



2066.1 T1 ELEVATION
 AVERAGE FINISH GRADE = (AFG)
 $AFG = \frac{(52.6 \times 4)}{4} = 52.6$
 BUILDING HEIGHT = 21.7 + (SLAB - AFG) =
 BUILDING HEIGHT = 21.7 + (53.1 - 52.6) = 22.2



SFD24470
 PLAT 15087
 ZONE PUD

APPROVED
 Plan Review
 05/14/2024 12:00:38 PM
 dsdarchuleta
 EPC Planning & Community
 Development Department

APPROVED
 BESQCP
 05/14/2024 12:00:47 PM
 dsdarchuleta
 EPC Planning & Community
 Development Department



ANY APPROVAL GIVEN BY
 EL PASO COUNTY
 DOES NOT OVIATE THE NEED
 TO COMPLY WITH APPLICABLE
 FEDERAL, STATE, OR LOCAL
 LAWS AND/OR REGULATION

Planning & Community Development Department
 approval is contingent upon compliance with all
 applicable notes on the recorded plat.

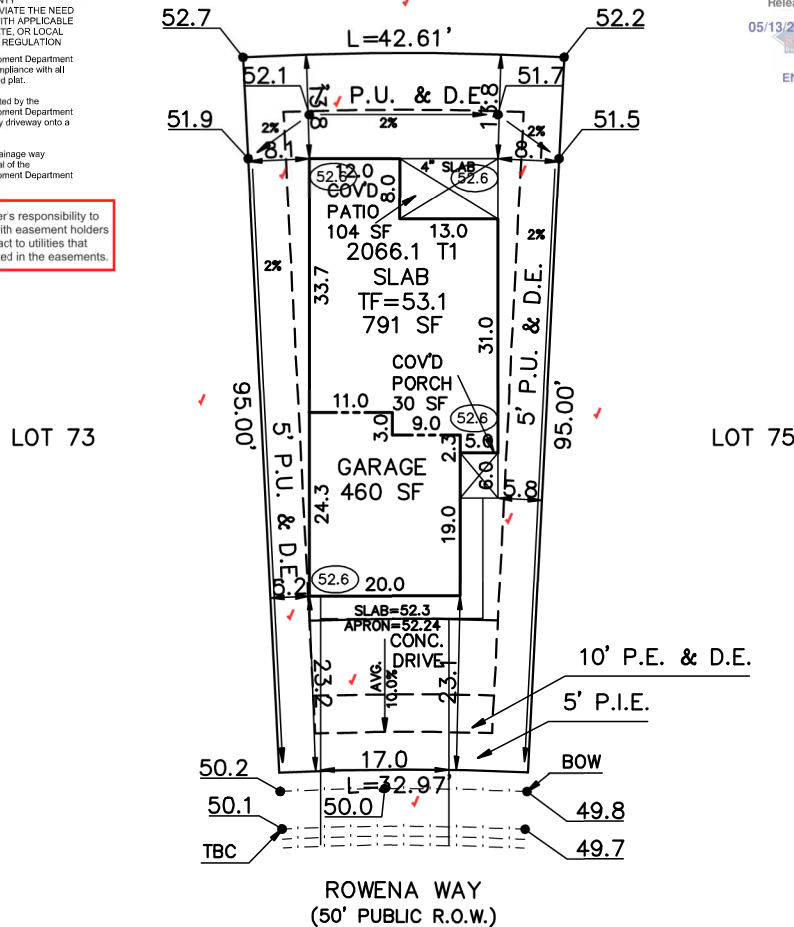
An access permit must be granted by the
 Planning & Community Development Department
 prior to the establishment of any driveway onto a
 County road.

Diversion of blockage of any drainage way
 is not permitted without approval of the
 Planning & Community Development Department



It is the owner's responsibility to
 coordinate with easement holders
 to avoid impact to utilities that
 may be located in the easements.

Released for Permit
 05/13/2024 10:14:52 AM
 brent
 ENUMERATION



ZONING PUD
 SCHEDULE No. 5301306007

WARNING!

1. LOCATE UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
2. THIS PLOT PLAN SHOWS IMPROVEMENTS AT GRADE ONLY. SEE FOUNDATION PLANS FOR STRUCTURAL INFORMATION

SITE DATA

LOT SQ. FT. = 3590
 HOUSE SQ. FT. = 1385
 COVERAGE = 38.6%
 BLDG. HEIGHT = 22.2

SCALE: ...1"=20'
 DRAWN BY: TAP

ASPEN LAND CONSULTANTS, LLC
 4883 JAMESPORT DRIVE
 COLORADO SPRINGS, COLORADO 80918

(IN FEET)
 1 inch = 20 ft.



PLOT PLAN

LEGAL DESCRIPTION

LOT 74
 FALCON MEADOWS AT BENT GRASS FILING NO.2
 EL PASO COUNTY, COLORADO

ADDRESS

10956 ROWENA WAY

PREPARED FOR
 CHALLENGER
 HOMES

TITLE CO. FILE NO.

DRAWING NAME

FMBG2-074

DATE

04-26-24

PROJECT NO.

Hi Challenger Homes,

This payment to Woodmen Road Metropolitan District will be made from your Bank Account Challenger Colorado LLC *****9756 on 05/14/24.

Pay To	Invoice #	Invoice Amount	Amount Paid	Pay On
Woodmen Road Metropolitan District	90160	\$9,350.00	\$9,350.00	05/14/24
Total:			\$9,350.00	

Since BILL processes payments on behalf of Woodmen Road Metropolitan District, this payment will show up on your bank statement as "Woodmen Road Met BILL".

Thank you,

Woodmen Road Metropolitan District

<https://app02.us.bill.com/p/woodmenroadmetrodistrict?id=0cu02NTPWROOMIJQ41izk&url=%2FPortal%2FViewPayment%3Fid%3D0rp02XEXCQRQZQDmzf2x>

For your security, double check all email links before clicking them to make sure they're safe. Our links always start with <https://app02.us.bill.com>, <http://www.bill.com> or <http://www.cashflow.bill.com>. Be cautious when sharing your information by email or phone. Please don't reply to this automated email.

SITE

2023 PPRBC
2021 IECC Amended



Parcel: 5301306007

Address: 10956 ROWENA WAY, PEYTON

Plan Track #: 189661 

Received: 13-May-2024 (BRENT)

Description:

Required PPRBD Departments (2)

RESIDENCE

Type of Unit:

Garage	430	
Main Level	825	
Upper Level 1	1241	
	2496	Total Square Feet

Enumeration
APPROVED
BRENT
5/13/2024 10:15:15 AM

Floodplain
(N/A) RBD GIS

Required Outside Departments (1)

County Zoning
APPROVED
Plan Review
05/14/2024 12:01:12 PM
dsdarchuleta
EPC Planning & Community
Development Department

Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.