department approval is contingent upon compliance with all applicable notes on the recorded plat.  
 An access permit must be granted by the Planning & Community Development Department prior to the establishment of any driveway onto a County road.  
 Diversion of blockage of any drainage way is not permitted without approval of the Planning & Community Development Department

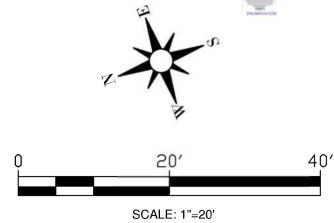
**APPROVED**  
**BESQCP**  
 05/16/2024 2:39:24 PM  
 dsdarchuleta  
**EPC Planning & Community**  
**Development Department**



1620 ELEVATION (E MODERN)  
 AVERAGE FINISH GRADE = (AFG)  
 $AFG = (90.6 + 90.6 + 89.7 + 89.1) / 4 = 90.0$   
 BUILDING HEIGHT = 16.4 + (TF - AFG) =  
 BUILDING HEIGHT = 16.4 + (91.3 - 90.0) = 17.7



**PENNYCRESS DRIVE**  
 (ROW 50')



**SITE & GRADING PLAN**

**LEGEND:**  
 SWALE:   
 PROPERTY LINE:   
 SETBACK:   
 EASEMENT:   
 DRAINAGE DIRECTION:   
 ELECTRIC PEDESTAL:   
 RISER:

**SETBACK:**  
 FRONT - 25'  
 SIDE - 5'  
 REAR - 25'  
 CORNER SIDE - 15'

**P.U.E.:**  
 FRONT - 10'  
 FRONT P.I.E. - 5'  
 SIDE - 5'  
 REAR - 10'

**ELEVATIONS TABLE**

TOP OF FOUNDATION	91.27
MAX FINISHED GRADE ELEV @ FOUNDATION WALL	90.60
MAIN FLOOR FINISHED FLOOR	92.45
DRIVEWAY SLOPE	7.0%
FRONT GARAGE FLOOR	89.68
GARAGE FLOOR AT ENTRY DOOR	90.14
GRADE BEAM ELEVATION	89.18

<b>SITE DATA</b>
TAX SCHEDULE #: 55223-16-009
ZONING PUD
BUILDING HEIGHT: 17.7'

<b>HOUSE AND DRIVEWAY COVERAGE</b>	
LOT SQ. FT.: 7979	SETBACK SQ. FT.: 1465
HOUSE SQ. FT.: 2341	DRIVE SQ. FT.: 630
COVERAGE: 29%	COVERAGE: 43%

PROVIDED FOR:  
**ASPEN VIEW HOMES**  
 ASPEN VIEW HOMES  
 555 MIDDLE CREEK PKWY STE. 380  
 COLORADO SPRINGS, CO  
 719-659-0859

**LEGAL DESCRIPTION**  
 LOT 34 THE GLEN AT WILDFIELD FILING NO. 11  
 9827 PENNYCRESS DRIVE  
 COLORADO SPRINGS, COLORADO  
 EL PASO COUNTY  
 PLAN-ELEV: 1620 (E-MODERN)

**York Engineering**  
 7208 S. TUCSON WAY #195  
 CENTENNIAL, CO 80112  
 720-990-5900

# SITE

2023 PPRBC  
2021 IECC Amended



Parcel: 5522316009

Address: 9827 PENNYCRESS DR, COLORADO SPRINGS

Plan Track #: 189752  Received: 14-May-2024 (BRENT)

Description: **RESIDENCE** Required PPRBD Departments (2)

Type of Unit:

Garage	488	
Lower Level 2	2330	
Main Level	1620	
	4438	Total Square Feet

Enumeration  
**APPROVED**  
BRENT  
5/14/2024 2:16:49 PM

Floodplain  
(N/A) RBD GIS

## Required Outside Departments (1)

County Zoning  
**APPROVED**  
Plan Review  
05/16/2024 2:39:57 PM  
*dsdarchuleta*  
EPC Planning & Community  
Development Department

Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.