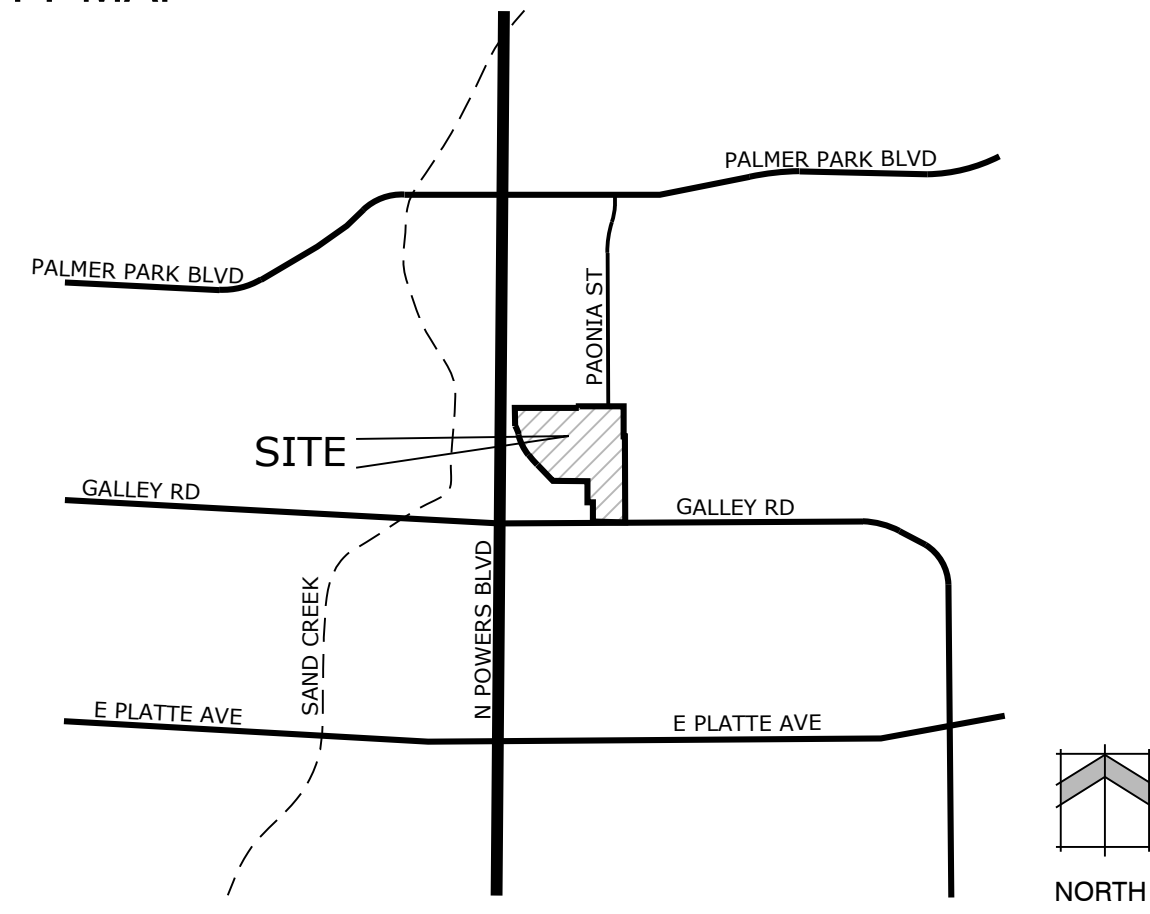


VICINITY MAP



NOTES

- SIGNAGE IS NOT APPROVED WITH THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT THE EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT AT 2880 INTERNATIONAL CIRCLE FOR A SIGN PLAN APPLICATION.
- RETAINING WALLS EXCEEDING 4-FEET WILL NEED TO BE STRUCTURALLY ENGINEERED.
- ALL "STOP SIGNS" AND OTHER TRAFFIC CONTROL SIGNAGE SHALL BE INSTALLED BY THE DEVELOPER AT LOCATIONS SHOWN ON THE SITE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS. GALLEY ROADWAY IS A COUNTY ROADWAY AT THIS LOCATION.
- PRIOR TO BUILDING PERMIT APPROVAL, A FINAL SUBDIVISION PLAT SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE EL PASO COUNTY PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT.
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
- FOUR TO SIX FOOT TALL DECORATIVE FENCE WILL BE CONSTRUCTED ALONG THE PERIMETER OF THE AREA OF DEVELOPMENT. THE MATERIAL AND LOCATION SHALL BE PROVIDED WITH THE SITE DEVELOPMENT PLAN.
- ALL STREETS SHALL BE NAMED AND CONSTRUCTED TO EL PASO COUNTY STANDARDS AND ANY APPROVED DEVIATIONS. UPON ACCEPTANCE BY EL PASO COUNTY, PUBLIC STREETS SHALL BE MAINTAINED BY THE COUNTY.
- NOTWITHSTANDING ANYTHING DEPICTED IN THIS PLAN IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE (LDC), THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL (DCM), AND DCM VOLUME 2. ANY DEVIATIONS FROM THESE STANDARDS MUST BE SPECIFICALLY REQUESTED AND APPROVED IN WRITING TO BE ACCEPTABLE. THE APPROVAL OF THIS PRELIMINARY PLAN DOES NOT IMPLICITLY ALLOW ANY DEVIATIONS OR WAIVERS THAT HAVE NOT BEEN OTHERWISE APPROVED THROUGH THE DEVIATION APPROVAL PROCESS.
- DEVELOPMENT OF THE PROPERTY WILL BE IN ACCORDANCE WITH THE MOST RECENT VERSION OF THE EL PASO COUNTY LAND DEVELOPMENT CODE FOR RM-12 ZONING.
- THIS PARCEL IS PARTIALLY WITHIN THE LIMITS OF THE 100 YEAR FLOOD PLAIN AS IDENTIFIED ON FEMA MAPPING PANEL NO. 08041C0752 G, DATED DECEMBER 7, 2018, THE LIMITS OF WHICH ARE SHOWN ON THE SURVEY. AREAS WITHIN THE FLOODPLAIN ARE ZONE AE, AREAS OUTSIDE THE FLOODPLAIN ARE ZONE X.
- THE FOLLOWING REPORTS HAVE BEEN SUBMITTED IN ASSOCIATION WITH THE PRELIMINARY PLAN FOR THIS SUBDIVISION AND ARE ON FILE AT THE COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT: TRANSPORTATION IMPACT STUDY; DRAINAGE REPORT; WATER RESOURCES REPORT; WASTEWATER DISPOSAL REPORT; GEOLOGY AND SOILS REPORT; FIRE PROTECTION REPORT; WILDFIRE HAZARD REPORT; NATURAL FEATURES REPORT; NOISE STUDY; SAND CREEK CENTER TRIBUTARY CHANNEL ANALYSIS REPORT.
- THE PROPERTY IS LOCATED IN THE AIRPORT OVERLAY ZONE. THIS SERVES AS NOTICE OF POTENTIAL AIRCRAFT OVERFLIGHT AND NOISE IMPACTS ON THIS PROPERTY DUE TO ITS CLOSE PROXIMITY TO AN AIRPORT, WHICH IS BEING DISCLOSED TO ALL PROSPECTIVE PURCHASERS CONSIDERING THE USE OF THIS PROPERTY FOR RESIDENTIAL AND OTHER PURPOSES. THIS PROPERTY IS SUBJECT TO THE OVERFLIGHT AND ASSOCIATED NOISE OF ARRIVING AND DEPARTING AIRCRAFT DURING THE COURSE OF NORMAL AIRPORT OPERATIONS. ALL PROPERTY WITHIN THIS SUBDIVISION IS SUBJECT TO AN AVIGATION EASEMENT AS RECORDED IN BOOK 2478 AT PAGE 304, OF THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER.
- WATER AND WASTEWATER SERVICES FOR THIS SUBDIVISION ARE PROVIDED BY THE CHEROKEE METROPOLITAN DISTRICT (CHEROKEE) SUBJECT TO THE DISTRICT'S RULES, REGULATIONS AND SPECIFICATIONS. THE OFFICE OF THE STATE ENGINEER HAS ISSUED AN OPINION OF WATER ADEQUACY BASED ON ITS ANALYSIS AND INTERPRETATION OF A STIPULATED AGREEMENT CONCERNING THE AVAILABILITY OF CERTAIN WATER RIGHTS FOR USE OUTSIDE OF THE UPPER BLACK SQUIRREL CREEK DESIGNATED BASIN, AND THIS FOUND INSUFFICIENCY OF WATER RESOURCES FOR THIS SUBDIVISION BASED ON THAT AGREEMENT. THIS INTERPRETATION DIFFERS FROM CERTAIN OPINIONS ISSUED BY THE OFFICE IN THE PAST, BASED ON ITS OWN REVIEW OF THE STIPULATED AGREEMENT AND ITS HISTORY (AND NOT THE AMOUNT OF WATER ACTUALLY AVAILABLE) THE BOARD OF COUNTY COMMISSIONERS IN AN OPEN AND PUBLIC HEARING DID NOT ACCEPT THE INTERPRETATION OF THE STATE ENGINEER'S OFFICE. THE BOARD OF COUNTY COMMISSIONERS FOUND THAT CHEROKEE HAS COMMITTED TO PROVIDE WATER SERVICE TO THE SUBDIVISION AND ASSERTED THAT ITS LONG TERM WATER SERVICE CAPABILITIES ARE SUFFICIENT. THE BOARD OF COUNTY COMMISSIONERS MADE THIS DETERMINATION IN RELIANCE UPON THE TESTIMONY AND EXPERTISE PROVIDED BY CHEROKEE AT THE PUBLIC HEARING THEREON. AT THE HEARING, CHEROKEE ASSERTED THAT ITS PLANS AND CONTINUED FINANCIAL INVESTMENT IN INFRASTRUCTURE ARE DESIGNED TO ALLOW CHEROKEE TO CONTINUE TO PROVIDE THIS SUBDIVISION AND ITS EXISTING CUSTOMERS WITH WATER AND WASTEWATER SERVICES FOR 900 YEARS OR MORE.
- A 30 DB(A) INDOOR NOISE REDUCTION SHALL BE ACHIEVED BY APPROVED CONSTRUCTION TECHNIQUES AS EVIDENCED BY A NOISE REDUCTION CERTIFICATE PRIOR TO SITE DEVELOPMENT PLAN APPROVAL.
- ALL PROPERTY WITHIN THIS SUBDIVISION IS SUBJECT TO A RECIPROCAL ACCESS/PARKING AGREEMENT AS RECORDED AT RECEPTION NO. \_\_\_\_\_ OF THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER.
- A TITLE 32 SPECIAL DISTRICT ANNUAL REPORT AND DISCLOSURE FORM SATISFACTORY TO THE PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT SHALL BE RECORDED WITH EACH PLAT

Note Regarding Stormwater Drainage:  
All property owners are responsible for maintaining proper storm water drainage in and through their property. Public drainage easements as specifically noted on the plat shall be maintained by the individual lot owners unless otherwise indicated. Structures, fences, materials or landscaping that could impede the flow of runoff shall not be placed in drainage easements.

Easements:  
Unless otherwise indicated, all side, front, and rear lot lines are hereby platted on either side with a 10 foot (use 5 feet for lots smaller than 2.5 acres) public utility and drainage easement unless otherwise indicated. All exterior subdivision boundaries are hereby platted with a 20 foot (use 7 feet for lots smaller than 2.5 acres) public utility and drainage easement. The sole responsibility for maintenance of these easements is hereby vested with the individual property owners.

Mailboxes:  
Mailboxes shall be installed in accordance with all El Paso County and United States Postal Service regulations.

Where the Property is Adjacent to an Industrial Area:  
NOTICE: This property may be adversely impacted by noise, dust, fumes, and light pollution caused by adjacent industrial properties and activities. The buyer should research and be aware of this potentiality and the ramifications thereof. (Use when residential is adjacent to industrial)

add estimated impact fees to be paid

review by the El Paso County Planning and Community Development Department, approval by the Board of County Commissioners, and the plat must be recorded

# SOLACE OF COLORADO SPRINGS

## PRELIMINARY PLAN

THAT PORTION OF SECTION 7, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO.

### LEGAL DESCRIPTION

THAT PORTION OF SECTION 7, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M., EL PASO COUNTY, COLORADO, DESCRIBED IN BOOK 5046 AT PAGE 748; AND POWERS AND GALLEY PLAZA FILING NO. 1 AS RECORDED IN PLAT BOOK A-4 AT PAGE 30 OF THE RECORDS OF SAID COUNTY, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SAID SECTION 7; THENCE N00°27'46"E, 1407.69 FEET ALONG THE WEST LINE OF SAID NORTHWEST QUARTER; THENCE N89°59'53"E, 1435.46 FEET ALONG THE SOUTHERLY BOUNDARY LINE OF THE TRACT OF LAND DESCRIBED IN BOOK 3845 AT PAGE 128 OF SAID RECORDS; AND ALONG THE SOUTHERLY BOUNDARY LINE OF O.K. SUBDIVISION AS DESCRIBED IN PLAT BOOK G. 3 AT PAGE 42 OF SAID RECORDS TO THE SOUTHEASTERLY CORNER OF SAID O.K. SUBDIVISION, A POINT ON THE WESTERLY BOUNDARY LINE OF CIMARRON INDUSTRIAL NO. 2 AS DESCRIBED IN PLAT BOOK Y-2 AT PAGE 22 OF SAID RECORDS; THENCE S00°29'25"W, 1375.25 FEET ALONG SAID WESTERLY BOUNDARY LINE OF CIMARRON INDUSTRIAL NO. 2, AND ALONG THE WESTERLY BOUNDARY LINE OF CIMARRON INDUSTRIAL NO. 1 AS DESCRIBED IN PLAT BOOK N-2 AT PAGE 6 TO THE SOUTHWEST CORNER THEREOF, A POINT ON THE NORTHERLY LINE OF THE TRACT OF LAND DESCRIBED IN BOOK 2230 AT PAGE 932 OF SAID RECORDS; THENCE N89°42'00"W, 444.88 FEET ALONG SAID NORTHERLY LINE AND ALONG THE NORTHERLY LINE OF THE TRACT OF LAND DESCRIBED IN BOOK 2388 AT PAGE 982 OF SAID RECORDS TO THE NORTHWEST CORNER THEREOF; THENCE S00°18'00"W, 40.00 FEET ALONG THE WESTERLY LINE OF SAID TRACT TO THE SOUTHWEST CORNER THEREOF, A POINT ON THE SOUTH LINE OF SAID NORTHWEST QUARTER OF SECTION 7; THENCE N89°42'00"W, 990.00 FEET ALONG SAID SOUTH LINE OF THE NORTHWEST QUARTER TO THE POINT OF BEGINNING.

EXCEPT THE SOUTHERLY 40 FEET OF THE WESTERLY 960 FEET THEREOF AS CONVEYED TO EL PASO COUNTY BY DEED RECORDED JANUARY 15, 1965 IN BOOK 2053 AT PAGE 135 AND BY DEED RECORDED FEBRUARY 9, 1970 IN BOOK 2388 AT PAGE 981, AND EXCEPT ANY PORTION HEREOF TAKEN OR USED AS POWERS BOULEVARD INCLUDING, BUT NOT LIMITED TO THAT CERTAIN TRACT CONVEYED TO THE CITY OF COLORADO SPRINGS BY DEED RECORDED OCTOBER 27, 1987 IN BOOK 5437 AT PAGE 983, AND EXCEPT THAT PORTION OF SECTION 7, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M., EL PASO COUNTY, COLORADO, AND THAT PORTION OF POWERS AND GALLEY PLAZA NO. 1 AS RECORDED IN PLAT BOOK A4 AT PAGE 30 OF THE RECORDS OF SAID COUNTY ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

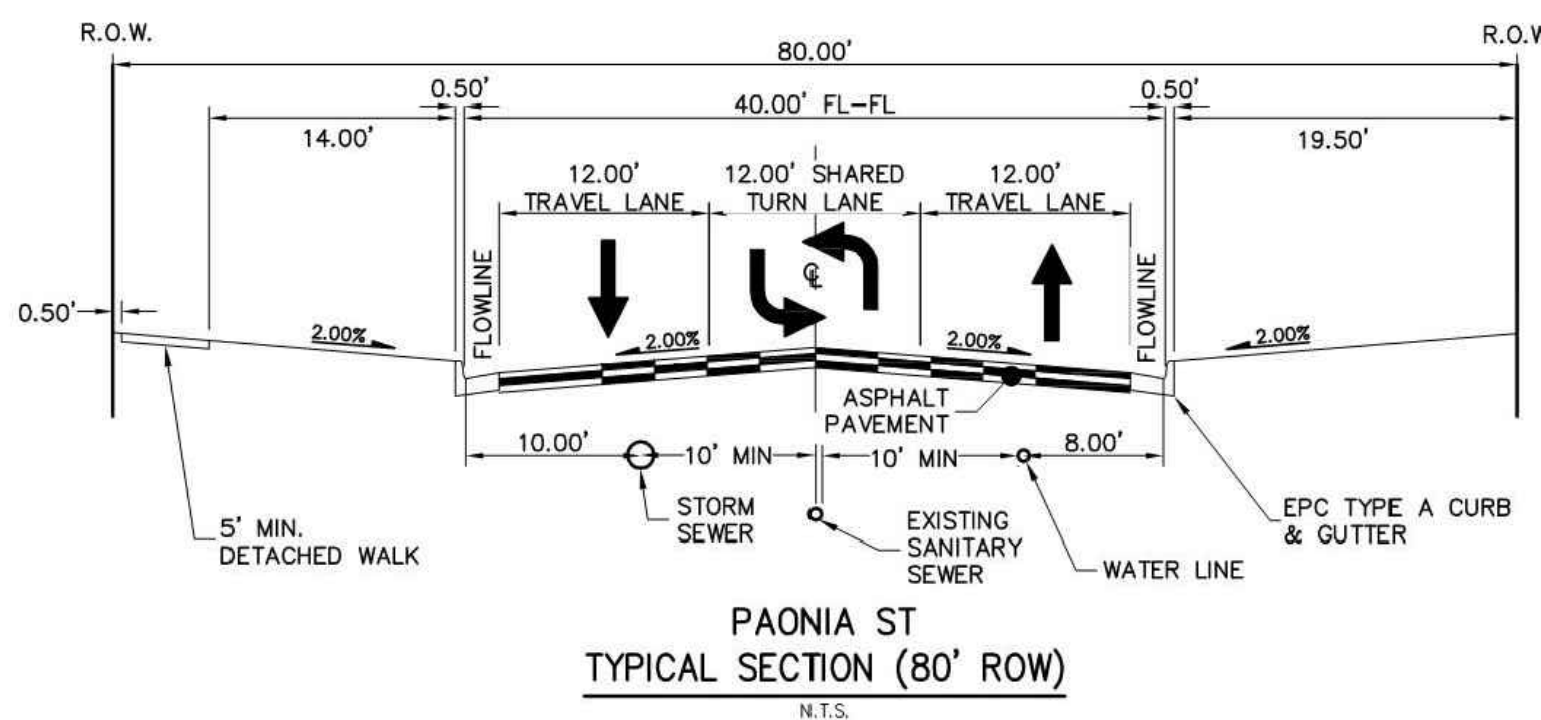
BEGINNING AT THE SOUTHEAST CORNER OF THE ADDITIONAL RIGHT OF WAY PARCEL AS RECORDED IN SAID POWERS AND GALLEY PLAZA FILING NO. 1; (THE FOLLOWING SIX (6) COURSES ARE ALONG THE SOUTHERLY, WESTERLY AND NORTHERLY LINES OF THE ADDITIONAL RIGHT OF WAY FOR GALLEY ROAD AS RECORDED IN SAID POWERS AND GALLEY PLAZA FILING NO. 1); (1) THENCE N89°42'00"W, 960.06 FEET; (2) THENCE N00°27'47"E, 170.42 FEET; (3) THENCE ALONG THE ARC OF A CURVE CONCAVE TO THE NORTHEAST, SAID CURVE HAVING A CHORD BEARING OF S44°37'07"E, A CENTRAL ANGLE OF 90°09'47" AND A RADIUS OF 150.00 FEET FOR AN ARC DISTANCE OF 236.05 FEET; (4) THENCE S89°42'00"E, 29.52 FEET; (5) THENCE S85°53'00"E, 150.33 FEET; (6) THENCE S89°42'00"E, 330.00 FEET TO THE SOUTHWEST CORNER OF LOT 1, SAID POWERS AND GALLEY PLAZA FILING NO. 1; (THE FOLLOWING TWO (2) COURSES ARE ALONG THE WESTERLY AND NORTHERLY LINES OF SAID LOT 1); (1) THENCE N00°27'47"E, 200.00 FEET; (2) THENCE S89°42'00"E, 300.09 FEET TO THE NORTHWEST CORNER OF THE TRACT OF LAND DESCRIBED IN BOOK 5168 AT PAGE 1257 OF SAID RECORDS; (THE FOLLOWING THREE (3) COURSES ARE ALONG THE NORTHERLY, EASTERLY AND SOUTHERLY BOUNDARY LINES OF SAID TRACT); (1) THENCE S89°42'00"E, 68.61 FEET; (2) THENCE S00°27'47"W, 200.00 FEET; (3) THENCE N89°42'00"W, 68.61 FEET TO A POINT ON THE EASTERLY BOUNDARY LINE OF SAID POWERS AND GALLEY PLAZA FILING NO. 1; THENCE S00°27'47"W, 10.00 FEET ALONG SAID EASTERLY BOUNDARY LINE TO THE POINT OF BEGINNING, AND EXCEPT THAT PORTION CONVEYED TO DEPARTMENT OF TRANSPORTATION, STATE OF COLORADO BY DEED RECORDED APRIL 16, 2010 UNDER RECEPTION NO. 210035525, AND EXCEPT THAT PORTION OF LOT 2 OF POWERS & GALLEY PLAZA FILING NO. 1 BY DEED RECORDED FEBRUARY 17, 2016 UNDER RECEPTION NO. 216015634.

PARCEL B:  
TEMPORARY NON-EXCLUSIVE INGRESS AND EGRESS EASEMENT OVER AND ACROSS THAT PORTION OF LOT 1 IN POWERS AND GALLEY PLAZA NO. 1 AS DESCRIBED IN EASEMENT AGREEMENT RECORDED DECEMBER 13, 1991 IN BOOK 5913 AT PAGE 713.

TOTAL ACREAGE: 28.82

### SITE DATA

Owner:	Butler & Peetz LLC 6625 Delmonico Dr Colorado Springs, CO 80919
Developer:	Jackson Dearborn Partners 404 S. Wells Street, Suite 400 Chicago, IL 60607
Land Planner:	NES Inc. 619 N. Cascade Avenue, Suite 200 Colorado Springs, CO 80903
Engineer:	JR Engineering 5475 Tech Center Dr, Suite 235 Colorado Springs, CO 80919
Architect:	LCM Architects 819 S Wabash Ave, 5th Floor Chicago, IL 60605
Tax ID Number:	5407200052
Current Zoning:	RM-12 CAD-O (Resolution No. 17-118)
Site Area:	28.82 Acres
Phase 1 Area:	21.31 Acres
Phase 2 Area:	7.51 Acres
Proposed Land Use:	Multi-Family Residential (348 Units)
Proposed Density:	12 DU/AC
Minimum Lot Size:	3,500 sf
Lot Setbacks:	Front: 15' Side: 10' Rear: 20'
	*There is a 125' setback to any structure from the North and East Zone District Boundaries
Landscape Setbacks:	Paonia: 10' Setback
Maximum Lot Coverage:	70%
Maximum Building Height:	40'
Lot Coverage:	-110,560 SF (14.4%) Building -210,280 SF (27.3%) Impervious -449,039 SF (58.3%) Landscape
Utility Providers:	Water/Sewer: Cherokee Metro District Electric/Gas: Colorado Springs Utilities Fire: Cimarron Hills Fire Protection District

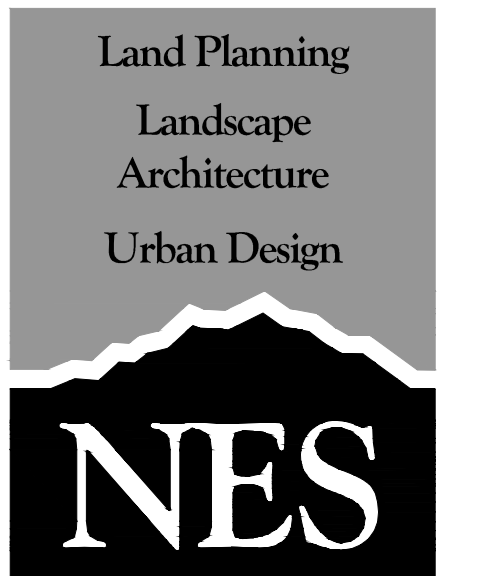


### URBAN NON RESIDENTIAL COLLECTOR

(PER APPROVED DEVIATION REQUEST DATED \_\_\_\_\_ FILED UNDER SP201)

### SHEET INDEX

Sheet 1 of 6:	Cover
Sheet 2 of 6:	Preliminary Plan
Sheet 3 of 6:	Preliminary Grading Plan
Sheet 4 of 6:	Preliminary Grading Plan
Sheet 5 of 6:	Overall Utility Plans
Sheet 6 of 6:	Overall Utility Plans



N.E.S. Inc.  
619 N. Cascade Avenue, Suite 200  
Colorado Springs, CO 80903

Tel. 719.471.0073  
Fax 719.471.0267

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PLANNING / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH:

PROJECT INFO

SEAL

SHEET INFO

SHEET POSITION

SHEET TITLE

SHEET NUMBER

PLANTING #

DATE: 2-26-2020  
PROJECT MGR: T. BAXTER  
PREPARED BY: B. SWENSON

DATE	BY	DESCRIPTION
5-13-2020	JBS	PER COUNTY COMMENTS

### COVER

# 1

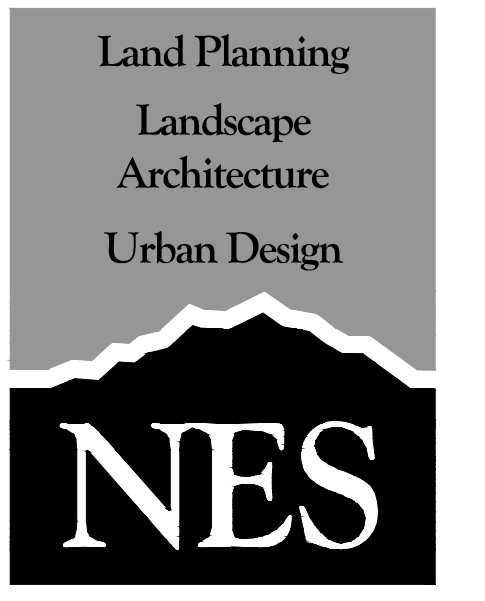
OF 6

SP-20-001

# SOLACE OF COLORADO SPRINGS

## PRELIMINARY PLAN

THAT PORTION OF SECTION 7, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M.,  
COUNTY OF EL PASO, STATE OF COLORADO.



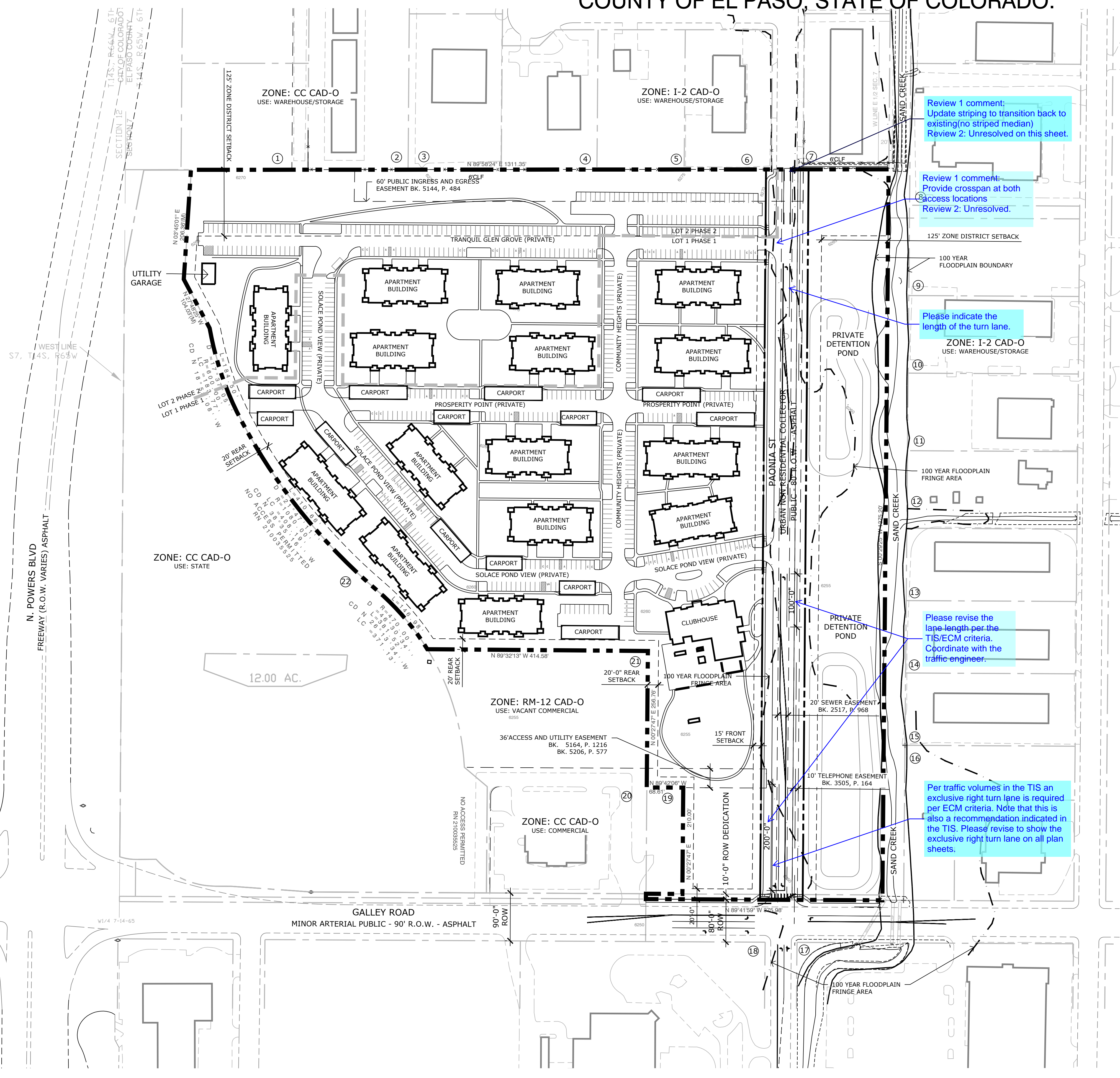
N.E.S. Inc.  
619 N. Cascade Avenue, Suite 200  
Colorado Springs, CO 80903  
Tel. 719.471.0073  
Fax 719.471.0267  
www.nescolorado.com  
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### Adjacent Property Owners – Solace of Colorado Springs

#	TSN	Property Owner and Address
[Paonia St ROW]	5407203018	EL PASO COUNTY 200 S CASCADE AVE STE 150 COLORADO SPRINGS CO, 80903
1	5407205045	T-BONE CONSTRUCTION INC 1310 FORD ST COLORADO SPRINGS CO, 80915-2937
2	5407205013	A STORAGE PLACE - COLO SPGS LLC PO BOX 9443 RANCHO SANTA FE CA, 92067-4443
3	5407205013	KING KEITH 3254 FOREST LAKES DRIVE MONUMENT CO, 80132
4	5407205010	GPM INVESTMENTS LLLP 17655 BAR X RD COLORADO SPRINGS CO, 80908-1576
5	5407205011	JLG INC 3070 WANDERING CT COLORADO SPRINGS CO, 80917-3216
6	5407205012	GPM INVESTMENTS LLLP 17655 BAR X RD COLORADO SPRINGS CO, 80908-1576
7	5407206004	CREATIVE REAL ESTATE LLC 5130 LANGDALE WAY COLORADO SPRINGS CO, 80906-7674
8	5407203015	PIVOT REAL ESTATE COMPANY LLC 1260 VALLEY ST STE B COLORADO SPRINGS CO, 80915-2806
9	5407203016	FFR2 LLC 1220 VALLEY ST COLORADO SPRINGS CO, 80915-2806
10	5407203006	FFR1 LLC 1220 VALLEY ST COLORADO SPRINGS CO, 80915-2806
11	5407203003	POWERS LLC 6675 PARKRIDGE CT COLORADO SPRINGS CO, 80915-3156
12	5407203004	GRELL INVESTMENTS LLC 8225 S MARKSHEFFEL RD FOUNTAIN CO, 80817-2935
13	5407203007	WEBSTER 1130 LLC 1255 HALF CIRCLE LN COLORADO SPRINGS CO, 80915-2527
14	5407203008	SCR CAPITAL PARTNERS LLC 7935 FOREST KEEP CR PARKER CO, 80134
15	5407203009	DOBRY PRTEL INC PO BOX 38451 COLORADO SPRINGS CO, 80937-8451
16	5407203010	7250 FRASER LLC 20609 OAKSBORO CIR WOODLAND HILLS CA, 91364
17	5407314005	TLB REAL ESTATE LLC 6035 GALLEY RD COLORADO SPRINGS CO, 80915-3742
18	5407315006	J B R ENTERPRISES INC PO BOX 373 COLORADO SPRINGS CO, 80901-0373
19 & 20	5407200048 & 5407207001	PEETZ WILLIAM H 3925 HILL CIR COLORADO SPRINGS CO, 80904-1183
21	5407207004	BUTLER & PEETZ LLC 6625 DELMONICO DR COLORADO SPRINGS CO, 80919-1809
22	5407200053	State of Colorado Department of Transportation 4201 E ARKANSAS AVE DENVER CO, 80222-3406

### LEGEND

- ⑥ ADJACENT OWNER INFORMATION
- 100 YEAR FLOODPLAIN FRINGE AREA
- - - PHASE LINE
- PROPERTY BOUNDARY
- - - SETBACKS
- ADJACENT PROPERTY LINES



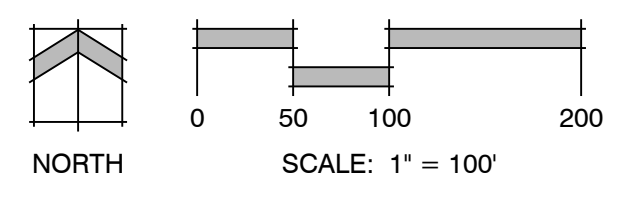
Review 1 comment:  
Update striping to transition back to existing (no striped median)  
Review 2: Unresolved on this sheet.

Review 1 comment:  
Provide crossspan at both access locations  
Review 2: Unresolved.

Please indicate the length of the turn lane.

Please revise the lane length per the TIS/ECM criteria. Coordinate with the traffic engineer.

Per traffic volumes in the TIS an exclusive right turn lane is required per ECM criteria. Note that this is also a recommendation indicated in the TIS. Please revise to show the exclusive right turn lane on all plan sheets.



SOLACE OF COLORADO SPRINGS  
PRELIMINARY PLAN  
EL PASO COUNTY, CO

DATE: 2-26-2020  
PROJECT MGR: T. BAXTER  
PREPARED BY: B. SWENSON

ENTITLEMENT

DATE: 5-13-2020  
BY: JBS  
DESCRIPTION: PER COUNTY COMMENTS

PRELIMINARY PLAN

2 OF 6

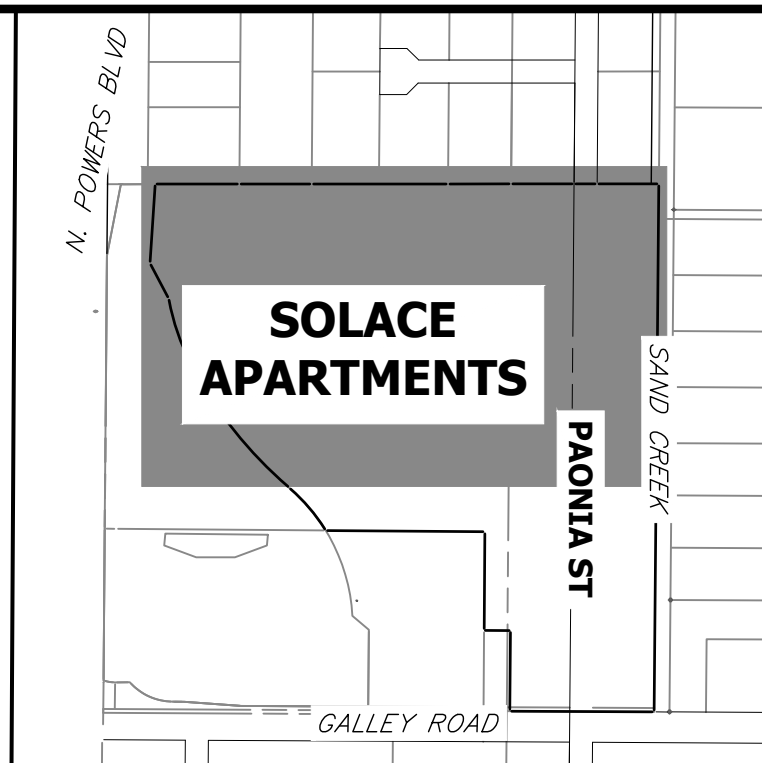
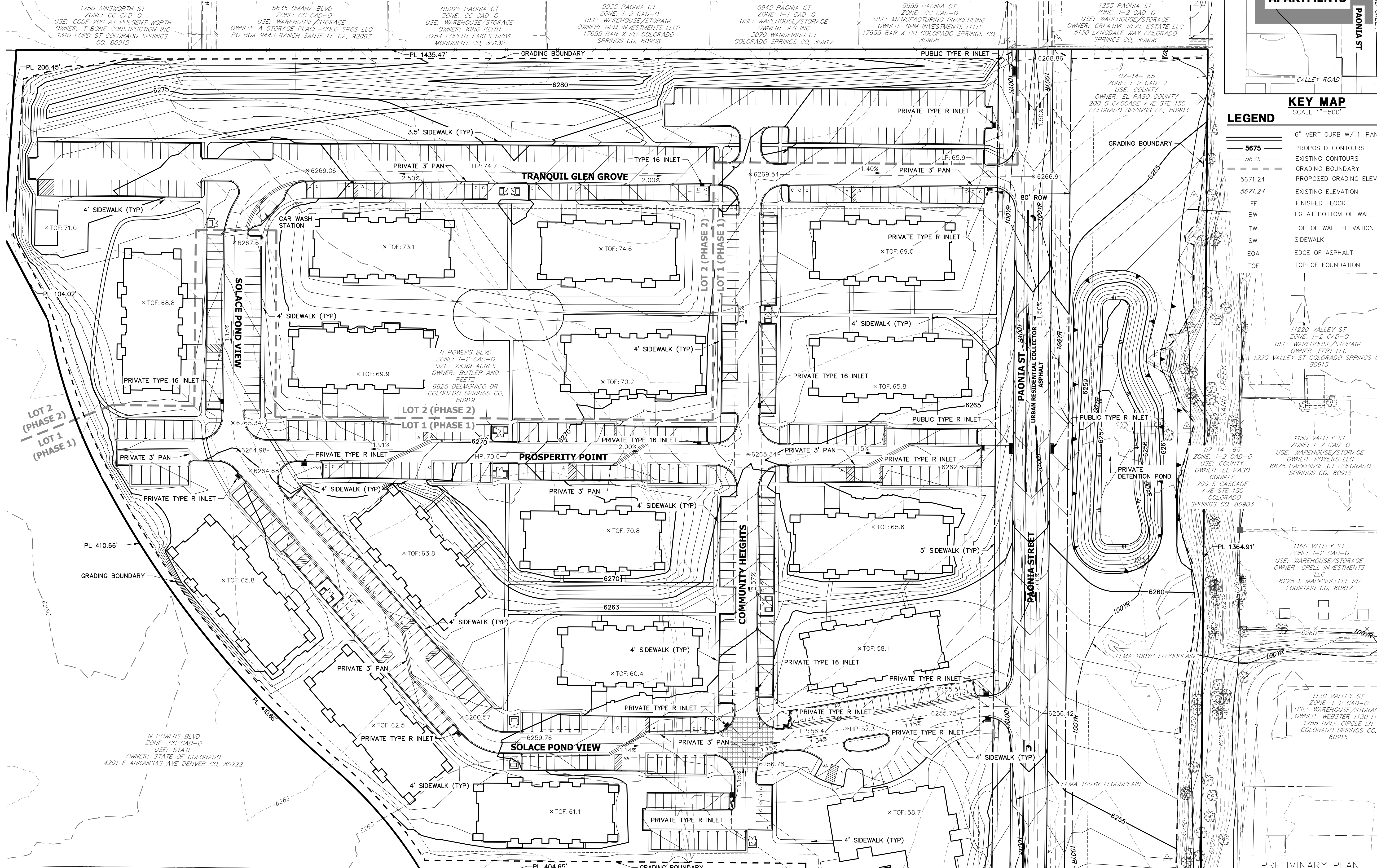
SP-20-001

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# SOLACE APARTMENTS

EL PASO COUNTY, COLORADO

A PART OF THE NW 1/4 OF SECTION 7, TOWNSHIP 14 SOUTH,  
RANGE 65 WEST OF THE 6TH P.M.



**KEY MAP**  
SCALE 1"=500'

**LEGEND**

6" VERT CURB W/ 1' PAN	5675	PROPOSED CONTOURS
5675	- - -	EXISTING CONTOURS
---	---	GRADING BOUNDARY
5671.24	---	PROPOSED GRADING ELEVATION
5671.24	---	EXISTING ELEVATION
FF	---	FINISHED FLOOR
BW	---	FG AT BOTTOM OF WALL
TW	---	TOP OF WALL ELEVATION
SW	---	SIDEWALK
EOA	---	EDGE OF ASPHALT
TOF	---	TOP OF FOUNDATION

Land Planning  
Landscape  
Architecture  
Urban Design

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## SOLACE APARTMENTS

### PRELIMINARY GRADING PLAN

EL PASO COUNTY, CO

DATE: PROJECT MGR: DATE  
PREPARED BY: T. BAXTER  
B. SWENSON

DATE: BY: DESCRIPTION:

### PRELIMINARY GRADING PLANS

**S3**  
3 OF 6

PRELIMINARY PLAN  
PREPARED BY:

**J-R ENGINEERING**  
A Westrian Company

NORTH  
SCALE: 1" = 50'

**PRELIMINARY PLAN NOTES**

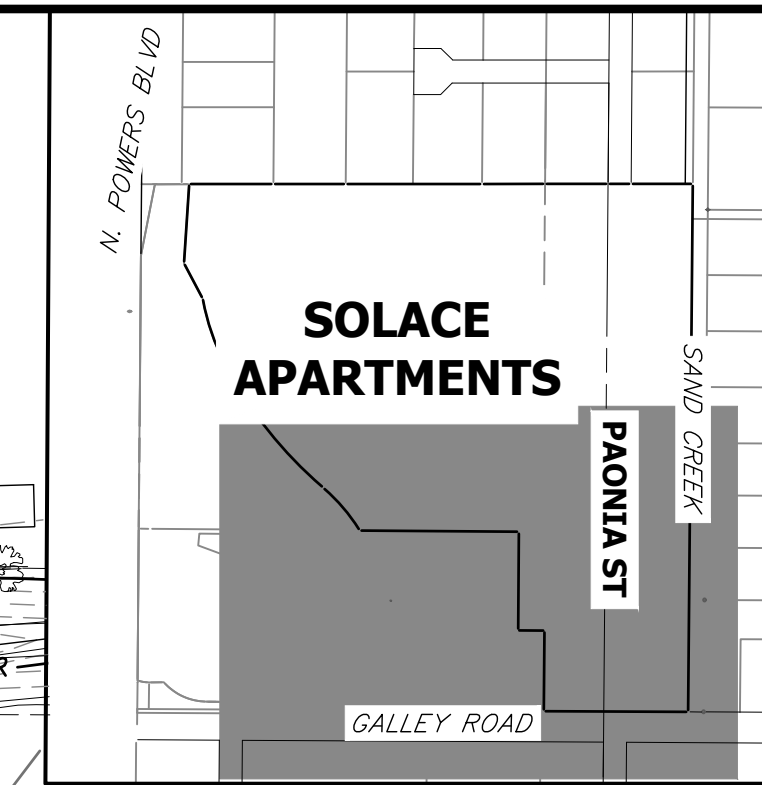
PROPOSED PAONIA STREET TO HAVE AN 80' ROW WITH THE SAME ROAD SECTION UTILIZED IN THE 60' TYPICAL URBAN RESIDENTIAL COLLECTOR STREET AS FOUND IN CHAPTER 2, SECTION 2.2.4.B.5 OF THE ECM.

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# SOLACE APARTMENTS

EL PASO COUNTY, COLORADO

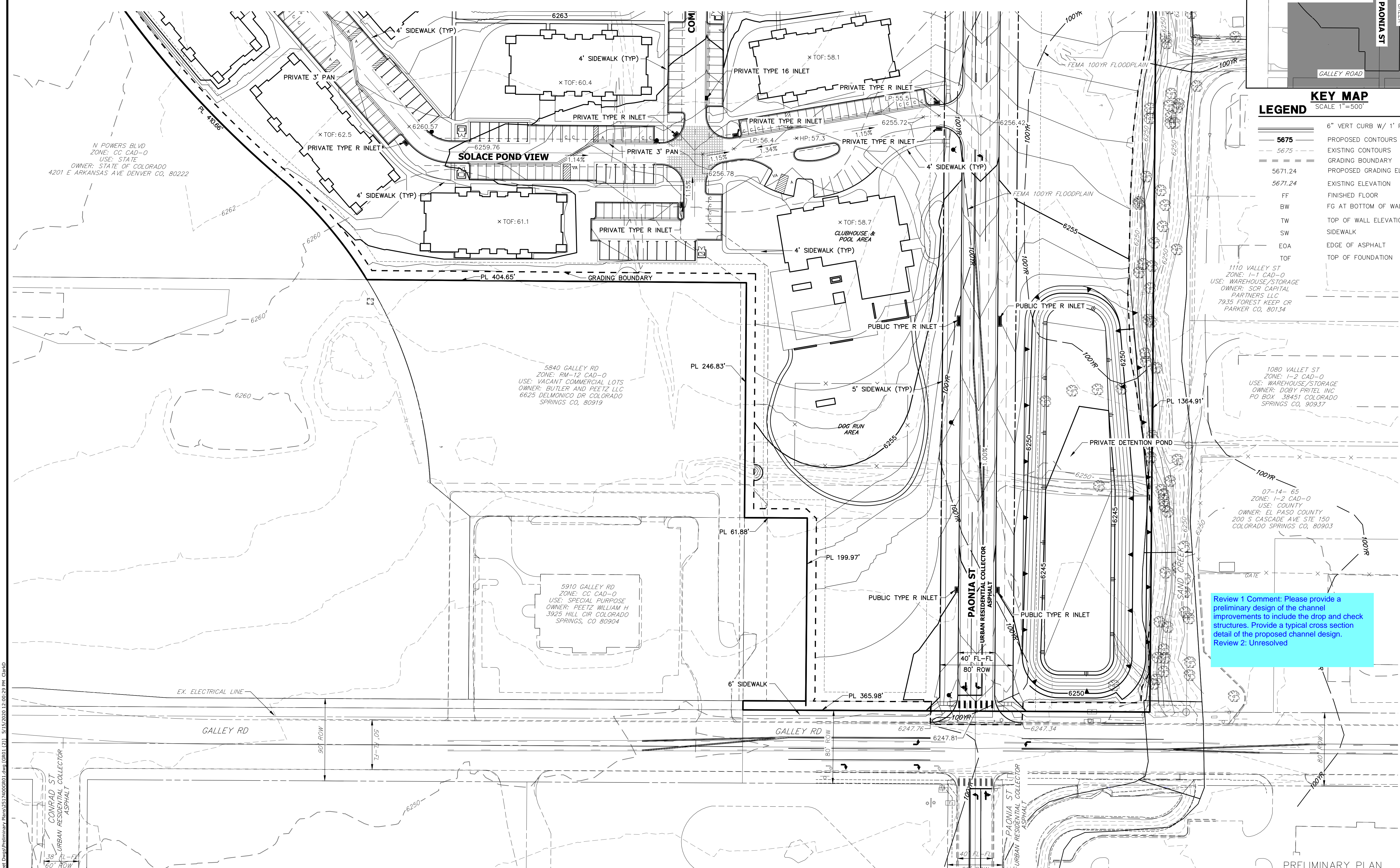
A PART OF THE NW ¼ OF SECTION 7, TOWNSHIP 14 SOUTH,  
RANGE 65 WEST OF THE 6TH P.M.



**KEY MAP**  
SCALE 1"=500'

**LEGEND**

6" VERT CURB W/ 1' PAN	5675	PROPOSED CONTOURS
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---	---	GRADING BOUNDARY
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BW	---	FG AT BOTTOM OF WALL
TW	---	TOP OF WALL ELEVATION
SW	---	SIDEWALK
EOA	---	EDGE OF ASPHALT
TOF	---	TOP OF FOUNDATION



Review 1 Comment: Please provide a preliminary design of the channel improvements to include the drop and check structures. Provide a typical cross section detail of the proposed channel design.  
Review 2: Unresolved

**PRELIMINARY PLAN NOTES**

PROPOSED PAONIA STREET TO HAVE AN 80' ROW WITH THE SAME ROAD SECTION UTILIZED IN THE 60' TYPICAL URBAN RESIDENTIAL COLLECTOR STREET AS FOUND IN CHAPTER 2, SECTION 2.2.4.B.5 OF THE ECM.

PRELIMINARY PLAN  
PREPARED BY:  
**J-R ENGINEERING**  
A Westrian Company

NORTH  
SCALE: 1" = 50'

Land Planning  
Landscape Architecture  
Urban Design

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**SOLACE APARTMENTS**  
PRELIMINARY GRADING PLAN  
EL PASO COUNTY, CO

DATE: \_\_\_\_\_ DATE: \_\_\_\_\_  
PROJECT MGR: T. BAXTER  
PREPARED BY: B. SWENSON

**PRELIMINARY GRADING PLANS**

**S4**  
4 OF 6

# SOLACE APARTMENTS

## EL PASO COUNTY, COLORADO

### PRELIMINARY UTILITY PLAN

Land Planning  
Landscape  
Architecture  
Urban Design

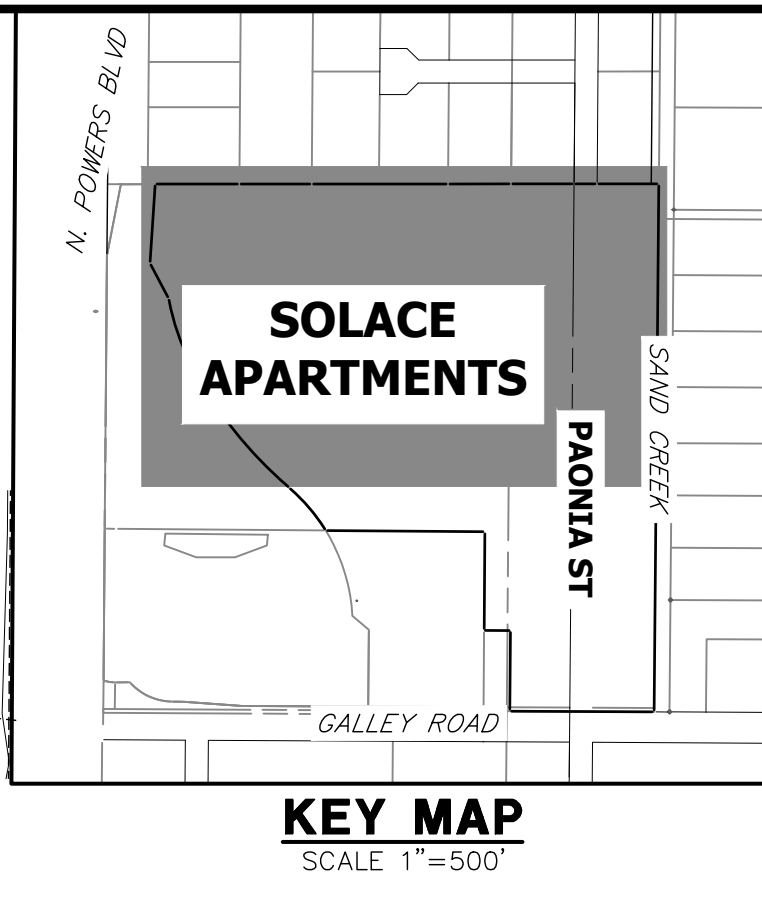


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619 N. Cascade Avenue, Suite 200  
Colorado Springs, CO 80903

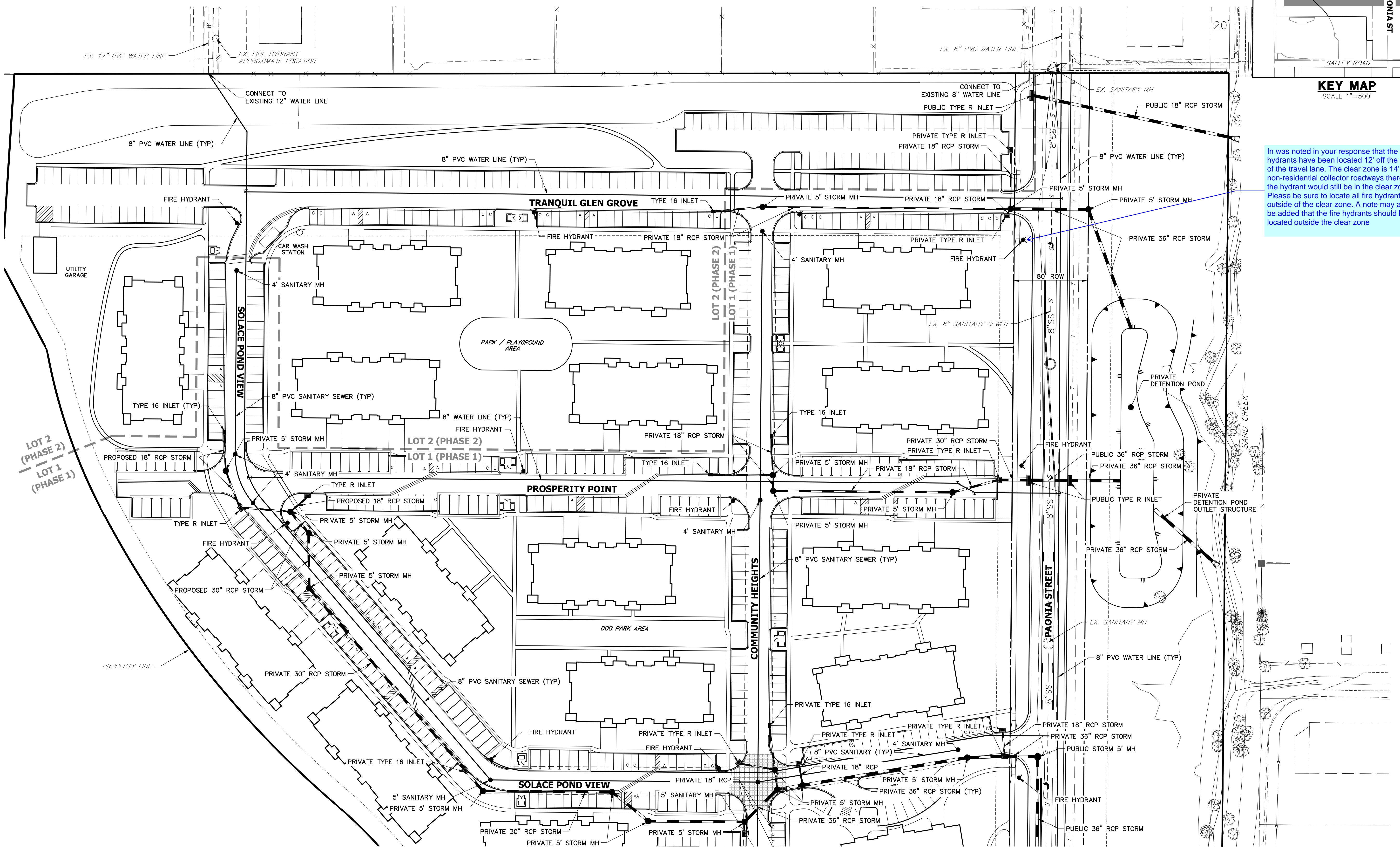
Tel. 719.471.0073  
Fax 719.471.0267

www.nescolorado.com

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In was noted in your response that the hydrants have been located 12' off the edge of the travel lane. The clear zone is 14' for non-residential collector roadways therefore the hydrant would still be in the clear zone. Please be sure to locate all fire hydrants outside of the clear zone. A note may also be added that the fire hydrants should be located outside the clear zone

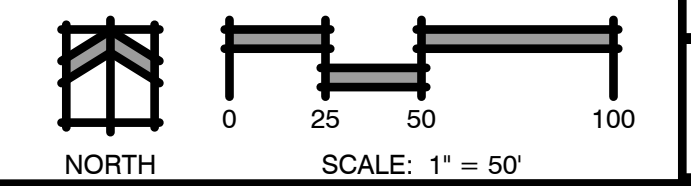


- PRELIMINARY UTILITY PLAN NOTES**
1. ALL WATER AND SANITARY SEWER LINES SHOWN ARE PUBLIC UNLESS OTHERWISE NOTED.
  2. RESIDENTIAL BUILDINGS HAVE ELECTRIC METERS PLANNED IN THE BREEZEWAYS. THE CLUBHOUSE ELECTRIC METER IS PLANNED ON THE SOUTHWEST CORNER. NO GAS SERVICES ARE PLANNED. SEE ARCHITECTURAL BUILDING ELEVATIONS FOR ADDITIONAL DETAILS.

PRELIMINARY PLAN  
PREPARED BY:



A Westrian Company



SCALE: 1" = 50'

## SOLACE APARTMENTS

### PRELIMINARY UTILITY PLAN

EL PASO COUNTY, CO

DATE:	DATE:
PROJECT MGR:	T. BAXTER
PREPARED BY:	B. SWENSON

DATE:	BY:	DESCRIPTION:

OVERALL UTILITY PLANS

# S5

5 OF 6

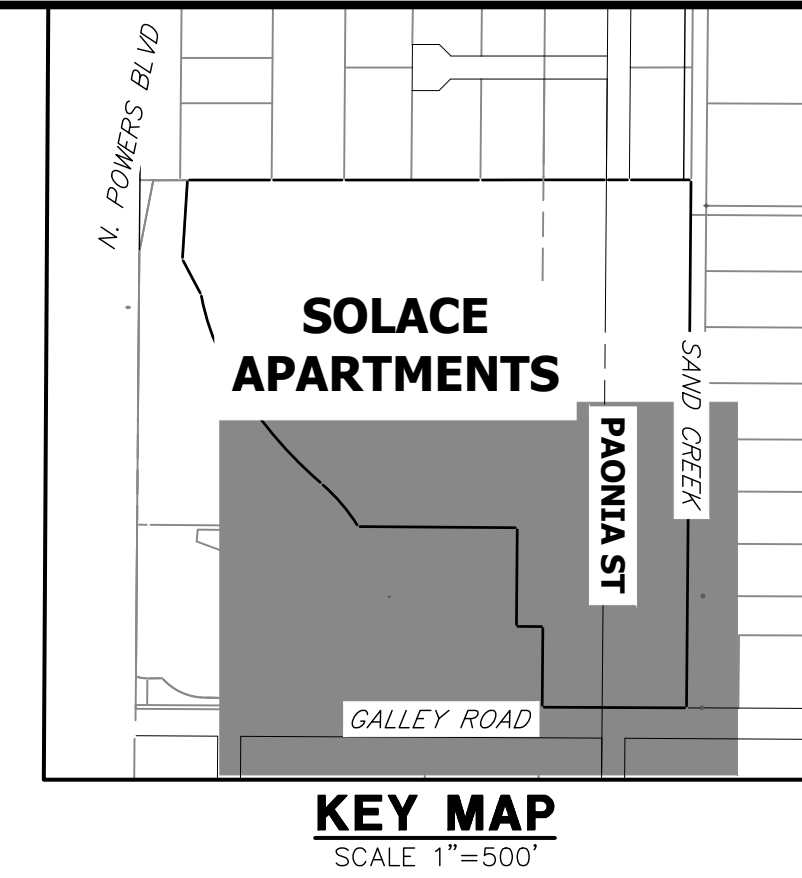
X:\2012\0000\025740000\Design\Sheet\Utility\Pre\025740000\01.dwg, LOT01, 9/15/2012 12:01:16 PM, C:\msd...

# SOLACE APARTMENTS

## EL PASO COUNTY, COLORADO

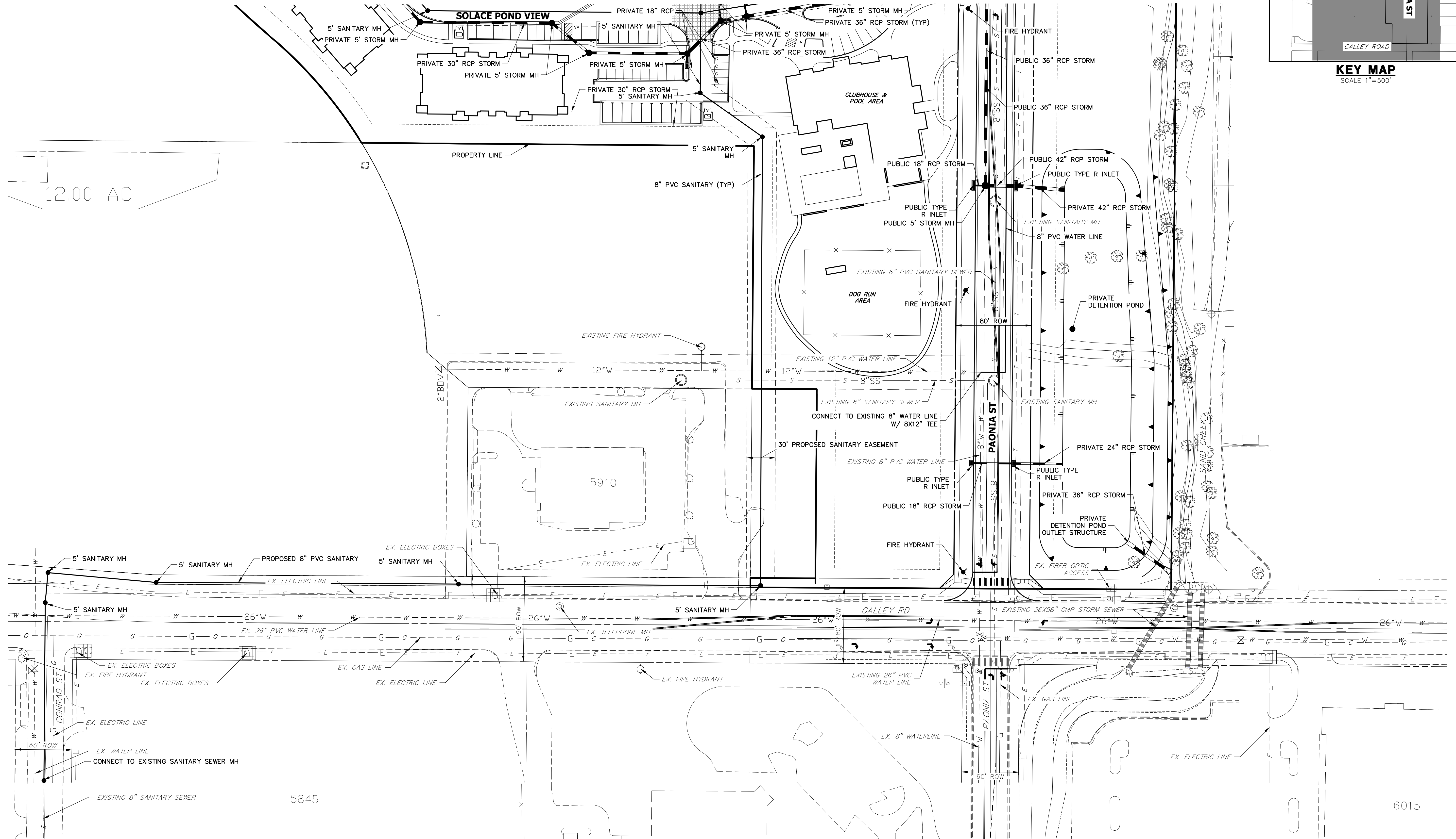
### PRELIMINARY UTILITY PLAN

A PART OF THE NW 1/4 OF SECTION 7, TOWNSHIP 14 SOUTH,  
RANGE 65 WEST OF THE 6TH P.M.



Land Planning  
Landscape  
Architecture  
Urban Design

N.E.S. Inc.  
619 N. Cascade Avenue, Suite 200  
Colorado Springs, CO 80903  
Tel. 719.471.0073  
Fax 719.471.0267  
www.nescolorado.com  
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- PRELIMINARY UTILITY PLAN NOTES**
1. ALL WATER AND SANITARY SEWER LINES SHOWN ARE PUBLIC UNLESS OTHERWISE NOTED.
  2. RESIDENTIAL BUILDINGS HAVE ELECTRIC METERS PLANNED IN THE BREEZEWAYS. THE CLUBHOUSE ELECTRIC METER IS PLANNED ON THE SOUTHWEST CORNER. NO GAS SERVICES ARE PLANNED. SEE ARCHITECTURAL BUILDING ELEVATIONS FOR ADDITIONAL DETAILS.

PRELIMINARY PLAN  
PREPARED BY:

A Westrian Company

NORTH SCALE: 1" = 50'

## SOLACE APARTMENTS

### PRELIMINARY UTILITY PLAN

EL PASO COUNTY, CO

DATE: PROJECT MGR: T. BAXTER  
PREPARED BY: B. SWENSON

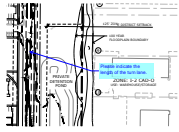
### OVERALL UTILITY PLANS

**S6**  
6 OF 6

X:\2516000\025174000\Design\Sheet\Design\Pre\Utility\01.dwg, UT01\_01, 5/15/2020 12:01:20 PM, C:\msd...

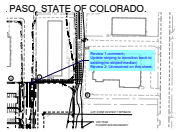
# Prelim Plan\_V2.pdf Markup Summary

## Callout (6)



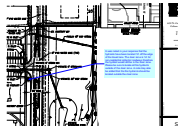
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**Page Label:** [1] Plan(2)  
**Lock:** Locked  
**Author:** Daniel Torres  
**Date:** 6/10/2020 5:29:32 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Please indicate the length of the turn lane.



**Subject:** Callout  
**Page Label:** [1] Plan(2)  
**Lock:** Locked  
**Author:** Daniel Torres  
**Date:** 6/10/2020 5:29:33 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Review 1 comment:  
Update striping to transition back to existing(no striped median)  
Review 2: Unresolved on this sheet.



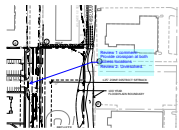
**Subject:** Callout  
**Page Label:** [3] UT01  
**Lock:** Locked  
**Author:** Daniel Torres  
**Date:** 6/10/2020 5:29:47 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

In was noted in your response that the hydrants have been located 12' off the edge of the travel lane. The clear zone is 14' for non-residential collector roadways therefore the hydrant would still be in the clear zone. Please be sure to locate all fire hydrants outside of the clear zone. A note may also be added that the fire hydrants should be located outside the clear zone



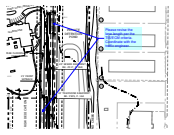
**Subject:** Callout  
**Page Label:** [1] Plan(2)  
**Lock:** Locked  
**Author:** Daniel Torres  
**Date:** 6/10/2020 5:29:47 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Per traffic volumes in the TIS an exclusive right turn lane is required per ECM criteria. Note that this is also a recommendation indicated in the TIS. Please revise to show the exclusive right turn lane on all plan sheets.



**Subject:** Callout  
**Page Label:** [1] Plan(2)  
**Lock:** Locked  
**Author:** Daniel Torres  
**Date:** 6/10/2020 5:29:50 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Review 1 comment:  
Provide crossspan at both access locations  
Review 2: Unresolved.



**Subject:** Callout  
**Page Label:** [1] Plan(2)  
**Lock:** Locked  
**Author:** Daniel Torres  
**Date:** 6/10/2020 5:29:53 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

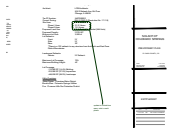
Please revise the lane length per the TIS/ECM criteria. Coordinate with the traffic engineer.

## Cloud+ (2)



**Subject:** Cloud+  
**Page Label:** [1] Cover  
**Lock:** Locked  
**Author:** dsdsevigny  
**Date:** 6/10/2020 5:29:35 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

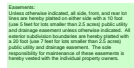
review by the El Paso County Planning and Community Development Department, approval by the Board of County Commissioners, and the plat must be recorded



**Subject:** Cloud+  
**Page Label:** [1] Cover  
**Lock:** Locked  
**Author:** dsdsevigny  
**Date:** 6/10/2020 5:29:42 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

update to include how many units in each phase

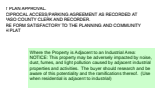
## Easements (1)



**Subject:** Easements  
**Page Label:** [1] Cover  
**Lock:** Locked  
**Author:** dsdsevigny  
**Date:** 6/10/2020 5:29:38 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

**Easements:**  
 Unless otherwise indicated, all side, front, and rear lot lines are hereby platted on either side with a 10 foot (use 5 feet for lots smaller than 2.5 acres) public utility and drainage easement unless otherwise indicated. All exterior subdivision boundaries are hereby platted with a 20 foot (use 7 feet for lots smaller than 2.5 acres) public utility and drainage easement. The sole responsibility for maintenance of these easements is hereby vested with the individual property owners.

## Industrial (1)



**Subject:** Industrial  
**Page Label:** [1] Cover  
**Lock:** Locked  
**Author:** dsdsevigny  
**Date:** 6/10/2020 5:29:58 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Where the Property is Adjacent to an Industrial Area:  
**NOTICE:** This property may be adversely impacted by noise, dust, fumes, and light pollution caused by adjacent industrial properties and activities. The buyer should research and be aware of this potentiality and the ramifications thereof. (Use when residential is adjacent to industrial)



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## Mailboxes (1)

---

Mailboxes:  
Mailboxes shall be installed in accordance with all El Paso County and United States Postal Service regulations.

**Subject:** Mailboxes  
**Page Label:** [1] Cover  
**Lock:** Locked  
**Author:** dsdseigny  
**Date:** 6/10/2020 5:30:00 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Mailboxes:  
Mailboxes shall be installed in accordance with all El Paso County and United States Postal Service regulations.

---

## Stormwater Drainage (1)

---

Stormwater Drainage:  
Note Regarding Stormwater Drainage:  
All property owners are responsible for maintaining proper storm water drainage in and through their property. Public drainage easements as specifically noted on the plat shall be maintained by the individual lot owners unless otherwise indicated. Structures, fences, materials or landscaping that could impede the flow of runoff shall not be placed in drainage easements.

**Subject:** Stormwater Drainage  
**Page Label:** [1] Cover  
**Lock:** Locked  
**Author:** dsdseigny  
**Date:** 6/10/2020 5:30:08 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Note Regarding Stormwater Drainage:  
All property owners are responsible for maintaining proper storm water drainage in and through their property. Public drainage easements as specifically noted on the plat shall be maintained by the individual lot owners unless otherwise indicated. Structures, fences, materials or landscaping that could impede the flow of runoff shall not be placed in drainage easements.

---

## Text Box (2)

---

add estimated impact fees to be paid

**Subject:** Text Box  
**Page Label:** [1] Cover  
**Lock:** Locked  
**Author:** dsdseigny  
**Date:** 6/10/2020 5:29:40 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

add estimated impact fees to be paid



**Subject:** Text Box  
**Page Label:** [2] GR01 (2)  
**Lock:** Locked  
**Author:** Daniel Torres  
**Date:** 6/10/2020 5:29:52 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Review 1 Comment: Please provide a preliminary design of the channel improvements to include the drop and check structures. Provide a typical cross section detail of the proposed channel design.  
Review 2: Unresolved