

Move trees out of the ROW or obtain a landscape agreement from EPC Department of Public Works

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 2. At all pedestrian entrances;  
 3. Within a plaza or courtyard;  
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 5. In a similar location which substantially conforms to the purpose of the required internal landscape area.

Please revise to 15-foot required per LDC Ch. 6 landscape buffer standards.

1. Please revise to 1 tree per 15 feet required per Required Buffer and Screen Areas (buffers for nonresidential and residential districts separated by a non arterial road) in Ch. 6 of the LDC.  
 2. Please revise to 17 trees required along road frontage - McLaughlin Rd and 9 trees required along Greenough Rd - for 1 per 15 feet of road frontage. If alternative landscape plan is requested, then please include justification of that in the letter of intent by explaining how the proposed landscaping meets the purpose of the code and promotes the concepts contained in the Landscape and Water Conservation Manual.

1. Lot 1 of the proposed replat (SF2022) shows 34,796 SF. Please revise for consistency.

LANDSCAPE SETBACKS (or Double Frontage Lot Streetscapes)				
Street Name or Zone Boundary (elev.)	Street or Zone Boundary Classification	Setback Width (ft.) Req./Prov.	Linear Footage	Tree/Feet Required
NON ARTERIAL	MCLAUGHLIN ROAD	10'/20'	236'	1/30'
NON ARTERIAL	GREENOUGH ROAD	10'/15'	135'	1/30'
Shrub Substitutes Required / Provided	Ornamental Grass Substitutes Required / Provided	Setback Plant Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Provided	
NA	NA	SB	75%/100%	

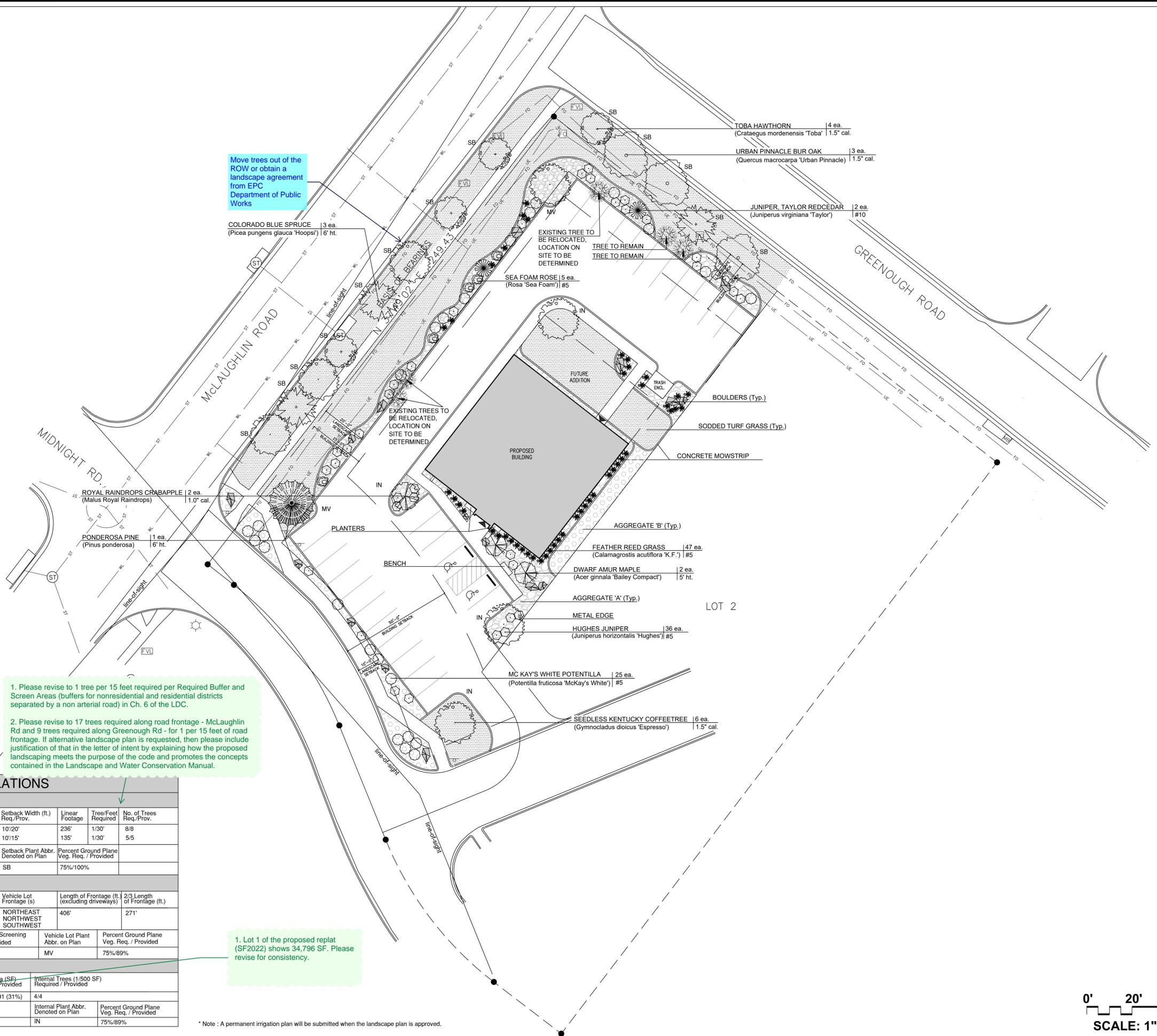
  

MOTOR VEHICLE LOTS				
No. of Vehicle Spaces Provided	Shade Trees (1/15 Spaces) Required / Provided	Vehicle Lot Frontage (s)	Length of Frontage (ft.) (excluding driveways)	2/3 Length of Frontage (ft.)
28	2/2	NORTHEAST NORTHWEST SOUTHWEST	406'	271'
Min. 3' Screening Plants Req./Prov.	Evergreen Plants Req.(50%) / Prov.	Length of Screening Wall Provided	Vehicle Lot Plant Abbr. on Plan	Percent Ground Plane Veg. Req. / Provided
55/55	50%/50%	NA	MV	75%/89%

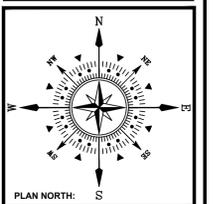
INTERNAL LANDSCAPING				
Net Site Area (SF) (less public R.O.W.)	Percent Min. Internal Area (%)	Internal Area (SF) Required / Provided	Internal Trees (1/500 SF) Required / Provided	Internal Plant Abbr. Denoted on Plan
34,796 SF (.799 ac)	5%	1,740/10,891 (31%)	4/4	IN
Shrub Substitutes Required / Provided	Ornamental Grass Substitutes Required / Provided	Percent Ground Plane Veg. Req. / Provided		
NA	NA	75%/89%		

\* Note : A permanent irrigation plan will be submitted when the landscape plan is approved.



**William Guman & Associates, Ltd.**  
 URBAN PLANNING | COMMUNITY DESIGN |  
 LANDSCAPE ARCHITECTURE  
 731 North Weber Street  
 Colorado Springs, CO 80903  
 (719) 633-9700  
 www.guman.net  
 bill@guman.net

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**Falcon Eye Care**  
**7615 McLaughlin Road**  
**Peyton, CO 80831**  
 PROJECT NAME:  
 PROJECT ADDRESS:  
 PROJECT DESCRIPTION: LANDSCAPE PLAN

DATE: 12/21/2020  
 DESIGNED: WFG  
 CHECKED: GEM

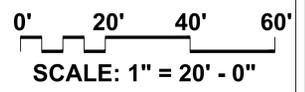
REVISIONS:		
DATE:	BY:	DESCRIPTION:

PLAN SCALE: 1" = 20' (OR AS NOTED ON PLAN)

SHEET TITLE:  
**LANDSCAPE PLAN**

SHEET NO.  
**10**

FILE NO. FILE#



**LANDSCAPE SCHEDULE (Outlying Areas):**  
Planting Schedule:

SYM.	QTY.	BOTANICAL/COMMON NAME	MATURE HT./WD.	PLANTING SIZE	NOTES
<b>TREES</b>					
4	4	TOBA Hawthorn ( <i>Crataegus mollis</i> Tobia)	15-20' 15-20'	1.5' cal.	B&B Nursery Grown. Size to meet or exceed AAN. min. size
6	6	KENTUCKY COFFEE TREE ( <i>Gymnocladia dioica</i> Trappes)	50-60' 40-50'	1.5' cal.	B&B Nursery Grown. Size to meet or exceed AAN. min. size
3	3	URBAN PINNACLE BUR OAK ( <i>Quercus macrocarpa</i> Urban Pinnacle)	45-55' 20-25'	1.5' cal.	B&B Nursery Grown. Size to meet or exceed AAN. min. size
1	1	ROYAL RAINDROPS CRABAPPLE ( <i>Malus Royal Raindrops</i> )	15-20' 12-15'	1.0' cal.	B&B Nursery Grown. Size to meet or exceed AAN. min. size
3	3	HOOPS COLORADO BLUE SPRUCE ( <i>Picea canadensis</i> Hoops)	20-30' 12-15'	6" ht.	B&B Nursery Grown. Size to meet or exceed AAN. min. size
1	1	PONDEROSA PINE ( <i>Pinus ponderosa</i> )	40-50' 30-40'	6" ht.	B&B Nursery Grown. Size to meet or exceed AAN. min. size

Parent Signature Trees**		Signature Trees: 18			
(80% minimum - Policy 311.3.K)		Total No. of Trees: 18 = 100% Signature Trees			
<b>SHRUBS</b>					
2	2	DWARF AMUR MAPLE ( <i>Acer ginnala</i> Valley Contract)	6-8' 5-8'	5" ht. dump	B&B Nursery Grown. Size to meet or exceed AAN. min. size
36	36	HUGHES JUNIPER ( <i>Juniperus horizontalis</i> Hughes)	1-2' 5-8'	#5	Container Grown. Size to meet or exceed AAN. min. size
2	2	REDCEDAR JUNIPER ( <i>Juniperus virginiana</i> Taylor)	15-20' 3-4'	#10	Container Grown. Size to meet or exceed AAN. min. size
25	25	McKAY'S WHITE POTENTILLA ( <i>Potentilla fruticosa</i> McKay's White)	2-3' 2-3'	#5	Container Grown. Size to meet or exceed AAN. min. size
5	5	SEA FOAM ROSE ( <i>Rosa Sea Foam</i> )	2-3' 4-6'	#5	Container Grown. Size to meet or exceed AAN. min. size

Parent Signature Shrubs**		Signature Shrubs: 70			
(60% minimum - Policy 311.3.K)		Total No. of Shrubs: 70 = 100% Signature Shrubs			

<b>GRASSES, PERENNIALS, GROUNDCOVERS</b>					
47	47	FEATHER REED GRASS ( <i>Calamagrostis acutiflora</i> R. Foerster)	4-5' 18-24"	#5	Container Grown. Size to meet or exceed AAN. min. size

**SYMBOL KEY:**

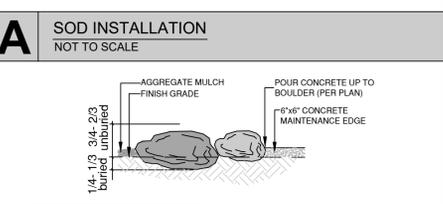
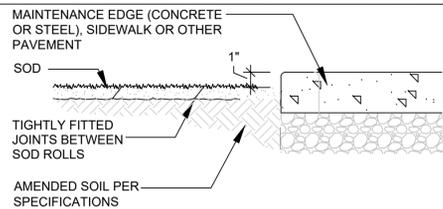
SYMBOL	DESCRIPTION/REMARKS
	CONCRETE MAINTENANCE EDGE; 6" x 6" POURED IN PLACE CONCRETE
	IDAHO CEDAR WOOD MULCH; UNIFORMLY PLACED TO A 4" DEPTH AROUND ALL TREE ROOT BALLS IN TURF AREAS ONLY [Equal to that supplied by Pioneer Sand and Gravel, Colorado Springs, CO]
	ORGANIC MULCH TYPE 'A'; 'DECO SHRED' BARK MULCH, PLACED TO A UNIFORM 3" DEPTH ON FABRIC UNDERLAYMENT [Equal to that supplied by Pioneer Sand and Gravel, Colorado Springs, CO]
	SODDED TURF GRASS; FESCUE/HTN KENTUCKY BLUEGRASS 4-WAY BLEND ON PREPARED SOIL. 10-176 SQUARE FEET.
	AGGREGATE 'A'; 2" - 4" GREY ROSE COBBLESTONE PLACED TO A UNIFORM DEPTH OF 3" ON FABRIC UNDERLAYMENT. [Equal to that supplied by Pioneer Sand and Gravel, Colorado Springs, CO]
	AGGREGATE 'B'; 5" - 12" GREY ROSE COBBLESTONE PLACED TO A UNIFORM DEPTH OF 3" ON FABRIC UNDERLAYMENT. [Equal to that supplied by Pioneer Sand and Gravel, Colorado Springs, CO]
	'PLANTED' BOULDERS: Equal to 'Cottonwood Grey' Whole Washed River Boulders, avg. 4-5' dia. set in grade w/ 24"-36" ht. exposed above grade (Per Detail).

**LANDSCAPE NOTES:**

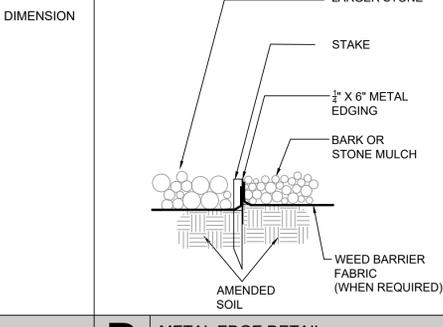
- REFER TO SPECIFICATION SECTION 32-84-00, LANDSCAPE ACCESSORIES FOR REQUIRED INSTALLATION AND WORKMANSHIP STANDARDS FOR NEW LANDSCAPING. IN THE EVENT OF A CONFLICT IN REQUIREMENTS THE MOST STRINGENT INTERPRETATION WILL PREVAIL.
- DRAWINGS ARE DIAGRAMMATIC. PRECISE PLACEMENT OF LANDSCAPE ACCESSORIES MAY NOT BE POSSIBLE AS INDICATED. CONSULT PROJECT LANDSCAPE ARCHITECT PRIOR TO MAKING RANDOM FIELD CHANGES WHICH MAY ALTER DESIGN INTENT.
- QUANTITIES ARE PROVIDED FOR REFERENCE ONLY. VERIFY ALL QUANTITIES PRIOR TO SUBMITTING COST PROPOSAL. IN THE EVENT OF A CONFLICT BETWEEN SCHEDULED, IMPLIED, OR EXPRESSED QUANTITIES, QUANTITIES WHICH CAN BE DETERMINED GRAPHICALLY FROM THE DRAWINGS WILL PREVAIL IN ANY CASE.
- THE CONTRACTOR IS RESPONSIBLE FOR INSPECTION AND VERIFICATION OF ALL FIELD CONDITIONS AND RESOLVING CONFLICTS PERTAINING TO DIMENSIONS, LAYOUT, ETC., WHICH MAY AFFECT THE LANDSCAPE INSTALLATION. MOBILIZING SHALL BE CONSIDERED AS ACCEPTANCE OF CONDITIONS.
- COORDINATE ALL WORK INDICATED ON THESE DRAWINGS WITH WORK OF OTHER TRADES.
- THE PROJECT LANDSCAPE ARCHITECT RESERVES THE RIGHT TO CONSIDER AND APPROVE ALTERNATE INSTALLATIONS AT ANY TIME WHICH IN THE LANDSCAPE ARCHITECT'S OPINION MAXIMIZES THE CONSTRUCTION BUDGET AND MAINTAINS DESIGN INTENT.
- PROVIDE A 3 FOOT CLEAR SPACE AROUND THE CIRCUMFERENCE AROUND ALL FIRE HYDRANTS AND LIGHTING STANDARDS.
- CONTRACTOR TO UTILIZE STOCKPILED TOPSOIL FROM GRADING OPERATION AS MAY BE AVAILABLE. IF THE AMOUNT OF TOPSOIL NEEDED TO COMPLETE FINAL GRADING IS NOT AVAILABLE, THE CONTRACTOR SHALL IMPORT THE AMOUNT OF SOIL NEEDED.
- CONTRACTOR SHALL ENSURE THAT PROPER IRRIGATION VIA THE IRRIGATION SYSTEM IS CAPABLE OF EXTENDING AMOUNTS OF WATER REQUIRED TO ESTABLISH AND SUSTAIN PLANT GROWTH AT THE TIME OF INSTALLATION.
- ALL LANDSCAPE AND IRRIGATION MAINTENANCE SHALL BE COMMENCED BY THE OWNER UPON COMPLETION AND FINAL ACCEPTANCE OF ALL LANDSCAPE AND IRRIGATION SYSTEM INSTALLATIONS.
- SOIL AMENDMENT AND FINAL GRADING FOR ALL SOD AND SEEDED TURF AREAS TO BE PROVIDED IN ACCORDANCE WITH SPECIFICATIONS.
- AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM IS TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH THE IRRIGATION SYSTEM DRAWING AND SPECIFICATIONS.
  - IN LANDSCAPE SETBACK AREAS ALONG ROAD FRONTAGES, IN-LINE DRIP EMITTER RINGS FOR ALL TREES
  - NEW SODDED TURF INTERIOR LANDSCAPE AREAS; 20' ROTOR SPRINKLERS AND POP-UP SPRAY SPRINKLERS
  - NEW SEEDED TURF AREAS; 30' ROTOR SPRINKLERS AND POP-UP SPRAY SPRINKLERS FOR SHRUBS AND TREES; IN-LINE DRIP EMITTER RINGS FOR ALL TREES, EMITTERS FOR ALL SHRUBS
- 1/4" X 1/4" GALVANIZED STEEL MAINTENANCE EDGING TO BE INSTALLED TO SEPARATE ALL ORGANIC AND AGGREGATE MULCHES FROM ADJACENT SOD AND SEEDED TURF AREAS. PIN EDGING WITH 1/2" STEEL EDGING PINS AT 24" SPACING.
- ALL PLANT MATERIAL TO BE INSTALLED PER DETAILS AND SPECIFICATIONS. GUY AND STAKE ALL DECIDUOUS AND EVERGREEN TREES PER DETAILS. PROVIDE SHREDED MULCH RINGS IN RETENTION BASINS AROUND ALL TREES PLANTED IN SOD AND SEEDED AREAS (MULCH RINGS ARE NOT REQUIRED FOR TREES PLANTED IN AGGREGATE MULCH AREAS).
- PLANT QUANTITIES AND SIZES INDICATED ARE THE MINIMUM TO SATISFY LANDSCAPE CODE REQUIREMENTS. NO SUBSTITUTIONS ARE PERMITTED WITHOUT PRIOR APPROVAL OF THE MUNICIPAL REVIEWING AGENCY.

**NOTES:**

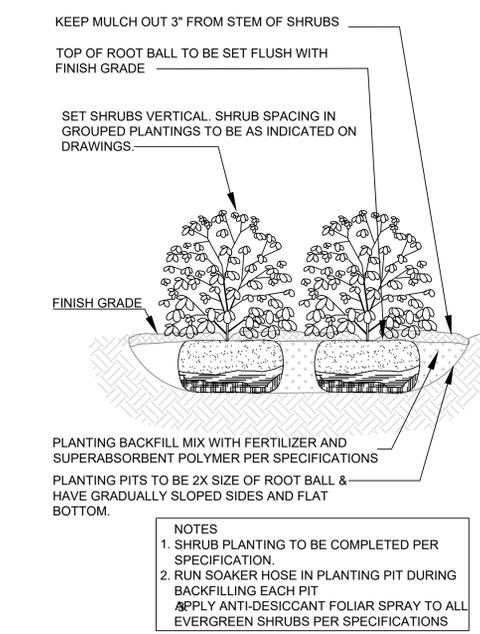
- MOWSTRIP TO BE CAST-IN-PLACE AND POURED USING TYPICAL WEIGHT STRUCTURAL CONCRETE.
- CONTRACTOR TO ENSURE POSITIVE DRAINAGE AROUND MOWSTRIPS-DO NOT CREATE A DAM EFFECT WITH PLACEMENT OF MOWSTRIP.
- MAXIMUM 1/2" WIDTH VARIATION.
- PRECISELY FOLLOW LAYOUT AS SHOWN ON MOWSTRIP/EDGING DIMENSION PLAN.
- RAISE THE LAWN GRADE 1" WHEN SEEDING.



TYPICAL BOULDER PLACEMENT IN LINE WITH CONCRETE MAINTENANCE EDGE



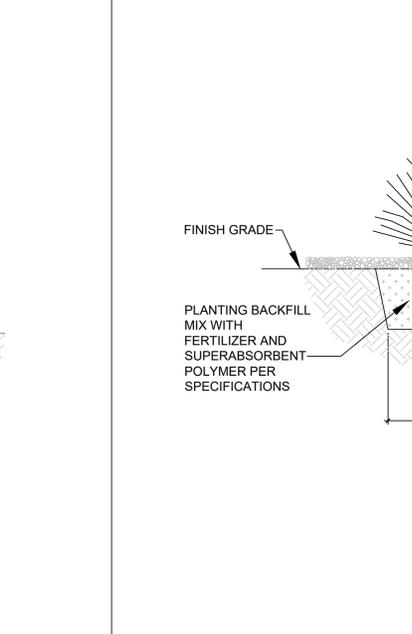
**E GROUPED SHRUB PLANTING**  
NOT TO SCALE



**F GROUPED SHRUB PLANTING**  
NOT TO SCALE



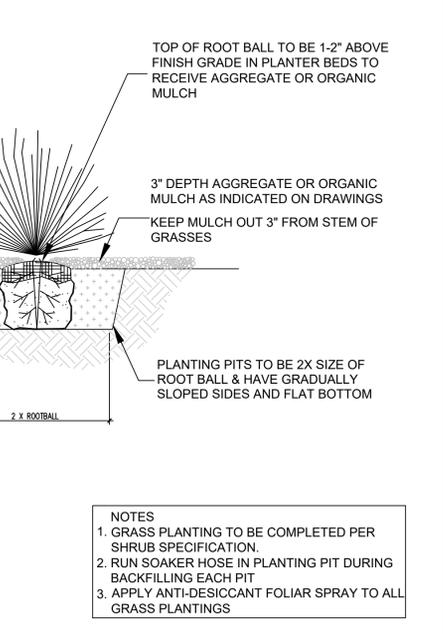
**C CONCRETE MOWSTRIP**  
NOT TO SCALE



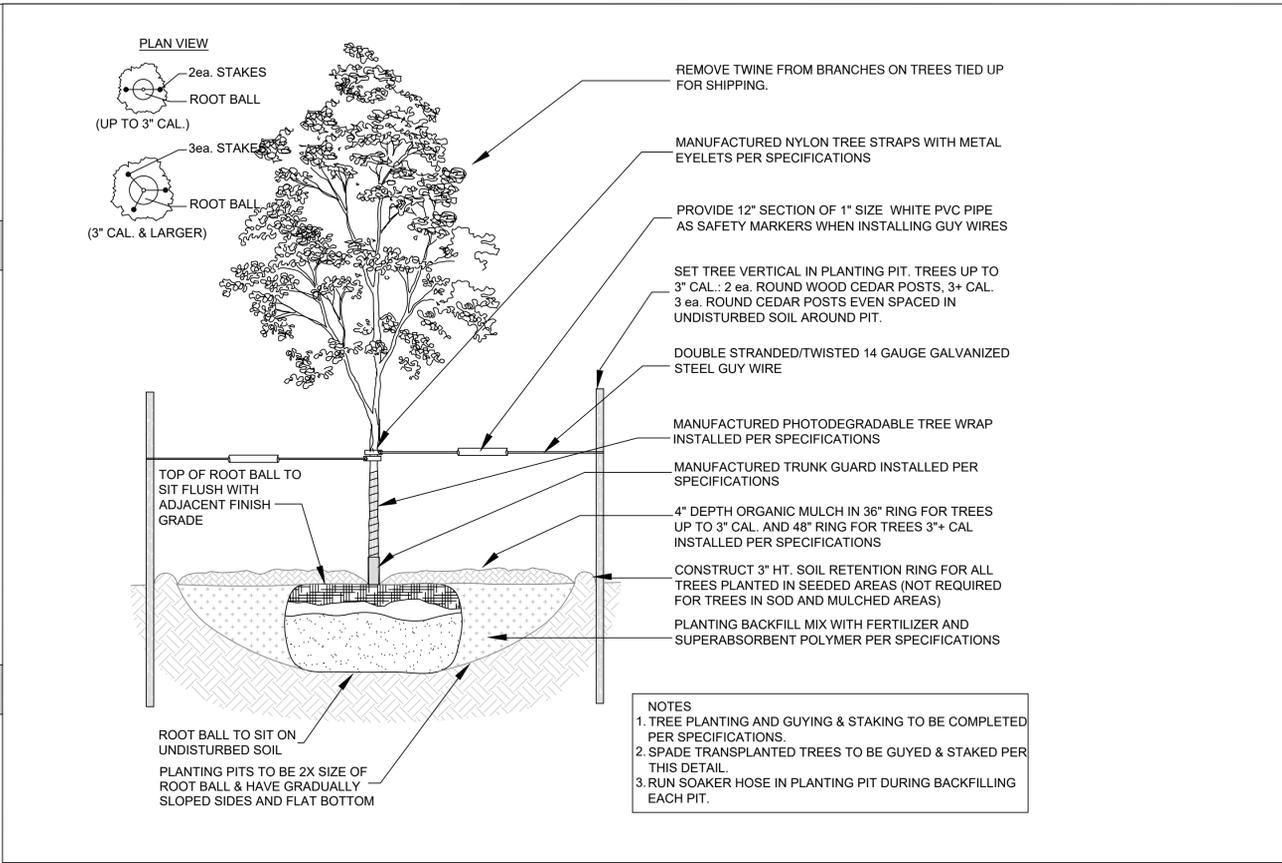
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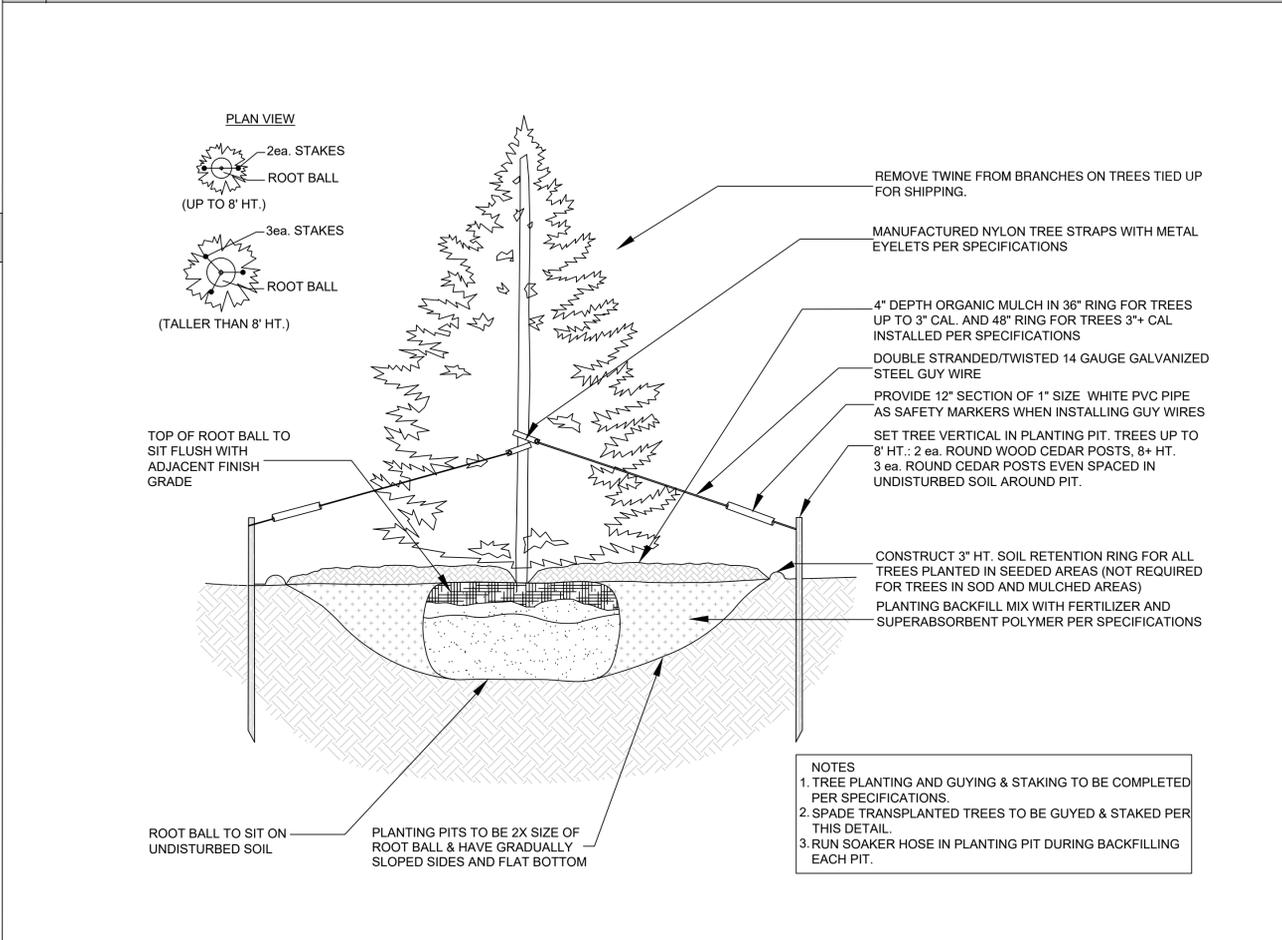
**D METAL EDGE DETAIL**  
NOT TO SCALE



**H EVERGREEN TREE PLANTING, GUYING & STAKING**  
NOT TO SCALE



**G DECIDUOUS TREE PLANTING, GUYING & STAKING**  
NOT TO SCALE



**H EVERGREEN TREE PLANTING, GUYING & STAKING**  
NOT TO SCALE

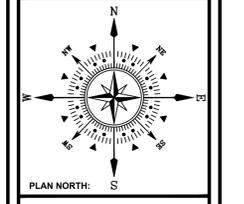


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www.gumantd.com  
bill@guman.net

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**Falcon Eye Care**  
**7615 McLaughlin Road**  
**Peyton, CO 80831**

PROJECT NAME:  
PROJECT ADDRESS:  
PROJECT DESCRIPTION: LANDSCAPE DETAILS

DATE: 12/21/2020  
DESIGNED: WFG  
CHECKED: GEM

REVISIONS:  
DATE: BY: DESCRIPTION:

PLAN SCALE: 1" = 20' (OR AS NOTED ON PLAN)

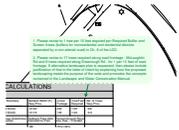
SHEET TITLE:  
**LANDSCAPE DETAILS**

SHEET NO.  
**11**

FILE NO. FILE#

# Landscape Plan\_V1.pdf Markup Summary

1/21/2021 2:44:48 PM (1)



**Subject:** Callout  
**Page Label:** [1] LS1  
**Author:** Sophie Kiepe  
**Date:** 1/21/2021 2:44:48 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

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2. Please revise to 17 trees required along road frontage - McLaughlin Rd and 9 trees required along Greenough Rd - for 1 per 15 feet of road frontage. If alternative landscape plan is requested, then please include justification of that in the letter of intent by explaining how the proposed landscaping meets the purpose of the code and promotes the concepts contained in the Landscape and Water Conservation Manual.

1/21/2021 2:44:54 PM (1)



**Subject:** Callout  
**Page Label:** [1] LS1  
**Author:** Sophie Kiepe  
**Date:** 1/21/2021 2:44:54 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

1. Lot 1 of the proposed replat (SF2022) shows 34,796 SF. Please revise for consistency.

1/21/2021 2:46:44 PM (1)



**Subject:** Callout  
**Page Label:** [1] LS1  
**Author:** Sophie Kiepe  
**Date:** 1/21/2021 2:46:44 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

- Please revise to 15-feet required per LDC Ch. 6 landscape buffer standards.

1/21/2021 2:47:41 PM (1)



**Subject:** Callout  
**Page Label:** [1] LS1  
**Author:** Sophie Kiepe  
**Date:** 1/21/2021 2:47:41 PM  
**Status:**  
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  2. At all pedestrian entrances;
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**Subject:** Callout  
**Page Label:** [1] LS1  
**Author:** dsdlaforce  
**Date:** 1/26/2021 1:55:37 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Move trees out of the ROW or obtain a landscape agreement from EPC Department of Public Works